



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



RPRC

Adam R. Kaufman, Chairman

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WESTCHESTER COUNTY
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Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

**RESIDENTIAL PROJECT REVIEW COMMITTEE
RPRC 2021**

MEETING DATES - 9:30 .a.m.

January 5
January 19
February 2
February 16

March 2
March 16
April 6
April 20

May 4
May 18
June 1
June 15

July 6
July 20
August 3
August 17

September 7
September 21
October 5
October 19

November 2
November 16
December 7
December 21

**1 PDF ELECTRONIC SUBMISSION
DEADLINE By 12:00 p.m.**

December 15, 2020
January 5, 2021
January 19
February 2

February 16
March 2
March 16
April 6

April 20
May 4
May 18
June 1

June 15
July 6
July 20
August 3

August 17
September 7
September 21
October 5

October 19
November 2
November 16
December 7

Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

Please do not submit hard copy of submission

ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



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RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT ADDRESS: 53 HIGH STREET

Section III- DESCRIPTION OF WORK:

2ND STORY ADDITION (MASTER BEDROOM) OVER GARAGE. NO EXCAVATION, NO ADDED IMPERVIOUS SURFACE

Section III- CONTACT INFORMATION:

APPLICANT: SID SCHLOMANN, ARCHITECT

ADDRESS: 3 PETERSVILLE ROAD, MOUNT KISCO, NY 10549

PHONE: 914-673-2309 MOBILE: _____ EMAIL: sidesign@yahoo.com

PROPERTY OWNER: DANIEL & EUGENIA SADLER

ADDRESS: 53 HIGH STREET, ARMONK, NY 10504

PHONE: 914-420-5309 MOBILE: _____ EMAIL: daniel.sadler@groundsguys.com

PROFESSIONAL.: SID SCHLOMANN, AIA

ADDRESS: 3 PETERSVILLE ROAD MOUNT KISCO, NY 10549

PHONE: 914-673-2309 MOBILE: _____

EMAIL: sidesign@yahoo.com

Section IV- PROPERTY INFORMATION:

Zone: R 1A Tax ID (lot designation) 101.03-1-6



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: SADLER RESIDENCE

Initial Submittal Revised Preliminary

Street Location: 53 HIGH STREET

Zoning District: R1A Property Acreage: 1.03 Tax Map Parcel ID: 101.03-1-6

Date: 9-18-22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: SADLER RESIDENCE Date: 9-18-22

Tax Map Designation or Proposed Lot No.: 101.03-1-6

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>44,990</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>7812</u>
3.	Amount of floor area contained within first floor: - <u>1393</u> existing + <u>0</u> proposed =	<u>1393</u>
4.	Amount of floor area contained within second floor: - <u>1191</u> existing + <u>737</u> proposed =	<u>1928</u>
5.	Amount of floor area contained within garage: - <u>453</u> existing + <u>0</u> proposed =	<u>453</u>
6.	Amount of floor area contained within porches capable of being enclosed: - <u>185</u> existing + <u>0</u> proposed =	<u>185</u>
7.	Amount of floor area contained within basement (if applicable – see definition): - <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
8.	Amount of floor area contained within attic (if applicable – see definition): - <u>510</u> existing + <u>120</u> proposed =	<u>630</u>
9.	Amount of floor area contained within all accessory buildings: - <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
10. Pro	posed floor area : Total of Lines 3 – 9 =	<u>4589</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



9.20.22
Date



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WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

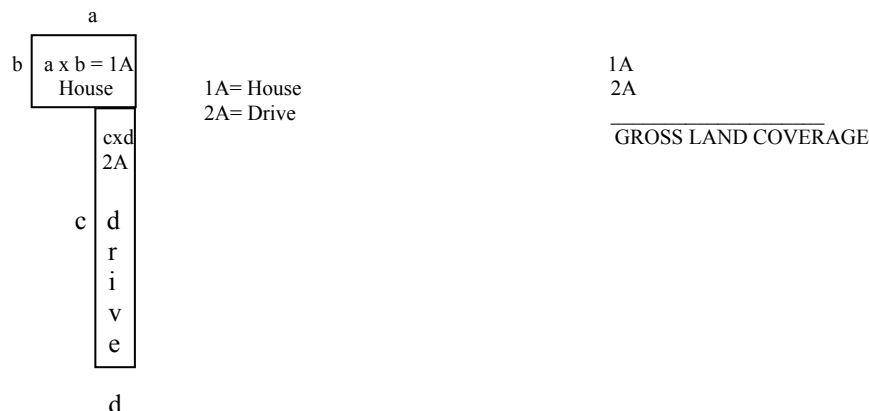
PLANNING DEPARTMENT
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Director of Planning

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GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

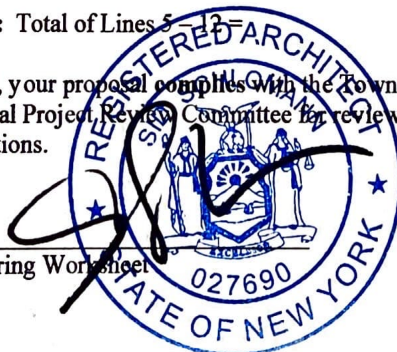
Application Name or Identifying Title: SADLER RESIDENCE Date: _____

Tax Map Designation or Proposed Lot No.: 101.03-1-6

Gross Lot Coverage

- | | | |
|-----|---|---------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>44.990</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>9486</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>15</u> x 10 = <u>150</u> | |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>9636</u> |
| 5. | Amount of lot area covered by principal building :
<u>2045</u> existing + <u>0</u> proposed = | <u>2045</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>574</u> existing + <u>0</u> proposed = | <u>574</u> |
| 7. | Amount of lot area covered by decks :
<u>715</u> existing + <u>0</u> proposed = | <u>715</u> |
| 8. | Amount of lot area covered by porches :
<u>185</u> existing + <u>0</u> proposed = | <u>185</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>2674</u> existing + <u>0</u> proposed = | <u>2674</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5-12 | <u>6193</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.



Signature and Seal of Professional Preparing Worksheet

9.20.22
Date



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WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

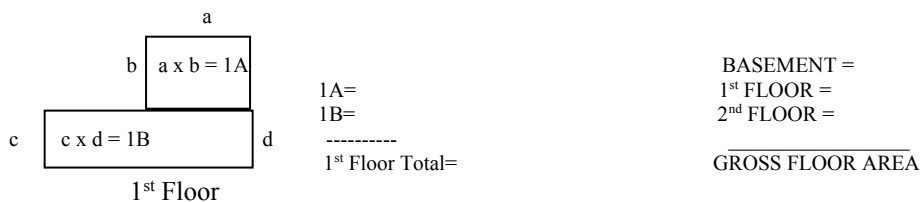
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

53 HIGH ST. ID: 101.03-1-6 (North Castle)

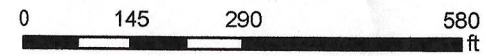


Westchester County GIS, Westchester County Local Municipalities

May 19, 2020

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:3,000



Westchester County GIS

GIS
GEOGRAPHIC INFORMATION SYSTEMS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

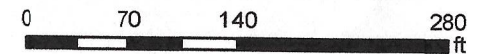
53 HIGH ST. ID: 101.03-1-6 (North Castle)



May 19, 2020

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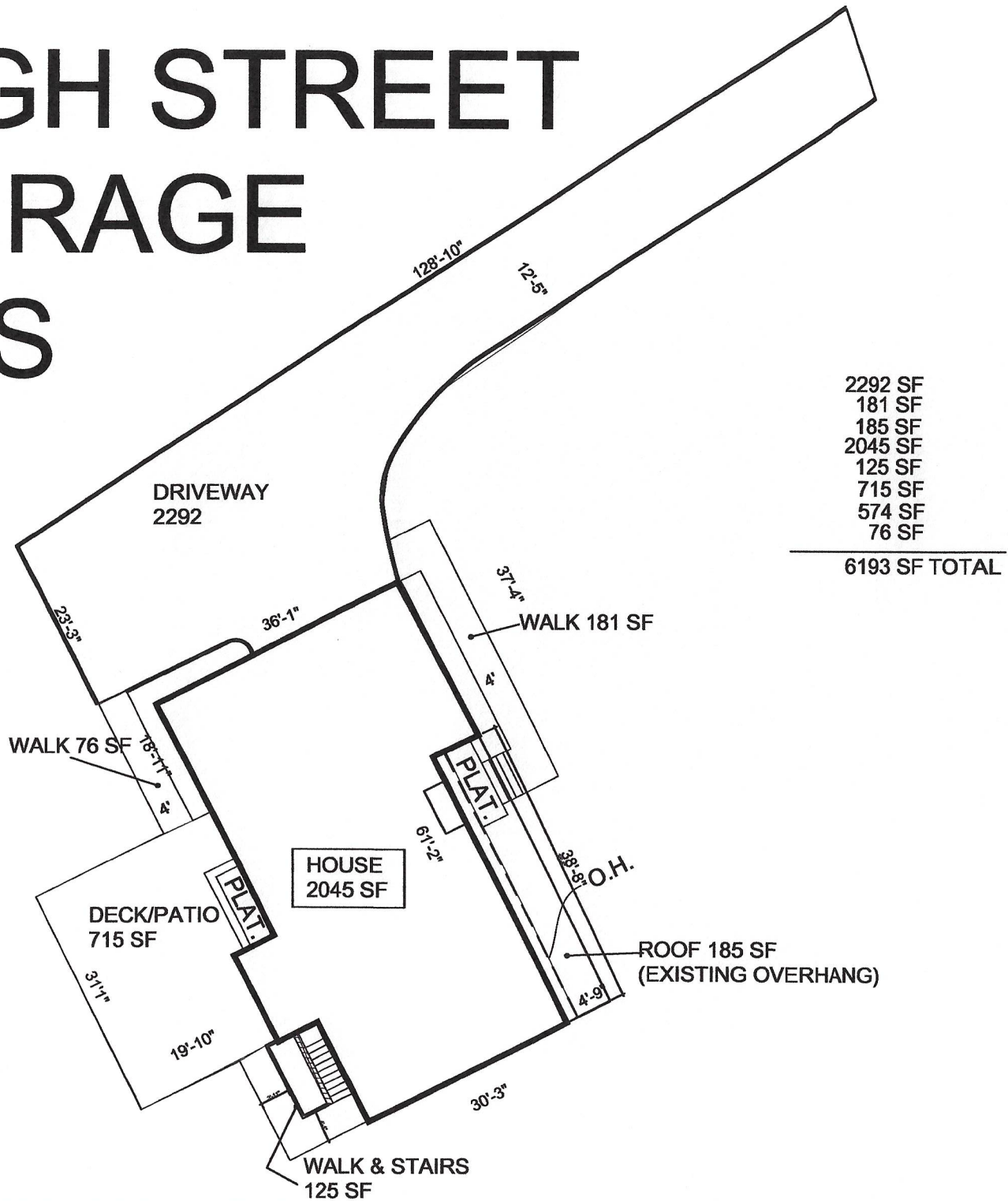
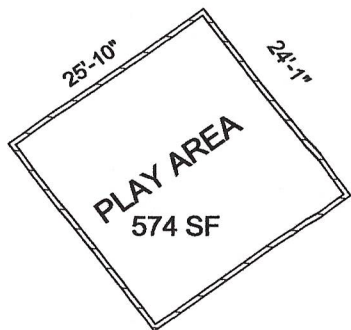
1:1,500



Westchester County GIS

GIS
<http://giswww.westchestergov.com>
 Michaelian Office Building
 148 Martine Avenue Rm 214
 White Plains, New York 10601

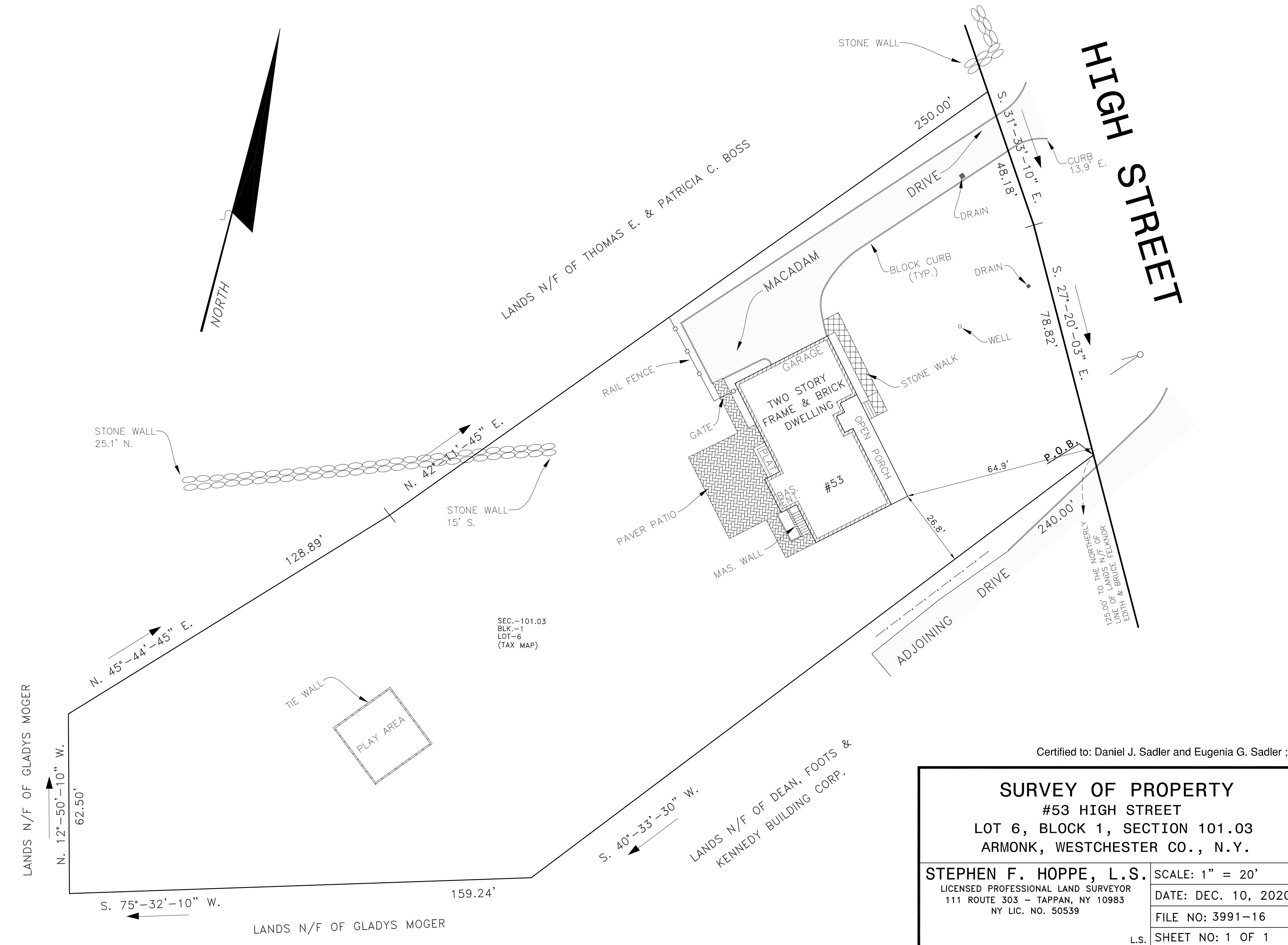
53 HIGH STREET COVERAGES CALCS



2292 SF
181 SF
185 SF
2045 SF
125 SF
715 SF
574 SF
76 SF
<hr/>
6193 SF TOTAL

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

NOTE: DUE TO LACK OF MONUMENTATION FOUND OPINIONS BETWEEN SURVEYORS MAY BE EXPECTED. A MEAN AVERAGE OF POSSESSION FOUND WAS USED TO ESTABLISH THE BOUNDS.



Certified to: Daniel J. Sadler and Eugenia G. Sadler ;

SURVEY OF PROPERTY	
#53 HIGH STREET	
LOT 6, BLOCK 1, SECTION 101.03	
ARMONK, WESTCHESTER CO., N.Y.	
STEPHEN F. HOPPE, L.S.	SCALE: 1" = 20'
LICENSED PROFESSIONAL LAND SURVEYOR 111 ROUTE 303 - TAPPAN, NY 10983 NY LIC. NO. 50539	DATE: DEC. 10, 2020
	FILE NO: 3991-16
L.S.	SHEET NO: 1 OF 1



SADLER RESIDENCE

2ND STORY ADDITION
53 HIGH STREET
ARMONK, NY 10504



OCTOBER 6, 2022 FOR RPRC



GENERAL CONDITIONS GENERAL SPECIFICATIONS

- ALL DESIGN, FABRICATION AND CONSTRUCTION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
NEW YORK STATE RESIDENTIAL CODE 2020
NEW YORK STATE ENERGY CONSERVATION CODE 2020
NY STRETCH CODE 2022
WHERE CONFLICTS ARISE, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK WITH ALL TRADES SO THAT NO CONFLICT OR DEFICIENCY RESULTS IN WORK.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION OBSERVATION AND ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR OWNER SHALL OBTAIN, PRESENT EVIDENCE OF, AND PAY FOR ALL PERMITS NECESSARY TO CONDUCT THE WORK AND COMPLETE THIS CONTRACT. HE/SHE SHALL OBTAIN THE BUILDING PERMIT AND CERTIFICATE OF OCCUPANCY AND ALL REQUIRED APPROVALS. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE VARIOUS CIVIL AGENCIES HAVING JURISDICTION THEREOF. UPON COMPLETION OF THE WORK PROVIDED FOR IN THIS CONTRACT, AND BEFORE FINAL PAYMENT SHALL BE MADE, THE CONTRACTOR SHALL FURNISH THE OWNER WITH ANY NECESSARY CERTIFICATES OF APPROVAL ISSUED BY THESE VARIOUS AGENCIES.
- ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SUBJECT TO REVISION AS PER ACTUAL FIELD CONDITIONS, THE DISCRETION OF THE OWNER, AND AS DIRECTED AND/OR APPROVED BY THE ARCHITECT.
- THE CONTRACTOR SHALL SECURE CONSTRUCTION SITE IN ACCORDANCE WITH ALL APPLICABLE SAFETY STANDARDS.
THE CONTRACTOR SHALL CONDUCT ALL WORK TO PRECLUDE THE EFFECTS OF WEATHER ON COMPLETED WORK, OR WORK IN PROGRESS.
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND EXPENSE OF TEMPORARY ENCLOSURES WHERE NECESSARY.
- ITEMS SUSTAINING DAMAGE DURING THE CONSTRUCTION PERIOD SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER AND TO THE APPROVAL OF THE ARCHITECT, AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN SUCH A MANNER SO AS TO NOT IMPAIR THE STRUCTURAL INTEGRITY OR STABILITY OF ADJACENT STRUCTURES, EQUIPMENT, OR UTILITIES. SHOULD DAMAGE OCCUR AS A RESULT OF THE WORK, THE CONTRACTOR SHALL REPAIR OR REPLACE SAID DAMAGED ITEMS. THE CONTRACTOR SHALL BEAR ANY AND ALL COSTS ASSOCIATED WITH WORK DISCONTINUATION, MATERIALS TESTING, REPAIR AND ALL MISCELLANEOUS RELATED ITEMS.
- THE TERM "OWNER" SHALL REFER TO THE LEGAL OWNER OF THE PROPERTY AND PREMISES AND ITS AGENTS OR REPRESENTATIVES.
- THE CONTRACTOR'S AGREEMENT TO ENTER INTO THE WORK SHALL SUFFICE AS THE CONTRACTOR'S ACCEPTANCE OF THE TERMS SPECIFIED HEREIN, AND SHALL BE INCORPORATED INTO ANY AND ALL AGREEMENTS BETWEEN OWNER AND CONTRACTOR.
- THE CONTRACTOR SHALL DETERMINE AND/OR VERIFY THE ACTUAL LOCATION OF ANY AND ALL UTILITIES, ALL SUPPLY, WASTE AND HEATING PIPING AND RELATED ITEMS PRIOR TO COMMENCEMENT OF WORK. ALL COSTS INCURRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL, AT ALL TIMES, PROVIDE CONVENIENT ACCESS AND SAFE AND PROPER FACILITIES FOR THE INSPECTION OF ALL PARTS OF THE WORK.
- ANY MATERIALS OR WORKMANSHIP FOUND AT ANY TIME TO BE DEFECTIVE SHALL BE REMEDIATED AT ONCE, REGARDLESS OF PREVIOUS INSPECTIONS.
- ALL MATERIAL AND ITEMS INDICATED ON THE CONTRACT DRAWINGS, DIRECTED BY THE ARCHITECT AND AS PER SITE CONDITIONS DEMAND, SHALL BE DISPOSED OF PROPERLY IN APPROVED CONTAINER OUT OF THE PATH OF CONSTRUCTION AND AWAY FROM PUBLIC AND VEHICLE TRAFFIC, AND TO BE CARTED TO APPROVED LAND FILL SITE BY LICENSED CARTERS.
- ALL NEW WINDOWS AND SKYLIGHTS TO BE MANUFACTURED BY ANDERSEN CORP. OF BAYPORT, MN, OR EQUAL. ALL WINDOW TYPES AND SIZES SHALL BE AS INDICATED ON THE CONTRACT DRAWINGS. WINDOW GLAZING SHALL BE HIGH PERFORMANCE OR "E" TYPE GLAZING. FURNISH FIBERGLASS INSECT SCREENS WITH ALL NEW WINDOWS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS OF THE SITE PRIOR TO STARTING OF WORK AND HE SHALL FAMILIARIZE HIMSELF WITH THE INTENT OF THESE PLANS AND MAKE WORK AGREE WITH SAME.
- IF IN THE COURSE OF CONSTRUCTION, A CONDITION EXISTS WHICH DISAGREES WITH THAT AS INDICATED ON THESE PLANS, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ARCHITECT. SHOULD HE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE TO WORK, HE SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
- GRADING AROUND NEW CONSTRUCTION SHALL SLOPE AWAY FROM HOUSE AND BLEND INTO EXISTING.
- DRIVEWAY PAVING AND BASE IF REQUIRED IN THIS PROJECT SHALL BE AS PER LOCAL MUNICIPALITY PAVING REGULATIONS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS.

CONCRETE WORK

- ALL CONCRETE WORK SHALL COMPLY WITH THE SPECIFICATIONS AND THE FOLLOWING STANDARDS EXCEPT WHERE MORE STRINGENT REQUIREMENTS SHOWN OR SPECIFIED SHALL GOVERN:
ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" LATEST REVISION.
ACI 302 "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION" LATEST REVISION.
ACI 311 "RECOMMENDED PRACTICE FOR CONCRETE INSPECTION" LATEST REVISION.
ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" LATEST REVISION.
ACI 347 "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" LATEST REVISION.
ACI 304 "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE" LATEST REVISION.
CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE" LATEST REVISION.
ACI 305, 306 "MIXING AND PLACING OF CONCRETE DURING HOT AND COLD WEATHER" LATEST REVISION.
- CONCRETE SHALL BE AIR ENTRAINED HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- ALL WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A185, LATEST REVISION.
- ALL FOOTINGS AND GRADE BEAMS SHALL BEAR ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT IN ANY WAY TO ANY PROPOSED STRUCTURE. ACTUAL SOIL BEARING SETTLEMENT CHARACTERISTICS SHALL BE ASSESSED BY A QUALIFIED SOILS TEST LABORATORY AND GEOTECHNICAL ENGINEER. CONTRACTOR SHALL BEAR THE EXPENSE OF TESTING.
- BACKFILLING BELOW FOOTINGS IF REQUIRED, SHALL BE DONE WITH CONCRETE HAVING A 28 DAY COMPRESSIVE STRENGTH OF 2,500 PSI.
- ALL FOOTINGS SHALL HAVE A MINIMUM 3"-6" OF COVER.
- PROVIDE 15# FELT MEMBRANE DAMPPROOFING OVER TROWELLED-ON MASTIC ON ALL FOUNDATION WALLS BELOW GRADE.
- PROVIDE 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL CONCRETE SLABS.
- UPON BACKFILLING FOUNDATION, CHEMICALLY TREAT SOIL FOR TERMITE PROTECTION. IN ADDITION, PROVIDE TERMITE SHIELDS ON WOLMANIZED SILLS.

MASONRY WORK

- ALL MASONRY WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 531, LATEST REVISION, AND THE REQUIREMENTS OF THE "NATIONAL CONCRETE MASONRY ASSOCIATION."
- ALL CONCRETE MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C90, LATEST REVISION, FOR FULL LOAD BEARING MASONRY UNITS WITH MAXIMUM COMPRESSIVE STRENGTH.
- MORTAR TYPE SHALL BE SUITED FOR THE PARTICULAR ENVIRONMENT IN WHICH MASONRY IS LOCATED GIVING DUE REGARD FOR STRESS, THERMAL AND MOISTURE CONDITIONS.
- PREMOULDED AND KEVED VERTICAL EXPANSION JOINTS SHALL BE LOCATED AT 20 FOOT INTERVALS. SPECIAL SHAPED MASONRY UNITS CAPABLE OF TRANSMITTING SHEAR SHALL BE UTILIZED AT JOINT LOCATIONS.
- RUNNING BOND MASONRY COURSES ARE REQUIRED AT ALL LOCATIONS.
- ALL INTERIOR AND EXTERIOR MASONRY JOINTS SHALL BE TOOLED OR RODDED, NOT RAKED.
- TRUSSED GALVANIZED STEEL HORIZONTAL REINFORCING IS REQUIRED AT 16" MAXIMUM INTERVALS INCLUDING CORNERS, INTERSECTIONS AND PLASTERS. HORIZONTAL JOINT REINFORCING SHALL BE DUR-O-WALL OR EQUAL.
- IN ADDITION TO REINFORCING INDICATED, GRADE 60 #4 REINFORCING DOWELS ARE REQUIRED AT 48" O.C. INTERVALS EXTENDING UPWARD ONE FOURTH THE WALL HEIGHT OR 30" WHICHEVER IS GREATER, AND ENCASED IN GROUT FILLED CELLS. FULL HEIGHT #4 BARS ARE REQUIRED AT 96" INTERVALS WITH FULLY GROUTED CELLS. BARS SHALL BE EMBEDDED IN CONCRETE FOUNDATION SUFFICIENTLY TO DEVELOP ADEQUATE ANCHORAGE.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS HEREIN INDICATED AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING STANDARDS, WHERE CONFLICTS OCCUR, THE MORE STRINGENT STANDARD SHALL APPLY:
NEW YORK STATE BUILDING AND FIRE PREVENTION CODE.
ANSI MINIMUM DESIGN LOADS FOR BUILDINGS.
AISC SPECIFICATIONS FOR THE DESIGN AND FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND INCLUDING COMMENTARY AND SUPPLEMENTS THERETO ISSUED.
AISC "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS" APPROVED BY THE RESEARCH COUNCIL ON RIVETED AND BOLTED STRUCTURAL JOINTS OF THE ENGINEERING FOUNDATION.
ANSI/AWS D1.1 "STRUCTURAL WELDING CODE-STEEL", LATEST REVISION.
- ALL FRAMING MEMBERS SHALL BE SHOP FABRICATED FOR BOLTED FIELD ASSEMBLY. FIELD CUTTING OR DRILLING, WHEN REQUIRED, SHALL BE CLEARLY NOTED ON THE DRAWINGS. ALL FRAMING MEMBERS SHALL CARRY AN EASILY VISIBLE IDENTIFYING MARK, EITHER STAMPED, STENCILED OR PAINTED.
- ALL FIELD CONNECTIONS SHALL BE BOLTED. BOLTS SHALL BE MACHINE BOLTS CONFORMING TO ASTM SPECIFICATIONS A325 OR A490 AS SHOWN ON THE DRAWINGS. THE FAYING SURFACES OF ALL BOLTED CONNECTIONS SHALL BE SMOOTH AND FREE FROM BURRS OR DISTORTIONS. ALL BOLTS SHALL BE ELECTRO-ZINC PLATED.
- ALL PRIMARY STRUCTURAL FRAMING MEMBERS WHICH ARE NOT GALVANIZED SHALL BE CLEANED BY ROTARY ABRASIVE BLASTING TO A "COMMERCIAL BLAST" GRADE AS SPECIFIED BY THE STEEL STRUCTURES PAINTING COUNCIL SPECIFICATION SP-6-63. FOLLOWING CLEANING, ONE (1) SHOP COAT OF IRON-OXIDE ZINC CHROMATE PRIMER SHALL BE APPLIED AND SHALL BE "CHROMAX PRIMER" 13-R-50 AS MANUFACTURED BY MOBIL CHEMICAL CO. OR APPROVED EQUAL. GALVANIZED SURFACES SHALL RECEIVE ONE (1) COAT VINYL WASH PRIMER 13-Y-8 AS MANUFACTURED BY MOBIL CHEMICAL CO. OR APPROVED EQUAL.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36 (FY = 36 KSI)
- ALL SHOP CONNECTIONS SHALL BE WELDED OR BOLTED. BOLTS TO BE 3/4" AND ASTM A-325 AND MEET AISC SPECIFICATIONS, SECTION 1.16. WELDS TO BE ETOXX AND MEET AISC SPECIFICATIONS, SECTION 1.17. ALL SPECIFICATIONS TO BE LATEST REVISION.
- ALL WELDING SHALL BE DONE BY LICENSED WELDERS.
- ALL STEEL DETAILS SHALL BE DESIGNED TO CONFORM TO ARCHITECTURAL REQUIREMENTS.
- ALL STEEL FLITCH PLATES TO BE THROUGH BOLTED WITH 5/8" DIAMETER STEEL BOLTS AT 16" O.C. STAGGERED.

PLUMBING AND HEATING WORK

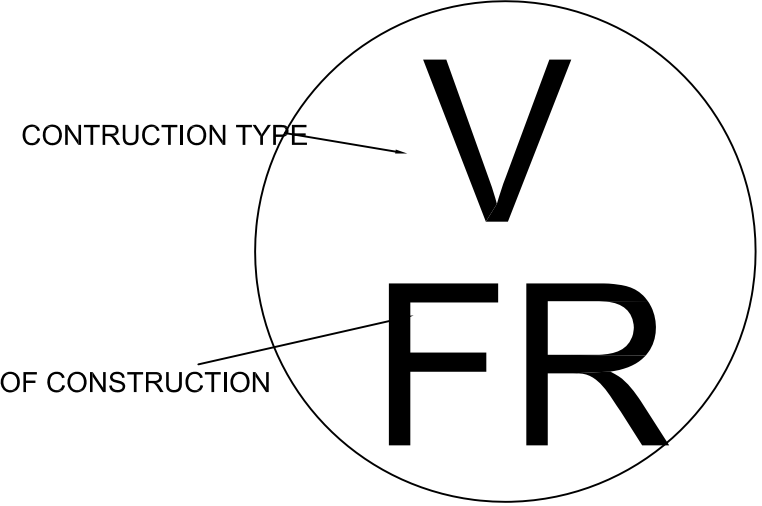
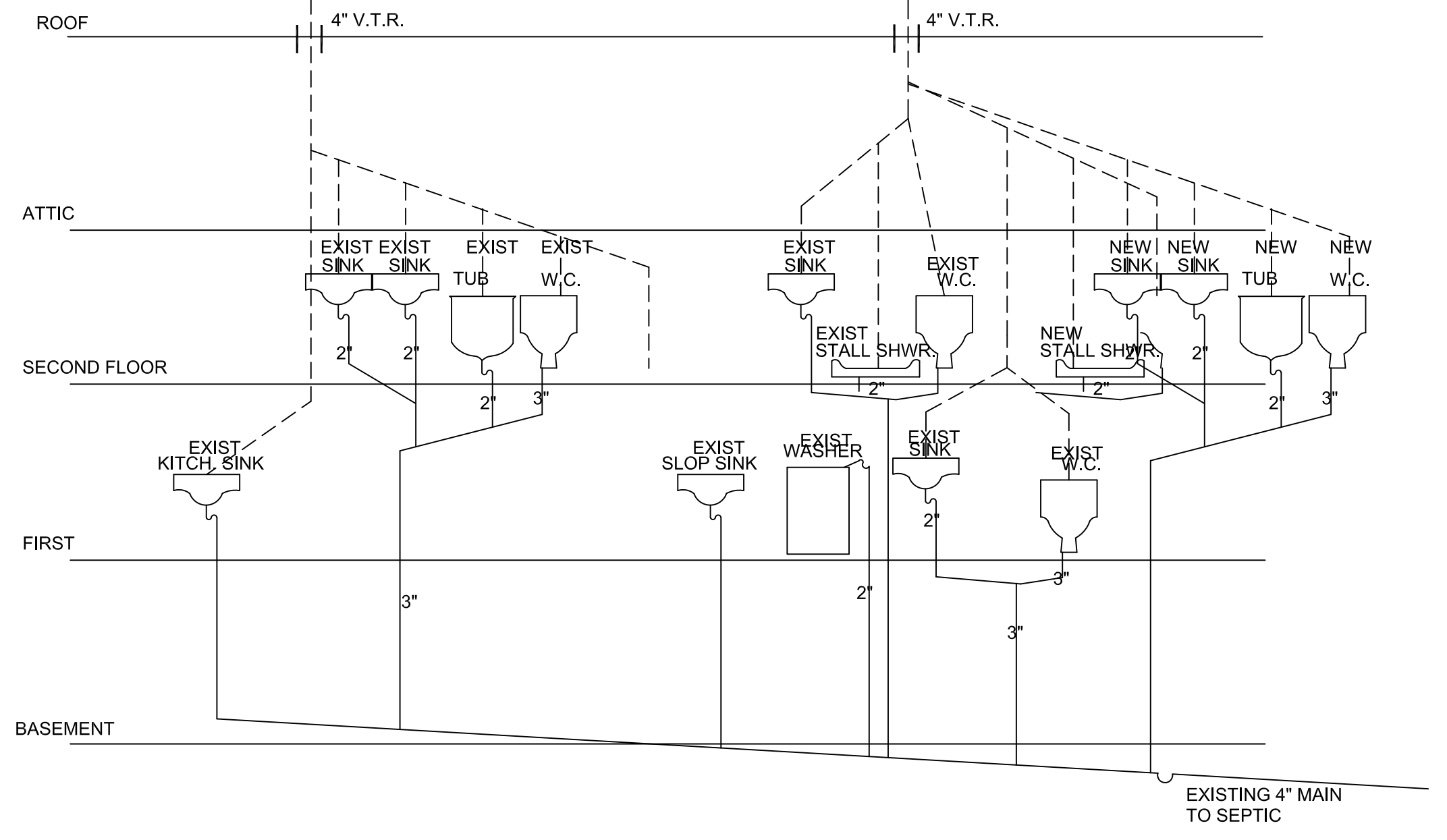
- PLUMBING - SANITARY, COLD AND HOT WATER, AND ALL OTHER PIPING SHALL CONFORM TO ALL LOCAL, COUNTY & TOWN REQUIREMENTS AND THE REQUIREMENTS OF THE STATE OF NEW YORK.
- THE USE OF LEAD SOLDER IN PIPING JOINTS IS STRICTLY PROHIBITED UNDER LAW.
- ALL HYDRONIC HEATING SUPPLY AND HOT WATER PIPES SHALL BE INSULATED.
- HEATING SYSTEM SHALL BE EITHER OIL OR GAS FIRED HYDRONIC BASEBOARD ENERGY CONSERVING TYPE SUITABLE FOR COMFORT HEATING IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- PLUMBING FIXTURES SHALL BE SELECTED BY THE OWNER.
- THE PLUMBING CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED FOR HIS WORK.

ELECTRICAL WORK

- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER CO. AND ALL APPLICABLE LOCAL REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY FEES REQUIRED FOR HIS WORK. THE CONTRACTOR SHALL HAVE THE INSTALLATION INSPECTED AND APPROVED BY AN INSPECTION AGENCY OF THE FIRE UNDERWRITERS ASSOCIATION AND SUBMIT A CERTIFICATE OF FINAL APPROVAL BY THE INSPECTION AGENCY UPON COMPLETION.
- SMOKE DETECTORS SHALL BE FURNISHED AND INSTALLED AS INDICATED ON DRAWINGS AND IN ACCORDANCE WITH APPLICABLE FIRE SAFETY AND ELECTRICAL CODES.
- ALL ELECTRICAL FIXTURES, SWITCHES AND ACCESSORIES SHALL BE SELECTED BY THE OWNER.

SCOPE OF WORK

2ND STORY ADDITION OVER GARAGE
NO EXCAVATION
NO ADDED IMPERVIOUS SURFACE
FULLY ZONING COMPLIANT
EXISTING (4) BEDROOMS, PROPOSED (4) BEDROOMS
LICENSED PLUMBER TO FILE
LICENSED ELECTRICIAN TO FILE



REQUIRED PLACARD TO BE PLACED ON EXTERIOR ELECTRIC BOX
SEE NY STATE REQUIREMENTS FOR STICKER SIZE AND COLOR

NY STRETCH CODE

TABLE 1102.1.2 RCNYS2020

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR WALL R-VALUE	BASEMENT WALL R-VALUE	SLAB SPACE R-VALUE & DEPTH	CRANE SPACE WALL R-VALUE
4	0.27	0.55	49	20 or 13+5	8/13	19	10/13	10.2FT	10/13

IRVINGTON CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SESMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	
			WEATHERING	FROST DEPTH LINE	TERMITE					DECAY
30PSF	90-100 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES	NO	576

SHEET NO.
A-100.00

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PROJECT NAME:
**SADLER RESIDENCE
2ND STORY ADDITION**

PROJECT ADDRESS:
**53 HIGH STREET
ARMONK, NY 10504**

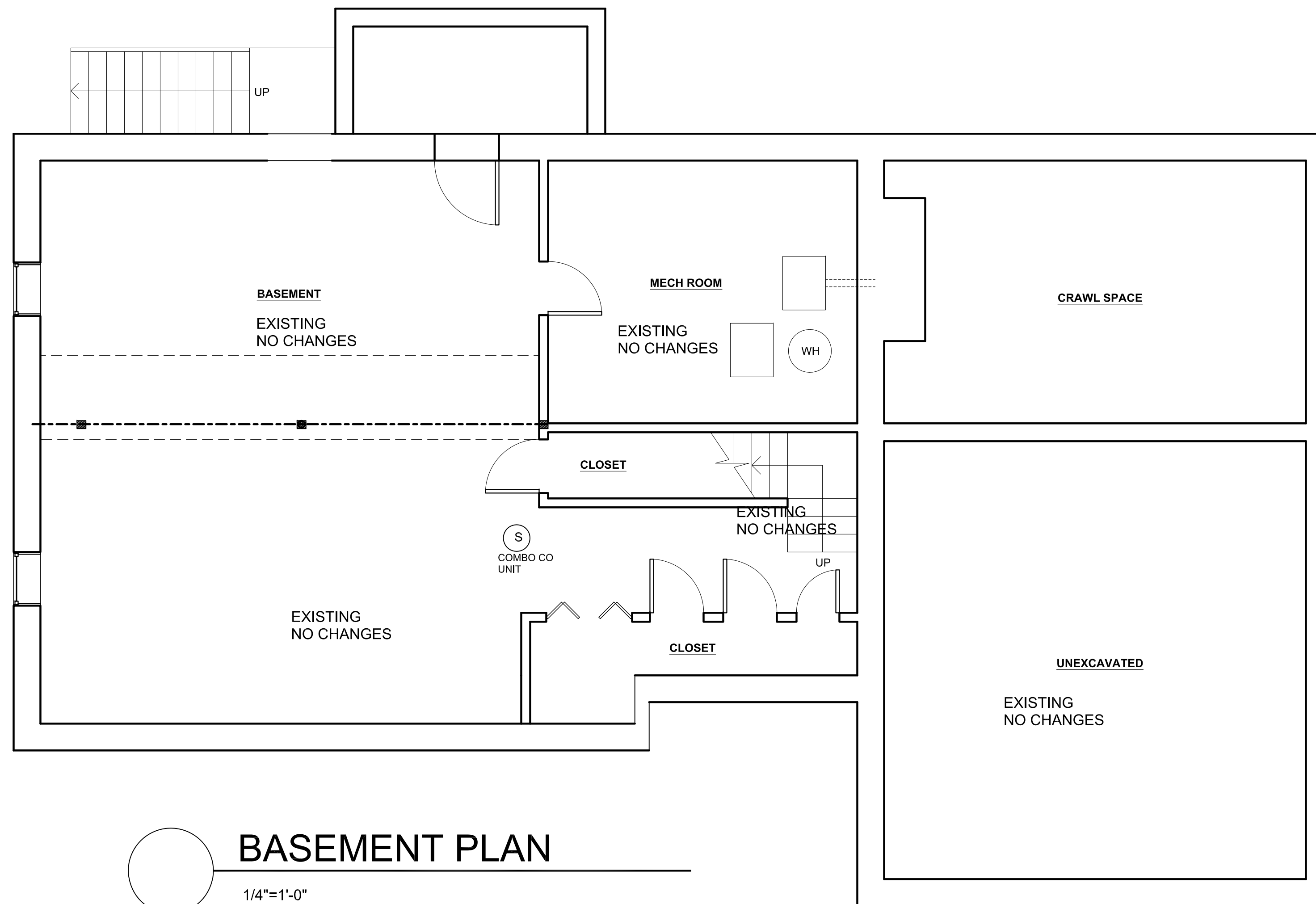
DWG TITLE:
PLUMBING RISER

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REGISTERED ARCHITECT
STATE OF NEW YORK

DATE: 9-18-2022

ARCHITECT'S SEAL



BASEMENT PLAN
1/4"=1'-0"

LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW CONSTRUCTION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN BY "PANASONIC" OR EQUAL
	LIGHT SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	DUPLEX RECEPTACLE @ 12" AFF U.N.O.
	GROUND FAULT CIRCUIT INTERRUPTER
	RECESSED HIGHAT FIXTURE
	PENDANT FIXTURE
	QUADRUPLEX RECEPTACLE
	CONCEALED WIRING
	CABLE TV JACK
	TELEPHONE JACK

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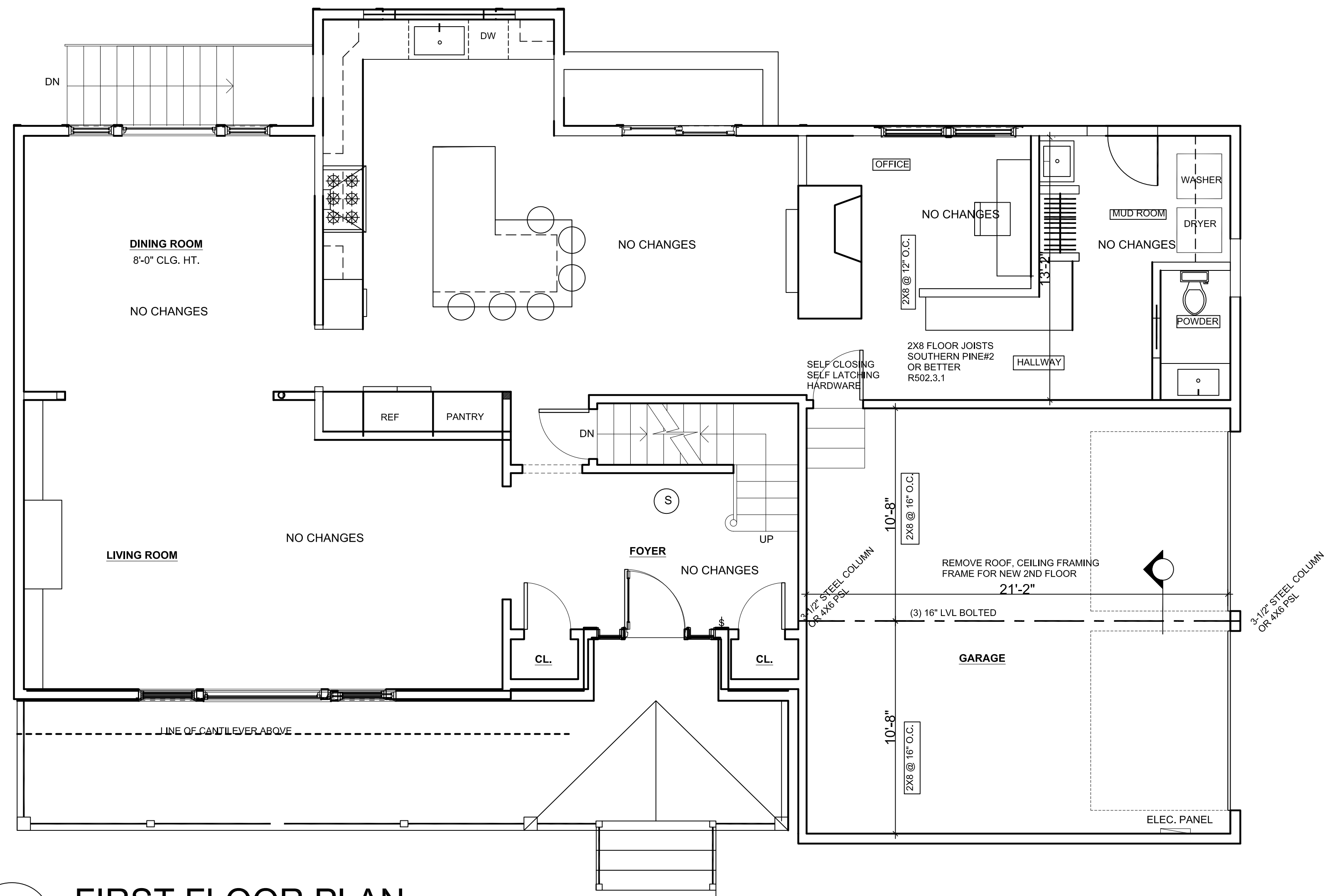
PROJECT NAME:
**SADLER RESIDENCE
2ND STORY ADDITION
53 HIGH STREET
ARMONK, NY 10504**

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ARCHITECT'S SEAL

DRAWN BY: SS
 CHECKED BY: SS
 SCALE: 1/4" = 1'-0"
 PROJECT No.: 2022-186
 DATE: 9-18-2022



FIRST FLOOR PLAN
1/4" = 1'-0"

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53 HIGH STREET
ARMONK, NY 10504

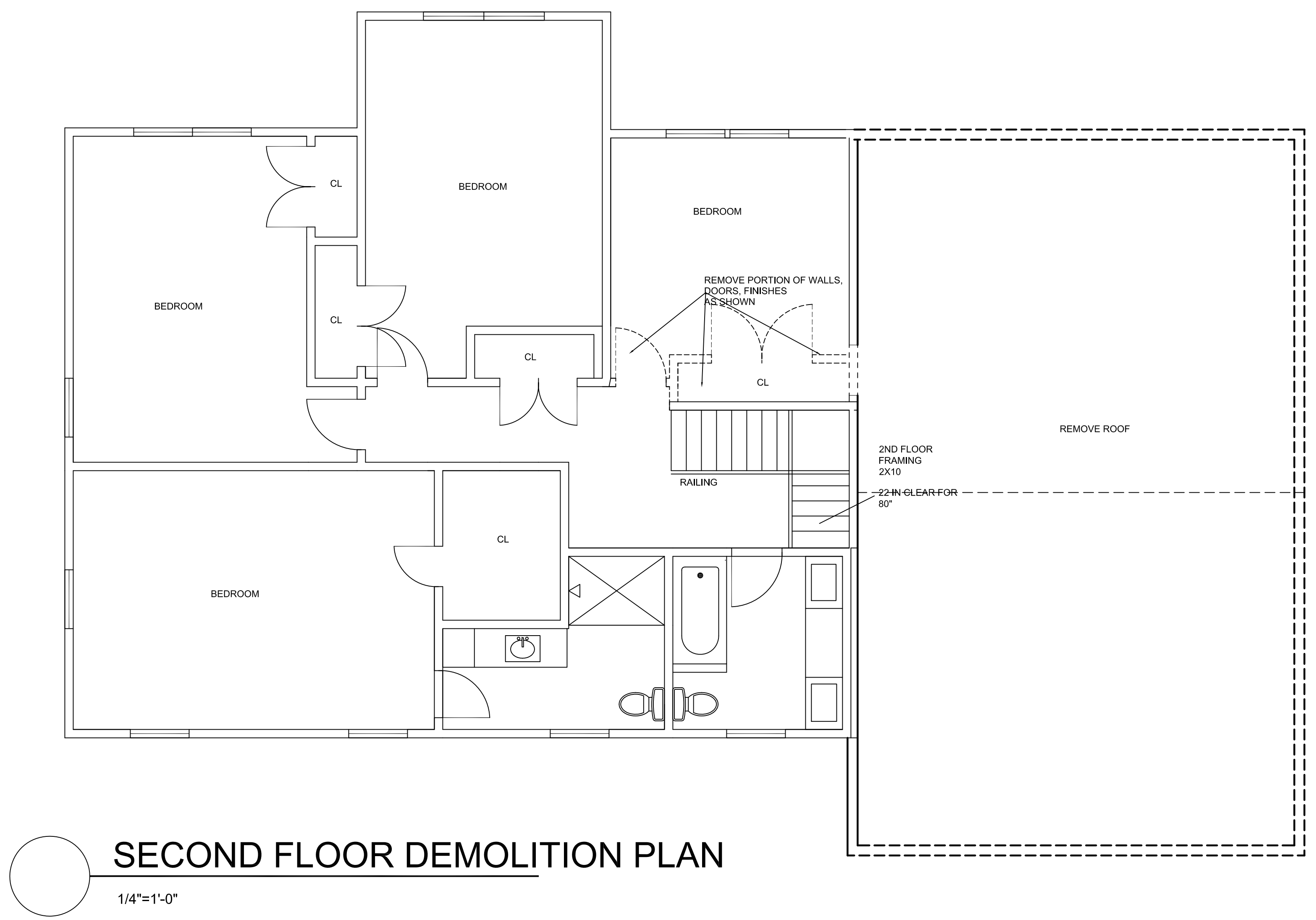
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SS
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SS
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2022-186
DATE:
9-18-2022

ARCHITECT'S SEAL



SECOND FLOOR DEMOLITION PLAN

1/4"=1'-0"

LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW CONSTRUCTION
SD	SMOKE DETECTOR
CO	CARBON MONOXIDE DETECTOR
EF	EXHAUST FAN BY "PANASONIC" OR EQUAL
⊖	LIGHT SWITCH
⊖ _D	DIMMER SWITCH
⊖ ₃	3-WAY SWITCH
⊖ ₂	DUPLEX RECEPTACLE @ 12" AFF U.N.O.
⊖ _{GFCI}	GROUND FAULT CIRCUIT INTERRUPTER
○	RECESSED HIGHAT FIXTURE
⊖	PENDANT FIXTURE
⊖ ₄	QUADRUPLEX RECEPTACLE
—	CONCEALED WIRING
⊝	CABLE TV JACK
△	TELEPHONE JACK

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**SADLER RESIDENCE
2ND STORY ADDITION
53 HIGH STREET
ARMONK, NY 10504**

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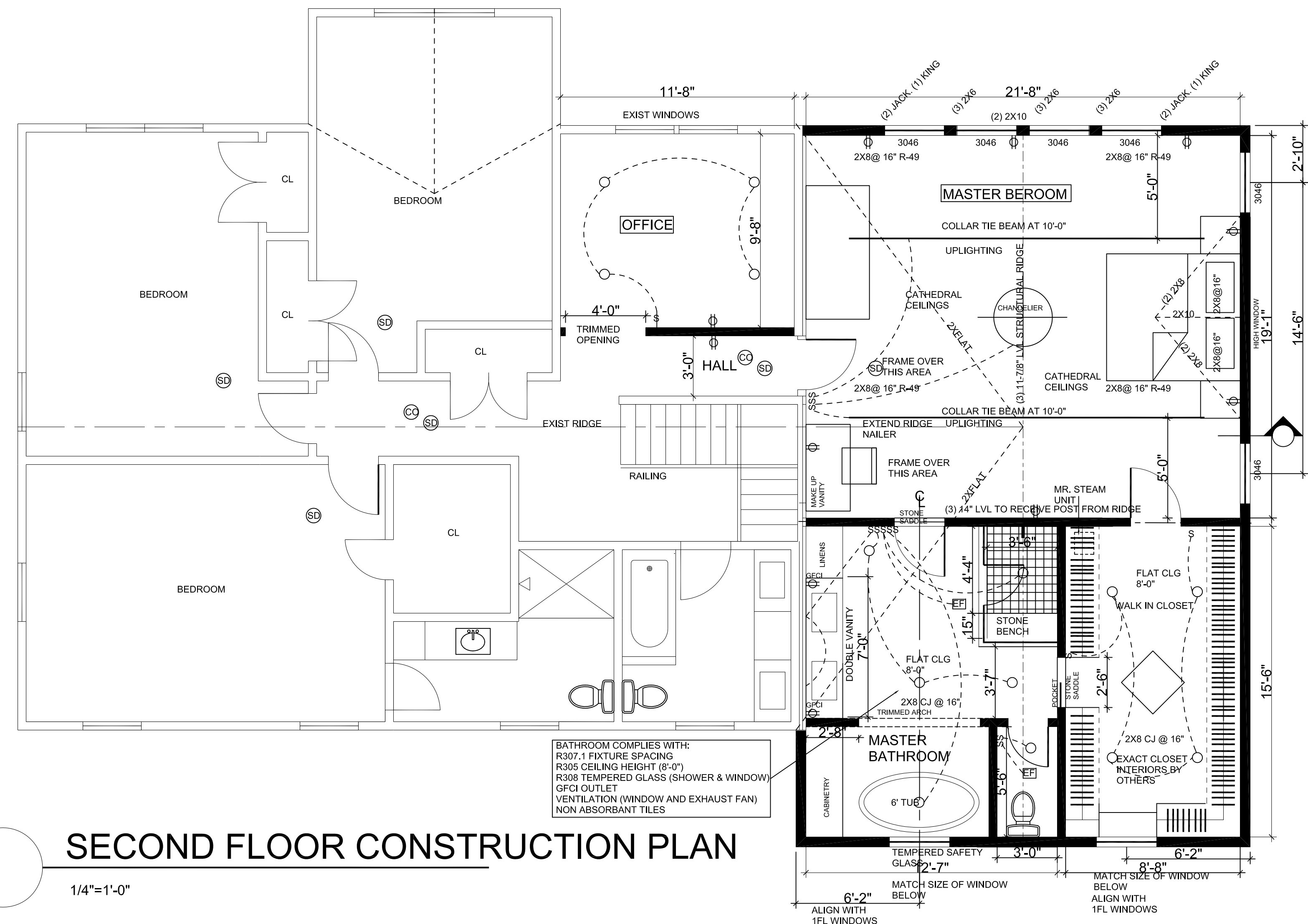
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PROJECT NO:
2022-186

DATE:
9-18-2022



ARCHITECT'S SEAL



LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NEW CONSTRUCTION
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN BY "PANASONIC" OR EQUAL
	LIGHT SWITCH
	DIMMER SWITCH
	3-WAY SWITCH
	DUPLEX RECEPTACLE @ 12" AFF U.N.O.
	GROUND FAULT CIRCUIT INTERRUPTER
	RECESSED HIGHAT FIXTURE
	PENDANT FIXTURE
	QUADRUPEX RECEPTACLE
	CONCEALED WIRING
	CABLE TV JACK
	TELEPHONE JACK

R303 MASTER BEDROOM
 390 SQUARE FEET
 NATURAL LIGHT: 66 SF OR 16.9% >8%
 VENTILATION: 33 SF OR 8.45% > 4%
 COMPLIES WITH R303
 NY STRETCH ENERGY CODE
 WINDOWS U-FACTOR .27 OR BETTER

SECOND FLOOR CONSTRUCTION PLAN
 1/4"=1'-0"

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PROJECT NAME:
SADLER RESIDENCE
2ND STORY ADDITION
53 HIGH STREET
ARMONK, NY 10504

DWG TITLE:

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DRAWN BY:
 SS

CHECKED BY:
 SS

SCALE:
 1/4" = 1'-0"

PROJECT NO:
 2022-186

DATE:
 9-18-2022

ARCHITECT'S SEAL



FRONT ELEVATION

1/4"=1'-0"



LEFT ELEVATION

1/4"=1'-0"

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A-601.00	

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PROJECT NAME: SADLER RESIDENCE 2ND STORY ADDITION	DWG. TITLE:
53 HIGH STREET ARMONK, NY 10504	

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	PROJECT No: 2022-186
ARCHITECT'S SEAL	
DATE: 9-18-2022	



REAR ELEVATION

1/4"=1'-0"



RIGHT ELEVATION

1/4"=1'-0"

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A-701.00

No.	DATE:	DESCRIPTION	REV.	BY:	DATE:	DESCRIPTION
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PROJECT NAME:
**SADLER RESIDENCE
2ND STORY ADDITION**

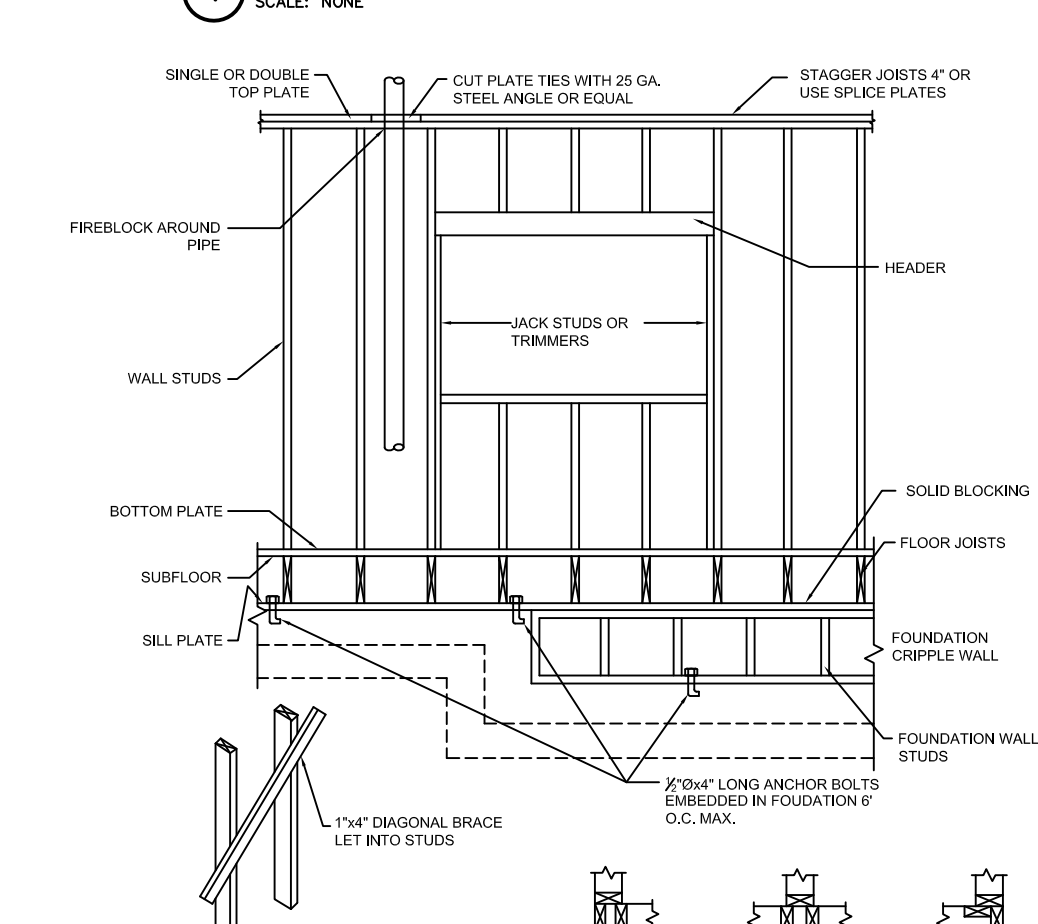
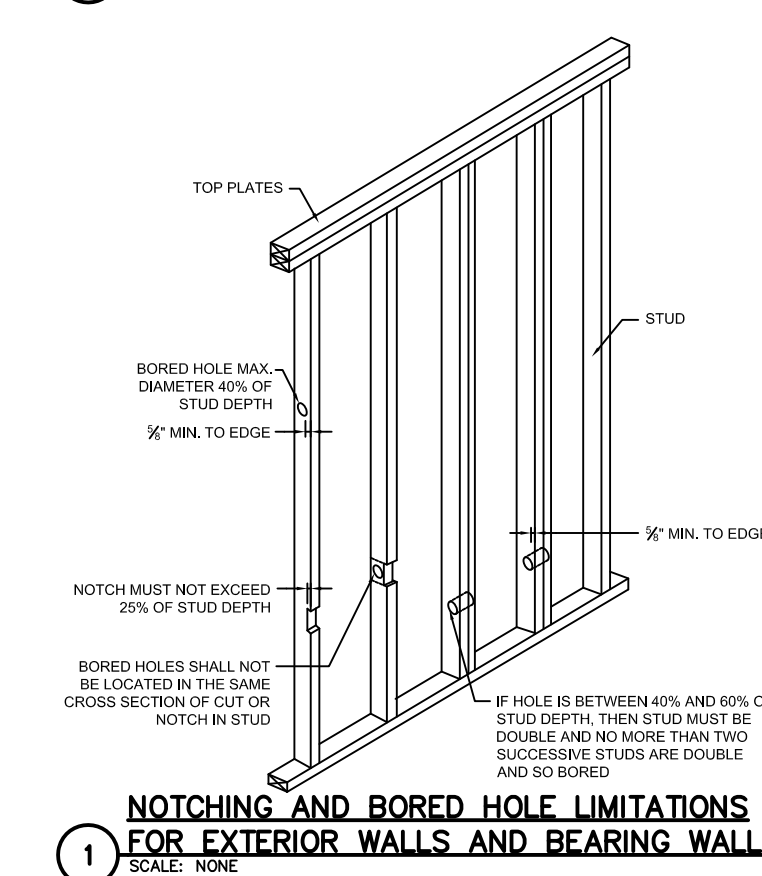
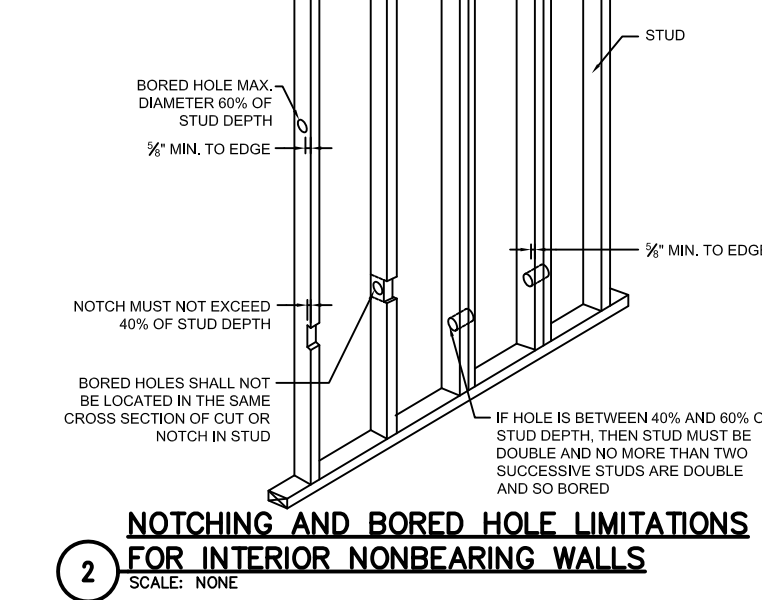
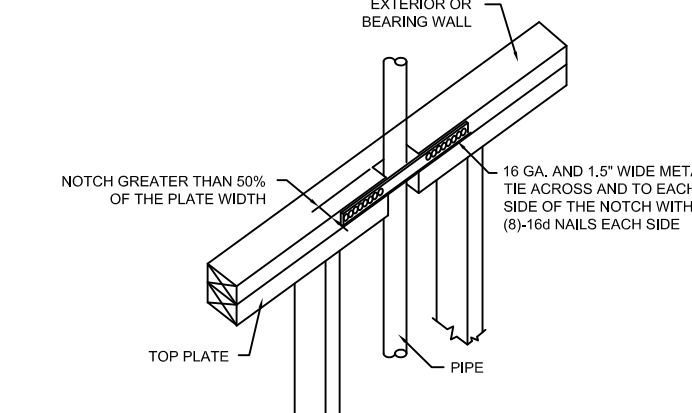
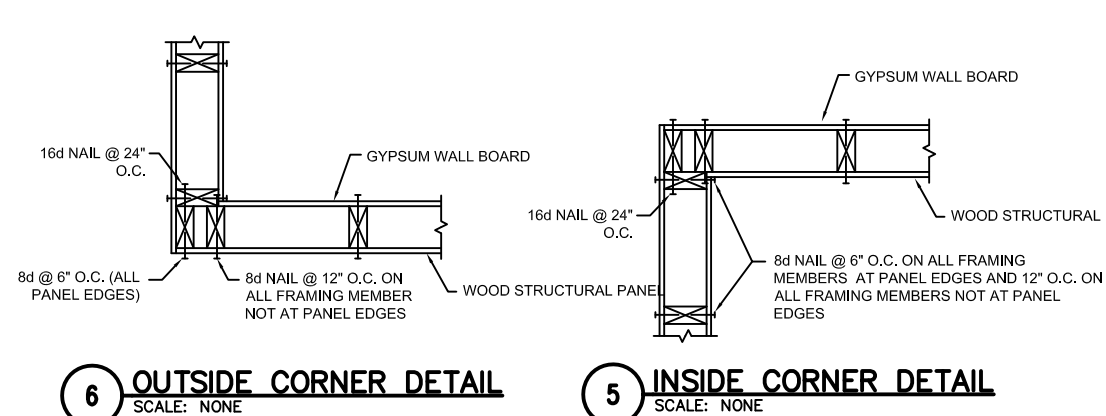
53 HIGH STREET
ARMONK, NY 10504

DWG. TITLE

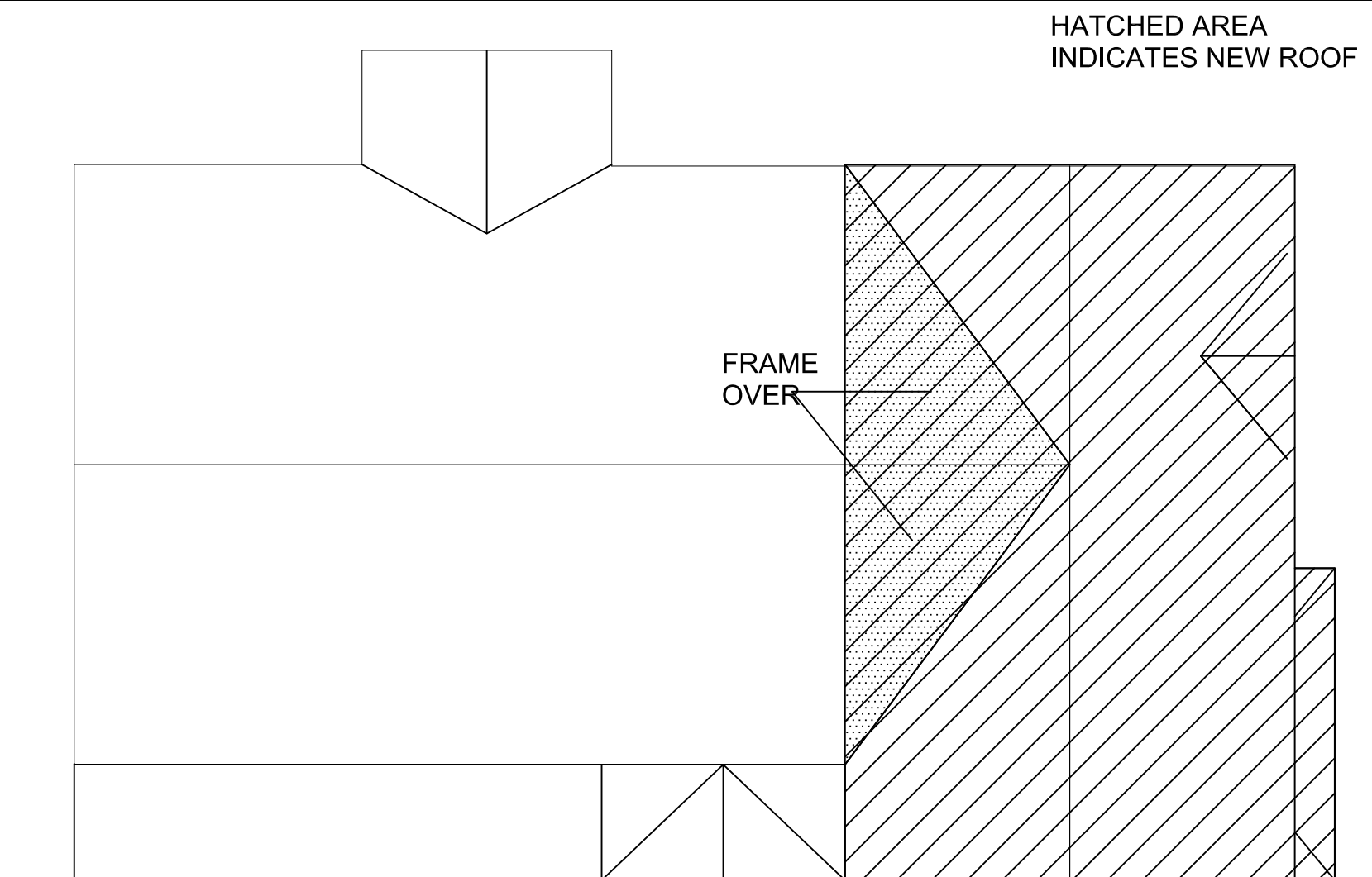
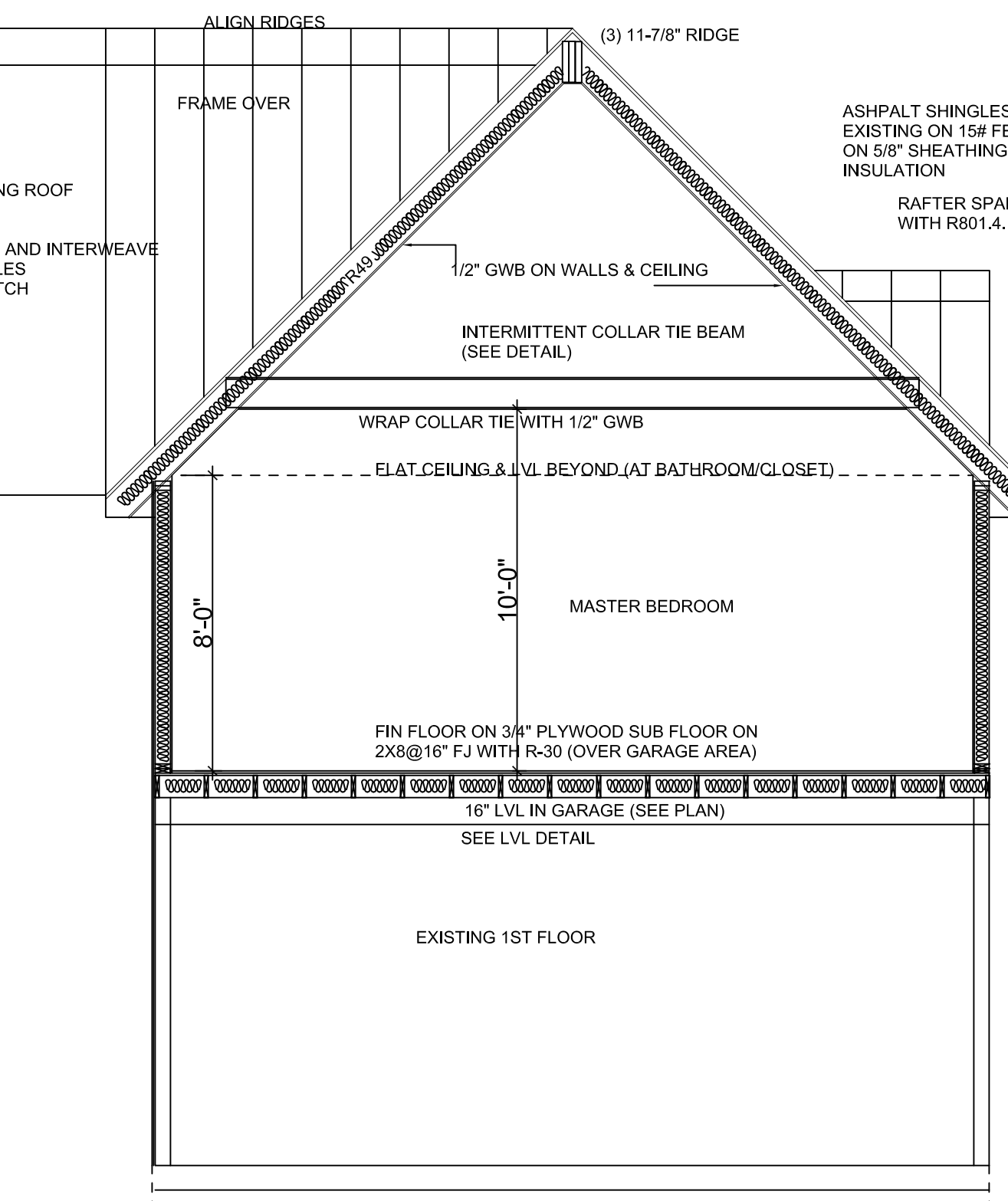
SI Design
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ARCHITECT'S SEAL

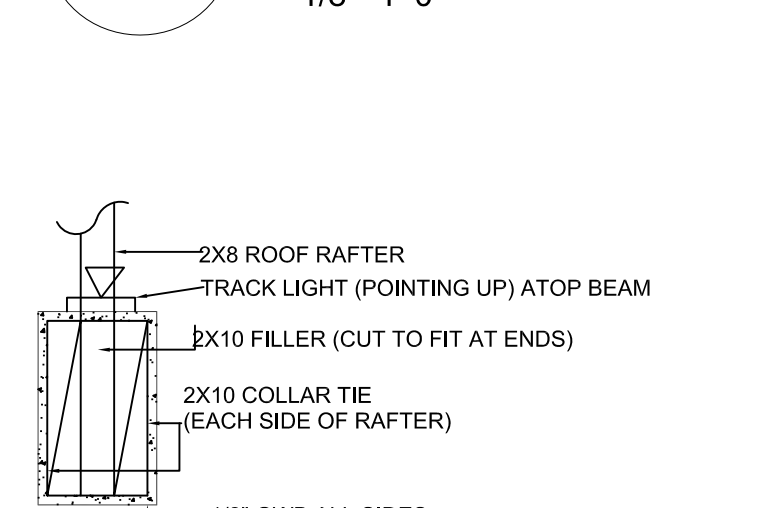
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CHECKED BY: SS
SCALE: 1/4" = 1'-0"
PROJECT NO: 2022-186
DATE: 9-16-2022



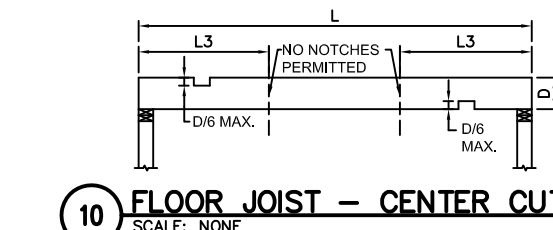
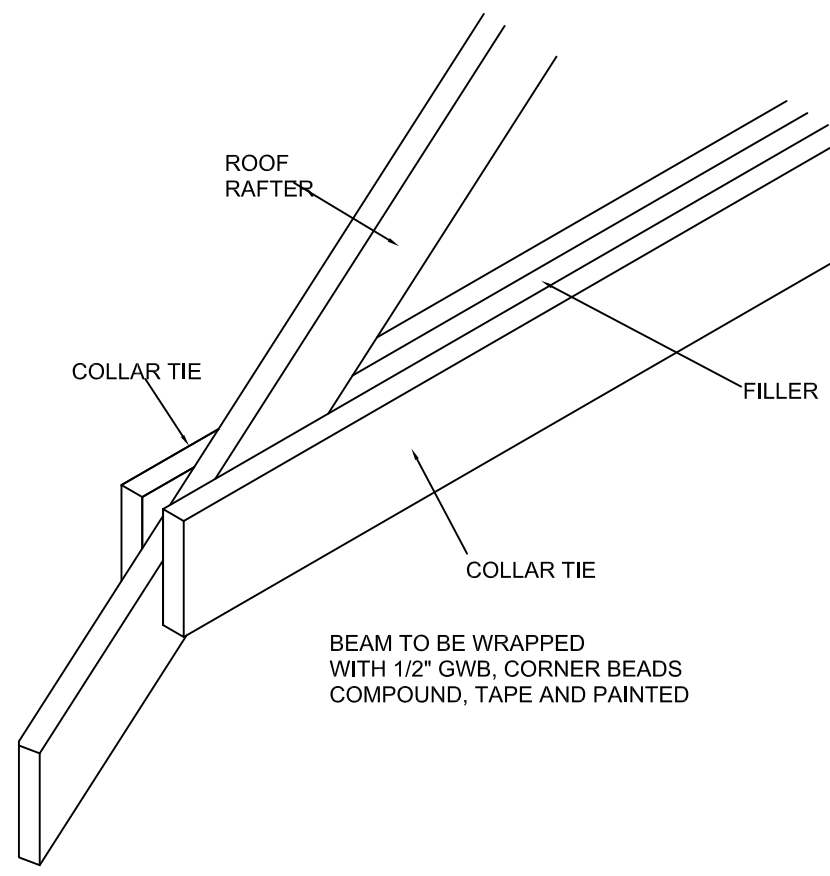
NOTE: APPROVED SHEATHING OR BRACE EXTERIOR WALLS WITH 1\"/>



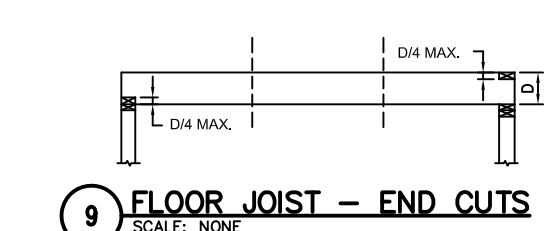
ROOF PLAN
1/8"=1'-0"



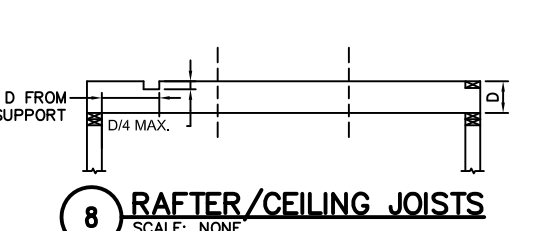
COLLAR TIE DETAIL
NTS



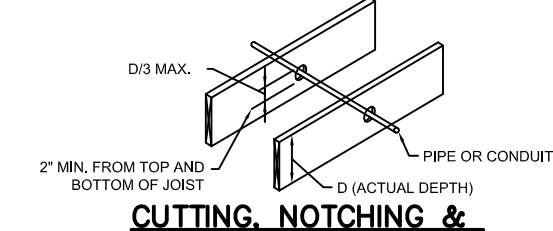
10 FLOOR JOIST - CENTER CUTS
SCALE: NONE



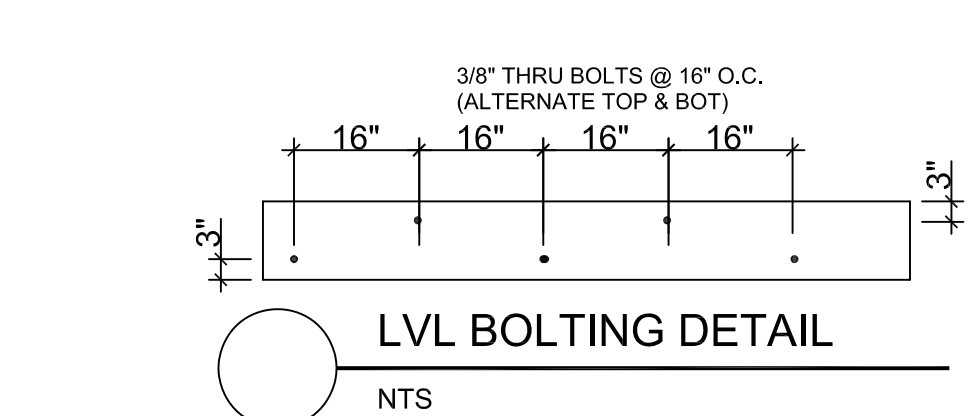
9 FLOOR JOIST - END CUTS
SCALE: NONE



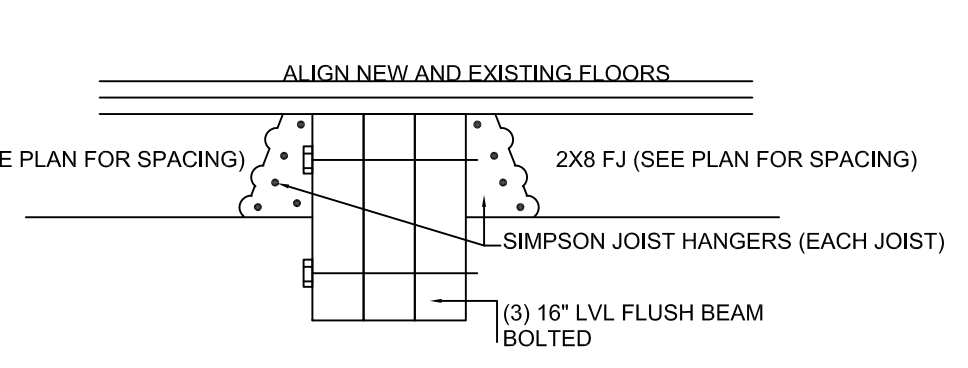
8 RAFTER/CEILING JOISTS
SCALE: NONE



7 DRILLING SAWN LUMBER DETAIL
SCALE: NONE



LVL BOLTING DETAIL
NTS



LVL DETAIL
NTS

SHEET NO.
A-801.00

REV.	DATE	DESCRIPTION

REVISIONS
DWG. ISSUED

PROJECT NAME:
**SADLER RESIDENCE
2ND STORY ADDITION
53 HIGH STREET
ARMONK, NY 10504**

PROJECT TITLE:
SI Design
architecture · interiors · landscapes
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DRAWN BY:
SS
CHECKED BY:
SS
SCALE:
1/4" = 1'-0"
PROJECT NO.:
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9-18-2022

ARCHITECT'S SEAL