



ALP Engineering
& Landscape Architecture, PLLC

October 4, 2022

Residential Project Review Committee
Town of North Castle
17 Bedford Road
Armonk, NY 10504

**Re: Furie Property
45 Round House Road
Bedford P.O., NY**

SBL: 102.04-2-68

Dear Mr. Kaufman, Chair and Members of the Residential Project Review Committee:

We are pleased to submit the following drawings and documents in support of this application by Jon and Amanda Furie, the owners of the property located at 45 Round House Road, for your consideration:

Site Civil Engineering Plans:

<u>Drawing No.:</u>	<u>Drawing Title:</u>	<u>Dated:</u>
C-101	Site Plan	10/04/2022
C-102	Erosion and Sediment Control Plan	10/04/2022
C-111	Construction Details	10/04/2022

Architect's Plans:

<u>Drawing No.:</u>	<u>Drawing Title:</u>	<u>Dated:</u>
A1	Basement Floor Plan / First Floor Plan	09/29/2022
A2	Front Elevation / Right Side Elevation	09/29/2022

Plus, the following documents are being submitted in support of this application:

- Residential Project Review Committee (RPRC) Application Form, dated 10/03/2022;
- Attachment 1, Gross Land Coverage, dated 10/04/2022;
- Gross Land Coverage Calculations Worksheet, dated 09/30/2022.
- Furie Residence, Floor Area Ratio (FAR) Backup, undated.



The Furie Property application involves the construction of a 16' x 15' basement gym and sunroom on the west side of the house. This application is also being made to legalize a stone terrace that was constructed in the rear yard of the house, and was the subject of RPRC application 2020-2718.

It is also proposed to install 2 Cultec 180HD chambers to provide water quality treatment of the runoff from the new impervious surfaces, the proposed 240 s.f. addition and the 255 s.f. stone terrace.

Description of the Property: The subject property is 1.702 acres in size and is located on the south side of Round House Road. An existing single family house is located in the northeastern portion of the lot. Access to the house is obtained from an existing paved driveway from Round House Road. The property also has been improved with a wood deck in the rear yard, the aforementioned stone terrace off the deck. The property is served with its water supply from a well and a subsurface sewage treatment system (SSTS) in the rear yard.

Wetlands were flagged on the property on 5/27/2021 by Evans Associates Environmental Consulting. A total of 12 flags were placed which were then survey located by Howard Weeden, P.L.S. As can be seen on Sheet C-101, the proposed house addition, existing stone patio (as well as the entire house), and the proposed stormwater management practice are located outside of the 100-foot regulated wetland buffer. The property also features a detention pond (with a concrete outlet control structure) in the northwestern corner of the property.

Site Plan: As noted above, this application involves the construction of a 16' x 15' gym and sunroom on the west side of the house and to legalize a stone terrace that was constructed in the rear yard of the house.

In reviewing the RPRC Determination letter of 08/07/2022, it is noted that: (i) the applicant's engineer will conduct deep hole and percolation testing within the footprint of the proposed stormwater management practice; (ii) inverts and pipe sizes are provided on the attached Sheet C-101 for all stormwater management facilities; (iii) an inspection port is to be provided for the proposed Cultec 180HD chambers; (iv) since the runoff to contribute flow to the chamber is from only roof runoff, the pre-treatment is provided with a hooded invert pipe and sump in the catch basin prior to the chamber, (v) setbacks are



depicted from the well and septic system on Sheet C-101, and (vi) no disturbance is proposed within the Town regulated wetland buffer

Based on the topographical information from the Westchester County Geographic Information System supplemented by field observation, the drainage area to the detention basin is calculated to be 3.90 acres. In addition to the subject lot, portions of the lots at 41 and 43 Round House Road, as well as 8 Round House Court, contribute runoff to the detention pond. The analysis that was done by this office indicated that the construction of a 240 s.f. addition and the 255 s.f. stone terrace had no impact on the peak rate of runoff to the detention pond, nor the rate of outflow from the detention pond. For this reason, the project proposes capturing and treating the water quality volume from the two aforementioned new impervious surfaces.

We trust that the information is complete and that this matter can be placed before the RPRC at its next available meeting. The application fee for this submission will be sent under separate cover by the applicant.

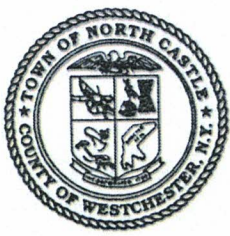
If you have any questions regarding the attached drawings and form, or require any additional information, please feel free to call me on my direct line at (475) 215-5343.

Sincerely,

ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC

Alan L. Pilch, PE, RLA
Principal

cc: Jon and Amanda Furie (via email)
Mary Faithorn Scott (via email)



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 45 ROUND HOUSE ROAD, BEDFORD, NY

Section III- DESCRIPTION OF WORK:

PROPOSED BASEMENT GYM WITH SUN PORCH ABOVE
LEGALIZATION OF EXISTING STONE TERRACE

Section III- CONTACT INFORMATION:

APPLICANT: JON AND AMANDA FURIE
ADDRESS: 45 ROUND HOUSE ROAD, BEDFORD, NY
PHONE: _____ MOBILE: _____ EMAIL: JON.FURIE@GMAIL.COM

PROPERTY OWNER: SAME AS APPLICANT

ADDRESS: _____
PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: ALAN L. PILCH, P.E., R.L.A. ALP ENGINEERING
ADDRESS: PO BOX 843, RIDGEFIELD, CT 06877
PHONE: 475 215 5343 MOBILE: 203 710 0587
EMAIL: ALAN@EAEC-INC.COM

Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 102.04-2-68

MARY F. SCOTT, ARCHITECT, 33 FAIRWAYS DRIVE, MOUNT KISCO, NY
914 241 6262 914 907 8318 MFSCOTTARCH@GMAIL.COM



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: **FURIE RESIDENCE**

Initial Submittal Revised Preliminary

Street Location: **45 ROUND HOUSE ROAD, BEDFORD, NY**

Zoning District: R-1A Property Acreage: 1.702 Tax Map Parcel ID: 102.04-2-68

Date: OCT. 3, 2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY

17 Bedford Road
Armonk, NY 10504-1898

Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

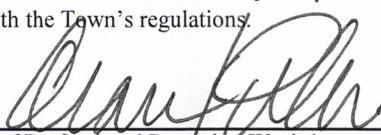
Application Name or Identifying Title: Furie Property Date: 9/30/22

Tax Map Designation or Proposed Lot No. SBL: 102.04-2-68

Gross Lot Coverage

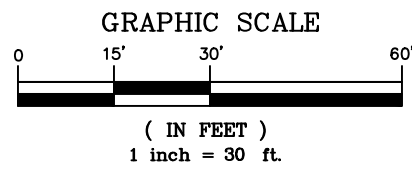
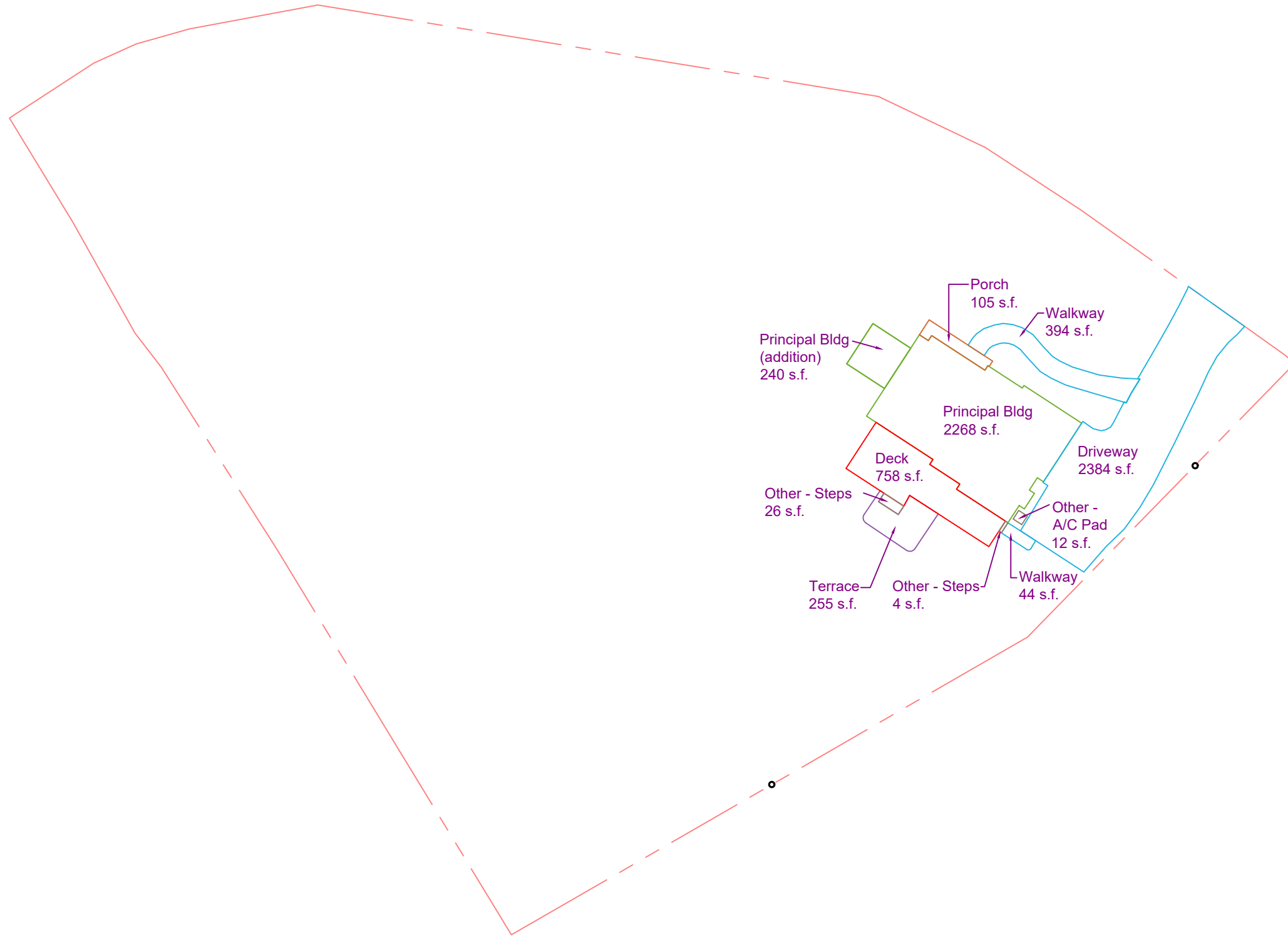
1.	Total lot Area (Net Lot Area for Lots Created After 12/12/06):	<u>74,130.5</u>
2.	Maximum Permitted gross land coverage (per Section 355-26.C(1)(b)):	<u>12,101.3</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	<u>85</u>
	Distance principal home is beyond minimum front yard setback	<u>8.5</u>
	8.5 x 10 = <u>85</u>	
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>12,186.3</u>
5.	Amount of lot area covered by principal building :	
	<u>2,268</u> existing = <u>240</u> proposed =	<u>2,508</u>
6.	Amount of lot area covered by accessory buildings :	
	<u>0</u> existing = <u>0</u> proposed =	<u>0</u>
7.	Amount of lot area covered by decks :	
	<u>758</u> existing = <u>0</u> proposed =	<u>758</u>
8.	Amount of lot area covered by porches :	
	<u>105</u> existing = <u>0</u> proposed =	<u>105</u>
9.	Amount of lot area covered by driveway, parking areas and walkways :	
	<u>2822</u> existing = <u>0</u> proposed =	<u>2,822</u>
10.	Amount of lot area covered by terraces :	
	<u>255</u> existing = <u>0</u> proposed =	<u>255</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equipment :	
	<u>0</u> existing = <u>0</u> proposed =	<u>0</u>
12.	Amount of lot area covered by all other structures :	
	<u>42</u> existing = <u>0</u> proposed =	<u>42</u>
13.	Proposed gross land coverage: Total of Lines 5 - 12	<u>6,490</u>

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



10/04/2022
 Date



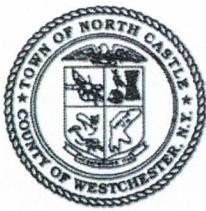
Date: October 4, 2022
 Dwn. by: alp
 ID:
 Furie 45 Round House Rd C08-16-2022

DRAWING TITLE:
Gross Land Coverage

PROJECT NAME:
Furie Property
 45 Round House Road
 Bedford P.O. (T-North Castle), NY

ENGINEER:
ALP ENGINEERING
 AND LANDSCAPE ARCHITECTURE, PLLC
 P.O. Box 843
 Ridgefield, Connecticut 06877
 Tel. (475) 215-5343 Cell (203) 710-0587

Exhibit
 1



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: FURIE RESIDENCE Date: 10/3/22
 Tax Map Designation or Proposed Lot No.: 102.04-2-68

Floor Area

- | | | |
|-----|---|------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | 1.702 A = 74,139.12 SF |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,474 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>1620</u> existing + <u>240</u> proposed = | <u>1,860 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>1711.5</u> existing + <u>-</u> proposed = | <u>1,711.5 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>506</u> existing + <u>-</u> proposed = | <u>506 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>144</u> existing + <u>-</u> proposed = | <u>144 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>512</u> existing + <u>240</u> proposed = | <u>752 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>390</u> existing + <u>-</u> proposed = | <u>390 SF</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>-</u> existing + <u>-</u> proposed = | <u>-</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>5,363.5 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's maximum floor area regulations.

Signature and Seal of



Worksheet

OCT 3, 2022
 Date

TABLE OF LAND USE/BULK REGULATIONS			
ZONING DATA:	SECTION:	BLOCK:	LOT:
	102.04	2	6B
			ZONE DISTRICT: R-1A
REQUIRED OR ALLOWED	PROPOSED OR EXISTING	REMARKS	
LOT AREA	1.0 ACRE	1.702 ACRES	INFORMATION FROM PROJECT SURVEY
FRONTAGE	125' MIN	464.7 FEET	INFORMATION FROM PROJECT SURVEY
LOT WIDTH	125' MIN	217 FEET	INFORMATION FROM PROJECT SURVEY
LOT DEPTH	150' MIN	273 FEET	INFORMATION FROM PROJECT SURVEY
FRONT YARD SETBACK	50 FEET	57.6 FEET	INFORMATION FROM PROJECT SURVEY
SIDE YARD	25'	31.2 FEET	30.0' TO PROPOSED POOL DECK FROM SIDE LOT LINE
REAR YARD SETBACK	40'	190.6'	86.6' TO PROPOSED POOL FROM REAR LOT LINE
BUILDING HEIGHT	30' MAX	<30 FEET	
BUILDING COVERAGE	12.0%	4.20%	4.6% OF LOT EXCL. WETLAND (3.38% OF ENTIRE PROPERTY)

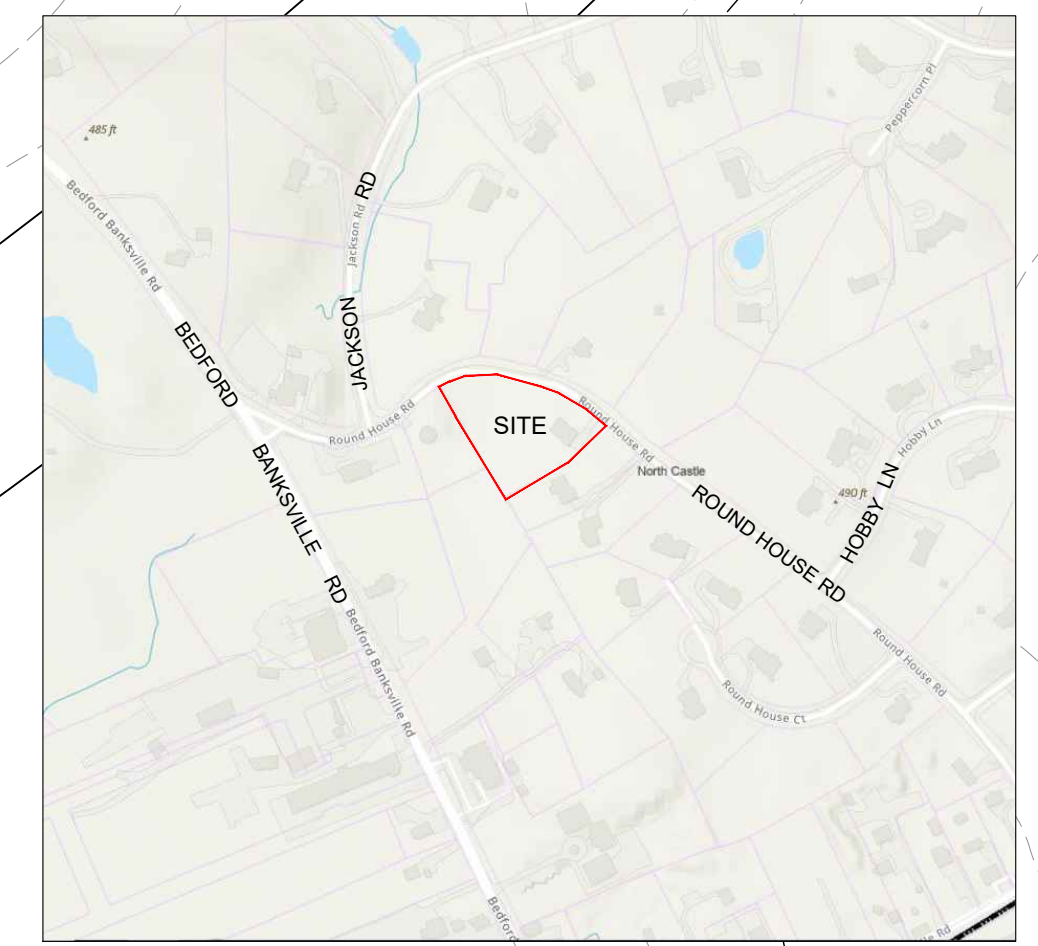
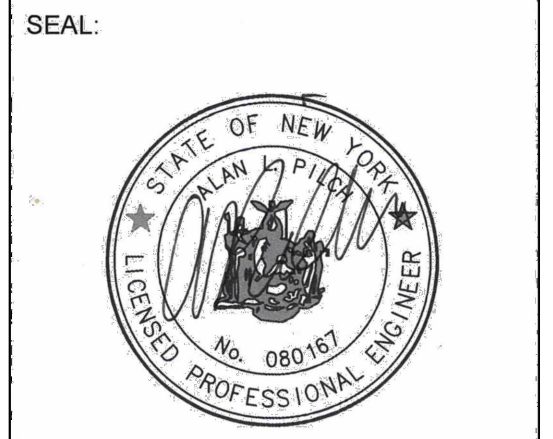
LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR
- STORM PIPE
- PROPOSED SUBSURFACE CHAMBERS
- APPROXIMATE TREE LINE

CONSULTANTS:
 PROJECT ARCHITECT:
 Mary Faithorn Scott, Architect
 33 Fairways Drive
 Mount Kisco, NY 10549
 t. 914.241.6262
 mfscoarch@gmail.com
 www.maryscottarchitect.com
 SURVEYOR:
 Howard W. Weeden, PLS. PC
 62 Main Street
 Walden, N.Y. 12586
 Tel.: (845) 778-7643

ISSUED:

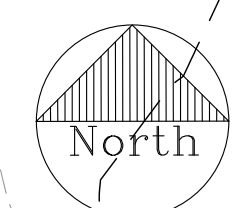
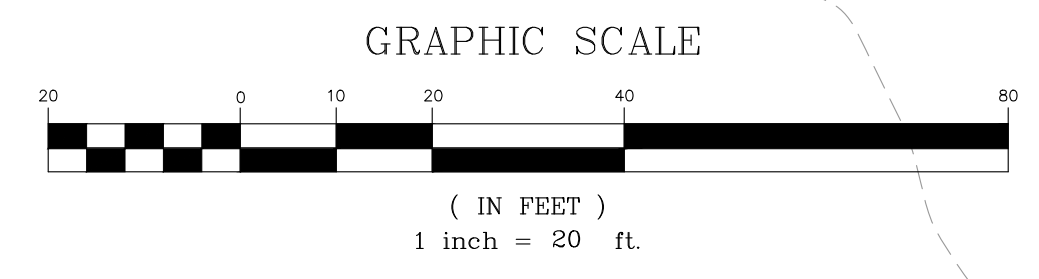
OWNERSHIP AND USE OF DOCUMENTS
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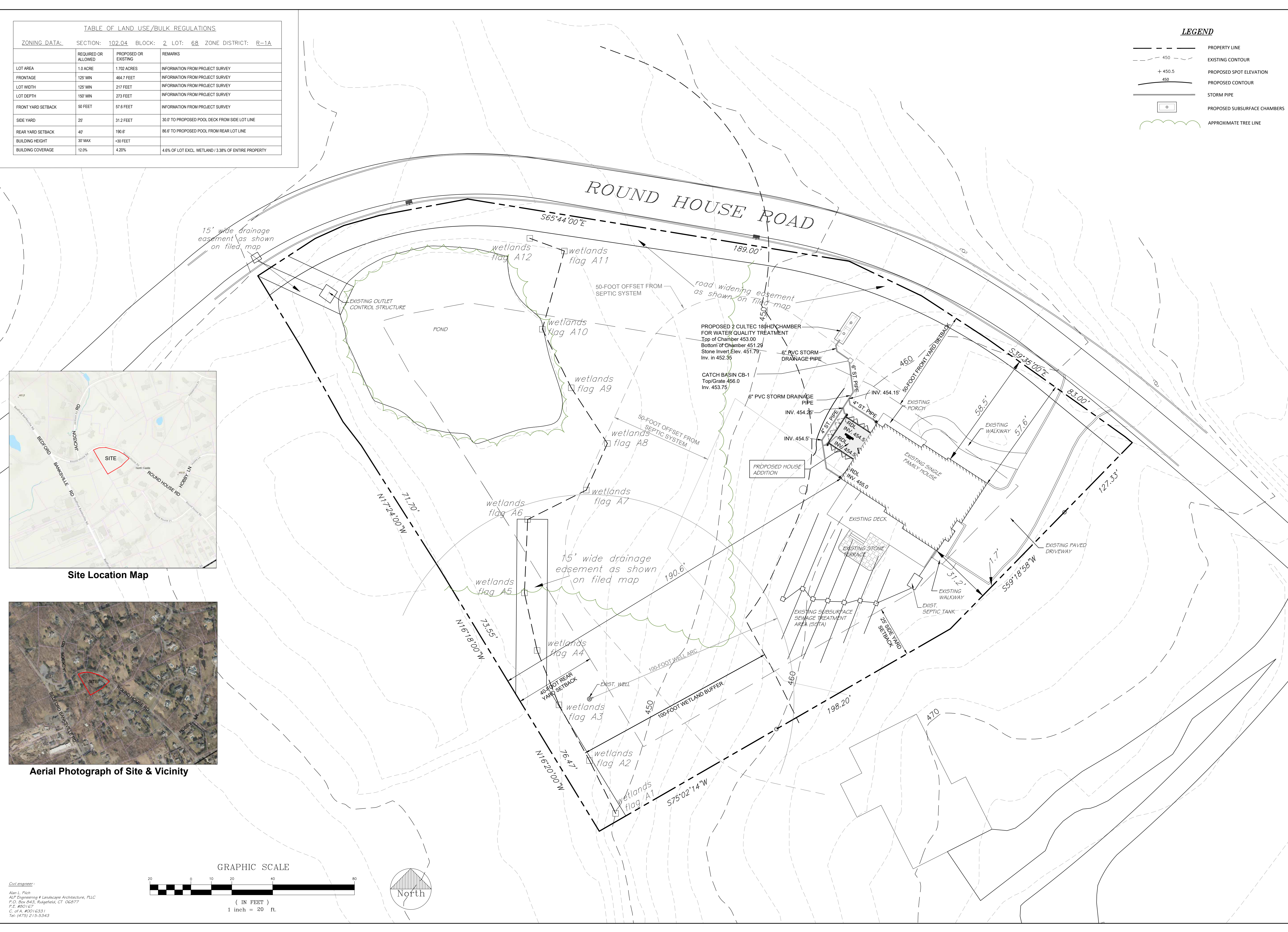
Site Location Map



Aerial Photograph of Site & Vicinity



Civil engineer:
 Alan L. Plich
 ALP Engineering & Landscape Architecture, PLLC
 P.O. Box 843, Ridgefield, CT 06077
 P.E. #80167
 C. of A. #03116391
 Tel: (475) 215-5343

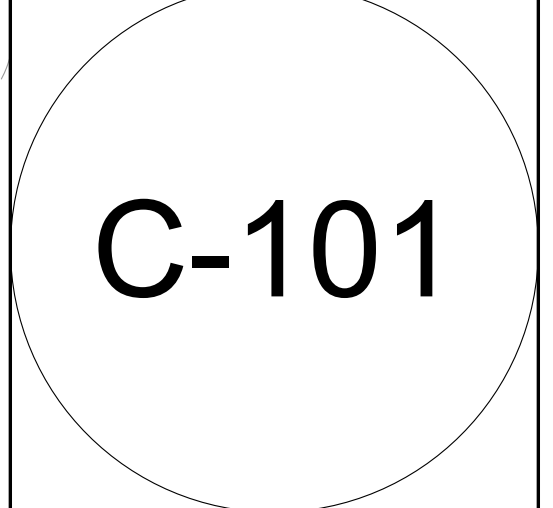


PROJECT NAME:
FURIE PROPERTY
 45 Round House Road
 Armonk, New York 10504

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC
 P.O. Box 843, Ridgefield, CT 06877
 Direct Tel: (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Site Plan

Date: October 4, 2022
 Dwn. by: alp
 ID: Furie 45 Round House Rd C08-16-2022



CONSTRUCTION SEQUENCE NARRATIVE FOR SITE CONSTRUCTION

All erosion and sedimentation control measures and procedures shall comply with the latest edition (2016) of the New York State Department of Environmental Conservation publication Standards and Specifications for Erosion and Sediment Control. Erosion control measures shall be installed prior to the start of construction and maintained in effective condition throughout the construction period.

Land disturbance shall be kept to a minimum. Restabilization and final stabilization of disturbed ground surfaces shall be scheduled as soon as practicable following disturbance.

Notify all appropriate authorities (i.e., Town of North Castle Building Department - Telephone: (914-273-3000 ext. 44) at least 48 hours prior to the commencement of site work.

Identify Disturbance Limits - Identify in the field with flagging or markers the limits of the areas to be disturbed within the property in accordance with the drawing C-102.

Call Dig Safe New York - Contractor is required to verify all existing underground and overhead utilities prior to any construction activity by calling Dig Safe New York and conducting one's own due diligence.

Definition: Final Stabilization - means that all soil disturbance activities have ceased and a uniform, perennial vegetative cover with a density of eighty (80) percent over the entire previous surface has been established; or other equivalent stabilization measures, such as permanent landscape mulches, rock rip-rap or washed/crushed stone have been applied on all disturbed areas that are not covered by permanent structures, concrete or pavement.

CONSTRUCTION SEQUENCE

1. Site Preparation - The existing driveway is to be used for access for the site construction activities (see drawing C-102).
2. Install Erosion and Sediment Control Measures:
3. Install silt fence as per the instructions of the manufacturer and as shown on the construction details. Silt fence shall be installed in the locations as shown on the drawings. Where one length of silt fence ends and another begins, provide a minimum 10 foot overlap. Additional silt fence may be placed in the field at the discretion of representatives of the approving authorities. Silt fence shall be maintained in operable condition and shall not be removed until disturbed areas are thoroughly stabilized.
4. Install the stabilized construction entrance in the location shown on the plan and maintain the entrance throughout the duration of the work.
5. Install construction fencing measures as delineated on the drawings to ensure that impacts to existing site improvements, including the septic system, trees and vegetation to remain are avoided.
6. Fence in an area for trash and waste to prevent it from being blown and washed to neighboring properties, the watercourses, or to the public street.
7. House Addition Construction - Following the installation of the soil erosion and sediment controls measures, prepare the house addition pad area. Stockpile topsoil and soil/rock removed during excavation for the house addition and protect the stockpile in the location shown on the drawings and in accordance with the detail. Any excess soil material shall be removed off-site. Construct the house addition in accordance with the architect's plans.
8. Install Stormwater Management and Drainage Facilities - Storm drainage systems are installed from the lowest to highest elevations. Construct the stormwater management facilities to consist of a subsurface chamber. Install storm drainage piping from the subsurface chamber to roof drain leaders as per the plans.
9. Prepare the Disturbed Area for Final Stabilization and Planting - Clean up all residual site debris and litter and prepare all disturbed areas for topsoiling and seeding and/or planting.
10. Prior to final stabilization, restore the permeability of the of all areas that were disturbed by construction activity by following the Soil Restoration steps in accordance with the New York State Stormwater Management Design Manual, as follows:
 - Apply 3 inches of compost over subsoil.
 - Till compost into subsoil to a depth of at least 12 inches using a cat-mounted ripper, tractor-mounted disc, or tiller, mixing, and circulating air and compost into subsoils.
 - Rock-pick until uplifted stone/rock materials of four inches and larger size are cleaned off the site.
 - Apply topsoil to a depth of 6 inches.
 - Vegetate as required by approved plan.
 - Provide straw mulch cover over seeded areas.
 - All disturbed areas are to be seeded with the permanent grass seed mix noted in the specifications. Place weed free straw mulch to stabilize.
11. Remove the erosion control measures only after full vegetative stabilization occurs on the site.

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

Silt Fence: Maintenance shall be performed as needed and material removed when bulges develop in the silt fence. Inspection for physical damage to the silt fence material shall be made during the weekly inspection. If filter fabric shows signs of decomposing or is damaged, it shall be repaired immediately. Typically, this entails installing a new line of silt fence adjacent to the damaged line.

Stabilized Construction Entrance: The effective life of a stabilized construction entrance may be limited by excessive sediment deposition, unless additional aggregate is added periodically to renew the surface. Maintenance includes periodic top dressing with additional aggregate. All sediment spilled, dropped or washed into the public right-of-way must be removed immediately.

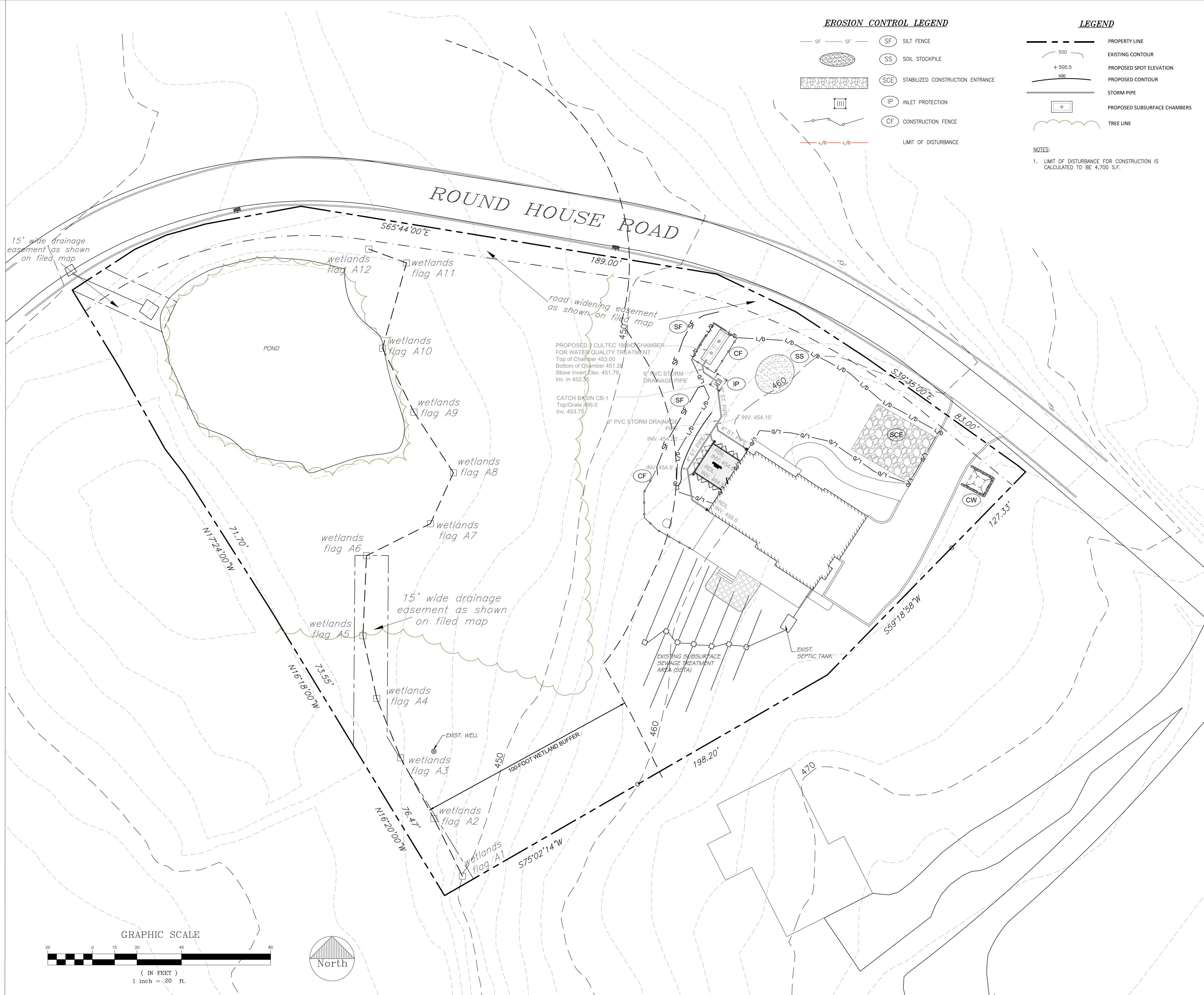
Periodic inspection of the stabilized construction entrance and road shall be performed within 24 hours of the end of a storm event of 0.5 inches or greater and following periods of heavy use.

Tree Protection: Check on at least a weekly basis that the construction fence and/or tree protection has not been damaged by construction activities.

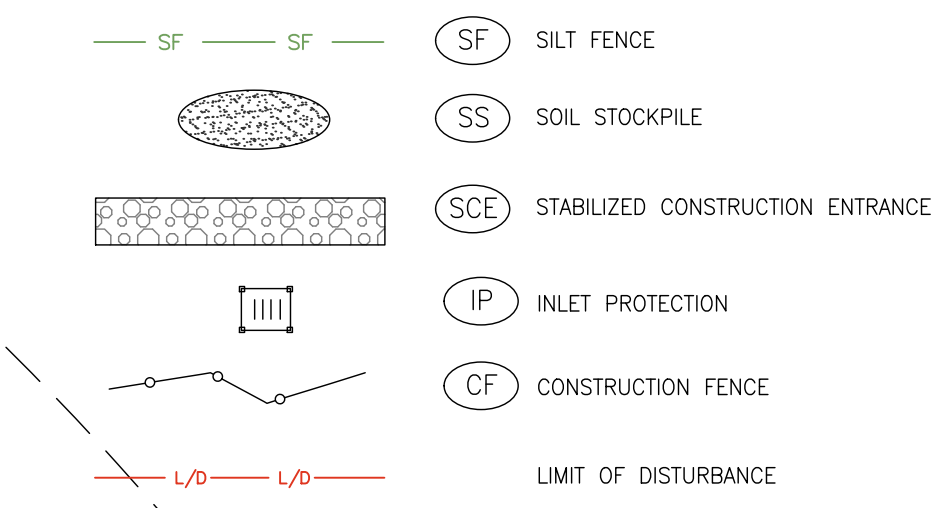
Soil Stockpiling: Perimeter sediment controls around each stockpile is to consist of silt fence installed in accordance with the standards delineated above. The silt fence shall be maintained as noted above. Stockpiles and fill area shall be inspected at least weekly for signs of erosion or problems with plant establishment.

Civil engineer

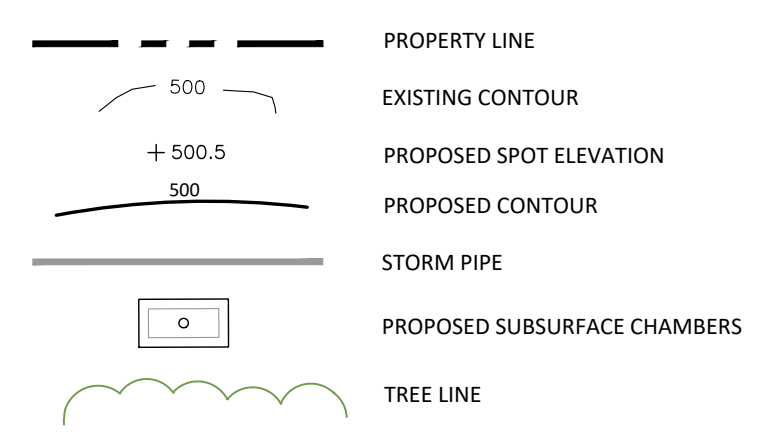
Alan L. Plich
ALP Engineering & Landscape Architecture, PLLC
P.O. Box 843, Ridgefield, CT 06277
P.E. #90167
C. of A. #20116391
Tel: (475) 215-5343



EROSION CONTROL LEGEND



LEGEND



NOTES:

1. LIMIT OF DISTURBANCE FOR CONSTRUCTION IS CALCULATED TO BE 4,700 S.F.

CONSULTANTS:

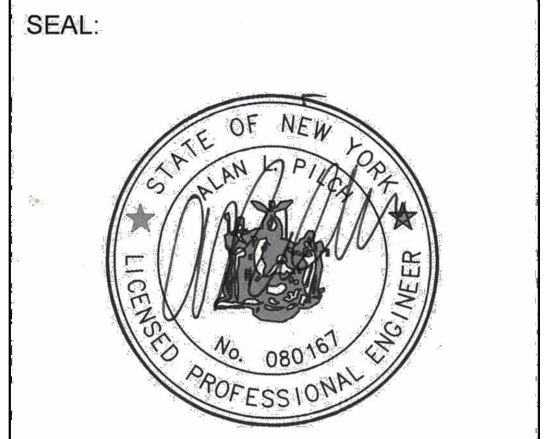
PROJECT ARCHITECT:
Mary Faithorn Scott, Architect
33 Fairways Drive
Mount Kisco, NY 10549
t. 914.241.6262
mfscotharch@gmail.com
www.maryscottarchitect.com

SURVEYOR:
Howard W. Weeden, PLS. PC
62 Main Street
Walden, N.Y. 12586
Tel.: (845) 778-7643

ISSUED:

OWNERSHIP AND USE OF DOCUMENTS

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PROJECT NAME:
FURIE PROPERTY
45 Round House Road
Armonk, New York 10504

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843, Ridgefield, CT 06277
Direct Tel: (475) 215-5343 Cell (203) 710-0587

Drawing Title:
Erosion and Sediment Control Plan

Date: October 4, 2022
Dwn. by: alp
ID: Furie 45 Round House Rd C08-16-2022

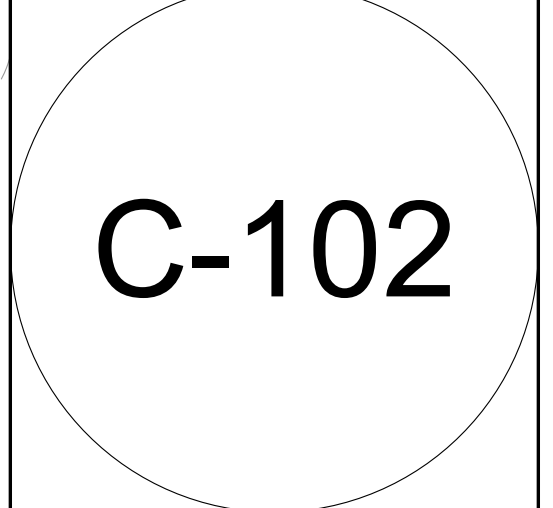
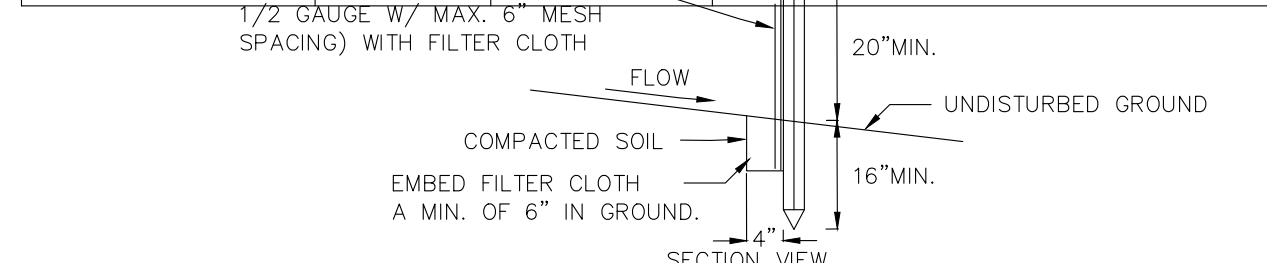


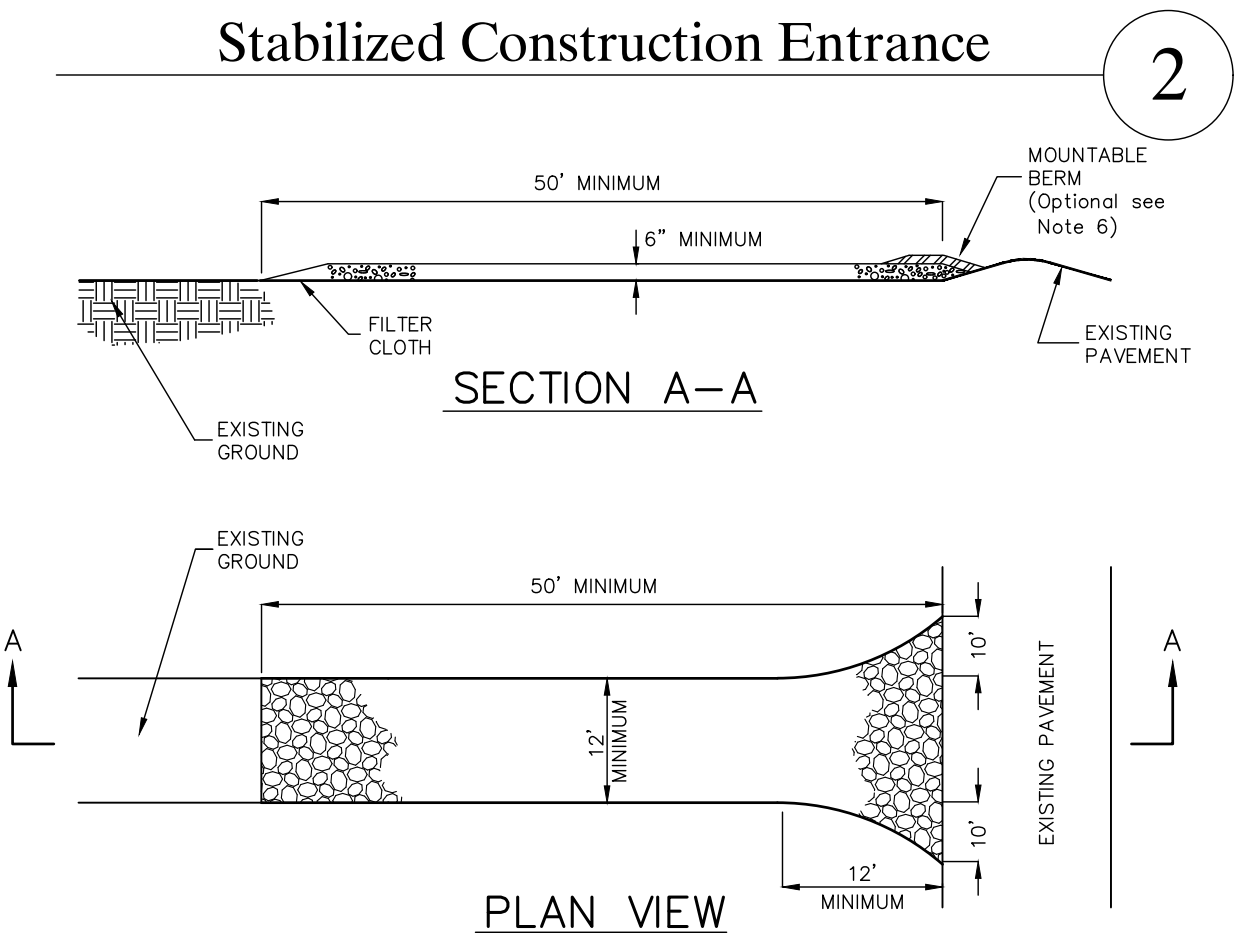
TABLE 1: Silt Fence Bulk Regulations			
ZONING DATA:	SECTION: 102.04	BLOCK: WOVEN WIRE FENCE	ZONE DISTRICT: R-1A
REQUIRED OR ALLOWED:	PROPOSED OR EXISTING:	W/ MAX. 6" MESH SPACING:	INFORMATION FROM PROJECT SURVEY:
LOT AREA: 1.0 ACRE	1.702 ACRES	44.7 FEET	INFORMATION FROM PROJECT SURVEY:
FRONT YARD SETBACK: 125 MIN.		217 FEET	INFORMATION FROM PROJECT SURVEY:
LOT WIDTH: 126 MIN.		273 FEET	INFORMATION FROM PROJECT SURVEY:
LOT DEPTH: 147 MIN.		16' MIN.	INFORMATION FROM PROJECT SURVEY:
FRONT YARD SETBACK: 30 FEET		30.0 TO PROPOSED POOL DECK FROM SIDE LOT LINE	
SIDE YARD SETBACK: 25'		30.0 TO PROPOSED POOL DECK FROM REAR LOT LINE	
REAR YARD SETBACK: 40'		86.8 TO PROPOSED POOL FROM REAR LOT LINE	
BUILDING HEIGHT: 30' MAX.			
BUILDING COVERAGE: WOVEN WIRE FENCE (MAX. 14 1/2" GAUGE W/ MAX. 6" MESH SPACING) WITH FILTER CLOTH			



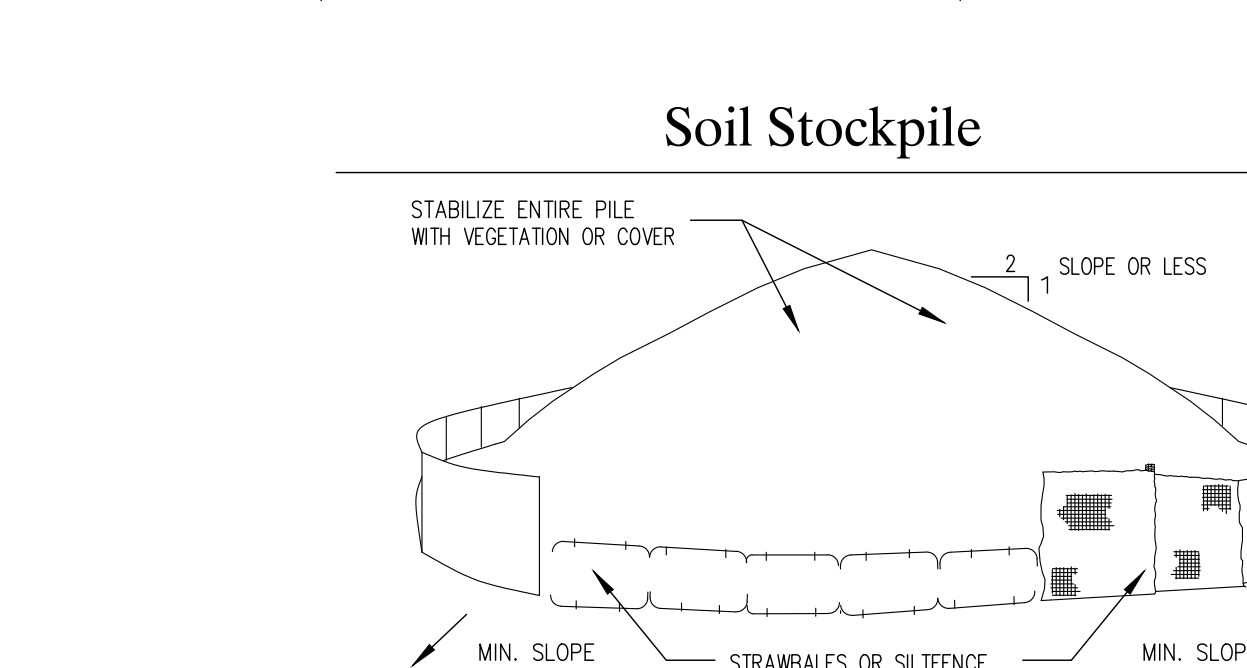
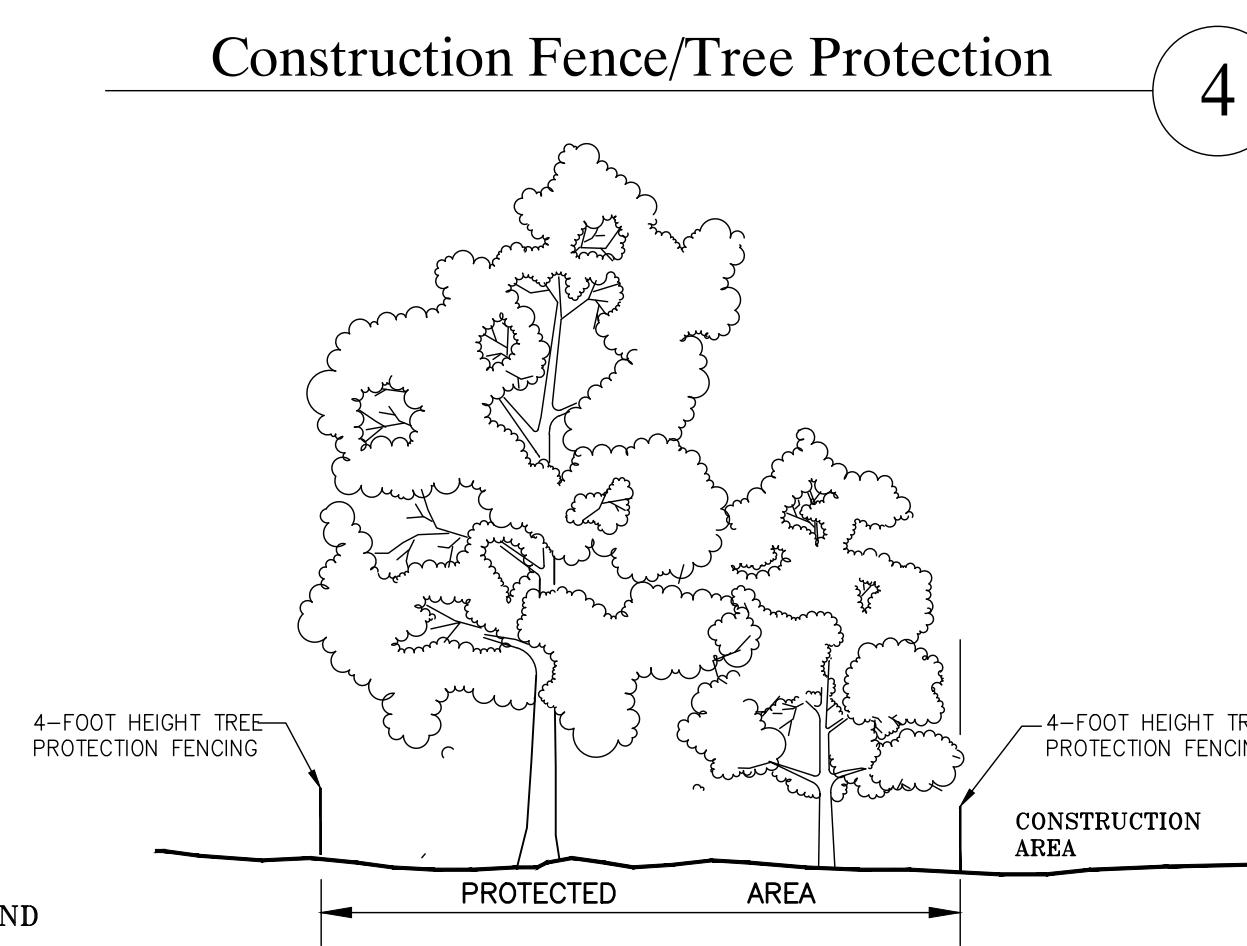
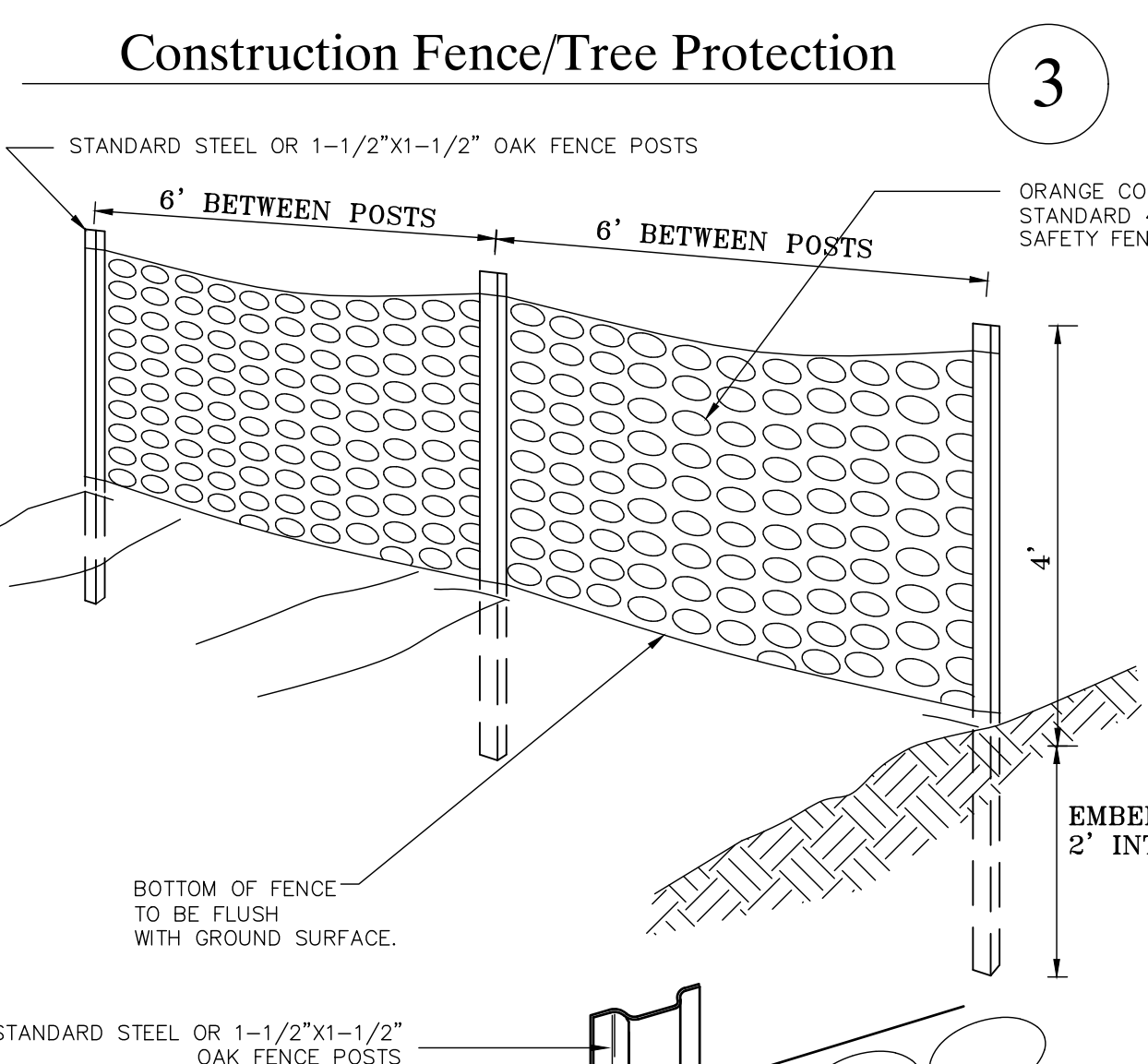
- ### CONSTRUCTION SPECIFICATIONS
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
 - FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFIT 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

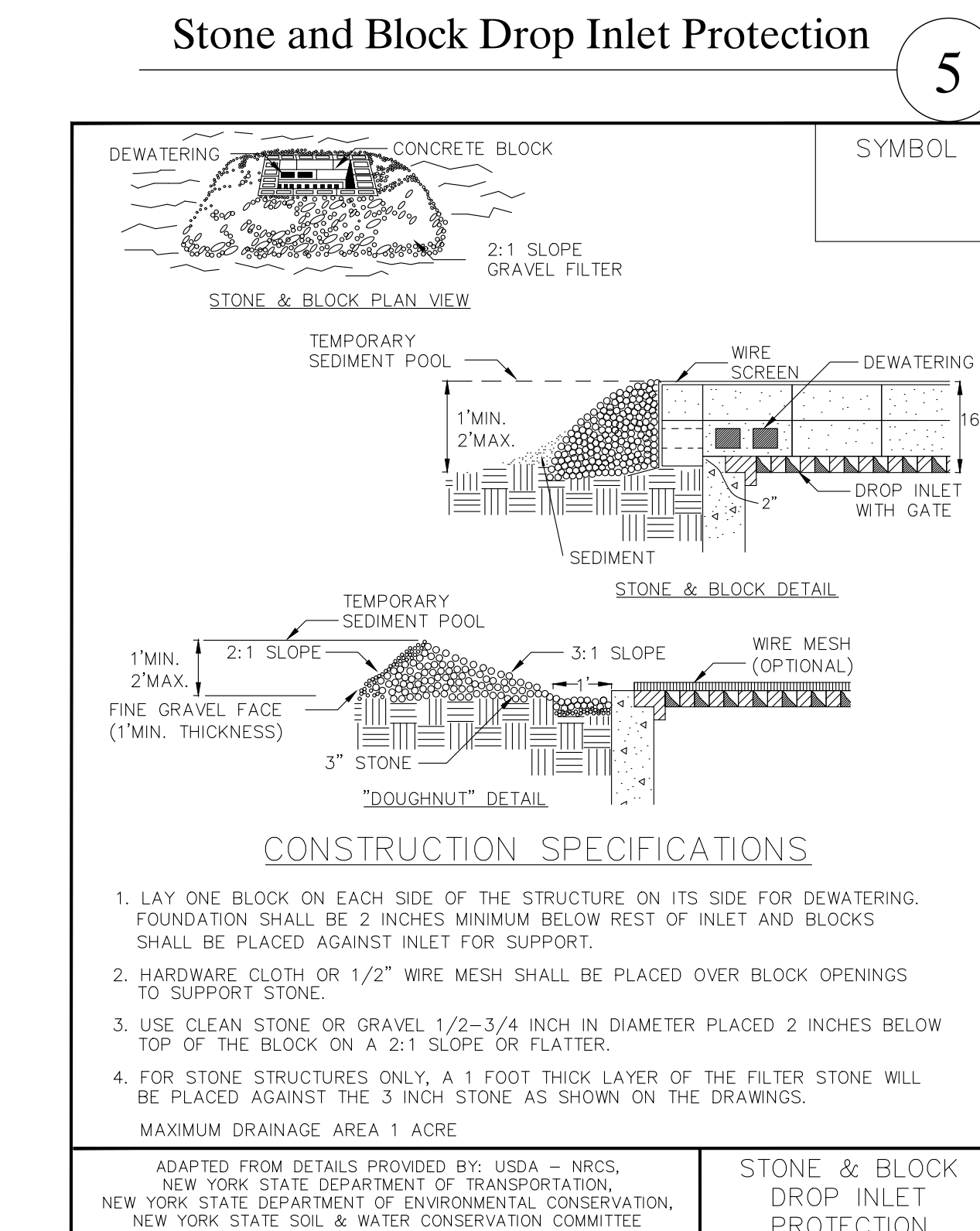
SILT FENCE



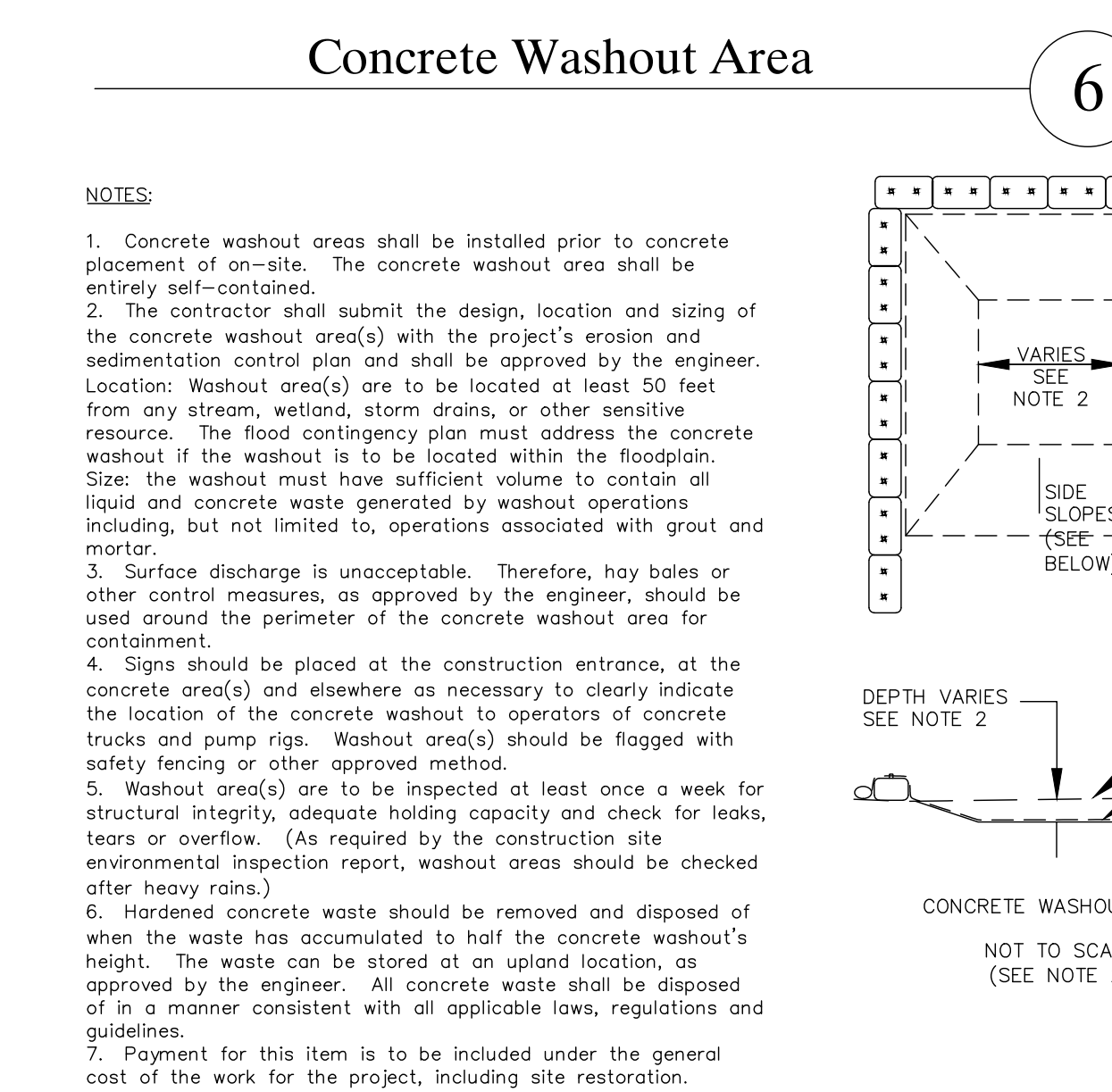
- ### NOTES:
- STONE SIZE - USE 1 1/2" - 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
 - FILTER CLOTH - TO BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DRIPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



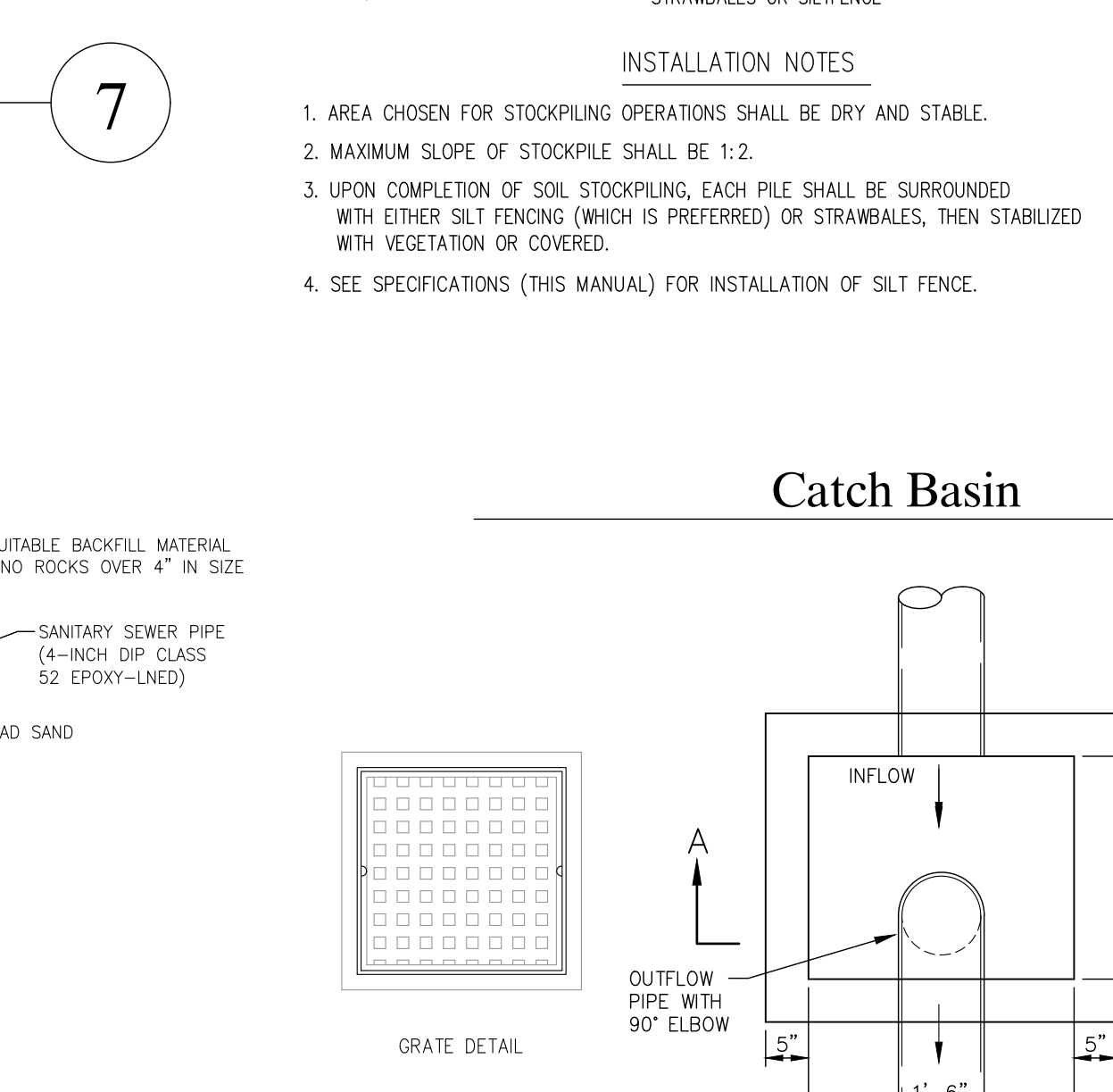
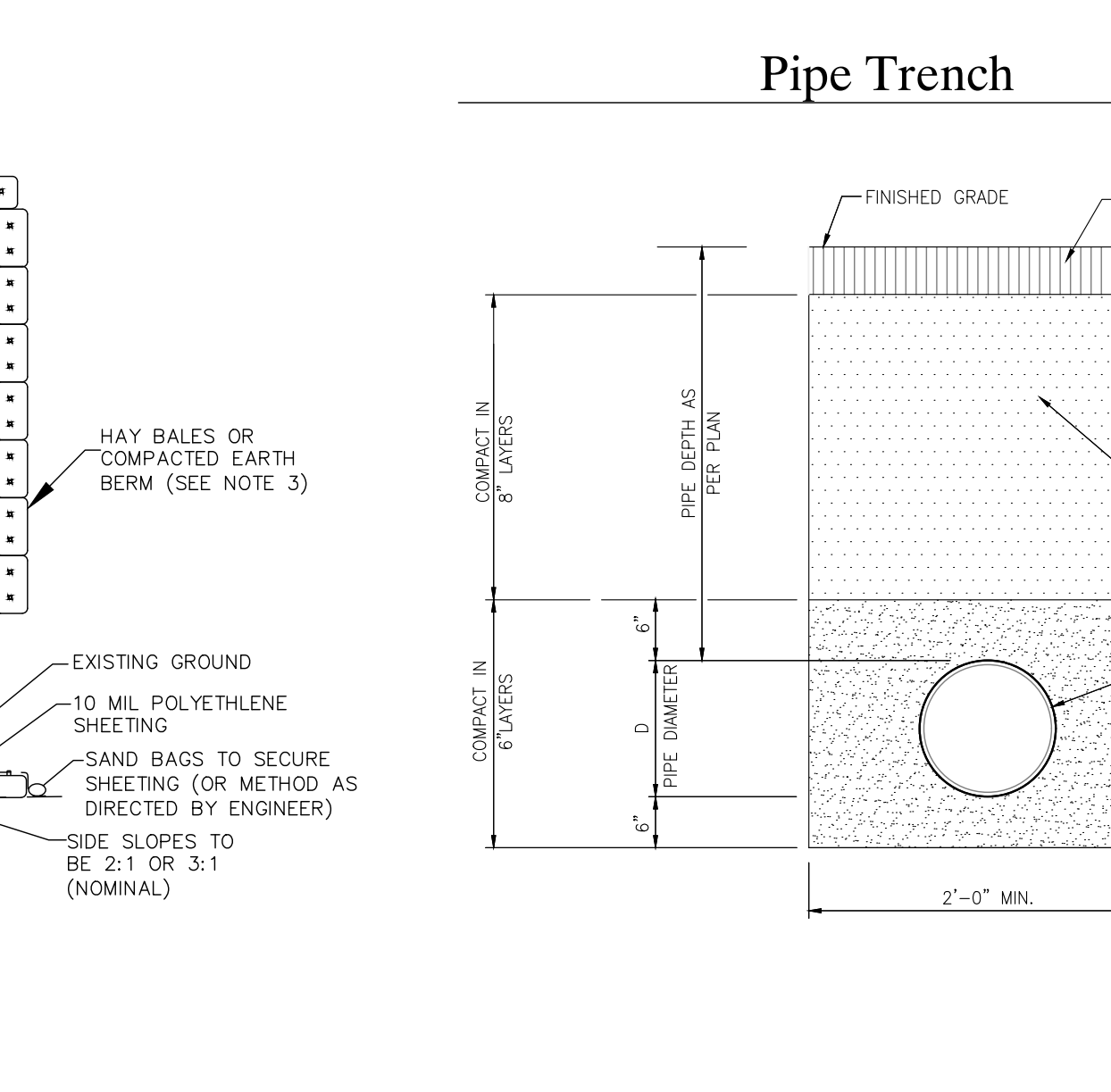
- ### INSTALLATION NOTES
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING (WHICH IS PREFERRED) OR STRAMBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.



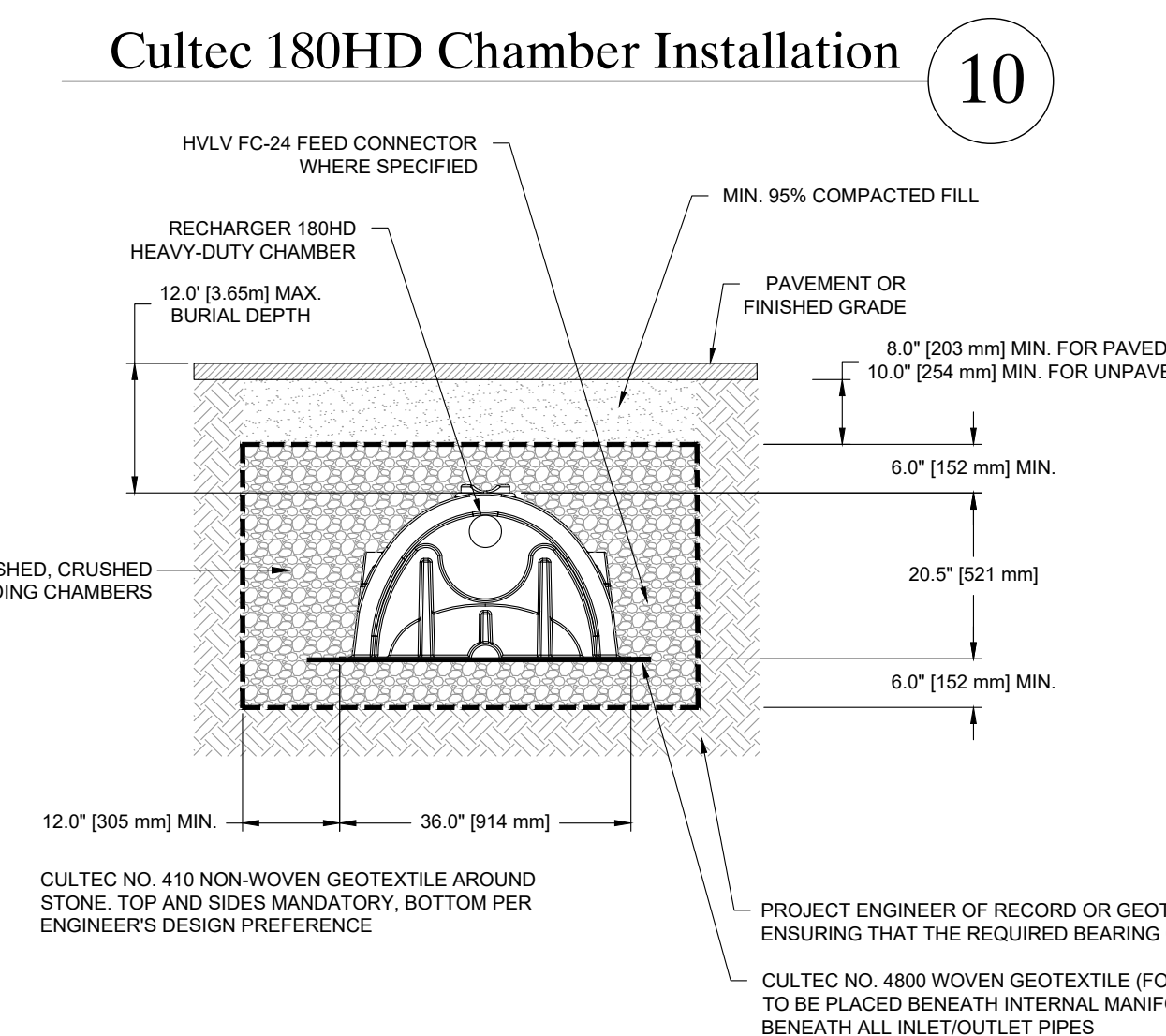
- ### CONSTRUCTION SPECIFICATIONS
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
 - USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
 - FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE
- ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE
- STONE & BLOCK
DROP INLET
PROTECTION



- ### NOTES:
- Concrete washout areas shall be installed prior to concrete placement of on-site. The concrete washout area shall be entirely self-contained.
 - The contractor shall submit the design, location and sizing of the concrete washout area(s) with the project's erosion and sedimentation control plan and shall be approved by the engineer. Location: Washout area(s) are to be located at least 50 feet from any stream, wetland, storm drains, or other sensitive resource. The flood contingency plan must address the concrete washout if the washout is to be located within the floodplain. Size: The washout must have sufficient volume to contain all liquid and concrete waste generated by washout operations including, but not limited to, operations associated with grout and mortar.
 - Surface discharge is unacceptable. Therefore, hay bales or other control measures, as approved by the engineer, should be used around the perimeter of the concrete washout area for containment.
 - Signs should be placed at the construction entrance, at the concrete area(s) and elsewhere as necessary to clearly indicate the location of the concrete washout to operators of concrete trucks and pump rigs. Washout area(s) should be flagged with safety fencing or other approved method.
 - Washout area(s) are to be inspected at least once a week for structural integrity, adequate holding capacity and check for leaks, tears or overflow. (As required by the construction site environmental inspection report, washout areas should be checked after heavy rains.)
 - Hardened concrete waste should be removed and disposed of when the waste has accumulated to half the concrete washout's height. The waste can be stored at an upland location, as approved by the engineer. All concrete waste shall be disposed of in a manner consistent with all applicable laws, regulations and guidelines.
 - Payment for this item is to be included under the general cost of the work for the project, including site restoration.



- ### NOTES:
- CONCRETE: 4,000 PSI @ 28 DAYS.
 - REINFORCING: AS PER ASTM A-185 6"x6" W4/W4 W.W.M.
 - SNOUT INSTALLATION ON STORM PIPE EXITING THE CATCH BASIN STRUCTURE ONLY.



- ### NOTES:
- CULTEC NO. 410 NON-WOVEN GEOTEXTILE AROUND STONE. TOP AND SIDES MANDATORY. BOTTOM PER ENGINEER'S DESIGN PREFERENCE
 - CULTEC NO. 4800 WOVEN GEOTEXTILE (FOR SCOUR PROTECTION) TO BE PLACED BENEATH INTERNAL MANIFOLD FEATURE AND BENEATH ALL INLET/OUTLET PIPES



- ### NOTES:
- CULTEC NO. 410 NON-WOVEN GEOTEXTILE AROUND STONE. TOP AND SIDES MANDATORY. BOTTOM PER ENGINEER'S DESIGN PREFERENCE
 - CULTEC NO. 4800 WOVEN GEOTEXTILE (FOR SCOUR PROTECTION) TO BE PLACED BENEATH INTERNAL MANIFOLD FEATURE AND BENEATH ALL INLET/OUTLET PIPES

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ISSUED:

OWNERSHIP AND USE OF DOCUMENTS
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No part of these drawings shall be copied, disclosed to others or used in connection with any work or project other than for which they have been prepared without the express written consent of the licensed professional who prepared the document.

SEAL:

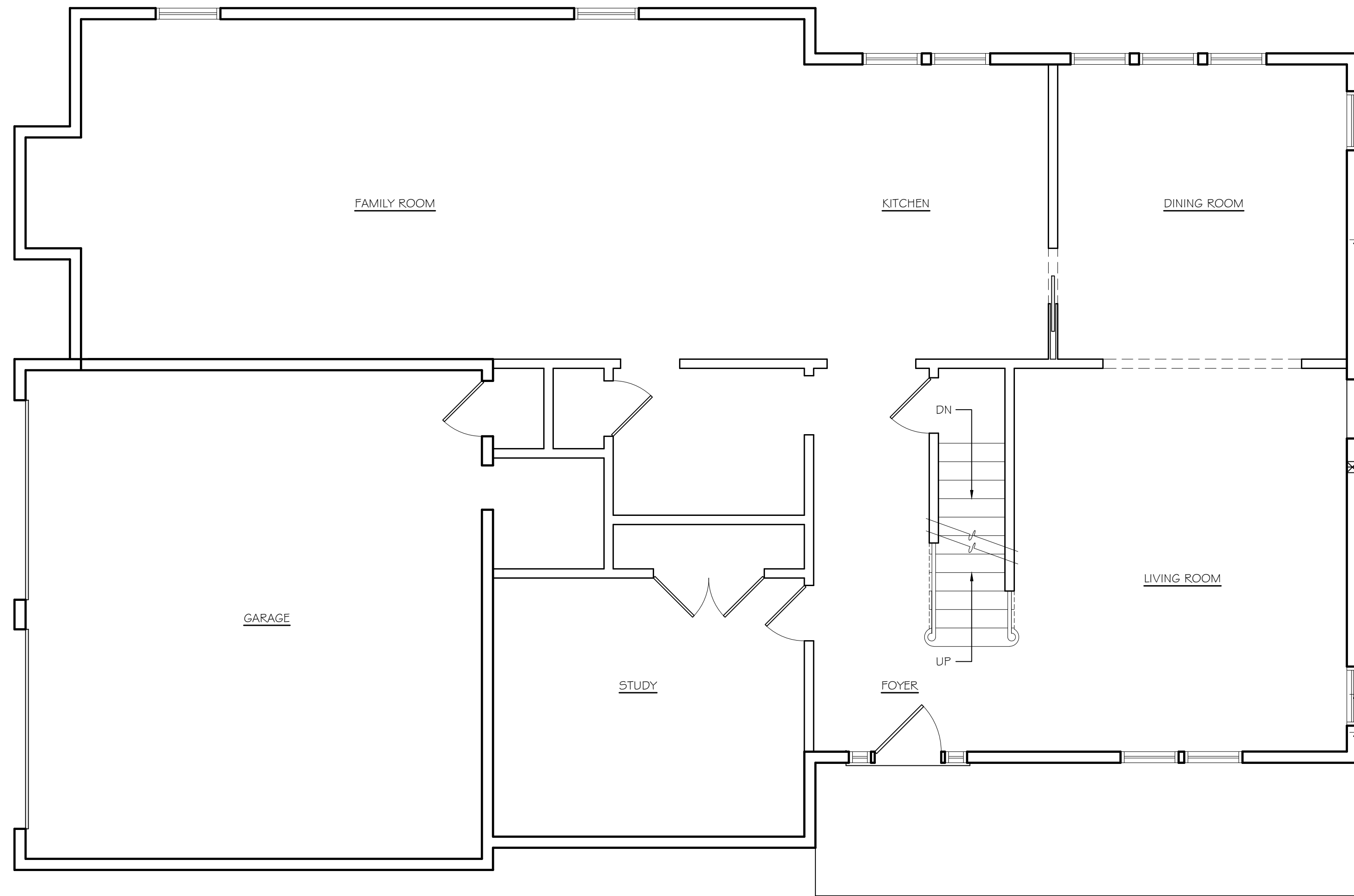
PROJECT NAME:
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45 Round House Road
Armonk, New York 10504

ENGINEER & LANDSCAPE ARCHITECT:
ALP ENGINEERING & LANDSCAPE ARCHITECTURE, PLLC
P.O. Box 843 Ridgefield, CT 06877
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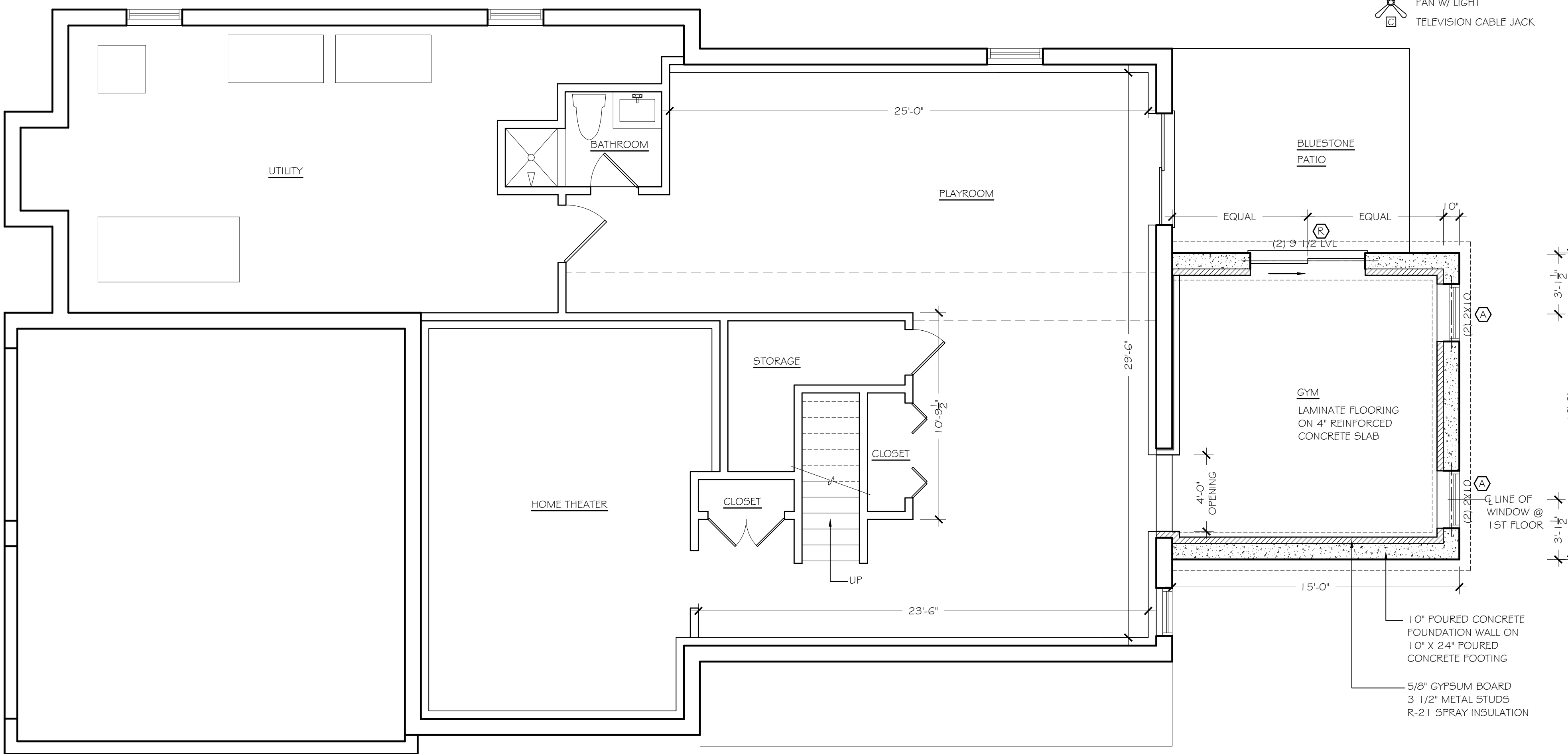
Drawing Title:
Construction Details

Date: October 8, 2021
Dwn. by: alp
ID: Furie 45 Round House Rd C08-16-2022

C-111



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



2 BASEMENT FLOOR PLAN/ NEW FOUNDATION PLAN
SCALE: 1/4"=1'-0"

SAFETY DEVICE SCHEDULE	
Ⓢ	SMOKE DETECTOR
Ⓜ	HEAT DETECTOR
Ⓢ	CARBON MONOXIDE DETECTOR

ENERGY EFFICIENT LAMP NOTE
NOT LESS THAN 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES ARE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS PER R04 OF THE ENERGY CONSERVATION CODE OF NEW YORK STATE.

- NOTES**
- MARY FAITHORN SCOTT, REGISTERED ARCHITECT IN THE STATE OF NEW YORK, CERTIFY THAT THE DESIGN PRESENTED IN THESE DRAWINGS IS IN COMPLIANCE WITH ALL REQUIREMENTS OF THE 2020 BUILDING CODE OF THE STATE OF NEW YORK.
 - TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN COMPLIANCE WITH THE 2020 NYS ENERGY CONSERVATION CODE.
 - INSTALLATION TO MEET COMPLIANCE WITH IRC R-314 REQUIREMENTS FOR INSTALLATION OF SMOKE DETECTORS / ALARMS TO BE HARD-WIRED WITH BATTERY BACKUP AND INTERCONNECTED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS.
 - INSTALLATION TO MEET COMPLIANCE WITH IRC R-314 REQUIREMENTS FOR INSTALLATION OF SMOKE DETECTORS / ALARMS TO BE HARD-WIRED WITH BATTERY BACKUP AND INTERCONNECTED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS IN NEW AREA. BATTERY OPERATED DEVICES ARE PERMITTED IN NON-DISTURBED ROOMS AND AREAS.
 - INSTALLATION TO MEET COMPLIANCE WITH IRC R-315 REQUIREMENTS FOR INSTALLATION OF CARBON MONOXIDE DETECTORS.
 - INSTALLATION TO MEET COMPLIANCE WITH NYS RESIDENTIAL CODE R603.8.3.2 REQUIREMENTS FOR HIGH WIND CONNECTIONS FOR ROOF FRAMING SYSTEM.
 - GENERAL CONTRACTOR TO PROVIDE PROTECTION OF ADJOINING PROPERTIES PER B3307.1 OF THE BUILDING CODE OF THE STATE OF NEW YORK.
 - MINIMUM 3000 PSI CONCRETE COMPRESSIVE STRENGTH TO BE USED FOR EXPOSED EXTERIOR SURFACES FOR COMPLIANCE WITH TABLE R402.2 FOR SEVERE WEATHERING EXPOSURE.
 - MINIMUM 3500 PSI CONCRETE COMPRESSIVE STRENGTH TO BE USED FOR HORIZONTAL SURFACES EXPOSED TO THE WEATHER INCLUDING PORCHES, STEPS, WALKS, AND GARAGE FLOOR SLABS FOR COMPLIANCE WITH TABLE R402.2 FOR SEVERE WEATHERING EXPOSURE.

CLIMATE & GEOGRAPHIC DESIGN CRITERIA
DESIGN REQUIREMENTS FOR THE 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK
TOWN OF NORTH CASTLE
CLIMATE AND GEOGRAPHIC DESIGN CRITERIA (PER TABLE R301.2(1))

GROUND SNOW LOAD	WIND SPEED	TOPO-GRAPHIC EFFECTS	SPECIAL WIND BONE DESIGN REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEG.	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP (F)	ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP (F)	
						WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE DECAY						
30 PSF	115-120	NO	YES	I	C	SEVERE	42"	MODERATE / HEAVY	SUGHT / MODERATE	0°-10° F	YES	NO	1500 OR LESS	52.2° F

- SITE SOIL CLASS D IS ASSUMED, WITHOUT A SOILS REPORT. WHERE A SOILS CLASS OTHER THAN D IS DETERMINED BY A SOILS REPORT, THE SEISMIC DESIGN CATEGORY SHALL BE DETERMINED IN ACCORDANCE WITH THE STATE OF NEW YORK BUILDING CODE.
- FLOOD HAZARD AREAS SHALL BE DESIGNED AND REGULATED BY THE ADOPTED REGULATIONS OF THE APPROPRIATE CITY AND STATE AGENCY HAVING FLOOD MANAGEMENT JURISDICTION.
- ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 1500 PSF WITHOUT A SOILS INVESTIGATION REPORT.
- WIND EXPOSURE B (A SPECIFIC SITE MAY BE LOCATED ON 'OPEN TERRAIN' AND MAY NEED TO BE DESIGNED FOR EXPOSURE C).
- SEISMIC DESIGN CATEGORY C FOR SOILS CLASS D.

ALLOWABLE SOIL-BEARING (PSF)	WIND EXPOSURE	3 SEC. GUST (MPH)	FASTEST (MPH)	CATEGORY	SEISMIC DESIGN		HEATING DEGREE DAYS	COOLING DEGREE DAYS
					SHORT PERIOD SPECTRAL RESPONSE (S, IN, %g)	SHORT PERIOD DESIGN SPECTRAL RESPONSE (S, IN, %g)		
1500 (3)	B (3)	100	90	C (5)	0.241	0.257	5470	779

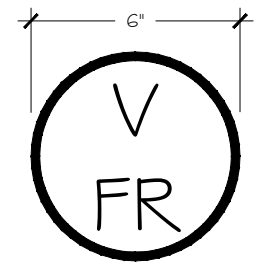
INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT
TABLE N1102.1.2 (402.1.2)

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
4A	0.35	0.55	0.40	49	20 OR 13+5h	8/13	19	10/13c	10, 2FT	10/13c

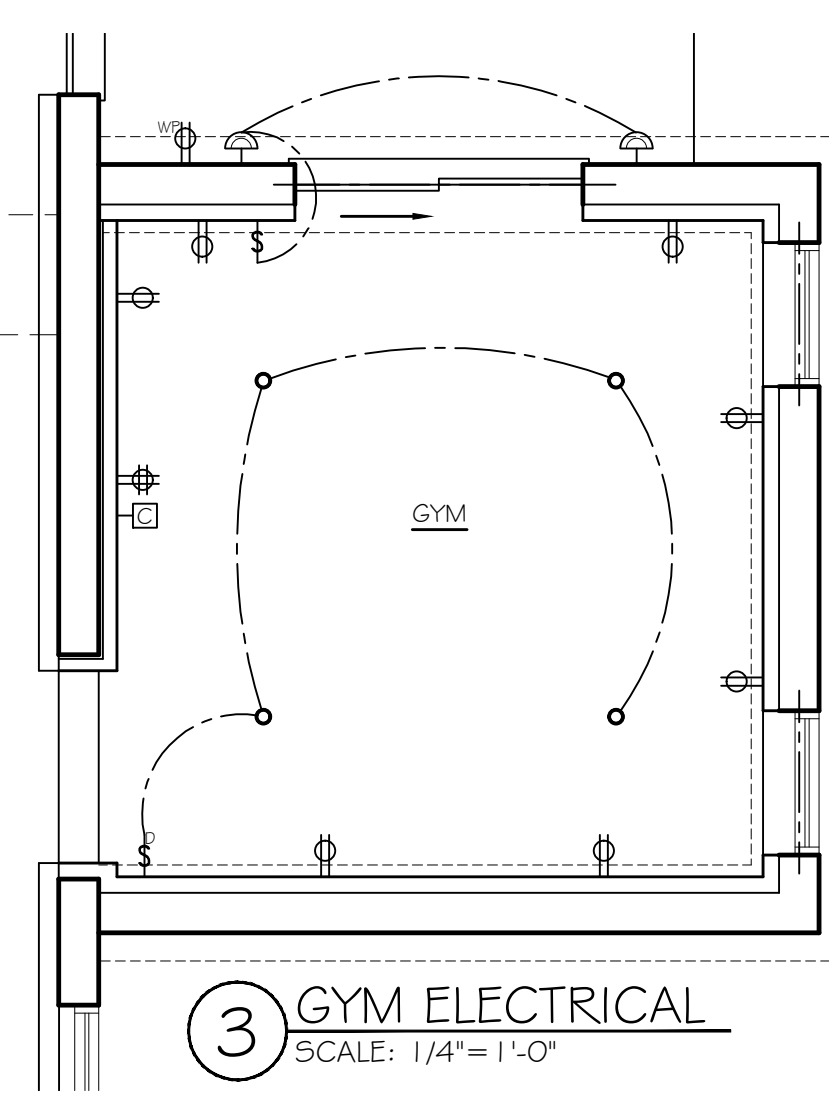
- R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DEIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
- THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION, EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.
- "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN CLIMATE ZONES 1 THROUGH 3 FOR HEATED SLABS.
- THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.
- BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301.1 AND TABLE 301.1.
- OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.
- THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

ELECTRICAL LEGEND

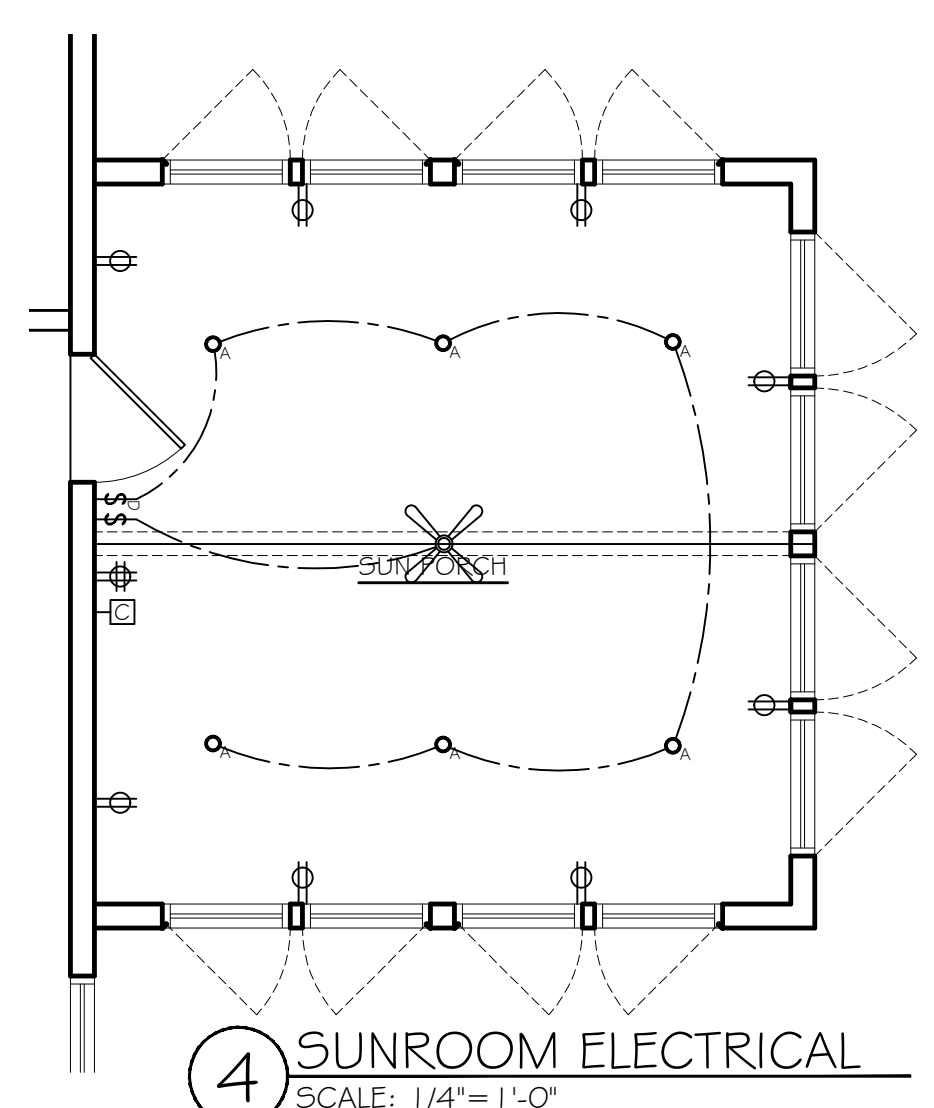
- Ⓢ DUPLEX RECEPTACLE (GFI OR WP [WATERPROOF], AS NOTED)
- Ⓢ WALL MOUNTED SCONCE, FBO
- Ⓢ RECESSED LED DOWNLIGHT, JUNO 4" (3000K)
- Ⓢ QUADRAPLEX RECEPTACLE
- Ⓢ DIMMER SWITCH (3 POLE, AS NOTED), SLIDE TYPE WITH PRESET SWITCH
- Ⓢ FAN W/ LIGHT
- Ⓢ TELEVISION CABLE JACK



ENGINEERED LUMBER SIGNAGE TO BE POSTED BY ELECTRICAL METER PER PART 1265 NYSRC TO INDICATE TRUSS TYPE CONSTRUCTION IN FLOOR AND ROOF FRAMING. SEE PLAN FOR PLACEMENT.



3 GYM ELECTRICAL
SCALE: 1/4"=1'-0"



4 SUNROOM ELECTRICAL
SCALE: 1/4"=1'-0"

MARY FAITHORN SCOTT
ARCHITECT
33 FAIRWAYS DRIVE
MOUNT KISCO, NY 10549
PHONE: 914-241-6262



FURIE RESIDENCE
45 ROUND HOUSE ROAD
BEDFORD, NY

BASEMENT FLOOR PLAN
FIRST FLOOR PLAN

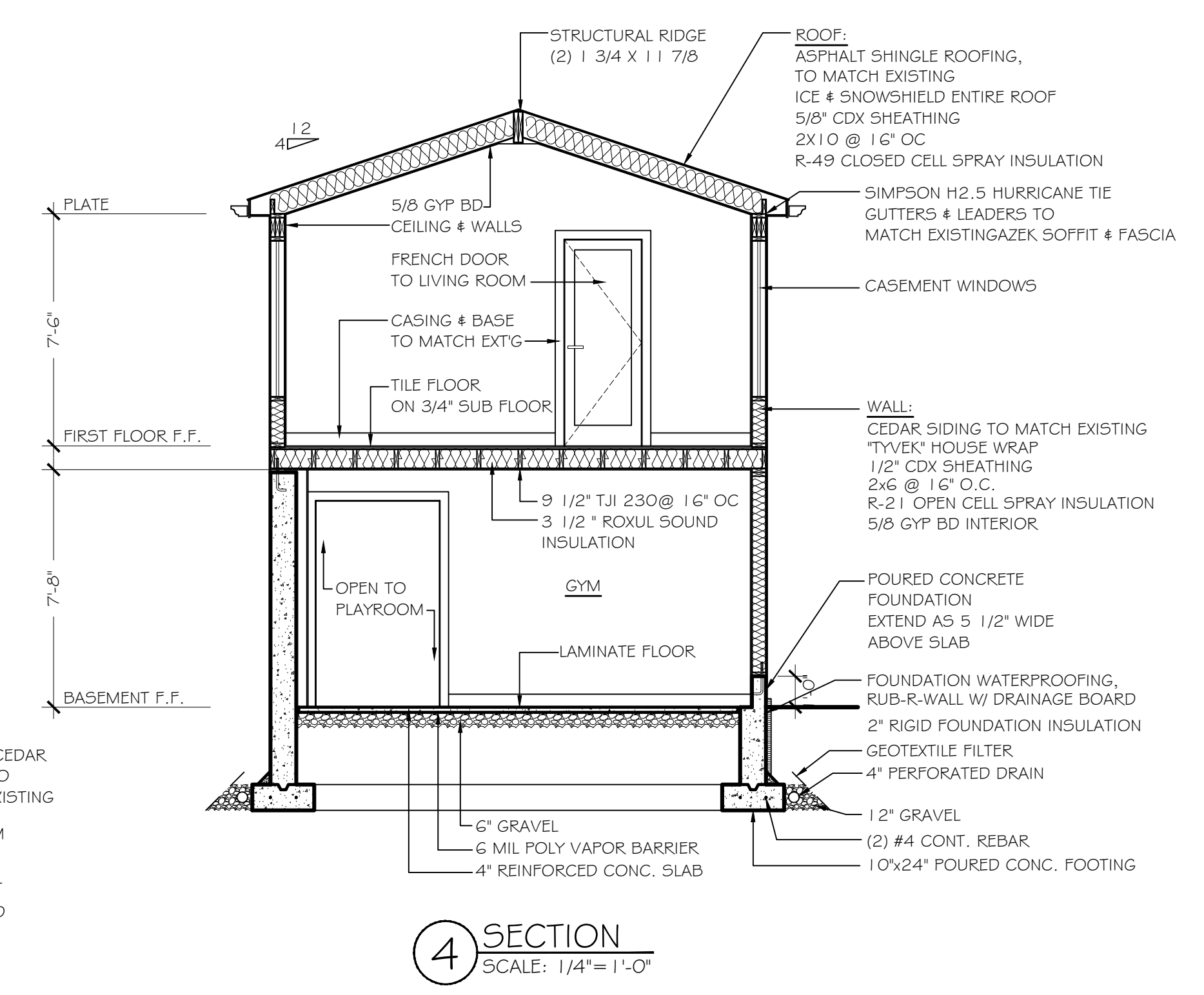
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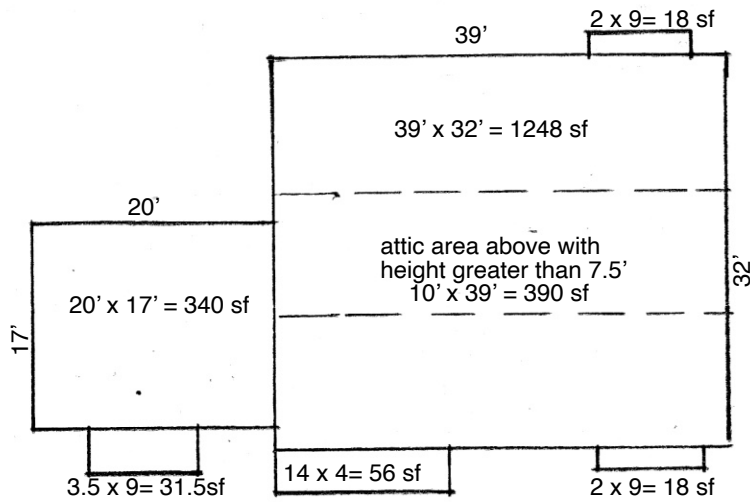
A1
FURIE



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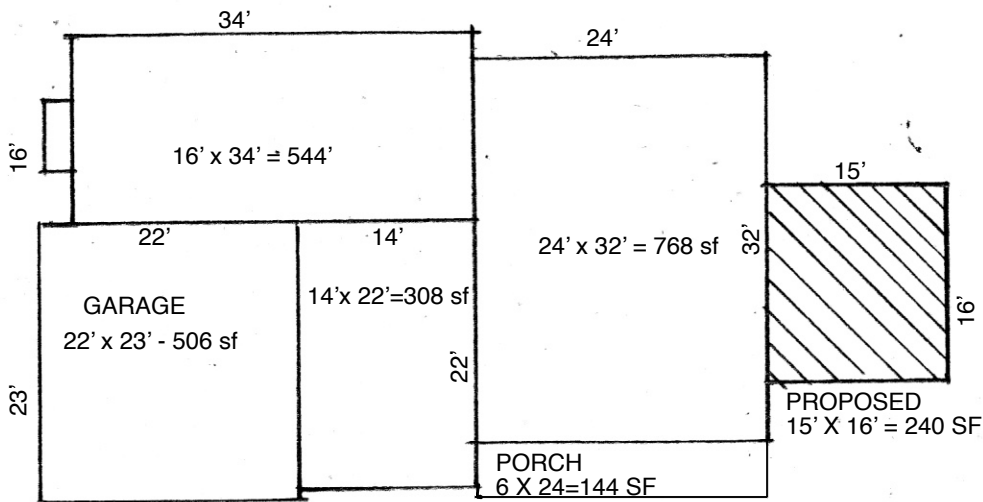
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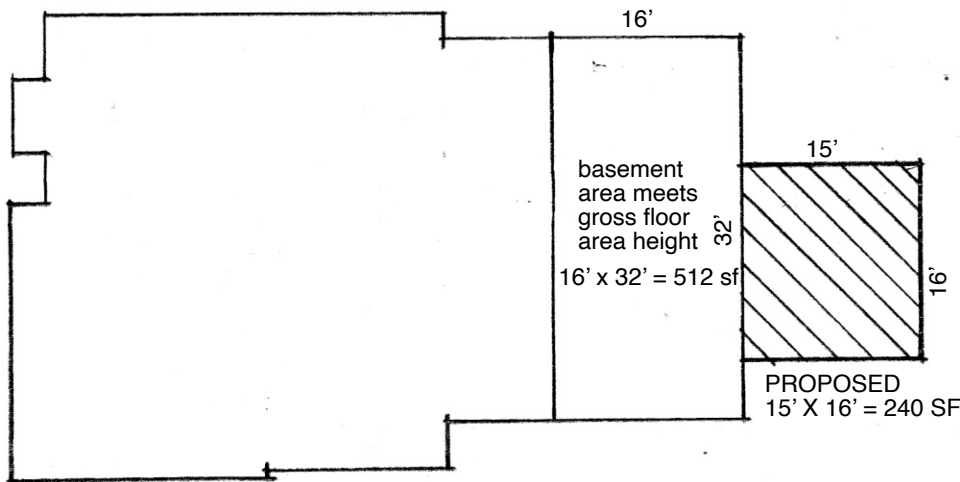
SECOND FLOOR PLAN

ATTIC = 390 SF
 2ND FLOOR = 1711.5 SF



FIRST FLOOR PLAN

FIRST FLOOR
 EXISTING = 1620 SF
 PROPOSED = 240 SF
 TOTAL = 1860 SF
 PORCH = 144 SF
 GARAGE = 506 SF



BASEMENT PLAN

BASEMENT
 EXISTING = 512 SF
 PROPOSED = 240 SF
 TOTAL = 752 SF
 SUMMARY:
 ATTIC = 390 SF
 2ND FLR = 1711.5 SF
 1ST FLR = 1860 SF
 PORCH = 144 SF
 GARAGE = 506 SF
 BASEMENT = 752 SF
 TOTAL = 5363.5 SF

FURIE
 RESIDENCE
 45 Round
 House Road