



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 16 School St Armonk 10504

### Section III- DESCRIPTION OF WORK:

New 2nd story addition and alteration to existing single family dwelling

### Section III- CONTACT INFORMATION:

APPLICANT: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE: EMAIL: john@resreal.com

PROPERTY OWNER: Elyse & Roger Shapiro

ADDRESS: 16 School St Armonk 10504

PHONE: 914-787-0098 MOBILE: EMAIL: Elyse.Tetley@gmail.com

PROFESSIONAL: John Scavelli, PE, ResReal Designs

ADDRESS: 2875 Route 35, Katonah NY 10536

PHONE: 914-330-7712 MOBILE:

EMAIL: john@resreal.com

### Section IV- PROPERTY INFORMATION:

Zone: R-10 Tax ID (lot designation) 108.01-2-37



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

Initial Submittal  Revised Preliminary

Street Location:

Zoning District: \_\_\_\_\_ Property Acreage: \_\_\_\_\_ Tax Map Parcel ID: \_\_\_\_\_

Date: \_\_\_\_\_

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
**17 Bedford Road**  
**Armonk, New York 10504-1898**

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
**[www.northcastleny.com](http://www.northcastleny.com)**

**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 16 School Street Date 09/17/2022

Tax Map Designation or Proposed Lot No.: 108.01-2-37

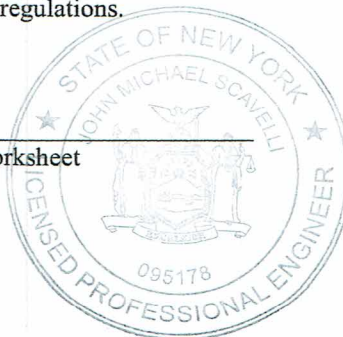
Floor Area

- |     |   |                     |
|-----|---|---------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>14,089.36 SF</u> |
| 2.  | <b>Maximum</b> permitted floor area (per Section 213-22.2B):  | <u>3,850.2 SF</u>   |
| 3.  | Amount of floor area contained within first floor:<br><u>1131.2 SF</u> existing + <u>133 SF</u> proposed =                        | <u>1,264.2 SF</u>   |
| 4.  | Amount of floor area contained within second floor:<br><u>689 SF</u> existing + <u>574.5 SF</u> proposed =                        | <u>1,263.5 SF</u>   |
| 5.  | Amount of floor area contained within garage:<br><u>389 SF</u> existing + <u>0 SF</u> proposed =                                  | <u>389 SF</u>       |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>232.6 SF</u> existing + <u>0 SF</u> proposed =     | <u>232.6 SF</u>     |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u>         |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0 SF</u> existing + <u>0 SF</u> proposed =    | <u>0 SF</u>         |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>0 SF</u> existing + <u>0 SF</u> proposed =                   | <u>0 SF</u>         |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 =   | <u>3,149.3 SF</u>   |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

*John M. Scavelli*

Signature and Seal of Professional Preparing Worksheet



09/05/2022

Date



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
**17 Bedford Road**  
**Armonk, New York 10504-1898**

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
**Director of Planning**

**Telephone: (914) 273-3542**  
**Fax: (914) 273-3554**  
**[www.northcastleny.com](http://www.northcastleny.com)**

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: 16 School Street Date: 09/17/2022

Tax Map Designation or Proposed Lot No.: 108.01-2-37

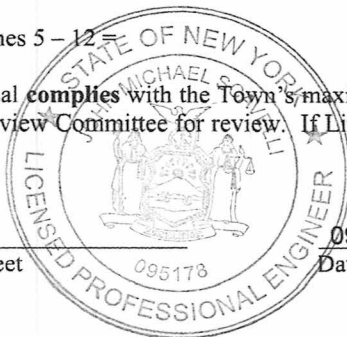
Gross Lot Coverage

- |     |  |                     |
|-----|--|---------------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):                 | <u>14,089.36 SF</u> |
| 2.  | <b>Maximum</b> permitted gross land coverage (per Section 213-22.2C):          | <u>4,981.4 SF</u>   |
| 3.  | <b>BONUS</b> maximum gross land cover (per Section 213-22.2C):                 |                     |
|     | Distance principal home is beyond minimum front yard setback                   |                     |
|     | <u>52.4'</u> x 10 =  | <u>524 SF</u>       |
| 4.  | <b>TOTAL Maximum Permitted gross land coverage</b> = Sum of lines 2 and 3      | <u>5,505.4 SF</u>   |
| 5.  | Amount of lot area covered by <b>principal building</b> :                      |                     |
|     | <u>1,131.2 SF</u> existing + <u>133 SF</u> proposed =                          | <u>1,262.2 SF</u>   |
| 6.  | Amount of lot area covered by <b>accessory buildings</b> :                     |                     |
|     | <u>389 SF</u> existing + <u>0 SF</u> proposed =                                | <u>389 SF</u>       |
| 7.  | Amount of lot area covered by <b>decks</b> :                                   |                     |
|     | <u>480.4 SF</u> existing + <u>-385.7 SF</u> proposed =                         | <u>94.7 SF</u>      |
| 8.  | Amount of lot area covered by <b>porches</b> :                                 |                     |
|     | <u>232.6 SF</u> existing + <u>0 SF</u> proposed =                              | <u>232.6 SF</u>     |
| 9.  | Amount of lot area covered by <b>driveway, parking areas and walkways</b> :    |                     |
|     | <u>1361 SF</u> existing + <u>0 SF</u> proposed =                               | <u>1,361 SF</u>     |
| 10. | Amount of lot area covered by <b>terraces</b> :                                |                     |
|     | <u>0 SF</u> existing + <u>272.5 SF</u> proposed =                              | <u>272.5 SF</u>     |
| 11. | Amount of lot area covered by <b>tennis court, pool and mechanical equip</b> : |                     |
|     | <u>0 SF</u> existing + <u>0 SF</u> proposed =                                  | <u>0 SF</u>         |
| 12. | Amount of lot area covered by <b>all other structures</b> :                    |                     |
|     | <u>0 SF</u> existing + <u>0 SF</u> proposed =                                  | <u>0 SF</u>         |
| 13. | <b>Proposed gross land coverage: Total of Lines 5 - 12</b>                     | <u>3,612.0 SF</u>   |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

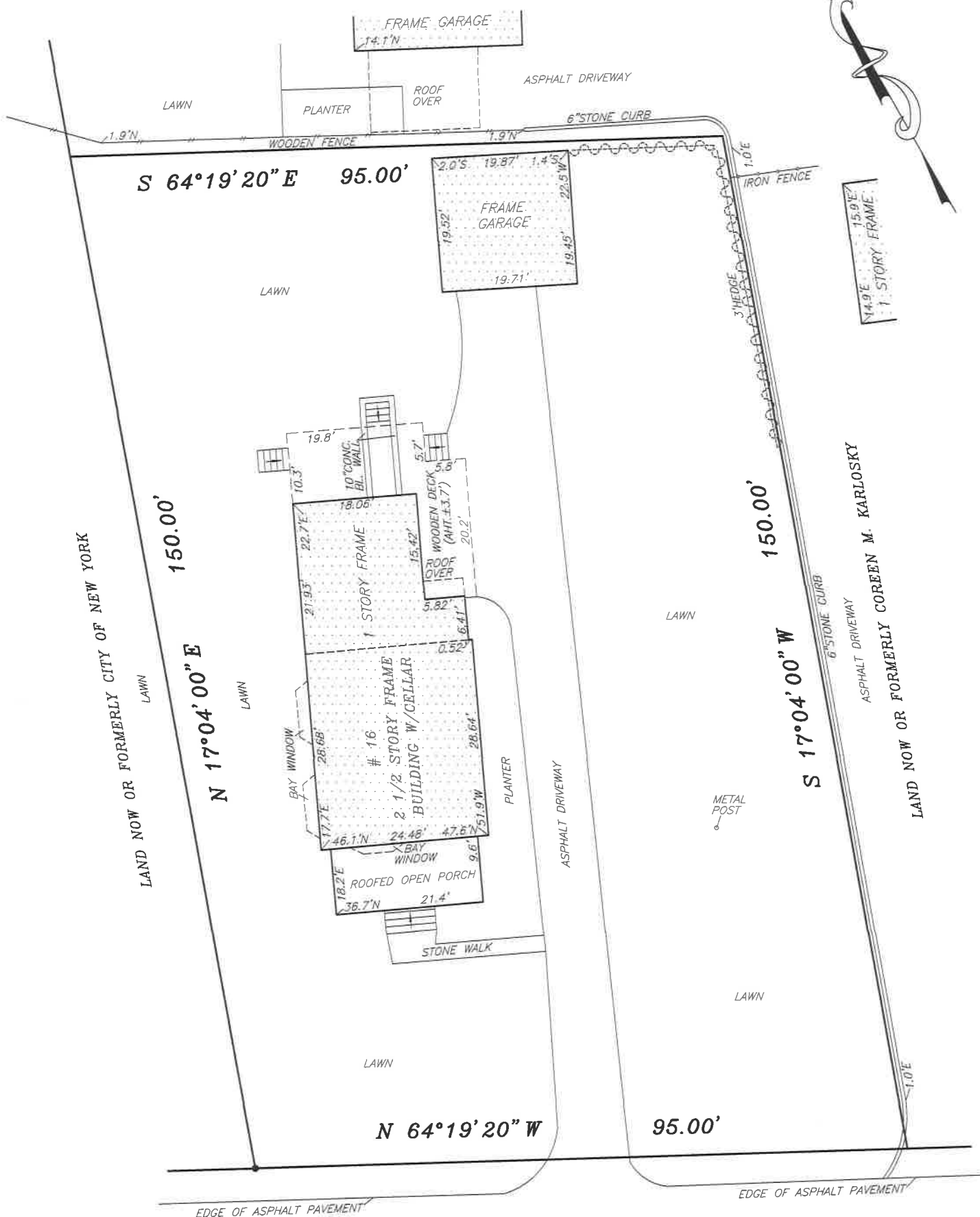
*John M. Saucillo*

Signature and Seal of Professional Preparing Worksheet



09/05/2022  
Date

LAND NOW OR FORMERLY COREEN M. KARLOSKY



SCHOOL (60' WIDE) STREET

THE EXISTENCE OF RIGHT OF WAY AND/OR EASEMENT OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.

**NOTE:**  
 1. UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.  
 2. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
 3. CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL, AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.  
 4. UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.

**CERTIFIED TO:**  
 1. FIDELITY NATIONAL TITLE INSURANCE COMPANY  
 2. LANDSTAR TITLE AGENCY INC.  
 3. ROGER SHAPIRO AND ELYSE SHAPIRO  
 4. QUICKEN LOANS, INC.

**CSE CONSTRUCTION**  
 LAND SURVEYING  
 61-51 DRY HARBOR RD.  
 MIDDLE VILLAGE NY 11379  
 TELEPHONE (347) 981-8435  
 FAX (347) 730-6691  
 WWW.CSESUWALA.COM  
 licensed in NY and NJ

ARMONK  
 TOWN OF NORTH CASTLE  
 COUNTY OF WESTCHESTER  
 STATE OF NEW YORK  
 SWIS 553800  
 SECTION 108.01  
 BLOCK 2  
 LOT 37

DATE: MAY 7, 2016  
 CSE 16050  
  
 ARKADIUSZ JUSIEGA, PLS.  
 NEW YORK LICENSE 050569-1

# ADDITION & ALTERATION PERMIT PLANS FOR: 16 SCHOOL STREET, ARMONK 10504



**www.ResReal.com**  
(914)-330-7712

361 Route 202 - Suite #7  
Somers, NY 10589

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 10801-2-37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10

### BUILDING CODE AND REFERENCE STANDARDS:

THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

### DETAILS SCOPE OF WORK DESCRIPTION

EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS SCOPE:

- 1. ADDITION & ALTERATIONS TO EXISTING SINGLE FAMILY DWELLING.

### CLASSIFICATION OF WORK- ALTERATION LEVEL 2

THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN **ALTERATION - LEVEL 2 (A301.5)**, WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL **GROUP R3 WITH CONSTRUCTION TYPE V**, EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

### GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
- ALL DIMENSIONS ARE TO ROUGH FRAMING
- CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
- CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
- THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
- ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
- DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

### ENERGY CONSERVATION CODE OF NEW YORK

- 2020 RESIDENTIAL CODE OF NY STATE CHAPTER 11 SECTION N1101 GENERAL AND [NY] SECTION AJ104 ENERGY EFFICIENCY.
  - NEW YORK STATE CLIMATE ZONES BY COUNTY (TABLE N.1 101.4)
  - CLIMATE ZONE 4 INSULATION AND FENESTRATION BY COMPONENT (TABLE N 1102.1(1))

### ENERGY STATEMENT:

I, JOHN M. SCAVELLI, CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS DRAWING PACKAGE IS PREPARED IN CONFORMANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE. CODE REQUIREMENTS FOR THE CLIMATE ZONE AND BUILDING TYPE LISTED BELOW.

CLIMATE ZONE: ZONE (4) WESTCHESTER

BUILDING TYPE: 1- FAMILY RESIDENTIAL.

### ENERGY CONSERVATION CODE:

DESIGN DATA: TABLE 301.1  
CLIMATE ZONE: 4  
CODE DESIGN APPROACH: CHAPTER 4 (TABLE 402.1.1)  
FENESTRATIONS:  
FENESTRATION U FACTOR: REQ= 0.32  
GLAZED FENESTRATION SHGC: REQ= 0.40  
WINDOWS, SKYLIGHTS, SLIDING GLASS DOORS AIR INFILTRATION: <=0.3CFM PER SF  
SWINGING DOORS AIR INFILTRATION: <= 0.5 CFM PER SF  
PROPOSED ANDERSEN LOW-E TYPE GLASS

R-VALUE CHART	
DESCRIPTION	PROPOSED
CEILING	49
WALL	21
FLOOR	19
BASEMENT WALL	13

ANY EXPOSED EXTERIOR WALLS, FLOORS ADJACENT TO UNCONDITIONED SPACES, AND CEILINGS ADJACENT TO UNCONDITIONED SPACES SHALL BE UPDATED WITH NEW INSULATION.

### SMOKE DETECTION AND NOTIFICATION NOTES:

- EXISTING DWELLINGS UNDERGOING REPAIR, ALTERATION CHANGE OF OCCUPANCY, ADDITION OR RELOCATION SHALL BE PROVIDED WITH SMOKE ALARMS IN COMPLIANCE WITH LOCAL BUILDING CODE.
- ALL COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE RESIDENTIAL CODE AND NFPA 72
- ALL EXISTING SMOKE, CO & HEAT DETECTORS SHALL REMAIN IN EXISTING LOCATIONS. DETECTORS SHALL BE TESTED TO ENSURE IN WORKING CONDITIONS AND INSTALLED AT ALL LOCATIONS AS LISTED BELOW.

### REQUIRED LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
- ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT CRAWL SPACES AND UNINHABITABLE ATTICS.
- ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.

### FRAMING NOTES:

- ALL STRUCTURAL PRODUCTS SHALL BE IDENTIFIED BY GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY CERTIFYING AGENCY.
- FOR ALL OPENINGS NOT OTHERWISE NOTED, SCHEDULED OR DETAIL ON THE PLANS, HEADER SIZING SHALL FOLLOW THE SIZES LISTED ON HEADER TABLE.
- WOOD FRAMING SHALL MAINTAIN 8" CLEARANCE ABOVE GRADE.
- UNLESS OTHERWISE NOTED 2x4 COLLAR TIES SHALL BE INSTALLED AT THE TOP THIRD POINT OF EVERY OTHER ROOF RAFTER. CUT ENDS TO FIT SLOPE AND NAIL TO ADJACENT RAFTERS.
- NOTCH RAFTERS TO FIT EXTERIOR WALL PLATES AND TOE NAIL OR USE METAL FRAMING ANCHORS.
- ANY OPENINGS IN ROOF FRAMING SHALL HAVE 2-PLY RAFTERS TO FORM HEADERS AND TRIMMERS AROUND ROOF OPENING AND SUPPORT WITH METAL HANGERS WHERE REQUIRED.
- WHERE RAFTERS ABUT AT RIDGE, PLACE DIRECTLY OPPOSITE EACH OTHER AND NAIL TO RIDGE MEMBER.
- HIP AND VALLEY RAFTERS SHALL BE 2-PLY AND MINIMUM 2" DEEPER THAN ADJACENT RAFTERS UNLESS SIZE NOTED OTHERWISE. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING AGAINST VALLEY RAFTER.

### DESIGN LOADS:

LIVE LOAD = 40 PSF ,DEAD LOAD = 20 PSF ,ROOF LIVE = 20 PSF ,ROOF (SNOW) = 30 PSF  
ALLOWABLE DEFLECTION = L/360

### LIGHT VENTILATION AND HEATING NOTES:

- LIGHT, VENTILATION AND HEATING SHALL BE PROVIDED IN ACCORDANCE WITH RESIDENTIAL CODE R303.
- DWELLING UNIT SHALL BE PROVIDED WITH SUFFICIENT HEATING FACILITIES CAPABLE OF MAINTAINING 68°F (20°C) AT A POINT OF 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS.
  - WHERE GLAZING INSTALLATION IS NOT FEASIBLE, PERMANENT ARTIFICIAL LIGHT SHALL BE PROVIDED CAPABLE OF PROVIDING 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL.
  - WHERE NATURAL VENTILATION IS NOT FEASIBLE THROUGH WINDOW OPENINGS A MECHANICAL VENTILATION SYSTEM CAPABLE OF 0.35 AIR CHANGES PER HOUR SHALL BE INSTALLED.
  - NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS IN COMPLIANCE WITH N1104.1 (R404.1)

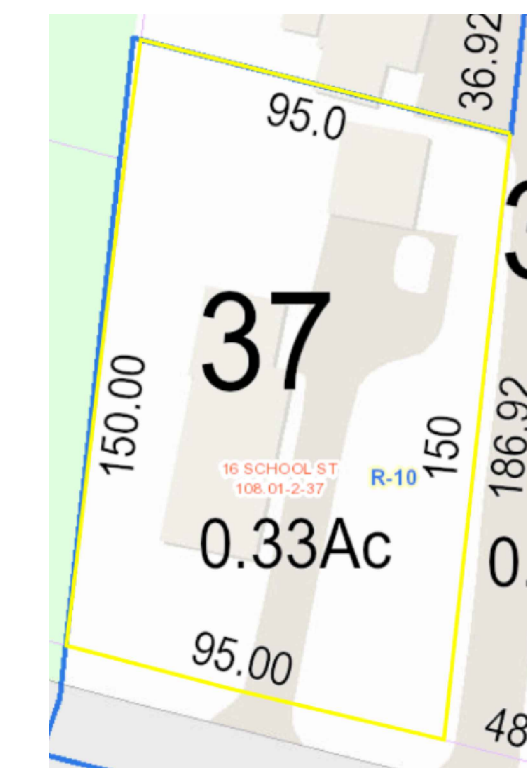
### ELECTRICAL NOTES:

- THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE ELECTRICAL SYSTEM.
- ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED ELECTRICAL CONTRACTOR.
- CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES
- ELECTRICAL OUTLET PLACEMENT IS FOR LOCATION ONLY, COORDINATE INSTALLATION WITH ALL TRADE WORK.
- INSTALL ALL OUTLETS AT 15" AFF EXCEPT OTHERWISE NOTED, OR TO MATCH HEIGHTS OF EXISTING OUTLETS WITHIN THE SAME SPACE.
- ALL FLOOR OUTLETS SHALL BE INSTALLED AS CLOSE TO THE DIMENSIONED LOCATIONS AS POSSIBLE, WITHIN A TOLERANCE OF 2" BUT NOT TO EXCEED PLACEMENT DISALLOWED BY LOCAL CODE.
- ELECTRICAL PANELS SHALL BE FULLY LABELED WITH CIRCUIT NUMBERS AND IDENTIFICATIONS FOR ALL SPACES SERVED BY EACH CIRCUIT.
- ALL NEW SWITCHES SHALL BE GANGED TOGETHER WHENEVER MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION.
- ALL SWITCHES TO BE MOUNTED AT 48" AFF UNLESS OTHERWISE NOTED.
- ALL WIRING SHALL BE PROVIDED AND INSTALLED PER NFPA 70 NATIONAL ELECTRICAL CODE REQUIREMENTS.
- ELECTRICAL COMPONENTS, EQUIPMENT, AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN CONFORMANCE W/ NFPA 70 NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL FIXTURE SELECTIONS, SWITCHES AND OUTLETS AND GAIN OWNER APPROVAL PRIOR TO INSTALLATION.
- ALL EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.

### PLUMBING

- PLUMBING COMPONENTS, EQUIPMENTS AND SYSTEMS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLUMBING CODE.
- THE GC SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND CODE COMPLIANCE OF THE PLUMBING SYSTEM.
- ALL WORK TO BE PERFORMED UNDER SUPERVISION OF A LICENSED TRADE PROFESSIONAL CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED TO COMPLETE WORK AND SCHEDULE NECESSARY INSPECTIONS WITH LOCAL AUTHORITIES

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA							
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	HEATING DEGREE DAYS
30 PSF	120 MPH	C	SEVERE	42"	MODERATE/HEAVY	SLIGHT/MODERATE	5750 DEGREE DAYS (CLIMATE ZONE 4)



**G** GIS VIEW  
SCALE: NTS

**A1** AERIAL VIEW  
SCALE: NTS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXIST INTERIOR WALL		EXHAUST FAN
	EXST EXTERIOR WALL		EXHUAST FAN AND LIGHT
	NEW EXTERIOR WALL		LIGHT FIXTURE
	NEW INTERIOR WALL		WALL MOUNTED LIGHT FIXTURE
	CONCRETE WALL		REFRIGERATOR OUTLET
	BLOCK WALL		GFCI OUTLET
	BRICK EXST WALL		OUTLET
	2 LAYERED INT WALL		DISHWASHER OUTLET
	BASEMENT INSULATED WALL		LAUNDRY HOOKUP
	BASEBOARD HEATER		SMOKE DETECTOR
	DOOR TAG		ELECTRICAL PANEL
	WINDOW TAG		SHUT OFF VALVE
	CEILING FAN		WATER METER/ SHUTOFF
	STRUCTURAL ELEMENT		GAS METER
	WATER FILTER		MECHANICAL
	OIL TANK		WATER HEATER
	CONCRETE ELEMENT		

NOTE: NOT ALL SYMBOLS LISTED MAY BE USED UNDER THIS DRAWING PACKAGE.

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

### PROJECT:

**16 School Street  
Armonk, NY 10504**

### DRAWING TITLE:

**GENERAL NOTES  
SHEET 1**

**G-101**

NOTES:

**AIR BARRIER & INSULATION NOTES**

- 1. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO COMPLY WITH R402.4.1.1 AND R402.4.1.2
2. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. BREAKS AND JOINTS IN THE BARRIER SHALL BE SEALED.
3. ACCESS OPENINGS, DROP DOWN STAIRS OR ACCESS DOORS TO UNCONDITIONED SPACES SHALL BE SEALED.
4. JUNCTION BETWEEN FOUNDATION AND SILL PLATE SHALL BE SEALED.
5. SPACES BETWEEN FENESTRATION ELEMENTS SUCH AS WINDOWS, DOORS, SKYLIGHTS (IF APPLICABLE) SHALL BE SEALED.
6. RIM JOISTS SHALL BE INSULATED AND PROVIDED WITH AIR BARRIER.
7. UTILITY SHAFTS, UTILITY PENETRATIONS AND FLUE SHAFTS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
8. AIR SEALING SHALL AND INSULATION SHALL BE PROVIDED BETWEEN GARAGE AND CONDITIONED SPACE.
9. RECESSED LIGHT FIXTURES SHALL BE SEALED TO DRYWALL.
10. AIR BARRIER AND INSULATION SHALL BE PROVIDED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS.
11. HVAC REGISTERS THAT PENETRATE THE THERMAL ENVELOPE SHALL BE SEALED.
12. SPRINKLER PENETRATIONS IF APPLICABLE SHALL BE SEALED ONLY IN ACCORDANCE WITH THE SPRINKLERS MANUFACTURERS' RECOMMENDATIONS. CAULKING OR ADHESIVES SHALL NOT BE APPLIED TO ANY SPRINKLER COVER PLATES.

**ROOF AND FLASHING NOTES**

- 1. ROOFING AND ROOF FLASHING SHALL BE INSTALLED IN COMPLIANCE WITH SECTION R902 AND R903.
2. FLASHING SHALL BE INSTALLED IN A MANNER THAT PREVENTS MOISTURE FROM ENTERING THE WALL AND ROOF THROUGH JOINTS IN COPINGS, THROUGH MOISTURE PERMEABLE MATERIALS AND AT INTERSECTIONS WITH PARAPET WALLS AND OTHER ROOF PENETRATIONS AS APPLICABLE.
3. FLASHING SHALL BE INSTALLED AT ALL WALL AND ROOF INTERSECTIONS WHENEVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
4. FLASHING SHALL BE INSTALLED TO DIVERT THE WATER AWAY FROM WHERE THE EAVE OF A SLOPED ROOF INTERSECTS A VERTICAL SIDE WALL.
5. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN .019 INCH.
6. ROOFS SHALL BE COVERED WITH MATERIALS AS SET FORTH IN SECTION R904 AND R905.
7. CLASS A B OR C ROOFING SHALL BE INSTALL IN JURISDICTIONS DESIGNATED BY LAW AS REQUIRING THEIR USE OF WHERE THE EDGE OF THE ROOF IS LESS THAN 3 FEET FROM A LOT LINE.
8. CLASS A, B, C ROOFING REQUIRED TO BE LISTED AND TESTED IN ACCORDANCE WITH UL 790 OR ASTM 108

**CONCRETE NOTES:**

- 1. STRUCTURAL CONCRETE STRENGTH SHALL BE fc = 4,000 PSI WITH NORMAL WEIGHT AGGREGATE.
2. ALL CONCRETE MIXES SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AND THE ACI 318. MIX DESIGNS FOR EACH TYPE AND STRENGTH SHALL BE PREPARED BY CONTRACTOR AND TESTED BY INDEPENDENT TESTING LABORATORY.
3. PORTLAND CEMENT SHALL CONFORM TO ASTM C150.
4. FLY ASH MAY BE USED IN CONCRETE MIXES, THE FLY ASH SHALL CONFORM TO ASTM C618.
5. NORMAL WEIGHT AGGREGATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C33.
6. LIGHT WEIGHT AGGREGATE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C330 AD ASTM C157.
7. CONCRETE FORMS SHALL BE LAID OUT AND CONSTRUCTED TO MEET DIMENSIONS REQUIRED ON PLANS.
8. REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615, GRADE 60. REINFORCING BARS, WHICH ARE TO BE WELDED, SHALL CONFORM TO APPLICABLE ASTM AND AWS SPECIFICATIONS.
9. ALL BARS AT NON-CONTINUOUS ENDS SHALL HAVE A STANDARD HOOK.
10. ALL DOWELS SHALL BE FULLY DEVELOPED IN TENSION UNLESS OTHERWISE NOTED.
11. ALL REINFORCING STEEL SHALL BE SECURELY HELD IN ORDER TO MAINTAIN ITS POSITION WHILE CONCRETE IS POURED. CHAIRS, TIES, SPACERS, ADDITIONAL BARS AND STIRRUPS, ETC. SHALL BE PROVIDED BY THE CONTRACTOR.
12. CONTRACTOR SHALL COORDINATE AND INSTALL ALL REQUIRED EMBEDDED ITEMS, SLEEVES, POCKETS, ETC PRIOR TO CONCRETE PLACEMENT.
13. MECHANICAL, ELECTRICAL OR OTHER BUILDING SERVICE ITEMS SHALL NOT PASS THROUGH CONCRETE BEAMS.

**SLAB ON GRADE NOTES:**

- 1. SLAB ON GRADE SHALL BE PLACED ON BACKFILL THAT SHALL BE COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR VALUE WITH MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D1557.
2. A MINIMUM OF 6" THICK COMPACTED GRANULAR LAYER IS TO BE PLACED BELOW ALL GRADE SLABS. GRANULAR SHALL BE AS NOTED ON DETAILS OR AS APPROVED USING SAND-GRAVEL OR CRUSHED STONE.
3. A VAPOR BARRIER ACCORDING TO THE SPECIFICATIONS SHALL BE PLACED ABOVE THE COMPACTED GRANULAR LAYER PER DETAILS.

**MECHANICAL NOTES**

- 1. THE HVAC SYSTEMS DESIGN AND INSTALLATIONS, OR MODIFICATIONS TO SUCH SYSTEMS, SHALL MEET OR EXCEED THE DESIGN CRITERIA AND QUALITY STANDARDS ESTABLISHED FOR THE BASE BUILDING CONSTRUCTION.
2. AT THE COMPLETION OF THE INSTALLATION, TEST AND BALANCE ALL CONTROLS AND SYSTEMS ACCORDING TO MANUFACTURER OR ASHRAE STANDARDS. ANY DEFICIENCIES OR INCONSISTENCIES SHALL BE CORRECTED, AND A BALANCING REPORT BY AN INDEPENDENT ACCREDITED TESTING FIRM SHALL BE SUBMITTED.
3. MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR HVAC SYSTEM PERFORMANCE AND CODE COMPLIANCE.
4. THE MECHANICAL SUBCONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS FOR ALL PURCHASED EQUIPMENT AND OFF SITE MANUFACTURED SYSTEM COMPONENTS TO THE OWNER PRIOR TO ORDERING, FABRICATION OR INSTALLATION.
5. THE OWNER SHALL REVIEW SUBMITTALS FOR GENERAL CONFORMANCE TO DESIGN CRITERIA AND AESTHETIC CONSIDERATIONS ONLY. THE GC SHALL BE RESPONSIBLE FOR THE OVERALL MEP SYSTEM PERFORMANCE.
6. ALL MECHANICAL, ELECTRICAL, PLUMBING AND LIFE SAFETY DESIGN AND INSTALLATION WORK SHALL CONFORM TO APPLICABLE INDUSTRY STANDARDS AND SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE AND MUNICIPAL REVIEW AND REGULATORY AGENCIES HAVING JURISDICTION. (REFERENCE HIGHEST STANDARD, LOWEST TOLERANCE).
7. REFER TO MECHANICAL CONTRACTOR FOR ADDITIONAL MECHANICAL PLANS, DETAILS, DIAGRAMS AND SPECIFICATIONS.
8. MECHANICAL APPLIANCES, EQUIPMENT AND SYSTEMS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED IN CONFORMANCE WITH INTERNATIONAL MECHANICAL CODE.

**NAILING SCHEDULE:**

- 1. JOIST TO SILL OR GIRDER - (3) 8D
2. BRIDGING TO JOIST, TOE NAIL EACH END - (2) 8D
3. LEDGER STRIP - THREE 16d AT EACH JOIST
4. SUB-FLOORING, SIX INCHES WIDE OR LESS TO EACH JOIST FACE NAIL - (2) 8D
5. SOLE PLATE TO JOIST OR BLOCKING, FACENAIL - 16D AT 16" O.C.
6. TOP PLATE TO STUD, END NAIL - (2) 16D
7. STUD TO SOLE PLATE, TOE NAIL - (4) 8D OR (3) 16D
8. DOUBLE STUDS, FACENAIL - 10D AT 16" O.C.
9. DOUBLE TOP PLATES, FACENAIL - 10D AT 16" O.C.
10. TOP PLATES, LAP AND INTERSECTIONS, FACENAIL - (2) 10D
11. ROOF RAFTERS TO RIDGE, VALLEYS OR HIP RAFTERS, TOE NAIL (3) 16 FACE NAIL THREE 16D
12. RIM JOIST TO TOP PLATE, TOE NAIL 8D AT 6" O.C.
13. CONTINUOUS HEADER, 16D AT 16" O.C.
14. CEILING JOISTS TO PLATE, TOENAIL - (3) 16D
15. CONTINUOUS HEAD TO STUD, TOENAIL - (4) 8D
16. CEILING JOISTS, LAPS OVER PARTITIONS, FACENAIL - (3) 10D
17. CEILING JOISTS TO PARALLEL RAFTERS, FACENAIL - (3) 10D
18. RAFTER TO PLATE, TOENAIL - (3) 16D
19. BRACE ONE INCH TO EACH STUD AND PLATE, FACENAIL - (3) 8D
20. SHEATHING AND SUB-FLOORING, 1 INCH BY UP TO 8 INCH, EACH BEARING FACENAIL - (3) 8D
21. SHEATHING AND SUB-FLOORING, WIDER THAN ONE INCH B MORE THAN SINGH EACH BEARING FACENAIL (3) 8D
22. BUILT-UP CORNER STUDS - 16(D) AT 16" O.C.
23. BUILT-UP GIRDERS AND BEAMS - 10D, NAIL EACH 2" LUMBER LAYER AT 24" O.C. ALONG EACH EDGE AND STAGGERED.
24. COLLAR TIES TO RAFTERS FACE NAIL (4) 8D

**GLAZING NOTES:**

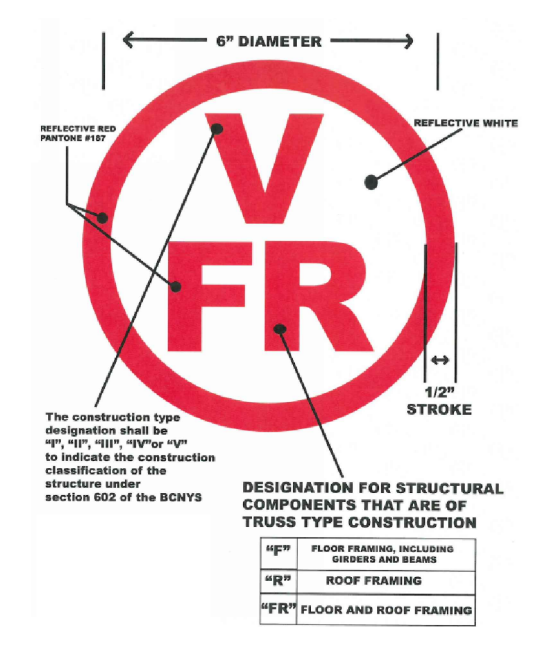
- 1. GLAZING INSTALLED IN HAZARD LOCATIONS AS DEFINED BY SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID, ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR BE A TYPE OF THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.

**FOUNDATION NOTES:**

- 1. ALL FOUNDATIONS, FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED, NON-ORGANIC MATERIALS, COMPACTED STRUCTURAL FILL OR CRUSHED STONE.
2. THE GENERAL CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA REGARDING OPEN HOLES, SLOPE STABILITY AND EXCAVATION PROCEDURES.
3. ALL FOUNDATION FOOTINGS SHALL BE MINIMUM 3'-6" OR MORE BELOW FINISHED GRADE.
4. BACKFILLING OF FOUNDATIONS SHALL NOT EXCEED MORE THAN 2'-0" UNBALANCED BACK FILL CONDITIONS WITHOUT TEMPORARY SHORING OF FOUNDATIONS WALLS, UNLESS FLOOR SYSTEM HAS BEEN FRAMED OR DECKED.
5. WHEREVER BEDROCK IS ENCOUNTERED THE ROCK SHALL BE REMOVED TO 2'-0" BELOW BOTTOM OF FOOTINGS OR 1'-0" BELOW BOTTOM OF SLAB AND RESTORED IN 8" LIFTS OF COMPACTED CRUSHED STONE.
6. A GEOTECHNICAL EXPLORATION AND TESTING HAS NOT BEEN UNDERTAKEN. IT IS RESPONSIBILITY OF OWNER OR CONTRACTOR TO UNDERTAKE ANY ADDITIONAL TEST PITS, BORINGS OR INVESTIGATION AS NECESSARY TO ASSURE MINIMUM BEARING CAPACITY.

**EROSION CONTROL MEASURE NOTES:**

- 1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION..
2. APPROVAL OF THIS EROSION CONTROL MEASURES DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN.
3. A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
4. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
5. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
7. ALL LOCATIONS OF EXISTING UTILITIES SHALL BE ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
9. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING.
10. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
12. THE EROSION CONTROL FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
13. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM OF 6" WITHIN THE FIRST 10 FEET, PER THE INTERNATIONAL RESIDENTIAL CODE R401.3.



**ENGINEERED WOOD CONSTRUCTION NOTES:**

PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE, A TRUSS IDENTIFICATION SIGN (AS SHOWN) SHALL BE FIXED AT THE ELECTRICAL METER STATING THAT THIS PROPERTY'S STRUCTURE UTILIZES TRUSS, TYPE, PRE-ENGINEERED WOOD AND OR TIMBER CONSTRUCTION. SIGN SHALL BE PERMANENT, NON-FADING, WEATHER RESISTANT STICKER OR DECAL.

**LANDSCAPING NOTES:**

- 1. FURNISH ALL MATERIALS, LABOR AND RELATED ITEMS AS REQUIRED FOR LANDSCAPING FINISHES AROUND PREMISES.
2. ALL DISTURBED GRASS AREAS SHALL BE REPLANTED WITH NEW GRASS SEED AND SHALL BE APPROPRIATELY COVERED TO FACILITATE NEW SEASONAL GRASS GROWTH.
3. ALL DEBRIS, ROCKS, FOREIGN OBJECTS OVER 2" DIAMETER SHALL BE REMOVED FROM TOP SURFACE OF ALL PREPARED LANDSCAPE AREAS PRIOR TO ANY NEW LANDSCAPING WORK.
4. SEED MIXTURE CONTAINING 40% PERENNIAL RYE GRASS, 25% CHEWING FESCUE AND 10% OF MIXED CLOVER OR SIMILAR COVERAGE SHALL BE SPREAD OVER EXCAVATED PREMISES AT THE RATE OF 100 POUNDS PER ACRES. SEED SHALL BE BRUSHED IN LIGHTLY AND ROLLED FIRM.
5. EXISTING TREES AND SHRUBS ON SITE SHALL BE PROTECTED DURING CONSTRUCTION.
6. EXISTING SHRUBS AND TREES SHALL BE GROOMED AND TRIMMED AND ALL ADDITIONAL DEBRIS TO BE REMOVED FROM SITE.

**DRAINAGE NOTES:**

- 1. SITE GRADING SHALL BE PROVIDED TO DIRECT WATER AROUND AND AWAY FROM WALL STRUCTURE.
2. EXTERIOR WALL INSTALLATION SHALL TAKE INTO CONSIDERATION THE MANAGEMENT OF DIRECTING WATER AWAY FROM WALL.
3. DRAINAGE SYSTEM SHALL BE INSTALLED TO REMOVE INCIDENTAL WATER THAT INFILTRATES INTO THE SOIL BEHIND THE WALL.
4. DRAIN PIPING SHALL BE LOCATED AT THE BACK OF THE ROCK DRAIN FIELD BEHIND THE WALL IN AS CLOSE PROXIMITY TO THE BOTTOM OF THE WALL TO MAINTAIN A POSITIVE GRADIENT FOR DRAINAGE TO A STORM WATER MANAGEMENT SYSTEM.
5. IF GROUND WATER IS DETECTED DURING EXCAVATION, ADEQUATE DRAINAGE SHALL BE PROVIDED AS REQUIRED.
6. SUFFICIENT DRAINAGE SHALL BE PROVIDED SUCH THAT HYDROSTATIC LOADING IS NOT CREATED ON WALL ASSEMBLIES,

**FINISH NOTES:**

- 1. BATHROOM FLOORING TO BE CERAMIC TILE AND APPROVED EQUAL.
2. BATHROOM WALLS <48" ABOVE FINISHED FLOORS SHALL BE CERAMIC TILE OR APPROVED EQUAL.
3. BATHROOM CEILINGS AND WALLS >48" ABOVE FINISHED FLOORS SHALL BE MOISTURE RESISTANT 1/2" GYPSUM BOARD WITH LEVEL 4 FINISH. ALL FINAL PAINT COLORS SHALL BE APPROVED BY OWNER.
4. KITCHEN FLOORING TO BE WOOD FLOORING TO MATCH EXISTING OAK WOOD FLOORS. FINISH AND COLOR TO MATCH EXISTING. PROVIDE STC 50 PADDED UNDERLAYMENT WHERE NEW FLOORING IS REQUIRED TO BE INSTALLED.
5. ANY INFILL WALL CONSTRUCTION OR DAMAGED WALLS DURING CONSTRUCTION SHALL BE PREPPED AND FINISHED TO MATCH EXISTING. EXISTING PLASTER OR GYPSUM BOARD SHALL BE PREPPED AND PREPARED FOR FINISH COAT OF PAINT.
6. ALL NEW 1/2" GYPSUM BOARD USED SHALL BE PREPPED WITH LEVEL 4 FINISH PRIOR TO PAINTING.
7. ALL BASE BOARD AND DOOR MOLDINGS AND CASINGS SHALL BE WOOD AND SHALL MATCH EXISTING BASEBOARD AND DOOR CASING STYLE AND SIZE. ALL NEW CASINGS AND MOLDINGS SHALL BE PAINTED WITH SEMI-GLOSS PAINT. COLOR AS APPROVED BY OWNER.
8. EXISTING WOOD FLOORING IN NEW OFFICE SPACE SHALL REMAIN.
9. PROVIDE NEW 1/2" OAK SADDLES WITH 1/4" BEVEL AT FLOOR TRANSITIONS AT NEW DOORWAY OPENINGS. SADDLES SHALL BE STAINED AND FINISHED TO MATCH EXISTING FLOORING.

**EXTERIOR SIDING RENOVATIONS:**

- 1. MATCH NEW SIDING WITH EXISTING WITH LIKE KIND AND COLOR. INSTALL IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.
2. ALL COLORS AND FINISHES SHALL BE MOCKED UP AND APPROVED BY OWNER PRIOR TO INSTALLATION.

**LIGHTING REQUIREMENTS**

- 1. LIGHTING SHALL BE INSTALLED IN COMPLIANCE WITH THE ENERGY CONSERVATION CODE.
2. RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
3. ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E283 AT A 1.57 PSF PRESSURE DIFFERENTIAL.
4. ALL RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
5. NOT LESS THAN 90 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.
6. RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.



www.ResReal.com
(914)-330-7712
361 Route 202 - Suite #7
Somers, NY 10589

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 16 SCHOOL STREET
PROJECT TOWN: ARMONK, NY 10594
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 108-01-2-37
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-10

Table with 5 columns: ISSUE, DATE, BY, CHECKED, APPROVED. Row 1: 0, 09/17/2022, JMS, JMS, JMS

SEAL & SIGNATURE:



JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

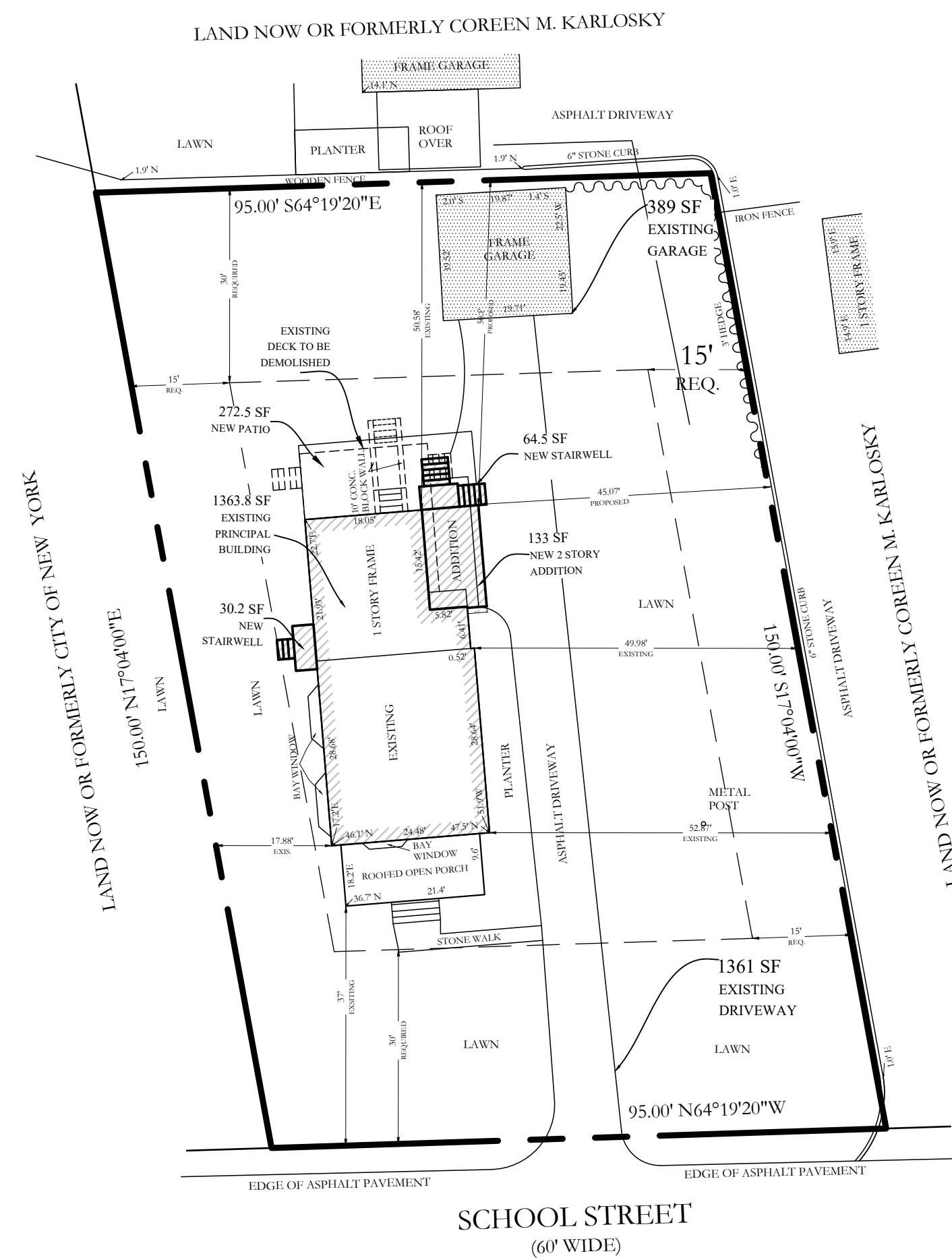
PROJECT:
16 School Street
Armonk, NY 10504

DRAWING TITLE:
GENERAL NOTES
SHEET 2

G-102

NOTES:

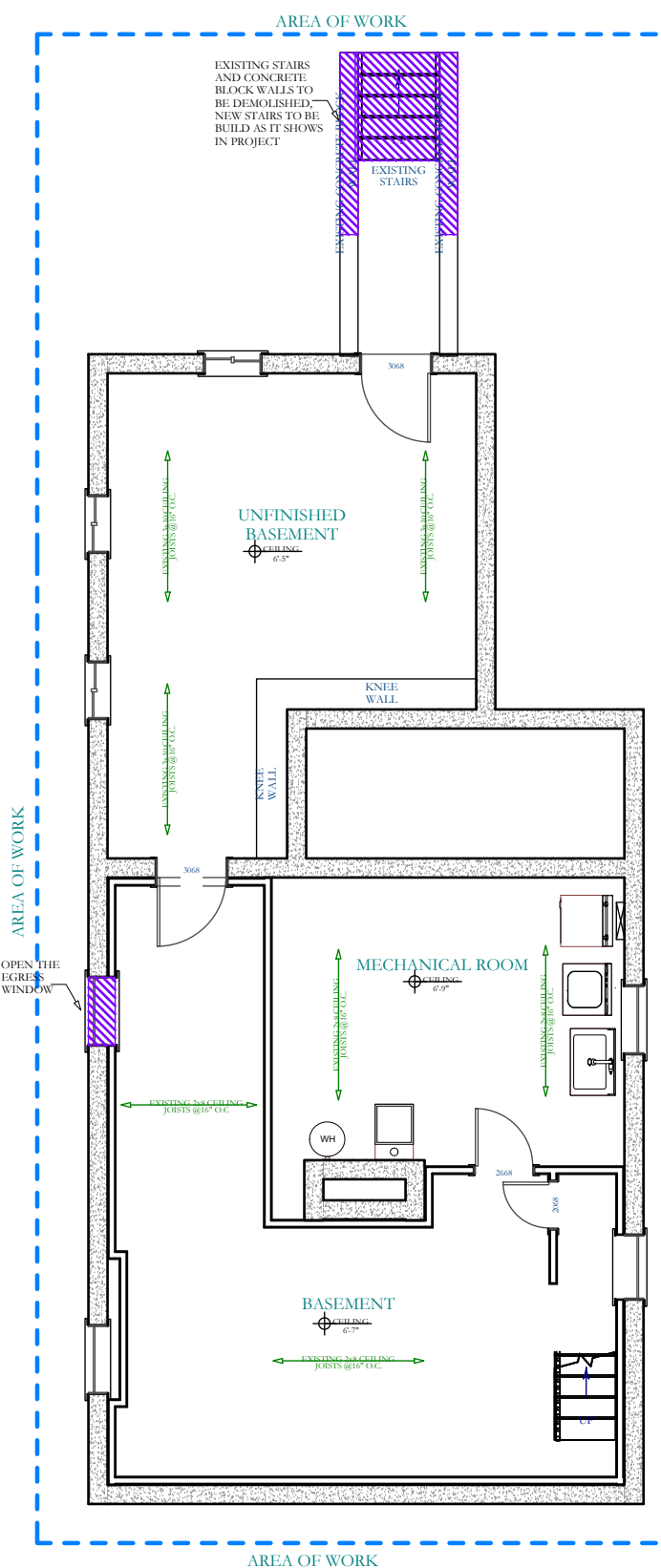




THIS IS NOT INTENDED FOR DISTRIBUTION AS A PROPERTY SURVEY. THIS IS A PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES.

**S-1 SITE PLAN**  
1"=20'-0"

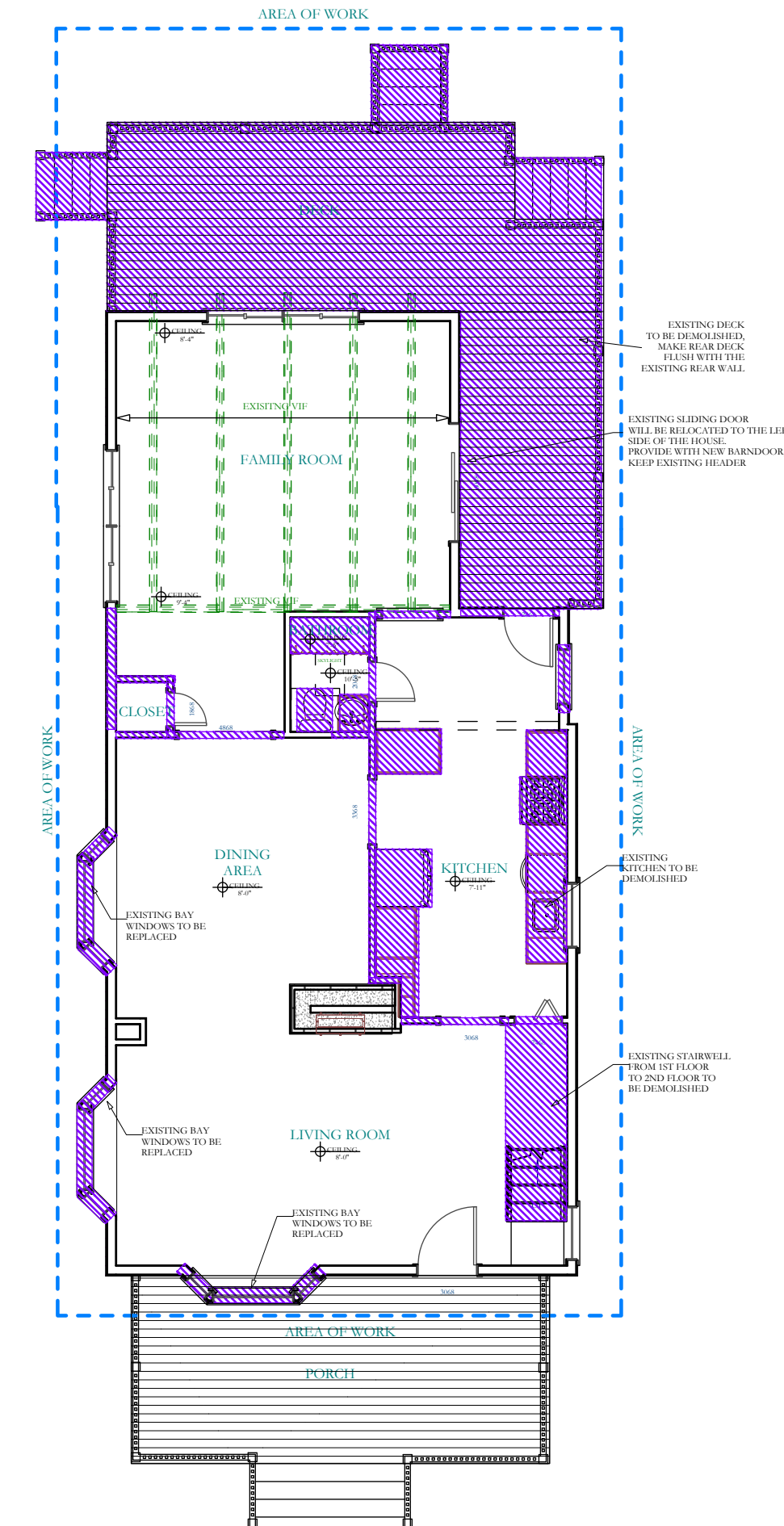
ZONING SCHEDULE				
INFO	ALLOWABLE	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA	10,000	14,089.36	14,089.36	NO
LOT WIDTH AND FRONTAGE	100	100	100	NO
FRONT	30	37'	37'	NO
SIDE	15	17.88'	17.88'	NO
SIDE 2	15	49.98'	45.07'	NO
REAR	30	50.58'	50.1'	NO
BUILDING COVERAGE	30%	9.6%	10.57%	NO



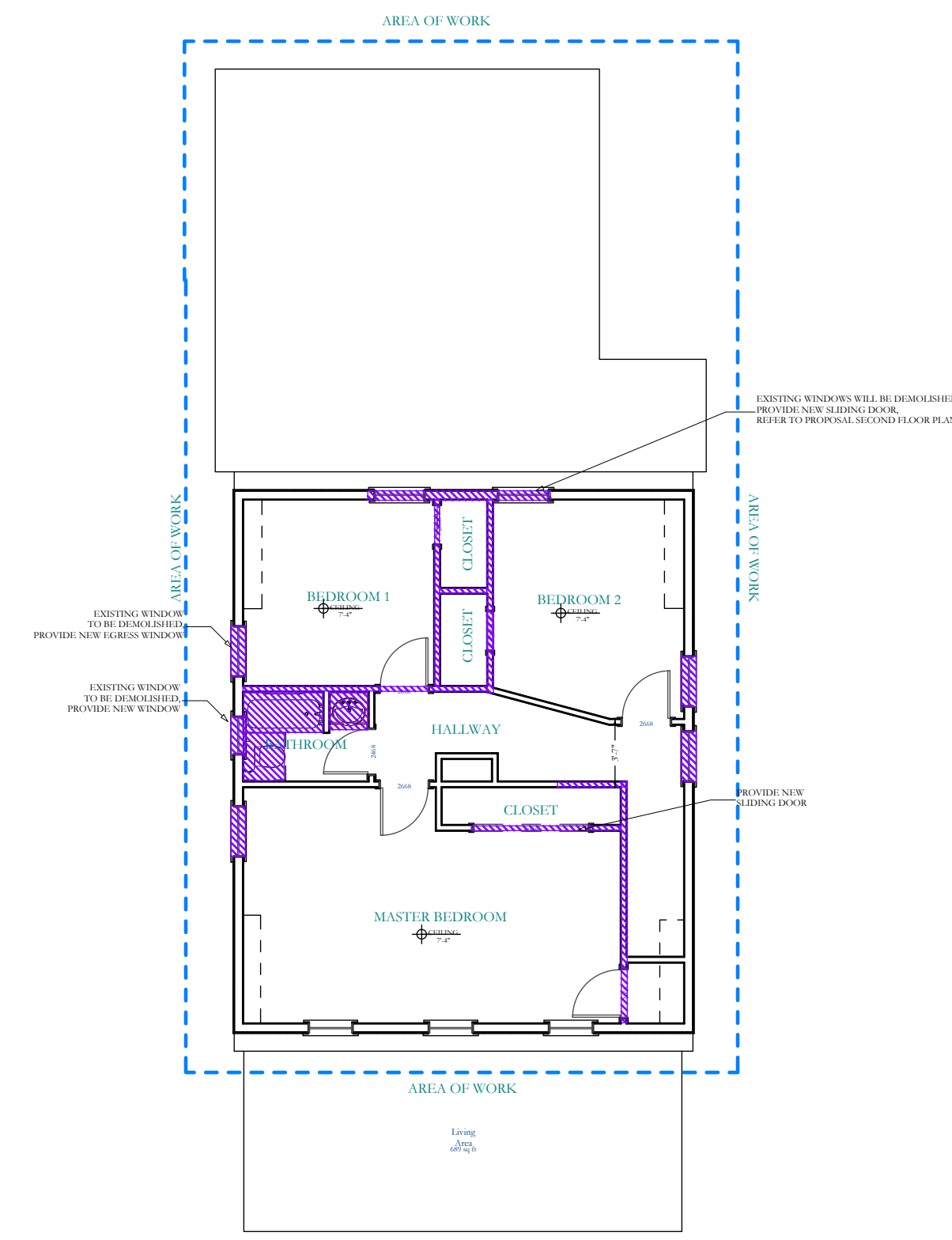
**B BASEMENT EXISTING/DEMO PLAN**  
SCALE: 1/8"=1'-0"

- KITCHEN DEMO NOTES:**
- EXISTING KITCHEN CABINETS AND COUNTERTOPS TO BE REMOVED.
  - EXISTING KITCHEN APPLIANCES AND FIXTURES TO BE REMOVED.
  - EXISTING KITCHEN PLUMBING CONNECTIONS TO BE CAPPED DURING DEMOLITION PHASE BY LICENSED PLUMBING CONTRACTOR.
  - EXISTING KITCHEN ELECTRICAL CONNECTIONS TO BE CAPPED DURING DEMOLITION PHASE BY LICENSED ELECTRICAL CONTRACTOR.
  - EXISTING TILE FLOORS TO BE DEMOLISHED.

- BATHROOM DEMO NOTES:**
- EXISTING BATHROOM TOILET TO BE DEMOLISHED.
  - EXISTING BATHROOM VANITY TO BE DEMOLISHED.
  - EXISTING BATHROOM TUB TO BE DEMOLISHED.
  - EXISTING TILE FLOORING AND WALL TILE TO BE DEMOLISHED.
  - ALL PLUMBING TO BE CAPPED DURING DEMOLITION PHASE BY LICENSED PLUMBING CONTRACTOR.
  - PLUMBING PIPING TO BE PREPPED FOR RECONNECTION TO NEW PLUMBING FIXTURES AT SAME LOCATIONS.



**1 1st FLOOR EXISTING/DEMO PLAN**  
SCALE: 1/8"=1'-0"



**2 2ND FLOOR EXISTING/DEMO PLAN**  
SCALE: 1/8"=1'-0"

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108.01-2-37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
**16 School Street  
Armonk, NY 10504**

DRAWING TITLE:  
**GENERAL NOTES  
SHEET 3**

**G-103**

NOTES:

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108-01-2-37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10

NEW KITCHEN RENOVATION REFER TO KITCHEN CABINET SPECIFICATIONS FOR FINAL DIMENSIONS AND SELECTIONS COORDINATE INSTALLATION WITH ALL TRADES

PATCH AND REPAIR ANY DAMAGED EXISTING GYPSUM BOARD WALL AND CEILING ASSEMBLIES AS REQUIRED DURING CONSTRUCTION

ALL PLUMBING AND/OR ELECTRICAL WORK BY LICENSED CONTRACTORS. PLUMBING AND ELECTRICAL PERMITS SHALL BE OBTAINED AS REQUIRED BY LOCAL JURISDICTION

COORDINATE FINAL OUTLET, LIGHTING AND THERMOSTAT LOCATIONS WITH OWNER PRIOR TO FINAL INSTALLATION

SMOKE ALARM TO BE INSTALLED THROUGHOUT RESIDENCE IN COMPLIANCE WITH R313

FINISH NOTES:  
STUD FRAMING WITH INSULATED GYPSUM WALL BOARD ASSEMBLY AT ALL EXTERIOR WALLS.

1/2" GYPSUM BOARD CEILING ASSEMBLY TYPICAL THROUGHOUT

EXHAUST FAN VENT TO EXTERIOR EXHAUST DUCT SHALL BE DUCTED TO EXTERIOR WITH RIGID OR "B" VENT PIPE OR APPROVED EQUAL

LAUNDRY EXHAUST VENT TO EXTERIOR IN COMPLIANCE WITH M1502 EXHAUST DUCT SHALL BE DUCTED TO EXTERIOR WITH RIGID OR "B" VENT PIPE OR APPROVED EQUAL

PROVIDE RANGE HOOD OVER STOVE VENT TO EXTERIOR CFM TO BE LESS THAN 400 CFM INSTALL IN COMPLIANCE WITH M1503 AND MANUFACTURERS REQUIREMENTS

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
**16 School Street  
Armonk, NY 10504**

DRAWING TITLE:  
**FLOOR PLANS  
SHEET 1**

**A-101**

NOTES:

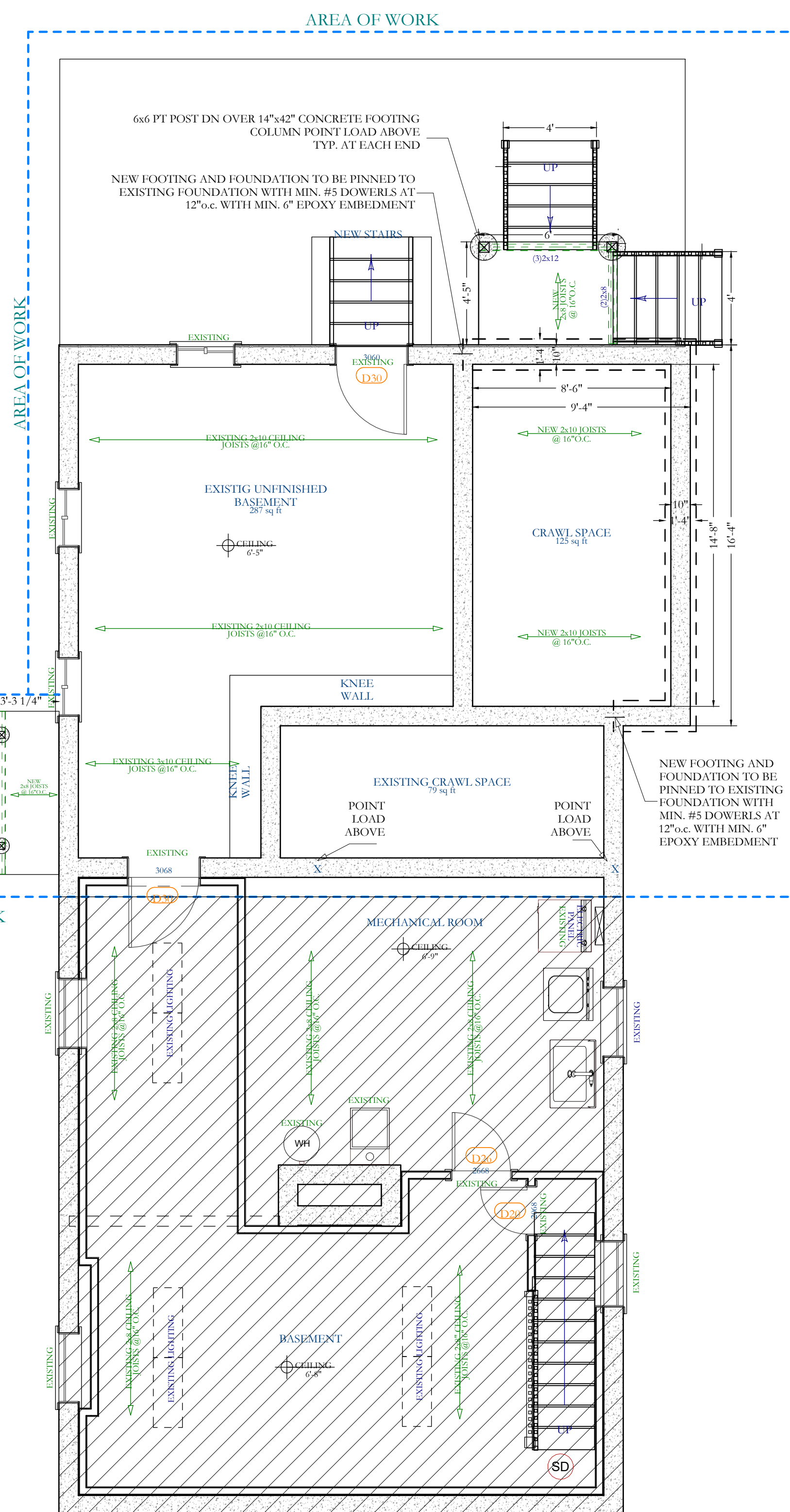
WINDOW SCHEDULE				
NO.	MANUFACTURER	DESCRIPTION	SIZE (W x H)	NOTES
W-1	ANDERSEN 200 SERIES OR EQUAL	DOUBLE HUNG (EGRESS)	36" x 60" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE
W-2	ANDERSEN 200 SERIES OR EQUAL	DOUBLE HUNG	24" x 40" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE
W-3	ANDERSEN 200 SERIES OR EQUAL	DOUBLE HUNG	30" x 48" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE
W-4	ANDERSEN 200 SERIES OR EQUAL	BAY WINDOW	REPLACEMENT VERIFY SIZE IN FIELD	SEEK OWNER APPROVAL FOR ALTERNATE
W-5	ANDERSEN 200 SERIES OR EQUAL	AWNING	34" x 32" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE
W-6	ANDERSEN 200 SERIES OR EQUAL	DOUBLE HUNG	33" x 45" (ROUGH OPENING)	SEEK OWNER APPROVAL FOR ALTERNATE

- WINDOWS TO BE INSTALLED AS PER DETAILS AND SPECIFICATIONS ON WINDOW SCHEDULE AND PLANS ALL UNITS SHALL HAVE CODE COMPLIANT INSULATION AND AIR FILTRATION REQUIREMENTS.
- EXISTING AND/OR NEW WINDOW FRAME OPENINGS SHALL BE VERIFIED IN FIELD BY INSTALLING CONTRACTOR PRIOR TO PURCHASE AND INSTALLATION.
- WINDOWS INDICATED ON PLAN AS EGRESS TYPE WINDOWS SHALL MEET MINIMUM EMERGENCY EGRESS REQUIREMENTS AS PER SECTION R310 OF THE RESIDENTIAL BUILDING CODE.

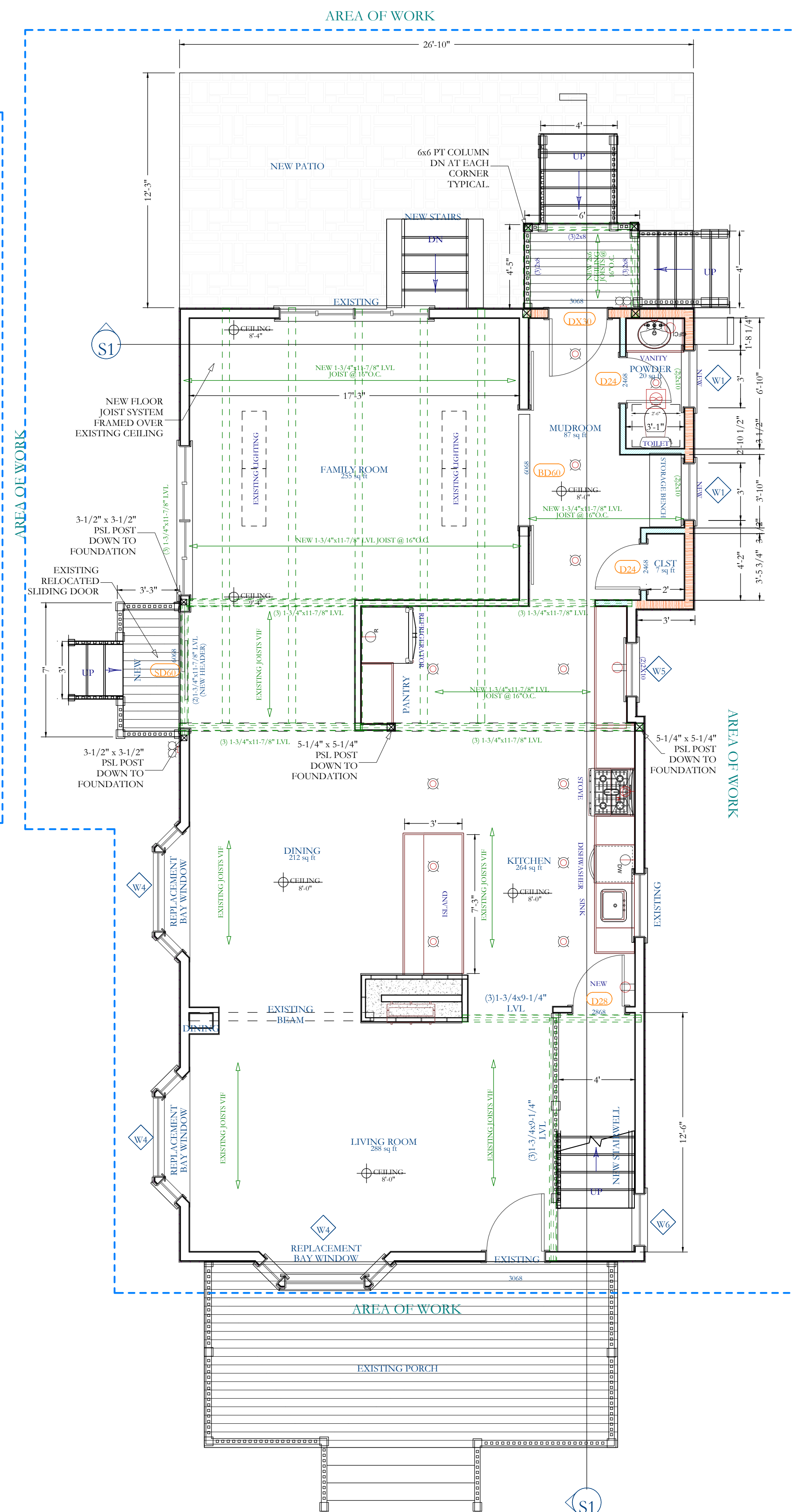
DOOR SCHEDULE				
NO.	MANUFACTURER	DESCRIPTION	SIZE (W x H)	NOTES
D22	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	2'-2" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
D24	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	2'-4" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
D26	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	2'-6" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
D28	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	2'-8" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
D30	JELD WEN OR EQUAL	PRIMED SOLID CORE HINGED	3'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
DX30	JELD WEN OR EQUAL	EXTERIOR SOLID CORE HINGED	3'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
SD40	JELD WEN OR EQUAL	PRIMED SOLID CORE SLIDING	4'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
SD60	JELD WEN OR EQUAL	PRIMED SOLID CORE SLIDING	6'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE
BD60	JELD WEN OR EQUAL	PRIMED SOLID CORE SLIDING	6'-0" x 6'-8"	SEEK OWNER APPROVAL FOR ALTERNATE

ROOM FINISH SCHEDULE														
ROOM NAME	FLOOR				WALL				CEIL'G		DR. TRIM		WIND. TRIM	
	CABRET	WOOD	CLER. TILE	FINISH	MAT'L.	FINISH	M	FIN	M	FIN	MAT	FIN	MAT	FIN
POWDER		X			X	X	X	X	X	X	X	X	X	X
KITCHEN	X	X	X		X	X	X	X	X	X	X	X	X	X
MUDROOM	X	X	X		X	X	X	X	X	X	X	X	X	X
MASTER BEDROOM	X	X	X		X	X	X	X	X	X	X	X	X	X
MASTER BATHROOM	X	X	X		X	X	X	X	X	X	X	X	X	X
BATHROOM	X	X	X		X	X	X	X	X	X	X	X	X	X

LIGHT & VENTILATION CALCULATIONS					
ROOM	AREA (SF)	REQUIRED VENTILATION (SF -4%)	REQUIRED LIGHT (SF -8%)	PROPOSED VENTILATION (SF)	PROPOSED LIGHT (SF)
POWDER	20	0.8	1.6	7.5	15.0
MUDROOM	87	3.48	6.96	7.5	15.0
BEDROOM 1	179	7.16	14.32	15.0	30.0
BEDROOM 2	74	2.96	5.92	15.0	30.0
BEDROOM 3	99	3.96	7.92	15.0	30.0
MASTER BEDROOM	208	8.32	16.64	31.6000	63.33
MASTER BATHROOM	61	2.44	4.88	7.5	15.0
BATHROOM	43	1.72	3.44	3.33	6.67



**B** PROPOSED BASEMENT PLAN  
SCALE: 1/4"=1'-0"



**1** PROPOSED 1st FLOOR PLAN  
SCALE: 1/4"=1'-0"

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108.01-2.37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JMS ENGINEERING SERVICES, PC

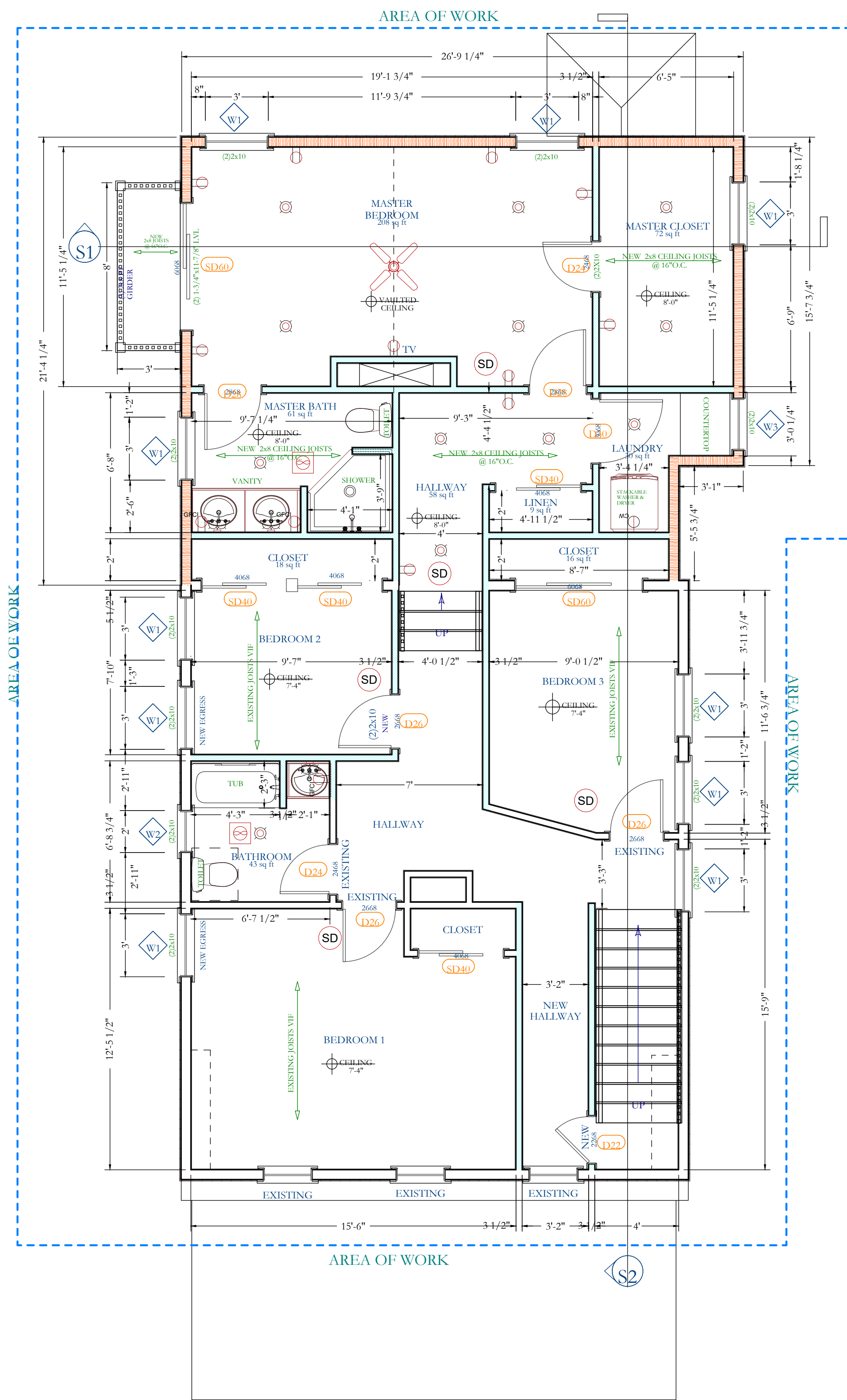
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
**16 School Street  
Armonk, NY 10504**

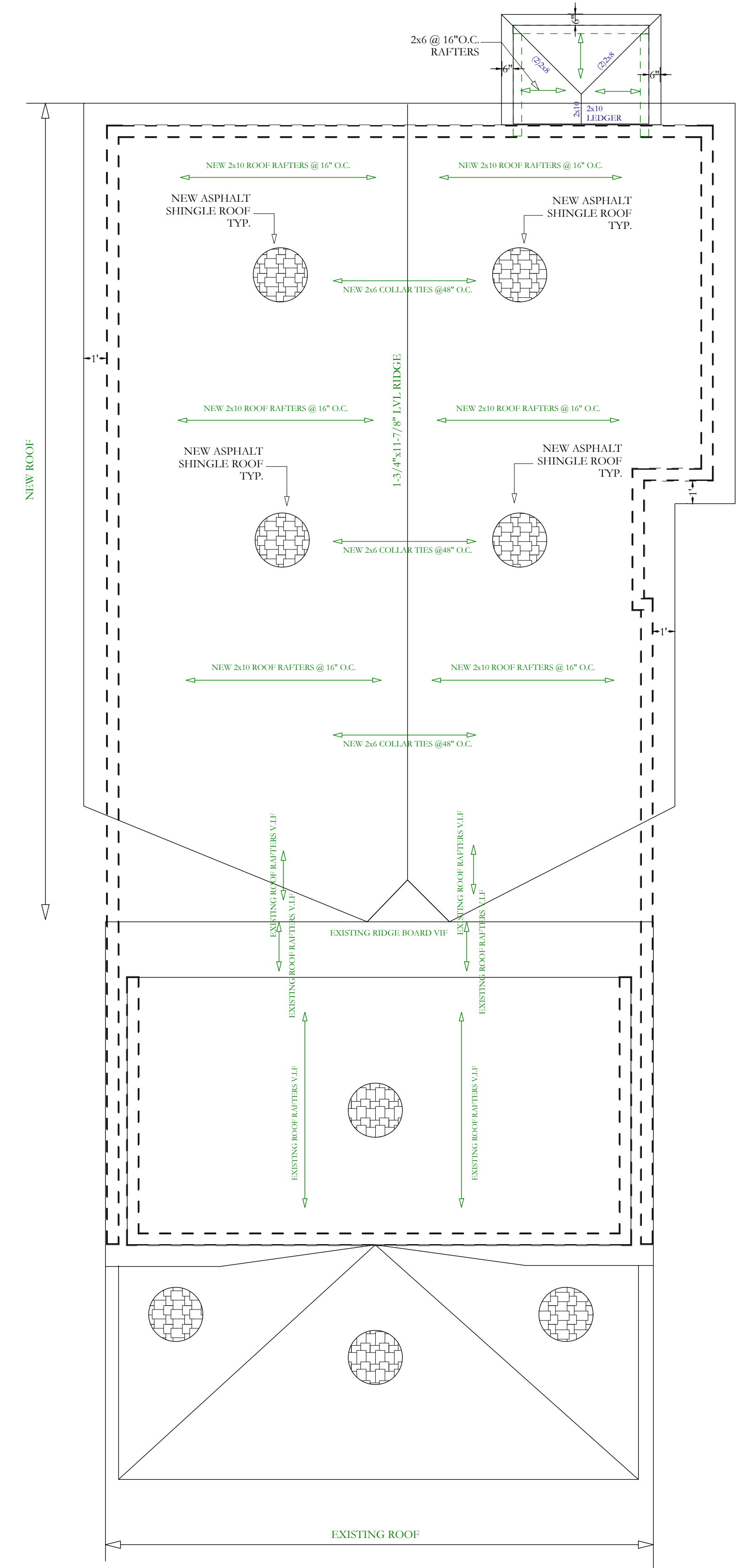
DRAWING TITLE:  
**FLOOR PLANS  
SHEET 2**

**A-102**

NOTES:



**2 PROPOSED 2ND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

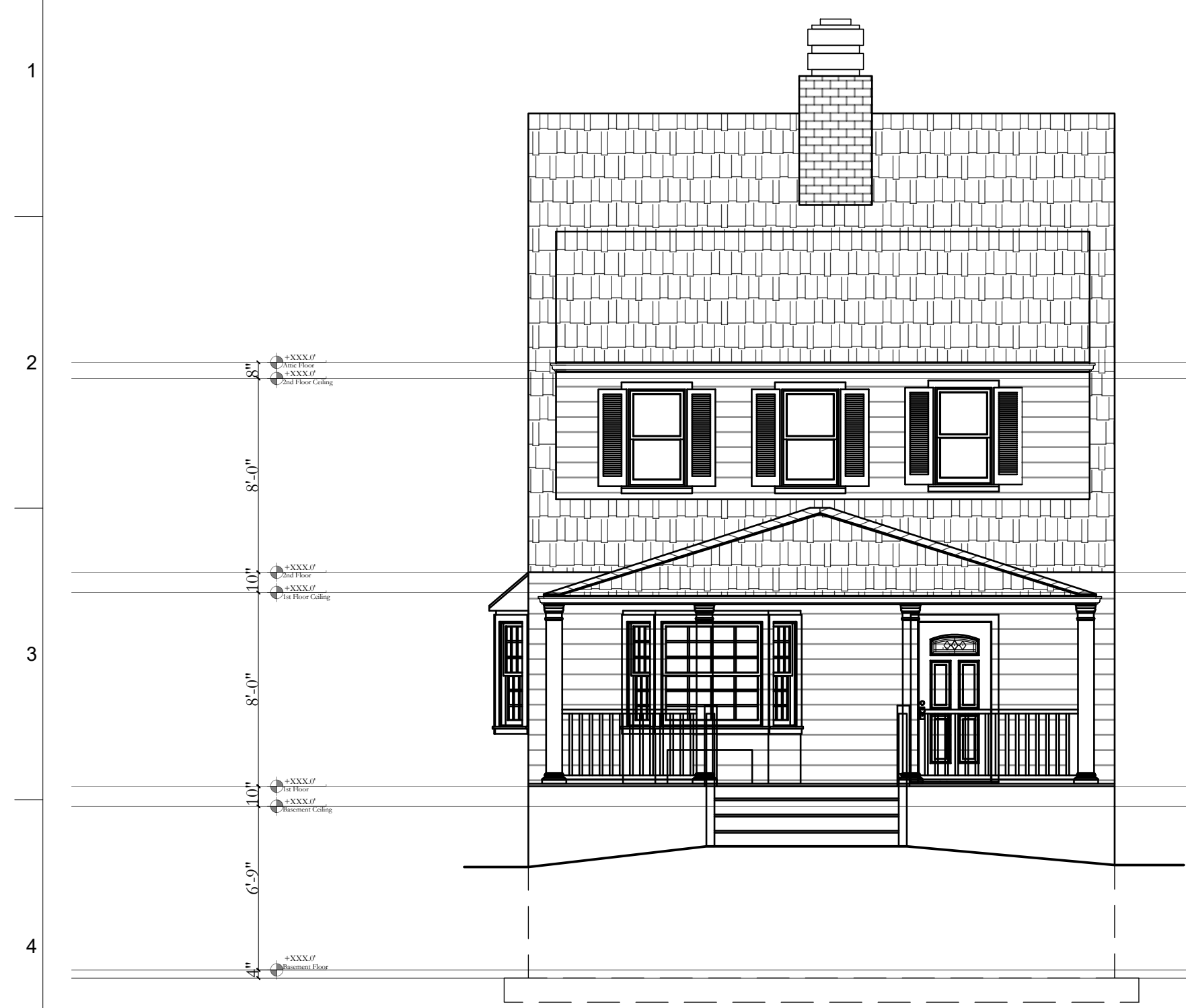


**R PROPOSED ROOF PLAN**  
SCALE: 1/4"=1'-0"

1  
2  
3  
4  
5  
6  
7  
8  
9  
10

PROPERTY INFORMATION:  
 PREPARED BY: JMS ENGINEERING SERVICES, PC  
 PROJECT LOCATION: 16 SCHOOL STREET  
 PROJECT TOWN: ARMONK, NY 10504  
 BUILDING DEPARTMENT: NORTH CASTLE  
 PROPERTY IDENTIFICATION: 108.01-2-37  
 OCCUPANCY: SINGLE-FAMILY DWELLING  
 ZONING CODE: R-10

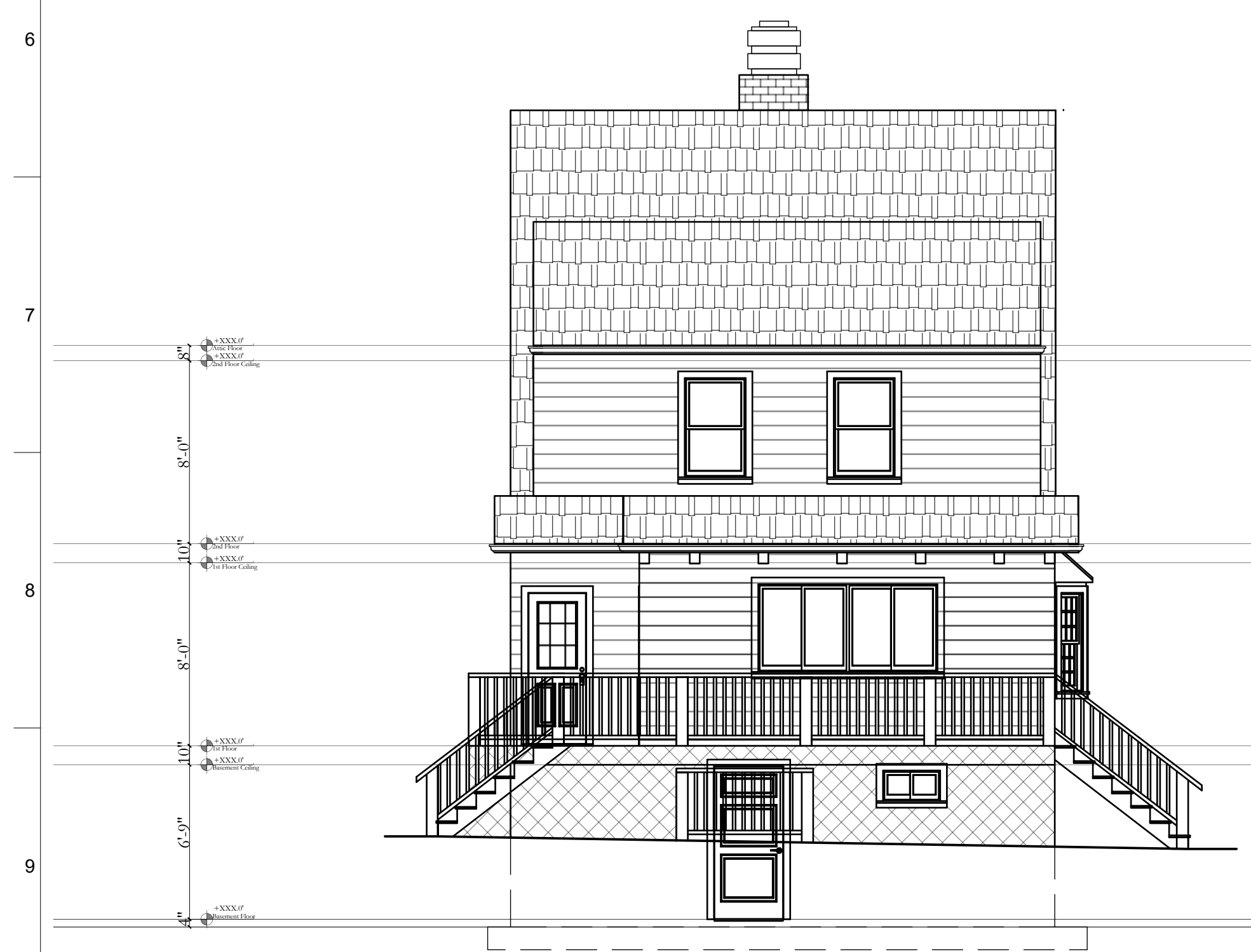
ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS



1 EXISTING FRONT ELEVATION  
 SCALE: 3/16"=1'-0"



2 EXISTING LEFT ELEVATION  
 SCALE: 3/16"=1'-0"



3 EXISTING REAR ELEVATION  
 SCALE: 3/16"=1'-0"



4 EXISTING RIGHT ELEVATION  
 SCALE: 3/16"=1'-0"

SEAL &  
 SIGNATURE:



JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
 16 School Street  
 Armonk, NY 10504

DRAWING TITLE:  
 EXISTING  
 ELEVATIONS  
 A-200

NOTES:

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108-01-2-37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10

EXTERIOR FINISH SCHEDULE			
DESCRIPTION	MATERIAL	PATTERN/COLOR	AS APPROVED BY OWNER
1 SIDING TYPE 1	HARDIE BOARD		
2 WINDOW ASSEMBLY	VINYL	WHITE	
3 EXPOSED FOUNDATION	MASONARY	STUCCO	
4 FRONT STAIRS TO GRADE	MASONARY	STUCCO	
5 FRONT STAIR TREADS	STONE	BLUE STONE TREAD	
6 GETTERS	5" ALUMINUM	WHITE	
7 ARCHITECTURAL SHINGLES	ASPHALT	MATCH EXISTING	
8 SOFFIT/TRIM	VINYL	WHITE	
9 EXTERIOR DOOR	WOOD	BLACK	

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:

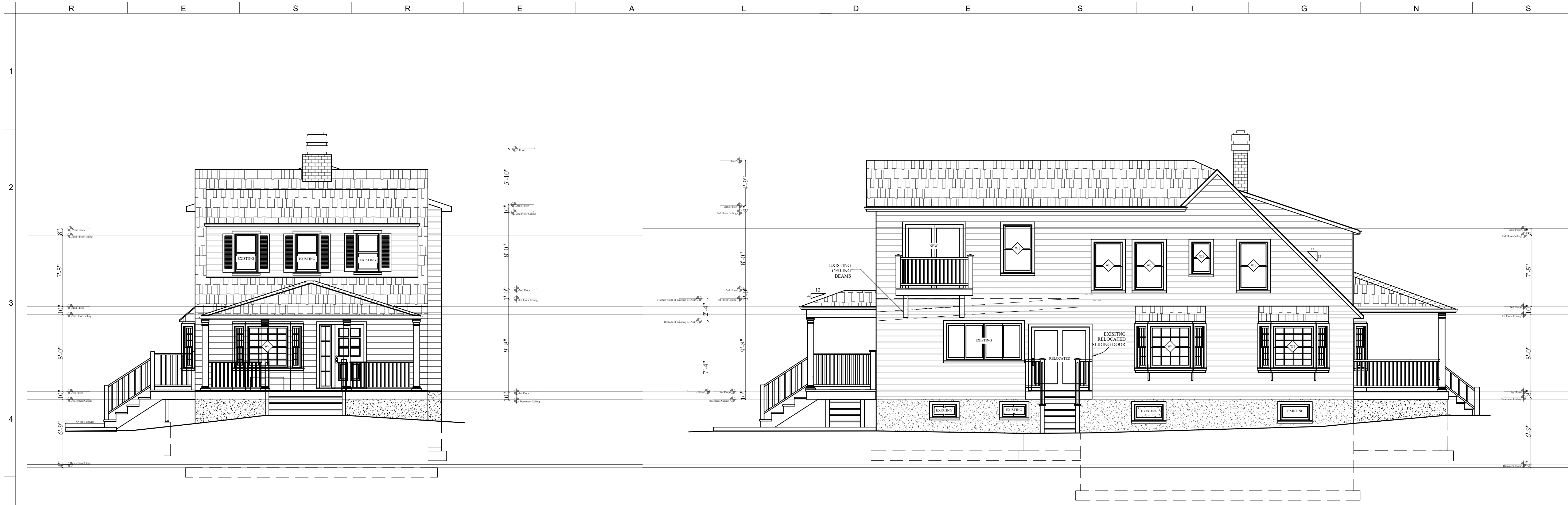
16 School Street  
Armonk, NY 10504

DRAWING TITLE:

ELEVATIONS  
SHEET 1

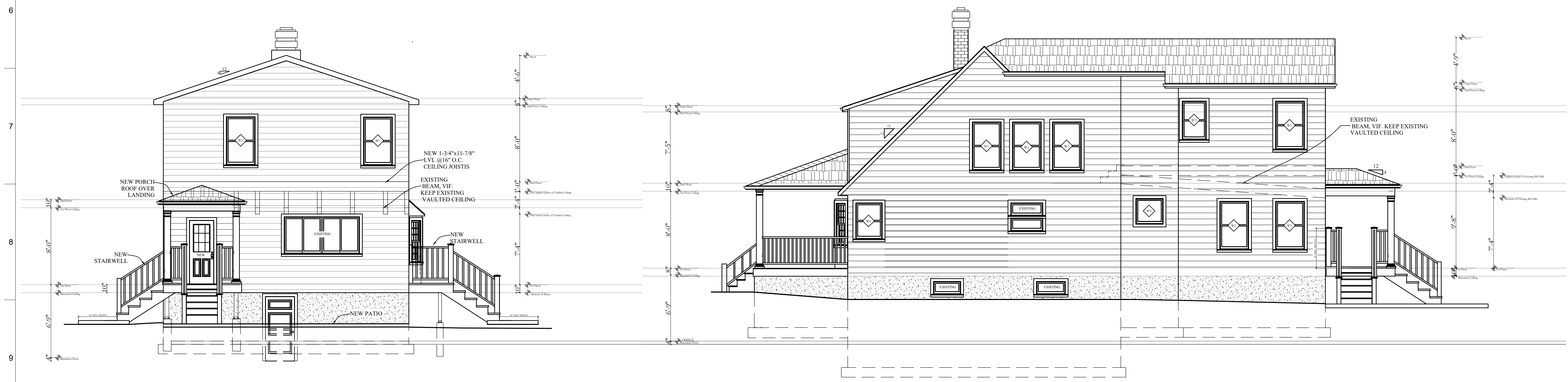
A-201

NOTES:



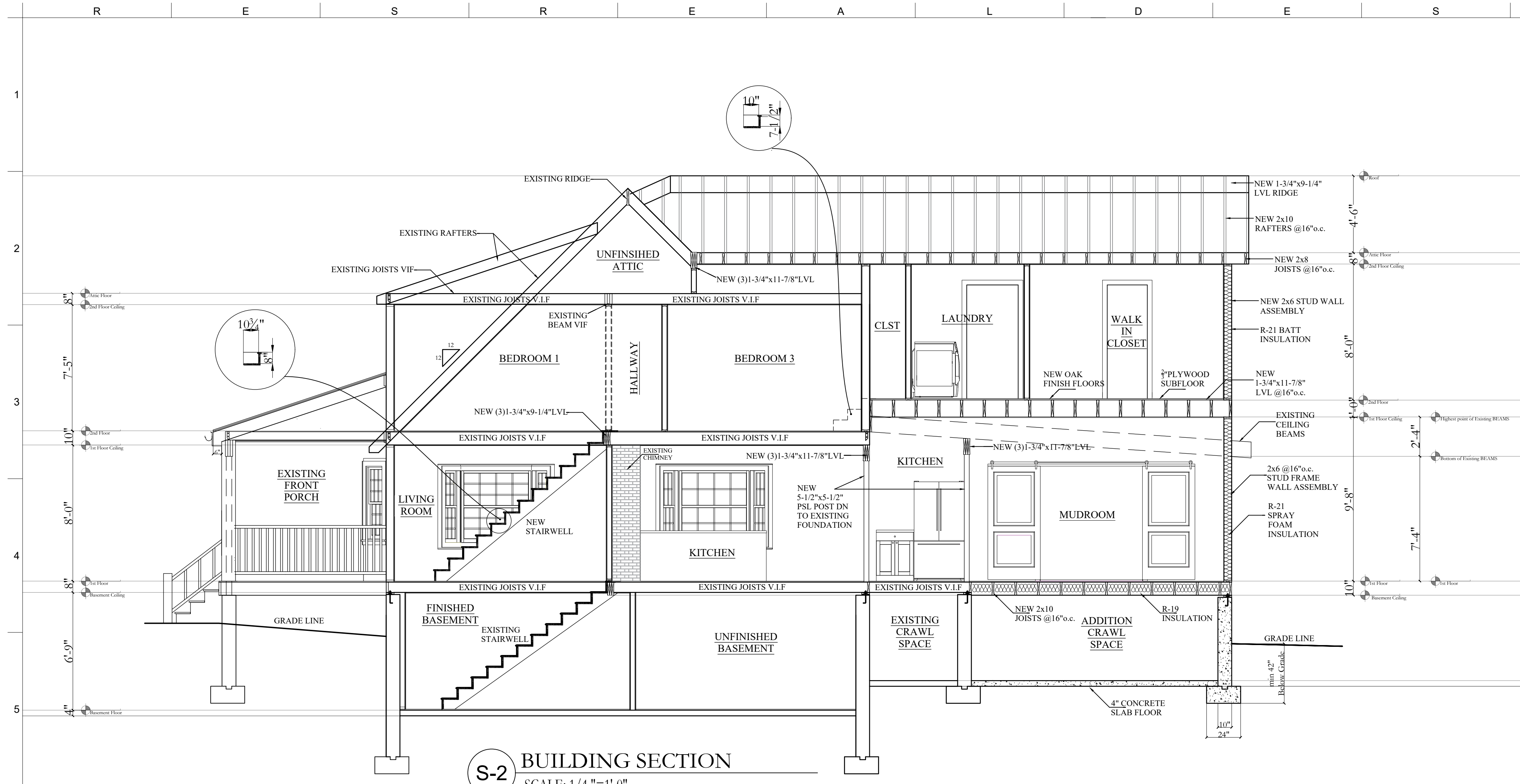
1 PROPOSED FRONT ELEVATION  
SCALE: 3/16"=1'-0"

2 PROPOSED LEFT ELEVATION  
SCALE: 3/16"=1'-0"

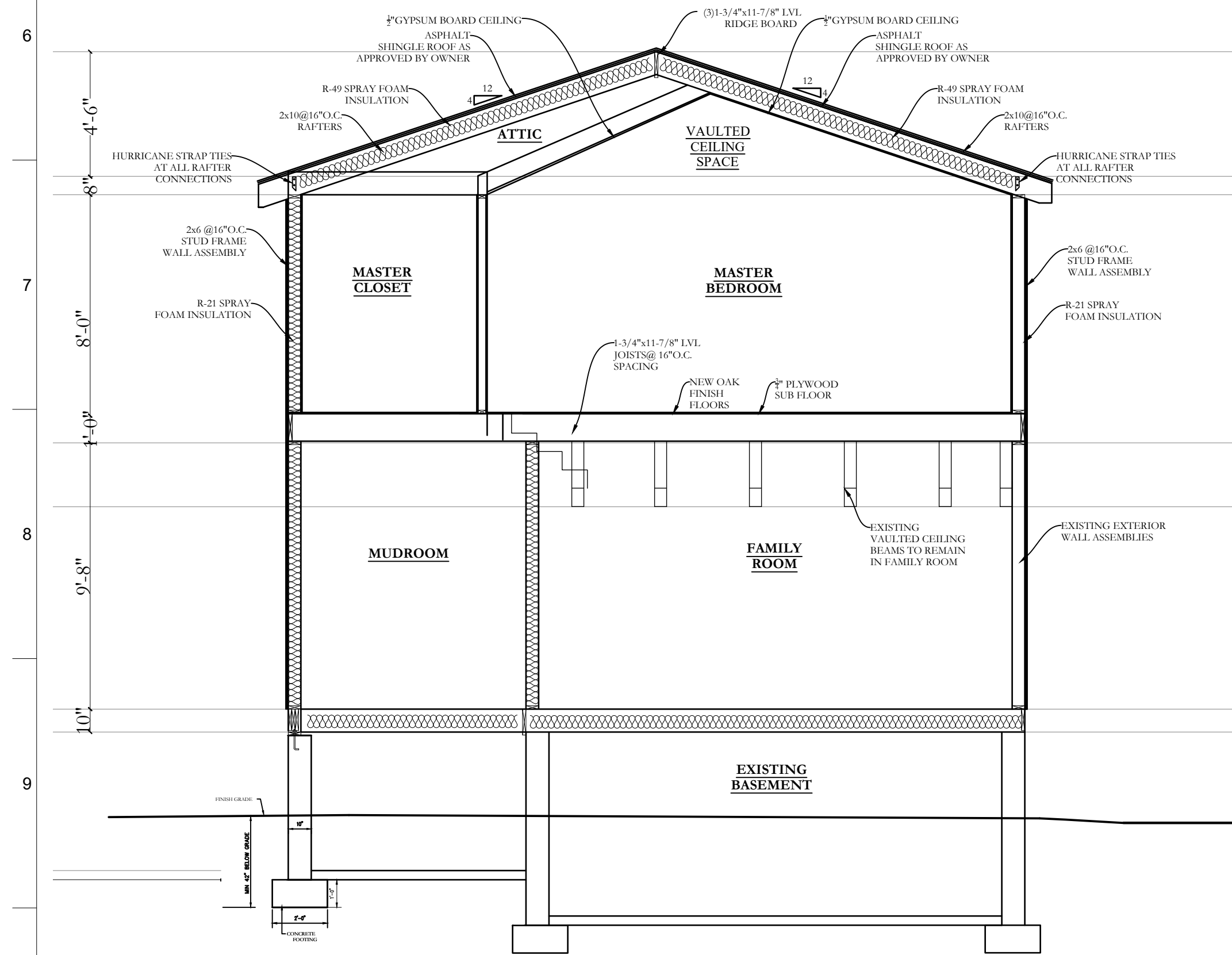


3 PROPOSED REAR ELEVATION  
SCALE: 3/16"=1'-0"

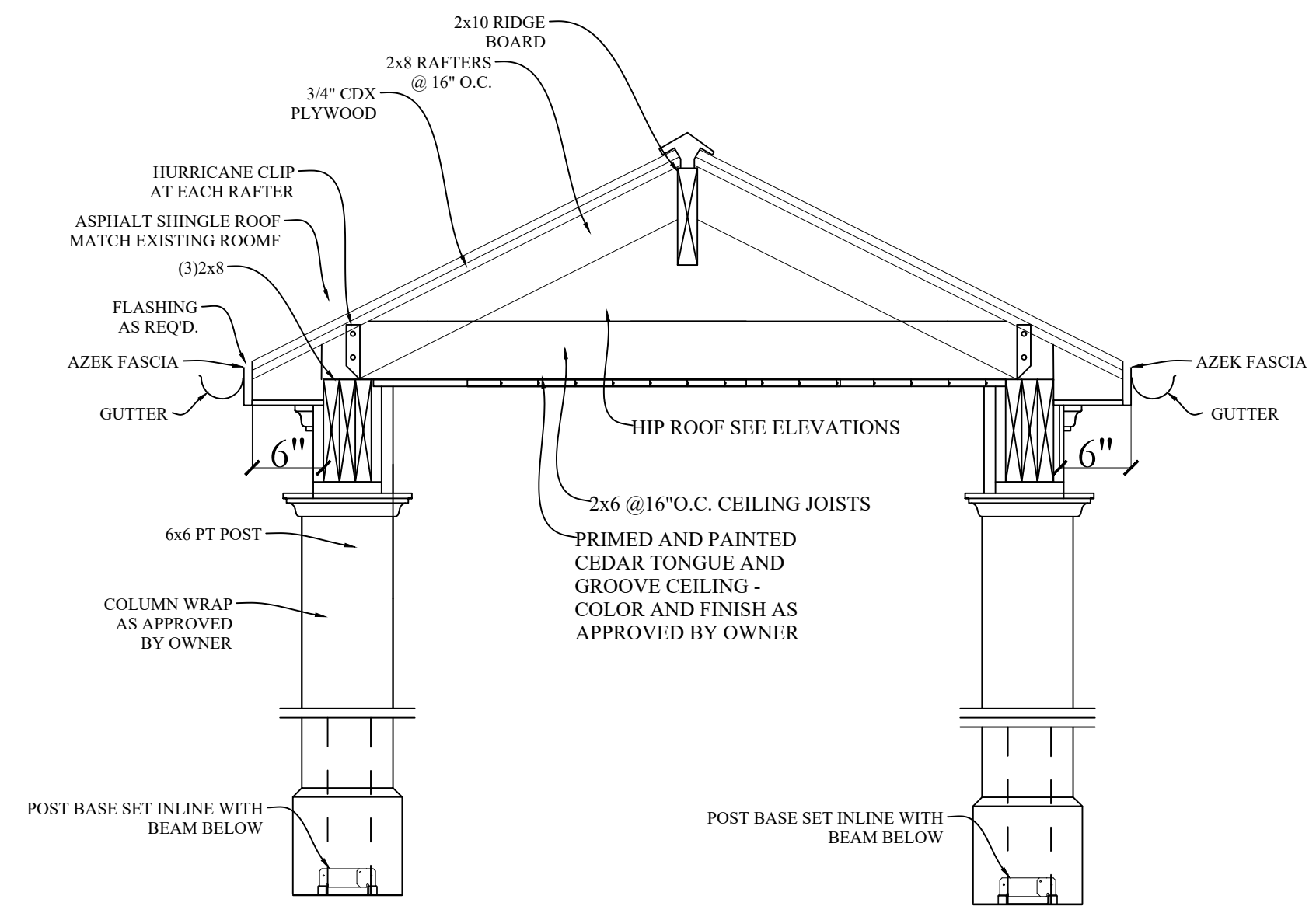
4 PROPOSED RIGHT ELEVATION  
SCALE: 3/16"=1'-0"



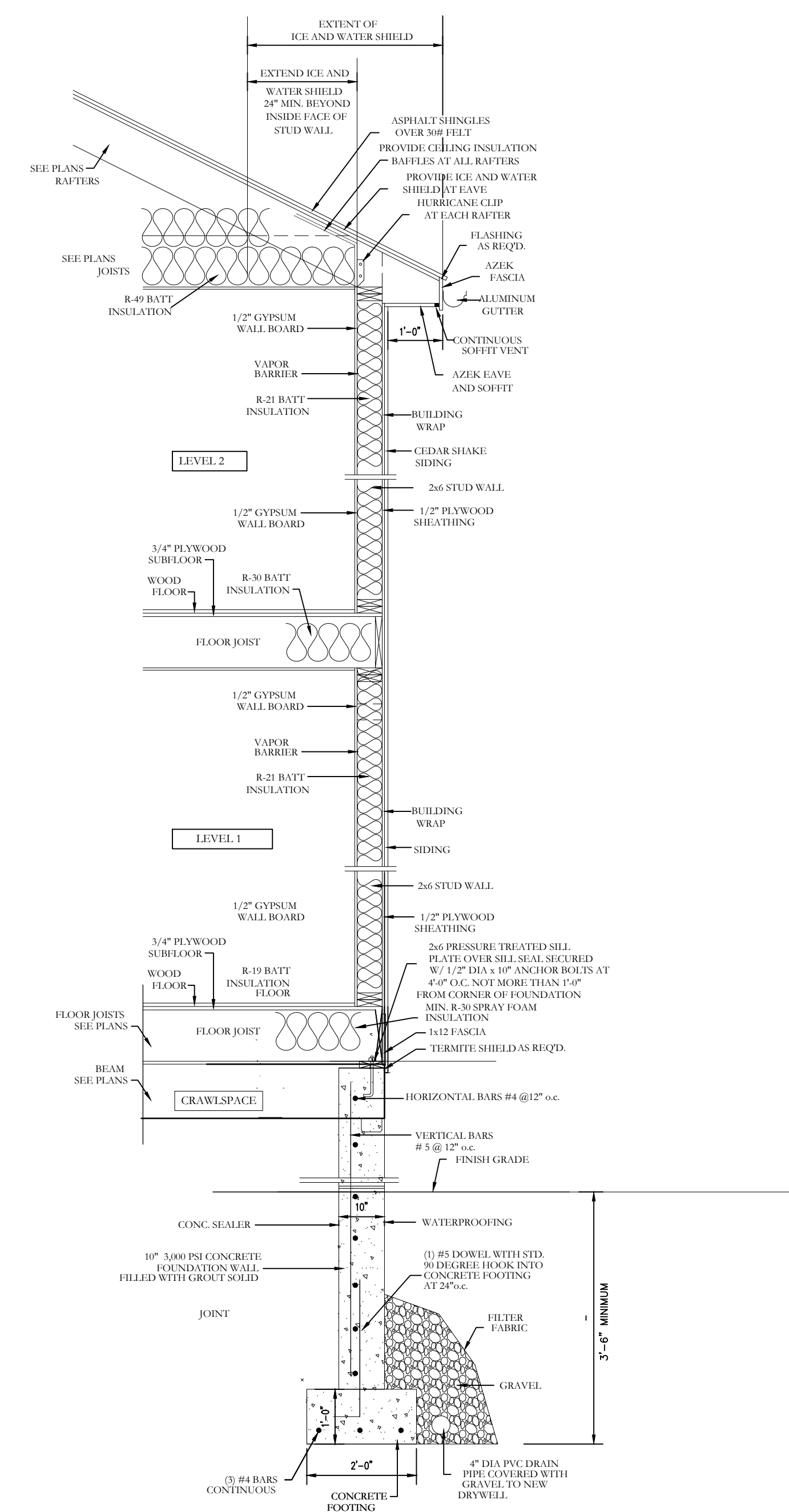
**S-2 BUILDING SECTION**  
SCALE: 1/4"=1'-0"



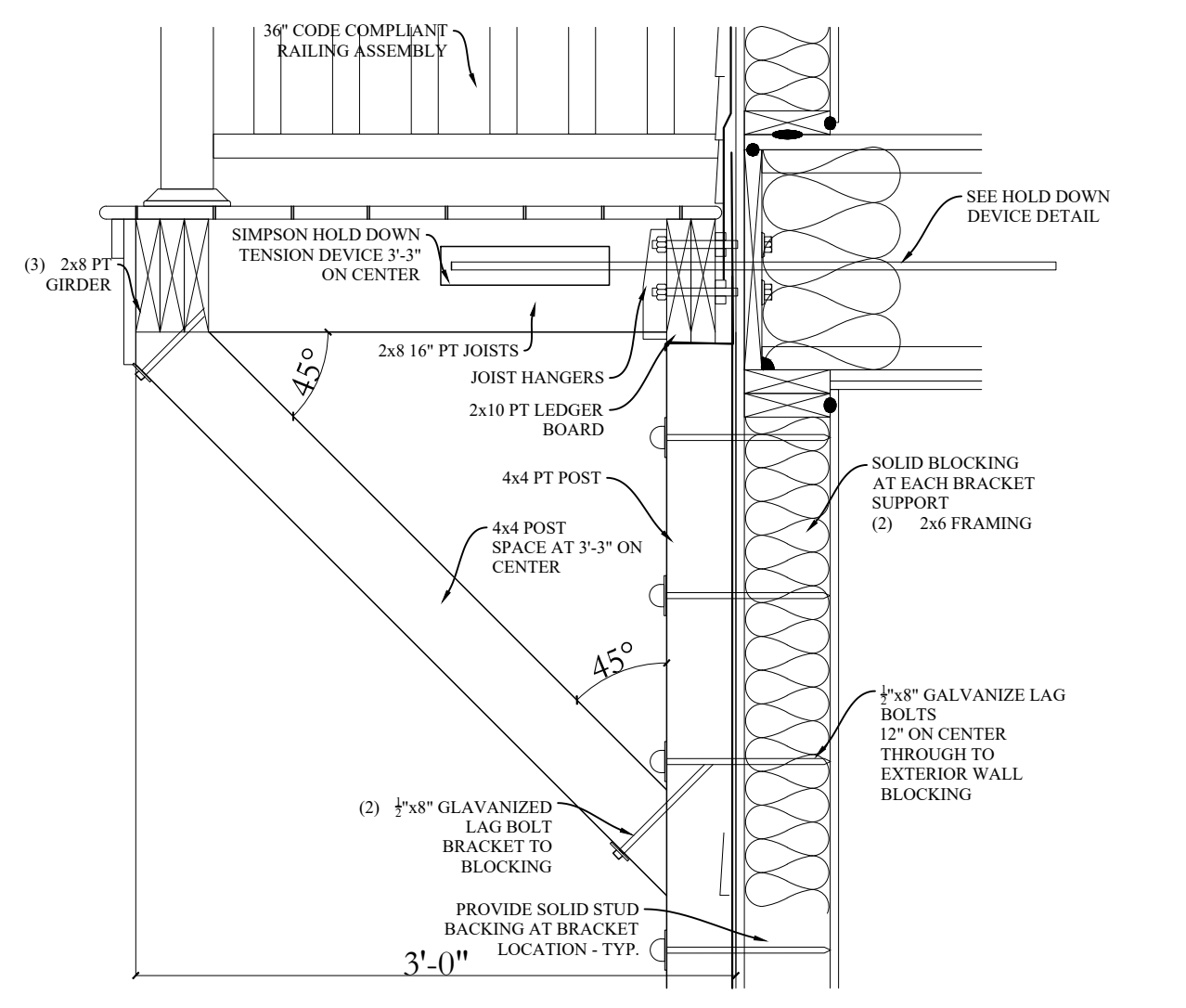
**S-1 BUILDING SECTION**  
SCALE: 1/4"=1'-0"



**PORCH ROOF DETAIL**  
SCALE: NTS



**S BUILDING SECTION DETAILS**  
SCALE: NTS



**BALCONY DETAIL**  
SCALE: NTS

PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108.01-2.37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

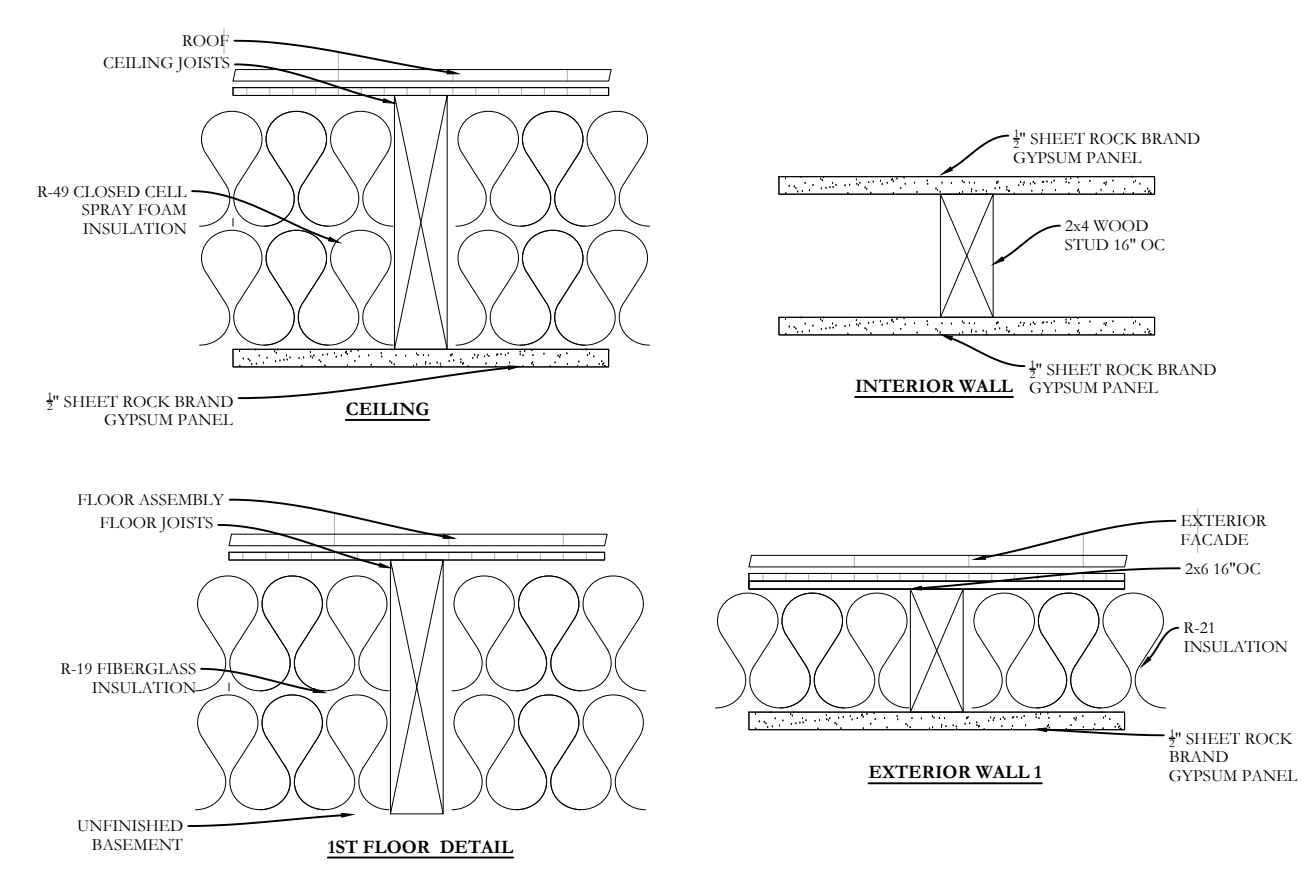
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
**16 School Street  
Armonk, NY 10504**

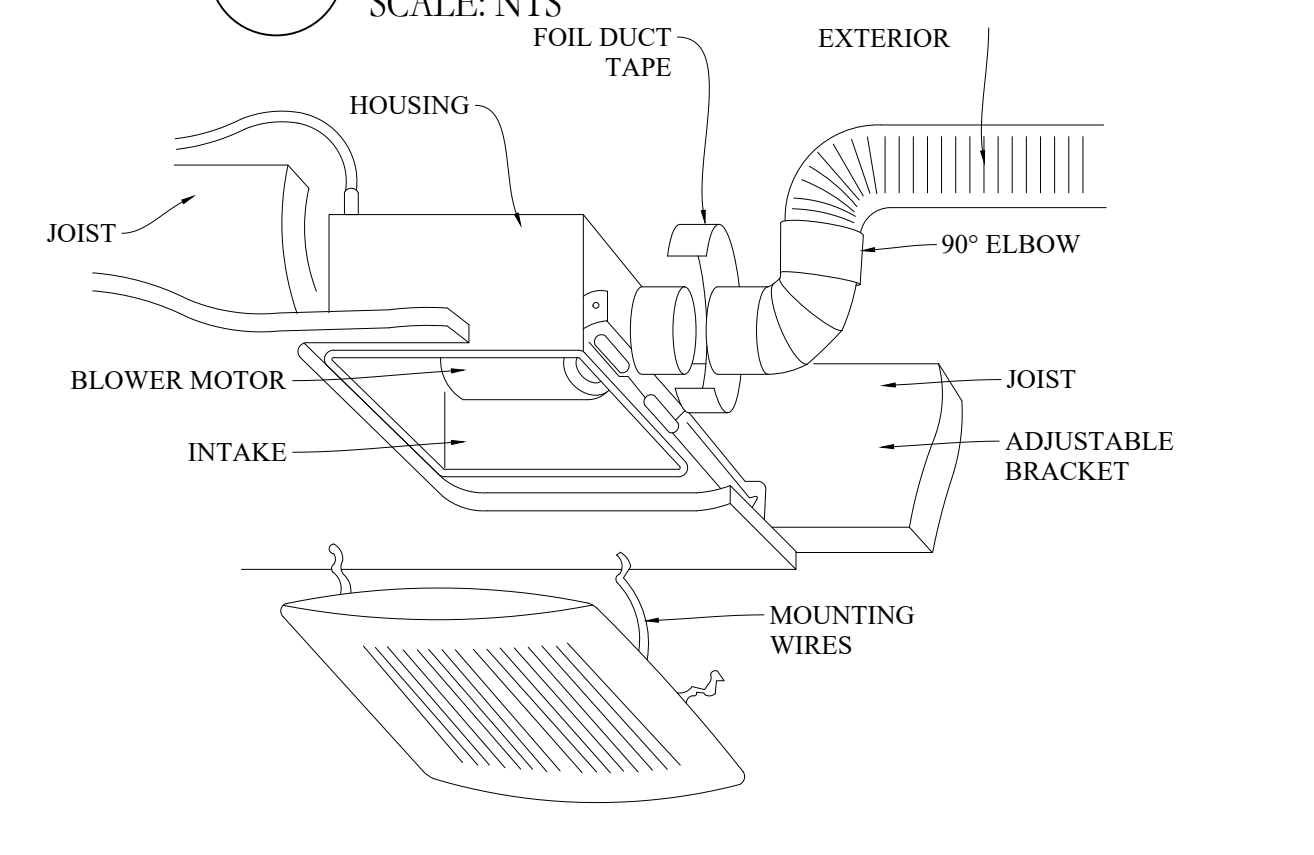
DRAWING TITLE:  
**DETAILS  
SHEET 1  
D-101**

NOTES:

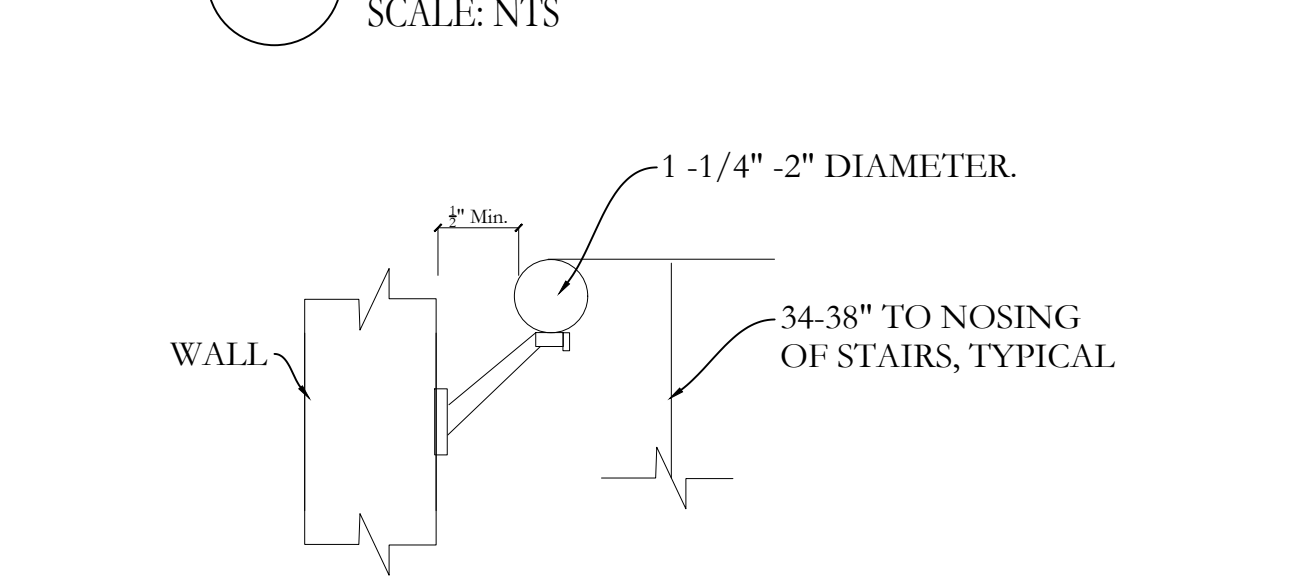
PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108.01-2.37  
OCCUPANCY: SINGLE FAMILY DWELLING  
ZONING CODE: R-10



**WALL/CEILING DETAILS**  
SCALE: NTS

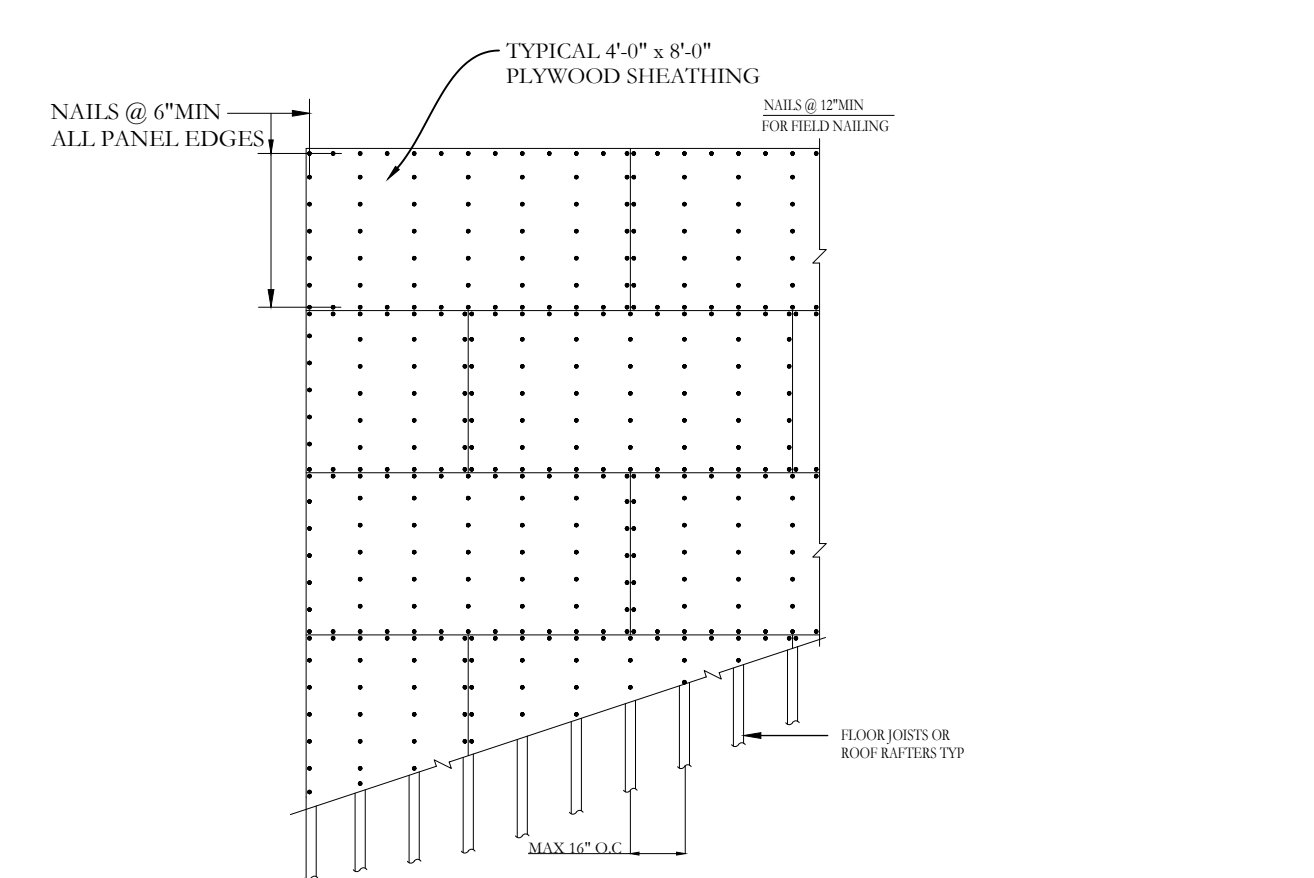


**BATHROOM EXHAUST**  
SCALE: NTS

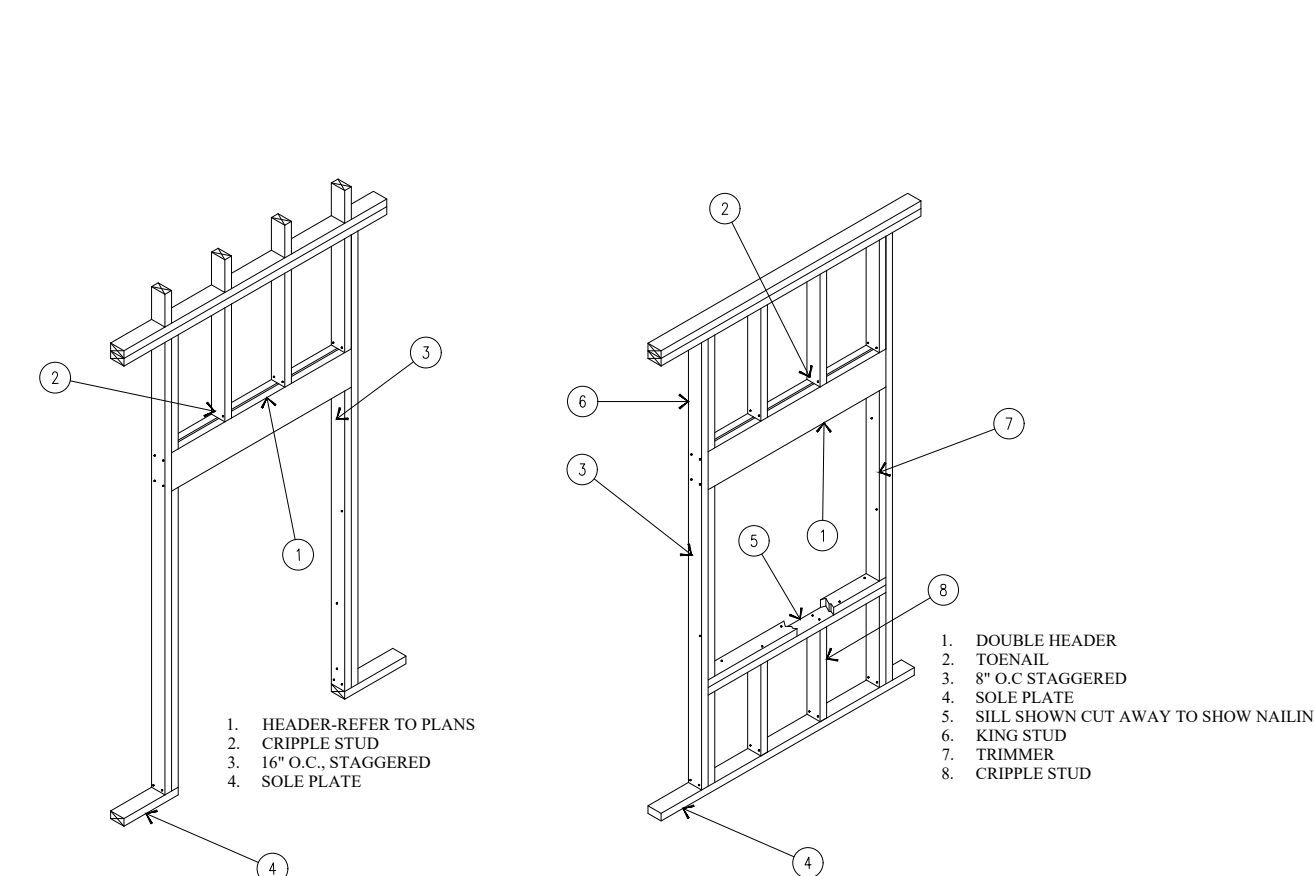


**HANDRAIL DETAIL**  
SCALE: NTS

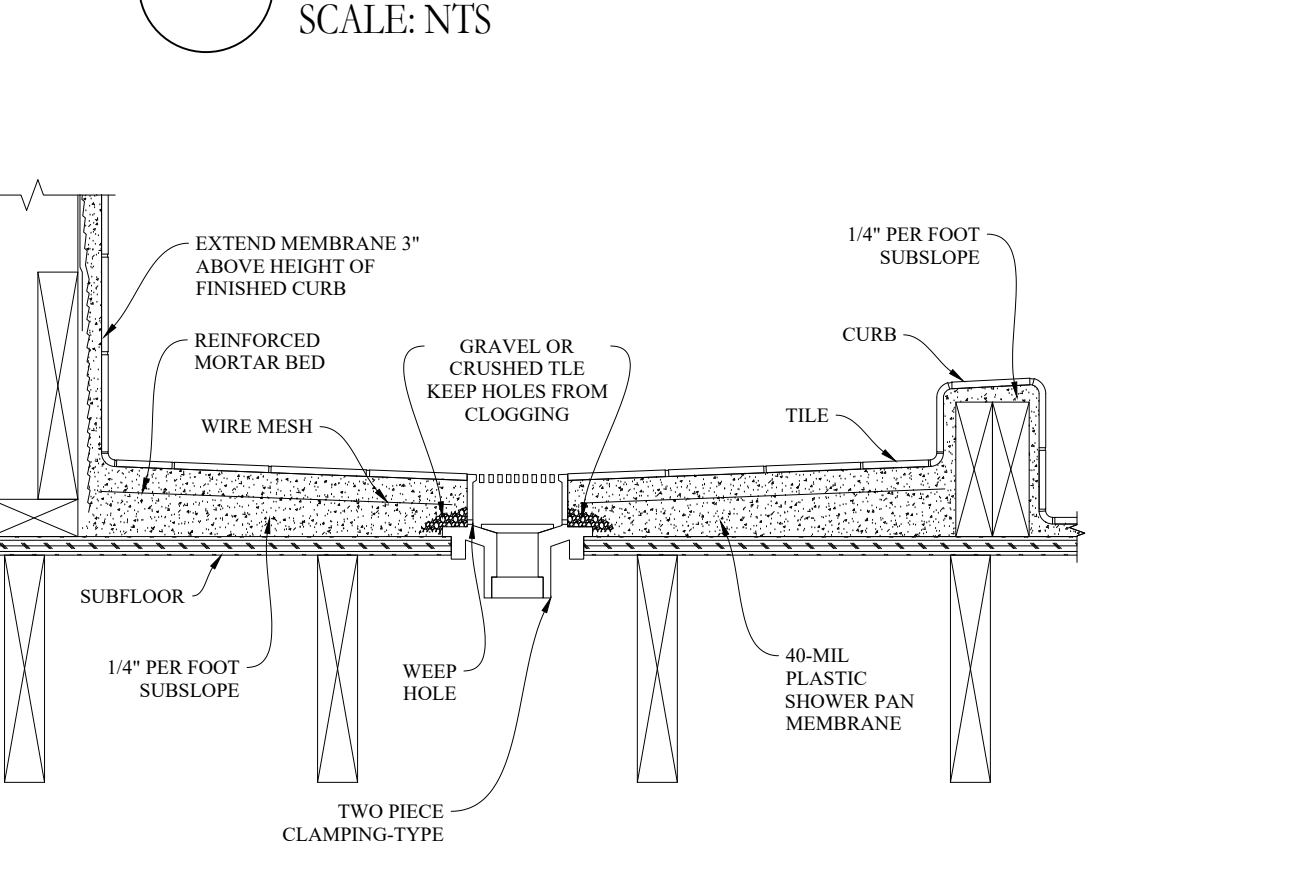
NOTES: HANDRAIL SHALL BE CONTINUOUS FOR THE FULL LENGTH FOR THE STAIRS, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE STAIR TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAILS ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.



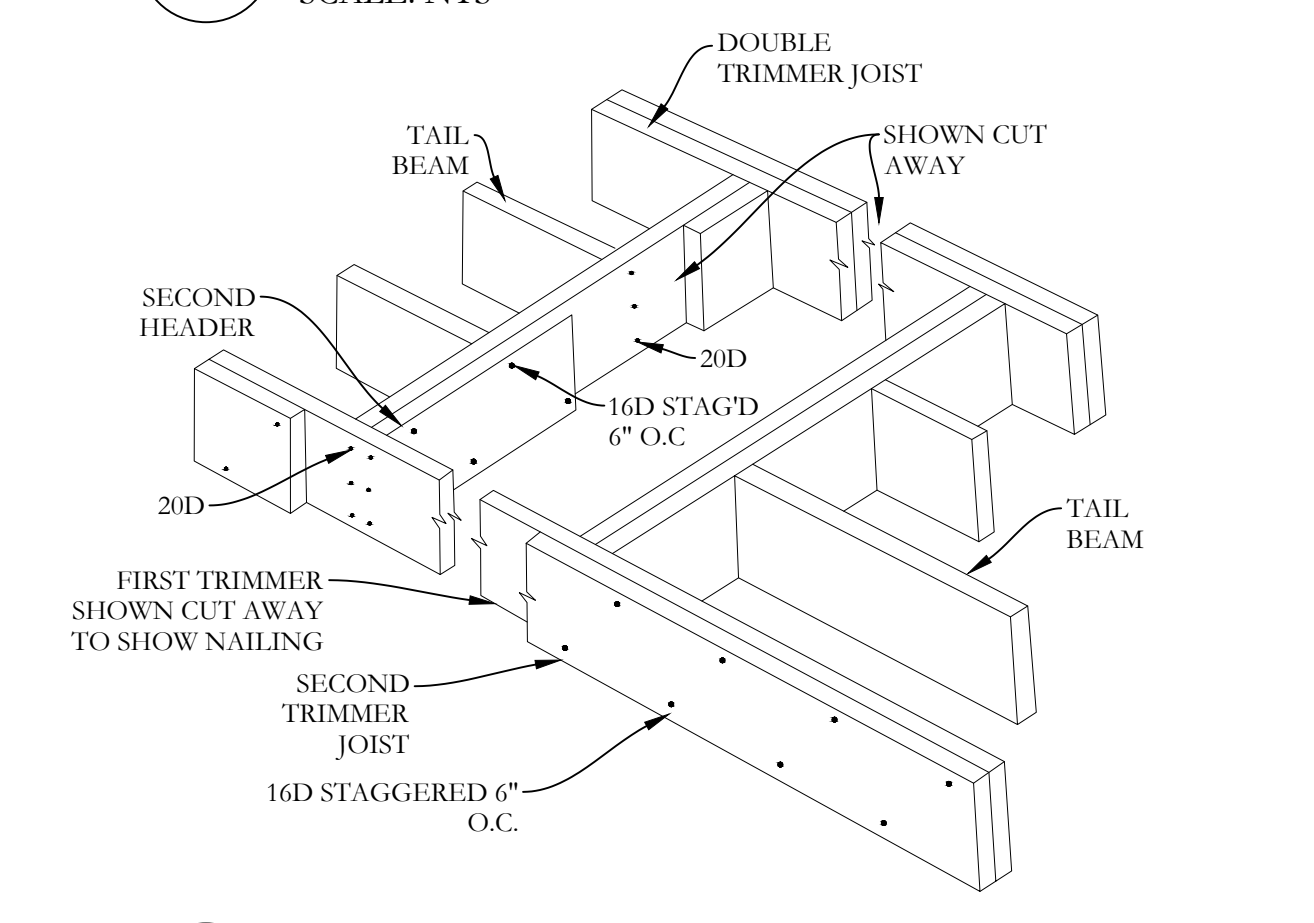
**SHEATHING DETAIL**  
SCALE: NTS



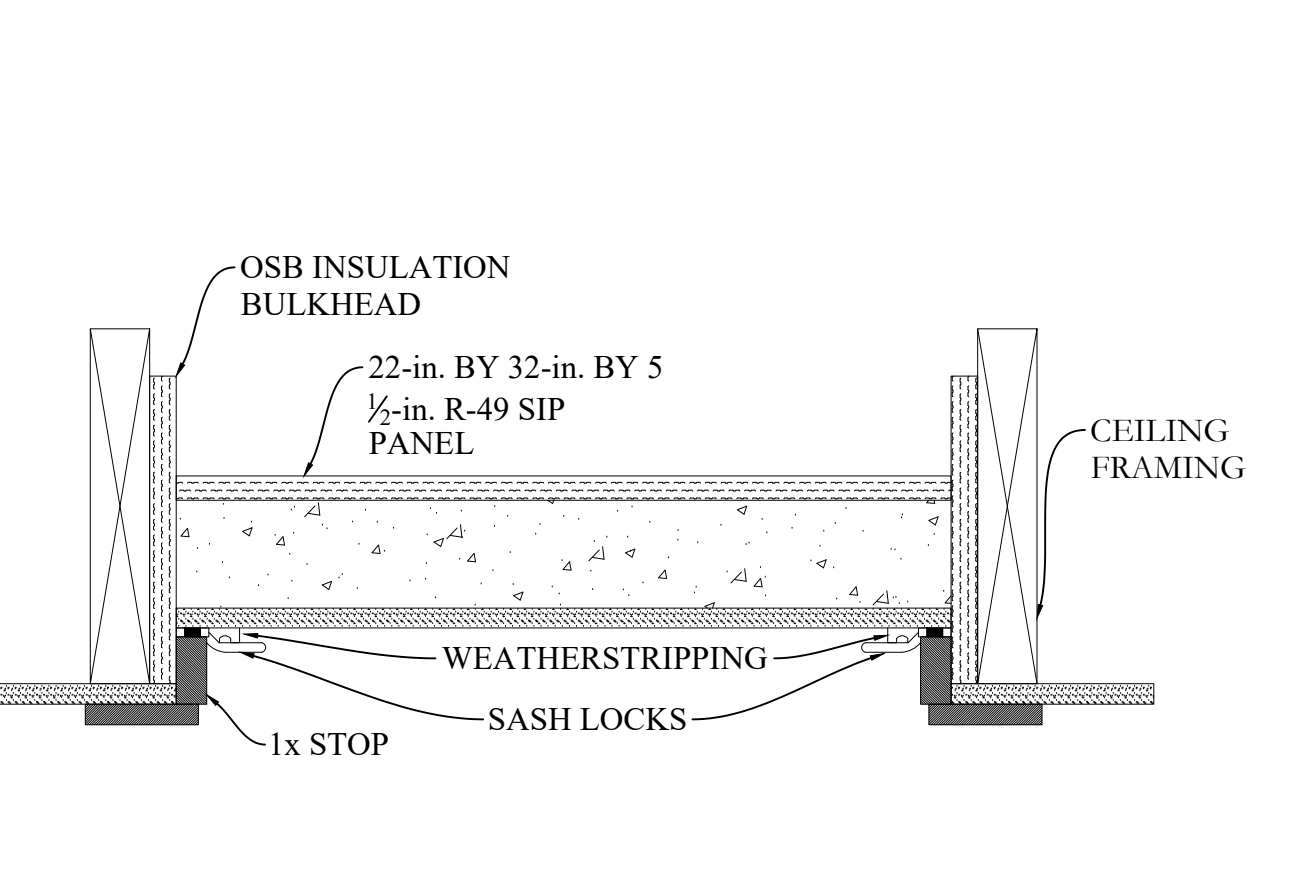
**DOOR/WINDOW FRAMING**  
SCALE: NTS



**SHOWER DRAIN**  
SCALE: NTS



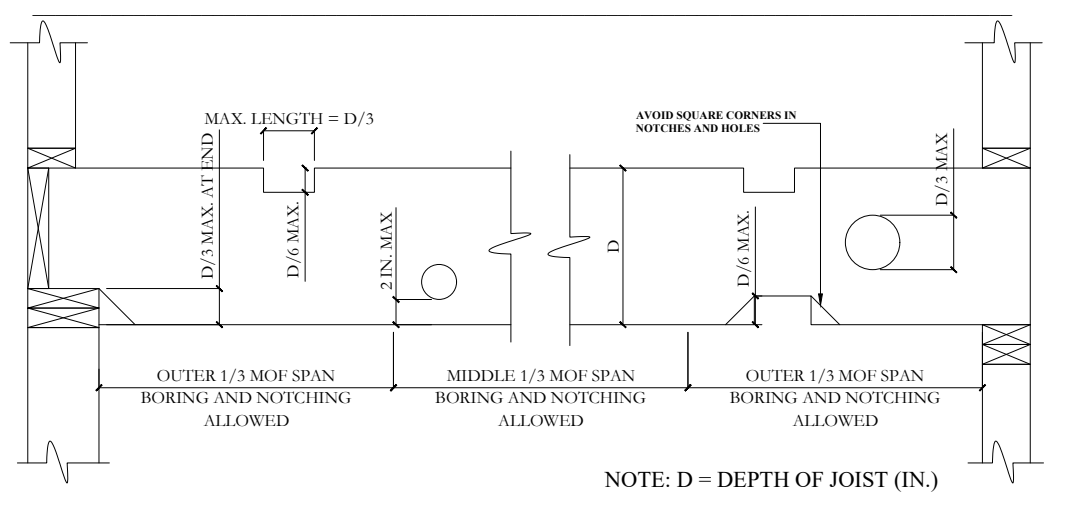
**FRAMED OPENING**  
SCALE: NTS



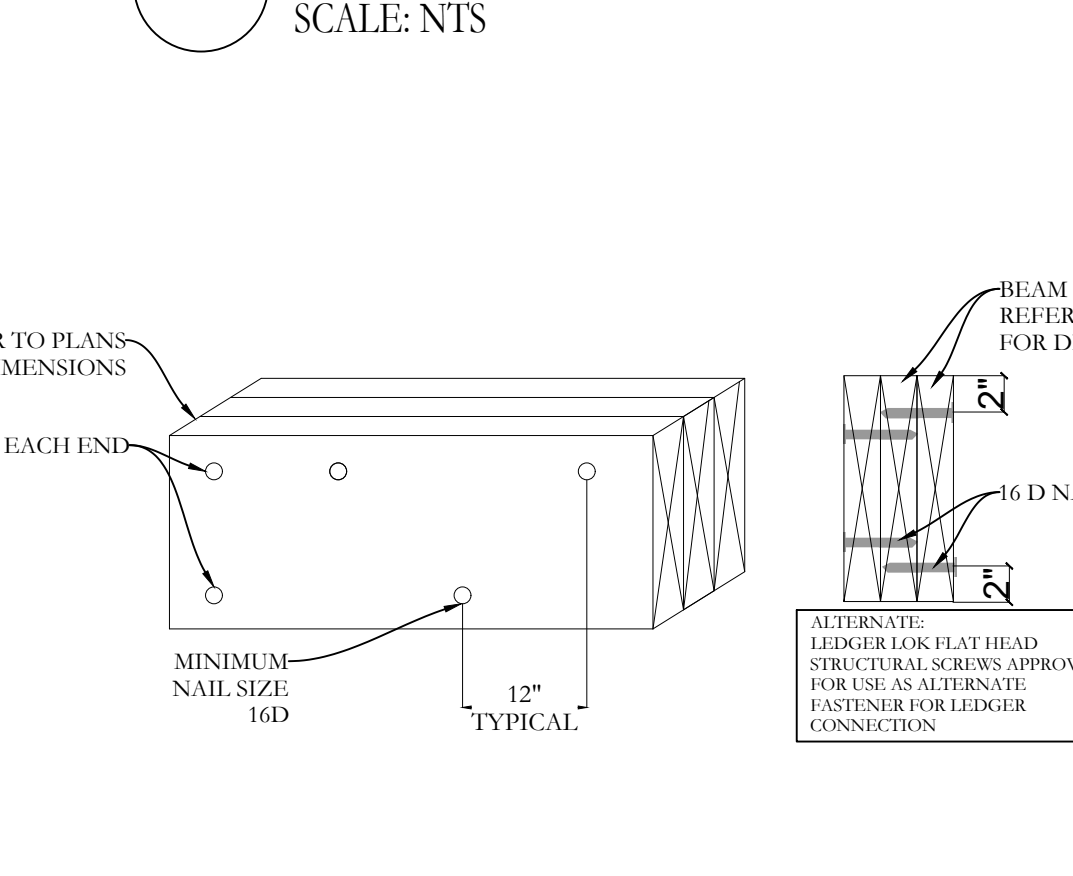
**ATTIC HATCH DETAIL**  
SCALE: NTS

**GUIDE TO NOTCHING AND BORING JOISTS**

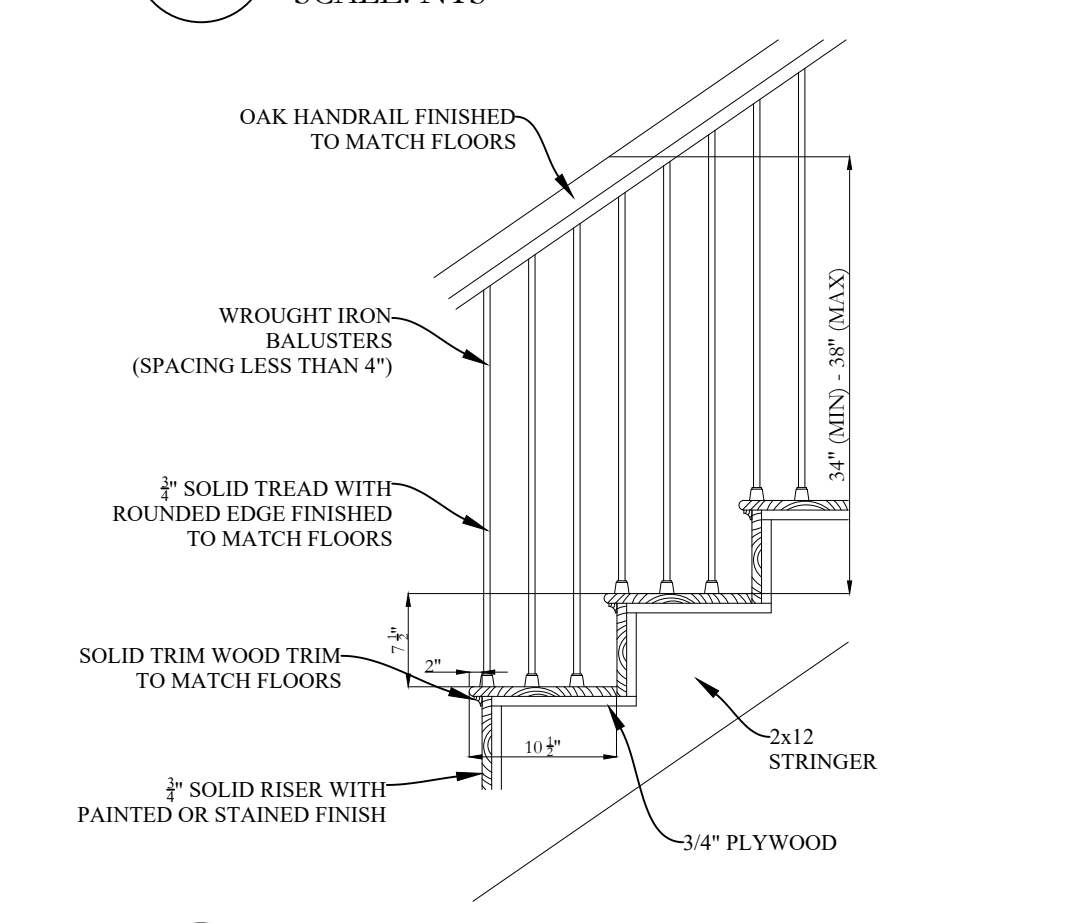
JOIST SIZE	MAX. HOLE	MAX. NOTCH DEPTH	MAX. END NOTCH
2x4	NONE	NONE	NONE
2x6	1-1/2	7/8	1-3/8
2x8	2-3/8	1-1/4	1-7/8
2x10	3	1-1/2	2-3/8
2x12	3-3/4	1-7/8	2-7/8



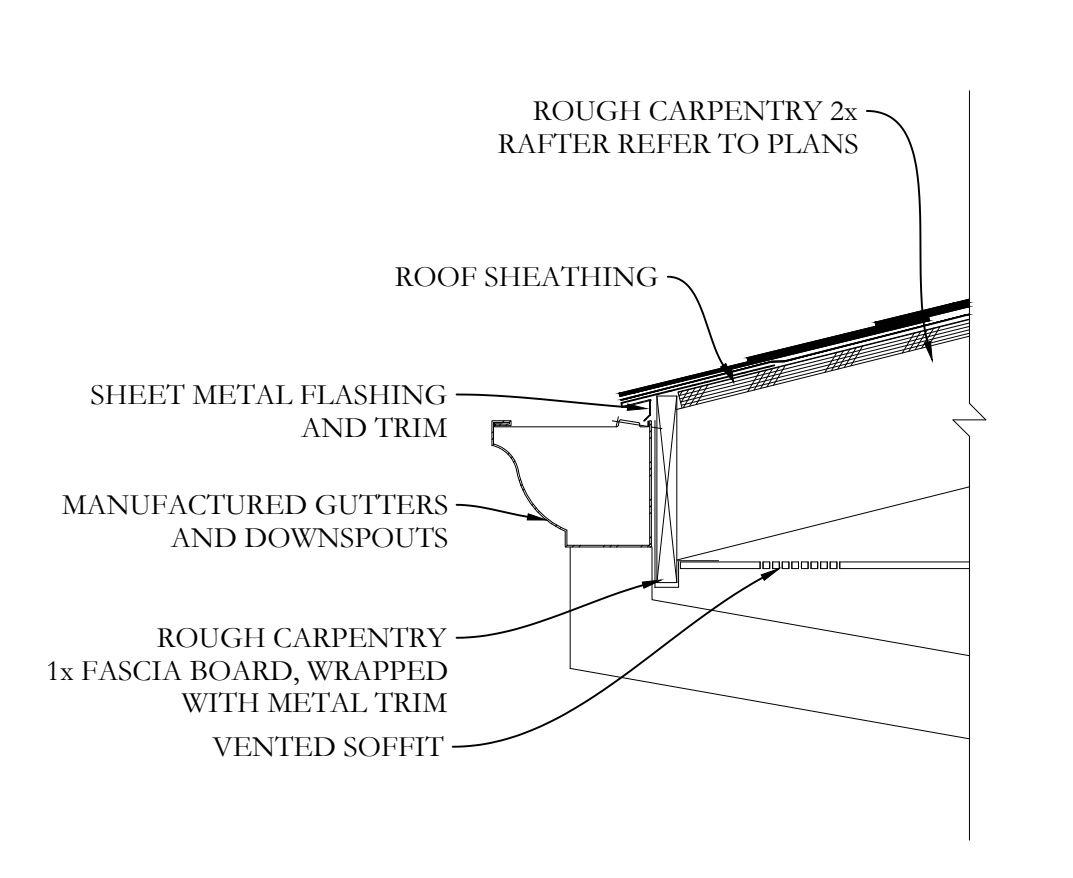
**PENETRATIONS**  
SCALE: NTS



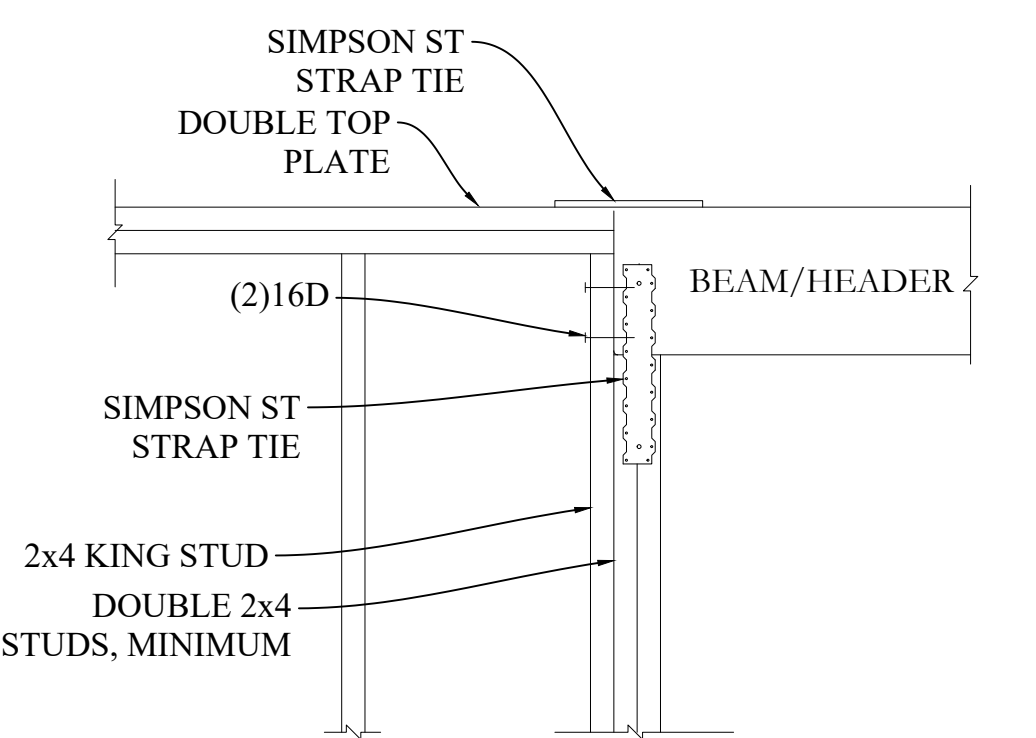
**BEAM NAILING DETAIL**  
SCALE: NTS



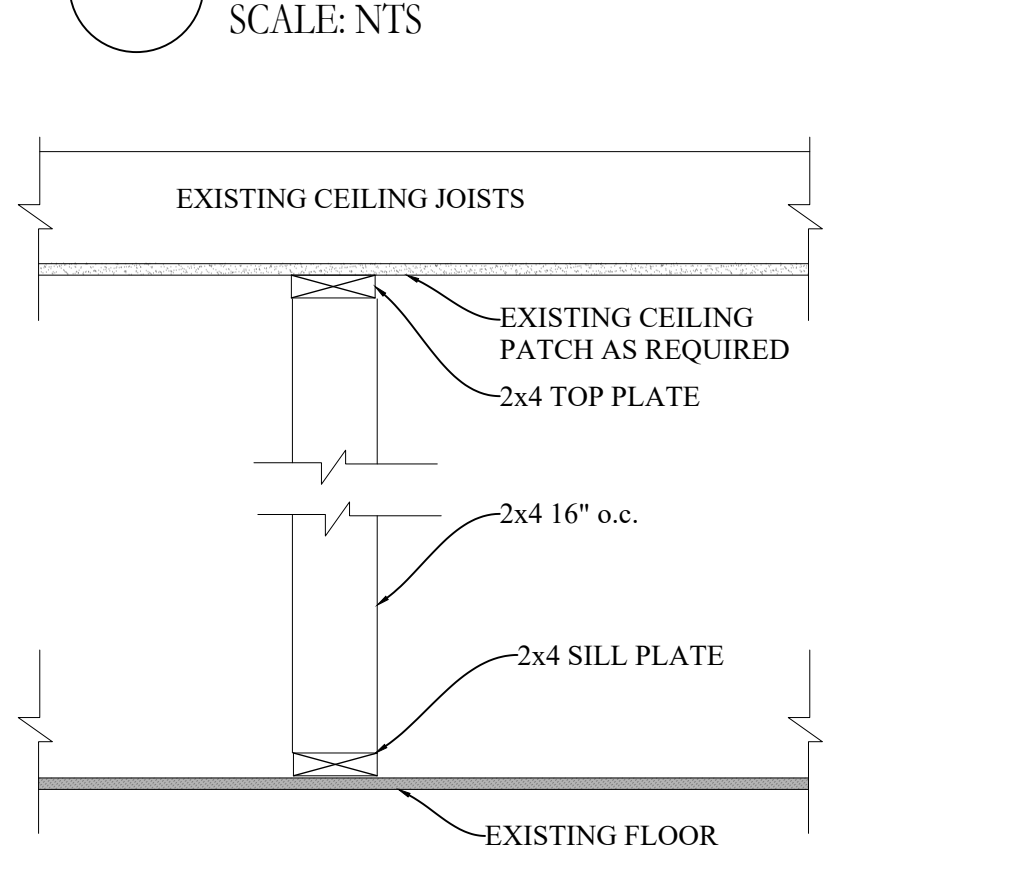
**STAIR DETAIL 1**  
SCALE: NTS



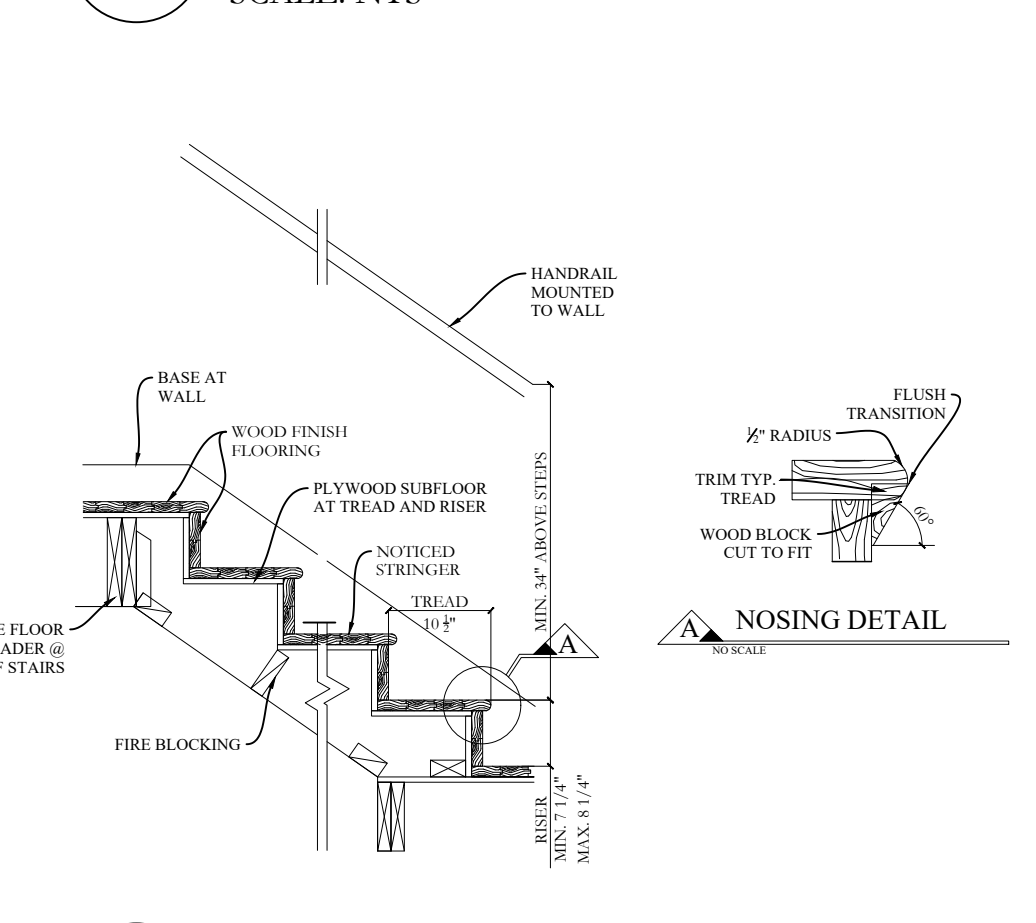
**GUTTER DETAIL**  
SCALE: NTS



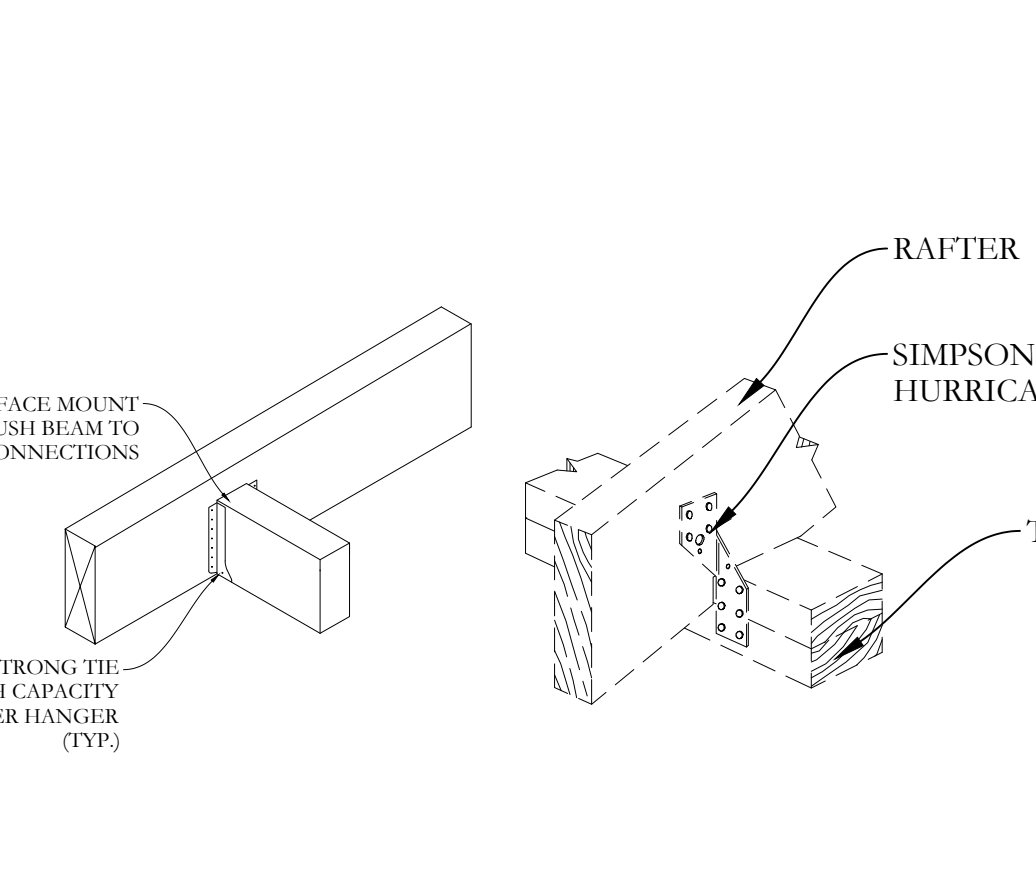
**HEADER DETAIL**  
SCALE: NTS



**TEMPORARY SHORING**  
SCALE: NTS



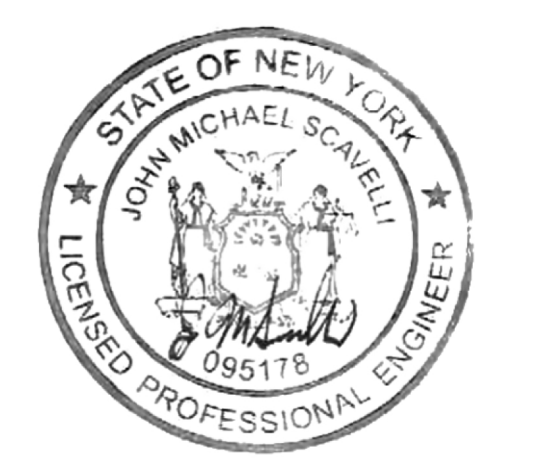
**STAIR DETAIL 2**  
SCALE: NTS



**HANGERS & RAFTER TIES**  
SCALE: NTS

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

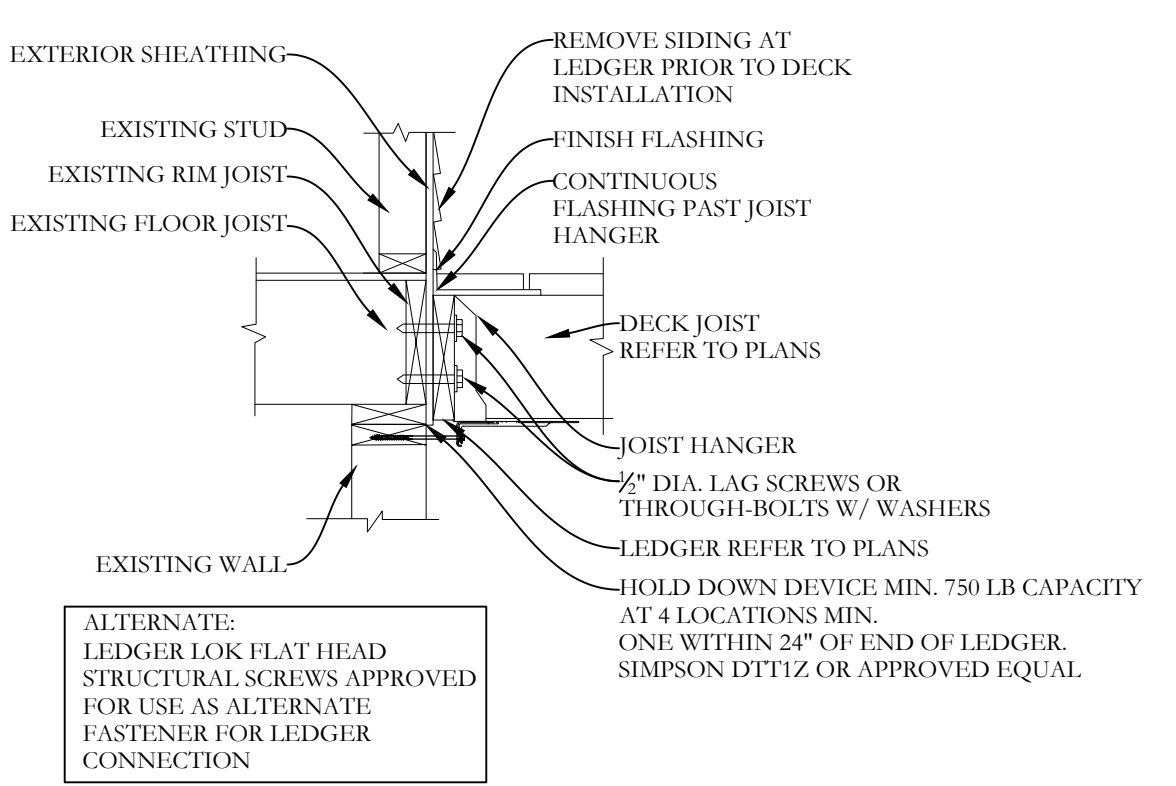
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
**16 School Street  
Armonk, NY 10504**

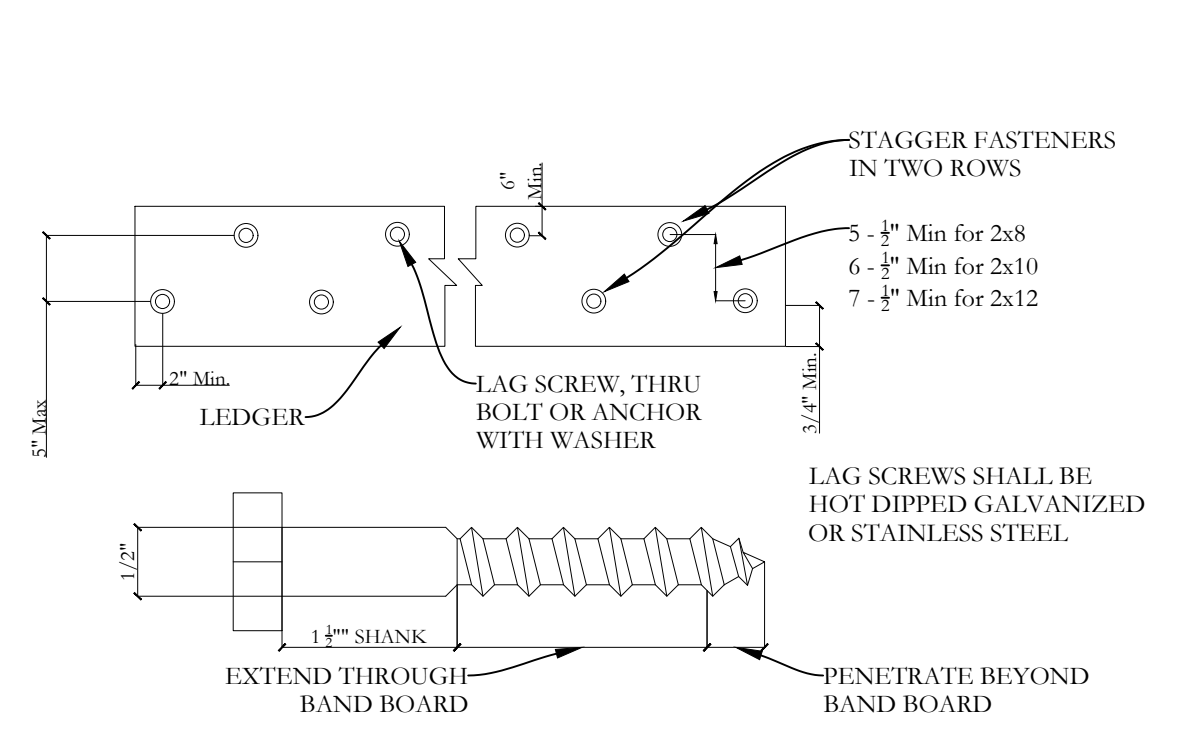
DRAWING TITLE:  
**DETAILS  
SHEET 2  
D-102**

NOTES:

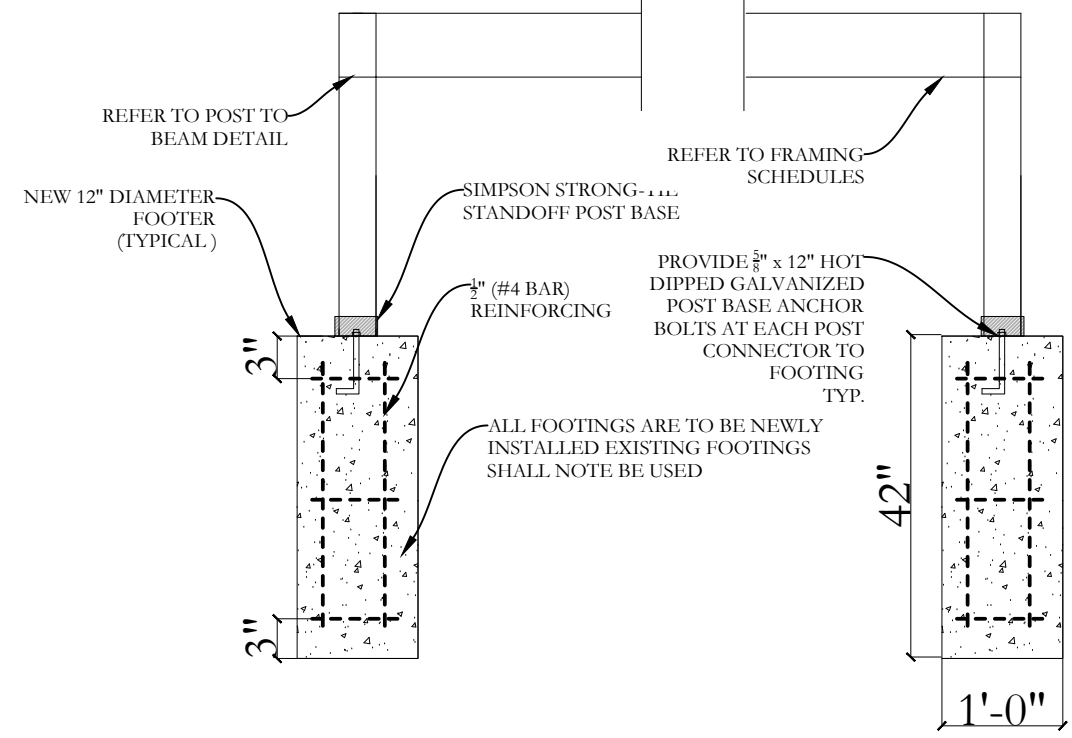
PROPERTY INFORMATION:  
PREPARED BY: JMS ENGINEERING SERVICES, PC  
PROJECT LOCATION: 16 SCHOOL STREET  
PROJECT TOWN: ARMONK, NY 10504  
BUILDING DEPARTMENT: NORTH CASTLE  
PROPERTY IDENTIFICATION: 108-01-2-37  
OCCUPANCY: SINGLE-FAMILY DWELLING  
ZONING CODE: R-10



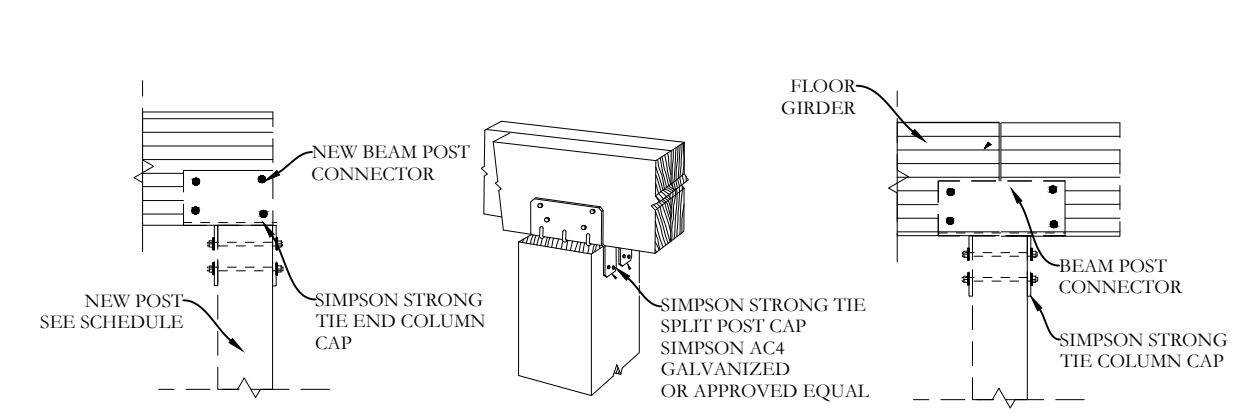
**LEDGER CONNECTION**  
SCALE: NTS



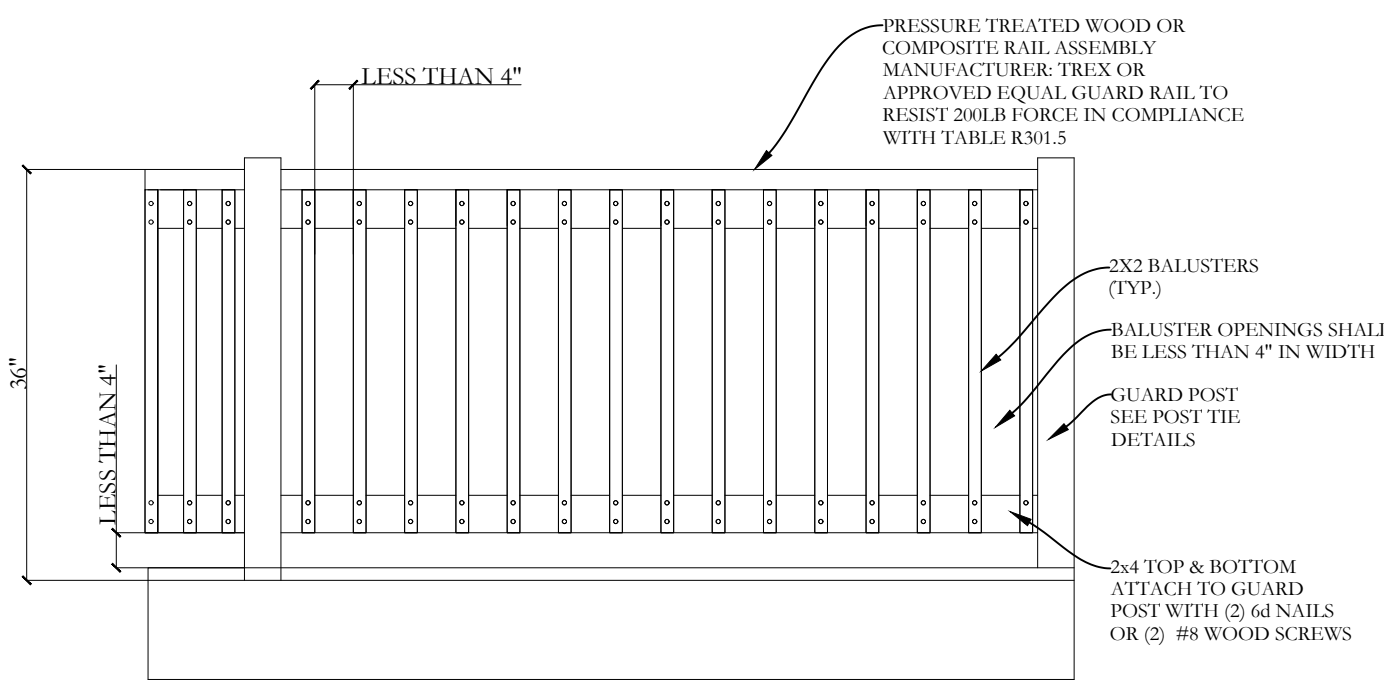
**LEDGER DETAIL**  
SCALE: NTS



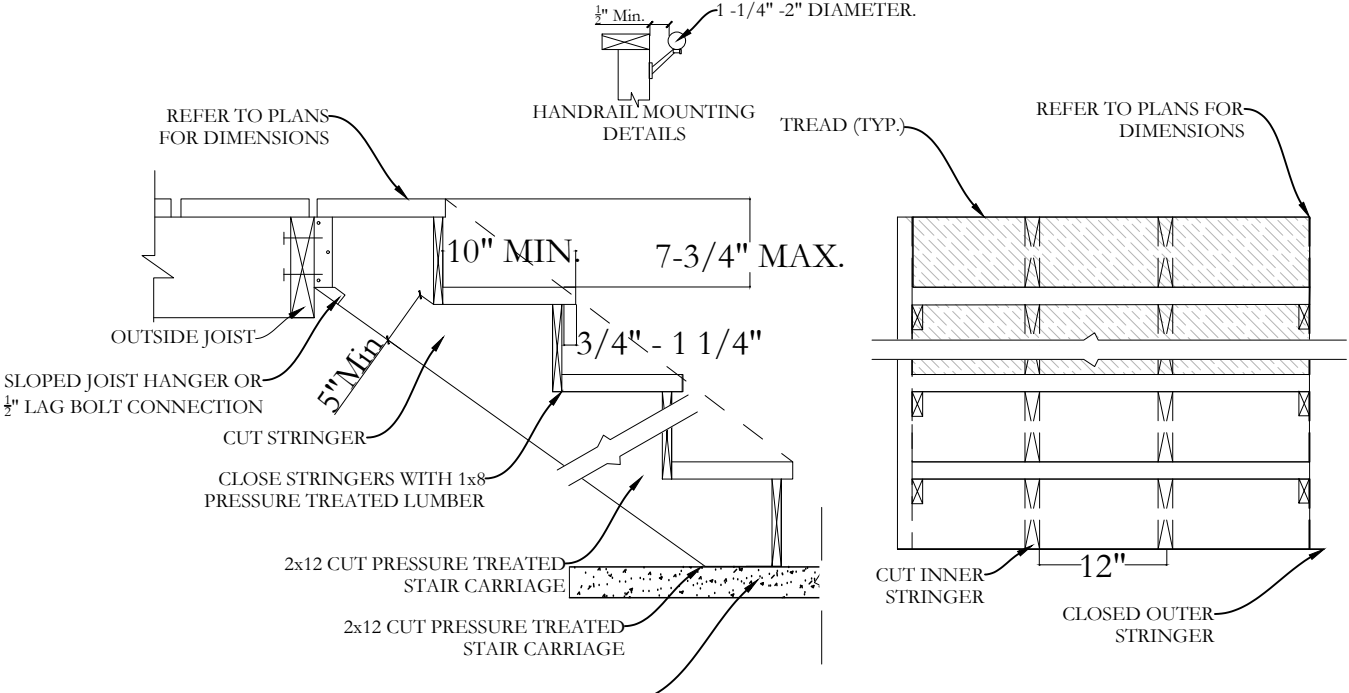
**FOOTING DETAIL**  
SCALE: NTS



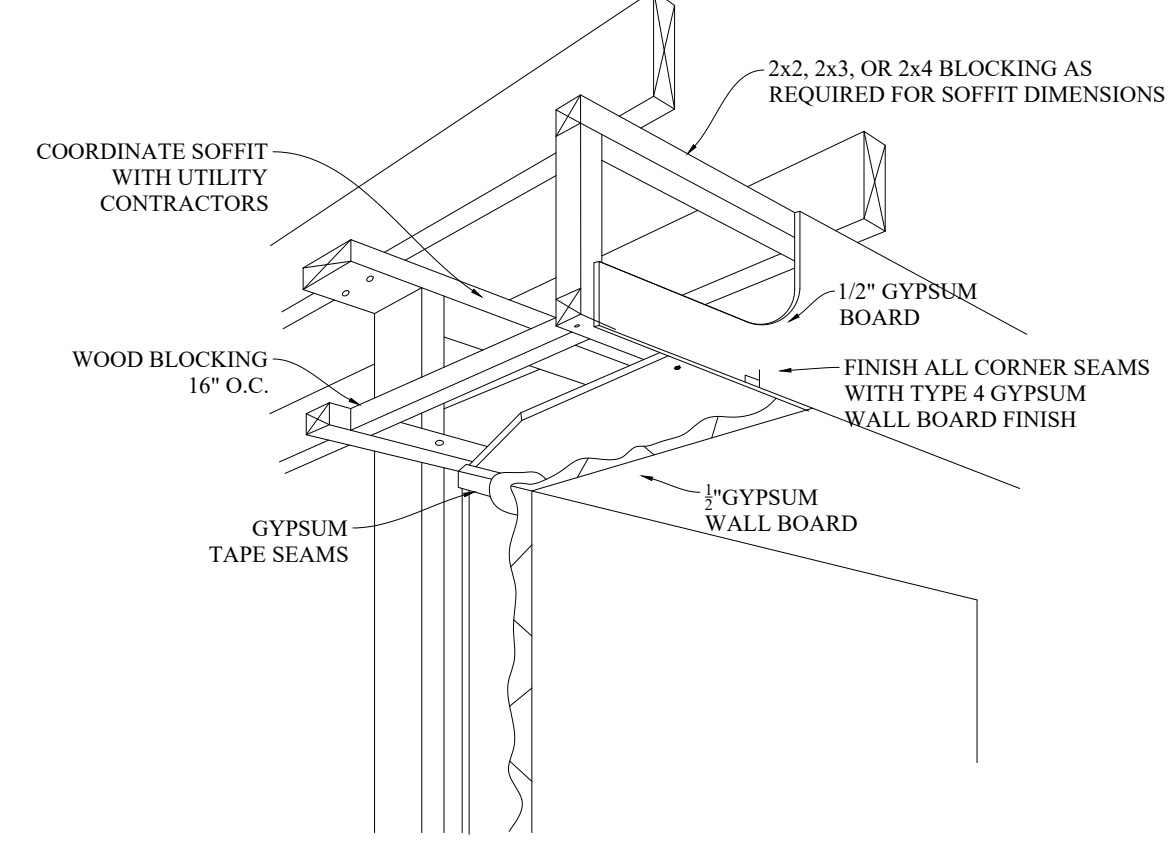
**POST/GIRDER TIE DETAIL**  
SCALE: NTS



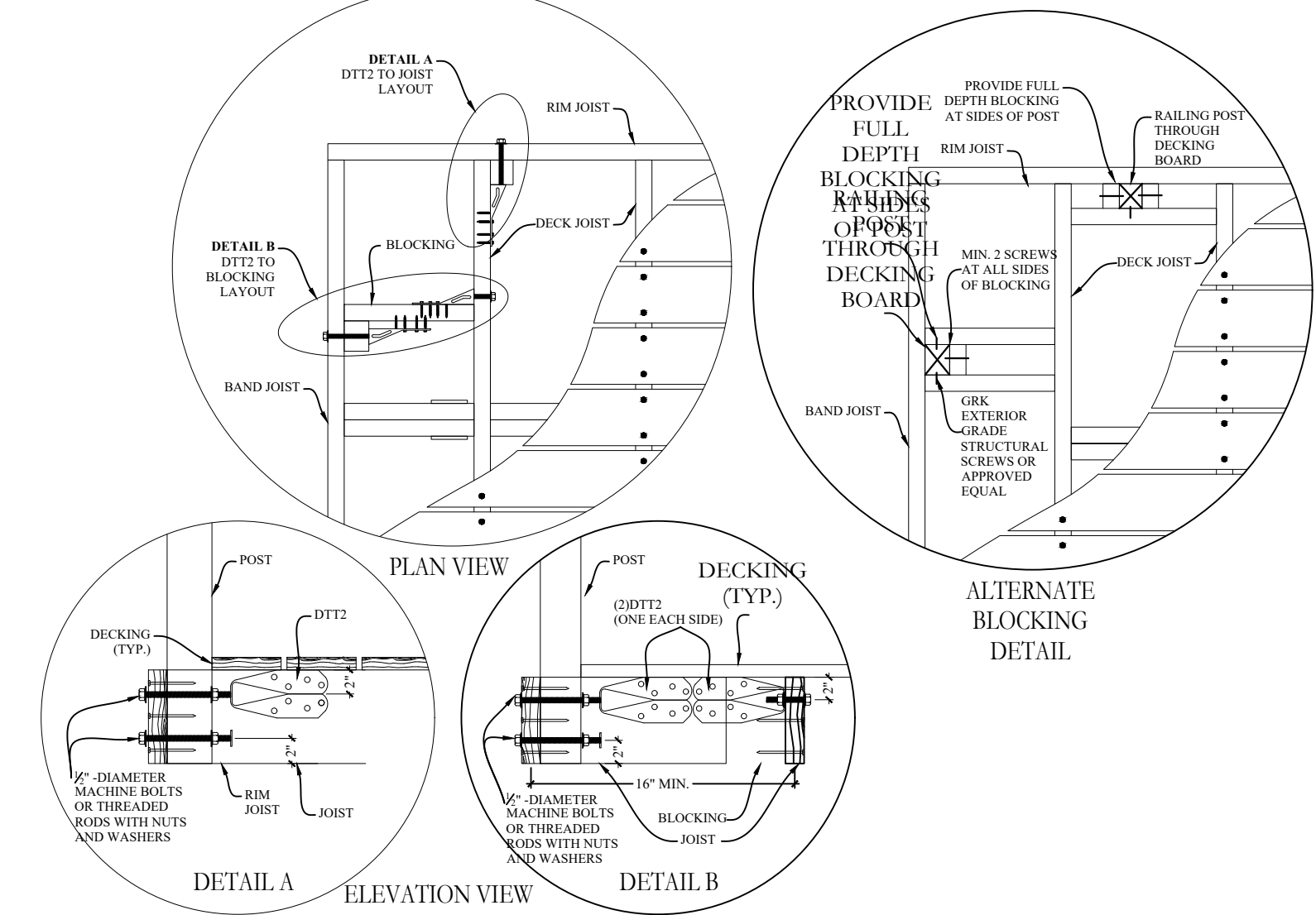
**EXTERIOR RAILING**  
SCALE: NTS



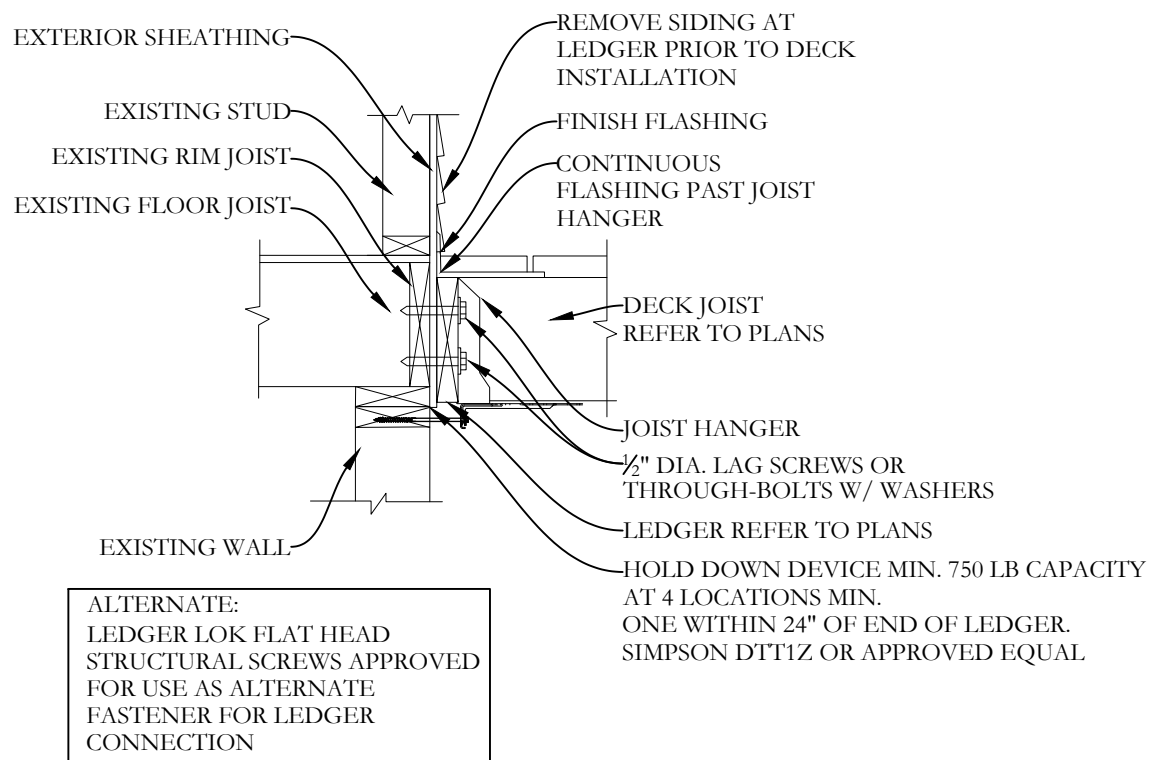
**DECK STAIRS**  
SCALE: NTS



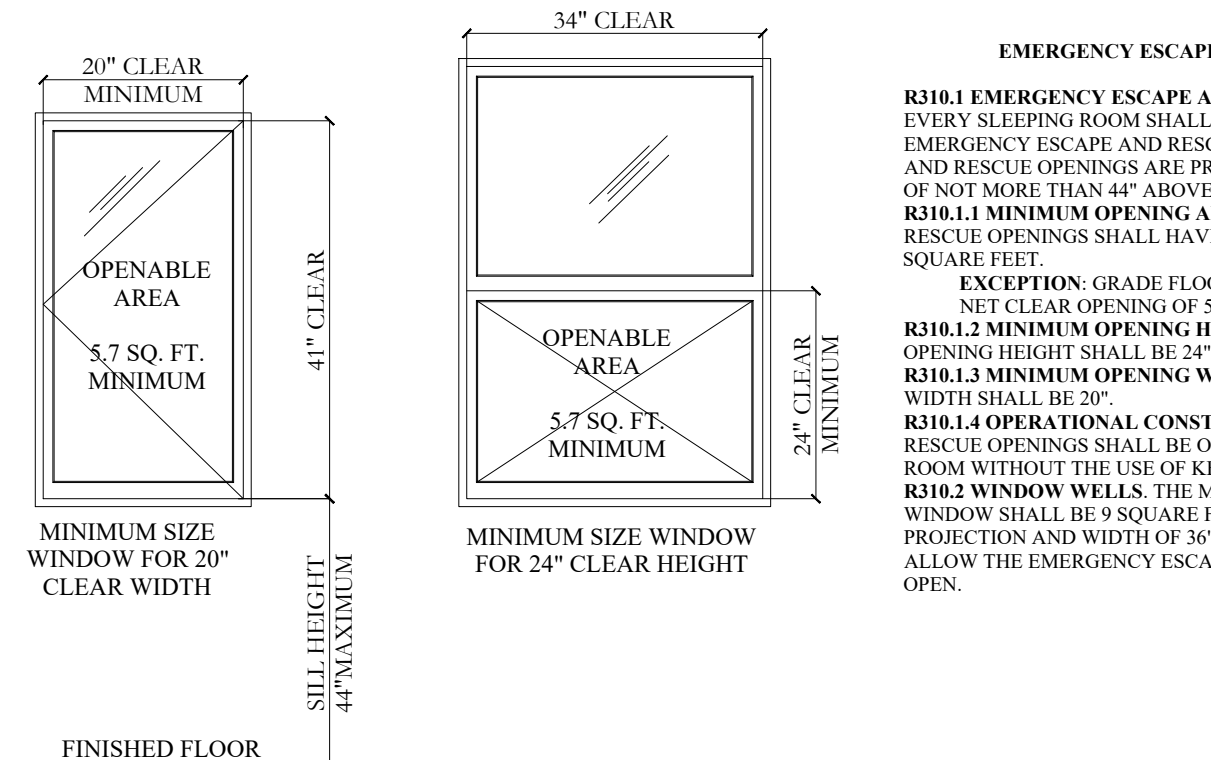
**SOFFIT DETAIL**  
SCALE: NTS



**RAILING POST TIES**  
SCALE: NTS

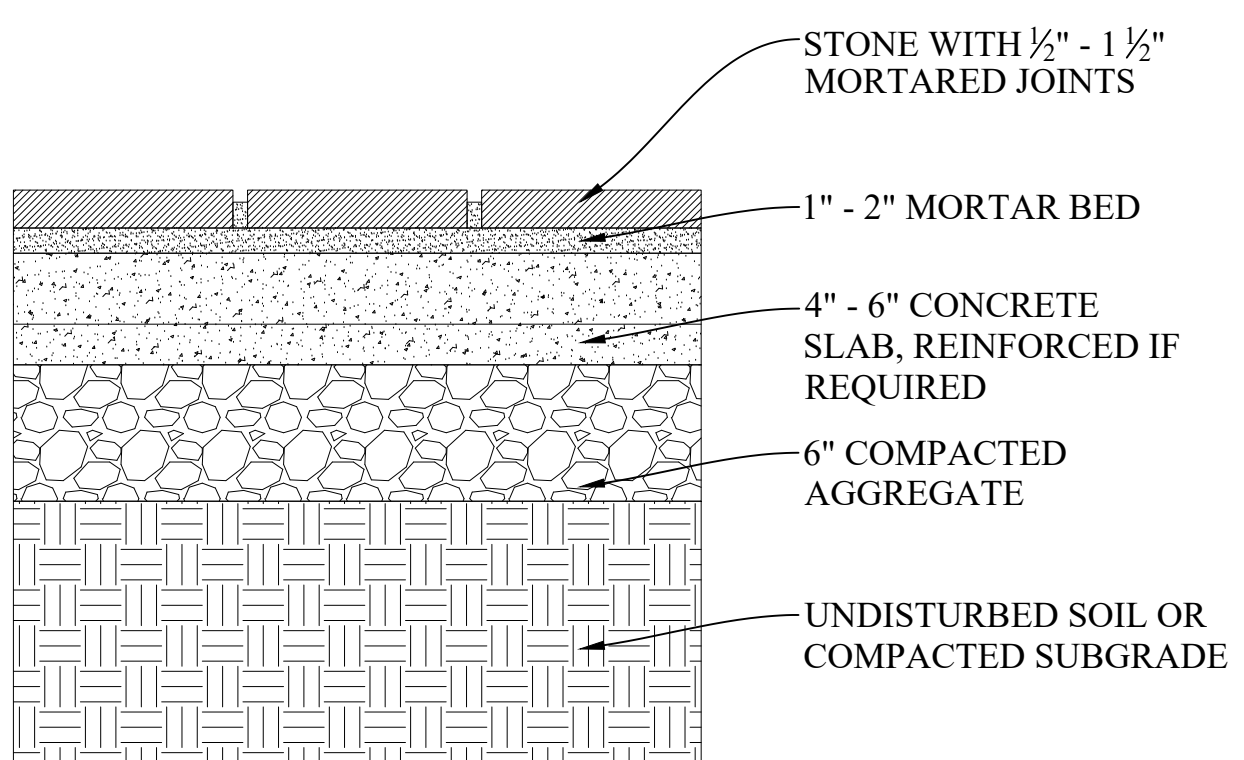


**LEDGER CONNECTION**  
SCALE: NTS

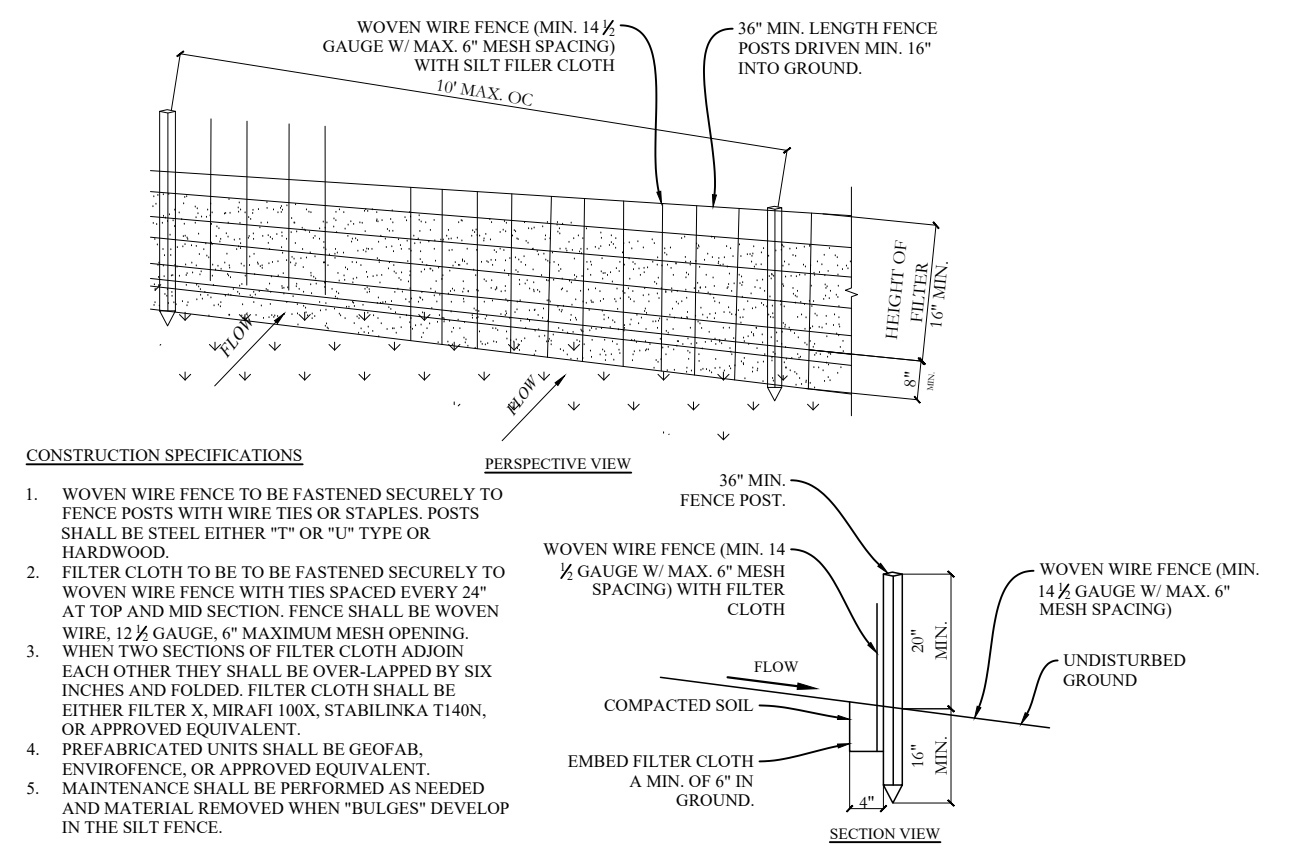


**EGRESS WINDOW**  
SCALE: NTS

**EMERGENCY ESCAPE AND RESCUE OPENINGS NOTES**  
**R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED.** BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FINISHED FLOOR.  
**R310.1.1 MINIMUM OPENING AREA.** ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.  
**EXCEPTION:** GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.  
**R310.1.2 MINIMUM OPENING HEIGHT.** THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20".  
**R310.1.3 MINIMUM OPENING WIDTH.** THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20".  
**R310.1.4 OPERATIONAL CONSTRAINTS.** EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.  
**R310.2 WINDOW WELLS.** THE MINIMUM HORIZONTAL AREA OF THE WINDOW SHALL BE 9 SQUARE FEET, WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36". THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPEN.



**PATIO DETAIL**  
SCALE: NTS



**SILT FENCE DETAIL**  
SCALE: NTS

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

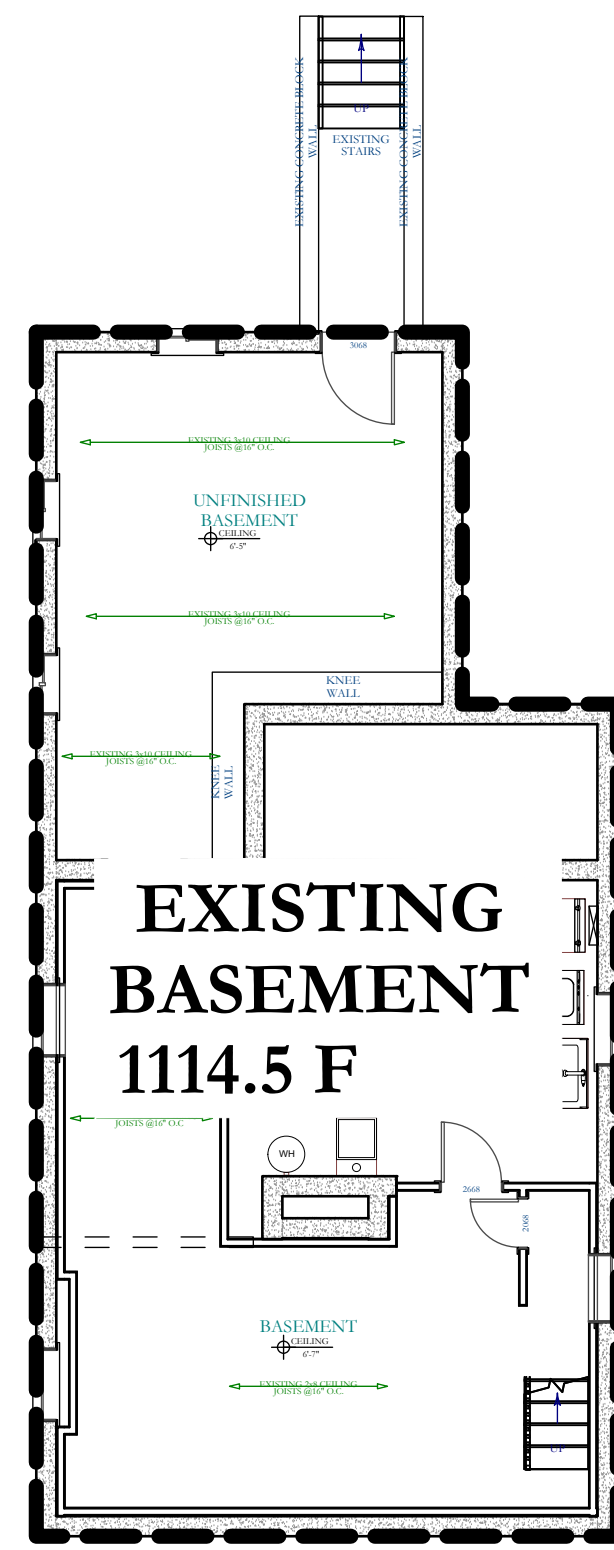
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

**PROJECT:**  
16 School Street  
Armonk, NY 10504

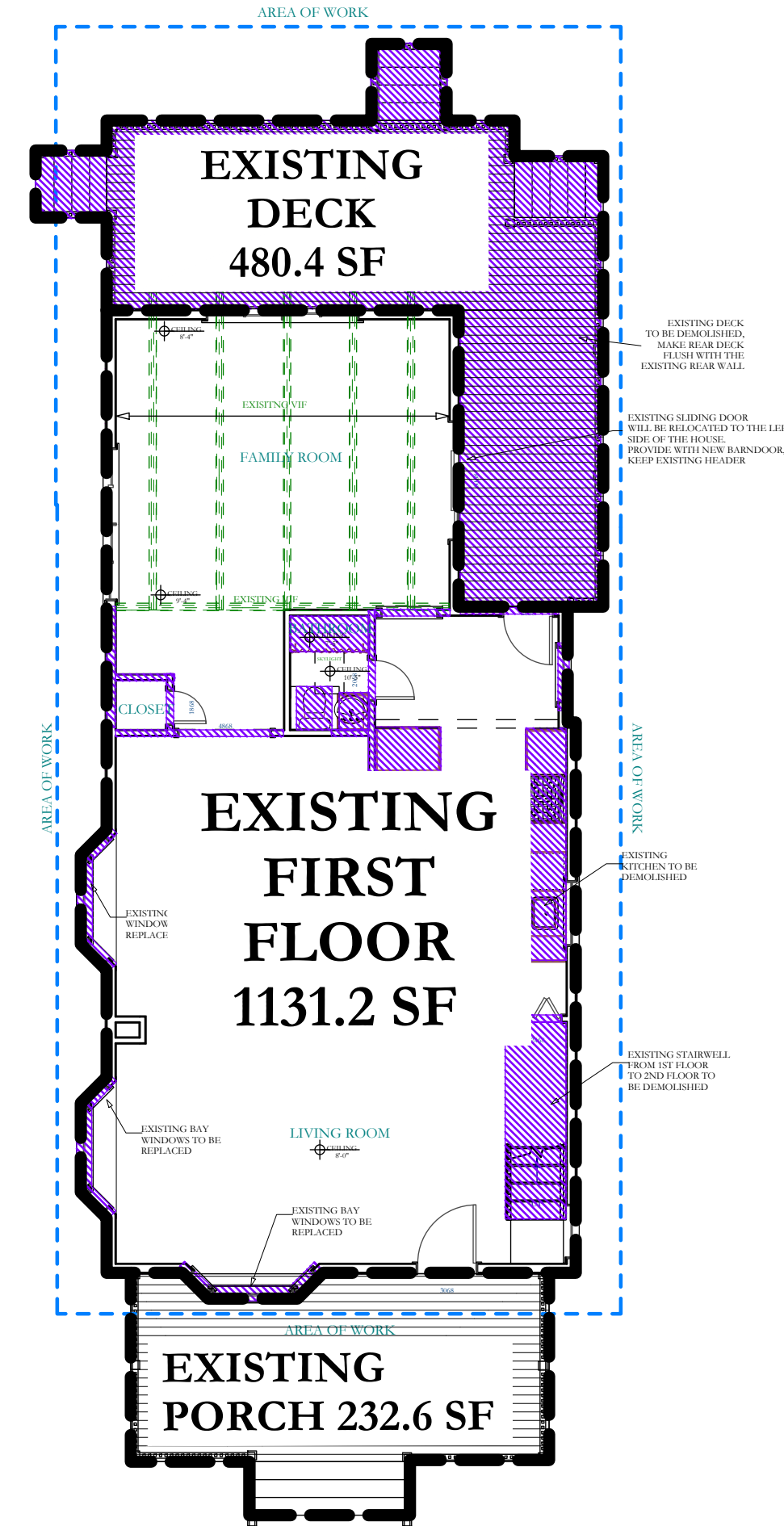
**DRAWING TITLE:**  
DETAILS  
SHEET 3  
D-103

NOTES:

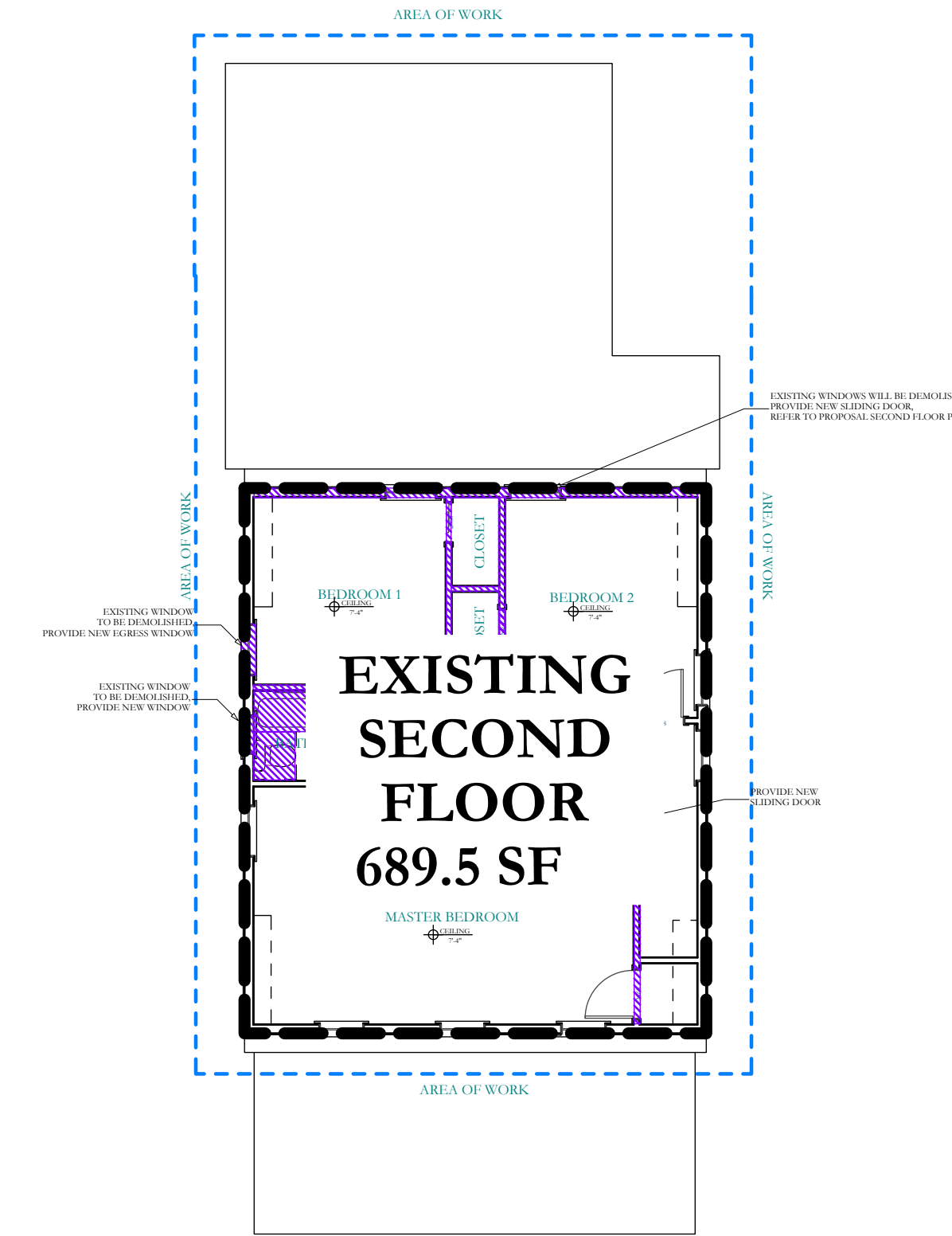




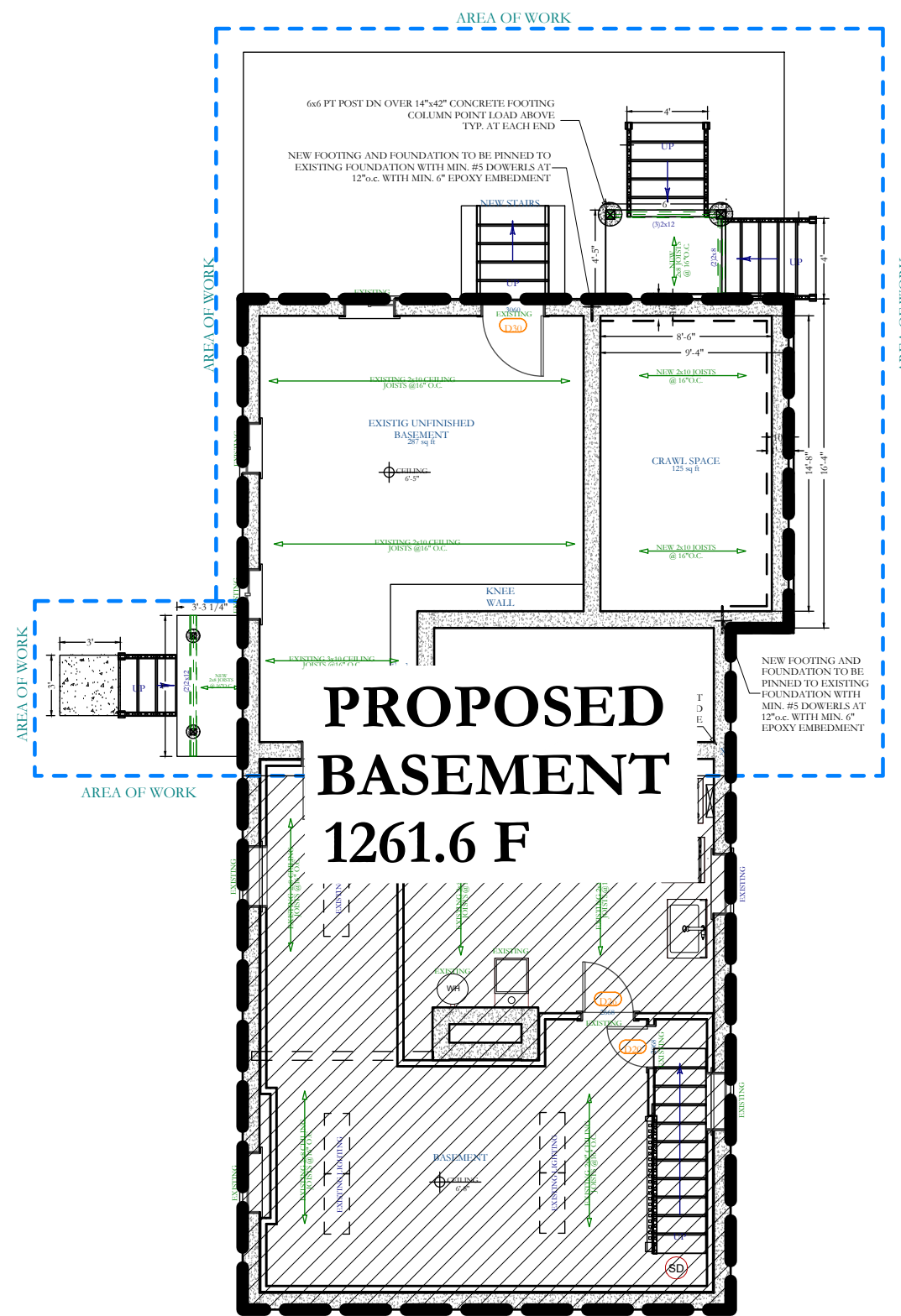
**B-EX** EXISTING BASEMENT FLOOR AREA  
SCALE: 1/8"=1'-0"



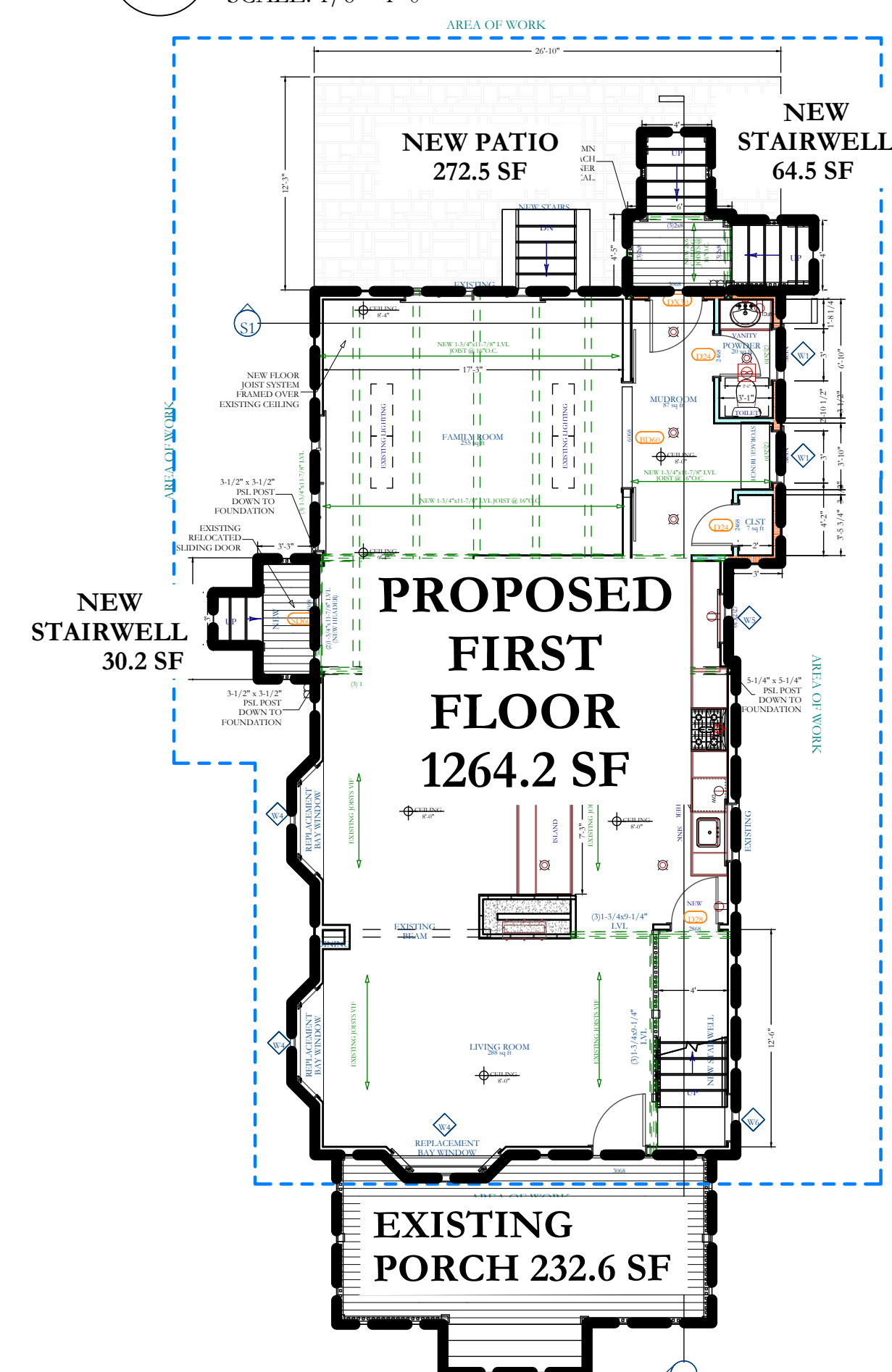
**1-EX** EXISTING 1ST FLOOR AREA  
SCALE: 1/8"=1'-0"



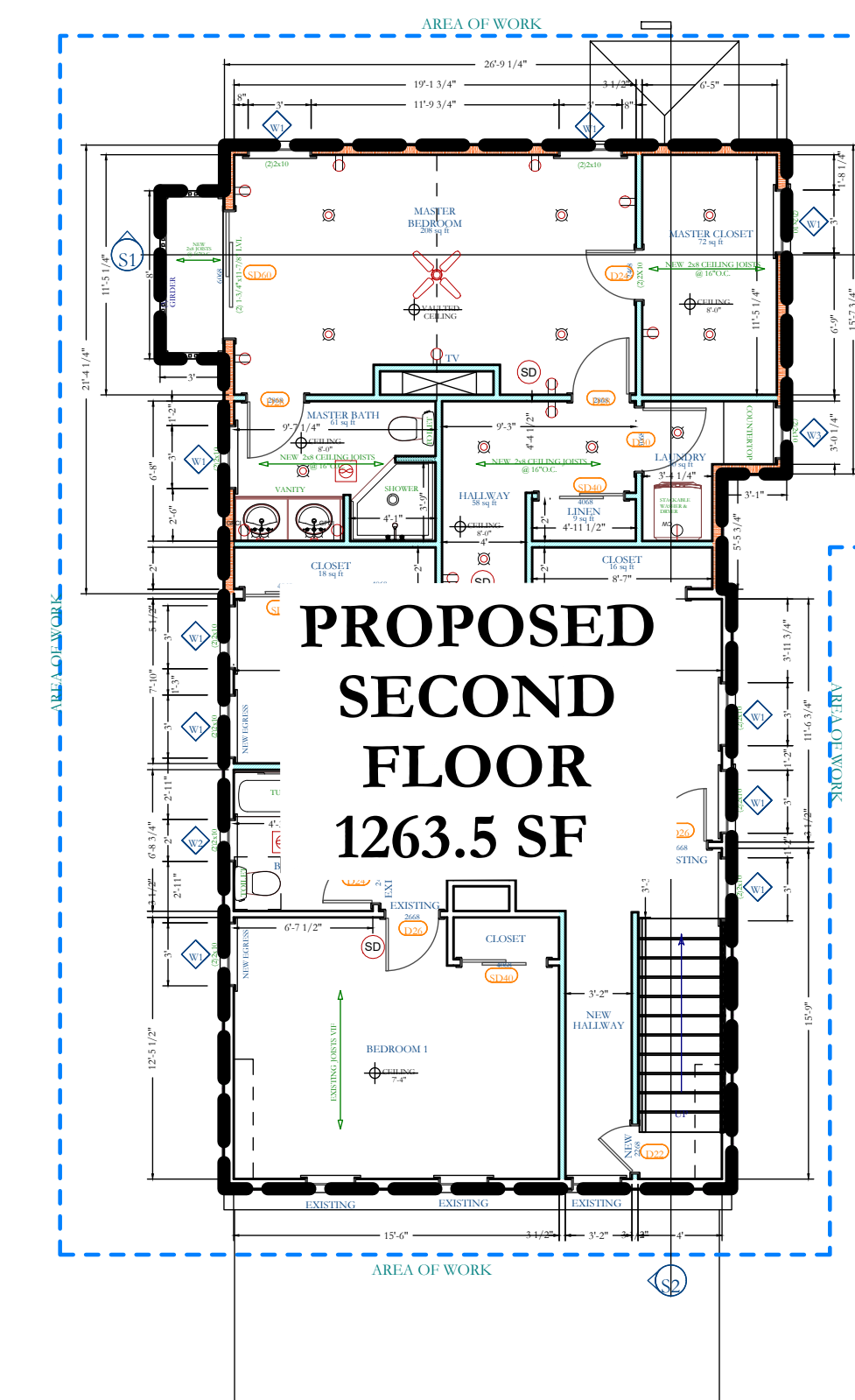
**2-EX** EXISTING 2ND FLOOR AREA  
SCALE: 1/8"=1'-0"



**B** PROPOSED BASEMENT FLOOR AREA  
SCALE: 1/8"=1'-0"



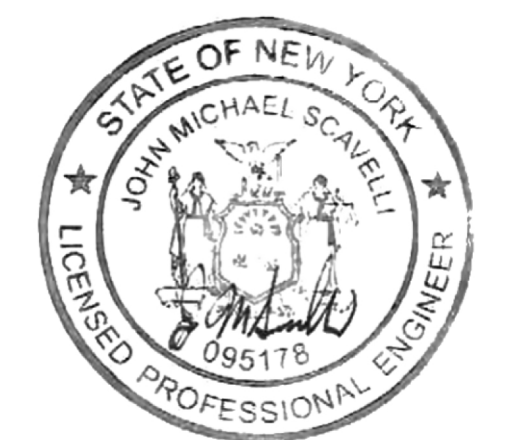
**1** PROPOSED 1ST FLOOR AREA  
SCALE: 1/8"=1'-0"



**2** PROPOSED 2ND FLOOR AREA  
SCALE: 1/8"=1'-0"

ISSUE	DATE	BY	CHECKED	APPROVED
0	09/17/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178  
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:  
16 School Street  
Armonk, NY 10504

DRAWING TITLE:  
FLOOR AREA SHEET

**FAR-101**

NOTES: