

JUNE 14, 2021

**TITLE SURVEY**

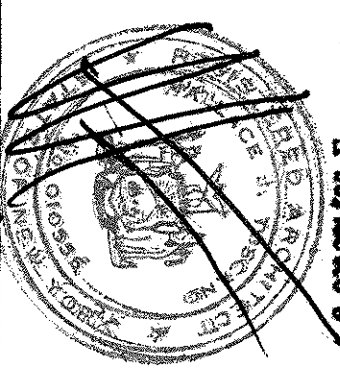
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATION ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

BLOCK:	001
LOT (s):	49
SECTION:	108.02
COUNTY:	WESTCHESTER
DWG BY:	VL/AAA

- CERTIFIED TO:
- \*LTA-201046
  - \*Langdon Title Agency LLC
  - \*Old Republic Title Insurance Company
  - \*Lee Novick
  - \*Amanda Novick

LAND NOW OR FORMERLY OF RICHARD J. GAY & MARETTA TUCKER GAY

LAND NOW OR FORMERLY OF RAYMOND MURPHY & MARY PAT MURPHY



ALTERATION TO THE RESIDENCE OF MR AND MRS L. NOVICK 58 SEYMOUR PLACE ARMONK NY 10504

WALLACE J. TOSCANO AIA ARCHITECT

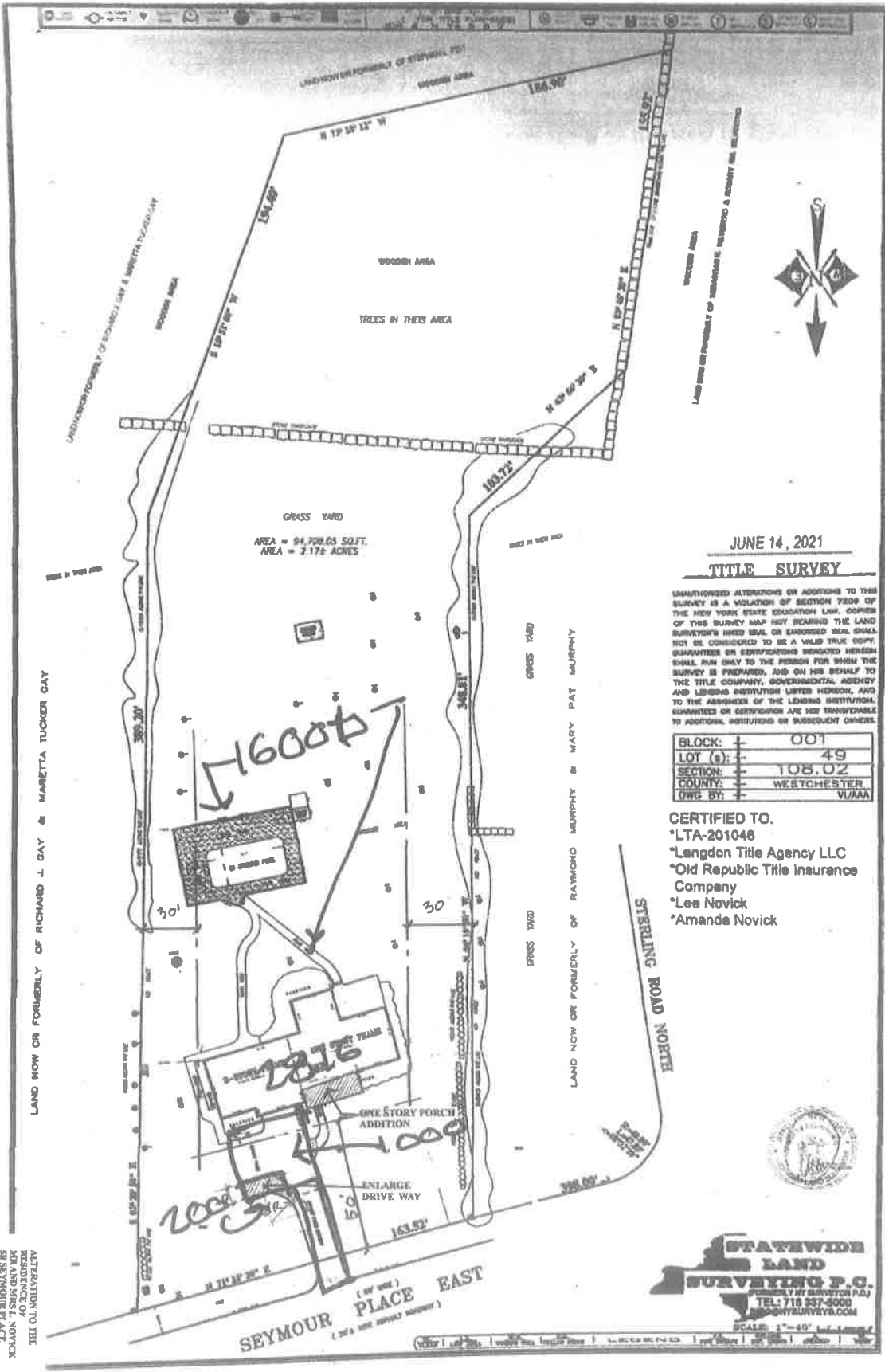
30 CORTSWOLD DR NORTH SALEM NY 10560 914-329-1491 CELL ARCHWJTR36@GMAIL.COM

OCT 0 1 2022

**STATEWIDE LAND SURVEYING P.C.**  
 (FORMERLY NY SURVEYOR P.C.)  
 TEL: 718 337-5000  
 INFO@NYSURVEYS.COM

SCALE: 1"=40'

LEGEND	ENT. UNDER	AREAWAY	RENT
--------	------------	---------	------



JUNE 14, 2021

**TITLE SURVEY**

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7506 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S NEED SEAL OR SAMPSON'S SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREIN SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREIN, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSFUL OWNERS.

BLOCK:	001
LOT (S):	49
SECTION:	108.02
COUNTY:	WESTCHESTER
DWG BY:	VJ/AA

CERTIFIED TO:  
 \*LTA-201048  
 \*Langdon Title Agency LLC  
 \*Old Republic Title Insurance Company  
 \*Les Novick  
 \*Amande Novick



**STATEWIDE LAND SURVEYING P.C.**  
 FORMERLY BY SURVEYOR (P.C.)  
 TEL: 718 837-6000  
 WWW.STATEWIDE-SURVEYING.COM

LAND NOW OR FORMERLY OF RICHARD J. GAY & MARETTA TUCKER GAY

LAND NOW OR FORMERLY OF RAYMOND MURPHY & MARY PAT MURPHY

OCT 01 2022

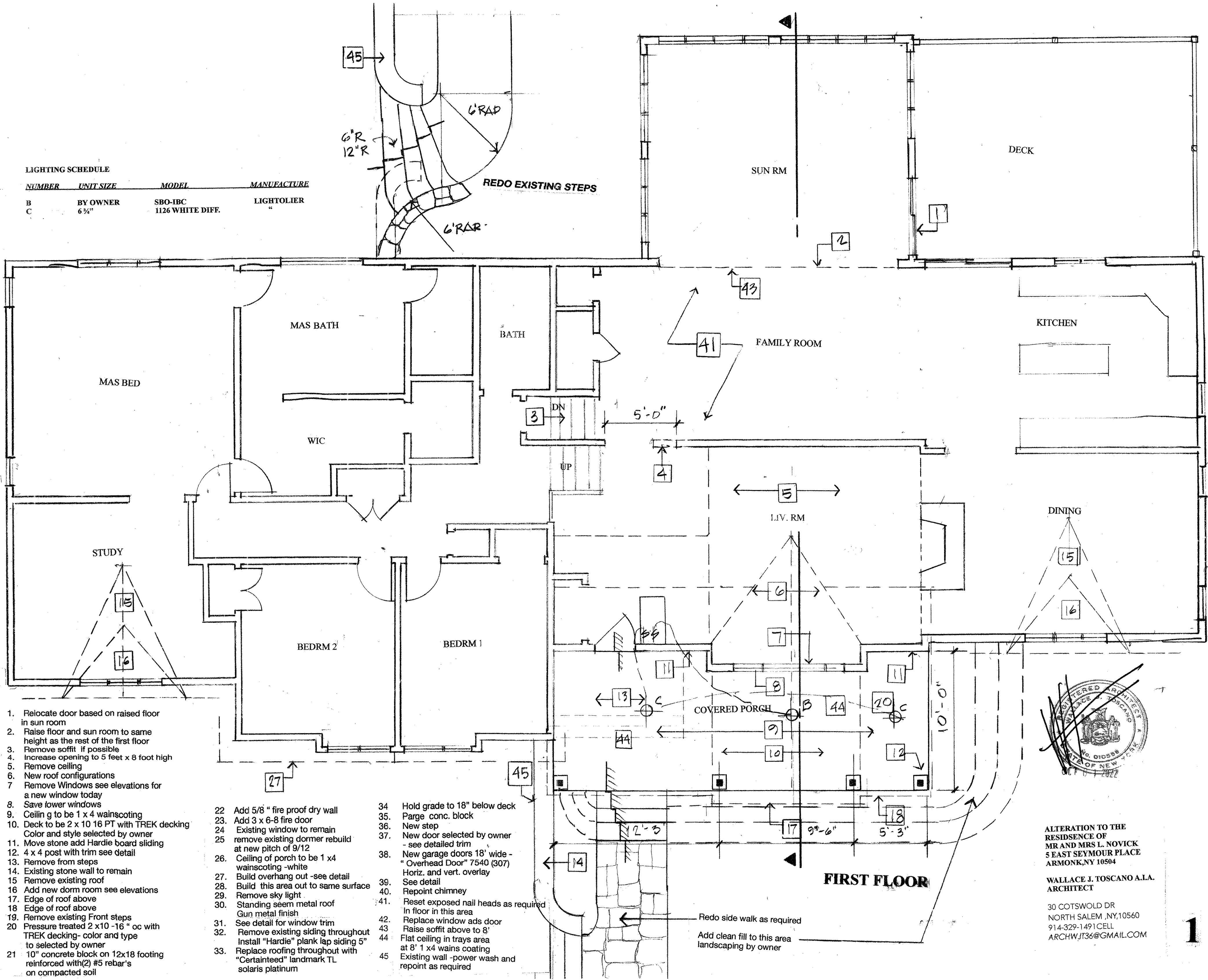
ALTERATION TO THE RESIDENCE OF RICHARD J. GAY & MARETTA TUCKER GAY  
 BY WALLACE J. TOSCANO ALTA ARCHITECT  
 30 CORTLAND DR  
 NORTH SALAM, NY 10840  
 914-828-1491 CELL  
 ARCHITECT@TOSCANOALTA.COM

SEYMOUR PLACE EAST  
 (1/4" = 100')  
 (SEE THE SURVEY INSTRUMENT)

SCALE: 1" = 40' L.S. 10/14/21  
 CHECKED BY: [Signature] DATE: 10/14/21  
 LEGEND: [Symbol] = [Description]

**LIGHTING SCHEDULE**

NUMBER	UNIT SIZE	MODEL	MANUFACTURE
B	BY OWNER	SBO-IBC	LIGHTOLIER
C	6 3/4"	1126 WHITE DIFF.	"



1. Relocate door based on raised floor in sun room
2. Raise floor and sun room to same height as the rest of the first floor
3. Remove soffit if possible
4. Increase opening to 5 feet x 8 foot high
5. Remove ceiling
6. New roof configurations
7. Remove Windows see elevations for a new window today
8. Save lower windows
9. Ceiling to be 1 x 4 wainscoting
10. Deck to be 2 x 10 16 PT with TREK decking Color and style selected by owner
11. Move stone add Hardie board sliding
12. 4 x 4 post with trim see detail
13. Remove from steps
14. Existing stone wall to remain
15. Remove existing roof
16. Add new dorm room see elevations
17. Edge of roof above
18. Edge of roof above
19. Remove existing Front steps
20. Pressure treated 2 x 10 -16" oc with TREK decking- color and type to selected by owner
21. 10" concrete block on 12x18 footing reinforced with(2) #5 rebar's on compacted soil

22. Add 5/8" fire proof dry wall
23. Add 3 x 6-8 fire door
24. Existing window to remain
25. remove existing dormer rebuild at new pitch of 9/12
26. Ceiling of porch to be 1 x 4 wainscoting -white
27. Build overhang out -see detail
28. Build this area out to same surface
29. Remove sky light
30. Standing seer metal roof Gun metal finish
31. See detail for window trim
32. Remove existing siding throughout Install "Hardie" plank lap siding 5"
33. Replace roofing throughout with "Certainteed" landmark TL solaris platinum

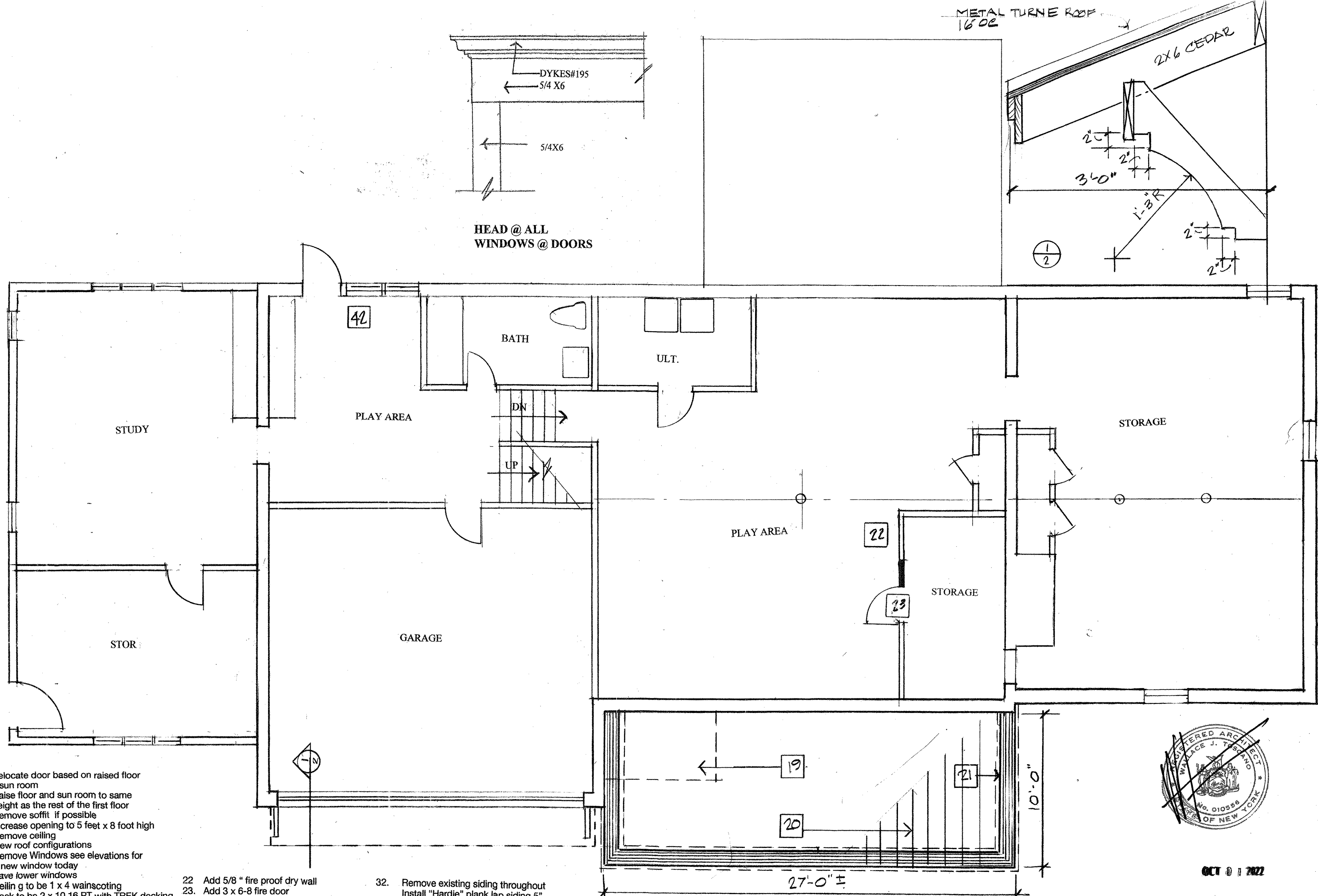
34. Hold grade to 18" below deck
35. Parge conc. block
36. New step
37. New door selected by owner - see detailed trim
38. New garage doors 18' wide - "Overhead Door" 7540 (307) Horiz. and vert. overlay
39. See detail
40. Repoint chimney
41. Reset exposed nail heads as required in floor in this area
42. Replace window ads door
43. Raise soffit above to 8'
44. Flat ceiling in trays area at 8' 1 x 4 wains coating
45. Existing wall -power wash and repoint as required



ALTERATION TO THE RESIDENCE OF MR AND MRS L. NOVICK 5 EAST SEYMOUR PLACE ARMONK, NY 10504

WALLACE J. TOSCANO A.I.A. ARCHITECT

30 COTSWOLD DR NORTH SALEM, NY, 10560 914-329-1491 CELL ARCHWJT36@GMAIL.COM



1. Relocate door based on raised floor in sun room
2. Raise floor and sun room to same height as the rest of the first floor
3. Remove soffit if possible
4. Increase opening to 5 feet x 8 foot high
5. Remove ceiling
6. New roof configurations
7. Remove Windows see elevations for a new window today
8. Save lower windows
9. Ceiling to be 1 x 4 wainscoting
10. Deck to be 2 x 10 16 PT with TREK decking Color and style selected by owner
11. Move stone add Hardie board sliding
12. 4 x 4 post with trim see detail
13. Remove from steps
14. Existing stone wall to remain
15. Remove existing roof
16. Add new dorm room see elevations
17. Edge of roof above
18. Edge of roof above
19. Remove existing Front steps
20. Pressure treated 2 x 10 -16" oc with TREK decking- color and type to selected by owner
21. 10" concrete block on 12x18 footing reinforced with(2) #5 rebar's on compacted soil

22. Add 5/8" fire proof dry wall
23. Add 3 x 6-8 fire door
24. Existing window to remain
25. remove existing dormer rebuild at new pitch of 9/12
26. Ceiling of porch to be 1 x 4 wainscoting -white
27. Build overhang out -see detail
28. Build this area out to same surface
29. Remove sky light
30. Standing seem metal roof Gun metal finish
31. See detail for window trim

32. Remove existing siding throughout Install "Hardie" plank lap siding 5"
33. Replace roofing throughout with "Certaineed" landmark TL solaris platinum
34. Hold grade to 18" below deck
35. Parge conc. block
36. New step
37. New door selected by owner - see detailed trim
38. New garage doors 18' wide - "Overhead Door" 7540 (307) Horiz. and vert. overlay
39. See detail
40. Repoint chimney

41. Reset exposed nail heads as required In floor in this area
42. Replace window ads door
43. Raise soffit above to 8'
44. Flat ceiling in trays area at 8' 1 x 4 wains coating
45. Existing wall -power wash and repoint as required

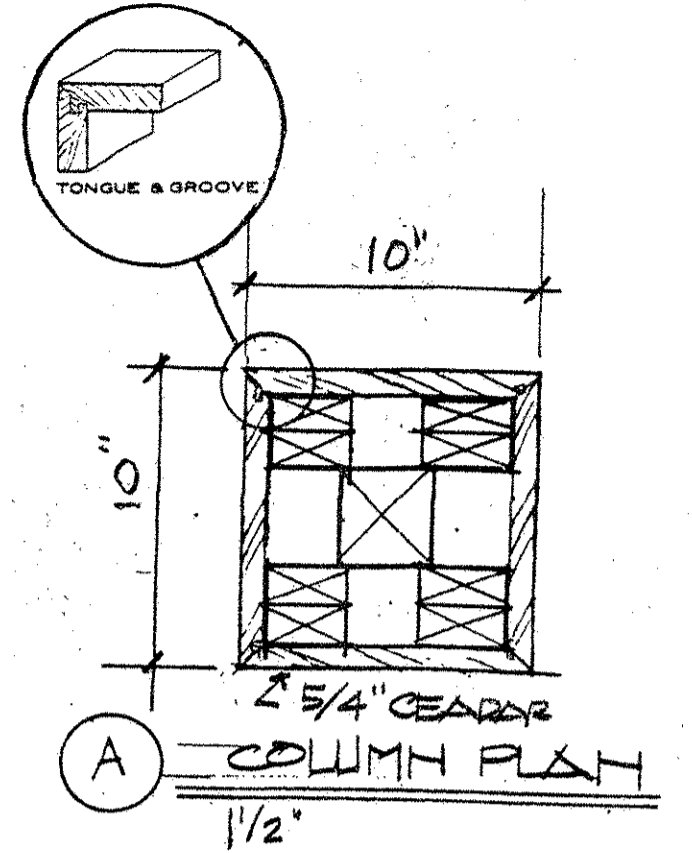
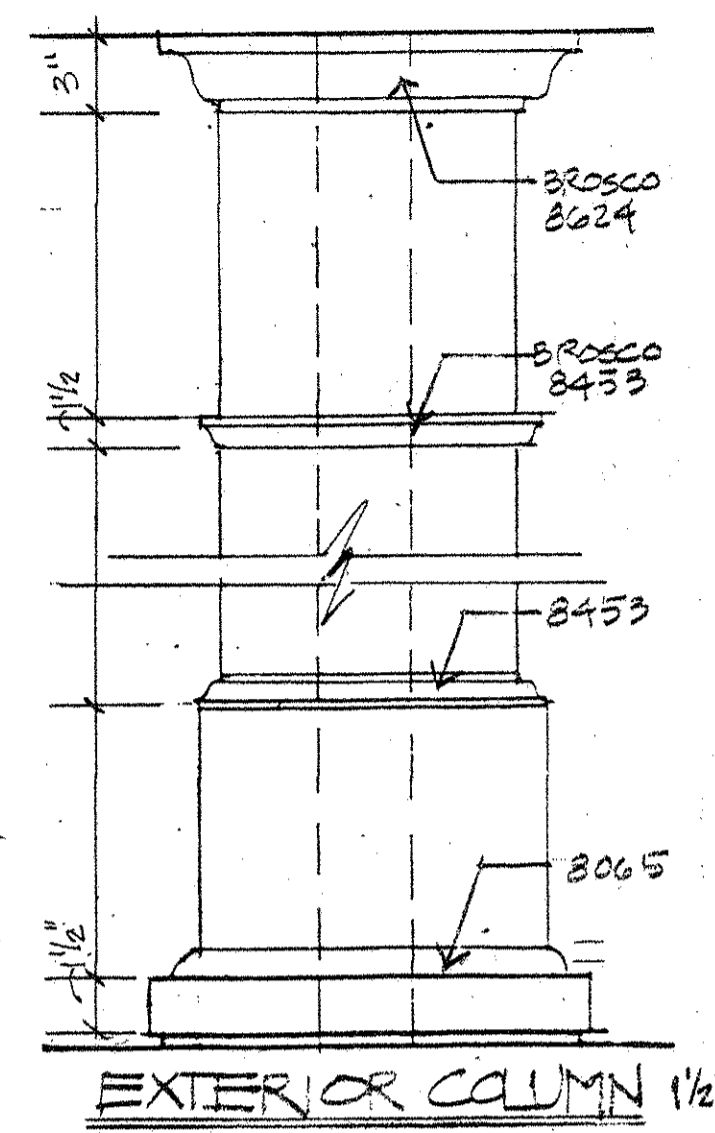
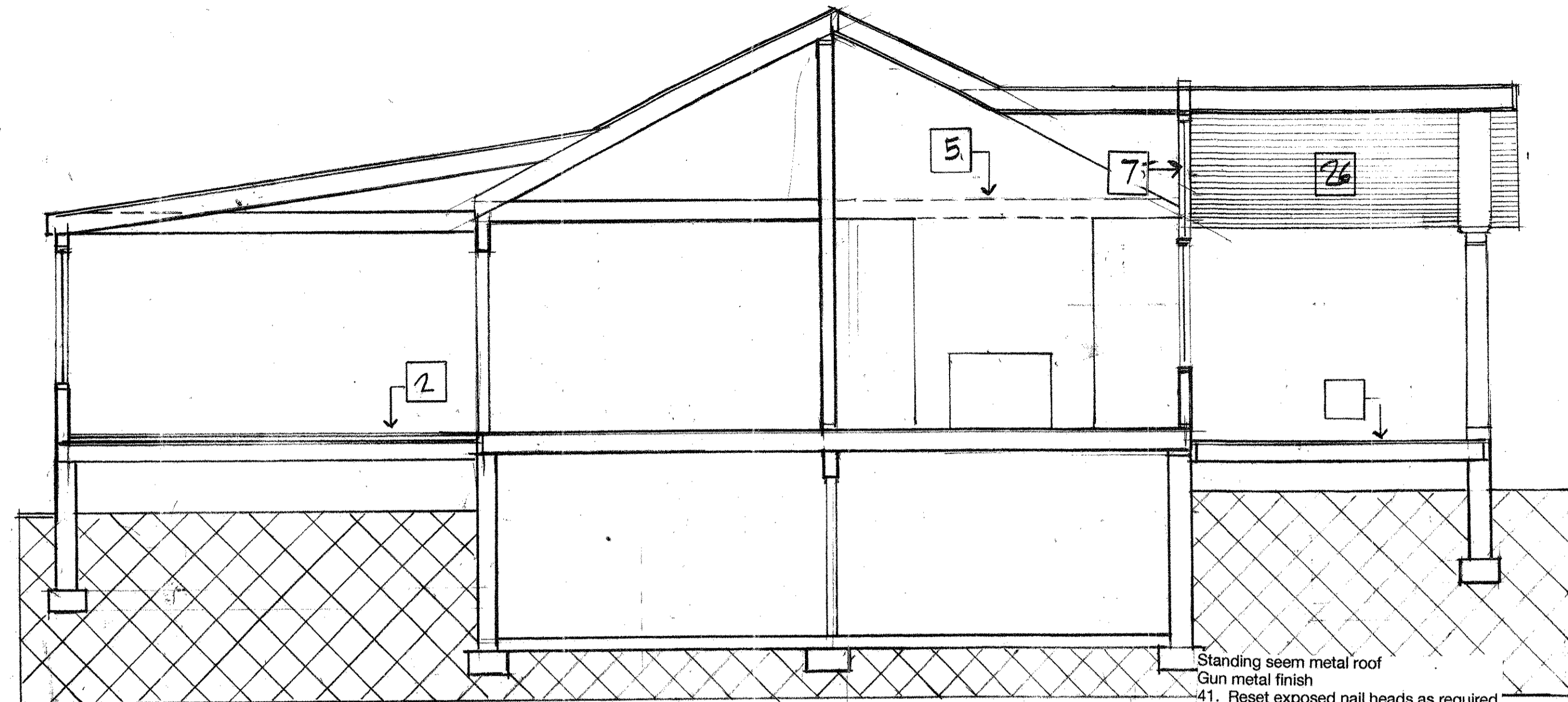


OCT 0 1 2022

ALTERATION TO THE RESIDENCE OF MR AND MRS L. NOVICK 5 EAST SEYMOUR PLACE ARMONK, NY 10504

WALLACE J. TOSCANO A.I.A. ARCHITECT

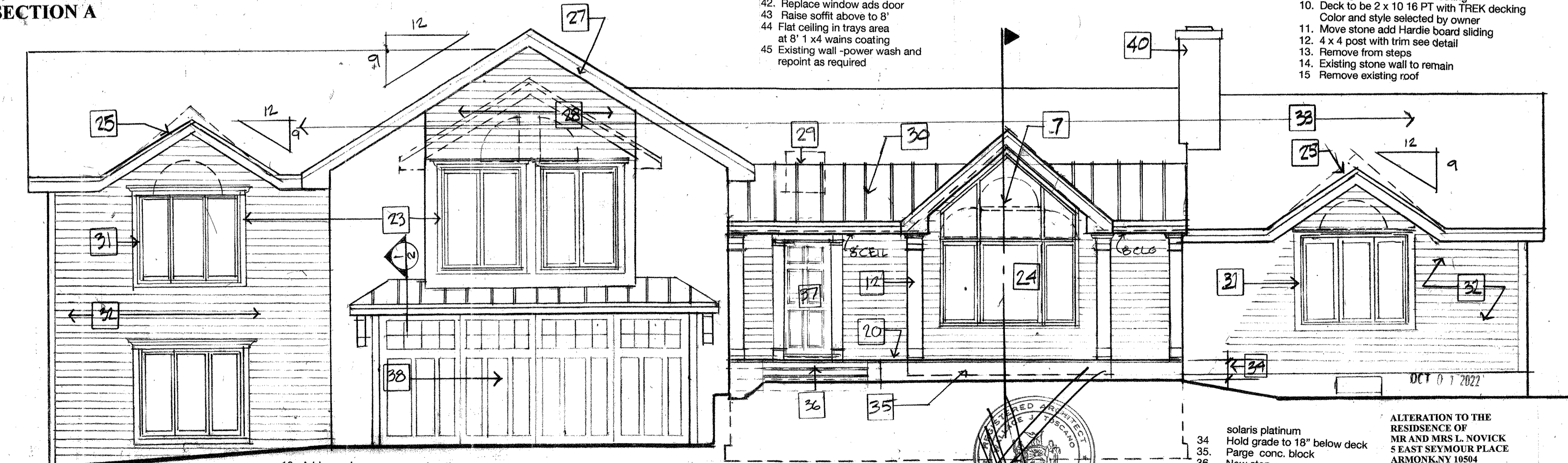
30 COTSWOLD DR NORTH SALEM, NY, 10560 914-329-1491 CELL ARCHWJT36@GMAIL.COM



**SECTION A**

- 41. Reset exposed nail heads as required in floor in this area
- 42. Replace window and door
- 43. Raise soffit above to 8'
- 44. Flat ceiling in trays area at 8' 1 x 4 wains coating
- 45. Existing wall -power wash and repaint as required

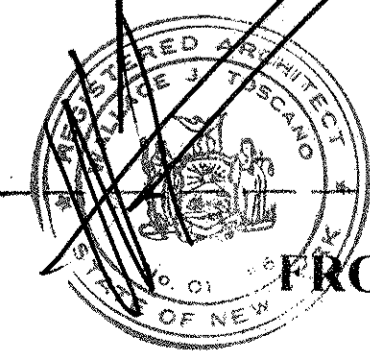
1. Relocate door based on raised floor in sun room
2. Raise floor and sun room to same height as the rest of the first floor
3. Remove soffit if possible
4. Increase opening to 5 feet x 8 foot high
5. Remove ceiling
6. New roof configurations
7. Remove Windows see elevations for a new window today
8. Save lower windows
9. Ceiling to be 1 x 4 wainscoting
10. Deck to be 2 x 10 16 PT with TREK decking Color and style selected by owner
11. Move stone add Hardie board siding
12. 4 x 4 post with trim see detail
13. Remove from steps
14. Existing stone wall to remain
15. Remove existing roof



- 16. Add new dorm room see elevations
- 17. Edge of roof above
- 18. Edge of roof above
- 19. Remove existing Front steps
- 20. Pressure treated 2 x 10 -16" oc with TREK decking- color and type to selected by owner
- 21. 10" concrete block on 12x18 footing reinforced with (2) #5 rebar's on compacted soil
- 22. Add 5/8" fire proof dry wall
- 23. Add 3 x 6-8 fire door
- 24. Existing window to remain remove existing dormer rebuild at new pitch of 9/12
- 25. Ceiling of porch to be 1 x 4 wainscoting -white
- 26. Build overhang out -see detail
- 27. Build this area out to same surface

- 29. Remove sky light
- 30. Standing seam metal roof Gun metal finish
- 31. See detail for window trim
- 32. Remove existing siding throughout Install "Hardie" plank lap siding 5"
- 33. Replace roofing throughout with "Certaineed" landmark TL

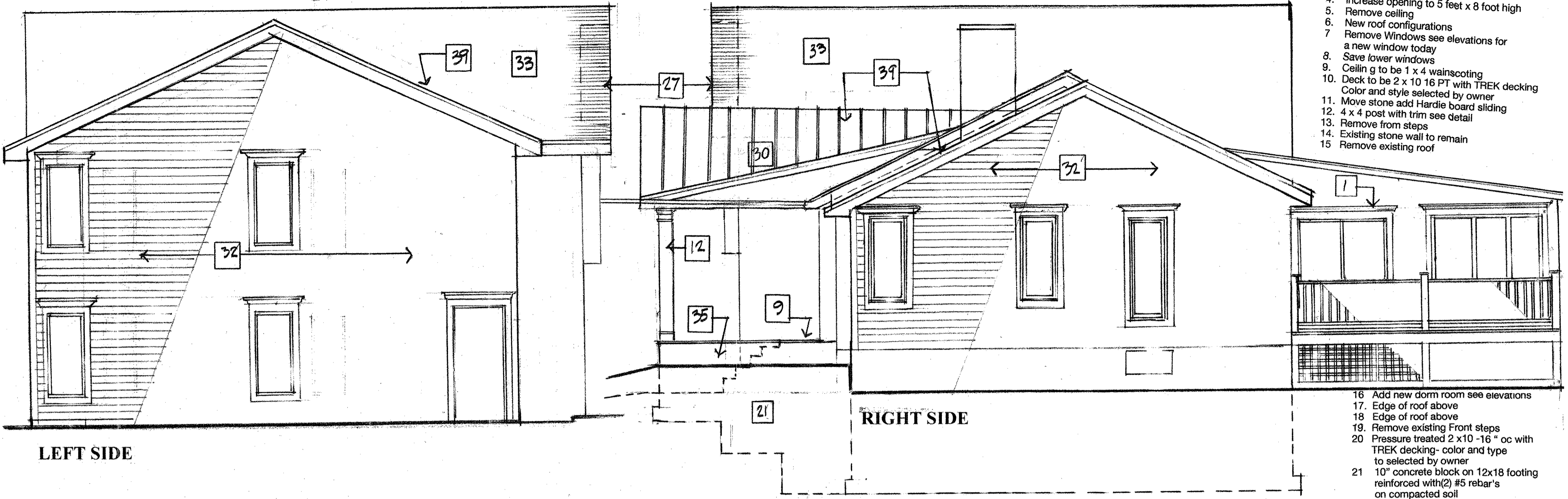
- 34. solaris platinum
- 35. Hold grade to 18" below deck
- 36. Parge conc. block
- 37. New step
- 38. New door selected by owner - see detailed trim
- 39. New garage doors 18' wide - "Overhead Door" 7540 (307) Horiz. and vert. overlay
- 40. See detail
- 40. Repoint chimney



**FRONT VIEW**

ALTERATION TO THE RESIDENCE OF MR AND MRS L. NOVICK 5 EAST SEYMOUR PLACE ARMONK, NY 10504  
 WALLACE J. TOSCANO A.I.A. ARCHITECT  
 30 COTSWOLD DR NORTH SALEM, NY, 10560 914-329-1491 CELL ARCHWJT36@GMAIL.COM

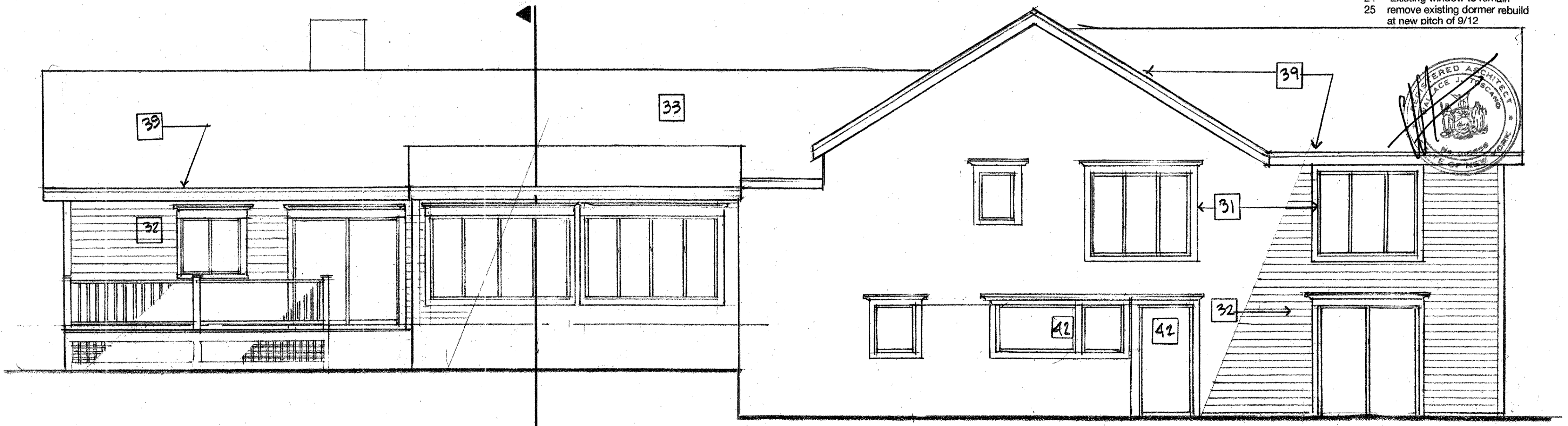
1. Relocate door based on raised floor in sun room
2. Raise floor and sun room to same height as the rest of the first floor
3. Remove soffit if possible
4. Increase opening to 5 feet x 8 foot high
5. Remove ceiling
6. New roof configurations
7. Remove Windows see elevations for a new window today
8. Save lower windows
9. Ceiling to be 1 x 4 wainscoting
10. Deck to be 2 x 10 16 PT with TREK decking Color and style selected by owner
11. Move stone add Hardie board siding
12. 4 x 4 post with trim see detail
13. Remove from steps
14. Existing stone wall to remain
15. Remove existing roof



LEFT SIDE

RIGHT SIDE

16. Add new dorm room see elevations
17. Edge of roof above
18. Edge of roof above
19. Remove existing Front steps
20. Pressure treated 2 x 10 -16 " oc with TREK decking- color and type to selected by owner
21. 10" concrete block on 12x18 footing reinforced with(2) #5 rebar's on compacted soil
22. Add 5/8 " fire proof dry wall
23. Add 3 x 6-8 fire door
24. Existing window to remain
25. remove existing dormer rebuild at new pitch of 9/12



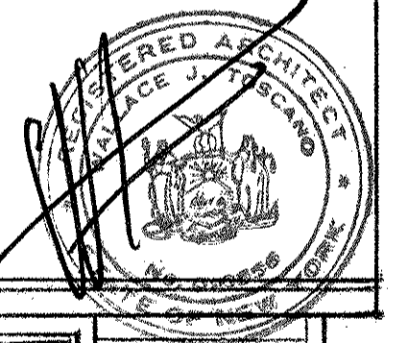
REAR SIDE

26. Ceiling of porch to be 1 x4 wainscoting -white
27. Build overhang out -see detail
28. Build this area out to same surface
29. Remove sky light
30. Standing seem metal roof Gun metal finish
31. See detail for window trim
32. Remove existing siding throughout Install "Hardie" plank lap siding 5"
33. Replace roofing throughout with "Certainteed" landmark TL solaris platinum
34. Hold grade to 18" below deck
35. Parge conc. block
36. New step
37. New door selected by owner - see detailed trim
38. New garage doors 18' wide - "Overhead Door" 7540 (307) Horiz. and vert. overlay
39. See detail
40. Repoint chimney

ALTERATION TO THE RESIDENCE OF MR AND MRS L. NOVICK 5 EAST SEYMOUR PLACE ARMONK, NY 10504

WALLACE J. TOSCANO A.I.A. ARCHITECT

30 COTSWOLD DR NORTH SALEM, NY, 10560 914-329-1491 CELL



SPECIFICATIONS:

ALTERATIONS AND EXISTING CONDITIONS

- 1. VERIFY ALL EXISTING BUILDING CONDITIONS, PLANS, DIMENSIONS AND ELEVATIONS AT SITE-NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. 2. WHERE EXISTING WORK IS TO BE CUT AND/OR UNDERPINNED, CONTRACTOR SHALL PROVIDE ALL FOUNDATION, SHORING, BRACING, WEDGING AND DRY-PACKING AND ALL SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION. 3. THE CONTRACTOR SHALL BE REQUIRED TO REPAIR AND PATCH ALL AREAS THAT ARE ALTERED OR DAMAGED DURING THE PROCESS OF ALTERATION. 4. THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF SITUATIONS THAT REQUIRE FURTHER INVESTIGATION OR STUDY (SUCH AS CRACKS IN CONCRETE AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.) HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY. 5. THE CONTRACTOR IS TO BEAR THE COST OF REPAIRING ANY DAMAGE TO NEW OR EXISTING BUILDING CAUSED BY THE WEATHER DURING THE CONSTRUCTION PERIODS.

GENERAL CONDITIONS - THE CONTRACTOR

- 1. CONSTRUCTION CONTRACT SHALL BE AIA DOCUMENT A101, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR CONSTRUCTION PROJECTS WHERE THE BASIS OF PAYMENT IS A STIPULATED SUM, LATEST EDITION. 2. ALL WORK SHALL BE IN ACCORDANCE WITH CODES, RULES AND REGULATIONS OF THE TOWN AND THE STATE BUILDING CODE. 3. NO SUBSTITUTION SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT OR THE OWNER. 4. ALL WORKMANSHIP SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND BEST INDUSTRY STANDARDS. 5. DO NOT SCALE DRAWINGS. 6. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER. 7. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. 8. THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BIDS. 9. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATE OF OCCUPANCY. 10. ALL PLAN DIMENSIONS ARE GIVEN FROM FACE OF FRAMING MEMBERS OF FACE OF MASONRY. 11. NO CHANGES OR CLAIMS FOR EXTRA PAYMENT SHALL BE HONORED UNLESS CALLED FOR BY A WRITTEN CHANGE ORDER ISSUED BY THE ARCHITECT AND APPROVED BY THE OWNER PRIOR TO THE WORK BEING PERFORMED BY THE CONTRACTOR. 12. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING AND PROTECTING ALL WORKING DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND MISALIGNMENT ACCORDING TO THE APPLICABLE CODES, STANDARD AND GOOD CONSTRUCTION INDUSTRY PRACTICE. 14. CONTRACTOR IS TO LAY OUT ALL WORK PRIOR TO CONSTRUCTION. 15. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE GENERAL CONTRACTOR HAS RECEIVED ALL PERMITS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE GENERAL CONTRACTOR TO FOLLOW THE PROCEDURE SHALL CAUSE THE GENERAL CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY A REGULATORY AUTHORITY. 16. THE DRAWINGS INCLUDE GUTTER DOWN SPOUTS IN SUGGESTED LOCATIONS. THIS IS DONE SOLELY TO INSURE THEIR INCLUSION IN THE BID PRICE. THE CONTRACTOR AND HIS SUB-CONTRACTORS ARE TO ASSUME FULL RESPONSIBILITIES FOR THE PROPER LOCATION OF DOWN SPOUTS AND THEIR QUANTITY BASED ON PROPER GUTTER SLOPES. FURTHER, THE METHOD OF DISPOSING OF RAIN WATER AND DRAINAGE AWAY FROM THE BUILDING IS PART OF THE CONTRACTOR'S RESPONSIBILITIES. THE ARCHITECT IS TO REVIEW THE LOCATION OF DOWN SPOUTS PRIOR TO INSTALLATION IN ORDER TO MAINTAIN DESIRED DESIGN EFFECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE ROOF AND THE BUILDING DRAINAGE SYSTEM WORKS WITH THE NEW ADDITION. THE CONTRACTOR IS TO DISCUSS WITH THE ARCHITECT ANY PROBLEMS HE FORSEES REGARDING THIS MATTER WHEN HE VISITS THE SITE OR PRIOR TO FINALIZING THE CONTRACT. THE CONTRACTOR IS TO INSTALL DRAIN TILE AT THE FOOTINGS WHERE HE DEEMS IT NECESSARY WHETHER THEY APPEAR ON THE DRAWINGS OR NOT. 18. CONTRACTOR AGREES TO GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER COMPLETION OF WORK. IF THE WORKMANSHIP OR MATERIALS ARE DEFECTIVE, CONTRACTOR WILL REPAIR THE DEFECT TO OWNER'S SATISFACTION WITHIN ONE MONTH OF OWNER'S NOTICE TO CONTRACTOR OF THE DEFECT. 19. ANY DISCREPANCY BETWEEN SPECIFICATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE EXECUTION OF THE CONTRACT BETWEEN THE GENERAL CONTRACTOR AND THE OWNER. FAILURE TO DO SO WILL ALLOW THE ARCHITECT OR OWNER TO INSIST THAT THE SUPERIOR PRODUCT BE USED AT NO ADDITIONAL COST TO THE OWNER. 20. THE ARCHITECT HAS TAKEN FIELD MEASURES OF THE EXISTING BUILDING TO THE BEST OF HIS ABILITY. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND ELEVATIONS AT THE SITE.

GENERAL CONDITIONS - THE ARCHITECT

- 1. THE ARCHITECTURAL DESIGN IS BASED UPON FIELD OBSERVATIONS OR ASSUMPTIONS REGARDING THE EXISTING CONDITIONS AT THE SITE. VARIATIONS BETWEEN THE FIELD CONDITIONS AND THESE DRAWINGS MAY EXIST WHERE SUCH VARIATIONS ARE ENCOUNTERED THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. 2. BASED ON THE SIZE AND SCOPE OF THIS PROJECT THE ARCHITECT HAS PROVIDED DRAWINGS, SPECIFICATIONS AND DETAIL WHICH HE FEELS ARE ADEQUATE TO DESCRIBE THE SCOPE OF THE PROJECT. HE HAS NOT ATTEMPTED TO SPECIFY NOR DETAIL EVERY PRODUCT OR CONDITION. HE IS RELYING ON THE GENERAL CONTRACTOR TO CONTROL THE QUALITY AND CRAFTSMANSHIP OF ALL ASPECTS OF THE PROJECT. UNLESS OTHERWISE DRAWN AND SPECIFIED WITHIN THESE DOCUMENTS, THE ARCHITECT'S DESIGN AND CONSTRUCTION DOCUMENTS ARE CONFINED TO WITHIN FIVE FEET BEYOND THE EXTERIOR FACE OF THE BUILDING. THE CONTRACTOR DURING HIS INITIAL SITE VISIT IS TO REAFFIRM THAT THE SCOPE OF THE WORK WILL BE CONTAINED WITHIN THE FIVE FEET LIMIT. HE SHOULD NOTIFY THE ARCHITECT IF HE DETERMINES THAT HIS WORK SUCH AS DRAINAGE, SEPTIC, ELECTRICAL, MECHANICAL, LANDSCAPING, SITE WORK, AND GRADING GOES BEYOND.

- 4. THE ARCHITECT HAS PROVIDED (OR WILL PROVIDE IF REQUESTED) DETAILED DRAWINGS REGARDING ANY WORK WHICH IS CONSIDERED BY HIM TO BE ORIGINAL, OUT OF THE ORDINARY, CUSTOM OR REQUIRING SPECIAL ATTENTION. HE HAS NOT DETAILED COMMON "MATTER OF FACT" CONSTRUCTION DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR DOING ANY RESEARCH REQUIRED, CONTACTING MANUFACTURERS OR TRADE ORGANIZATIONS FOR INFORMATION REGARDING INSTALLATION DETAILS, FAILURE OF THE CONTRACTOR TO NOTIFY THE ARCHITECT ASKING FOR MORE INFORMATION OR CLARIFICATION OF DRAWINGS OR DETAILS ASSUMES THAT HE ACCEPTS THE DRAWINGS AND ASSUMES RESPONSIBILITY FOR PROPER EXECUTION OF ALL COMPONENTS OF THE BUILDING. 5. THE ARCHITECT IS LIMITED, BY CONTRACTUAL OBLIGATION TO THE OWNER, TO VISIT THE SITE PERIODICALLY TO DISCUSS THE PROGRESS OF THE WORK, TO ANSWER QUESTIONS, TO ENSURE THAT THE PROJECT IS BEING BUILT ACCORDING TO THE ARCHITECT'S DESIGN AND THAT WORK, PROGRESS AND MATERIALS DELIVERED AND USED ARE IN ACCORDANCE WITH THE CONTRACTORS REQUEST FOR PAYMENT. THE ARCHITECT HAS IN NO WAY SPECIFIED, OR HAS HIS ADVISE BEEN SOUGHT OR GIVEN REGARDING GENERAL WORKING CONDITIONS, SAFETY PRECAUTIONS, OR METHOD OF BUILDING THE PROJECT. 6. DURING THE CONSTRUCTION, THE ARCHITECT IS TO BE CONTACTED BY THE CONTRACTOR AT ANY TIME IN ORDER TO GIVE ADVICE ON THE INTERPRETATION OF THE DRAWINGS, CONSTRUCTION DETAILS, E.T.C. HIS FAILURE TO DO SO ASSUMES THAT THE PROJECT IS BEING BUILT ACCORDING TO THE TIME SCHEDULE AND IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. 7. IN THE EVENT THAT THERE ARE CONFLICTING DRAWINGS, INFORMATION, OR SPECIFICATIONS REGARDING BUILDING PRODUCT OR METHOD OF CONSTRUCTION, IT IS THE CRITICAL RESPONSIBILITY OF THE CONTRACTOR TO BRING THESE MATTERS TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. IT WILL BE THE POSITION OF THE ARCHITECT THAT THE BETTER PRODUCT, MATERIAL, OR BUILDING METHOD WILL BE USED. THIS DETERMINATION WILL BE THE SOLE PURVIEW OF THE ARCHITECT.

INSURANCE:

- 1. FULL INSURANCE COVERAGE AS REQUIRED BY THE TOWN IS TO BE CARRIED BY THE CONTRACTOR AND ALL SUB-CONTRACTORS IN HIS EMPLOY. CERTIFICATES OF INSURANCE ARE TO BE FILLED WITH THE OWNER PRIOR TO COMMENCEMENT OF ANY WORK. BOTH OWNER AND THE ARCHITECT ARE TO BE HELD HARMLESS FROM ANY CLAIMS EITHER DIRECTLY OR INDIRECTLY ARISING OUT OF THIS CONTRACT. 2. THE GENERAL CONTRACTOR AND ALL HIS SUB-CONTRACTORS, VENDORS, DAY LABORERS AND ANY PERSONS OR COMPANIES PROVIDING LABOR OR PRODUCT ON THIS PROJECT ARE TO BE COVERED EITHER BY THEMSELVES OR THE GENERAL CONTRACTOR WITH WORKMANS COMPENSATION AND ALL INSURANCES REQUIRED BY THE LOCAL AUTHORITY.

SITE WORK

- 1. SCRAPE, STORE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS. 2. ROUGH GRADE TO WITHIN 4" OF FINISHED GRADE. 3. PLANTING IS NO PART OF THIS CONTRACT. SEEDING IS PART OF THIS CONTRACT. 4. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS UNLESS FLOOR FINISH IS IN PLACE, OR UNLESS WALLS HAVE BEEN ADEQUATELY BRACED. 5. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL. 6. EXCAVATION REQUIRED FOR CONSTRUCTION OF THE BUILDING. PROTECT WHERE NECESSARY. 7. EXCAVATION SHALL BE PERFORMED SO THAT THE AREA OF SITE AND THE AREA IMMEDIATELY SURROUNDING THE SITE AND AFFECTING OPERATIONS AT THE SITE WILL BE CONTINUALLY AND EFFECTIVELY DRAINED. WATER SHALL NOT BE PERMITTED TO ACCUMULATE IN THE EXCAVATION. PROVIDE SOIL EROSION CONTROL MEASURES IF REQUIRED.

FOUNDATION NOTES

- 1. FOUNDATIONS HAVE BEEN DESIGNED TO AN ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF. THIS CAPACITY SHALL BE VERIFIED BY A REGISTERED SOILS ENGINEER. SHOULD CONDITIONS VARY FROM THOSE ASSUMED, THE ARCHITECT SHALL BE NOTIFIED BEFORE CONTINUATION OF WORK. 2. ALL FOOTINGS SHALL BE PLACED DIRECTLY ON ROCK, VIRGIN SOIL, OR CERTIFIED COMPACTED FILL. 3. CONCRETE FOR FOUNDATIONS A. 28 DAYS COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE AS FOLLOWS: FOOTINGS 3000 PSI SLAB ON GRADE 3500 PSI WALLS 3000 PSI B. MAXIMUM CONCRETE SLUMP SHALL BE 4" C. ALL CONCRETE SHALL BE MIXED, TRANSPORTED, AND PLACED IN ACCORDANCE WITH ACI STANDARDS 318, 304, 301. D. ALL REINFORCING BARS SHALL BE A NEW BILLET STEEL CONFORMING TO ASTM, A615, GRADE 60. E. ALL WELDED WIRE MESH SHALL CONFORM TO ASTM, A185 F. ALL VERTICAL SURFACES OF CONCRETE SHALL BE FORMED FOR FOOTINGS OR WALLS. G. REINFORCING STEEL SHALL BE PLACED TO PROVIDE THE FOLLOWING MINIMUM CONCRETE COVER: SLAB ON GRADE 1-1/2" WALLS 2" FOOTINGS 3"

- 4. ALL FILL SHALL BE PLACED IN 8 INCH LOOSE LIFTS (MAXIMUM) COMPACTED WITH VIBRATORY ROLLERS. 5. ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 3'-6" BELOW FINAL GRADE WHEN BEARING ON SOIL. 6. WHERE NECESSARY, FOOTING STEPS SHALL BE CONSTRUCTED AT MAXIMUM SLOPES OF 1 VERTICAL TO 2 HORIZONTAL. 7. EXCAVATIONS SHALL BE DEWATERED TO ALLOW INSTALLATION OF FOOTINGS IN DRY ATMOSPHERE.

CONCRETE MASONRY UNITS (CMU)

- 1. ALL CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD BEARING UNITS CONFORMING TO ASTM C90, WITH MINIMUM COMPRESSIVE STRENGTH OF UNITS - 1500 PSI, WITH ASSUMED DESIGN COMPRESSIVE STRENGTH, Fm = 1150 PSI, AND DENSITY OF 140 PCF. 2. ALL UNITS SHALL BE PLACED IN RUNNING BOND. 3. MORTAR SHALL BE TYPE M OR S, MIX 1 PART PORTLAND CEMENT, 1/2 TO 1/3 PART HYDRATED LIME, AND 2 1/2 TO 3 PARTS SAND, MIX ON SITE. 4. STORE ALL UNITS OFF GROUND TO PREVENT CONTAMINATION. COVER MATERIALS TO PROTECT FROM THE ELEMENTS. 5. NO AIR-ENTRAINING ADMIXTURES OR ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO MORTAR.

- 6. ALL WALLS OR PLASTERS SUPPORTING STEEL OR TIMBER COLUMNS SHALL BE GROUDED SOILD FOR FOUR COURSES IN DEPTH FOR A WIDTH OF 32". 7. WHERE SOLID UNFRACTURED ROCK IS ENCOUNTERED FOR A WALL LENGTH OF AT LEAST 25 FEET, PINNING THE WALL TO ROCK WITH #6 BARS 3'-0" LONG DOWELS AT 2'-0" ON CENTER, GROUDED INTO ROCK EXTENDING 1'-6" INTO ROCK. NO FROST PROVISIONS ARE REQUIRED FOR THIS DETAIL. PROVIDE CONTROL JOINT IN WALL AT ANY TRANSITION BETWEEN ROCK BEARING AND SOIL BEARING CONDITIONS.

FINISHES - INTERIOR:

- 1. GYPSUM WALLBOARDS: 1/2" GYPSUM WALLBOARD IN ALL AREAS WHERE SHEETROCK IS INDICATED WITH THE FOLLOWING EXCEPTIONS: USE 5/8" WR GYPSUM WALLBOARD AND 1/2" FIBERGLASS REINFORCED CEMENT BOARD SUCH AS WONDERBOARD IN ALL AREAS SUBJECT TO WETNESS, AROUND SHOWER AND TUB PLATFORMS, AND SHOWER CEILING. 2. ALL WALLBOARD SHALL BE INSTALLED WITH APPROVED BUGLE HEADED SHEETROCK SCREWS OF APPROPRIATE TYPE AND LENGTH FOR FASTENING TO WOOD CONSTRUCTION. 3. PREPARE GYPSUM WALLBOARD SURFACES FOR PAINTING WITH APPLICATION OF THREE COATS USG JOINT COMPOUND IN ALL AREAS EXCEPT CLOSET AND STORAGE AREAS WHERE TWO COATS ARE SUFFICIENT. FINAL COST SHALL BE POLISHED AND READY FOR PAINTING. 4. ALL OUTSIDE CORNERS SHALL HAVE 1 1/2" GALVANIZED CORNER BEAD INSIDE CORNER TO BE TAPED. USE GALVANIZED "J" BEAD AT TRIMLESS CONDITIONS. ALL OTHER REQUIRED ACCESSORIES FOR GYPSUM SHALL BE APPROVED FOR COMPATIBILITY BY THE WALLBOARD MANUFACTURER. 5. PAINTED GYPSUM WALLBOARD, ONE COAT APPROVED LATEX PRIMER, 1 COAT LATEX BENJAMIN MOORE TRIM TO BE AQUA PEARL BENJAMIN MOORE.

PAINT: INTERIOR PAINT INCLUDED, WALLS AND TRIM TO RECEIVE PRIMER AND TWO FINISH COATS, FINISH COATS FOR WALLS WILL BE BENJAMIN MOORE LATEX HIGHEST QUALITY, FOR MILLWORK: PAINT OR STAIN AS SELECTED BY OWNER. OIL BASE STAIN FINISH ON ALL MILLWORK, COLORS SELECTED BY OWNER; EXTERIOR PAINT TO MATCH EXISTING OIL BASE SEALER TO BLOCK CEDAR BLEEDING THEN TWO COATS BENJAMIN MOORE LATEX PAINT.

ELECTRICAL:

- 1. SCOPE: PROVIDE ELECTRICAL DISTRIBUTION SYSTEM AS REQUIRED FOR SUFFICIENT LIGHTING, POWER AND MISCELLANEOUS SYSTEMS. ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION AND LOCAL REQUIREMENTS. LIGHTING: PROVIDE ALL NECESSARY LIGHTING FIXTURES AS SELECTED BY OWNER, WIRING, DIMMERS AND OTHER DEVICES THROUGHOUT THE BUILDING AS INDICATED ON DRAWINGS. ALL SWITCHES AND OUTLETS SHALL BE DECORS DESIGN, WHITE EXCEPT AS NOTED. OBTAIN ALL NECESSARY PERMITS AND PAY FOR ALL FEES REQUIRED TO COMPLETE THE ELECTRICAL PORTION ON THE WORK.

STRUCTURAL NOTES:

- 1. LUMBER: A. STANDARD WOOD FRAMING AS PER THE NATIONAL LUMBER MANUFACTURERS. B. ALL NEW LUMBER INCLUDING STUDS SHALL BE DOUGLAS FIR, NO. 2 OR BETTER WITH MIN. FB-1500 PSI AND E-1,500,000 PSI C. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING. D. WALL AND PARTITIONS, 2" X 6" STUDS AT 16" O.C. ON ALL NEW EXTERIOR WALLS, EXISTING WALLS REMAIN OR AS NOTED. 2" X 4" STUDS AT 16" O.C. ALL OTHER WALL INTERIOR PARTITIONS EXCEPT AS NOTED. E. USE STANDARD 2" X 4" CATS, DOUBLE JACKS AT OPENING FOR STUD WALLS AND UNDER GIRDERS. F. DOUBLE JOISTS UNDER ALL PARTITIONS, SIZES AS PER DRAWINGS. G. DOUBLE HEADERS AND TRIMMERS AROUND ALL OPENINGS IN FLOORS AND ROOF. H. ALL EXTERIOR NAILING WITH GALVANIZED NAILS AS PER MANUFACTURER'S RECOMMENDATIONS.

- 2. FLYWOOD: A. PLYWOOD FOR SUBFLOOR (FLOOR SHEATHING OVER FRAMING LUMBER OR WOOD TRUSSES) SHALL BE 1/2" TONGUE & GROOVE C-D EXT. SPECIES GROUP 3, APA IDENTIFICATION INDEX 32/16. INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS. B. PLYWOOD USED FOR ROOF SHEATHING SHALL BE 1/2" TONGUE AND GROOVE C-C EXT APA IDENTIFICATION INDEX 24/0. C. PLYWOOD SHALL BE NAILED TO JOINTS WITH 8D COMMON NAILS AT 6" ON CENTER AL EXTERIOR EDGES AND 10" ON CENTER AT INTERMEDIATE SUPPORTS. D. USE PLYCLIPS OR OTHER EDGE SUPPORTS FOR ALL PLYWOOD SHEATHING. E. PLACE FACE GAIN IN DIRECTION OF SPAN (TRAVERSE TO JOIST TO TRUSS SPAN). F. LEAVE 1/8" SPACE AT ALL PLYWOOD PANEL END JOINTS AND 1/8" SPACE AT ALL PANEL EDGE JOINTS. G. PLYWOOD USED FOR EXTERIOR WALLS 1/2" C-D EXT SPECIES GROUP 3, APA IDENTIFICATION INDEX 32/16. THEY SHALL BE NAILED AT 6" OC WITH 8D COMMON NAILS AT THE BOUNDARIES AND CONTINUOUS HORIZONTAL PANEL EDGES. 3. TIMBER CONNECTORS: A. JOIST HINGES, FRAMING ANCHORS AND RAFTER ANCHORS SHALL BE MINIMUM 18 GAUGE PRIME GALVANIZED STEEL AS MANUFACTURED BY TECO, SIMPSON, OR APPROVED EQUAL. SPECIAL NAILS AS SUPPLIED BY MANUFACTURER SHALL BE USED FOR REQUIRED NAILING. B. METAL CROSS BRIDGING SHALL BE GALVANIZED STEEL AS MANUFACTURED BY TECO, SIMPSON OR APPROVED EQUAL AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.

- 4. FRAMING: A. WALLS AND PARTITIONS, 2" X 6" STUDS AT 16" OC ON ALL NEW EXTERIOR WALLS, EXISTING WALLS TO REMAIN OR AS NOTED. B. USE STANDARD 2" X 4" CATS, DOUBLE JACKS AT OPENINGS FOR STUD WALLS AND UNDER GIRDERS. C. DOUBLE JOISTS UNDER ALL PARTITIONS, SIZES PER DRAWINGS. D. DOUBLE HEADERS AND TRIMMERS AROUND ALL OPENINGS IN FLOORS AND ROOF. E. ALL EXTERIOR NAILING WITH GALVANIZED NAILS AS PER MANUFACTURER'S RECOMMENDATIONS.

MECHANICAL DESIGN:

- 1. ARCHITECT IS NOT RESPONSIBLE FOR H.V.A.C. DESIGNS, OR REVIEW OF SAID DESIGN. THE GENERAL CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY FOR SYSTEMS DESIGNED AND WORK IMPLEMENTED IN FIELD FOR EACH SYSTEM PRIOR TO STARTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED.

PLUMBING

- 1. ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH NYS UPBPC, NATIONAL PLUMBING CODE, LOCAL CODES HAVING JURISDICTION, AND BEST PRACTICE. 2. PROVIDE SHUT OFF VALVES AT ALL FIXTURES AND APPLIANCES. 3. PIPING AS PER LOCAL CODE. INSULATE HOT AND COLD WATER SUPPLIES WHERE REQUIRED. 4. PROVIDE NONFREEZE OUTDOOR HOSE BIBBS WHERE INDICATED ON PLANS. 5. NO WATER PIPES OR SOIL OR WASTE LINES SHALL BE EXPOSED IN UNINSULATED AND UNHEATED SPACES IN THE CRAWL SPACE OR BASEMENT. WATER SERVICE SHALL BE PROTECTED FROM FREEZING WHERE EXPOSED IN UNHEATED SPACES. 6. PITCH ALL WATER LINES TO LOW POINT TO DRAIN AND PROVIDE DRAIN VALVE. 7. WHENEVER SUPPLY WATERLINE (HOT AND COLD) OCCUR IN EXTERIOR WALLS OR SOFFITS, ALL PIPING IS TO BE INSULATED WITH HEAT TAPE AND FOAM SLEEVES, IN ADDITION TO BUILDING INSULATION.

THERMAL AND MOISTURE PROTECTION:

- AT ALL LOCATIONS REQUIRED BY THE WORK, WHETHER SPECIFIED ON THE DRAWING OR NOT: 1. WALL FLASHING: ALUMINUM 2. THERMAL INSULATION: FOIL FACED FIBERGLASS BATTS AS FOLLOWS: NEW EXTERIOR WALLS: R19 FOIL FACED BATTS NEW ROOFS AND CRAWL SPACE FLOOR: R30 FOIL FACED BATTS CRAWL SPACE AND PERIMETER INSULATION: 2" STYROFOAM RIGID INSULATION 3. DAMPPROOFING FOUNDATION WALLS: TOWEL GRADE BITUMINOUS SEAMLESS WATER PROOFED COATING ON ALL CMU BELOW GRADE SIMILAR TO "DUREX" MEETING ASTM D822 SPECIFICATION BY METROPOLITAN ROOFING SUPPLIER, BRONX, NY OR APPROVED EQUAL.

ENERGY CODE:

THE ARCHITECT HEREBY AFFIRMS THAT TO THE BEST OF HIS KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS ARE IN COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CODE DATED 2020 IN ACCORDANCE WITH PART 5 OF THE DESIGN BY ACCEPTABLE PRACTICE

*Wallace J. Toscano, AIA*

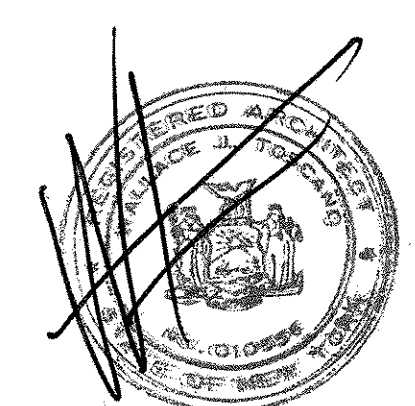
INSTRUCTIONS TO BIDDERS:

- 1. BIDS ARE DUE THREE WEEKS FROM THE RECEIPT OF THESE DRAWINGS. BIDS ARE TO BE SENT TO THE ARCHITECT'S OFFICE AND NOTED BY THE OWNER. 2. IT IS IMPERATIVE THAT YOU VISIT THE SITE AS TO FAMILIARIZE YOURSELF WITH THE PROJECT AND HOW IT RELATES TO THESE DRAWINGS. 3. ALL QUESTIONS AND COMMENTS REGARDING ANY PART OF THIS PROJECT ARE TO DIRECTED TO THE ARCHITECT AND NOT THE OWNER. THE GENERAL CONTRACTOR IS TO ESPECIALLY FOREWARN THE SUB-CONTRACTORS OF THIS REQUIREMENT. 4. MODIFICATION TO THESE DRAWINGS MAY BE NECESSARY BASED ON CONTRACTOR INPUT. THE ARCHITECT MAY NOT BE ABLE TO INVESTIGATE ALL PARTS OF THE EXISTING BUILDING DUE TO INACCESSIBILITY. THE ARCHITECT MAY WANT TO MODIFY DETAILS DUE TO CONTRACTOR INPUT. 5. THE CONTRACTOR IS TO USE AIA CONTRACT DOCUMENTS AND AIA (ABBREVIATED) FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR, AIA DOCUMENT C702 (APPLICATION AND CERTIFICATE FOR PAYMENT), AND AIA DOCUMENT C701 CHANGE ORDER FORM. 6. IF PROJECT INCLUDES KITCHEN, BATHROOM VANITY OR BUILT-IN CABINETRY, CONTRACTOR IS TO STATE IN HIS BID IF INSTALLATION IS INCLUDED. 7. DISCREPANCIES: BIDDERS, UPON SIGNING A CONTRACT FOR THE WORK, AGREE THAT EXCEPT FOR ITEMS BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE SIGNING, WHERE THERE IS A CONFLICT OR DISCREPANCY ON THE DRAWINGS, IN THE SPECIFICATIONS, WHICH INVOLVES THE CHOICE OF ONE OR MORE METHODS, SIZE THICKNESS, PROCEDURE, TECHNIQUE, EQUIPMENT, SEQUENCE ETC., THAT THEY HAVE INCLUDED IN HIS BASE BID THE MOST EXPENSIVE METHOD, SIZE THICKNESS, PROCEDURE, TECHNIQUE, EQUIPMENT, SEQUENCE ETC., AND THAT THE ARCHITECT IN HIS INTERPRETATION OF THE DRAWINGS AND SPECIFICATIONS IS FREE TO SELECT THE METHOD, SIZE THICKNESS, PROCEDURE, TECHNIQUE, EQUIPMENT, SEQUENCE ETC., WHICH THE ARCHITECT FEELS IS HIS BEST INTEREST OF THE PRODUCT. 8. IN THE CASE OF AN INCONSISTENCY BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM, THE BETTER QUALITY OR THE GREATER QUANTITY OR WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.

IT IS UNDERSTOOD AND AGREED THAT ALL PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND ALL ZONING ORDINANCES APPLY AND BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. NO CHANGES TO PLANS OR CONSTRUCTION DOCUMENTS SHALL BE MADE WITHOUT PRIOR APPROVAL OR THE ARCHITECT.

SYMBOLS:

- EXISTING CONSTRUCTION TO REMAIN (solid line)
EXISTING CONSTRUCTION TO BE REMOVED (dashed line)
NEW CONSTRUCTION (hatched area)
ELEVATION NO. DRAWING NO. (circle with number)
DETAIL OR SECTION DRAWING NO. (square with number)
FLOOR ELEVATION (circle with horizontal line)
DOOR NO. (square with circle)
EXISTING DOOR TO REMAIN (arc with number)
EXISTING DOOR TO REMAIN W/ NEW HARDWARE (arc with number and hatch)
WINDOW TYPE (square with circle and number)
NEW STRUCTURAL MEMBER (hatched area)
EXISTING DUPLEX RECEPTACLE TO REMAIN (circle with number and hatch)
NEW DUPLEX RECEPTACLE (circle with number)
NEW DOUBLE DUPLEX RECEPTACLE (circle with number and hatch)
GROUND FAULT INTERCEPTOR TYPE DUPLEX RECEPTACLE (circle with number and hatch)
DOWNLIGHT TO BE REMOVED (circle with number)
NEW DOWNLIGHT W/ TYPE PER FIXTURE SCHEDULE (circle with number)
NEW DOWNLIGHT W/ TYPE PER FIXTURE SCHEDULE (circle with number)
NEW WALL SCONCE LIGHT FIXTURE (circle with number)
NEW SINGLE POLE LIGHT SWITCH (circle with number)
NEW SINGLE POLE LIGHT SWITCH WITH DIMMER (circle with number)
NEW 3-WAY LIGHT SWITCH (circle with number)
NEW 3-WAY LIGHT SWITCH W/ DIMMER (circle with number)
NEW 4-WAY LIGHT SWITCH (circle with number)
SMOKE DETECTOR (circle with number)
TELEPHONE (circle with number)
HOSE BIB (circle with number)
OUTDOOR SPOT (MOTION DETECTOR) (circle with number)



ALTERATION TO THE RESIDENCE OF MR AND MRS L. NOVICK 5 EAST SEYMOUR PLACE ARMONK, NY 10504

WALLACE J. TOSCANO A.I.A. ARCHITECT

30 COTSWOLD DR NORTH SALEM, NY, 10560 914-329-1491 CELL ARCHWJT36@GMAIL.COM

OCT 01 2022



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 5 EAST SEYMOUR PLACE

### Section III- DESCRIPTION OF WORK:

INTERIOR CHANGE AND NEW  
COVERED FRONT PORCH

### Section III- CONTACT INFORMATION:

APPLICANT: WALLACE J. TOSCANO AIA  
ADDRESS: 30 COTSWOLD DR, N. SALEM NJ 10650  
PHONE: 914 329-1491 MOBILE: 329-1491 EMAIL: ARCHWJT36@GMAIL.COM

PROPERTY OWNER: MR & MRS L. NOVICK  
ADDRESS: 5 EAST SEYMOUR PLACE, ARMONK NY  
PHONE: 506 683 7234 MOBILE: LAN 5031@GMAIL.COM

PROFESSIONAL: WALLACE J. TOSCANO AIA  
ADDRESS: 30 COTSWOLD DR, N. SALEM NY  
PHONE: 914 329 1491 MOBILE: 914 329 1491  
EMAIL: ARCHWJT36@GMAIL.COM

### Section IV- PROPERTY INFORMATION:

Zone: 2A Tax ID (lot designation) 108-2-49-001





**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan:

NOVICK RESIDENCE

Initial Submittal  Revised Preliminary

Street Location:

E E. SEYMOUR PL

Zoning District:

2A

Property Acreage:

2.17

Tax Map Parcel ID:

108.02-49-001

Date:

10.2.22

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. *If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.*
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
 17 Bedford Road  
 Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

Application Name or Identifying Title: NOUCC RESIDENCE Date: 10.2.22  
 Tax Map Designation or Proposed Lot No.: 108.02-49-001

Gross Lot Coverage

- |     |  |               |
|-----|--|---------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>94,708</u> |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):  | <u>18,511</u> |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):   |               |
|     | <u>10</u> Distance principal home is beyond minimum front yard setback<br>$\times 10 =$ <u>100</u>                   | <u>100</u>    |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3   | <u>18,611</u> |
| 5.  | Amount of lot area covered by principal building:<br><u>2816</u> existing + <u>-</u> proposed =                      | <u>2816</u>   |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>-</u> existing + <u>-</u> proposed =                        | <u>-</u>      |
| 7.  | Amount of lot area covered by decks:<br><u>308</u> existing + <u>262</u> proposed =                                  | <u>570</u>    |
| 8.  | Amount of lot area covered by porches:<br><u>-</u> existing + <u>-</u> proposed =                                    | <u>-</u>      |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>1000</u> existing + <u>200</u> proposed =  | <u>1200</u>   |
| 10. | Amount of lot area covered by terraces:<br><u>-</u> existing + <u>-</u> proposed =                                   | <u>-</u>      |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>1600</u> existing + <u>-</u> proposed = | <u>1600</u>   |
| 12. | Amount of lot area covered by all other structures:<br><u>-</u> existing + <u>-</u> proposed =                       | <u>-</u>      |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 =  | <u>6486</u>   |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of the Registrar Preparing Worksheet



Date: 10.2.22

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots <sup>1</sup> (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

\*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

F:\PLAN6.0\Application Forms\GROSS LAND COVERAGE CALCULATIONS WORKSHEET 8-13-19.doc

Handwritten calculations:

$$\begin{array}{r}
 13,270 \\
 5,241 \\
 \hline
 18,511
 \end{array}$$

$$\begin{array}{r}
 94,708 \\
 87,720 \\
 \hline
 6988 \\
 \times 7.5 \\
 \hline
 5241
 \end{array}$$



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
 17 Bedford Road  
 Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
**Adam R. Kaufman, AICP**  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: NOUICK RESIDENCE 10.2.22  
 Tax Map Designation or Proposed Lot No.: 108.02-49-001

Floor Area

1.	Total Lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>94708</u>
2.	Maximum permitted floor area (per Section 355-26.B(4)):	<u>10401</u>
3.	Amount of floor area contained within first floor: existing + <u>2816</u> proposed =	<u>2816</u>
4.	Amount of floor area contained within second floor: existing + <u>760</u> proposed =	<u>760</u>
5.	Amount of floor area contained within garage: existing + <u>440</u> proposed =	<u>440</u>
6.	Amount of floor area contained within porches capable of being enclosed: existing + <u>270</u> proposed =	<u>270</u>
7.	Amount of floor area contained within basement (if applicable -- see definition): existing + <u>1260</u> proposed =	<u>1260</u>
8.	Amount of floor area contained within attic (if applicable -- see definition): existing + proposed =	<u>-</u>
9.	Amount of floor area contained within all accessory buildings: existing + proposed =	<u>-</u>
10.	Proposed floor area: Total of Lines 3 - 9 =	<u>5546</u>

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



10.2.22  
 Date



FIRST FL



BASEMENT

LOWER LEVEL

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings <sup>1</sup> (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

\*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

$\begin{array}{r} 10122 \\ 279 \\ \hline 10401 \end{array}$	$\begin{array}{r} 6988 \\ 04 \\ \hline 279 \end{array}$
---	---





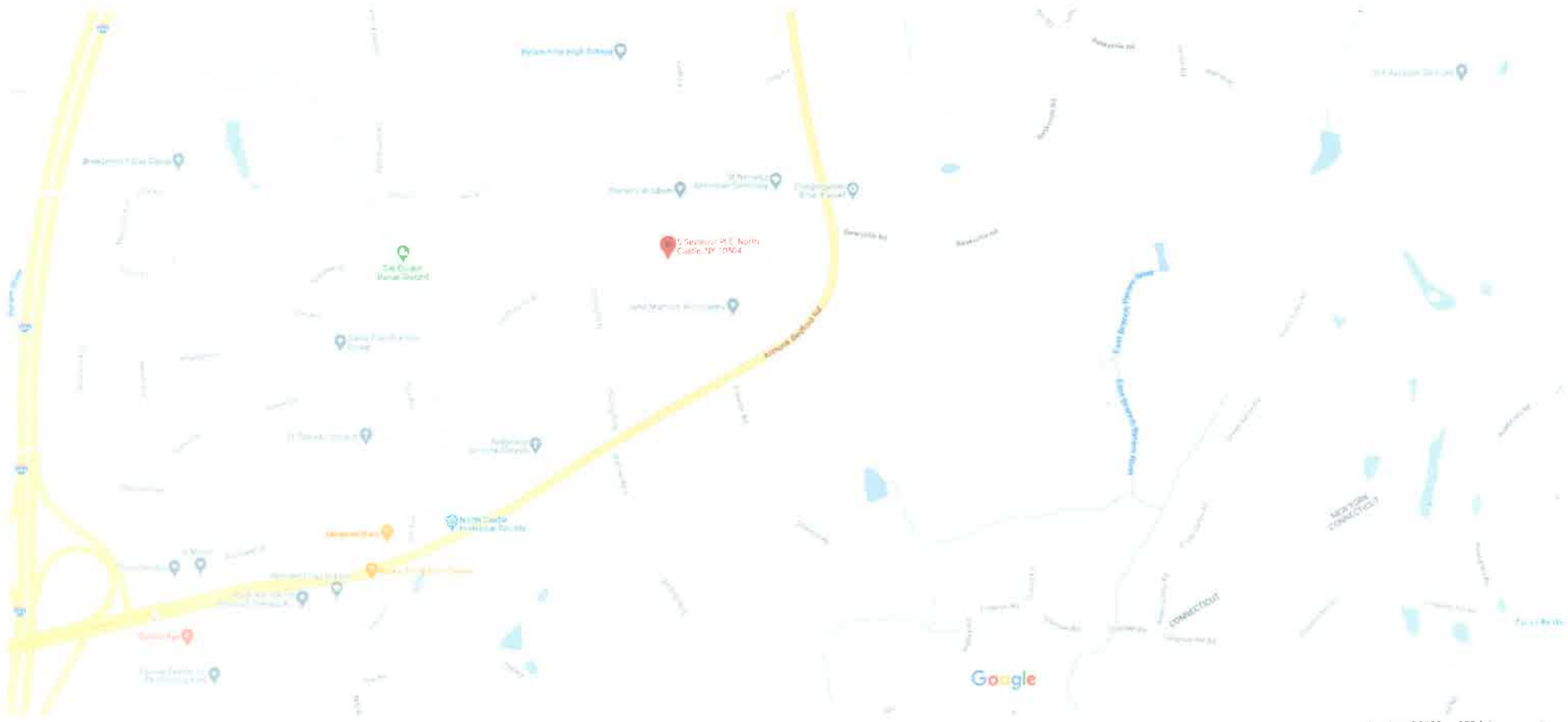








5 Seymour Pl E



5 Seymour Pl E  
Building



**Town of North Castle Building Department**

17 Bedford Road

Armonk, New York 10504-1898

Telephone: (914) 273-3000 ext. 44 Fax: (914) 273-3554

www.northcastleny.com

**Residential Building Permit Application**

NOTE: TWO (2) SETS OF ALL REQUIRED DOCUMENTS MUST BE SUBMITTED WITH THIS APPLICATION

**Section I-** PROJECT ADDRESS: 5 EAST SETMOUR PLACE DATE: 10.2.22

**Section II-** CONTACT INFORMATION: (Please print clearly. All information must be current.)

APPLICANT: WALLACE J. TOSCANO AIA

ADDRESS: 30 COTSWOLD DR N. SALEM, NY 10560

PHONE: 914 329-1491 MOBILE: \_\_\_\_\_ EMAIL: ARCHWJT36@GMAIL.COM

PROPERTY OWNER: MR & MRS L NOVICIC

ADDRESS: 5 EAST SETMOUR PLACE, ARMONK, NY

PHONE: 516-603-7234 MOBILE: \_\_\_\_\_ EMAIL: LAN5031@GMAIL.COM

**Section III-** DESCRIPTION OF WORK: (Any work conducted outside of the house requires approval from the RPRC unless the proposed action is minor in nature and complies with 355-26 C (3) of the Town of North Castle code.)

INTERIOR CHANGES AND ADDING NEW  
BOUNDED FRONT PORCH

**Section IV-** FILLING & ROCK CHIPPING:

1. Will there be any fill/ bank run brought in?  No

Yes, how many yards of fill over 50 yards? \_\_\_\_\_

Yes, how many yards of run of bank, subbase bedding, road base and trench back fill over 250 yards? \_\_\_\_\_

B. Will there be any rock chipping?  No  If Yes, Please file a Rock Chipping application.

**Section V-** USE AND OCCUPANCY:  Single Family  Two Family

**Section VI-** PERMIT FEES : (\$100 app fee plus \$14 per \$1000, cost of construction rounded up and a \$75 CO fee. Fill will be assessed at \$125 plus \$3 per yard. All fees are doubled when legalizing work.)

ESTIMATED COST OF CONSTRUCTION (Based on fair market value labor & material) \$ \$150,000

1 \$2100

# Town of North Castle Building Department

## Section V- (Continued)

WALLACE TOSCANO do hereby affirm and certify as follows: (i) I am the architect/engineer (circle one) licensed by the State of New York; (ii) I have reviewed the plans, drawings and specifications for this application and am fully familiar with the proposed construction; (iii) based on my experience, I estimate the total cost of construction including all labor, all materials, all professional fees and all associated costs to be approximately \$ 150,000; and (iv) pursuant to Penal Law 210.45, I acknowledge that a false statement made knowingly is a Class A misdemeanor.

Signature: \_\_\_\_\_

Date: 10.2.22



Sign and Affix Seal Here

## Section VI- CONTACT INFORMATION: (Please print clearly. All information must be current)

ARCHITECT/ ENG: WALLACE J. TOSCANO AIA  
ADDRESS: 30 COTSWOLD DR, N. SALEM, NJ 10560  
PHONE: \_\_\_\_\_ MOBILE: 914-309-1491  
EMAIL: ARCHWT36@GMAIL.COM  
CONTRACTOR: NA

ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

PLUMBER: NA

ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ELECTRICIAN: NA

ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## Section VII- APPLICANT CERTIFICATION

I hereby certify that I have read the instructions & examined this application and know the same to be true & correct. All provisions of laws & ordinances covering this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or land use or the performance of construction.

Signature: \_\_\_\_\_

Date: 10.2.22

**Town of North Castle Building Department**

**Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION: (To be notarized)**

STATE OF NEW YORK )  
COUNTY OF WESTCHESTER ) SS:

The applicant WALLACE J. TOSCANO has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Lee Novick Owner's Signature [Signature]  
Sworn to before me this 06 day of October, 2022

**ANTONIA BALBUENA**  
Notary Public, State of New York  
No. 01BA6330622  
Qualified in Bronx County  
Commission Expires Sept. 24, 2023

**OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE**

Zone: \_\_\_\_\_ Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

**Building Department Checklist:**

- Does this permit require RPRC approval?  Yes  No
- GC License  Work. Comp.  Liability. Ins.  Disability  Two sets of documents
- Permit Fee \_\_\_\_\_ Payment:  Check # \_\_\_\_\_  Cash
- Name on check: \_\_\_\_\_

Received By: \_\_\_\_\_ Application No.: \_\_\_\_\_

**BUILDING INSPECTOR APPROVAL**

- Has all the conditions of the RPRC been met?  Yes
- Is a Flood Development permit required?  Yes  No

Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

Building Inspector Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Conditions: \_\_\_\_\_



Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	