



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Varghese Residence

Initial Submittal Revised Preliminary

Street Location: 6 Fox Ridge Road

Zoning District: R 1.5A Property Acreage: 1.563 Tax Map Parcel ID: 102.1-1-63

Date: 9-29-22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 6 Fox Ridge Road

Section III- DESCRIPTION OF WORK:

CHANGES TO PREVIOUS PERMIT:
NEW WINDOW SEAT/ROOF AT LIVING ROOM.
NEW ADDITION AT DINING ROOM
INTERIOR CHANGES.

Section III- CONTACT INFORMATION:

APPLICANT: MICHAEL PICCIRILLO ARCHITECTURE PLLC
ADDRESS: 345 KEAR STREET SUITE 203, YORKTOWN HTS. NY 10598
PHONE: 369-9838 MOBILE: _____ EMAIL: MICHAEL@M.PICCIRILLOARCHITECTURE.COM

PROPERTY OWNER: JENSEN VAZQUEZ E

ADDRESS: 6 Fox Ridge Road

PHONE: _____ MOBILE: 917-716-8076 EMAIL: JENSENV@GMAIL.COM

PROFESSIONAL: SAME AS APPLICANT

ADDRESS: _____

PHONE: _____ MOBILE: _____

EMAIL: _____

Section IV- PROPERTY INFORMATION:

Zone: R1.5A Tax ID (lot designation) 102.01-1-63



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

**Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com**

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: VARGHESE Date: 9-1-22

Tax Map Designation or Proposed Lot No.: 102.01-1-63

Gross Lot Coverage

- | | | |
|-----|---|------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>68,084.28</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>11,557.19</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback <u>21</u> x 10 = <u>210</u> | <u>210</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>11,767.19</u> |
| 5. | Amount of lot area covered by principal building : <u>2153</u> existing + <u>500</u> proposed = | <u>2,653</u> |
| 6. | Amount of lot area covered by accessory buildings : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of lot area covered by porches : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : <u>2,628</u> existing + <u>-137</u> proposed = | <u>2391</u> |
| 10. | Amount of lot area covered by terraces : <u>291</u> existing + <u>0</u> proposed = | <u>291</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 12. | Amount of lot area covered by all other structures : <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>2,335</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

9-1-22

Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: VARGHESE Date: 9/1/22

Tax Map Designation or Proposed Lot No.: 102.01-1-63

Floor Area

- | | | |
|-----|---|------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>68,084.28</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,171.21</u> |
| 3. | Amount of floor area contained within first floor: — <u>1,720</u> existing + <u>289</u> proposed = — | <u>2,009</u> |
| 4. | Amount of floor area contained within second floor: — <u>895</u> existing + <u>527</u> proposed = — | <u>1,422</u> |
| 5. | Amount of floor area contained within garage: — <u>433</u> existing + <u>211</u> proposed = — | <u>644</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed: — <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition): — <u>NA</u> existing + <u>NA</u> proposed = — | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition): — <u>NA</u> existing + <u>NA</u> proposed = — | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings: — <u>0</u> existing + <u>0</u> proposed = — | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = — | <u>4,075</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

9/1/22

Date

N/F WARC PROPERTIES, INC.

N/F ROSE



38°54'20"W

229.00'

N 95°48'10"E

IRON ROD FOUND

AREA = 1.563 ACRES
TAX LOT 102.01-1-63

N 75°10'50"W 64.00'

N/F BENEROFE

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors, and certifications shall be valid only to the party for whom the survey was prepared, and on that party's behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees of the lending institution, for mortgage purposes for said party for whom this survey was prepared. Certifications are not transferable to additional institutions or subsequent owners. Only copies from the original of this survey map bearing the signature and an original of the Land Surveyor's initial or his embossed seal shall be considered to be true and valid copies. In addition, unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 2209, Sub-division 2, of the New York State Education Law. The location of underground improvements or encroachments hereon, if any exist, are not certified.

STONE WALL

Certified to: JENSEN VARGHESE & CHINNU VARGHESE
GUARANTEED RATE, INC.
WESTCOE LAND TITLE INSURANCE COMPANY
BENCHMARK TITLE AGENCY, LLC

Field survey performed: NOVEMBER 29, 2015
and map prepared: DECEMBER 4, 2015

D.L.O.

David L. Odell, P.L.S., N.Y. State Licensed Land Surveyor No. 060074

N/F MILENITZ

N/F ZANACKI

SURVEY OF PROPERTY
PREPARED FOR
JENSEN VARGHESE

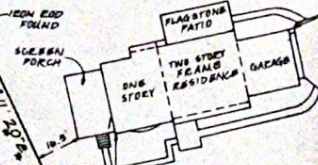
&
CHINNU VARGHESE

SITUATE IN THE

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 30'

2015.6' ±
N 81°11'30"E ±
28.1' ±
19.9' ±
71.1' ±
1100.00'



FOX RIDGE ROAD

N 0°35'40"W

185.00'

IRON ROD FOUND

MACADAM DRIVE

MONUMENT FOUND

475.65'

THORNWOOD ROAD

306.50'



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Land Surveying Company
12 Callender Drive East
Carmel, N.Y. 10912
(845) 228-0100

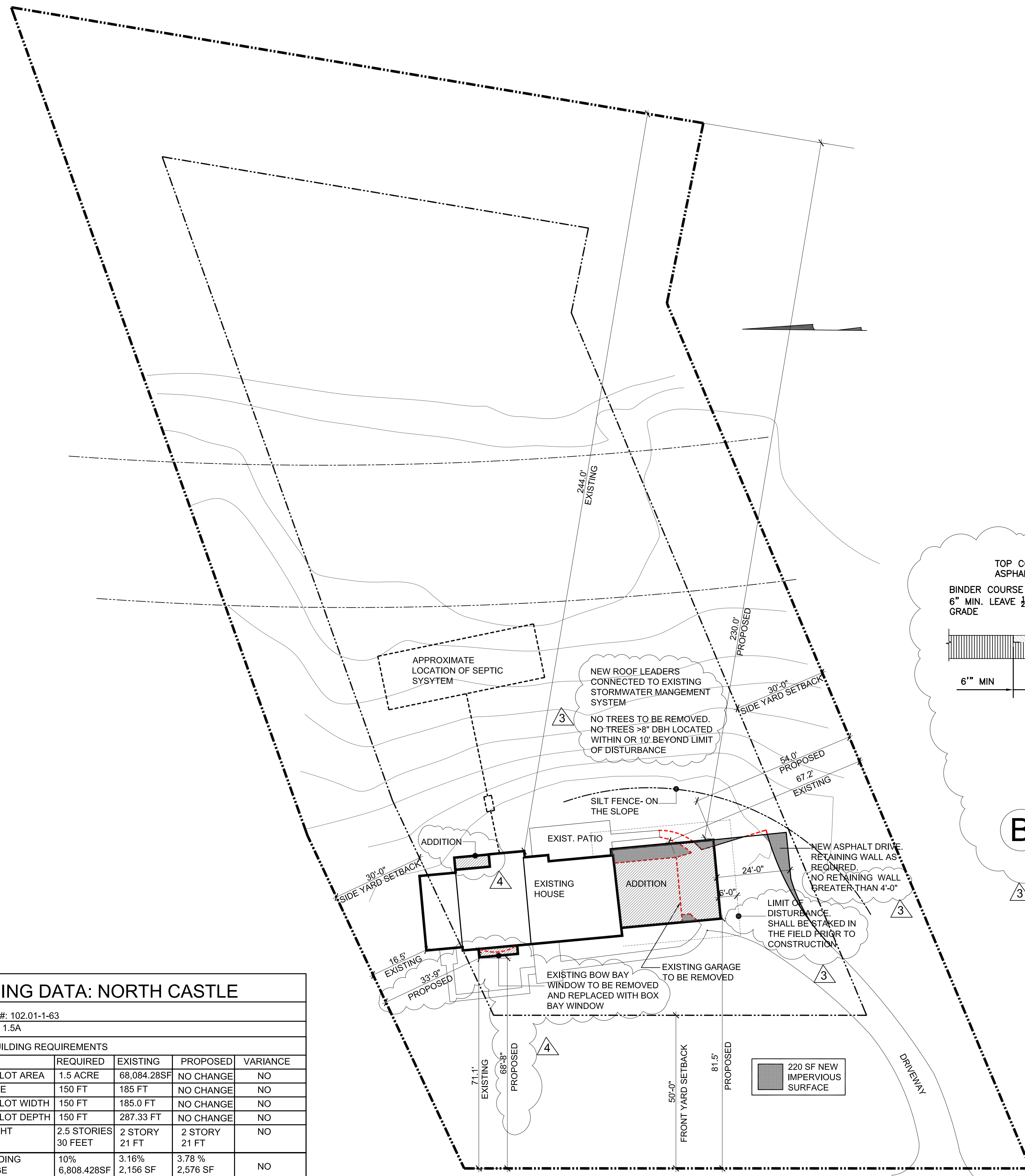
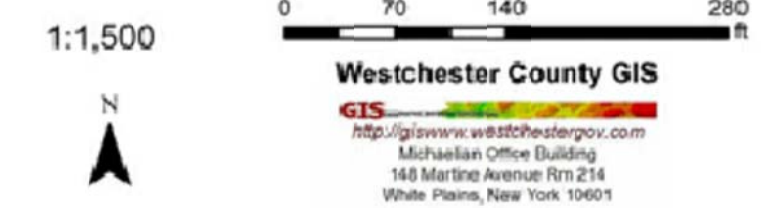
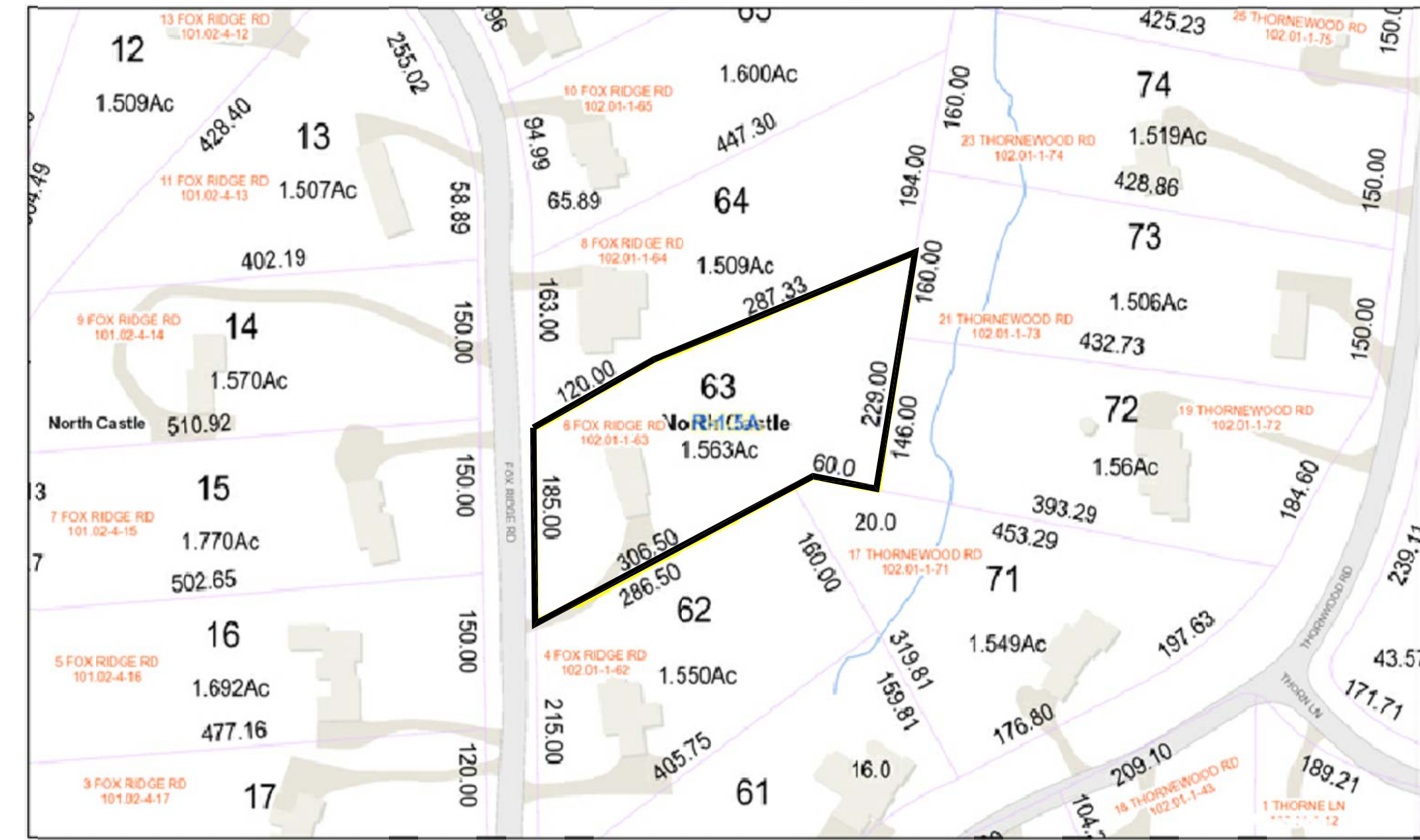
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C13-074



Michael Piccirillo Architecture

NOTE:
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ZONING DATA: NORTH CASTLE

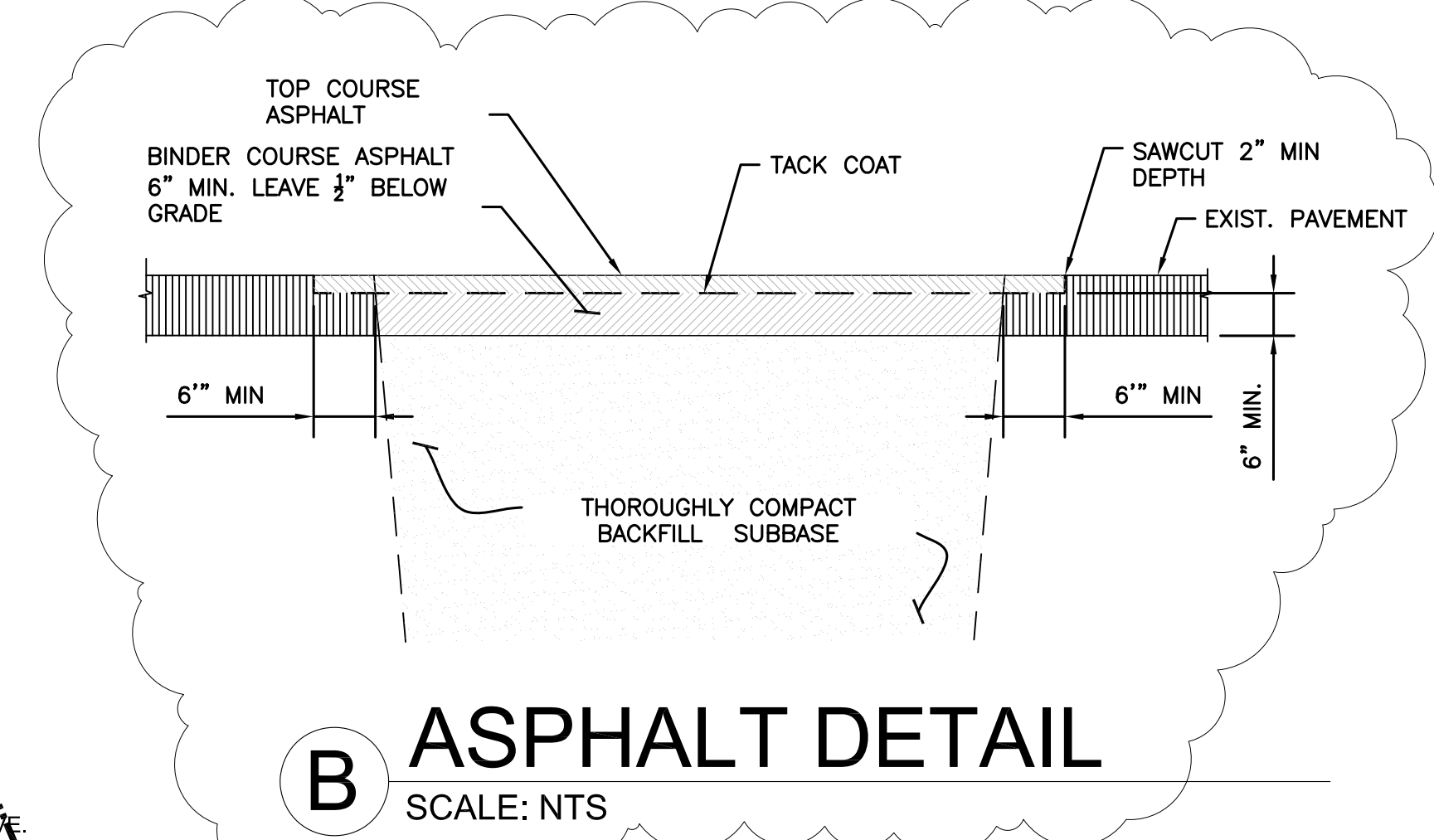
TAX MAP #: 102.01-1-63
ZONE: R - 1.5A

| TABLE BUILDING REQUIREMENTS | | | | |
|-----------------------------|--------------------------------|-------------------|--------------------|----------|
| | REQUIRED | EXISTING | PROPOSED | VARIANCE |
| MINIMUM LOT AREA | 1.5 ACRE | 68,084.28SF | NO CHANGE | NO |
| FRONTAGE | 150 FT | 185.0 FT | NO CHANGE | NO |
| MINIMUM LOT WIDTH | 150 FT | 185.0 FT | NO CHANGE | NO |
| MINIMUM LOT DEPTH | 150 FT | 287.33 FT | NO CHANGE | NO |
| MAX HEIGHT | 2.5 STORIES 30 FEET | 2 STORY 21 FT | 2 STORY 21 FT | NO |
| MAX BUILDING COVERAGE | 10% 6,808.428SF | 3.16% 2,156 SF | 3.78 % 2,576 SF | NO |
| MAX GROSS FLOOR AREA | REFER TO CALCULATION WORKSHEET | | | |
| MAX GROSS LAND COVERAGE | REFER TO CALCULATION WORKSHEET | | | |
| SETBACK REQUIREMENTS | | | | |
| MIN. FRONT | 50'-0" | 71.1' | 71.1' | NO |
| MIN. REAR | 40'-0" | 244' | 230' | NO |
| MIN. SIDE (NORTH) | 30'-0" | 16.5'* | 16.5'* | NO |
| MIN. SIDE (SOUTH) | 30'-0" | 67.2' | 54.0' | NO |

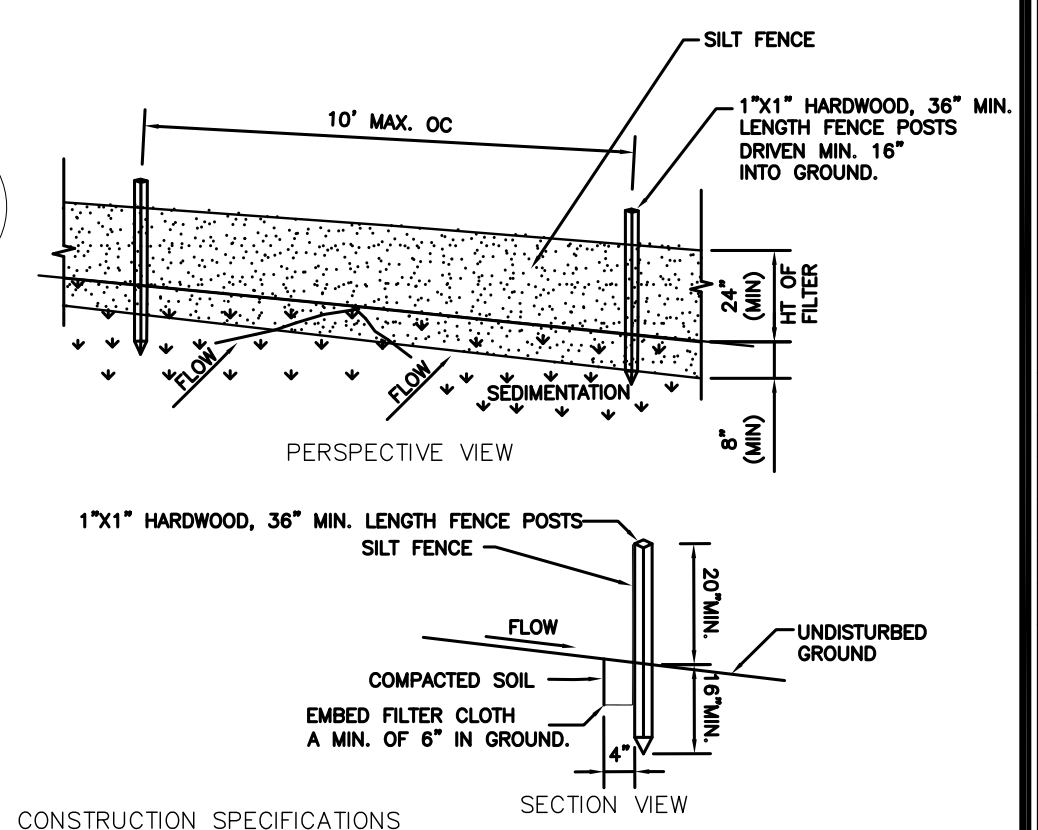
* EXISTING NON-CONFORMING

FOX RIDGE ROAD

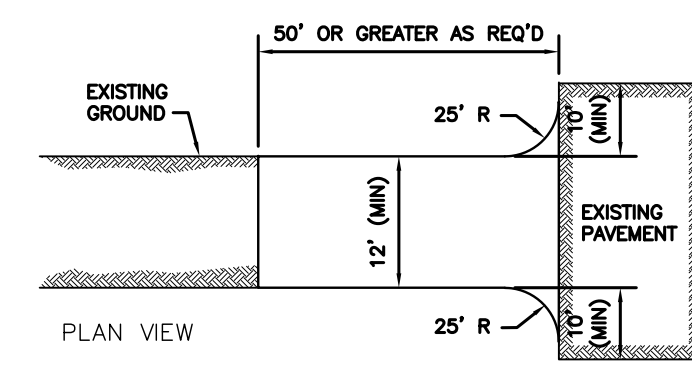
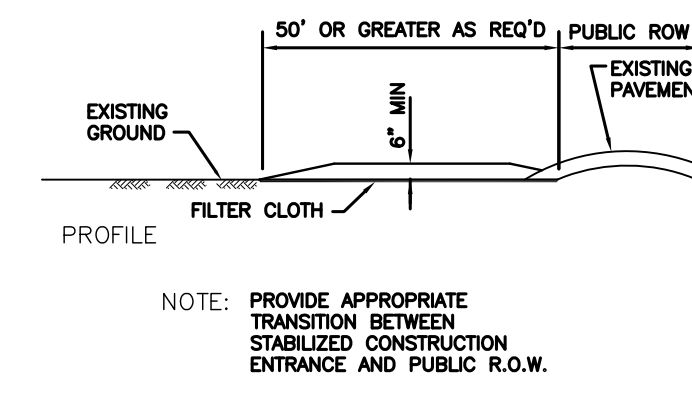
A SITE PLAN
SCALE: 1" = 20'



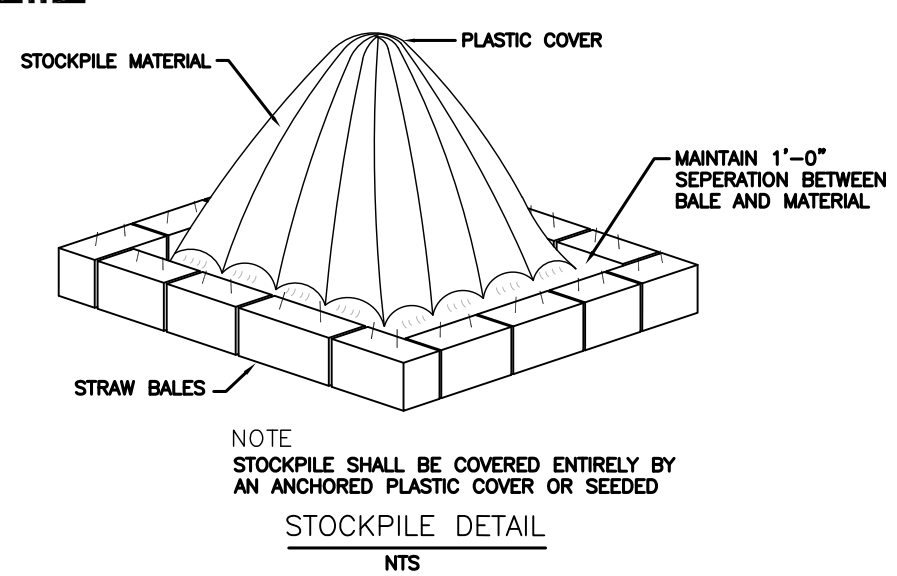
B ASPHALT DETAIL
SCALE: NTS



- CONSTRUCTION SPECIFICATIONS**
- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2". FILTER CLOTH SHALL BE EITHER FILTER USCF MSP180, MIRAFI 100X OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - 1/2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SIGHT.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



SCALE: NTS

| No. | DATE: | ISSUE: |
|-----|---------|-------------------|
| 1 | 1/28/22 | ISSUED |
| 2 | 3/7/22 | ISSUED FOR PERMIT |
| 3 | 5/12/22 | REVISED |
| 4 | 9/1/22 | REVISED |

PROJECT NAME:
VARGHESE RESIDENCE RENOVATION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
ARMONK, NY 10504



MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET - SUITE #203
YORKTOWN HEIGHTS, NEW YORK 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

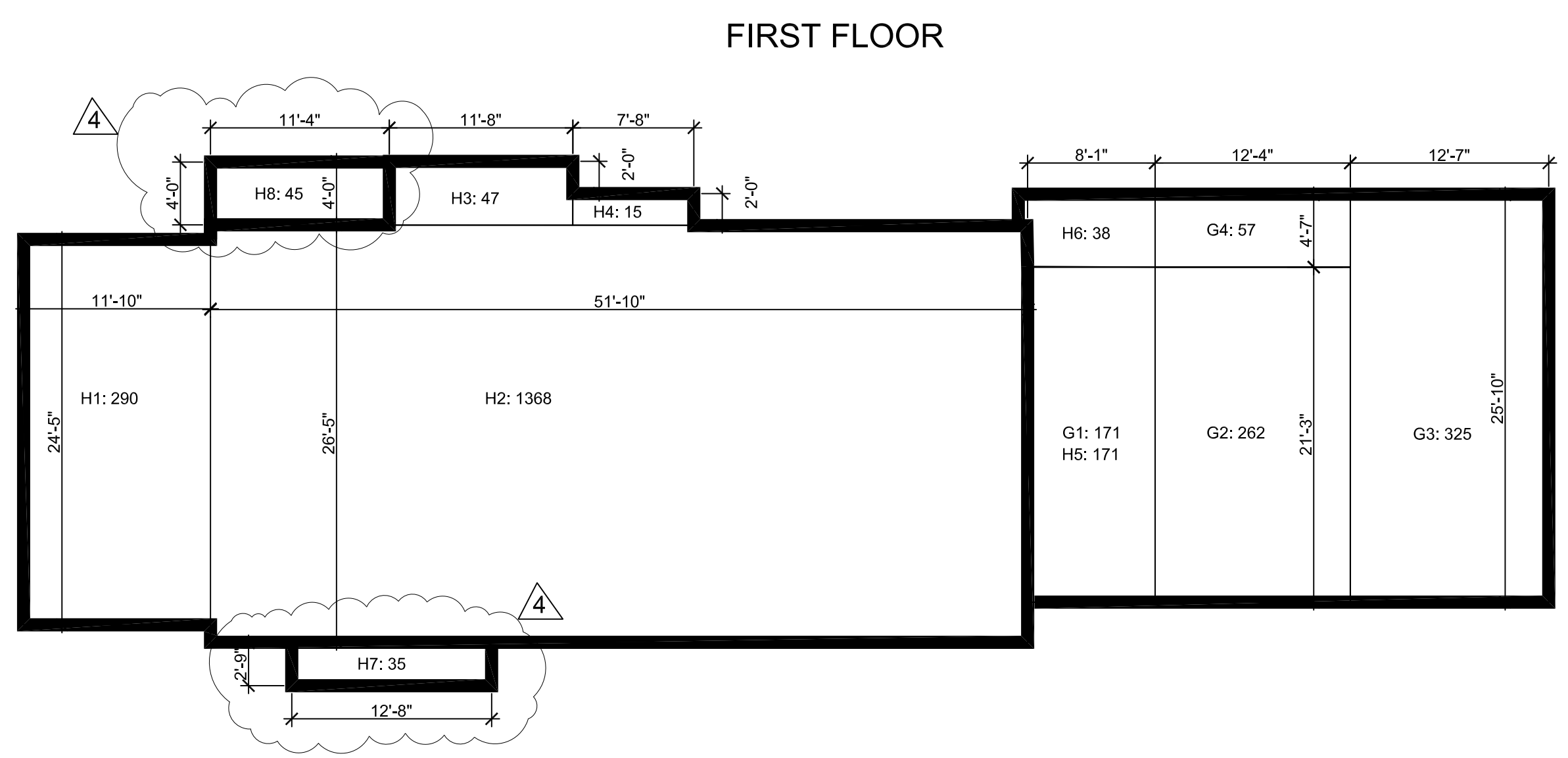
SITE PLAN ZONING DATA

| | | | |
|-----------|----------|--------------|----------|
| SCALE: | AS NOTED | DATE: | 09-11-21 |
| DRAWN BY: | MAP | SP100 | |
| CHKD BY: | MAP | | |
| | | | 1 OF 1 |

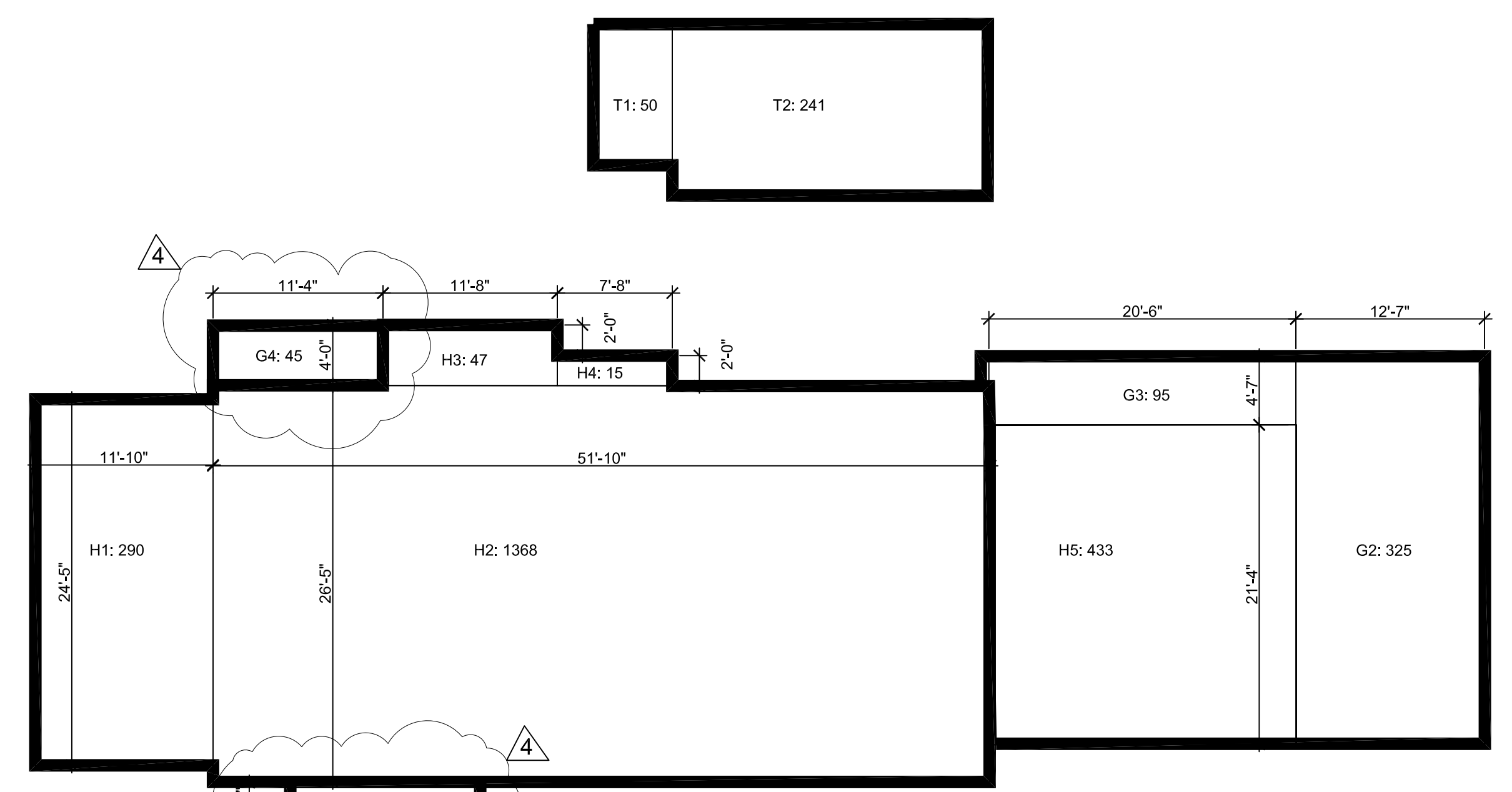
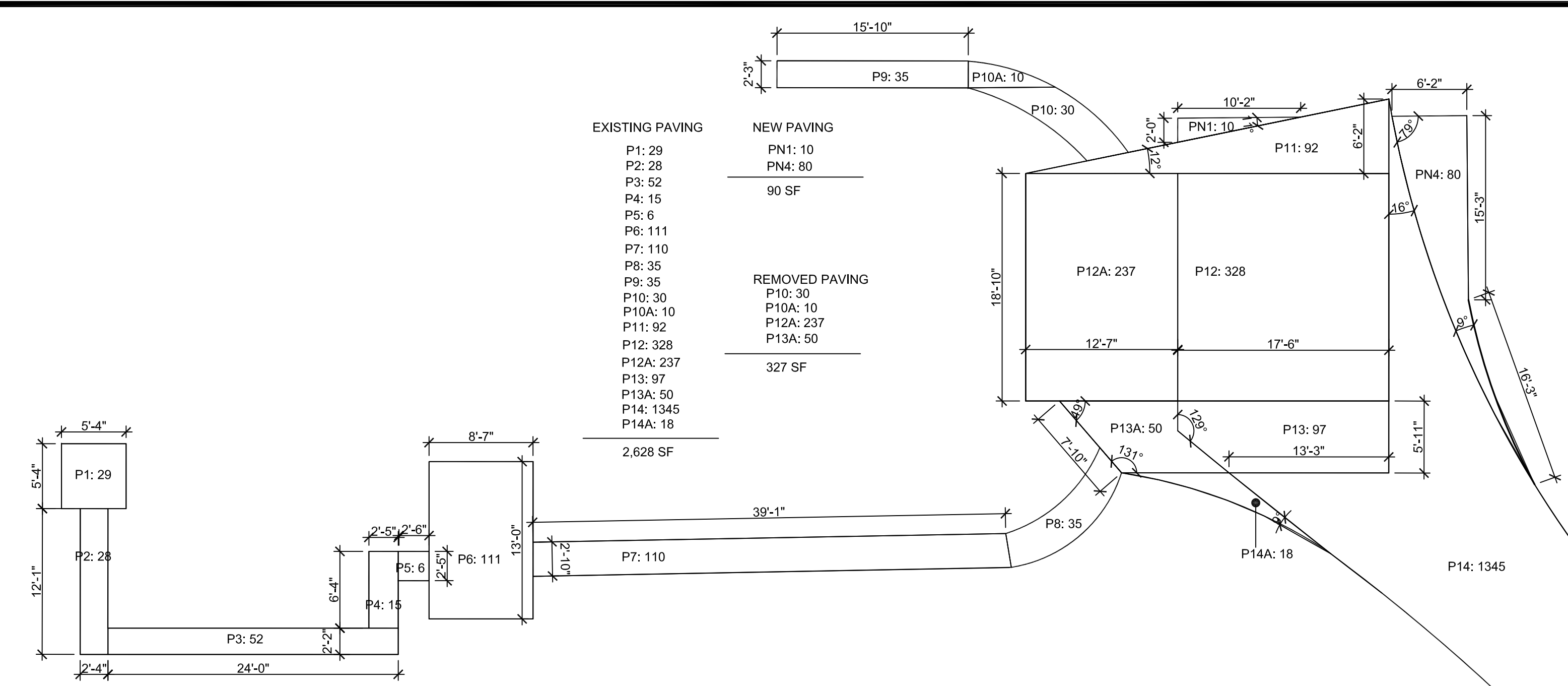


Michael Piccirillo Architecture

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A FLOOR AREA CALCULTIONS
SCALE: 1/8" = 1'-0"



B GROSS LAND CALCULTIONS
SCALE: 1/8" = 1'-0"

| No. | DATE: | ISSUE: |
|-----|---------|-------------------|
| 1 | 1/28/22 | ISSUED |
| 2 | 3/7/22 | ISSUED FOR PERMIT |
| 4 | 9/1/22 | REVISED |

PROJECT NAME:
VARGHESE RESIDENCE RENOVATION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
ARMONK, NY 10504



MICHAEL A PICCIRILLO, AIA
345 KEAR STREET - SUITE #203
YORKTOWN HEIGHTS, NEW YORK 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

COVERAGE CALCULTIONS

SCALE: AS NOTED DATE: 09-11-21

DRAWN BY: MAP
CHKD BY: MAP

SP101

1 OF 1



Michael Piccirillo Architecture

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DEMOLITION NOTES

1. DEMOLITION AND REMOVAL OF INTERIOR AND EXTERIOR WALLS, CEILINGS, ROOF, ETC., AS INDICATED ON THE DRAWINGS.
2. LOCATE DUMPSTER AS INDICATED ON SITE PLAN.
3. DEMOLISH AND REMOVE INDICATED AREAS IN A SAFE AND ORDERLY WAY, REMOVING ELEMENTS IN SMALL PIECES. USE NO EXPLOSIVES.
4. PREVENT THE SPREAD OF DUST OR DEBRIS TO UNAFFECTED PARTS OF THE SITE, ADJACENT PROPERTIES, OR PUBLIC STREETS. CLEAN UP ANY DUST OR DEBRIS SPREAD BY DEMOLITION.
5. TAKE STEPS TO PROTECT EXISTING CONDITIONS TO REMAIN. REPAIR ANY DAMAGE AT NO COST TO THE OWNER. PROTECT AND MARK ALL NEW OPENINGS, WHICH COULD BE HAZARDOUS.
6. PROVIDE TEMPORARY SUPPORT WHERE REQUIRED FOR REMOVAL OF STRUCTURAL MEMBERS.
7. STORE THOSE ITEMS INDICATED TO BE SAVED SO THAT THEY ARE PROTECTED FROM DAMAGE BY WEATHER OR FURTHER CONSTRUCTION ACTIVITIES.
8. ALL ITEMS NOT BEING USED SHALL BE REMOVED. ANY AND ALL ITEMS PRESENTLY IN USE BUT WILL NOT BE UTILIZED SHALL BE REMOVED. G.C. SHALL V.I.F. ALL ITEMS CURRENTLY NOT IN USE FOR DEMOLITION.
9. EXISTING STRUCTURE SHALL BE MAINTAINED IN A WEATHER TIGHT CONDITION THROUGHOUT DEMOLITION. WHERE ITEMS DEEMED TO BE REMOVED SHALL EXPOSE INTERIOR OF BUILDING TO WEATHER ELEMENTS, MEASURES, PROTECTION AND SCHEDULING SHALL TAKE PLACE TO PREVENT DAMAGE TO ITEMS TO REMAIN.
10. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK. STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS COMPLIED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULT ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
11. TEMPORARY PROTECTION: PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUST PROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS, TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.

WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN.
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED



| No. | DATE | ISSUE |
|-----|---------|---------------------------|
| 1 | 8/31/22 | ISSUED FOR CLIENT CHANGES |
| | | |
| | | |

PROJECT NAME:
VARGHESE RESIDENCE RENOVATION/ADDITION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
ARMONK, NEW YORK 10504

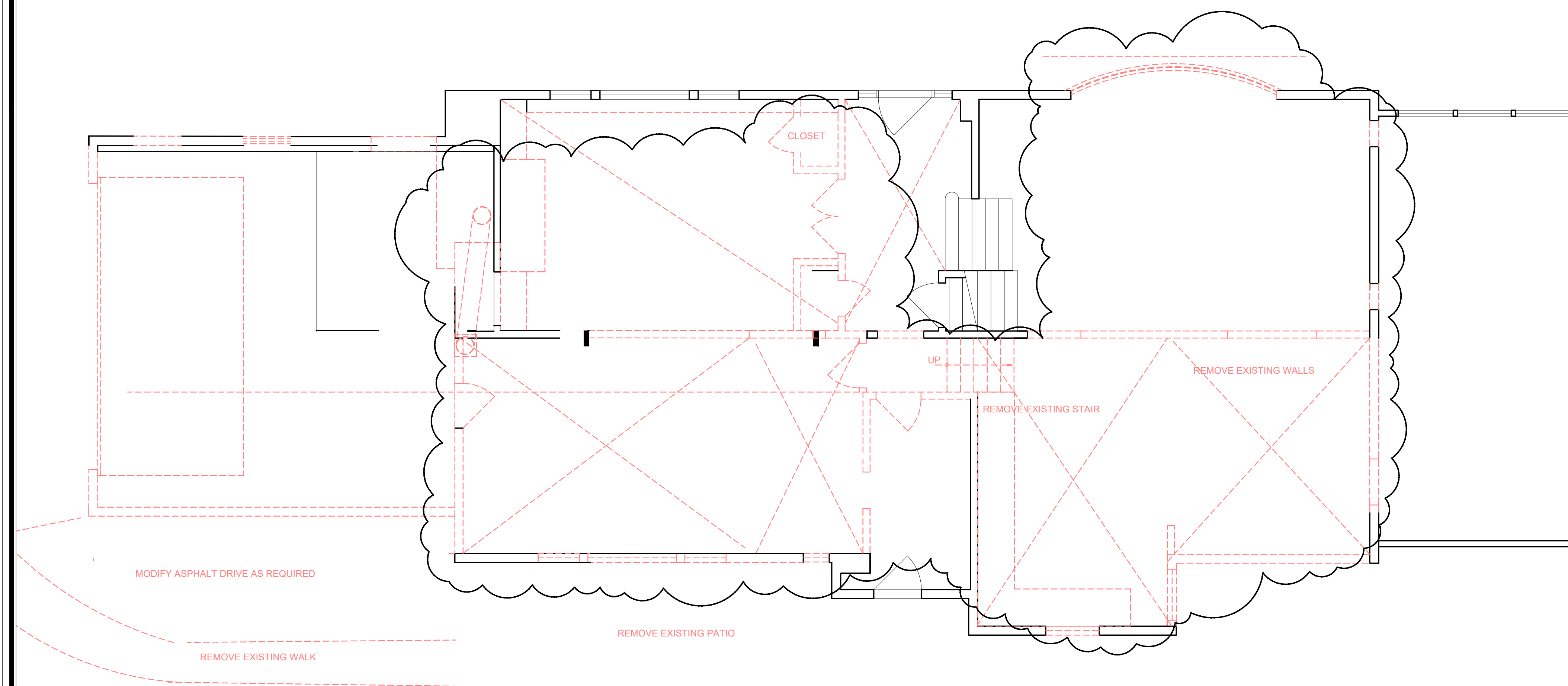
MICHAEL A PICCIRILLO, AIA

345 KEAR STREET SUITE #203
YORKTOWN, NEW YORK 10598

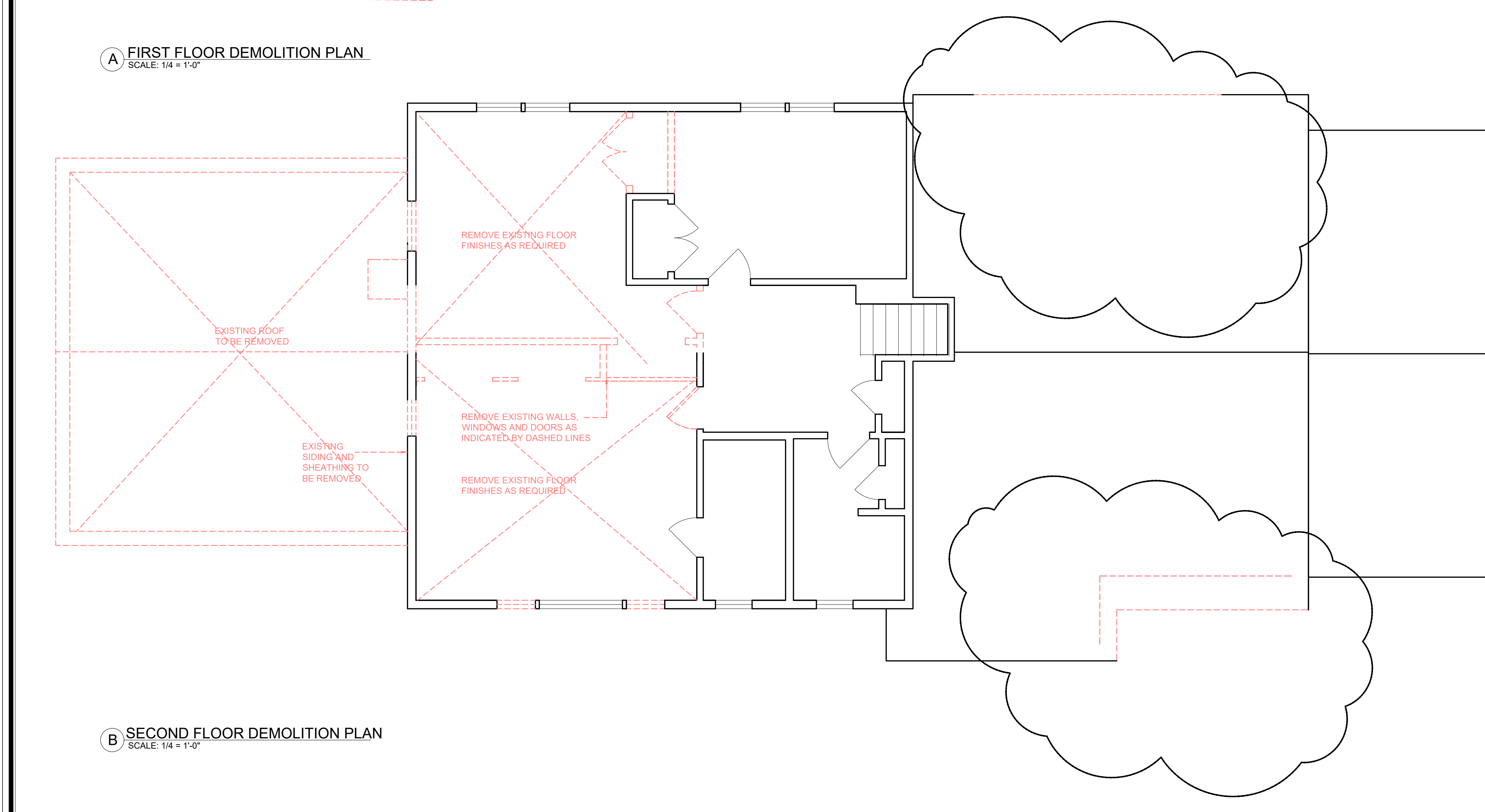
TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

DEMOLITION PLANS

| | | | |
|-----------|----------|--------------|----------|
| SCALE: | AS NOTED | DATE: | 07-22-21 |
| DRAWN BY: | MAP | A-050 | 1 OF 1 |
| CHKD BY: | MAP | | |
| | | | |



A FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

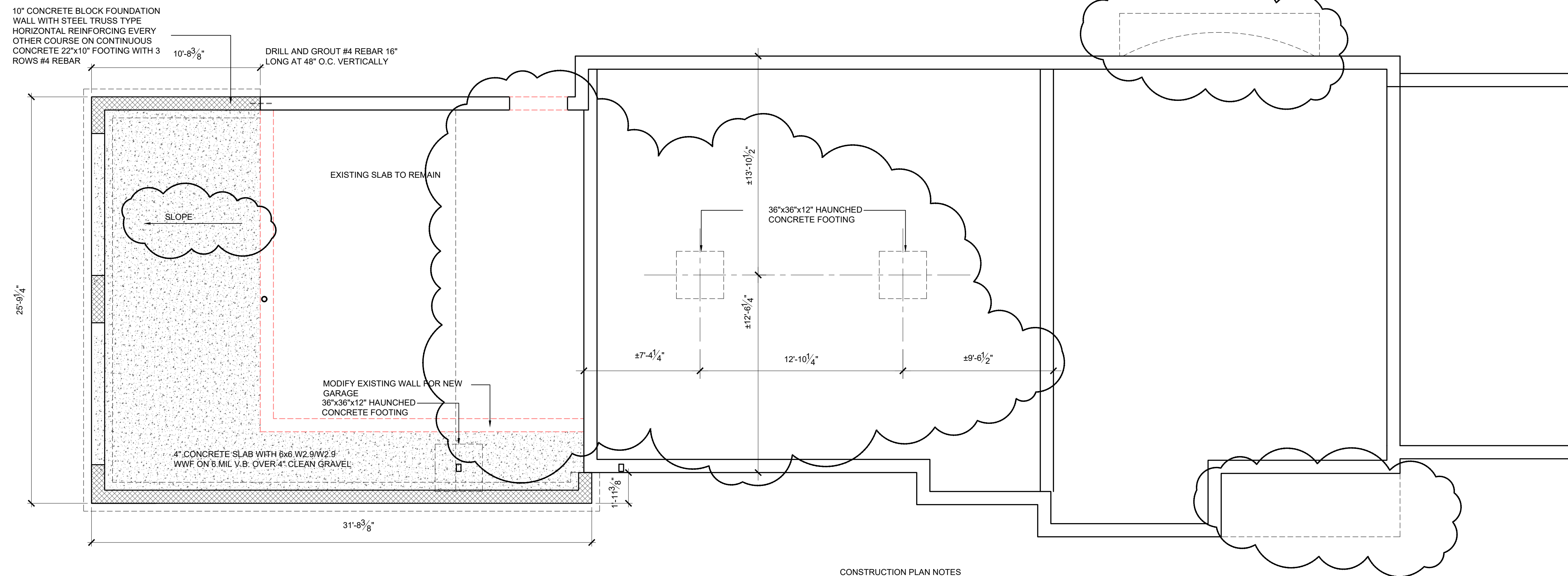


B SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN.
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED



A FIRST FLOOR FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN NOTES

1. PREPARE EXISTING SUBFLOOR FOR NEW FLOOR FINISHES.
2. PATCH AND REPAIR ALL WALLS DAMAGED BY DEMOLITION TO APPEAR INTEGRAL WITH NEW WORK.
3. PROVIDE SADDLES AND WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
4. ALL PARTITIONS WITH WALL HUNG CABINETS, WALL HUNG FIXTURES, WALL TILE OR COAT RACKS TO HAVE 2x WOOD STUDS @ 12" O.C. OR AS REQUIRED.
5. SHELVING TO BE PAINT GRADE BIRCH PLYWOOD WITH 1 1/4" HARDWOOD EDGE TYP. IN EVERY CLOSET. PROVIDE ADJUSTABLE SHELVES IN STORAGE OR PROVIDE COAT ROD, BRACKETS AND SHELVING IN EVERY COAT CLOSET.
6. ALL PIPING NOT BEING CONNECTED TO ACTIVE FIXTURES SHALL BE CUT BACK BELOW LEVEL OF FINISHED FLOOR AND CAPPED PER APPLICABLE CODES AND REGULATIONS.

GENERAL NOTES

- A. EXCAVATION AND EARTHWORK**
1. SOILS AT THE BASE OF ALL EXCAVATIONS SHALL HAVE A PRESUMPTIVE BEARING VALUE OF NO LESS THAN 2 TSP.
 2. IF SOILS ARE UNSUITABLE AT THE LEVELS SHOWN ON THE DRAWINGS FOR FOUNDATIONS, THE EXCAVATION SHALL BE DEEPENED UNTIL SUITABLE SOILS ARE ENCOUNTERED.
 3. SOILS AT THE EXCAVATION LEVEL SHALL BE COMPACTED TO 95% MAX. DENSITY, ASTM D 1557.
- B. CONCRETE WORK**
1. ALL CONCRETE SHALL CONFORM TO ACI 318-86 (REV. 1986) BUILDING CODE, AND ACI DESIGN HANDBOOK 340, IR-84.
 2. CONCRETE: F_c = 3500 PSI
 3. REINFORCING STEEL: F_y = 60 KSI
 4. ALL EXTERIOR CONCRETE REQUIRES AIR ENTRAINMENT.
 5. CONCRETE SLUMP SHALL BE NO GREATER THAN 4".
 6. CURING IS REQUIRED PER ACI CODE.
 7. WELDING REINFORCING STEEL IS PROHIBITED.
 8. ANCHOR BOLTS SHALL BE IMBEDDED, OR DRILL-IN, AT THE DISCRETION OF THE CONTRACTOR. ANY EXTERIOR ANCHOR BOLTS SHALL BE GALVANIZED.
- C. FIELD VERIFY ALL EXISTING DIMENSIONS AS INDICATED ON DRAWINGS.**
1. GENERAL CONTRACTOR TO LAYOUT ROOM WITH EXISTING CONDITIONS AND FIELD VERIFY PRIOR TO INSTALLING INTERIOR WALLS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DIVISION 4 MASONRY

- GENERAL REQUIREMENTS:** G.C. SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL MASONRY SHOWN OR NOTED IN THESE DOCUMENTS. THE GENERAL REQUIREMENTS OF SECTION 1 SHALL APPLY TO ALL WORK UNDER THIS HEADING.
- A. ALL WORK IN THIS SECTION SHALL COMPLY WITH STATE AND LOCAL CODES.**
- B. MATERIALS:** ALL MATERIAL SHALL COMPLY WITH THE LATEST A.S.T.M. STANDARDS.
1. POROUS FILL (AS REQUIRED) - CLEAN GRAVEL OR CRUSHED STONE. NO CINDEERS.
 2. MORTAR - 1:3 PORTLAND CEMENT MORTAR FOR ALL CONCRETE BLOCKWORK. 1:6 PORTLAND CEMENT - LIME MORTAR FOR STONE WORK. NO RETEMPERING PERMITTED.
 3. REINFORCING (AS REQUIRED) - DUR-O-WALL TRUSS-TYPE REINFORCING AS NOTED.
 4. CONCRETE - MASONRY UNITS (C.M.U.) (AS REQUIRED) - LOAD BEARING STONE CONCRETE - MASONRY UNITS, AS MANUFACTURED BY BEDFORD HILLS CONCRETE PRODUCTS CO. OR APPROVED EQUAL, SIZE AS REQUIRED, AND AS NOTED IN DOCUMENTS.
- C. CONCRETE BLOCKWORK SHALL BE REINFORCED ON EVERY SECOND HORIZONTAL JOINT WITH DUR-O-WALL TRUSS-TYPE BLOCK REINFORCEMENT. LAY BLOCKS WITH CELLS VERTICAL AND JOINTS STAGGERED IN EACH COURSE. ALL BLOCKWORK TO BE PROPERLY BONDED TOGETHER AND TO ADJACENT WORK.**
- D. COMPLY WITH RECOMMENDED METHODS AND PRACTICE AS DESCRIBED BY NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS AND BRICK INSTITUTE OF AMERICA.**

CAST-IN-PLACE CONCRETE

1. DO ALL WORK IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS. PERFORM ALL WORK IN ACCORDANCE WITH ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, UNLESS SPECIFIED OTHERWISE.
2. INSPECTION AND TESTING (INCLUDING BUT NOT LIMITED TO TEST CYLINDERS: TAKE THREE TEST CYLINDERS FROM EACH FOUR, LABEL WITH DATE AND LOCATION PLACED, AND DELIVER TO OWNER FOR TESTING) OF CONCRETE WORK AND CONCRETE MIX SHALL BE PERFORMED IN ACCORDANCE OF THE LOCAL BUILDING DEPARTMENT.
3. CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED BY ALL TRADES, BEFORE CONCRETE IS PLACED.
4. PROVIDE SAND AND GRAVEL BASE.
5. WELDED WIRE FABRIC SHALL BE 6" X 6" W2.9/W2.9 SIZE PLAIN FINISH CONFORMING TO ASTM A185 UNLESS OTHERWISE INDICATED. ALL REINFORCING BARS SHALL CONFORM TO ASTM SPEC A615 GRADE 60.
6. REINFORCING STEEL SHALL BE BILLET STEEL BARS, GRADE 60, GALVANIZED FINISH, CONFORMING TO ASTM A615. COMPLETE WITH ALL ACCESSORIES SUCH AS CHAIRS, BAR SUPPORTS, SPACERS, TIE WIRE, ETC.
7. SCORED AND FINISH CONCRETE SMOOTH AND LEVEL OR SLOPED AS INDICATED TO RECEIVE FURTHER CONSTRUCTION. EXTERIOR PAVEMENTS TO HAVE BROOMED FINISH.
8. ALL CONCRETE DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS". HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. ALL OTHER APPLICABLE CODES SHALL ALSO BE FOLLOWED.
9. CONCRETE SHALL BE NORMAL WEIGHT CONCRETE EXCEPT LIGHT WEIGHT CONCRETE SHALL BE USED FOR SLABS ON STEEL DECK UNLESS NOTED OTHERWISE. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS FOR FOUNDATIONS. SLUMP SHALL NOT EXCEED 4".
10. REINFORCEMENT SHALL BE DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
11. FOLLOW ACI RULES AS TO TIES, ANCHORAGE, SPLICES, CONCRETE COVERAGE AND REINFORCEMENT SUPPORTS.
12. REINFORCEMENT MARKED "CONTINUOUS" (CONT) SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND CORNERS, AND HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 36 BAR DIAMETERS UNLESS OTHERWISE NOTED.
13. CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF ZERO SHEAR. NO CONSTRUCTION JOINTS SHALL BE LOCATED IN MEMBERS CARRYING A CONCENTRATED LOAD. PROVIDE SHEAR BARS AS DIRECTED BY THE ENGINEER. LOCATIONS OF CONSTRUCTION JOINTS SHALL BE ACCEPTED BY THE ENGINEER.
14. PROVIDE SLEEVES AND BOX OUT FOR OPENINGS OR MECHANICAL TRADES FOR SIZE AND LOCATION OF ALL OPENINGS. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS IN ADDITION TO STRUCTURAL DRAWINGS. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF THE STRUCTURAL MEMBERS.

| No. | DATE | ISSUE |
|-----|----------|---------------------------|
| 1 | 08/31/22 | ISSUED FOR CLIENT CHANGES |
| | | |
| | | |
| | | |

PROJECT NAME:
VARGHESE RESIDENCE
RENOVATION/ADDITION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
ARMONK, NEW YORK 10504



MICHAEL A. PICCIRILLO, AIA

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PROPOSED PLAN

SCALE: AS NOTED DATE: 09-11-21

DRAWN BY: MAP
CHKD BY: MAP

A-100

1 OF 1

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
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WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN.
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED

| No. | DATE | ISSUE |
|-----|---------|-------------------------------|
| 2 | 6/7/22 | ISSUED PER BLDG DEPT COMMENTS |
| 3 | 8/31/22 | ISSUED PER CLIENT CHANGES |

PROJECT NAME:
VARGHESE RESIDENCE
RENOVATION/ADDITION

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PROPOSED PLAN

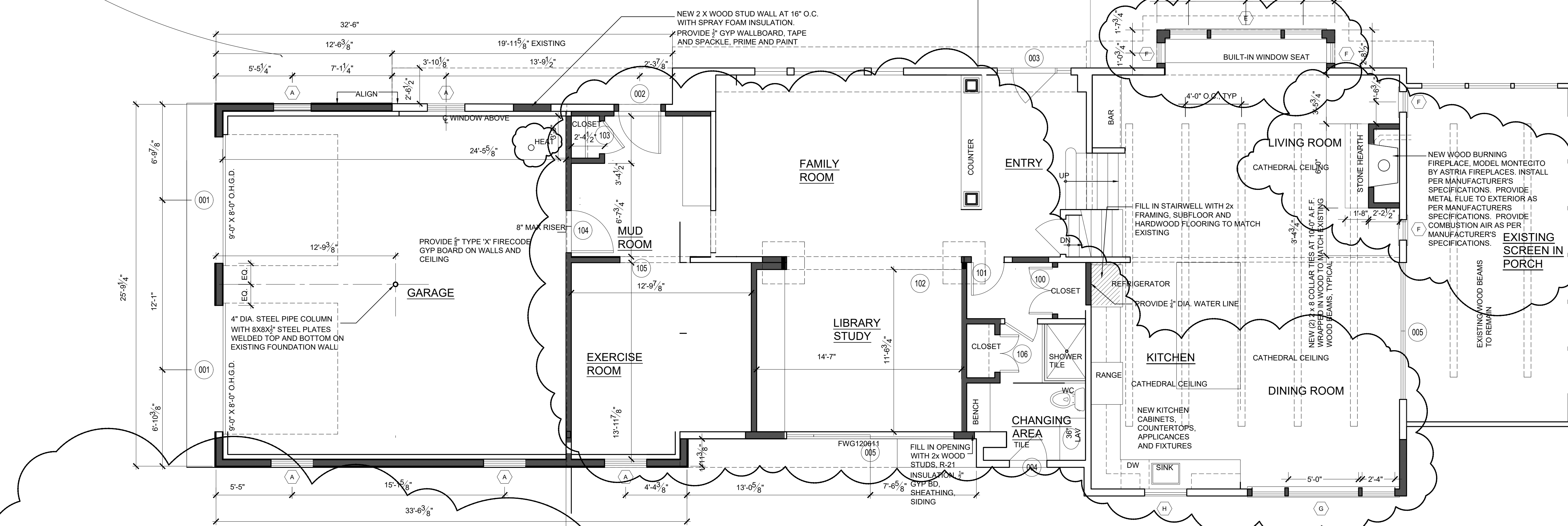
SCALE: AS NOTED DATE: 09-11-21

DRAWN BY: MAP

CHKD BY: MAP

A-101

1 OF 1



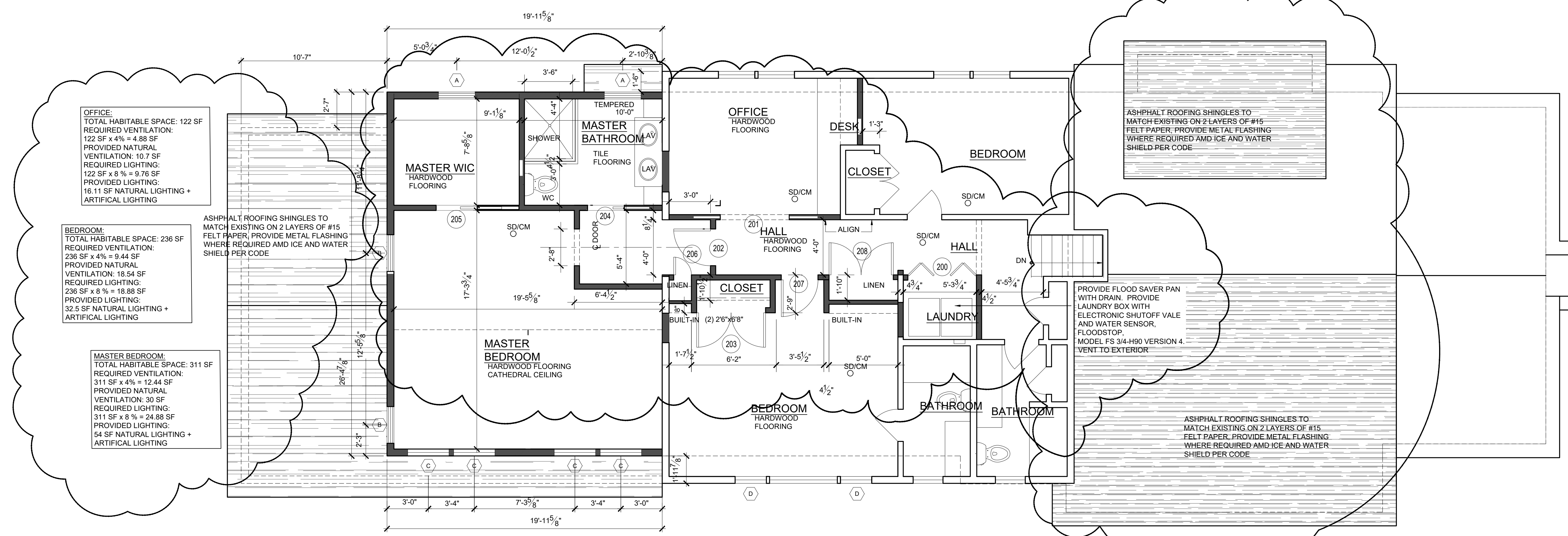
MUDROOM:
TOTAL HABITABLE SPACE: 100 SF
REQUIRED VENTILATION:
100 SF x 4% = 4 SF
PROVIDED NATURAL
VENTILATION: 19.99 SF
REQUIRED LIGHTING:
100 SF x 8% = 8 SF
PROVIDED LIGHTING:
19.99 SF NATURAL LIGHTING +
ARTIFICIAL LIGHTING

EXERCISE ROOM:
TOTAL HABITABLE SPACE: 135 SF
REQUIRED VENTILATION:
135 SF x 4% = 5.4 SF
PROVIDED NATURAL
VENTILATION: 6 SF
REQUIRED LIGHTING:
135 SF x 8% = 10.8 SF
PROVIDED LIGHTING:
12 SF NATURAL LIGHTING +
ARTIFICIAL LIGHTING

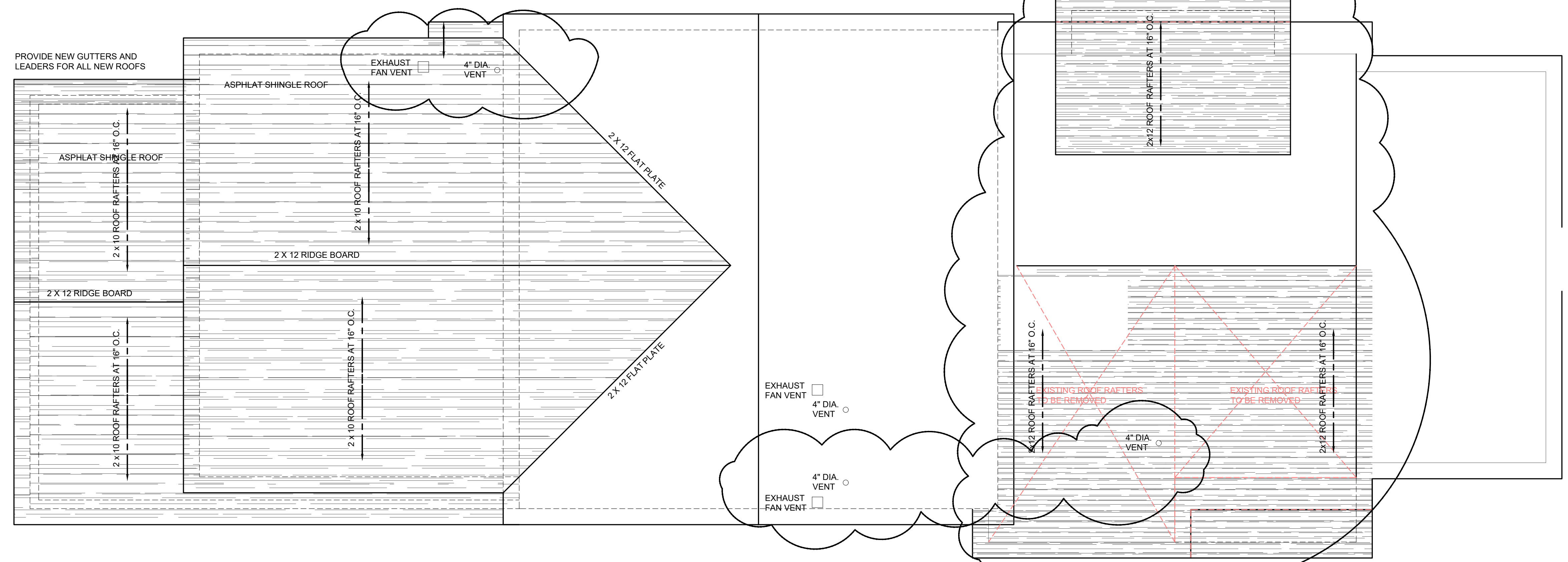
A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
1. DRYER EXHAUST TO EXTERIOR OF BUILDING (UNLESS DRYER IS LISTED AND LABELED AS CONDENSING (DUCTLESS DRYER)).
 2. DUCT TERMINATION SHALL NOT BE LESS THAN 3 FEET IN ANY DIRECTION FROM OPENING INTO BUILDING
 3. DUCT SHALL BE 4" NOMINAL DIAMETER, MIN. 28 GAGE METAL, WITH SMOOTH INTERIOR, AND BE EQUIPPED W/ BACKDRAFT DAMPER.
 4. RANGE HOOD W/ EXHAUST TO EXTERIOR.
 5. PROVIDE MAKE-UP AIR FOR HOOD SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM. MAKEUP AIR SYSTEM MODEL No. MUAS BY FANTECH OR APPROVED EQUAL
 6. MAKE UP AIR SHALL BE APPROX. EQUAL TO EXHAUST AIR RATE

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A SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



B ROOF PLAN
SCALE: 1/4" = 1'-0"

| No. | DATE | ISSUE |
|-----|---------|---------------------------|
| 1 | 8/31/22 | ISSUED FOR CLIENT CHANGES |

PROJECT NAME:
VARGHESE RESIDENCE
RENOVATION/ADDITION

PROJECT ADDRESS:
6 FOX RIDGE ROAD
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PROPOSED PLAN

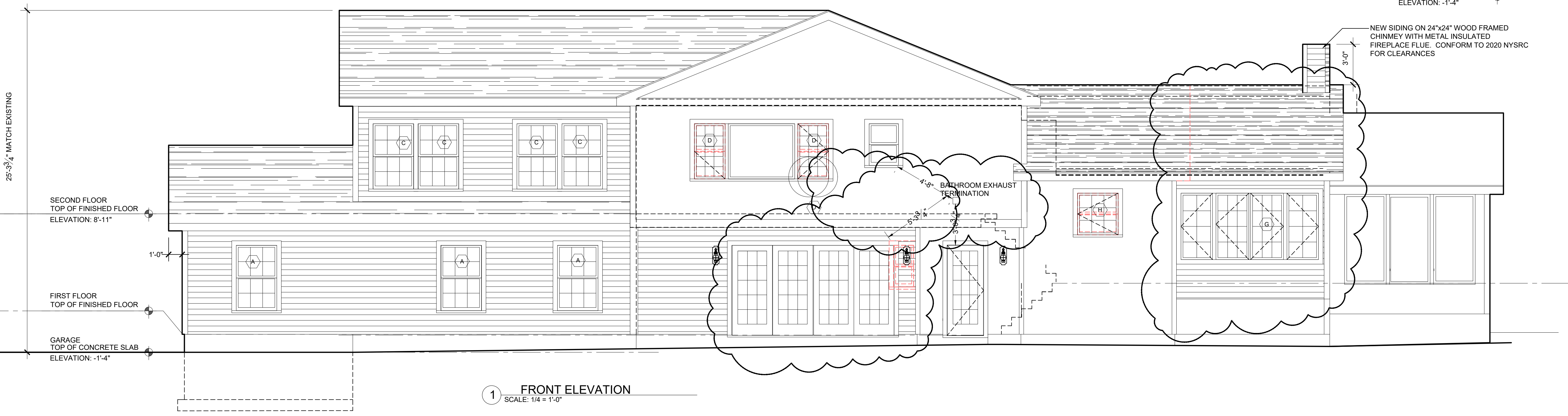
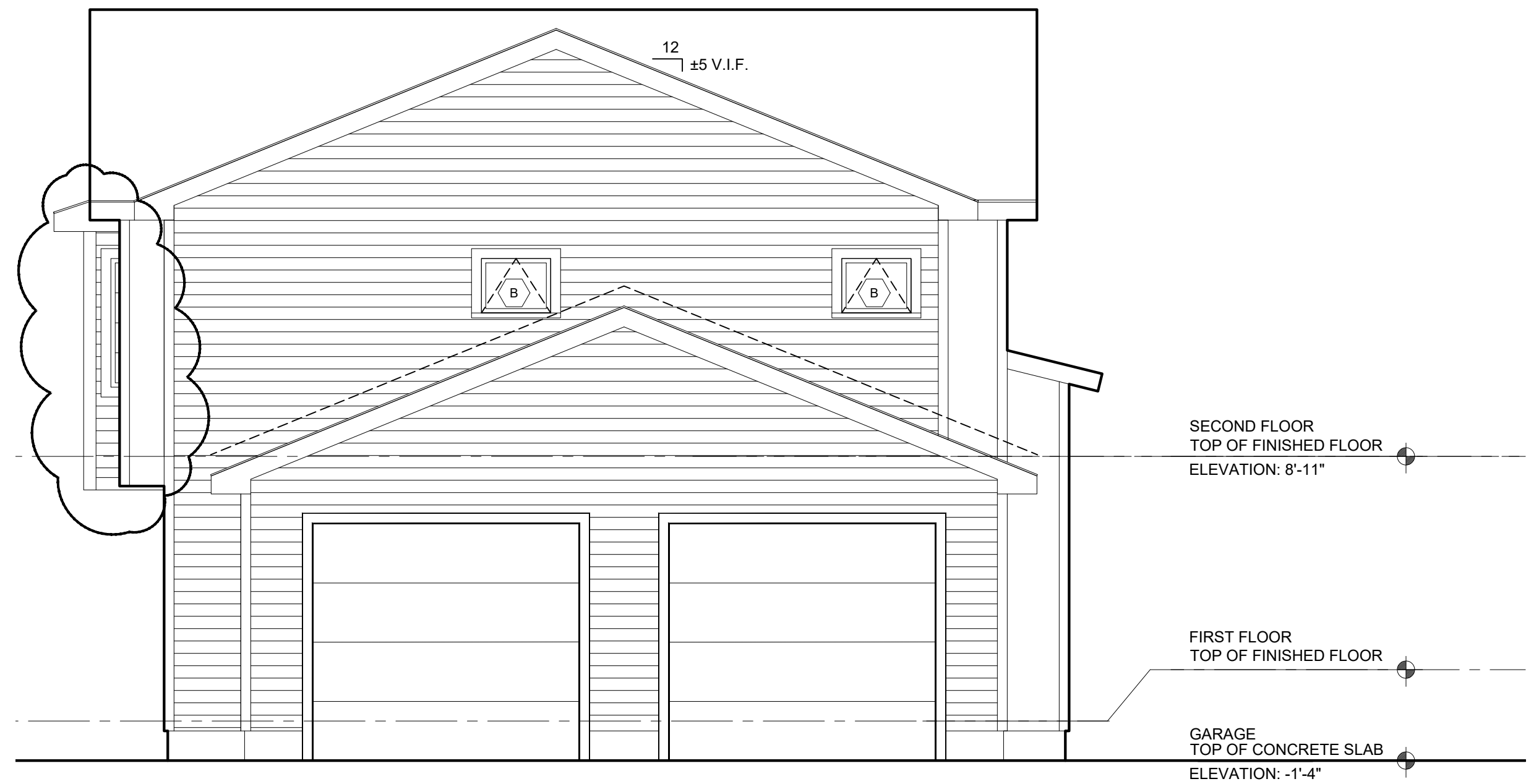
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| SCALE: AS NOTED | DATE: 09-11-21 |
| DRAWN BY: MAP | A-102 |
| CHKD BY: MAP | |
| 1 OF 1 | |

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1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

| EXTERIOR FINISHES | | |
|-------------------|------------------|------------------|
| ITEMS | MATERIAL | COLOR |
| CORNER BOARDS | MATCH MAIN HOUSE | MATCH MAIN HOUSE |
| FASCIAS | MATCH MAIN HOUSE | MATCH MAIN HOUSE |
| SIDING | TO MATCH HOUSE | MATCH HOUSE |
| WINDOWS | VINYL CLAD | WHITE |
| CASING | AZEK | WHITE |
| SLIDER | VINYL CLAD | WHITE |
| RAILING | COMPOSITE | WHITE |
| DECKING | COMPOSITE | GREY |



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

| No. | DATE | ISSUE |
|-----|---------|---------------------------|
| 1 | 8/31/22 | ISSUED FOR CLIENT CHANGES |

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ELEVATIONS

| | | | |
|-----------|----------|----------------|----------|
| SCALE: | AS NOTED | DATE: | 09-11-21 |
| DRAWN BY: | MAP | <h1>A-200</h1> | |
| CHKD BY: | MAP | | |
| 1 OF 1 | | | |

WINDOW SCHEDULE

| WINDOW MARK | MODEL NUM. | WINDOW ROUGH OPENING (Width x Height) | WINDOW TYPE | INTERIOR CASING | EXTERIOR CASING | MUNTIN PATTERN | HARDWARE | REMARKS |
|-------------|-------------------|---------------------------------------|-------------|-----------------|----------------------|----------------|------------------------------------|------------|
| A | TW2640 | 2'-8 1/2" x 4'-4 1/2" | DOUBLE HUNG | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |
| B | A251 | 2'-4 7/8" x 2'-0 5/8" | AWNING | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |
| C | TW2640 | 3'-0 1/2" x 3'-4 7/8" | DOUBLE HUNG | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |
| D | NEW EGRESS WINDOW | ± 2'-3" x 4'-3" V.I.F. | CASEMENT | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING 90° EGRESS HARDWARE | BUG SCREEN |
| E | CX145 | 2'-8" x 4'-5 3/8" | CASEMENT | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |
| | CW245 | 4'-9" x 4'-5 3/8" | CASEMENT | | | | | |
| | CX145 | 2'-8" x 4'-5 3/8" | CASEMENT | | | | | |
| F | CR145 | 1'-5 1/2" x 4'-5 3/8" | CASEMENT | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |
| G | CW15 | 2'-4" x 5'-0 3/8" | CASEMENT | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |
| | CW25 | 4'-9" x 5'-0 3/8" | CASEMENT | | | | | |
| | CW15 | 2'-4" x 5'-0 3/8" | CASEMENT | | | | | |
| H | CXW13 | 3'-0 1/2" x 3'-0 1/2" | CASEMENT | MATCH EXISTING | VINYL MATCH EXISTING | SEE ELEVATION | MATCH EXISTING | BUG SCREEN |

WINDOW SPECIFICATION

- WINDOW SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT.
- ALL WINDOWS SCHEDULED ARE MANUFACTURED BY ANDERSEN WINDOW COMPANY.
 - VINYL CLAD EXTERIOR: COLOR: WHITE
 - INTERIOR FINISH: COLOR: WHITE INTERIOR (MATCH EXISTING)
 - EXTERIOR TRIM: MATCH EXISTING
 - SPACER BAR: YES
 - GLAZING: INSULATED LOW-E 272 GLASS WITH ARGON GAS.
 - HARDWARE: MATCH EXISTING
 - WINDOW SCREENS: MATCH EXISTING
 - PROVIDE SAFETY GLAZING WHERE REQUIRED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

DOOR SCHEDULE NOTES

- OWNER TO PROVIDE ALL DOOR LATCH/LOCK SETS AND HINGES. CONTRACTOR TO INSTALL ALL HINGES/LATCH/LOCK SETS.
- WHERE WEATHER-STRIPPING IS CALLED FOR, PROVIDE ON FOUR (4) SIDES, INCLUDING SADDLE.

DOOR SCHEDULE

| DOOR NUMBER | LOCATION | MODEL NUMBER DOOR OPENING (W x H x THICKNESS) | DOOR TYPE | DOOR MATERIAL | DOOR & FRAME FINISH | FRAME MATERIAL | HARDWARE SET | REMARKS |
|-------------|-----------------|--|---|---------------|---------------------|----------------|---|-----------------------------------|
| 001 | GARAGE | T.B.D. \$3,000 ALLOWANCE PER DOOR 9'-0" x 8'-0" x 1 1/2" | SELF CLOSING INSULATED OVERHEAD GARAGE DOOR | WOOD / GLASS | WOOD | WOOD | ENTRY LOCKSET WEATHER-STRIPPING | 3/4 HP MOTOR, KEYPADS, REMOTE |
| 002 | MUDROOM | T.B.D. 3'-0" x 6'-8" x 1 1/2" | ENTRY | WOOD / GLASS | WOOD | WOOD | ENTRY LOCKSET WEATHER-STRIPPING | ALUMINUM SILL |
| 003 | ENTRY | EXISTING | ENTRY | | | | | |
| 004 | LAUNDRY | EXISTING | ENTRY | | | | | |
| 005 | FAMILY ROOM | FWG 120611 12'-0" x 6'-11" | QUAD GLIDER | WOOD / GLASS | WOOD | WOOD | ENTRY LOCKSET WEATHER-STRIPPING | ALUMINUM SILL |
| 006 | DINING ROOM | FWG 100611 9'-9 3/4" x 6'-11" | QUAD GLIDER | WOOD / GLASS | WOOD | WOOD | ENTRY LOCKSET WEATHER-STRIPPING | ALUMINUM SILL |
| 100 | CLOSET | 4 PANEL (2)1'-8" x 6'-8" x 1 1/2" | DOUBLE | MDF | PAINT | WOOD | PASSAGE | |
| 101 | BATHROOM | 6 PANEL 2'-4" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | BATHROOM LOCKSET | MARBLE SADDLE |
| 102 | STUDY | 12'-6" x 6'-8" | TRIMMED OPENING | MDF | PAINT | WOOD | | |
| 103 | CLOSET | 4 PANEL 2'-4" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | DUMMY KNOBS BALL CATCHES | |
| 104 | MUDROOM | 6 PANEL 3'-0" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | ENTRY WITH MORTISE, SELF CLOSING HINGES | C LABEL FIRE RATED DOOR AND FRAME |
| 105 | MUDROOM | 5'-0" x 6'-8" | TRIMMED OPENING | T.B.D. | PAINT | WOOD | | |
| 106 | CHANGING RM | T.B.D. BY OWNER 3'-0" x 6'-8" x 1 1/2" | BARN | T.B.D. | PAINT | WOOD | | |
| 200 | LAUNDRY | 5'-0" x 6'-8" x 1 1/2" | BI-FOLD | MDF | PAINT | WOOD | THUMB PULL | BI-FOLD |
| 201 | HALL | 5'-0" x 6'-8" x 1 1/2" | TRIMMED OPENING | | PAINT | WOOD | | |
| 202 | MASTER BEDROOM | 6 PANEL 2'-8" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | BEDROOM LOCKSET | |
| 203 | CLOSET | 6 PANEL (2)2'-6" x 6'-8" x 1 1/2" | DOUBLE | MDF | PAINT | WOOD | DUMMY KNOBS BALL CATCHES | |
| 204 | MASTER BATHROOM | 6 PANEL 2'-8" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | BATHROOM LOCKSET | MARBLE SADDLE |
| 205 | MASTER W.I.C. | 6 PANEL 3'-0" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | PASSAGE | |
| 206 | LINEN CLOSET | 2 PANEL 1'-4" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | DUMMY KNOBS BALL CATCHES | |
| 207 | BEDROOM | 6 PANEL 2'-8" x 6'-8" x 1 1/2" | SINGLE | MDF | PAINT | WOOD | BEDROOM LOCKSET | |
| 208 | LAUNDRY | 6 PANEL (2)2'-4" x 6'-8" x 1 1/2" | DOUBLE | MDF | PAINT | WOOD | DUMMY KNOBS BALL CATCHES | |

FINISH SCHEDULE

| ROOM NUMBER | ROOM NAME | FLOOR FINISH | BASE | NORTH WALL | | EAST WALL | | SOUTH WALL | | WEST WALL | | CEILING | REMARKS |
|-------------|-----------------|---|------|------------|-------|-----------|-------|------------|-------|-----------|-------|------------------|---|
| | | | | MAT. | FIN. | MAT. | FIN. | MAT. | FIN. | MAT. | FIN. | | |
| | GARAGE | EPOXY FINISH ON CONCRETE SLAB | --- | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | ALL GYP. BD. TO BE #1 FIRECODE TYPE 'X' |
| | MUDROOM | TILE | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | EXERCISE ROOM | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | FAMILY ROOM | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | ENTRY | HARDWOOD FLOORING | TILE | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | BATHROOM | TILE | TILE | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | KITCHEN | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | LIVING ROOM | EXISTING HARDWOOD FLOORING - REFINISHED | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | DINING ROOM | EXISTING HARDWOOD FLOORING - REFINISHED | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | BEDROOM | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | HALL | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | OFFICE | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | MASTER BEDROOM | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | MASTER W.I.C. | HARDWOOD FLOORING | WOOD | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |
| | MASTER BATHROOM | TILE | TILE | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. | PAINT | GYP. BD. PAINTED | |

FINISH SCHEDULE NOTES

- ALL TILE OR STONE FLOORING TO BE SET ON THINSET OVER CEMENT BOARD, TYP. U.O.N.
 - ALL MARBLE TILE TO BE INSTALLED AS PER THE MARBLE INSTITUTE OF AMERICA, MARBLE TILE INSTALLATIONS REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED.
 - ALL NATURAL STONE TILE TO BE INSTALLED AS PER THE NATURAL STONE INSTITUTE OF AMERICA, NATURAL TILE INSTALLATIONS REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED.
 - ALL CERAMIC & PORCELIN TILE TO BE INSTALLED AS PER THE NATIONAL TILE COUNCIL OF NORTH AMERICA, TILE TO BE INSTALLED ON THINSET AND UNCOUPLING AND WATERPROOF MEMBRANE DITRA OR DITRA-XL BY SCHLUTER OR APPROVED EQUAL.
- ALL TILE, MARBLE SADDLES AND COUNTERTOPS TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
- HARDWOOD FLOORING TO BE 2 1/4" OAK HARDWOOD FLOORING TO MATCH EXISTING WITH MINIMAL SHORT PIECES. INSTALLED, SANDED PLUS 1 COAT NATURAL STAIN & 3 COATS OIL BASED POLYURETHANE.
- ALL SURFACES AND FINISHES TO RECEIVE PRIMER IN STRICT ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS. RECOAT AS REQUIRED FOR PROPER COVERAGE.
 - * PATCH TO MATCH ALL CEILINGS DAMAGED BY NEW CONSTRUCTION

HWOOD = CLEAR SELECT WHITE OAK HARDWOOD FLOORING
 GYP. = GYPSUM WALLBOARD
 CEM. = CEMENT BOARD



Michael Piccirillo Architecture

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| 1 | 8/31/22 | ISSUED FOR CLIENT CHANGES |

PROJECT NAME:
VARGHESE RESIDENCE RENOVATION/ADDITION

PROJECT ADDRESS:
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SCHEDULES

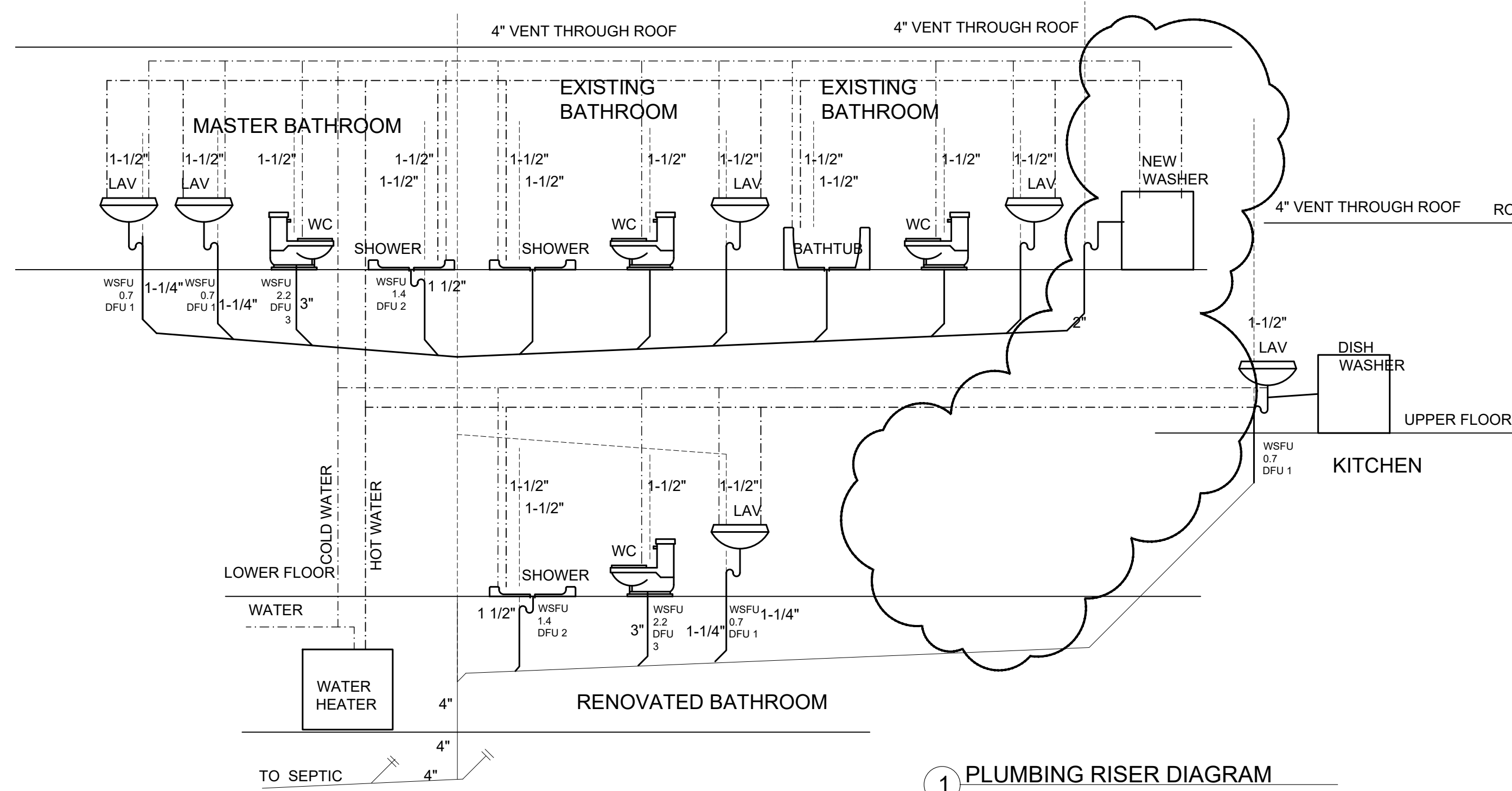
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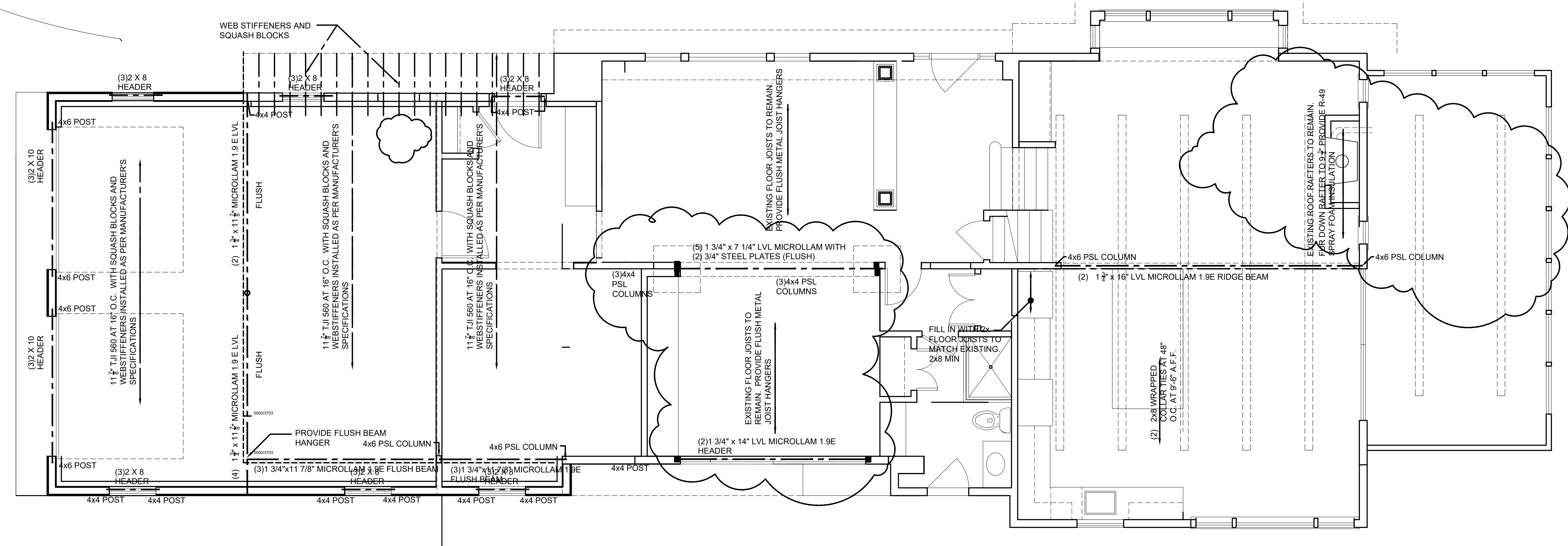
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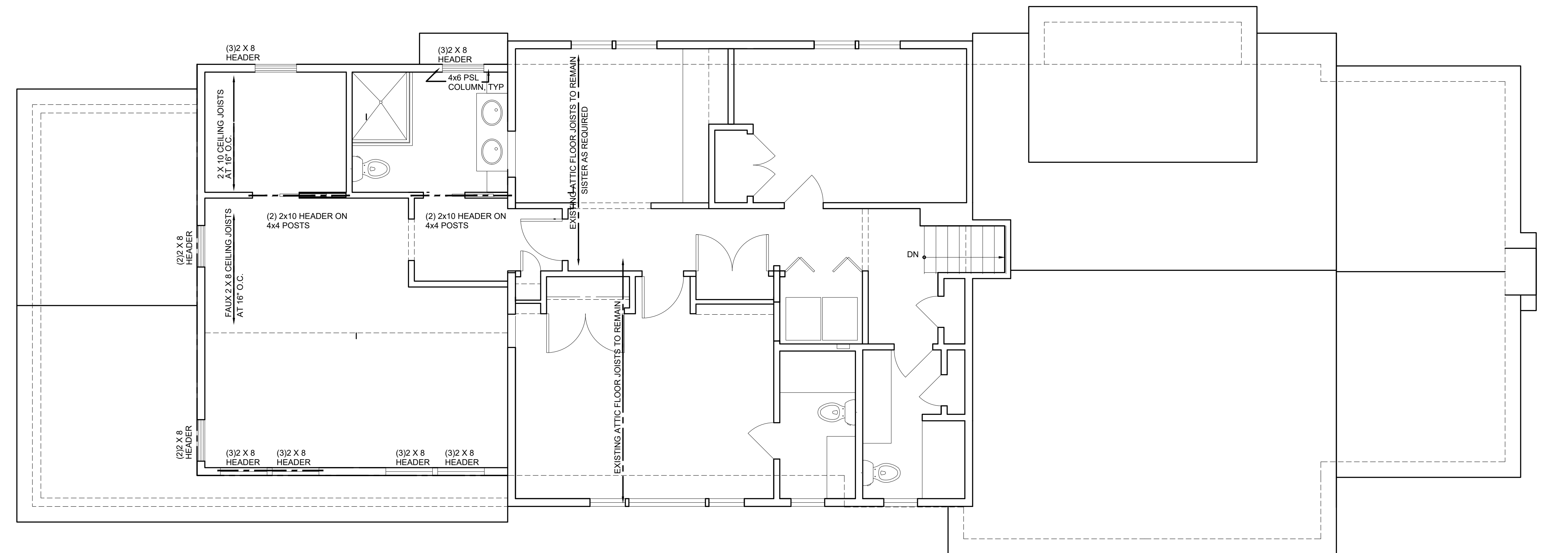


1 PLUMBING RISER DIAGRAM

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A SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



B ATTIC FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

- WALL AND DOOR SYMBOLS**
- EXISTING WALL TO REMAIN
 - NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
 - EX. DOOR TO REMAIN.
 - NEW DOOR TO BE INSTALLED
 - NEW CONCRETE FOUNDATION WALL
 - EX. FOUNDATION WALL TO REMAIN
 - EX. WALL TO BE REMOVED

| No. | DATE | ISSUE |
|-----|---------|-------------------------------|
| 2 | 6/7/22 | ISSUED PER BLDG DEPT COMMENTS |
| 3 | 8/31/22 | ISSUED PER CLIENT CHANGES |

PROJECT NAME:
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FRAMING PLAN

SCALE: AS NOTED DATE: 06-01-22

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1 OF 1

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ELECTRICAL LEGEND

| | |
|--|--|
| | 220 VOLT WALL RECEPTACLE |
| | NEW WALL RECEPTACLE |
| | WALL RECEPTACLE AT 48" A.F.F. |
| | WEATHER PROOF/GFI |
| | FLOOR OUTLET RECEPTACLE |
| | GROUND FAULT RECEPTACLE (GFI) |
| | RECESSED LIGHT FIXTURE |
| | RECESSED LIGHT FIXTURE IN WET AREA |
| | SURFACE MOUNTED LIGHT FIXTURE |
| | WALL MOUNTED LIGHT FIXTURE WITH LENSE, IN CLOSET |
| | PORCELAIN LIGHT FIXTURE |
| | SCONCE |
| | SINGLE POLE SWITCH |
| | THREE WAY SWITCH |
| | JAMB SWITCH |
| | NEW 140 CFM EXHAUST FAN BY JOHNSON CONTROL |
| | NEW CABLE TELEVISION RECEPTACLE |
| | HEAT DETECTOR |
| | CARBON MONOXIDE / SMOKE DETECTOR HARD WIRED WITH BATTERY BACKUP DETECTOR |
| | NEW DOOR BELL |
| | REMOTE CONTROL GARAGE DOOR OPENER |
| | CEILING MOUNTED FAN WITH LIGHT KIT |

| No. | DATE | ISSUE |
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ELECTRICAL PLAN

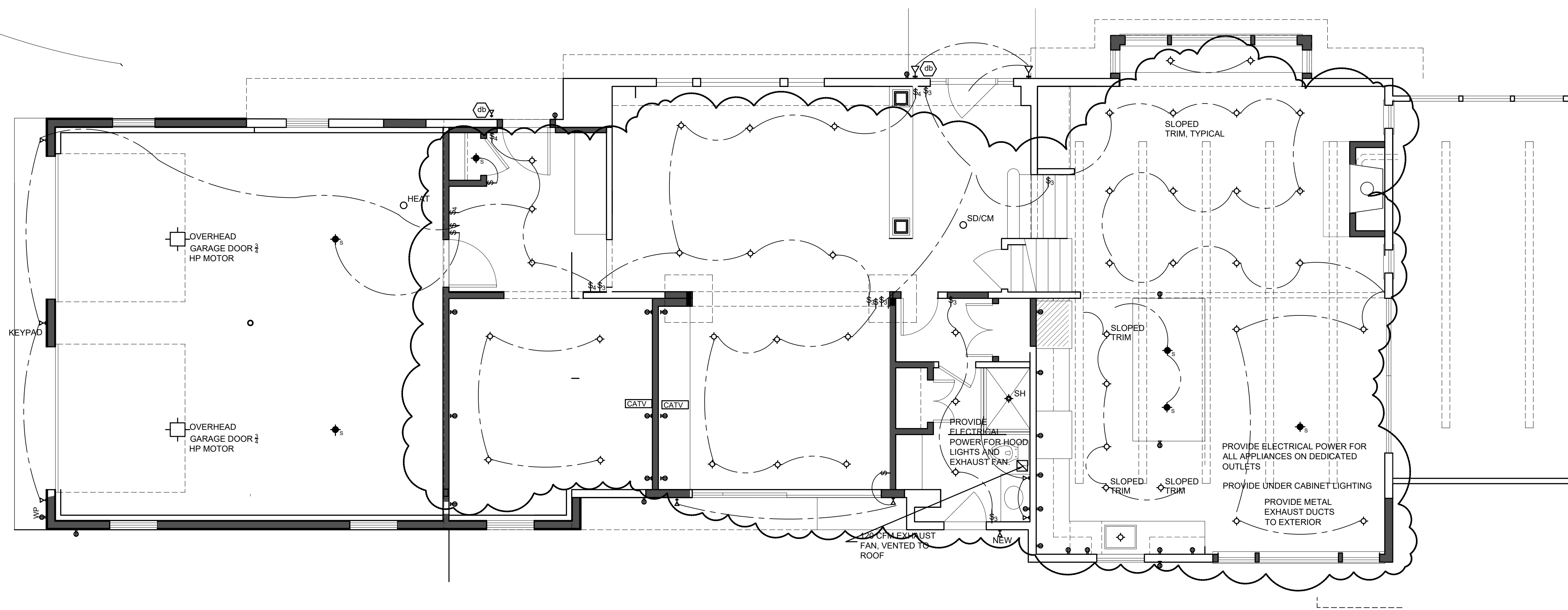
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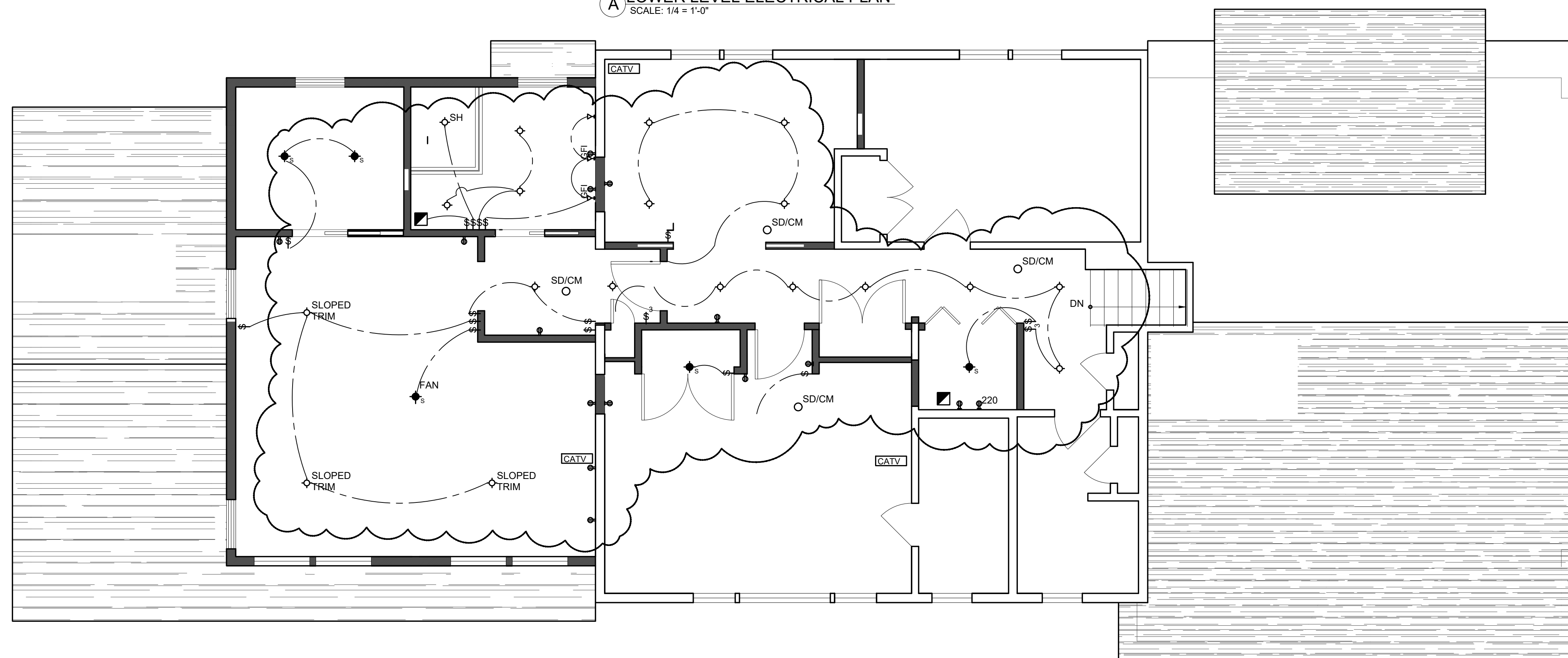
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1 OF 1



A LOWER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



B UPPER LEVEL ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES

- ALL SURFACE MOUNTED WALL AND CEILING LIGHT FIXTURES SHALL BE PURCHASED BY THE OWNER AND COORDINATED AND INSTALLED BY CONTRACTOR.
- ALL SMOKE DETECTORS SHALL BE TANDEM HARD WIRED SUCH THAT WHEN ONE SOUNDS, ALL WILL SOUND PER NATIONAL ELECTRICAL CODE, LOCAL CODE, NFPA 72.
- EXACT LOCATIONS OF ALL LIGHT FIXTURES SHALL BE REVIEWED WITH THE OWNER ON SITE PRIOR TO INSTALLATION. ELECTRICAL OUTLETS SHALL INSTALLED TO MATCH EXISTING, EXCEPT FOR AT COUNTERTOPS, VANITIES, AND AS OTHERWISE NOTED.
- ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND FOR OBTAINING CERTIFICATE FROM THE NEW YORK STATE BOARD OF FIRE UNDERWRITERS.
- CONTRACTOR SHALL PROVIDE RECEPTABLES / POWER TO ALL MAJOR APPLIANCES AS REQUIRED. TYPE, QUANTITY, AND LOCATIONS SHALL BE COORDINATED WITH THE SPECIFIC APPLIANCES BEING INSTALLED.
- CONTRACTOR SHALL INSTALL CONVENIENCE OUTLETS IN ALL ROOMS, INCLUDING HALLWAYS AS PER APPLICABLE CODES. VERIFY IN FIELD.
- ALL SOFFIT CONCEALING DUCTWORK SHALL BE BUILT TO THE HIGHEST POSSIBLE.
- ALL SWITCHES GROUPED TOGETHER SHALL BE GANGED ON ONE SWITCH PLATE.
- EXTERIOR LIGHTING TO BE ON PHOTOSENSOR/SWITCH
- TELEPHONE, FAX, COMPUTER, TELEVISION, AND OTHER COMMUNICATION WIRING TO BE LOCATED IN FIELD WITH THE OWNER.
- ALL SWITCHES TO BE DIMMERS, TYPICAL, U.O.N., EXCEPT OVER COUNTERTOP
- RECESSED LIGHTING FIXTURES WITH CLEAR TRIM BY LIGHTOLIER, TYP. U.O.N. OR APPROVE EQUAL
- PROVIDE RECEPTABLES AS SHOWN OR AT MINIMUM CODE REQUIREMENTS
- PROVIDE DEDICATED CIRCUITS FOR MICROWAVE, TOSTER OVEN, ETC
- PROVIDE 4 CERAMIC FIXTURES IN ATTIC
- SWITCHES - SHALL BE PADDLE TYPE, QUIET TYPE BY LEVITON OR EQUAL, COLOR TO BE SELECTED.
- DIMMERS TO BE LUTRON DIVI OR EQUAL. COLOR TO BE SELECTED.
- PLATES - SHALL BE DECORA. COLOR TO BE SELECTED.
- RECEPTABLES - SHALL BE LEVITON DECORA LINE OR EQUAL DUPLEX GROUNDED, COLOR TO BE SELECTED. HEIGHT TO BE AS SHOWN OR AS DIRECTED BY ARCHITECT OR SHOWN ON PLANS. SPECIAL RECEPTABLES FOR EQUIPMENT AS SHOWN ON THE DRAWINGS. EXTERIOR RECEPTABLES SHALL BE WATERPROOF TYPE WITH GASKETED SPRING COVERS EQUAL TO THE LEVITON 6198.
- RECESSED LIGHTING FIXTURES - SHALL BE 4 1/2" DIA. RECESSED FIXTURES WITH CLEAR TRIM BY LIGHTOLIER, TYP. U.O.N.
WET LOCATIONS -
5" APERTURE - LYTENING MODEL 1081CD WITH FINISH: CLEAR DIFFUSE COORDINATE WITH PROPER FRAME-IN KIT
WALL WASHER -
5" APERTURE - LYTECASTER MODEL 1085 WITH FINISH: PERMAWHITE DIFFUSE COORDINATE WITH PROPER FRAME-IN KIT
TYPICAL RECESSED -
3 3/4" APERTURE - LYTECASTER MODEL 2013CD WITH FINISH: CLEAR DIFFUSE COORDINATE WITH PROPER FRAME-IN KIT
TYPICAL LOW VOLTAGE -
3 3/4" APERTURE - LYTECASTER MODEL 2000LV WITH FINISH: CLEAR DIFFUSE. COORDINATE WITH PROPER FRAME-IN KIT
- UNDERCABINET LIGHTS SHALL BE LOOX LED 3006, MANUFACTURED BY HAFELE.
- UNDER COUNTER POWER STRIP SHALL BE WIREMOLD PLUGMOLD, HARDWIRED