

LOCATION MAP
N.T.S.

LEGEND:

- Existing Contours
- Proposed Contours

SOIL LEGEND

- Soil boundary
- CrC : Charlton-Chatfield complex, hilly, very rocky
- PnB : Paxton fine sandy loam, 2 to 8 percent slopes
- PnC : Paxton fine sandy loam, 8 to 15 percent slopes
- RdB : Ridgebury loam, 3 to 8 percent slopes
- Sh : Sun loam

SEPTIC SYSTEM NOTES:

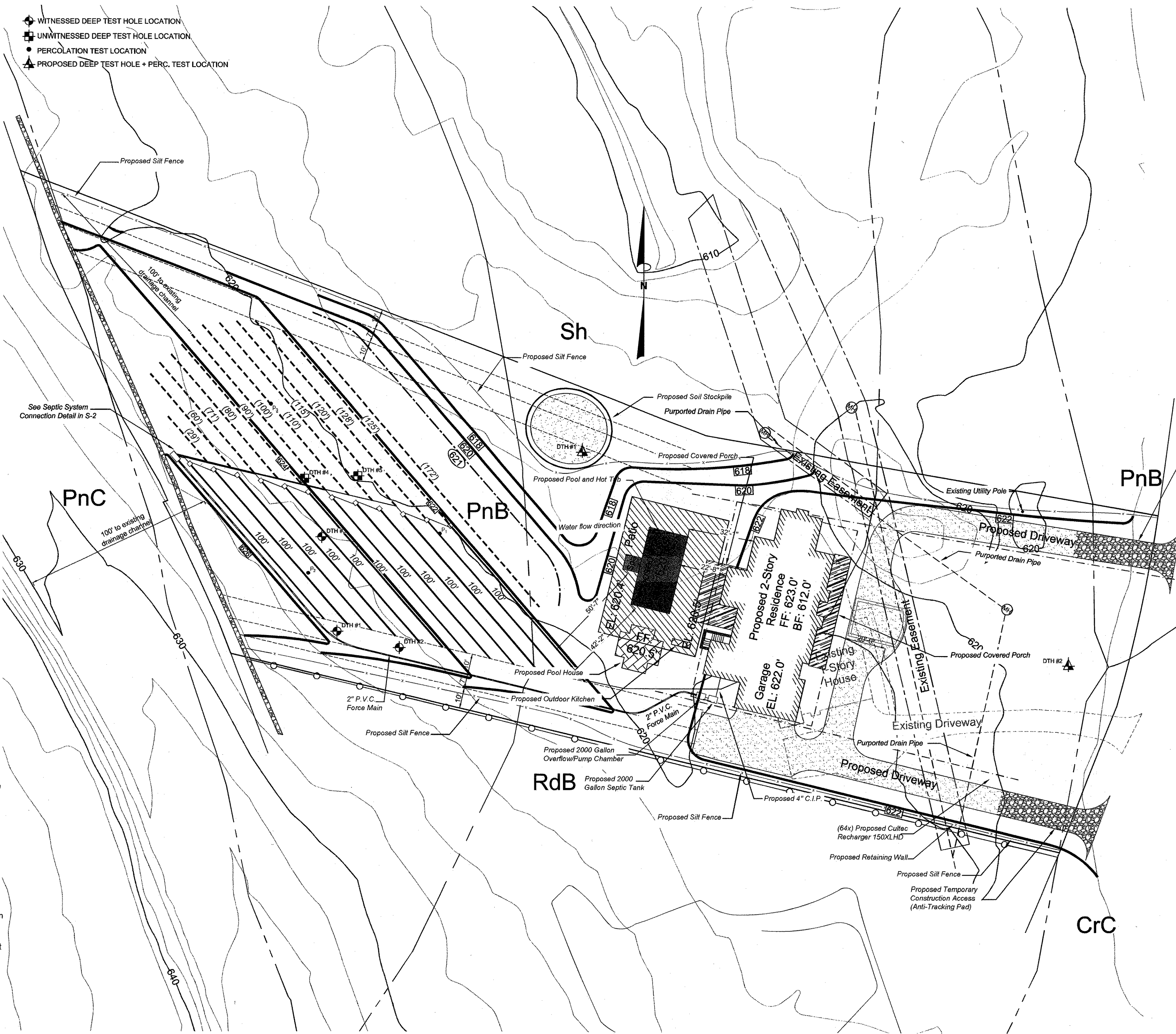
- 6-Bedroom residential system
- 1,200 L.F. of 24" trench
- Minimum 7" O.C.
- 2,000 gallon septic tank
- 2' Bankrun fill required, based on Deep Test Results (DTH)
- 13 Junction boxes (J.B.) with end caps
- Design Flow: 660 gallons per day (G.P.D.)
- Slope at OWTS Area: 5% (Average)
- Watershed Designation: Long Island Sound (not NYC)
- Area of Disturbance (Approximate Total): 76,611.3 sq. ft. (1.76 Ac) ±

PERCOLATION TEST RESULTS (minutes/inch)	
Septic System	
P ₁	42.0
P ₂	30.0
P ₃	42.0

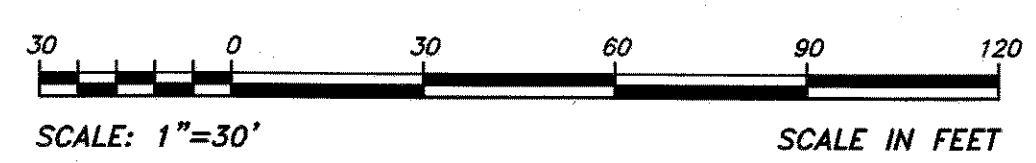
GENERAL NOTES:

1. As per Westchester County Code of Ordinance Sec. 873.729. When a public sanitary sewer shall become available to the property so served, a direct connection shall be made to such public sanitary sewer and any onsite wastewater treatment system shall be abandoned and every tank or pit in such system shall be opened, emptied of any sewage and completely filled with inert material.
 2. The owner of the property acknowledges that the Town of North Castle and other agencies having jurisdiction shall have the right to enter the property at reasonable times and in a reasonable manner for purposes of inspection.
 3. Each contractor who will be involved in a land development activity must have proof that he/she has received training and/or certification in proper erosion and sedimentation control practices.
 4. For each truck delivering fill to the above-mentioned site, a Manifest shall be submitted and signed by the owner and/or engineer indicating the following:
 - a) Delivery date
 - b) Origin of fill
 - c) Type of fill
 - d) Certification by a New York State Licensed Professional Engineer that the fill delivered is in compliance with paragraph 360-7.1(b)(1) of 6 NYCRR Part 360 - Solid Waste Management.
- Note: If the fill material, as determined by the Town of North Castle, is considered to be non-exempt material as per paragraph 306-7.1(b)(1) of 6 NYCRR Part 360 - Solid Waste Management then the property owner and/or engineer may be required to perform and/or submit additional information.
5. Upon completion of the project an As-Built Site Plan will be submitted showing the all improvements including the location of the Water Service Line and the Sewer Force main.

- WITNESSED DEEP TEST HOLE LOCATION
- UNWITNESSED DEEP TEST HOLE LOCATION
- PERCOLATION TEST LOCATION
- PROPOSED DEEP TEST HOLE + PERC. TEST LOCATION



PROPOSED SITE PLAN
SCALE: 1" = 30'



GENERAL NOTES:

1. There shall be no trees within 10 feet of the OWTS (Onsite Wastewater Treatment System).
2. There are no wells within 200' of OWTS unless otherwise shown on plan.
3. The proposed OWTS areas shall be isolated and protected against damage by erosion, storage of earth or materials, displacement, compaction or other adverse physical change in the characteristics of the soil or in the drainage of the area.
4. If for any reason the approved construction plan can not be followed, a revised plan must be prepared, submitted, and approved by WCDH.
5. The design professional shall supervise the construction of the OWTS and make an open works inspection.
6. Within 24-hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health (WCDH) that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to WCDH.
7. That no backfilling of a completed OWTS can occur until after it has been inspected and accepted by the Westchester County Department of Health.
8. After backfilling the OWTS, the area shall be covered with a minimum of 4 inches of clean top soil, seeded and mulched.
9. The installation of the OWTS shall be in accordance with the Rules and Regulations for the Design and Construction of Residential Subsurface Sewage Treatment Systems and Drilled Wells in Westchester County, NY.
10. All pipes connecting to tank and boxes shall be cut flush with the inside wall of box.
11. The proposed OWTS shall be installed by a Westchester County licensed septic contractor.
12. Prior to any excavation all underground utilities must be located. Call 1-800-962-7962 (Dig Safely). (<http://www.digsafelynewyork.com>)
13. The Westchester County Department of Health approval expires one year from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the department. There are no sources of contamination within 200 feet of the proposed well (where new wells are proposed).
14. There are no Reservoirs, Reservoir stems or controlled lake within 500 feet of the proposed OWTS unless otherwise shown on plan.
15. There are no NYSDEC wetlands or watercourses within 200 feet of the proposed OWTS unless otherwise shown on plan.
16. NYCDEP must be contacted at least two days prior to start of construction of the OWTS so that the NYCDEP may inspect and monitor the installation.
17. All gravel used for trench construction must be thoroughly washed prior to installation.
18. Unauthorized alteration or addition to this drawing is a violation of Sec. 7209, Subdivision 2 of the New York State Education Law.
19. I will supervise construction of the sewage treatment system on this site for conformation to the department of health rules and regulations.

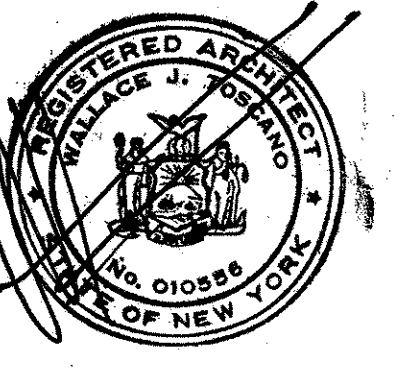
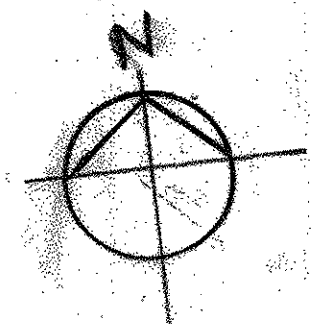
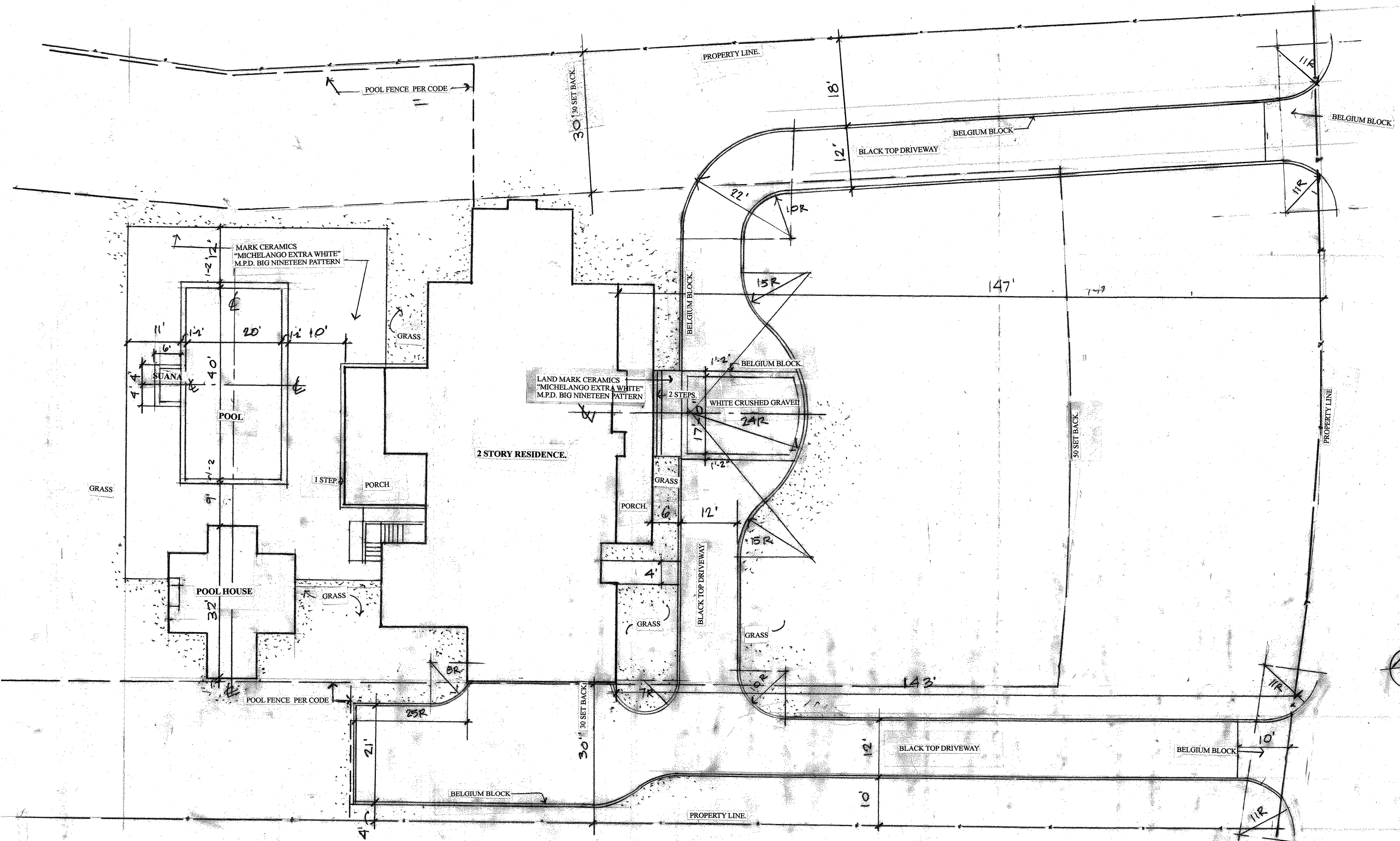
Applicant/Owner:
Greg & Elissa Weinhoff
3 Maple Way
North Castle, NY 10504

Site Address:
3 Maple Way
North Castle, NY 10504

Note:
Unauthorized alterations or additions to this drawing are a violation of Section 7209(2) of the New York State Education Law.

Note:
Topography from Westchester County Mapping and site survey. Accuracy of completion of sub-surface information is not certified.

DATE									
REVISIONS									
No.									
<p>PROPOSED SEPTIC PLAN</p> <p>Prepared for Greg & Elissa Weinhoff 3 Maple Way North Castle, NY 10504</p> <p>Town of North Castle Tax. Map: Sh. 101.04, Bk. 2, Lot 74 Date: 04/12/2022</p>									
<p>CAMPBELL ENGINEERING</p> <p>Civil Engineers Hydrology, Land Planners Sanitary and Storm Sewers Water Supply and Sewage Disposal</p> <p>Michael H. Campbell, P.E. 5 Schuman Road Millwood, NY 10546</p> <p>Michael@914engineer.com (914) 238-9655 Fax (914) 238-9495</p>									
<p>SCALE: AS NOTED</p> <p style="font-size: 2em; font-weight: bold;">27</p> <p style="font-size: 2em; font-weight: bold;">S-1</p> <p style="text-align: right;">SHEET 1 OF 4</p>									



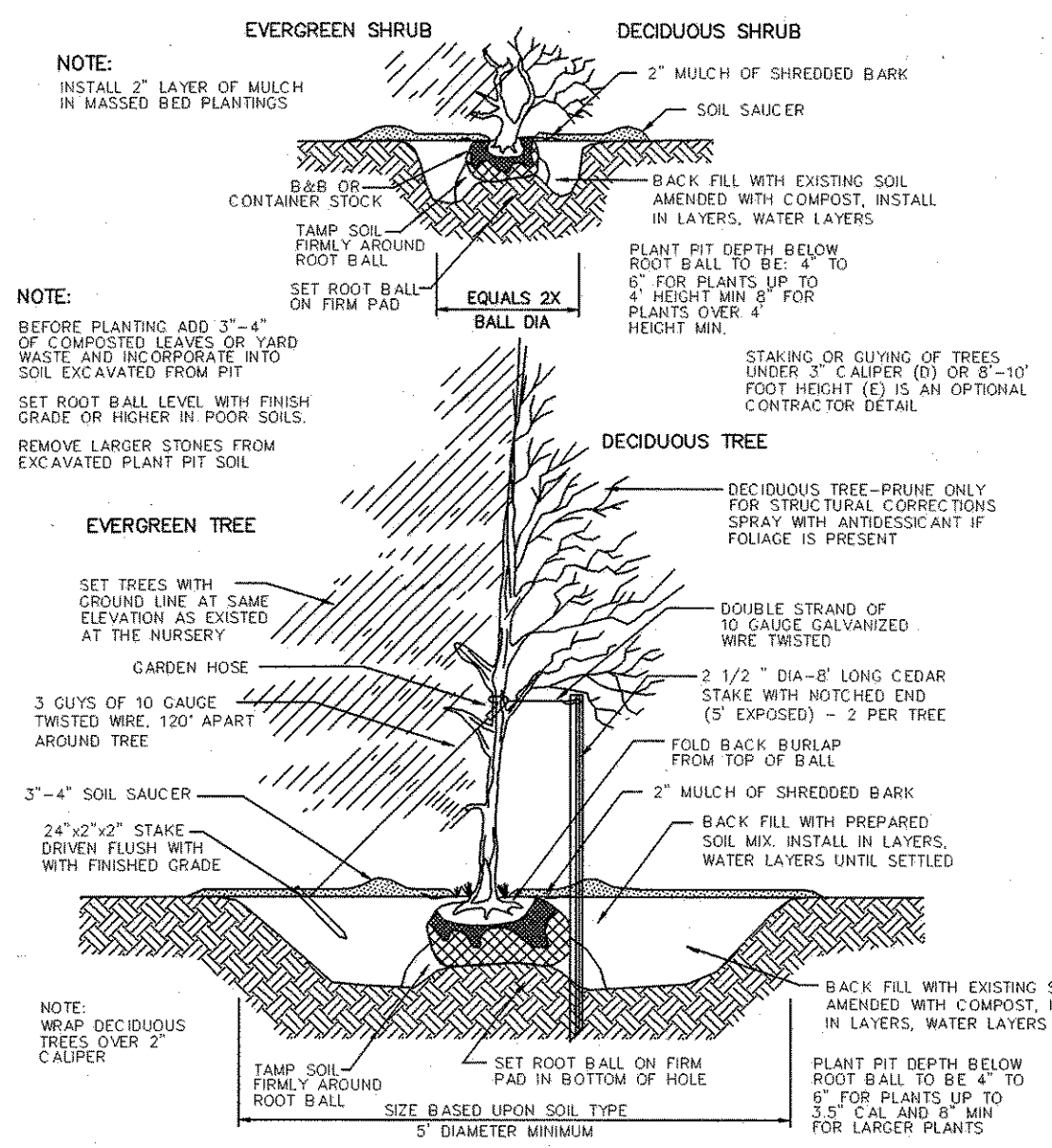
SITE LOCATION LAYOUT

A RESIDENCE FOR
 DR AND MRS G. WEINHOFF
 3 MAPLE WAY
 ARMONK, NY 10564

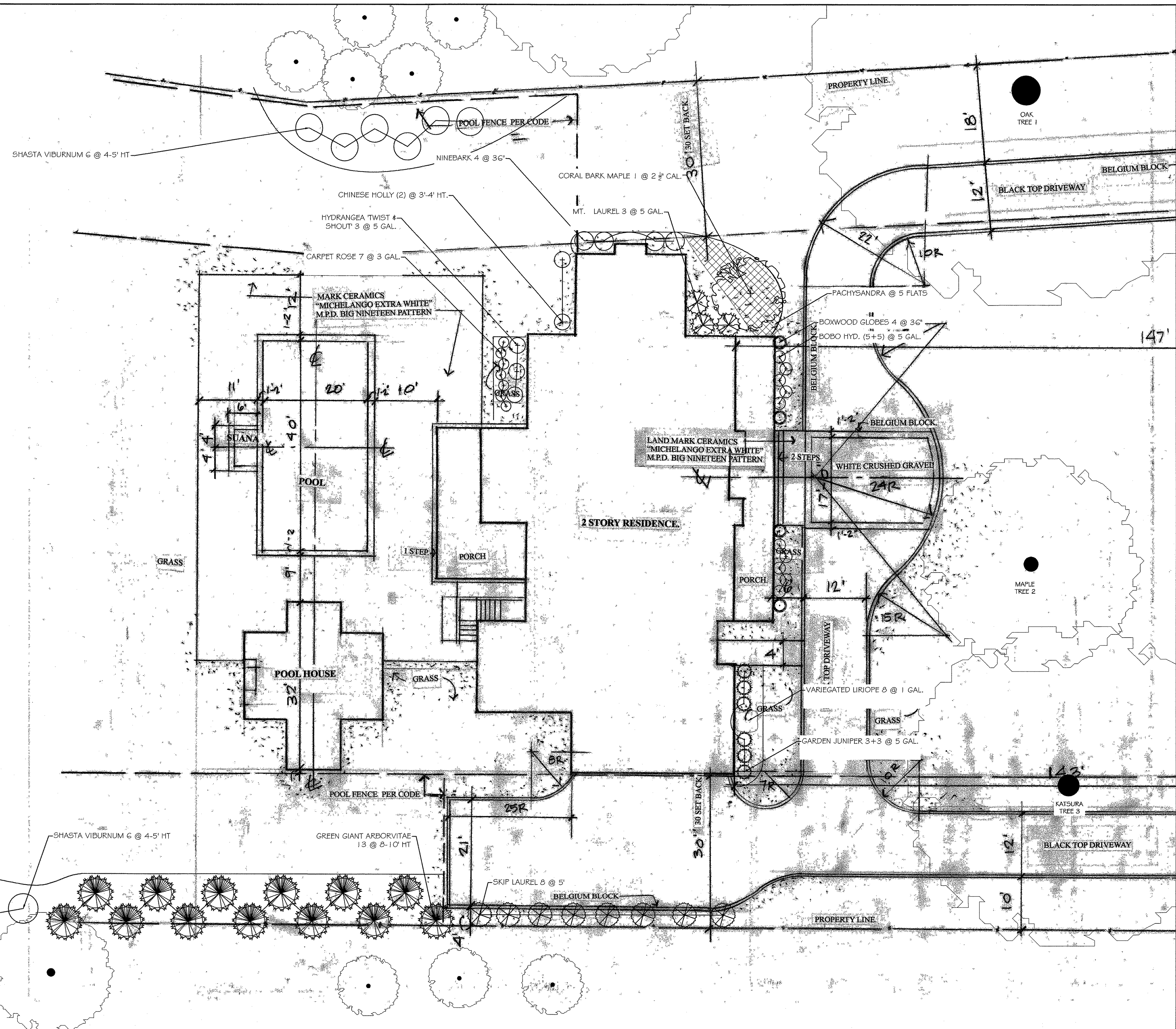
WALLACE J. TOSCANO A.I.A.
 ARCHITECT

30 COTTSMOULD DR
 NORTH SALEM, NY 10550
 914-339-1401 CELL
 ARCHWJTS@GMAIL.COM

TREE REMOVAL SCHEDULE (3 MAPLE WAY)				
TREE #	SIZE	TYPE	CONDITION	NOTES
TR # 1	X	OAK	GOOD	REMAIN
TR # 2	X	MAPLE	GOOD	REMAIN
TR # 3	X	KATSURA	GOOD	REMAIN
TR # 4	X	MAPLE	GOOD	REMOVE
TR # 5	X	MAPLE	GOOD	REMOVE
TR # 6	X	MAPLE	GOOD	REMAIN
TR # 7	X	MAPLE	GOOD	REMAIN

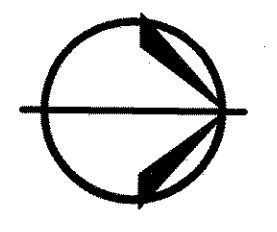


TREE AND SHRUB PLANTING DETAIL
NOT TO SCALE



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ALTERATION OF THIS DRAWING, EXCEPT IF DONE BY OR UNDER THE DIRECTION OF THE LICENSED L.A. THAT PREPARED THEM, IS A VIOLATION OF NYS EDUCATION LAW.



REVISION DATE

WEINHOFF RESIDENCE

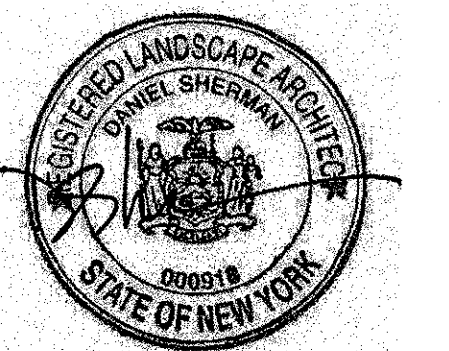
3 MAPLE WAY
ARMONK, NY 10504

SITE PLANTING PLAN

DANIEL SHERMAN
LANDSCAPE ARCHITECT
4 BROADWAY - SUITE 9
VALHALLA, NY 10595

PHONE: (914) 824-0999
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com
www.danshermanlandscape.com



Plant Name	Quantity	Size
Trees		
<i>Thuja standishii</i> x <i>plicata</i> 'Green Giant'	13	8-10' HT
<i>Acer palmatum</i> 'Sango-kaku'	1	2 1/2" Cal.
Shrubs		
<i>Buxus sempervirens</i> 'Globe'	4	36"
<i>Rosa</i> x <i>Noire</i> 'RED FLOWER CARPET'	7	8 Gal.
<i>Juniperus procumbens</i>	6	5 Gal.
<i>Hydrangea Bobol</i>	10	5 Gal.
<i>Hydrangea macrophylla</i>	3	5 Gal.
<i>Kalmia latifolia</i>	3	5 Gal.
<i>Physocarpus opulifolius</i>	4	36"
<i>Pachysandra terminalis</i>	5 flats	
<i>Viburnum plicatum</i> var. <i>tomentosum</i>	12	4-5 HT
<i>Prunus laurocerasus</i> 'Schipkaensis'	6	5'
Perennials		
<i>Liriope muscari</i> 'Variegata'	8	1 GAL.

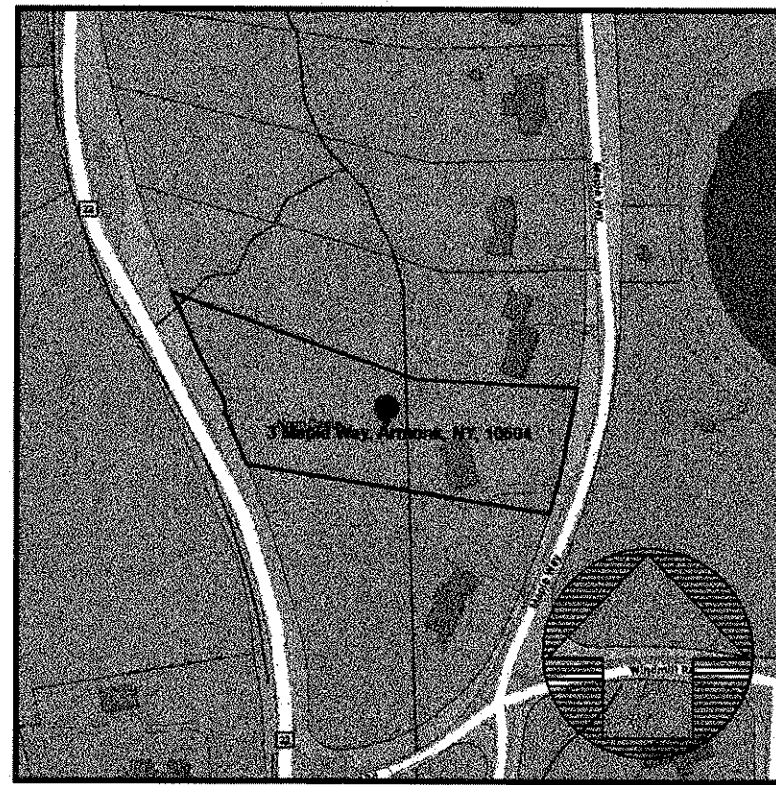
DATE: OCT. 18, 2022

SCALE: 1" = 10' - 0"

DRAWN BY: AL # YP

DRAWING #: L - 1

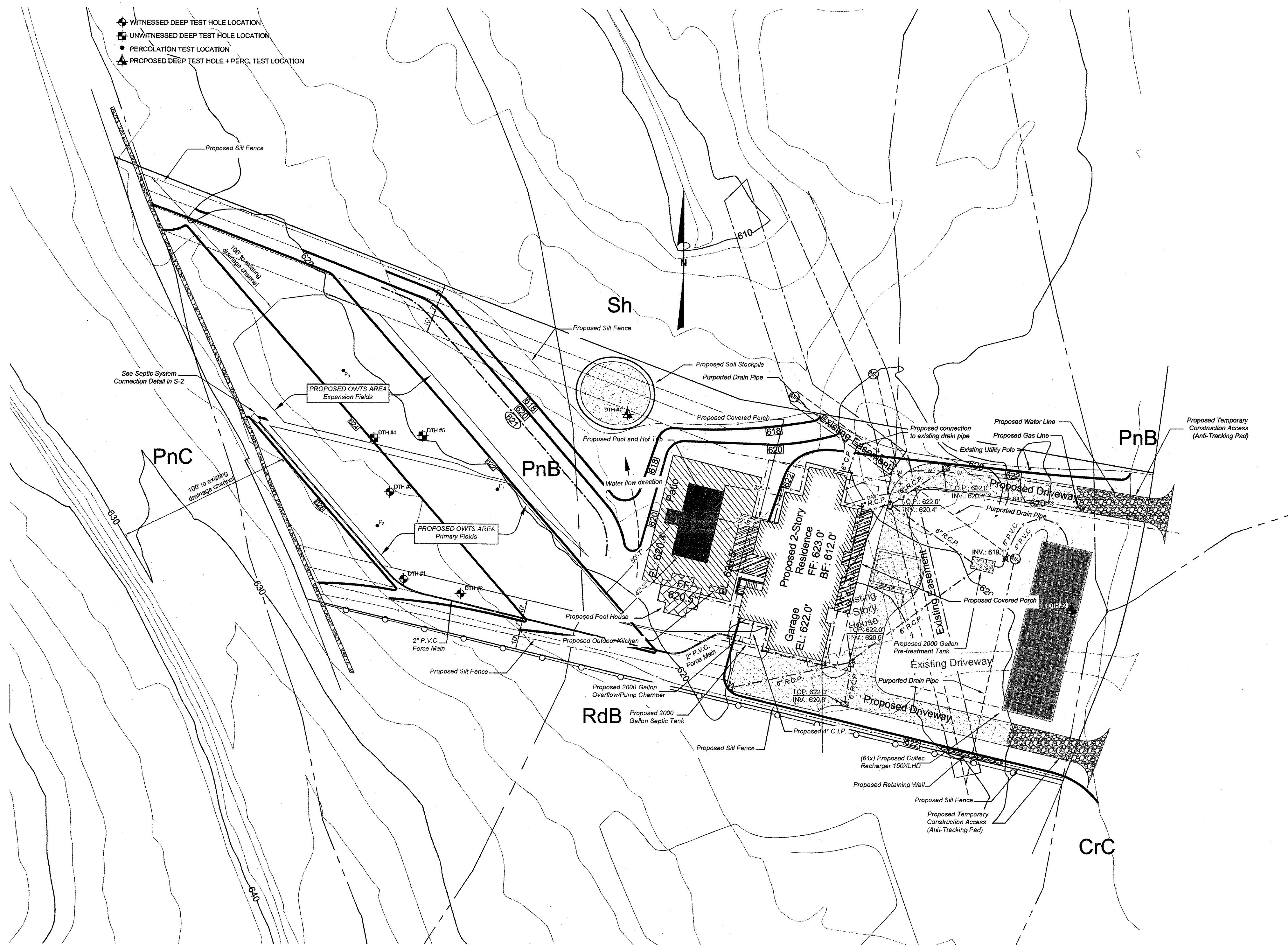
26



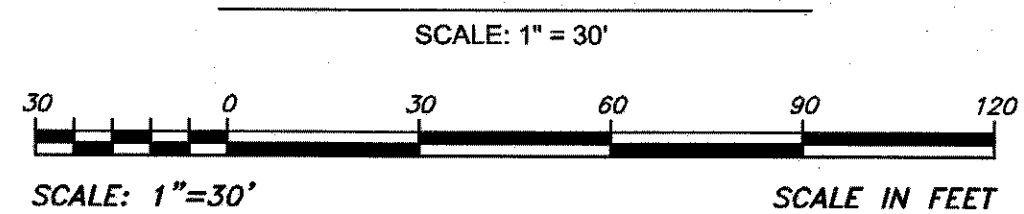
LOCATION MAP
N.T.S.

LEGEND:
Existing Contours
Proposed Contours

SOIL LEGEND
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RdB : Ridgebury loam, 3 to 8 percent slopes
Sh : Sun loam



PROPOSED SITE PLAN



Applicant/Owner:
Greg & Elissa Weinhoff
3 Maple Way
North Castle, NY 10504

Site Address:
3 Maple Way
North Castle, NY 10504

Note:
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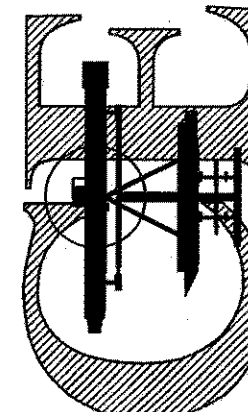
No.	GENERAL REVISIONS	REVISIONS	DATE
1			10-07-22

PROPOSED DRAINAGE PLAN

Prepared for
Greg & Elissa Weinhoff
3 Maple Way
North Castle, NY 10504
Westchester Co., N.Y.
Tax Map: Shl. 101.04, Bk. 2, Lot 74
Date: 04/12/2022

CAMPBELL ENGINEERING

Civil Engineers
Hydrology, Land Planners
Sanitary and Storm Sewers
Water Supply and Sewage Disposal
Michael H. Campbell, PE
5 Schuman Road
Millwood, NY 10546
Michael@campbelleng.com
614.238.3555
Fax: (914) 238-3435



SCALE: AS NOTED

29

SHEET 3 OF 4

D-1

Note:
Topography from Westchester County Mapping and site survey. Accuracy of, or completion of sub-surface information is not certified.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

BUILDING DEPARTMENT
Robert Melillo
Building/ Fire inspector

Telephone: (914) 273-3000 ext. 44
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: WEINHOFF RESIDENCE Date: 9.20.22
 Tax Map Designation or Proposed Lot No.: 101.04-2-74

Gross Lot Coverage

- | | | |
|-----|--|--------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87200</u> \pm |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>13870</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback | <u>900</u> |
| | <u>90</u> x 10 = | |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>14770</u> |
| 5. | Amount of lot area covered by principal building:
_____ existing + <u>3046</u> proposed = | <u>3046</u> |
| 6. | Amount of lot area covered by accessory buildings:
_____ existing + <u>624</u> proposed = | <u>624</u> |
| 7. | Amount of lot area covered by decks:
_____ existing + <u>1956</u> proposed = | <u>1956</u> |
| 8. | Amount of lot area covered by porches:
_____ existing + <u>920</u> proposed = | <u>920</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
_____ existing + <u>5820</u> proposed = | <u>5820</u> |
| 10. | Amount of lot area covered by terraces:
_____ existing + <u>—</u> proposed = | <u>—</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
_____ existing + <u>800</u> proposed = | <u>800</u> |
| 12. | Amount of lot area covered by all other structures:
_____ existing + _____ proposed = | <u>—</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 = | <u>13160</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

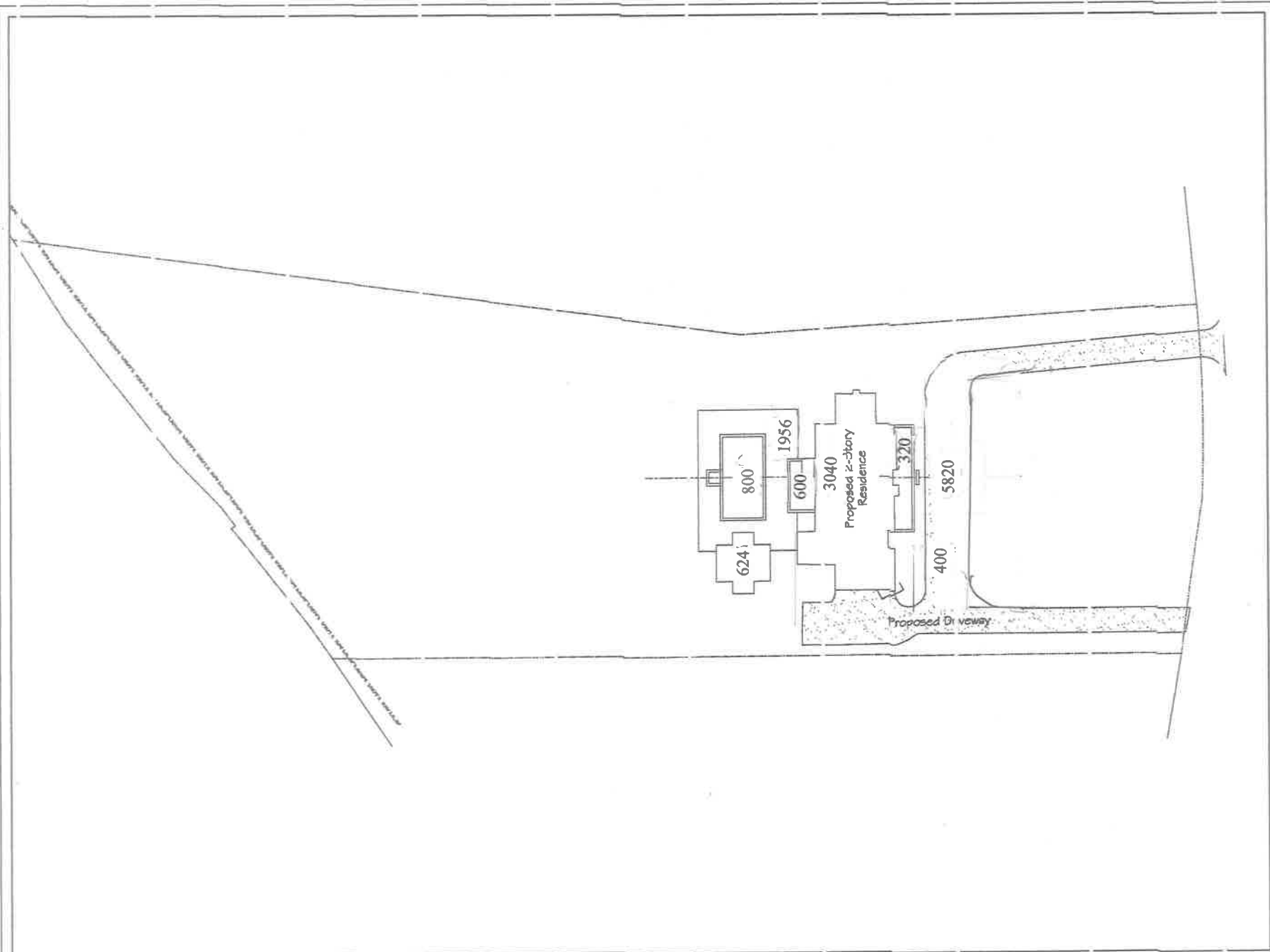
Signature and Seal of Professional Preparing Worksheet



Date 9.20.22

ALL RIGHTS RESERVED. COPY & REPRODUCTION OF THIS PLAN OR ANY PORTION THEREOF IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

CONCEPT OF THIS DESIGN IS SUBJECT TO CHANGE WITHOUT NOTICE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.



REVISION	DATE

**WEINI LOFF
RESIDENCE**

3 MAN : WAY
ARMONK, NY 10504

**CONCEPT
PLAN**

**DANIEL SHEI MAN
LANDSCAPE ARCHITECT**
4 BROOKHURST - SUITE 9
VALHALLA, NY 10585
PHONE: (914) 824-0999
FAX: (914) 824-0211
dan.sheiman@verizon.net
www.danheimanlandscape.com

DATE:	SCALE:
AUG. 3, 2022	1" = 10' - 0"

DRAWN BY:	DRAWING #
AL	L - 1



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: WEINHOFF RESIDENCE Date: 9.20.22

Tax Map Designation or Proposed Lot No.: 101.04-2-74

Floor Area

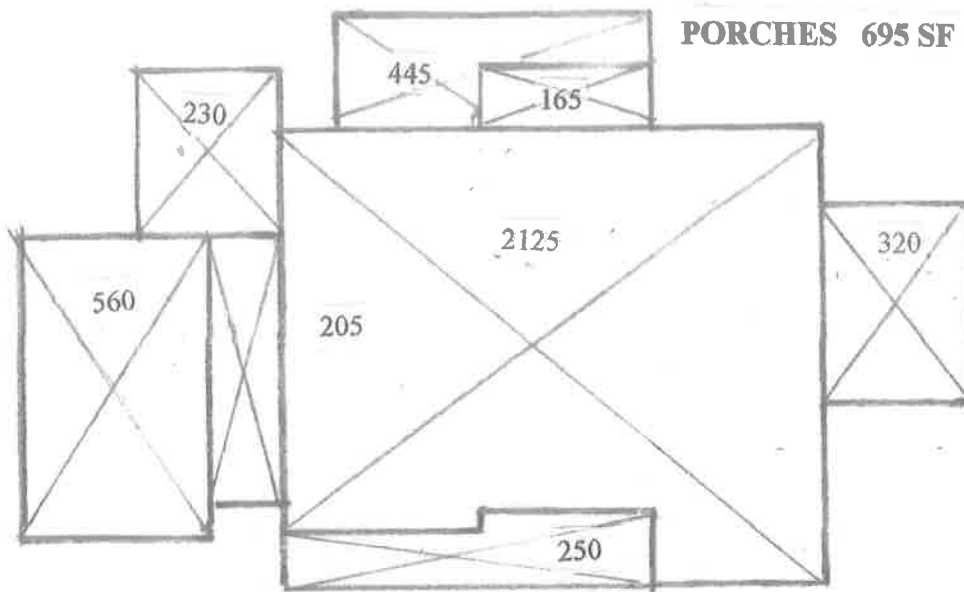
- | | | |
|-----|---|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>87,200</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>10,450</u> |
| 3. | Amount of floor area contained within first floor:
<input checked="" type="checkbox"/> existing + <u>3045</u> proposed = | <u>3045</u> |
| 4. | Amount of floor area contained within second floor:
<input type="checkbox"/> existing + <u>2900</u> proposed = | <u>2900</u> |
| 5. | Amount of floor area contained within garage:
<input checked="" type="checkbox"/> existing + <u>560</u> proposed = | <u>560</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<input type="checkbox"/> existing + <u>695</u> proposed = | <u>695</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<input checked="" type="checkbox"/> existing + <u>2570</u> proposed = | <u>2570</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<input checked="" type="checkbox"/> existing + <input type="checkbox"/> proposed = | <u>—</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<input checked="" type="checkbox"/> existing + <u>600</u> proposed = | <u>600</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>10,370</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

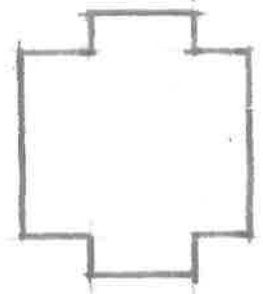

 Signature and Seal of Professional Preparing Worksheet



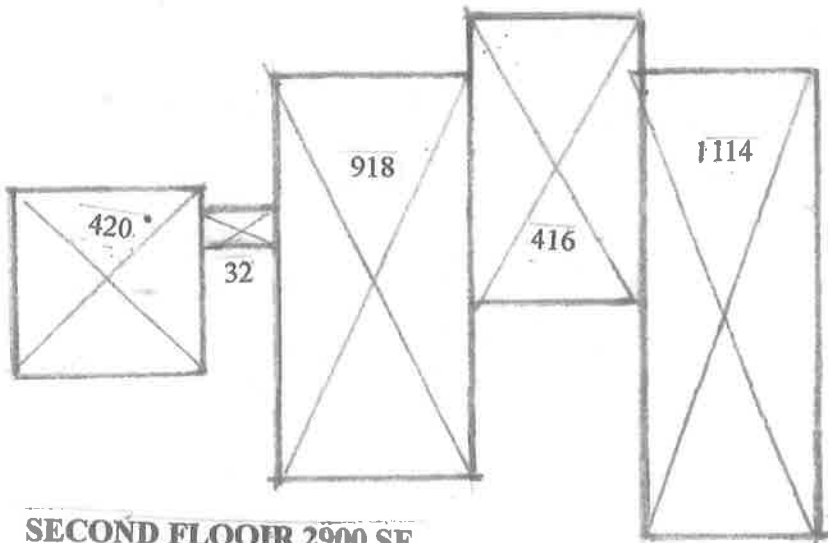
9.20.22
 Date



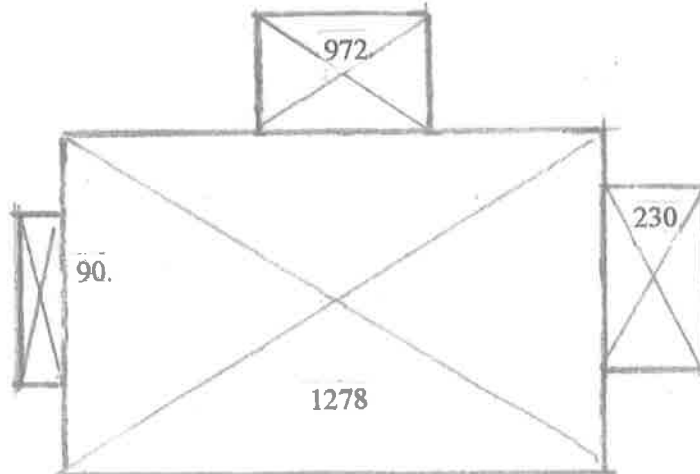
FIRST FLOOR 3045 SF



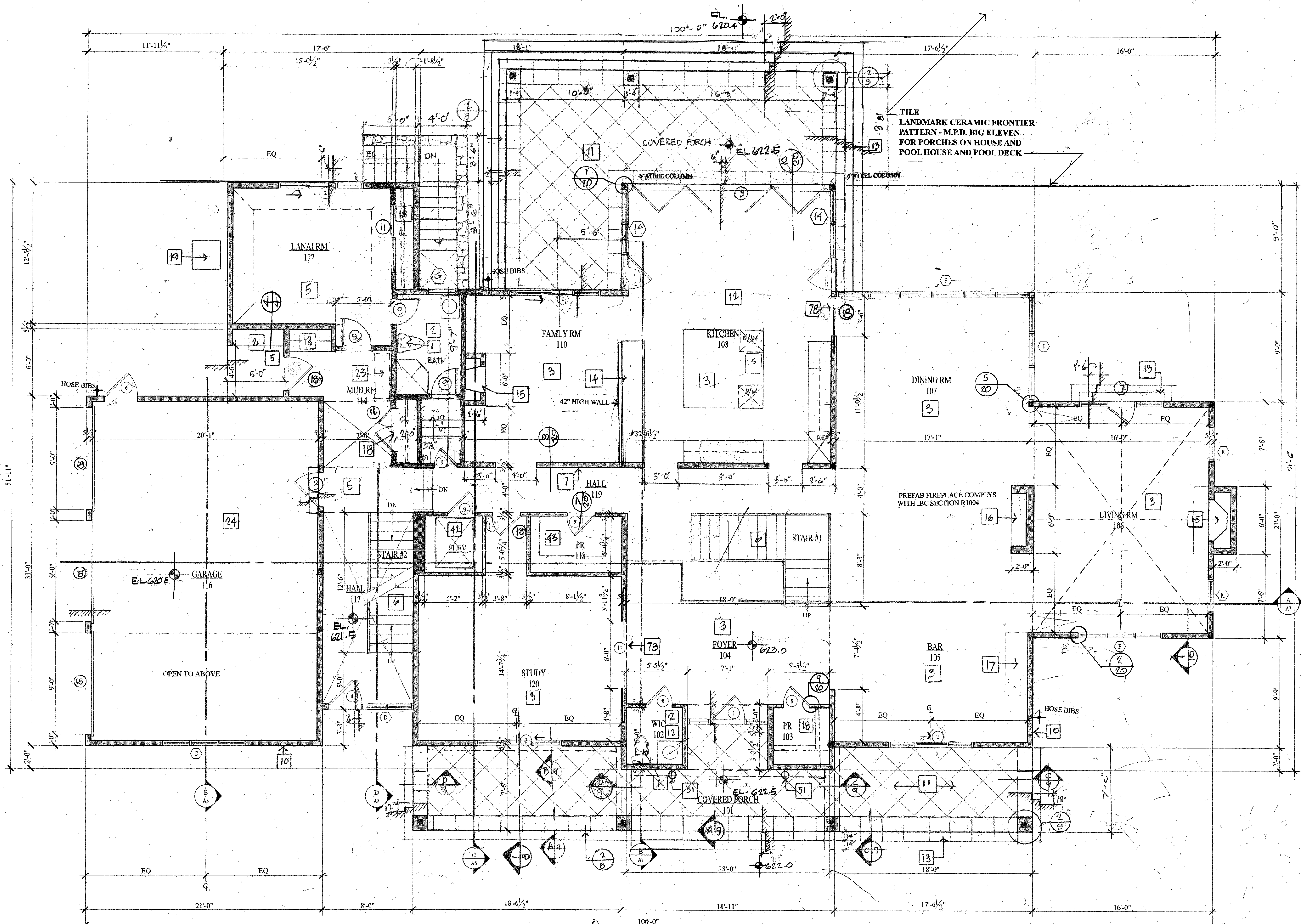
POOL HOUSE. 600SF.



SECOND FLOOR 2900 SF



BASEMENT 2570 SF



1 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Manual J Design Criteria

Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
292	43 8' 32"	22	87	None	72	75	60
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
22.5			72	M			

Table R301.2(1)

Climatic and Geographic Design Criteria

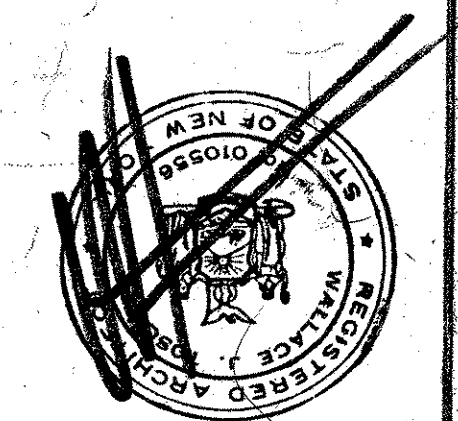
GROUND SNOW LOAD	WIND DESIGN		SERVIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED + (mph)	TOPOGRAPHIC EFFECTS		WEATHERING	FROST LINE DEPTH	TERMITE					
30	25	No	B	Severe	42"	Very Heavy	30	Yes	Yes	1800 or less	50

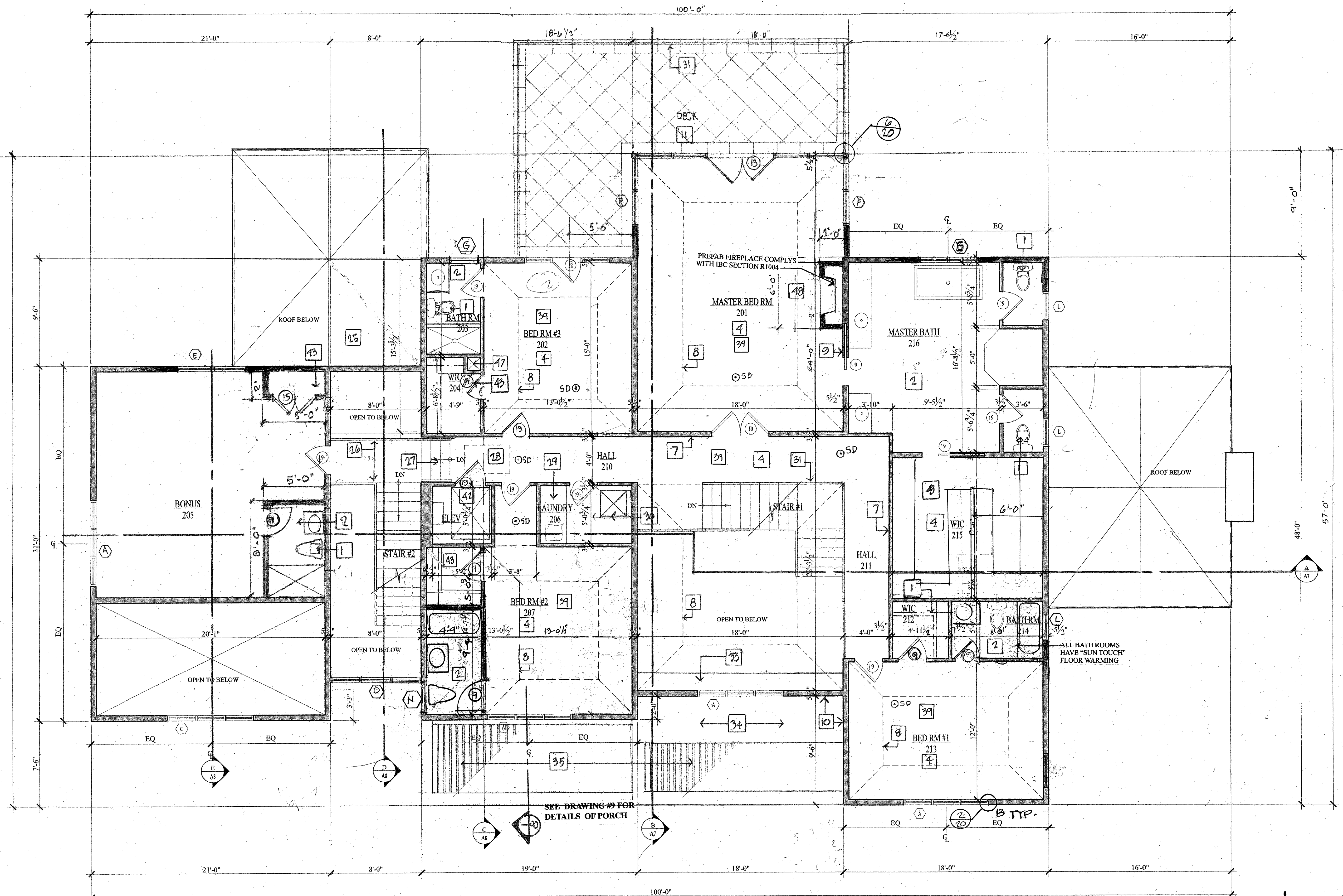
- 1 PANASONIC EXHAUST FAN FV08VQ3 80 CFM
- 2 ALL BATHROOM FIXTURES AND FLOOR AND WALL FINISHES BY OWNER
- 3 WOOD PARQUET FLOOR BY OWNER TO DETERMINE PATTERN AND FINISH
- 4 CARPET BY OWNER OVER PLYWOOD TILE FLOOR BY OWNER
- 5 SEE SHEET 9 FOR RETAILS
- 7 INTERIOR WALLS 2 X 4 - 16" OC WITH 1/2" SOUND INSULATE AT ALL ROOM BATHROOM AND POWDER ROOM WALLS
- 8 TRAY CEILING
- 9 SLIDING DOOR
- 10 ALL EXTERIOR WALLS 2 X 6 - 16" OC FULL FOAM INSULATION 1/2" D W 3/4" PLYWOOD MARINE GRADE WITH BUILDING PAPER OVER FIRST FLOOR - HARDIE BOARD 1 X 6 SMOOTH LAP SIDING - NAVJO BEIGE SECOND FLOOR - HARDIE BOARD AND BATTEN 16" OC BATTENS CUT DOWN TO 1 X 2 PAINT CUT EDGE COLOR FOR CUT EDGE TO BE NAVJO BEIGE
- 11 TILE FLOOR 18 X 18 *****
- 12 ALL APPL. TILE, CABINETS AND EQUIPMENT BY OWNER
- 13 STEPS 14" WIDE. SEE DETAIL
- 14 CABINET BY OWNER
- 15 WOOD BURNING FIREPLACE - WOODLAND DIRECT MAJESTIC BILTMORE 42" WIDE FAMILY ROOM 36" WIDE GAS FIREPLACE BY OWNER
- 17 BAR BY OWNER
- 18 CLOTH POLE AND SHELF
- 19 CONDENSER PAD 42 X 42 - 6" CONC WITH 4 #5 BARS EACH WAY
- 20 SKYLIGHT SEE DETAIL SHEET 6A
- 21 SEE DETAIL FOR BENCH SHELF
- 22 KITCHENETTE BY OWNER
- 23 CABINET BY OWNER
- 24 6" CONC SLAB W 4 X 4 WWF ON 6" GRAVEL ON COMPACTED FILL - SLOPE SLAB
- 25 FLAT ROOF BELOW
- 26 RAILING###
- 27 4 RISER UP
- 28 ACCESS PANEL TO ATTIC 42" X 30" SHELF
- 30 WASHER/DRYER BY OWNER FLOOD SAFER PAN #M4227
- 31 RAILING SEE DETAIL SHEET 2
- 32 FUR OUT WALL 2 X 4 - 16" OC, 1/2 DW
- 33 SHELF
- 34 ROOF BUILT UP ROOFING SLOPE 1/4" PER FOOT
- 35 ADJUSTABLE LOUVERS BY "KE DRY A" CONTACT GREGORY SAHAGIAN & SON 914-949-9877
- 36 5/8" FIRE PROOF DRY WALL
- 37 FLOORING B Y OWNER
- 38 WINE CELLAR SHELVING BY OWNER
- 39 CARPETING BY OWNER
- 40 FIBER DOOR
- 41 GEOTHERMAL SYSTEM BY OWNER
- 42 SEE SPECS FOR ELEVATOR
- 43 CLOTH POLE AND SHELF
- 44 STONE BLYTHAR 2" CT THIN ASHLAR BY BEDFORD STONE BEDFORD HILLS NY 914-666-6404
- 45 SEE DETAIL SHEET 9
- 46 STANDING SEEM METAL ROOF GUN METAL FINISH
- 47 FIREPLACE FLUE
- 48 GAS FIREPLACE BY MAJESTIC MAJESTIC SERIES 42" WIDE STAIRS 17@7 14 16 @ 12" OAK STAINED
- 50 HANDRAIL BY PROMENAD-SILVER RAIL AND BRACKET WITH ADA RETURN 888 992 4943
- 51 GAS LANTERNS BY OWNER
- 52 8" CONC BLOCK WALL WITH 2" CT THIN ASHLAR BY BEDFORD STONE AND GRAVEL BEDFORD HILLS NY
- 53 CONC STEPS SLATE RISER 10" TREAD 7" LEADERS AND GUTTERS BY "LEAF GUARD", (203) 635 5195
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- 56 EDGE OF ROOF OVER HANG
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- 1 PANASONIC EXHAUST FAN FV-08VQ3 80 CFM
- 2 ALL BATHROOM FIXTURES AND FLOOR AND WALL FINISHES BY OWNER
- 3 WOOD PARQUET FLOOR BY OWNER TO DETERMINE PATTERN AN FINISH
- 4 CARPET BY OWNER OVER PLYWOOD TILE FLOOR BY OWNER
- 5 SEE SHEET 9 FOR RETAILS
- 6 INTERIOR WALLS 2 X 4 - 16" OC WITH 1/2" SOUND INSULATE AT ALL BEDROOM BATHROOM AND POWDER ROOM WALLS
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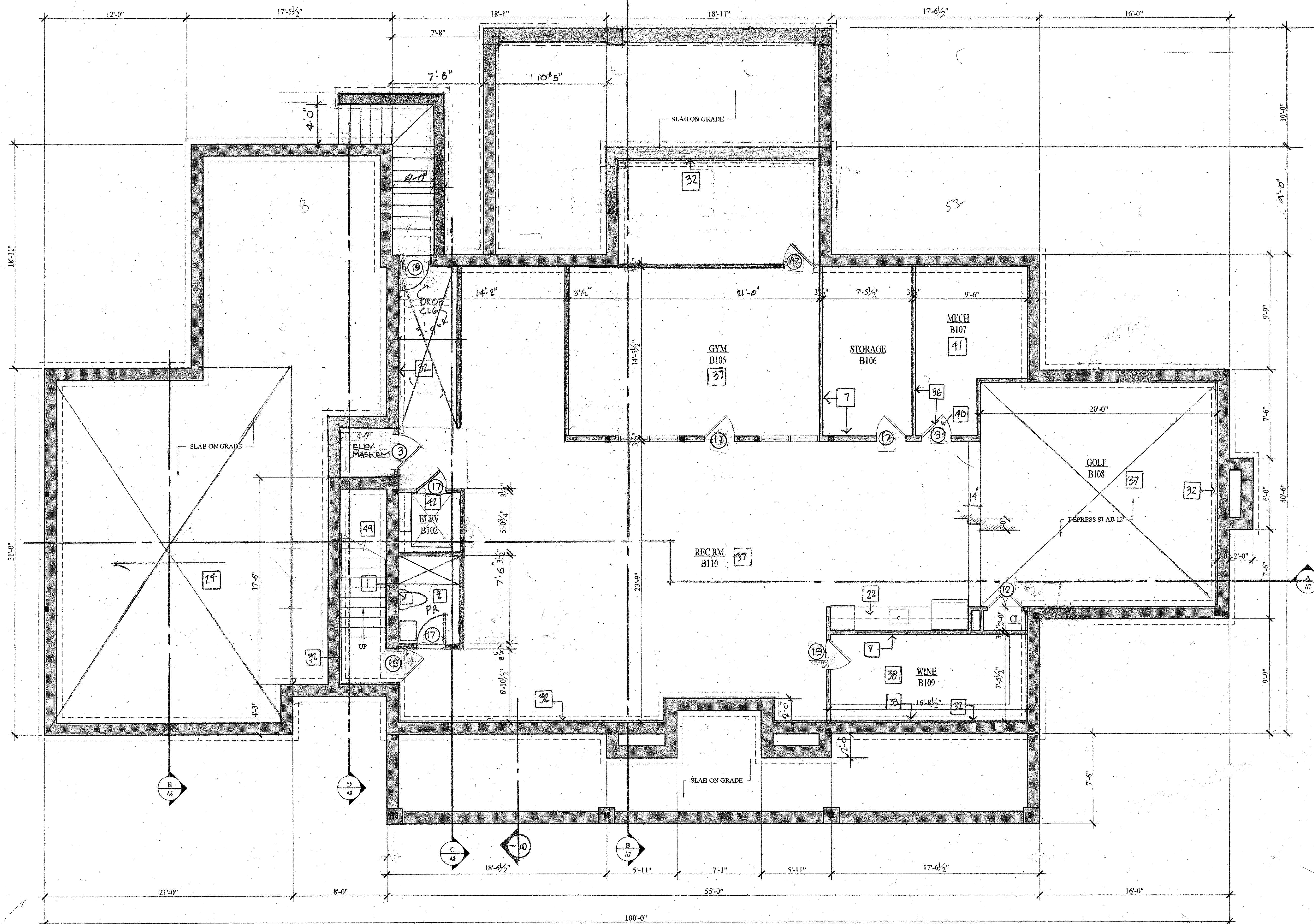
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1 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SMOKE DETECTOR AND CARBON MONOXIDE DETECTORS ARE TO BE INSTALLED AND MUST COMPLY THROUGHOUT BUILDING WITH SECTION R 313 OF THE NYSBC



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

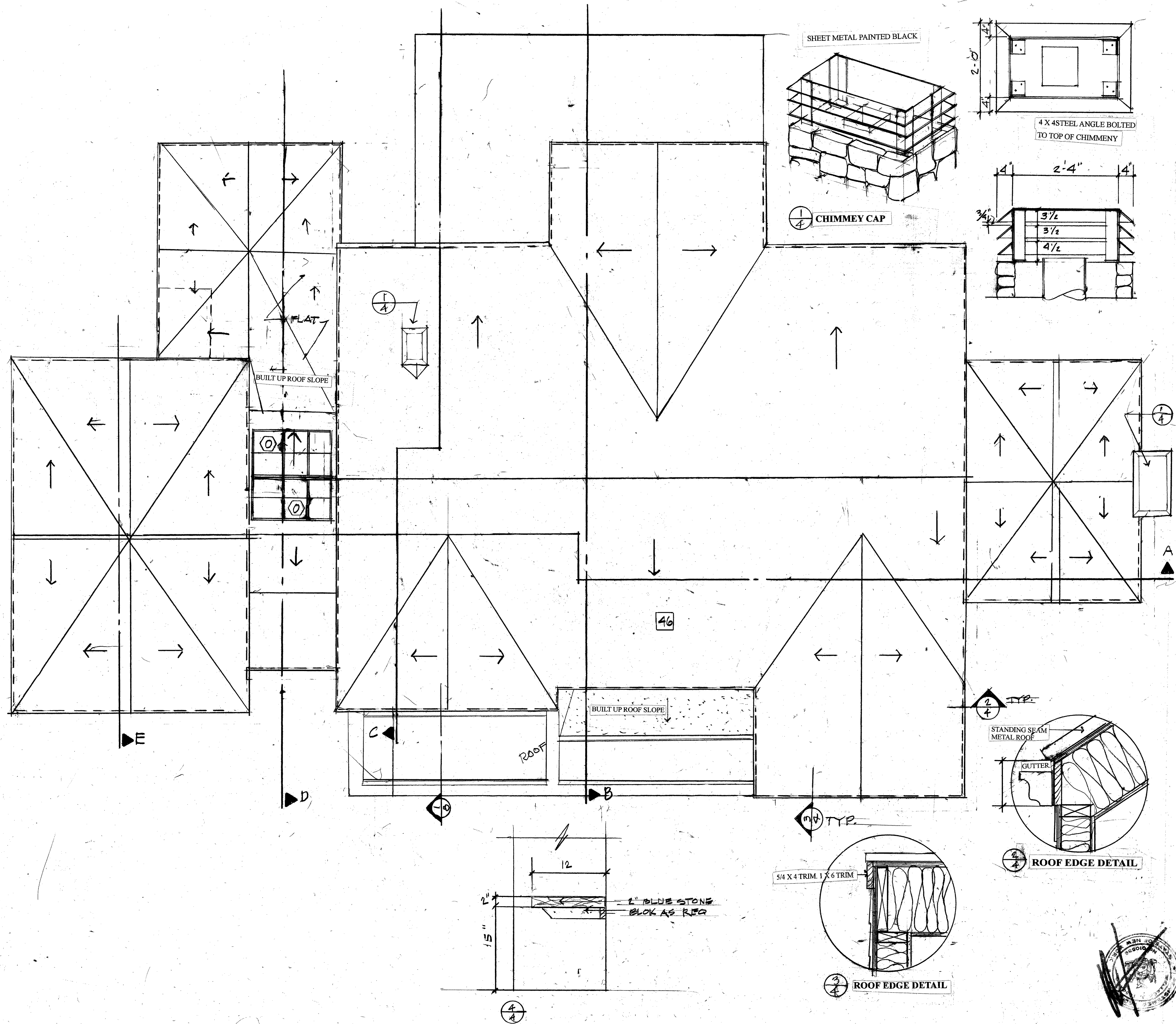
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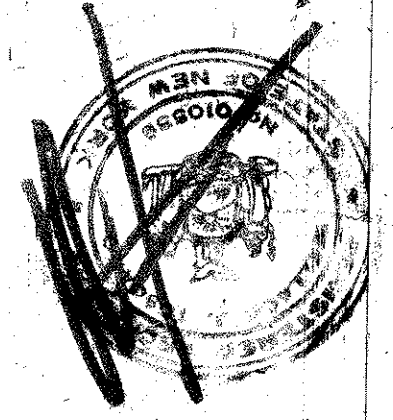


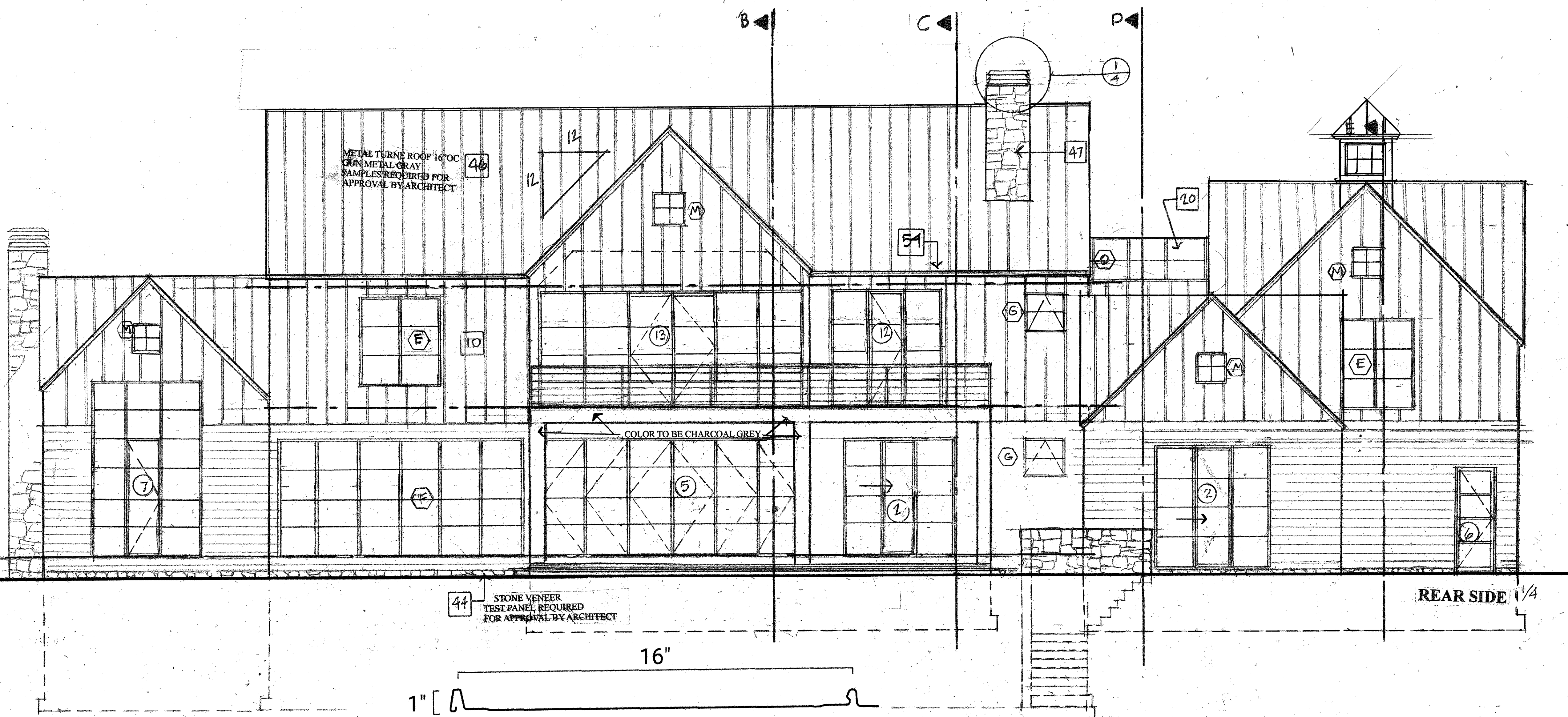
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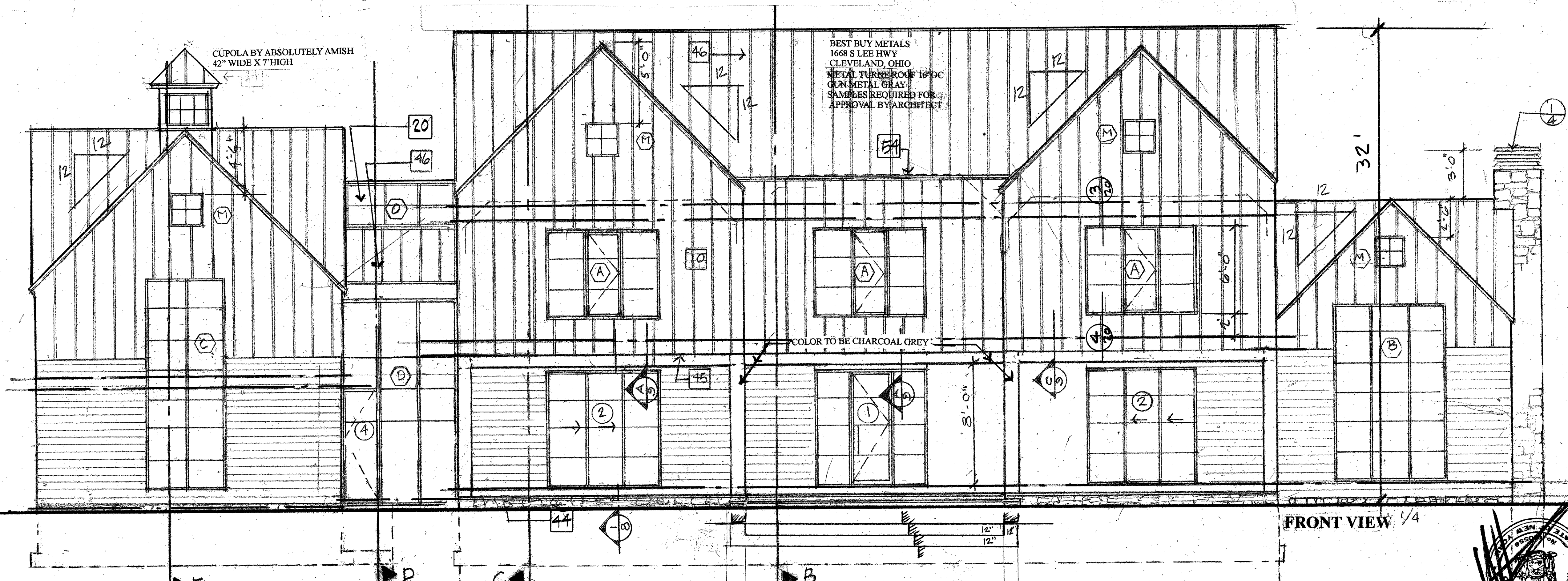
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16"
1" [A
Flat Pan (Optional)



FRONT VIEW 1/4

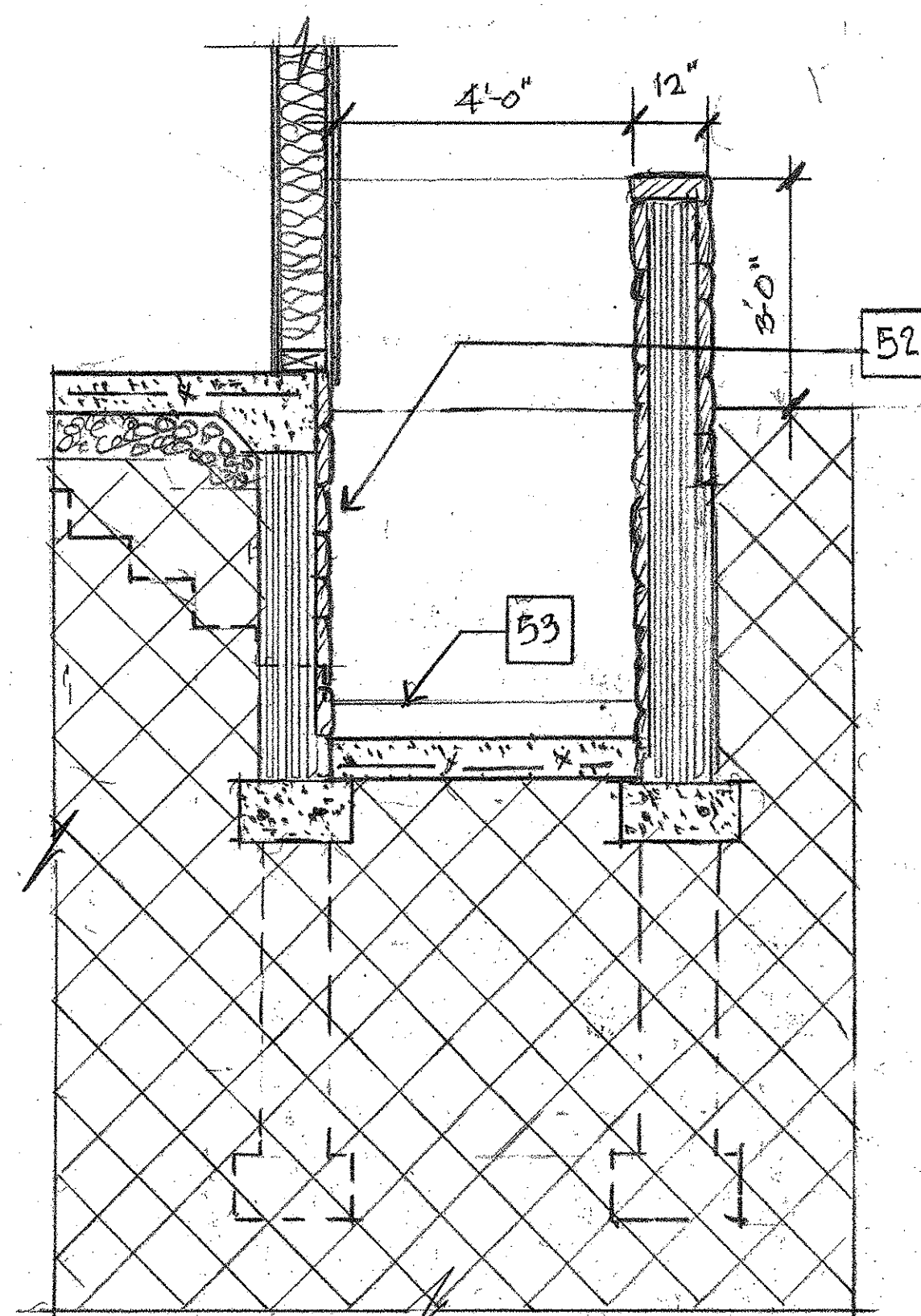
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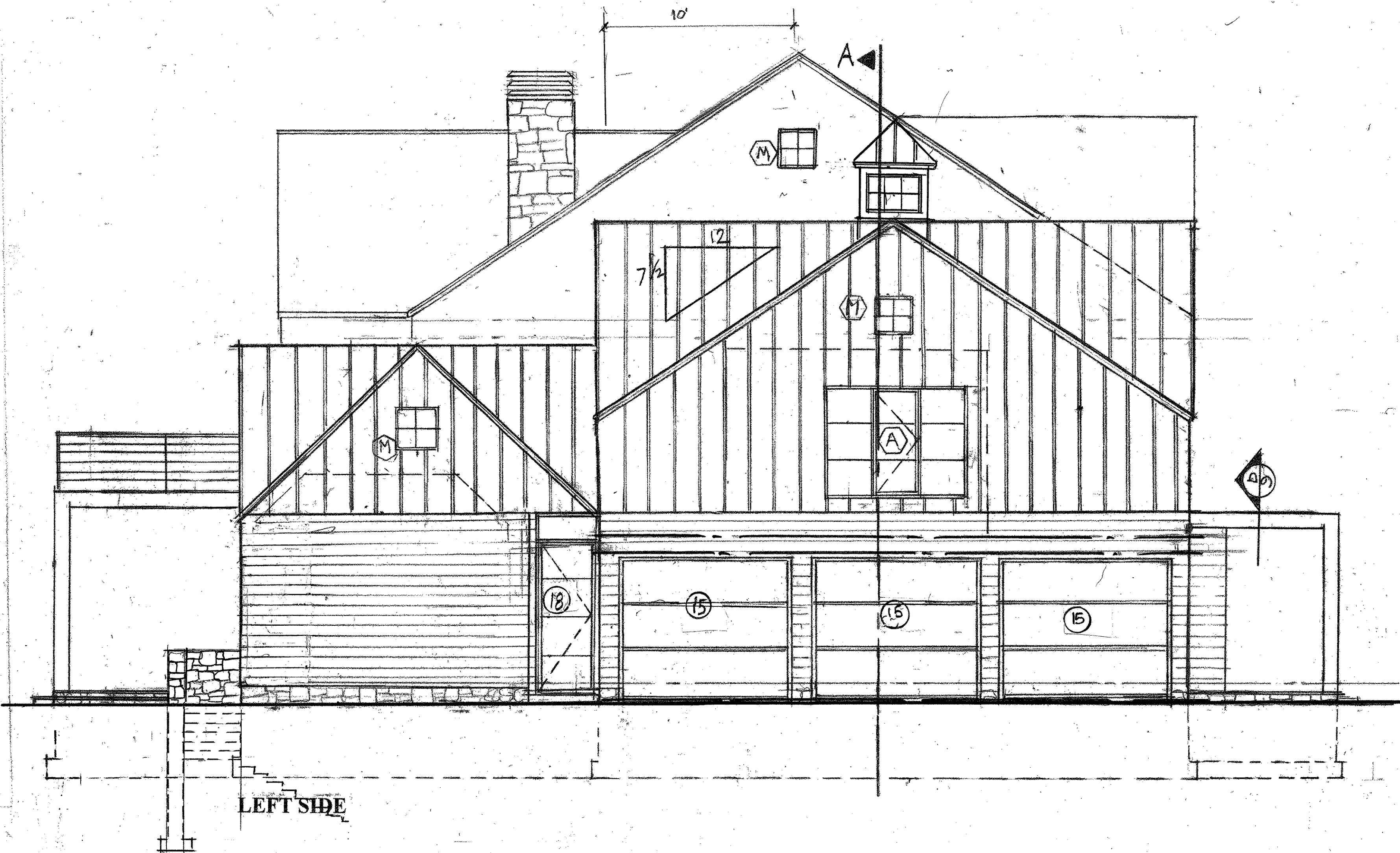
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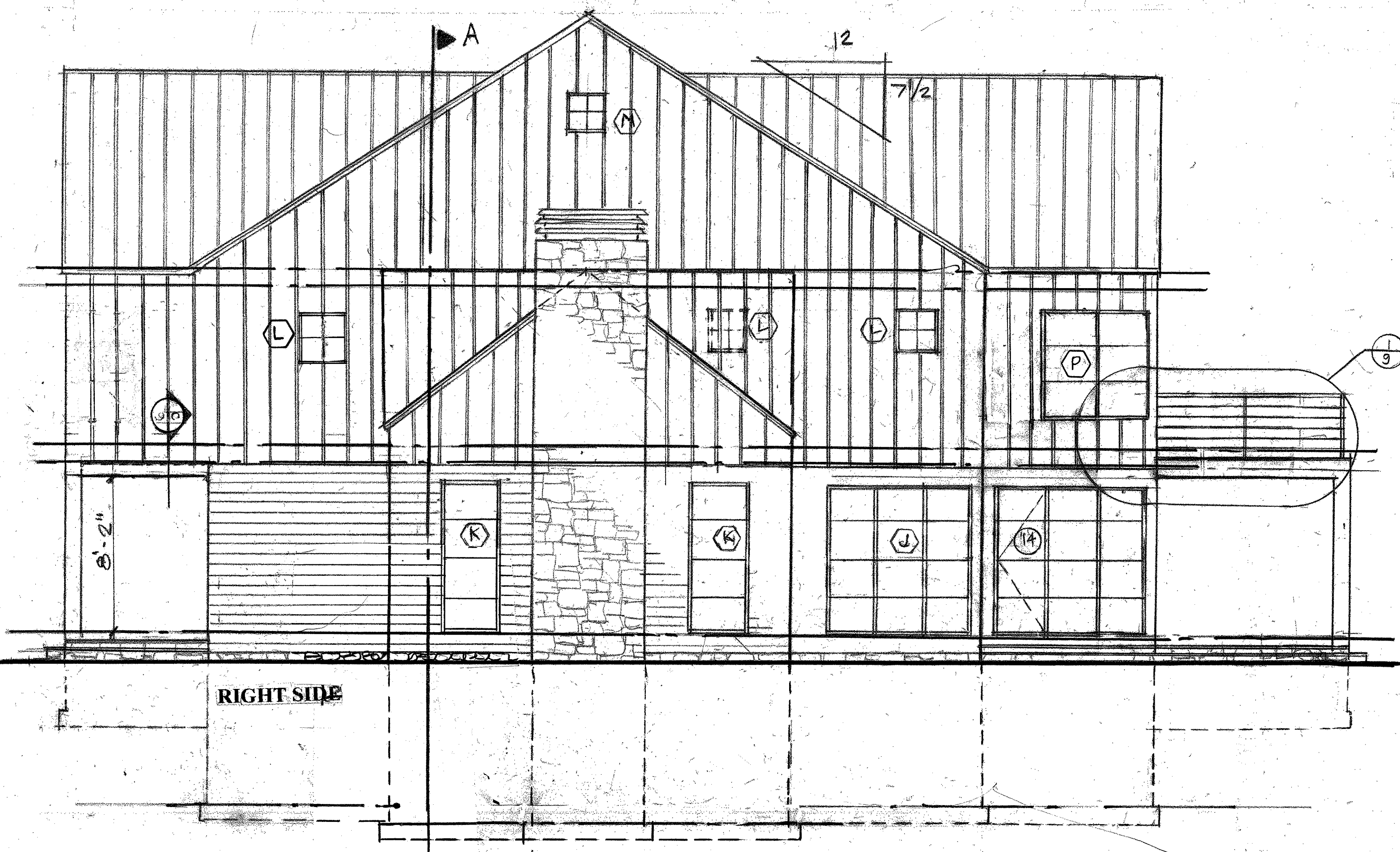
FRONT VIEW
REAR SIDE



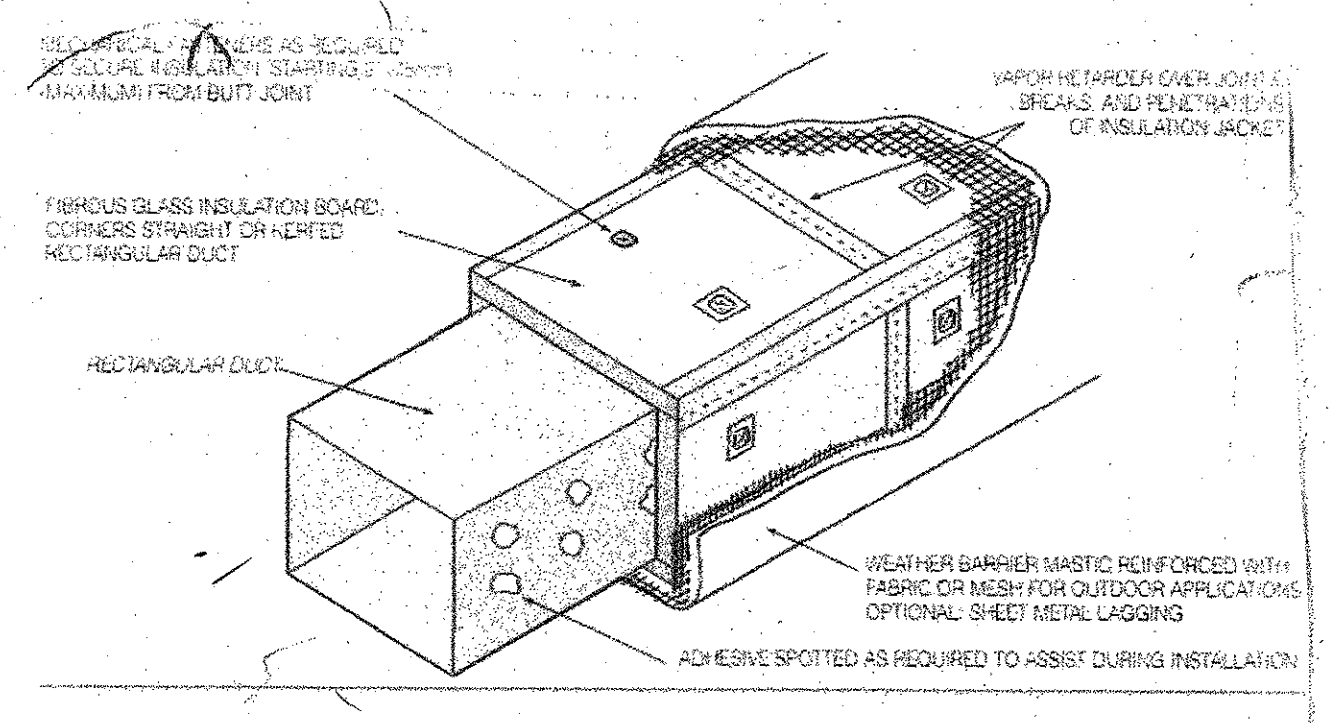
SECTION THRU STAIR TO BASEMENT



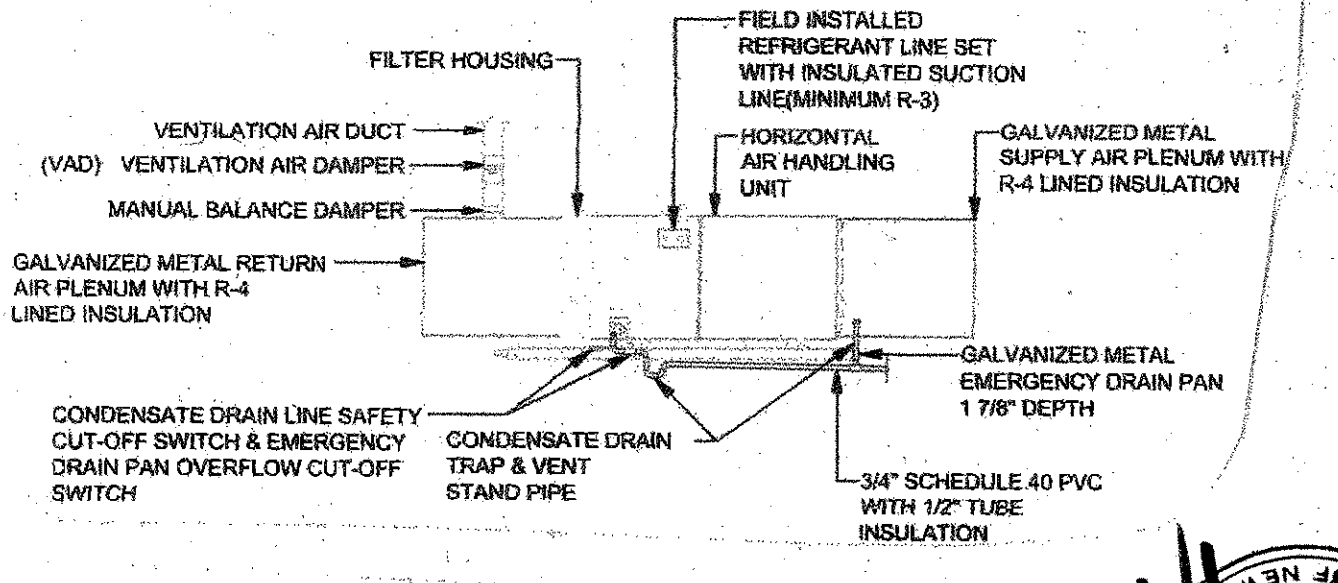
LEFT SIDE



RIGHT SIDE



TYPICAL HORIZONTAL AIR HANDLER DETAIL



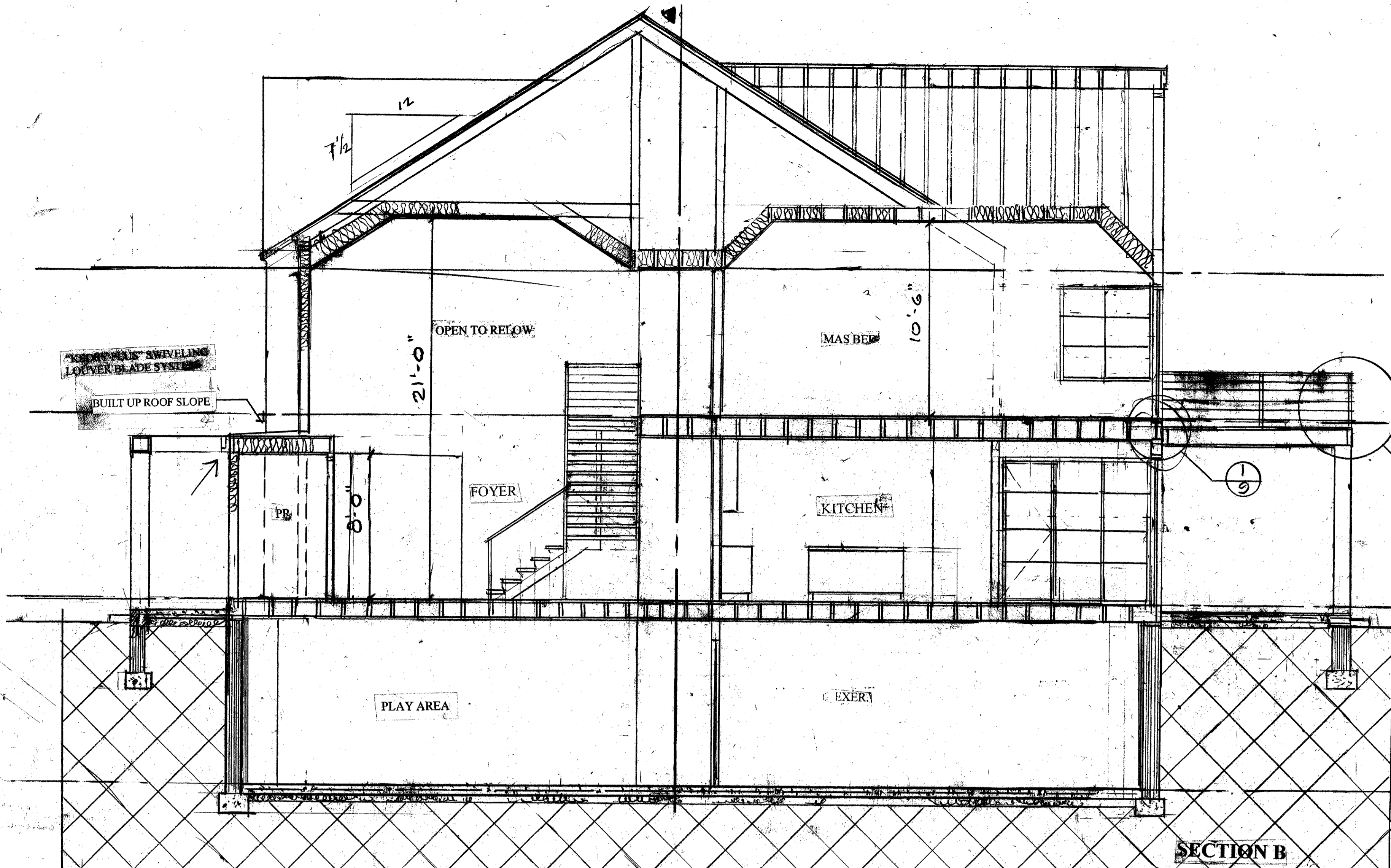
- 1 PANASONIC EXHAUST FAN FV-08VQ3 80 CFM
- 2 ALL BATHROOM FIXTURES AND FLOOR AND WALL FINISHES BY OWNER
- 3 WOOD PARQUET FLOOR BY OWNER TO DETERMINE PATTERN AND FINISH
- 4 CARPET BY OWNER OVER PLYWOOD
- 5 TILE FLOOR BY OWNER
- 6 SEE SHEET 9 FOR RETAILS
- 7 INTERIOR WALLS 2 X 4 - 16" OC WITH 1/2" SOUND INSULATE AT ALL BEDROOM BATHROOM AND POWDER ROOM WALLS
- 8 TRAY CEILING
- 9 SLIDING DOOR
- 10 ALL EXTERIOR WALLS 2 X 6 - 16" OC FULL FOAM INSULATION 1/2" D W 3/4" PLYWOOD MARINE GRADE, WITH BUILDING PAPER OVER FIRST FLOOR - HARDIE BOARD 1 X 6 SMOOTH LAP SIDING - NAVAJO BEIGE SECOND FLOOR - HARDIE BOARD BOARD AND BATTEN 16" OC BATTENS CUT DOWN TO 1 X 2 PAINT CUT EDGE COLOR FOR CUT EDGE TO BE NAVAJO BEIGE
- 11 TILE FLOOR 18 X 18 *****
- 12 ALL APP. TILE, CABINETS AND EQUIPMENT BY OWNER
- 13 STEPS 14" WIDE. SEE DETAIL.
- 14 CABINET BY OWNER
- 15 WOOD BURNING FIREPLACE - WOODLAND DIRECT MAJESTIC BILTMORE 42" WIDE FAMILY ROOM 36" WIDE GAS FIREPLACE BY OWNER
- 17 BAR BY OWNER
- 18 CLOTH POLE AND SHELF
- 19 CONDENSER PAD 42 X 42 - 6" CONC WITH 4 #5 BARS EACH WAY
- 20 SKYLIGHT SEE DETAIL SHEET 6A
- 21 SEE DETAIL FOR BENCH SHELF
- 22 KITCHENETTE BY OWNER
- 23 CABINET BY OWNER
- 24 6" CONC SLAB W 4 X 4 WWF ON 6" GRAVEL ON COMPACTED FILL - SLOPE SLAB FLAT ROOF BELOW
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- 27 4 RISER UP
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- 29 WASHER/DRYER BY OWNER FLOOD SAVER PAN WM-P27
- 31 RAILING SEE DETAIL SHT 9
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- 33 SHELF
- 34 ROOF BUILT UP ROOFING SLOPE 1/4" PER FOOT
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- 36 5/8" FIRE PROOF DRY WALL
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- 43 CLOTH POLE AND SHELF
- 44 STONE PLYTH-2" CT THIN ASHLAR BY BEDFORD STONE BEDFORD HILLS NY 914-666-6404 SEE DETAIL SHEET 9
- 45 SEE DETAIL SHEET 9
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- 48 GAS FIREPLACE BY MAJESTIC MARQUIS SERIES 42" WIDE STAIRS 17R@7 1/4 16T @ 12" OAK STAINED
- 50 HANDRAIL BY PROMENAD. SILVER RAIL AND BRACKET WITH ADA RETURN 888 992 4943
- 51 GAS LANTERNS BY OWNER
- 52 8" CONC BLOCK WALL WITH 2" CT THIN ASHLAR BY BEDFORD STONE AND GRAVEL BEDFORD HILLS NY
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- 79 OUT DOOR SHOWER PLUMBING FIXTURES SELECTED BY OWNER - WALLS TO MATCH SIDING ON BUILDING CONC PAD WITH DRAIN

A RESIDENCE FOR DR AND MRS G. WEINHOF 3 MAPLE WAY ARMONK, NY 10504

WALLACE J. TOSCANO A.I.A. ARCHITECT

30 COTSWOLD DR NORTH SALEM, NY 10560 914-329-1491 CELL ARCHWJTB6@GMAIL.COM

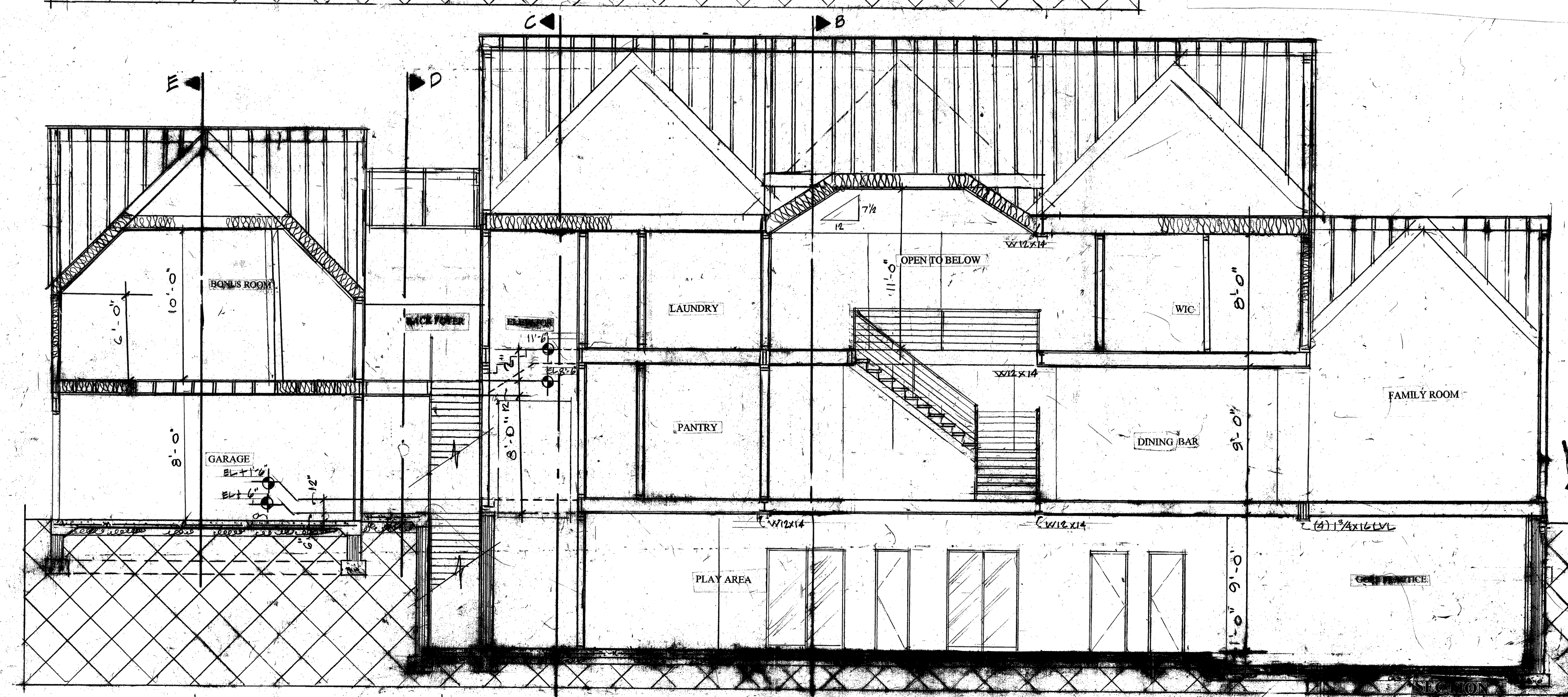
RIGHT SIDE LEFT SIDE



SOSS HINGES THROUGH
OUT ALL DOORS

DOOR SCHEDULE

NUMBER	UNIT SIZE	MODEL	MANUFACTURE
1	MIX LEGNO GROUP	SEE ARCH DWG 1,2,3 20	
2	MIX LEGNO GROUP		
3	3-0 X 8-0 X 1 3/4"	FIRE DOOR	FLUSH SOLID CORE
4	MIX LEGNO GROUP		
5	MIX LEGNO GROUP		
6	3-4 X 8-0 X 1 3/4"	EXTERIOR	FLUSH SOLID CORE
7	MIX LEGNO GROUP		
8	2-4 X 8-0 X 1 3/4"		FLUSH SOLID CORE
9	2-6 X 8-0 X 1 3/4"		"
10	PAIR 3-0 X 8-0 X 1 3/4"		"
11	PAIR 3-0 X 8-0 X 1 3/4"	SLIDING	"
12	PAIR 1-6 X 6-8 X 1 3/4"		"
13	MIX LEGNO GROUP		
14	MIX LEGNO GROUP		
15	MIX LEGNO GROUP		
16	PAIR 2-0 X 8-0 X 1 3/4"		"
17	2-6 X 6-8 X 1 3/4"		"
18	MIX LEGNO GROUP		
19	MIX LEGNO GROUP 6-8		



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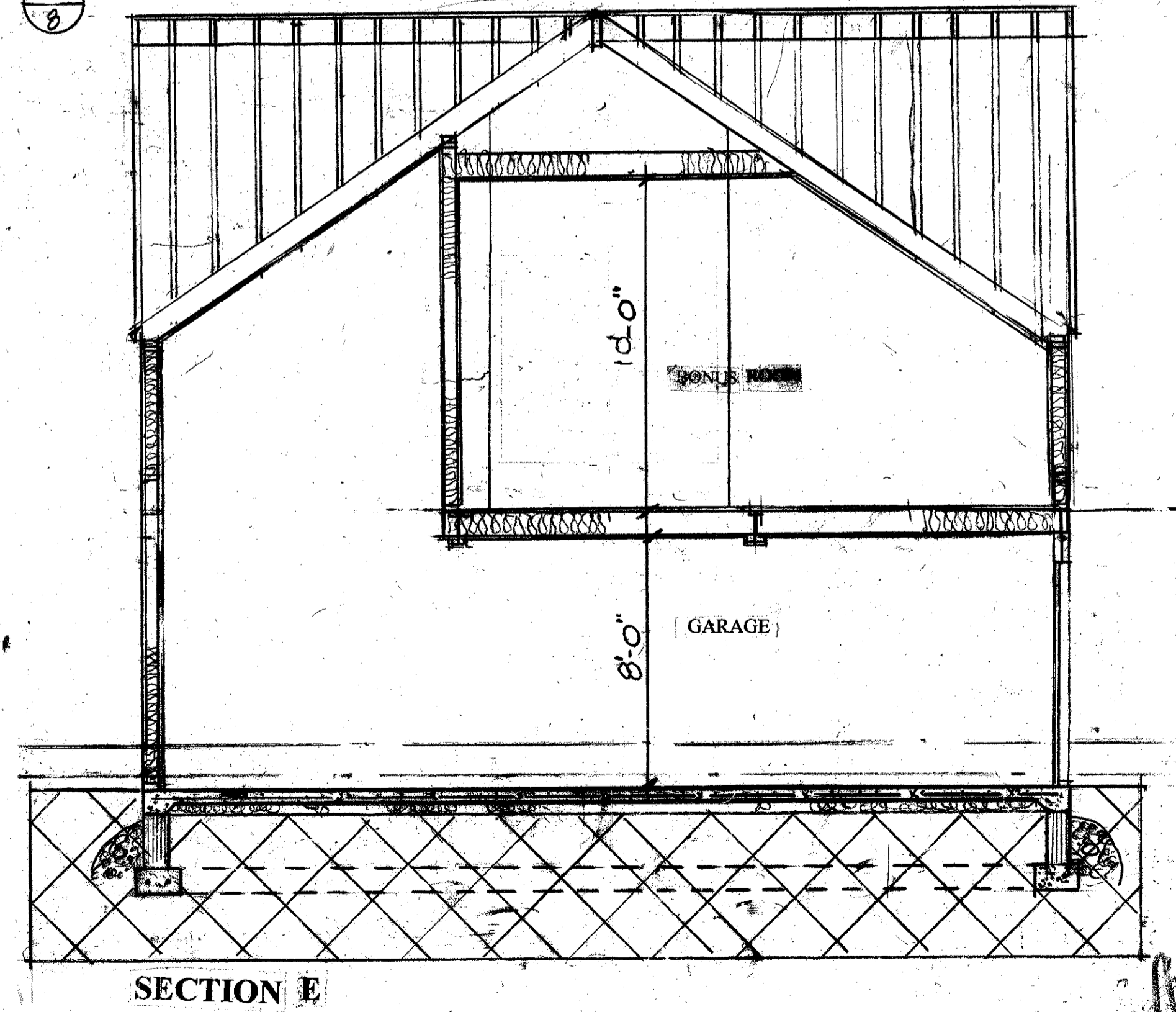
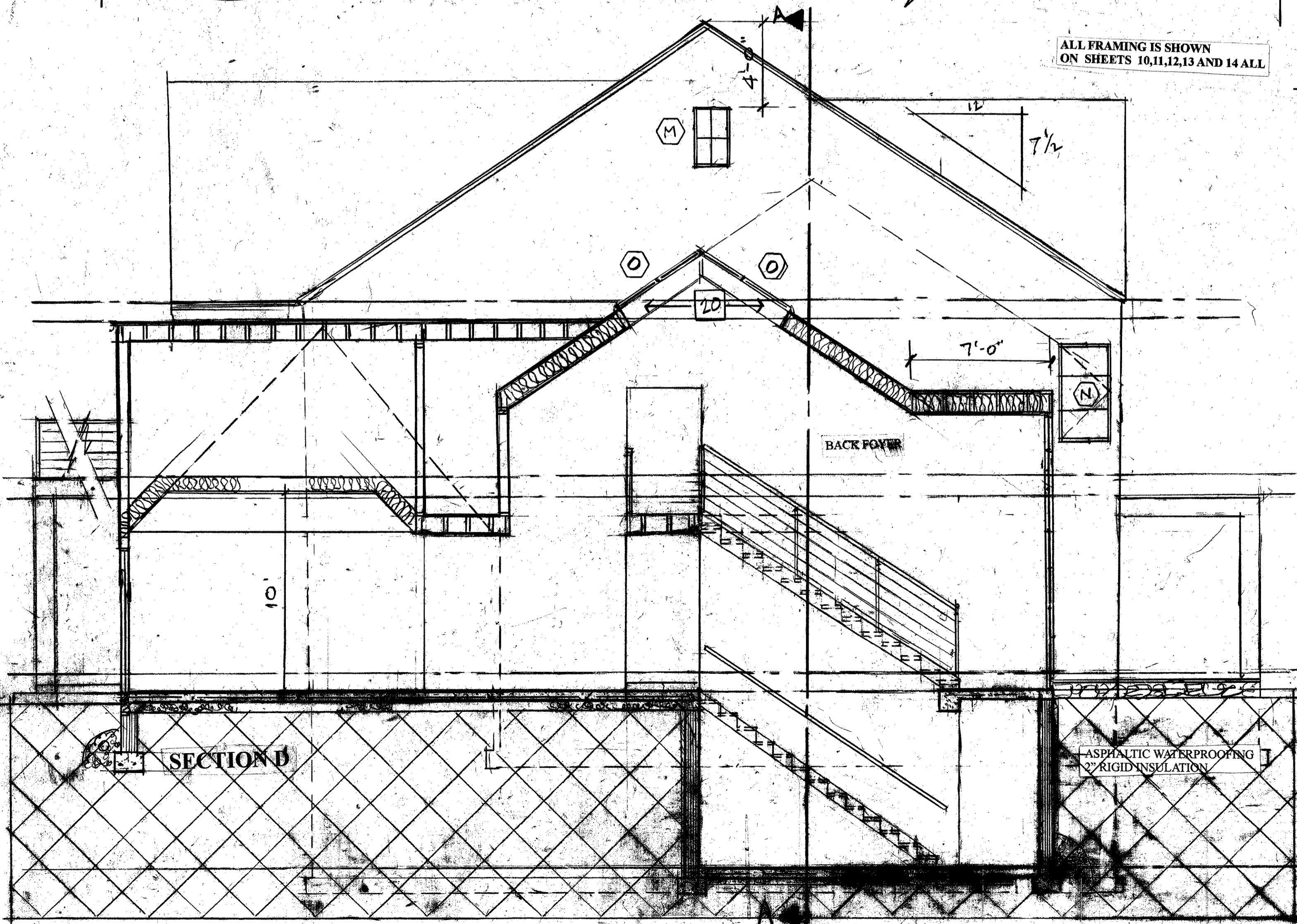
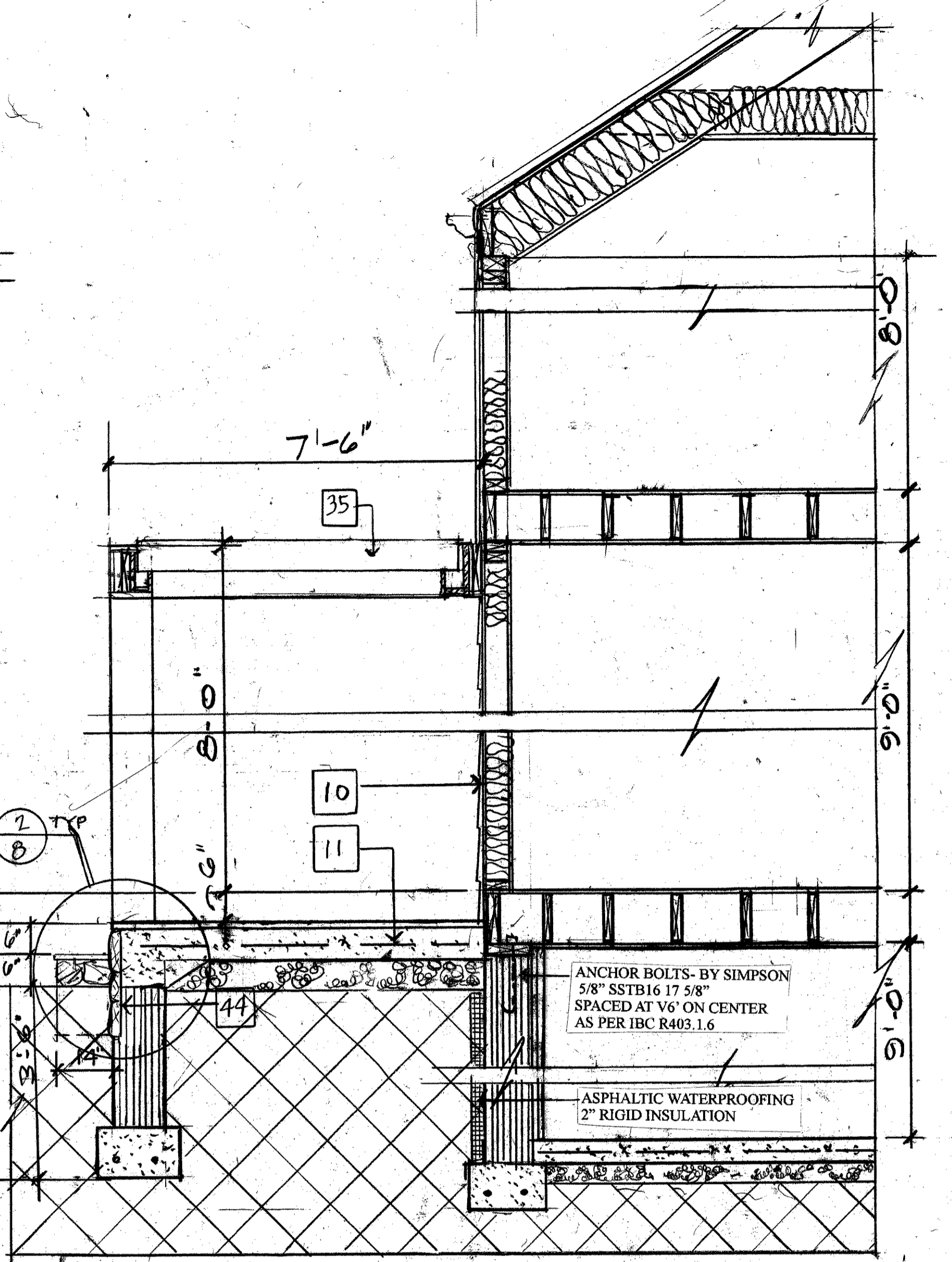
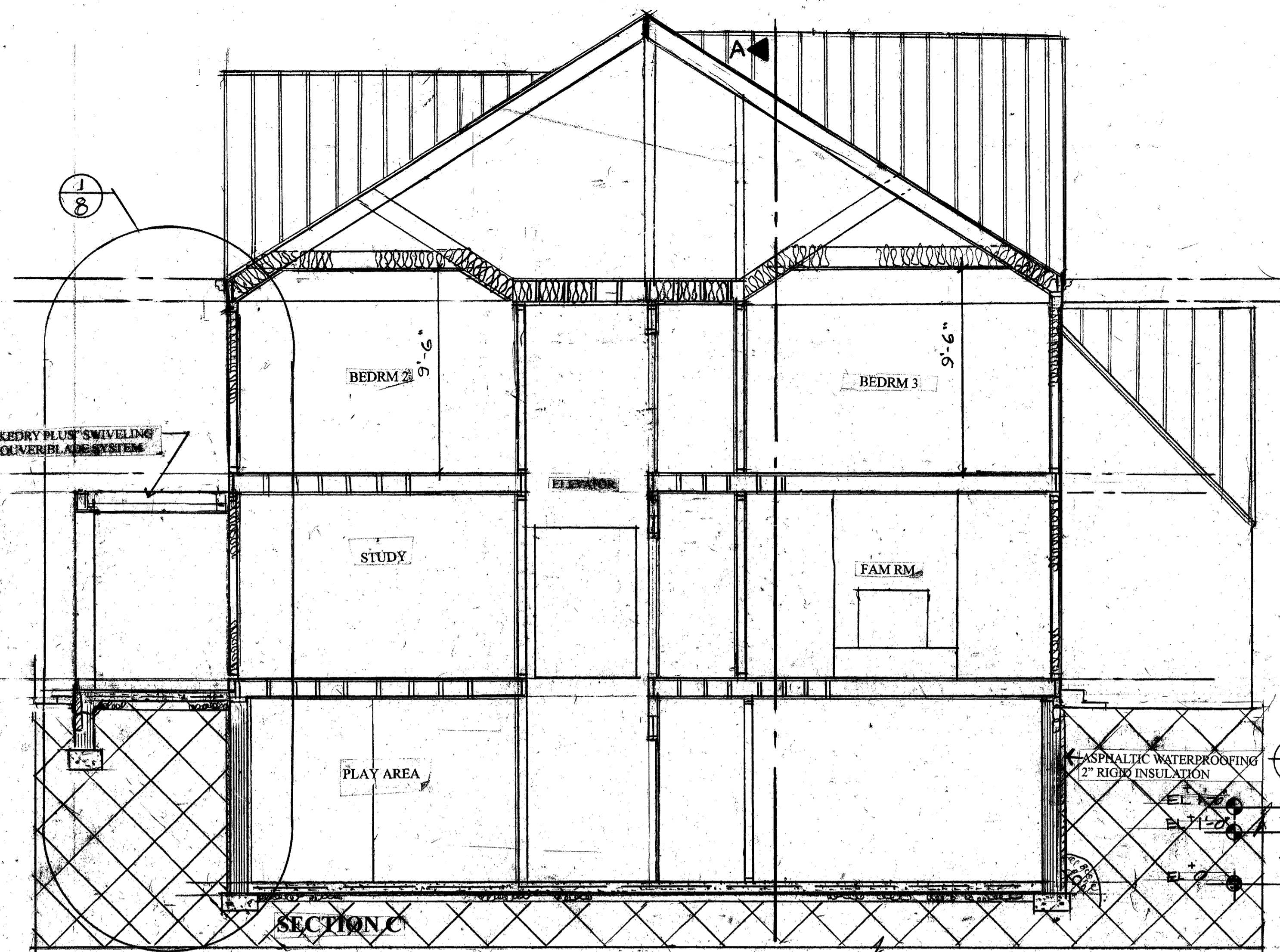
**WALLACE J. TOSCANO A.L.A.
ARCHITECT**

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NORTH SALEM, NY 10560
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SECTION A

SECTION B

DOOR SCHEDULE



- 1 PANASONIC EXHAUST FAN FV08VQ2 80 CFM
- 2 ALL BATHROOM FIXTURES AND FLOOR AND WALL FINISHES BY OWNER
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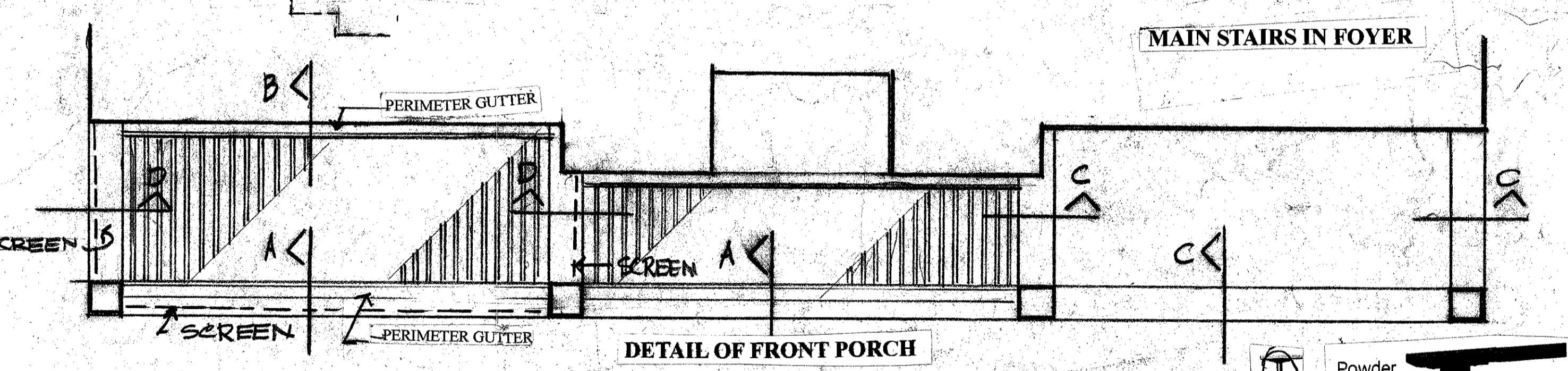
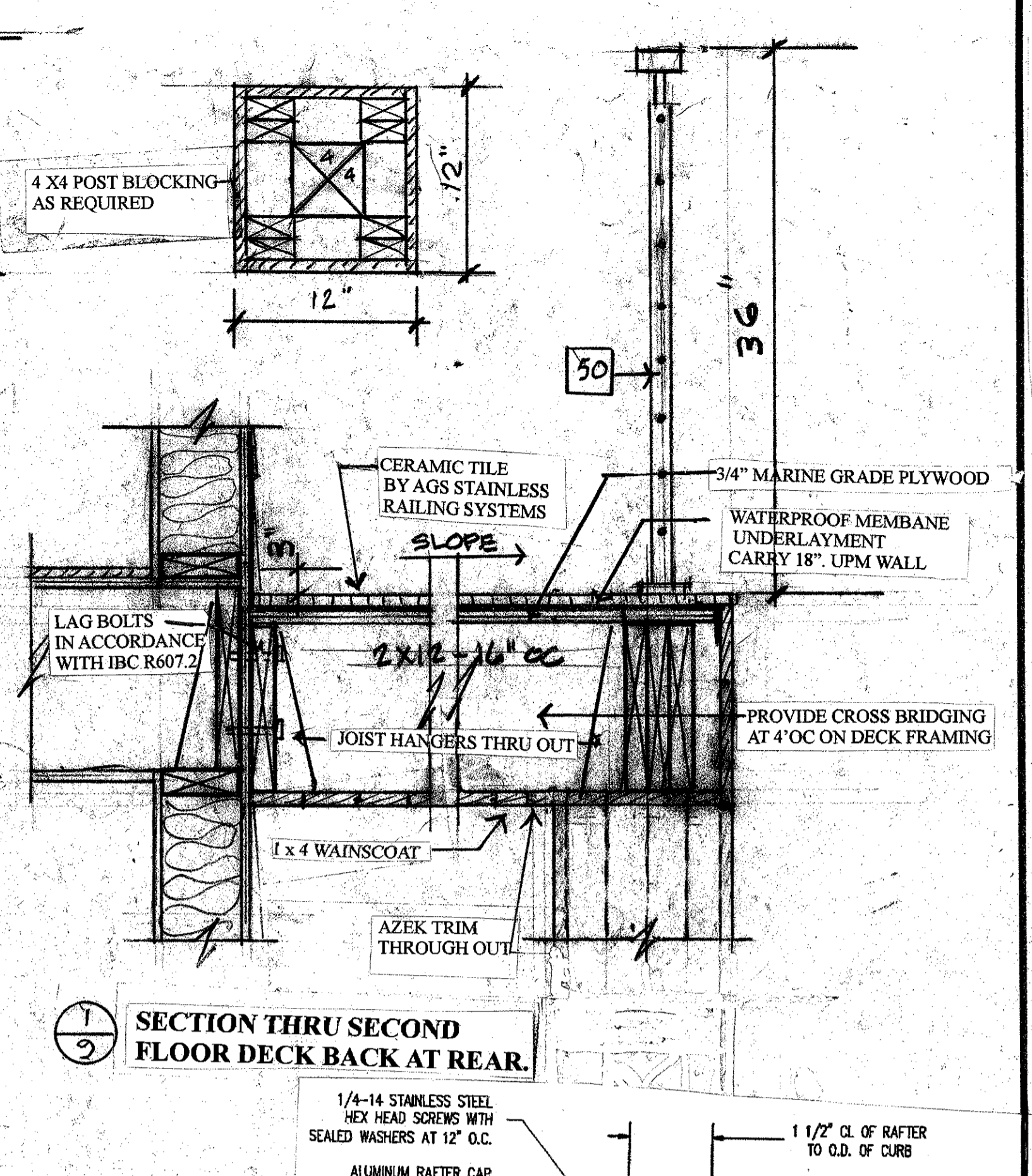
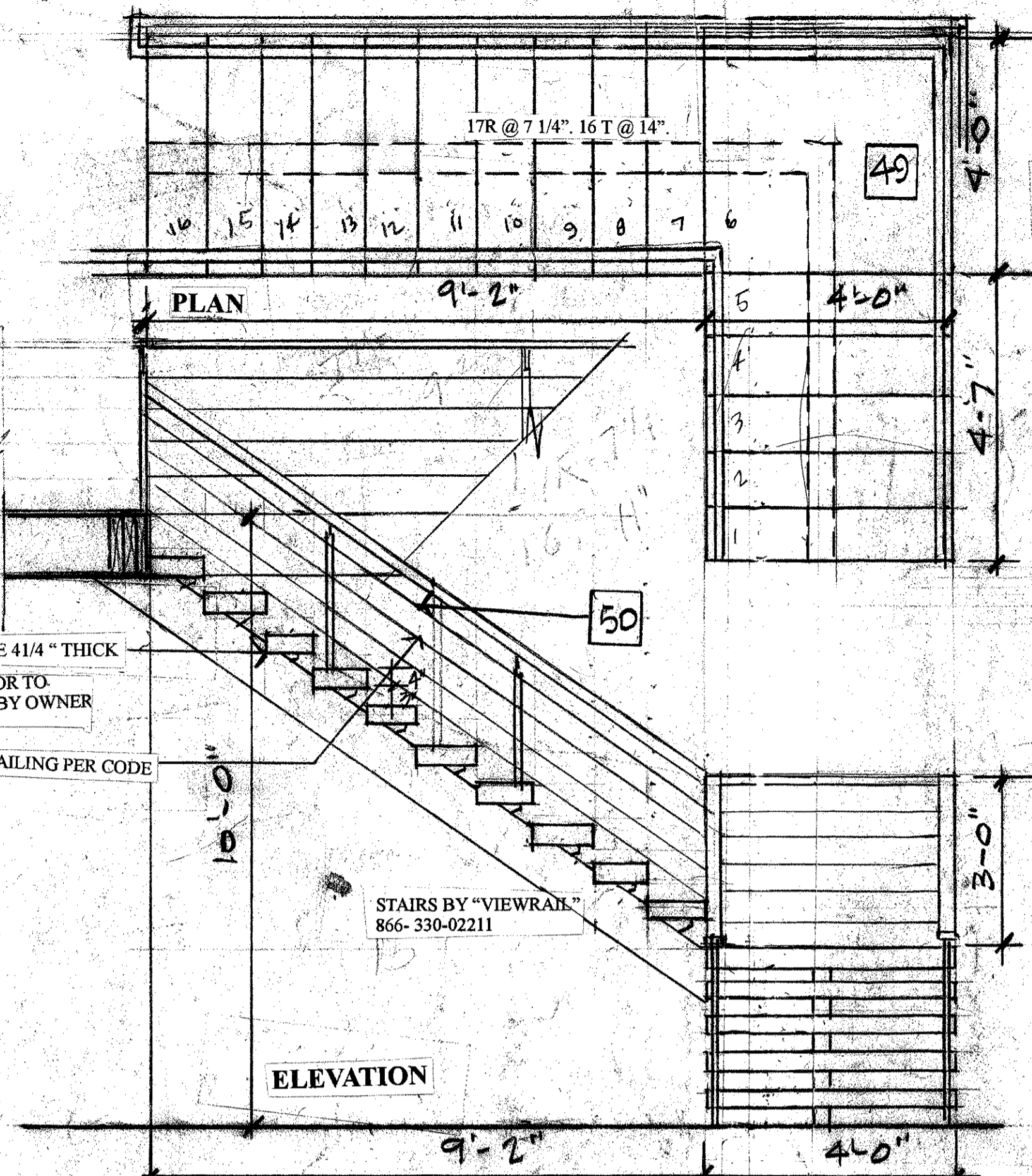
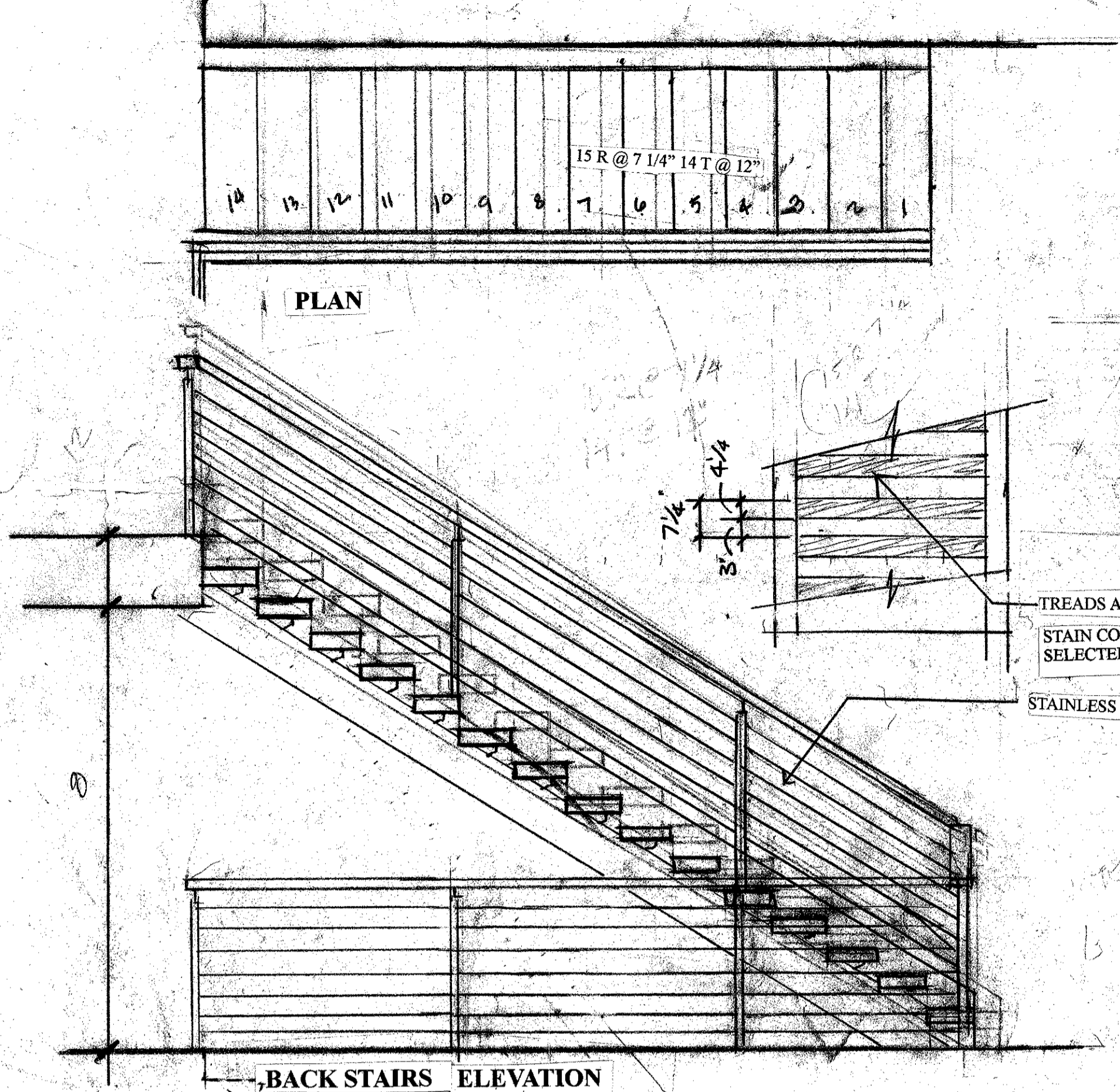
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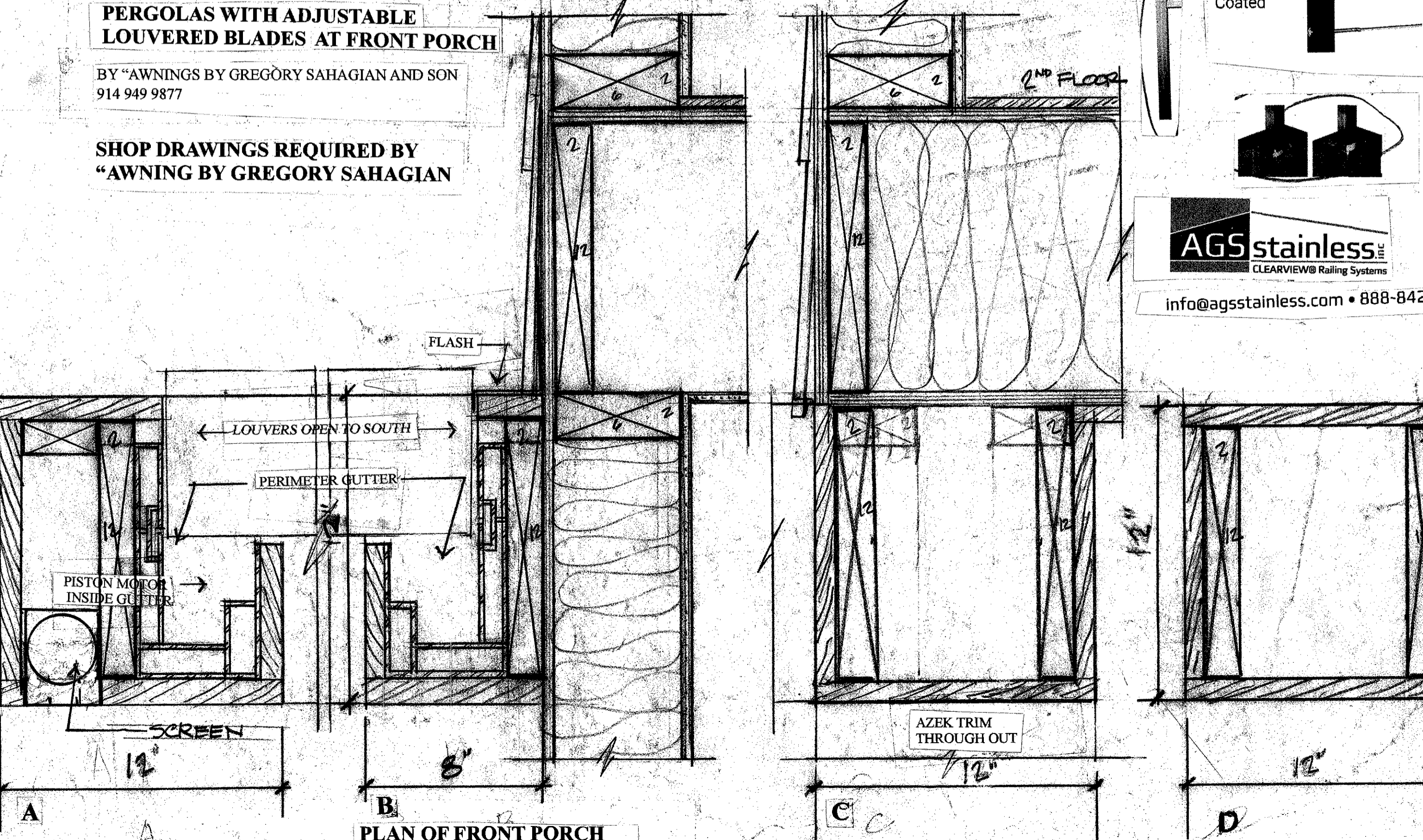
SECTION C
 SECTION D
 SECTION E

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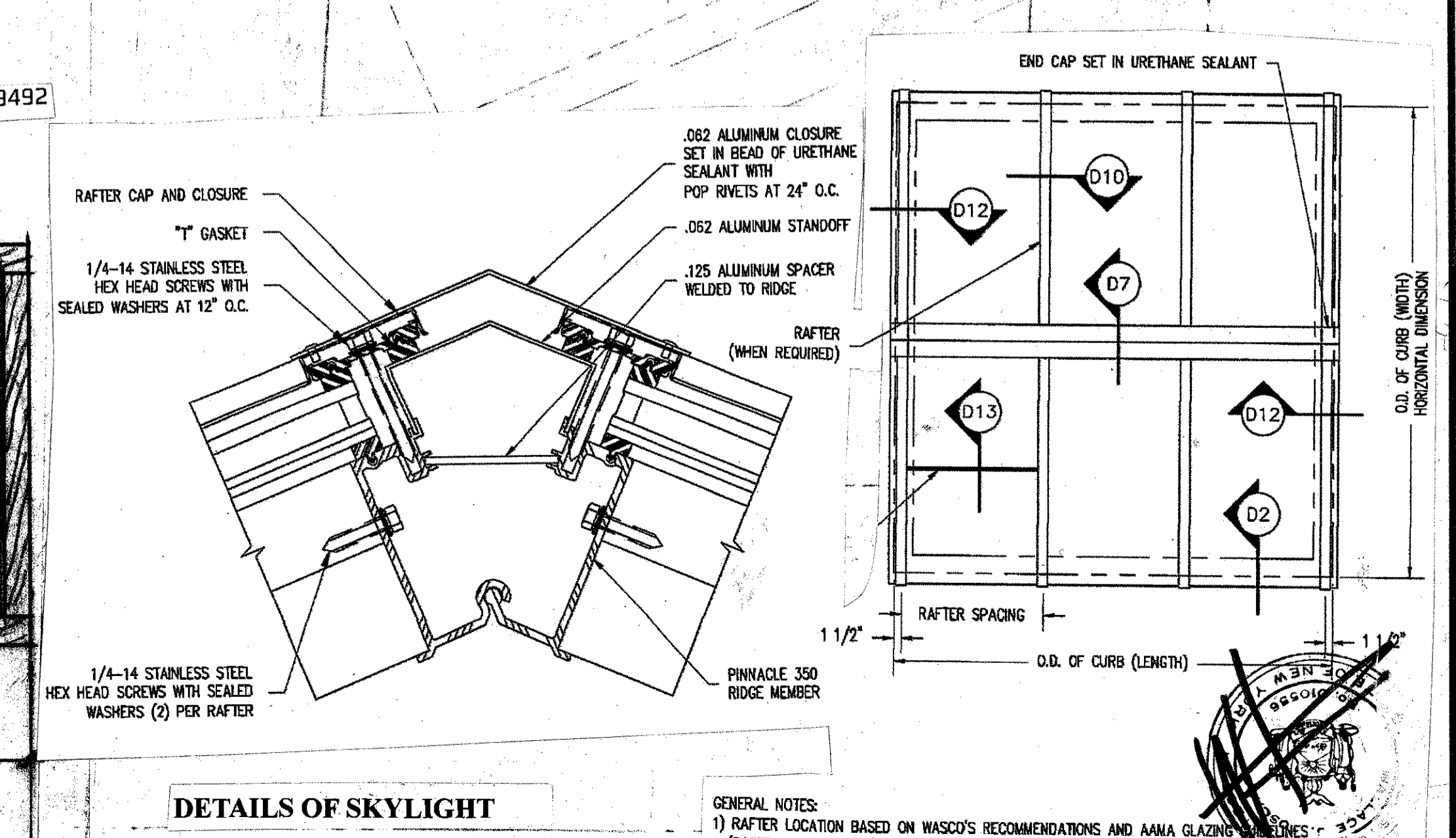
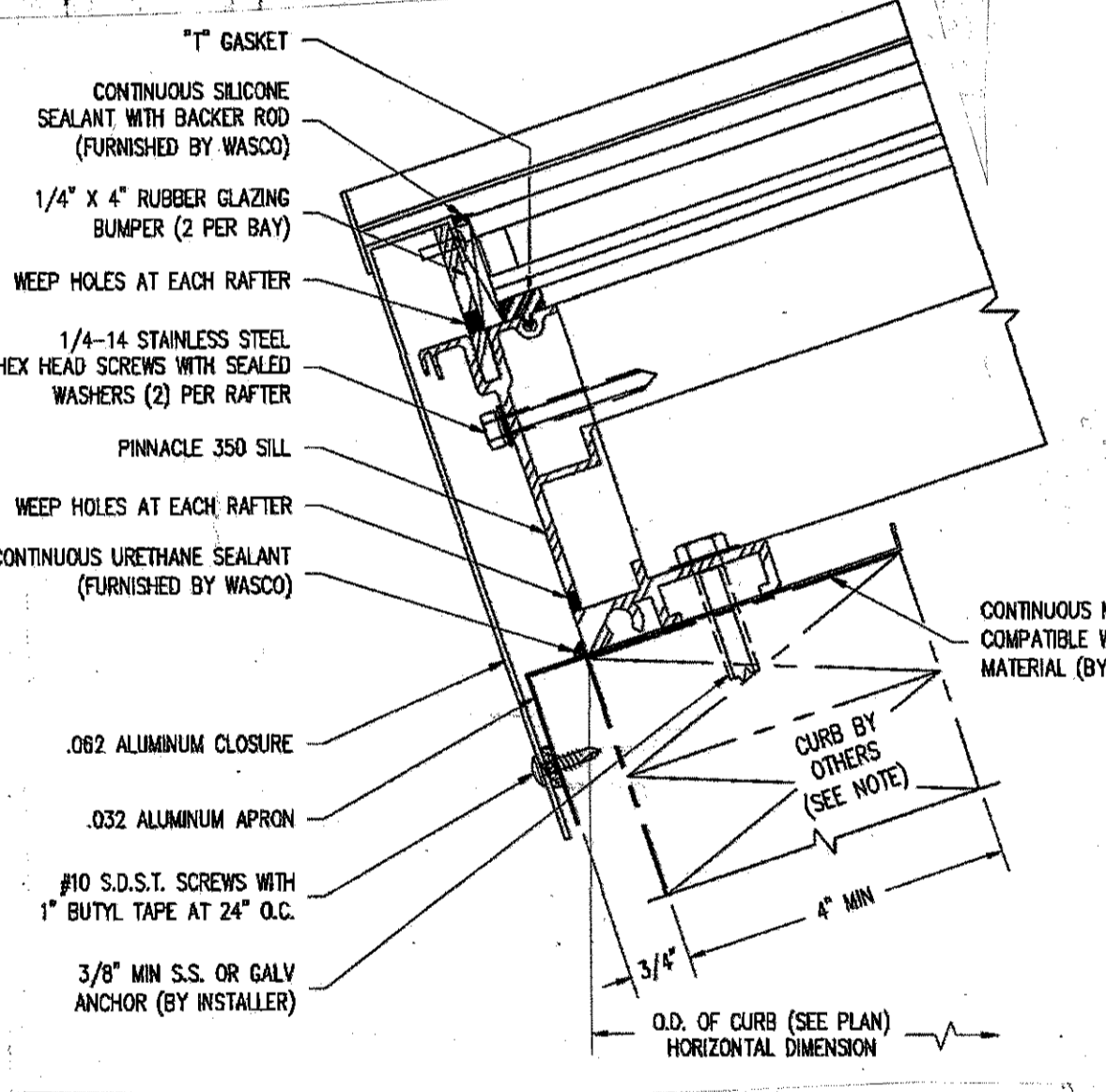


PERGOLAS WITH ADJUSTABLE LOUVERED BLADES AT FRONT PORCH
BY "AWNINGS BY GREGORY SAHAGIAN AND SON 914 949 9877

SHOP DRAWINGS REQUIRED BY "AWNING BY GREGORY SAHAGIAN



AGS stainless steel
CLEARVIEW® Railing Systems
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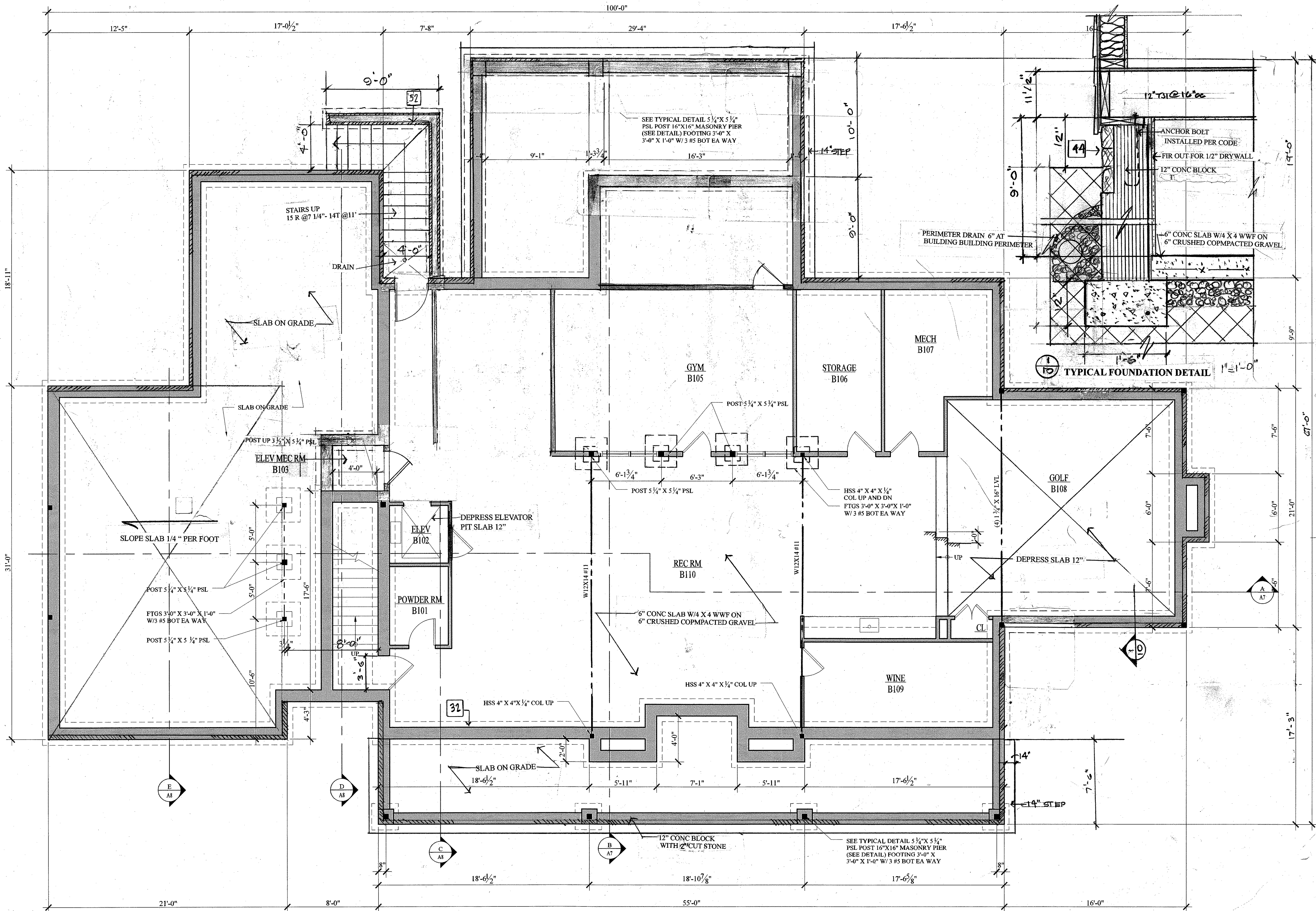


GENERAL NOTES:
1) RAFTER LOCATION BASED ON WASCO'S RECOMMENDATIONS AND ANIA GLAZING NOTES (BASED ON SIZE OF UNIT, TYPE OF GLAZING, CUSTOMER'S REQUEST, ETC.)
2) UNIT PITCHES ARE AVAILABLE FROM 3:12 TO 12:12

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- 2 X 4 STUDS 16" OC FOAM INSULATION, W/ DRY WALL - HARDIE BOARD - BOARD AND BATTEN SEE NOTE 10 REGARDING CUTTING BATTENS DOWN TO 1 X 2
- EDGE OF ROOF OVER HANG
- TYPICAL COLUMN SEE DETAIL
- CUSTOM BACK BAR SEE DETAILS
- STONE FLOOR OVER 4" CONC SLAB / 4 X 4 W/WF ON COMPACTED FILL
- RIDGE OF ROOF ABOVE
- ADJUSTABLE SHELF
- STANDING METAL ROOF SEEMS AT 16" OC GUN METAL GREY
- CUPOLA BY "ABSOLUTELY AMISH "CARLISLE" 36" WIDE X 6" HIGH
- 2" CT THIN ASHLAR STONE ON 10" CONC BLOCK
- 4 X 4 CEDAR
- 10" CONC BLOCK ON 12 X 18 CONC FOOTING W/ (2) #5 REBARS TO FROST LINE
- 4" CONC SLAB ON 6" CRUSSED GRAVEL ON COMPACTED FILL
- WOOD BURNING FIRE PLACE DIRECT MAJESTIC BILTMORE 42" WIDE
- TIE BEAMS BEYONDS
- 4 X 10 CEDAR BEAMS
- EDGE OF SLAB
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- 2 X 10 TIE BEAMS
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- EXHAUST FAN PANASONIC FV08 VQ2
- ALL FIXTURES SBO-IBC SERIES 52060 SC
- SLIDING DOOR HARDWARE BY "JOHNSON"
- OUT DOOR SHOWER PLUMBING - FIXTURES SELECTED BY OWNER - WALLS TO MATCH SIDING ON BUILDING CONC PAD WITH DRAIN

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SATURN DETAILS PORCH DETAILS LOUVER BLADES



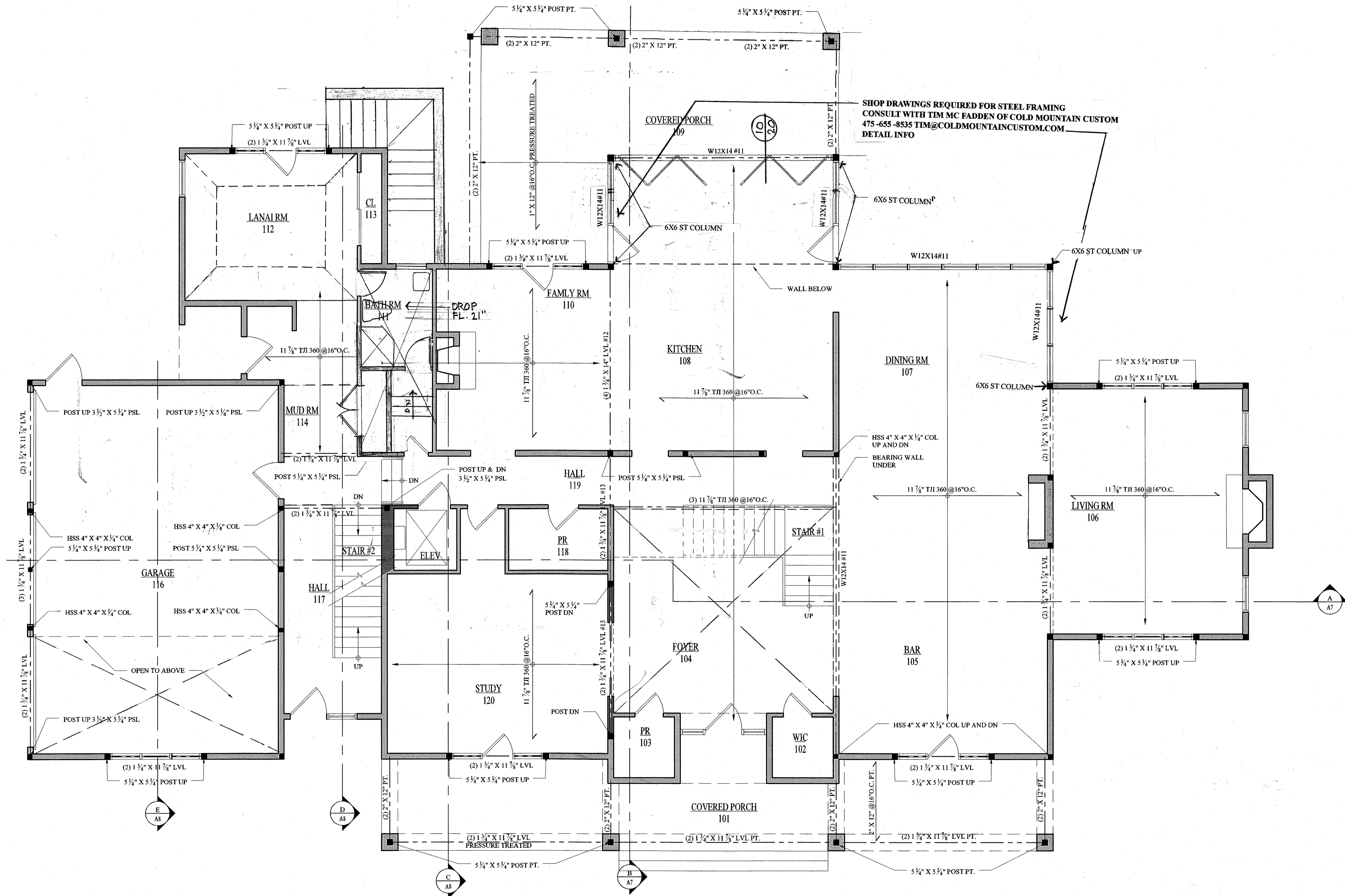
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- 1 PANASONIC EXHAUST FAN FV-08VQ3 80 CFM
- 2 ALL BATHROOM FIXTURES AND FLOOR AND WALL FINISHES BY OWNER
- 3 WOOD PARQUET FLOOR BY OWNER TO DETERMINE PATTERN AND FINISH
- 4 CARPET BY OWNER OVER PLYWOOD
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- 6 SEE SHEET 9 FOR RETAILS
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- 8 TRAY CEILING
- 9 SLIDING DOOR
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- 11 FIRST FLOOR - HARDIE BOARD 1 X 6 SMOOTH LAP SIDING - NAVAJO BEIGE
- 12 SECOND FLOOR - HARDIE BOARD BOARD AND BATTEN 16" OC BATTENS CUT DOWN TO 1 X 2 PAINT CUT EDGE COLOR FOR CUT EDGE TO BE NAVAJO BEIGE
- 13 TILE FLOOR 18 X 18 *****
- 14 ALL APP. TILE, CABINETS AND EQUIPMENT BY OWNER
- 15 STEPS 14" WIDE SEE DETAIL
- 16 CABINET BY OWNER
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- 18 BAR BY OWNER
- 19 CLOTH POLE AND SHELF
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- 24 CABINET BY OWNER
- 25 6" CONC SLAB W 4 X 4 WWF ON 6" GRAVEL ON COMPACTED FILL - SLOPE SLAB
- 26 FLAT ROOF BELOW
- 27 RALING####
- 28 4 RISER UP
- 29 ACCESS PANEL TO ATTIC 42" X 30"
- 30 WASHER/DRYER BY OWNER
- 31 FLOOD SAVER PAN WM-P27
- 32 RAILING SEE DETAIL SHEET 9
- 33 FUR OUT WALL 2 X 4 - 16" OC, 1/2 DW SHELF
- 34 ROOF BUILT UP ROOFING
- 35 SLOPE 1/4" PER FOOT
- 36 ADJUSTABLE LOUVERS BY "KE DRYA" CONTACT GREGORY SAHAGIAN & SON 914 949 9877
- 37 58" FIRE PROOF DRY WALL
- 38 FLOORING BY OWNER
- 39 WINE CELLAR SHELVING BY OWNER
- 40 CARPETING BY OWNER
- 41 FIRE DOOR
- 42 GEOTHERMAL SYSTEM BY OWNER
- 43 SEE SPECS FOR ELEVATOR
- 44 CLOTH POLE AND SHELF
- 45 STONE PLYTH-2" CT THIN ASHLAR BY BEDFORD STONE BEDFORD HILLS NY 914-666-6404
- 46 SEE DETAIL SHEET 9
- 47 STANDING SEEM METAL ROOF GUN METAL FINISH
- 48 FIREPLACE FLUE
- 49 GAS FIREPLACE BY MAJESTIC MARQUIS SERIES 42" WIDE OAK STAINED
- 50 STAIRS 17R@7 1/4 16T @ 12"
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SHOP DRAWINGS REQUIRED FOR STEEL FRAMING
 CONSULT WITH TIM MC FADDEN OF COLD MOUNTAIN CUSTOM
 475-635-8535 TIM@COLDMOUNTAINCUSTOM.COM
 DETAIL INFO

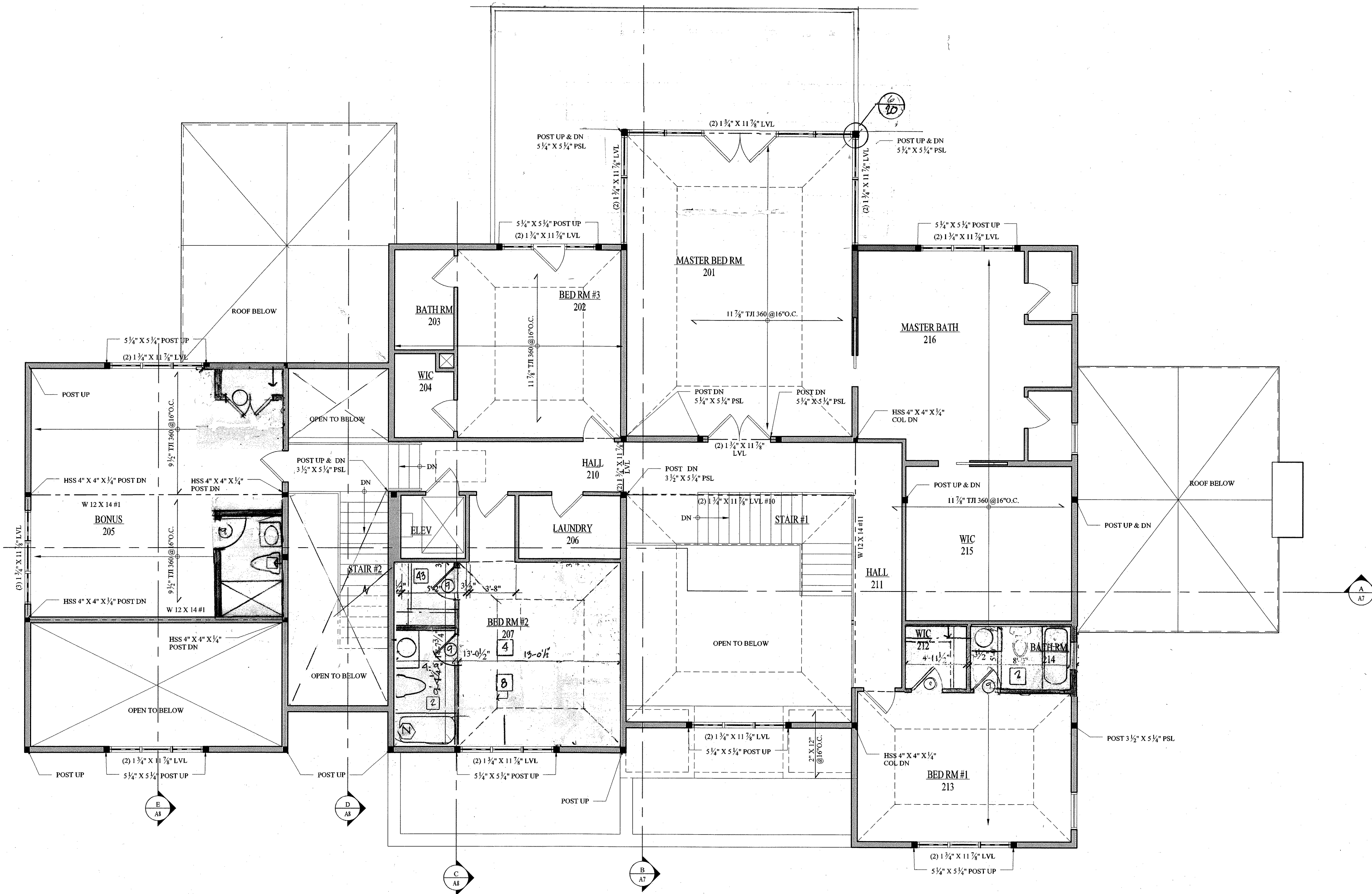
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1 1ST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

A RESIDENCE FOR
 DR. AND MRS. G. WEINHOFF
 3 MAPLE WAY
 ARMONK, NY 10504



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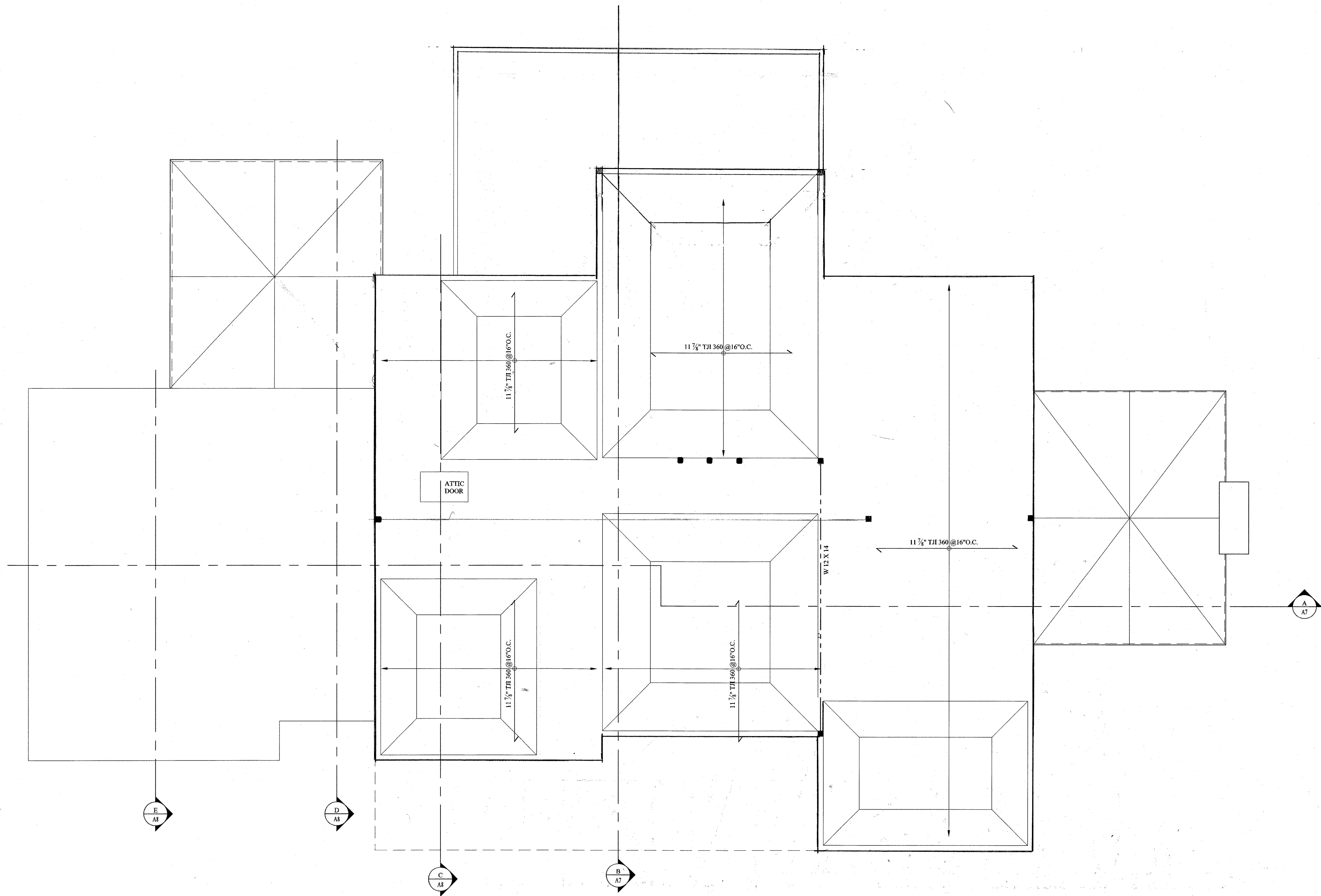
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1 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

A RESIDENCE FOR
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STRUCTURAL SECOND FLOOR 12



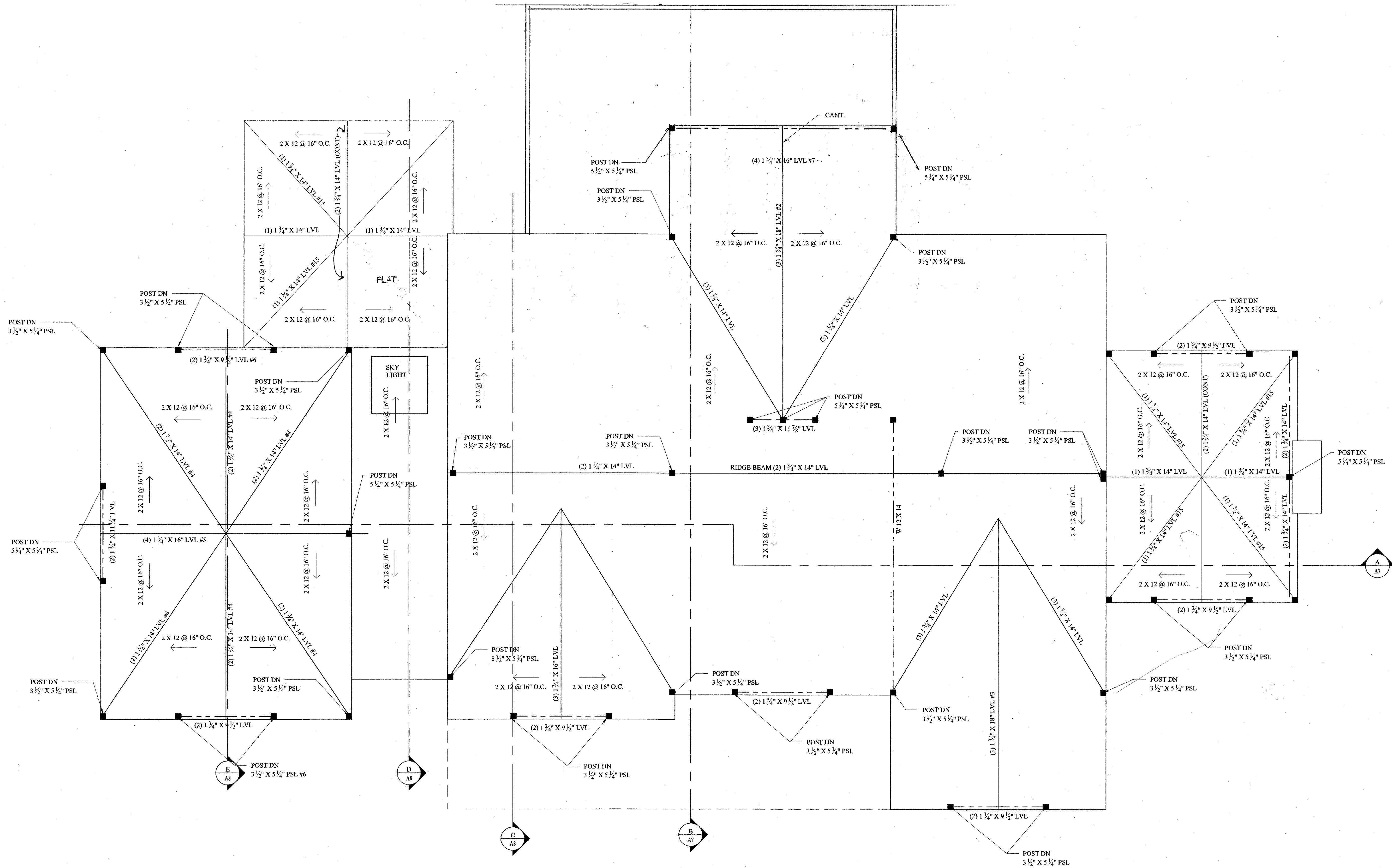
① ATTIC FRAMING PLAN
SCALE: 1/4" = 1'-0"



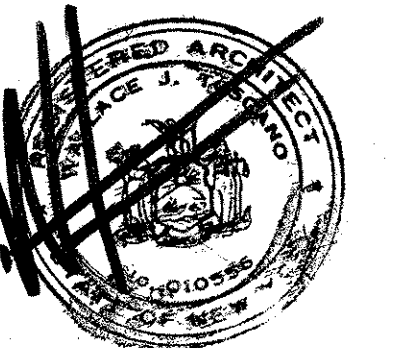
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1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



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Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	800# Hold Down Y/N	Blocking Needed Y/N
				Minimum Length Required T602.10.1.2(1)	b. Exposure	c. Ridge Height	d. Wall Height				
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
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			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y
			WSP		B	8R	10R	5			Y

Note: WSP MEANS WOOD STRUCTURAL PANEL.

SHEAR WALL LOCATIONS

Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	800# Hold Down Y/N	Blocking Needed Y/N	
				Minimum Length Required T602.10.1.2(1)	b. Exposure	c. Ridge Height	d. Wall Height					e. number of B/WL's
110	WB-1	8.0R	WSP	4.5R	B	20R	9R	1	5.0R	5.0R	N	Y
110	WB-2	8.0R	WSP	4.5R	B	20R	9R	1	5.0R	5.0R	N	Y
110	WB-3	8.0R	WSP	4.5R	B	20R	9R	1	5.0R	5.0R	N	Y
110	WB-4	8.0R	WSP	4.5R	B	20R	9R	1	5.0R	5.0R	N	Y
110	WB-5	31.0R	WSP	15.75R	B	20R	9R	1	5.0R	5.0R	N	Y
110	WB-6	31.0R	WSP	15.75R	B	20R	9R	1	16.0R	10.0R	N	Y
110	WB-7	34.0R	WSP	15.25R	B	20R	9R	1	6.0R	6.0R	N	Y
110	WB-8	34.0R	WSP	15.25R	B	20R	9R	1	6.0R	6.0R	N	Y
110	WB-9	31.0R	WSP	12.47R	B	11R	9R	1	7.0R	7.0R	N	Y
110	WB-10	31.0R	WSP	12.47R	B	11R	9R	1	7.0R	7.0R	N	Y
110	WB-11	25.0R	WSP	10.18R	B	11R	9R	1	5.0R	5.0R	N	Y
110	WB-12	25.0R	WSP	10.18R	B	11R	9R	1	5.0R	5.0R	N	Y
110	WB-13	21.0R	WSP	8.65R	B	11R	9R	1	4.0R	4.0R	N	Y
110	WB-14	21.0R	WSP	8.65R	B	11R	9R	1	4.0R	4.0R	N	Y
110	WB-15	21.0R	WSP	8.65R	B	11R	9R	1	4.0R	4.0R	N	Y
110	WB-16	21.0R	WSP	8.65R	B	11R	9R	1	4.0R	4.0R	N	Y
110	WB-17	13.0R	WSP	5.8R	B	11R	9R	1	5.0R	5.0R	N	Y
110	WB-18	13.0R	WSP	5.8R	B	11R	9R	1	5.8R	5.8R	N	Y

Note: WSP MEANS WOOD STRUCTURAL PANEL.

WOOD HEADER SCHEDULE

OPENING WIDTH	FLOOR	SIZE
UP TO 4'-1"	FIRST	2- 2x10 or 2-1 3/4" X
4'-1" TO 6'-1"	FIRST	2- 2x12 or 2-1
6'-1" TO 8'-1"	FIRST	2- 1 3/4" x 11 7/8 LVL'S or 3-1 3/4" x 9 1/2" LVL's
UP TO 4'-1"	SECOND & ATTIC	2- 2x8 or 2-1 3/4" X 7 1/4" LVL'S
4'-1" TO 6'-1"	SECOND & ATTIC	2- 2x12 or 2-1 3/4" X 9 1/2" LVL'S
6'-1" TO 8'-1"	SECOND & ATTIC	2- 1 3/4" x 11 7/8 LVL'S or 3-1 3/4" x 9 1/2" LVL'S

G.C. TO DETERMINE IN FIELD, AVAILABLE ROOM FOR HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING. SEE PLANS FOR HEADERS WITH SPANS GREATER THAN 8'-1" OR WITH LARGE POINT LOADS.

GENERAL NOTES

GENERAL

- ALL STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE BASIC BUILDING CODE OF THE STATE OF NEW YORK, LATEST EDITION.
- ALL STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH SPECIFICATIONS, ARCHITECTURAL, SITE AND MECHANICAL DRAWINGS.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR CONDITION, UNLESS SPECIFICALLY NOTED.
- CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED TO MAINTAIN STABILITY OF THE STRUCTURE DURING CONSTRUCTION.

FOUNDATIONS

- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHEN CONSTRUCTION IS TO BEGIN SO THAT THE SOIL BEARING CAPACITY CAN BE VERIFIED AND FOOTING ELEVATIONS ADJUSTED IF REQUIRED.
- BACKFILL WITH APPROVED MATERIAL ONLY. BACKFILLING UNDER SLABS, AROUND PIERS AND ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS, NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% AT OPTIMUM MOISTURE CONTENT EXCAVATION SHALL BE PROTECTED FROM FROST IN COLD WEATHER. ALL EXCAVATIONS MUST BE FREE OF WATER WHILE WORK IS IN PROGRESS.
- CONCRETE WALLS SHALL BE TEMPORARILY BRACED AGAINST EARTH PRESSURE.

STRUCTURAL LUMBER

- STRUCTURAL LUMBER SHALL BE DOUGLAS FIR/LARCH OR SIMILAR SPECIES, NO. 1 OR NO. 2 OR BETTER USING THE FOLLOWING ALLOWABLE STRESS REQUIREMENTS:
 BENDING: $F_b = 850$ PSI
 SHEAR PARALLEL TO GRAIN: $F_v = 180$ PSI
 COMPRESSION PARALLEL TO GRAIN: $F_c = 1400$ PSI
 COMPRESSION PERPENDICULAR TO GRAIN: $F_c = 625$ PSI
 MODULUS OF ELASTICITY: $E = 1,600,000$ PSI

MICROLAM, LVL, DESIGN STRESSES:

SHEAR MODULUS OF ELASTICITY	$G=118,750$ PSI
MODULUS OF ELASTICITY	$E=1,800,000$ PSI
FLEXURAL STRESS	$FB=2600$ PSI
COMP. PERP. TO GRAIN	$FC=700$ PSI
COMP. PARALLEL TO GRAIN	$FC=2,510$ PSI
HORIZONTAL SHEAR	$FV=285$ PSI

PARALLAM PSL DESIGN STRESSES:

SHEAR MODULUS OF ELASTICITY	$G=112,500$ PSI
MODULUS OF ELASTICITY	$E=1,800,000$ PSI
FLEXURAL STRESSES	$FB=2400$ PSI
COMPRESSION PERP. TO GRAIN	$FC=425$ PSI
COMPRESSION PARALLEL TO GRAIN	$FC=2500$ PSI
HORIZONTAL SHEAR	$FV=190$ PSI
DENSITY	45 LBS/CU FT

CONCRETE

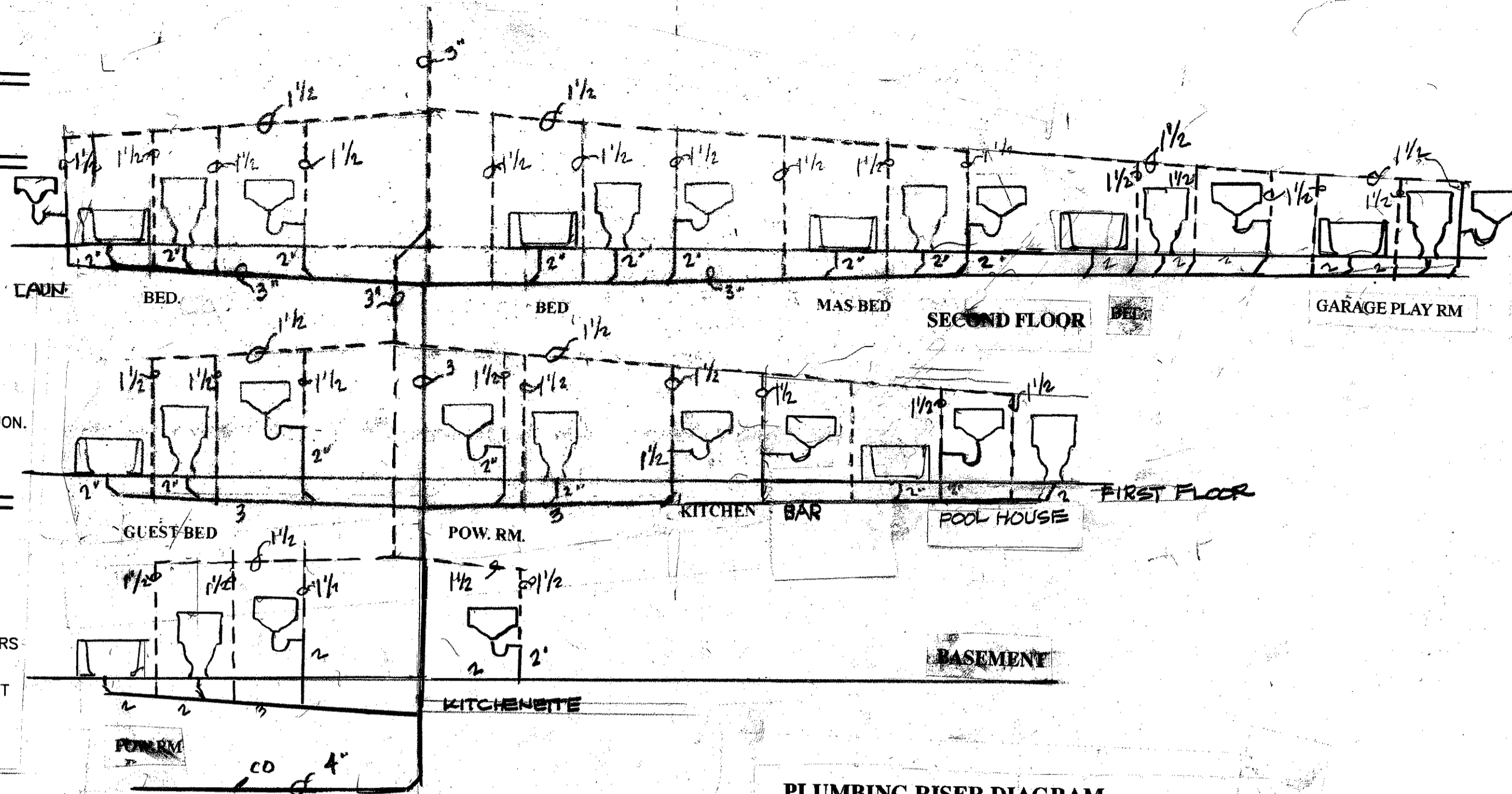
- CONCRETE STRENGTH: 3,000 PSI AT 28 DAYS.
- REINFORCEMENT RODS: ASTM A615, GRADE 60.
- WELDED WIRE FABRIC: ASTM A 185 AND A 182, MINIMUM YIELD STRESS, 70,000 PSI.
- ALL CONCRETE EXPOSED TO WEATHER, INCLUDING CONCRETE FOR RETAINING WALLS WALLS, SHALL BE AIR ENTRAINED.
- ALL DETAILS, WORKMANSHIP AND PROCEDURES SHALL CONFORM TO ACI 318, LATEST EDITION, AND OTHER APPLICABLE MINIMUM STANDARDS, EXCEPT AS OTHERWISE SHOWN ON DRAWINGS OR SPECIFIED.
- ALL BARS MARKED "CONT" (CONTINUOUS) SHALL BE LAPPED 40 BAR DIAMETERS AT SPLICES AND CORNERS AND SHALL BE HOOKED OR EXTENDED A MINIMUM OF 2'-0". SEE TYPICAL DETAILS. TOP BARS SHALL BE LAPPED AT MID-SPAN, BOTTOM BARS AT SUPPORTS.
- CURING OF CONCRETE IS TO START AS SOON AS THE FINISH OF THE CONCRETE WILL NOT BE MARRED BY FINISHING. IT WILL NOT BE PERMISSIBLE TO DELAY CURING UNTIL THE NEXT MORNING AFTER CONCRETE IS CAST.
- PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS NOTED IN ACI 318, LATEST EDITION.

HIGH WIND RESISTANT CONSTRUCTION

- STRAP EVERY RAFTER AT THE RIDGE WITH SIMPSON LSTA30 STRAPS
- CONNECT RAFTERS TO STUDS WITH SIMPSON H2 TIES AND MTS30.
- CONNECT FLOOR TO FLOOR AT EXTERIOR WITH SIMPSON ST22 STRAPS AT EVERY OTHER STUD.
- CONNECT STUDS TO SILL PLATE WITH SIMPSON LSTA36 AND LTP5 TIES.
- CONNECT SILL PLATE TO FOUNDATION WALL WITH 5/8" BOLTS AT 32" oc.

DESIGN LOADS

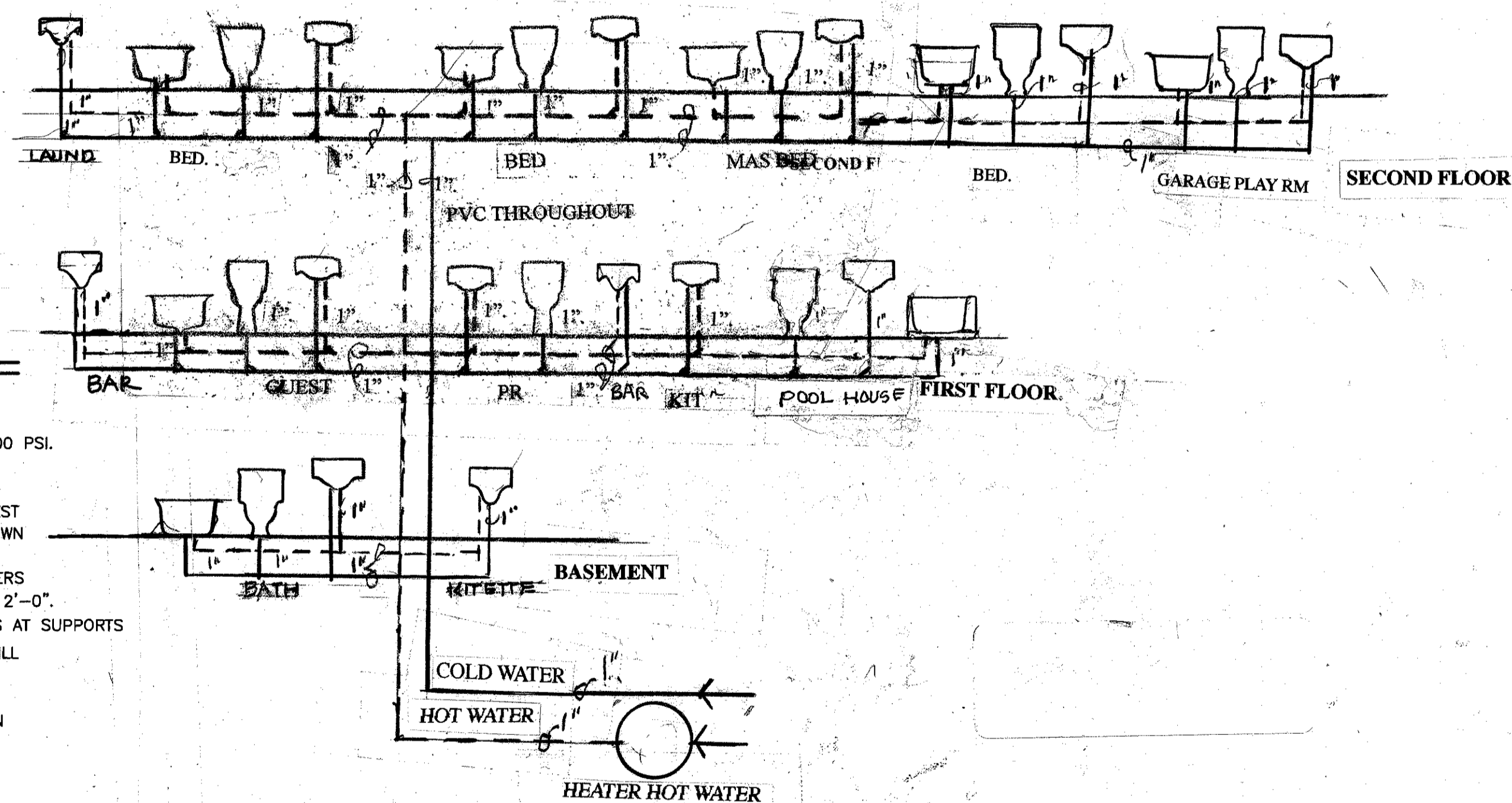
- GROUND SNOW LOAD = 30 PSF
- FIRST FLOOR LIVE LOAD = 40 PSF
SECOND FLOOR LIVE LOAD = 30 PSF
ATTIC FLOOR LIVE LOAD = 20 PSF
- BASIC WIND LOAD = 110 M.P.H.
- WIND LOAD IMPORTANCE FACTOR, $1W = 1.0$
- WIND EXPOSURE = C
- ENCLOSED BUILDING PER ASCE7-02; INTERNAL PRESSURE COEF. = +/- .18



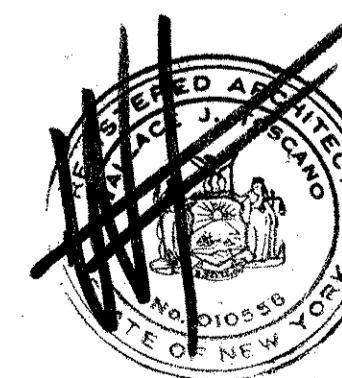
PLUMBING RISER DIAGRAM

PLUMBING INFO

SANITARY WASTE LINES WILL BE PVC
 BACKFLOW VALVE TO BE SEPTIC 4"
 ALL WATER LINES ABOVE 3/4" TOMB INSULATED



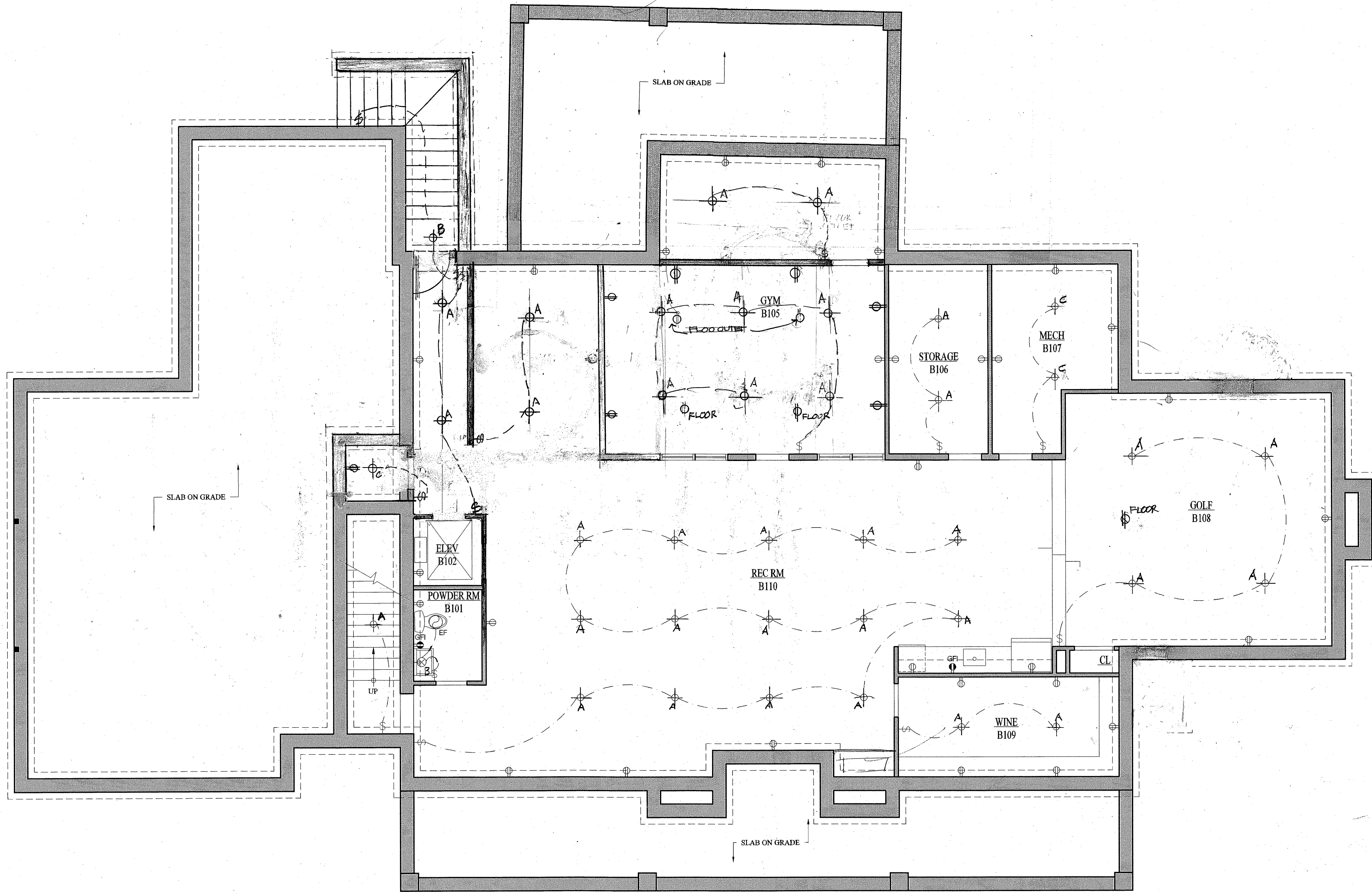
WATER SUPPLY RISER DIAGRAM



A RESIDENCE FOR
 DR AND MRS G. WEINHOF
 3 MAPLE WAY
 ARMONK, NY 10504

WALLACE J. TOSCANO A.L.A.
 ARCHITECT

30 GOTTSWOLD DR
 NORTH SALEM, NY 10560
 914-325-1476 CELL
 ARCHWJ34@GMAIL.COM



ALL LIGHT SWITCHES
TO BE ON DIMMERS

LIGHTING SCHEDULE

NUMBER	UNIT SIZE	MODEL	MANUFACTURE
A	3 1/2"	2005-MR 16	LOIGHTOLIER
B	BY OWNER	SBO-IBC	"
C	6 3/4"	1126 WHITE DIFF.	"
D	3 3/4" MR16 EYEBALL	2022LV	"

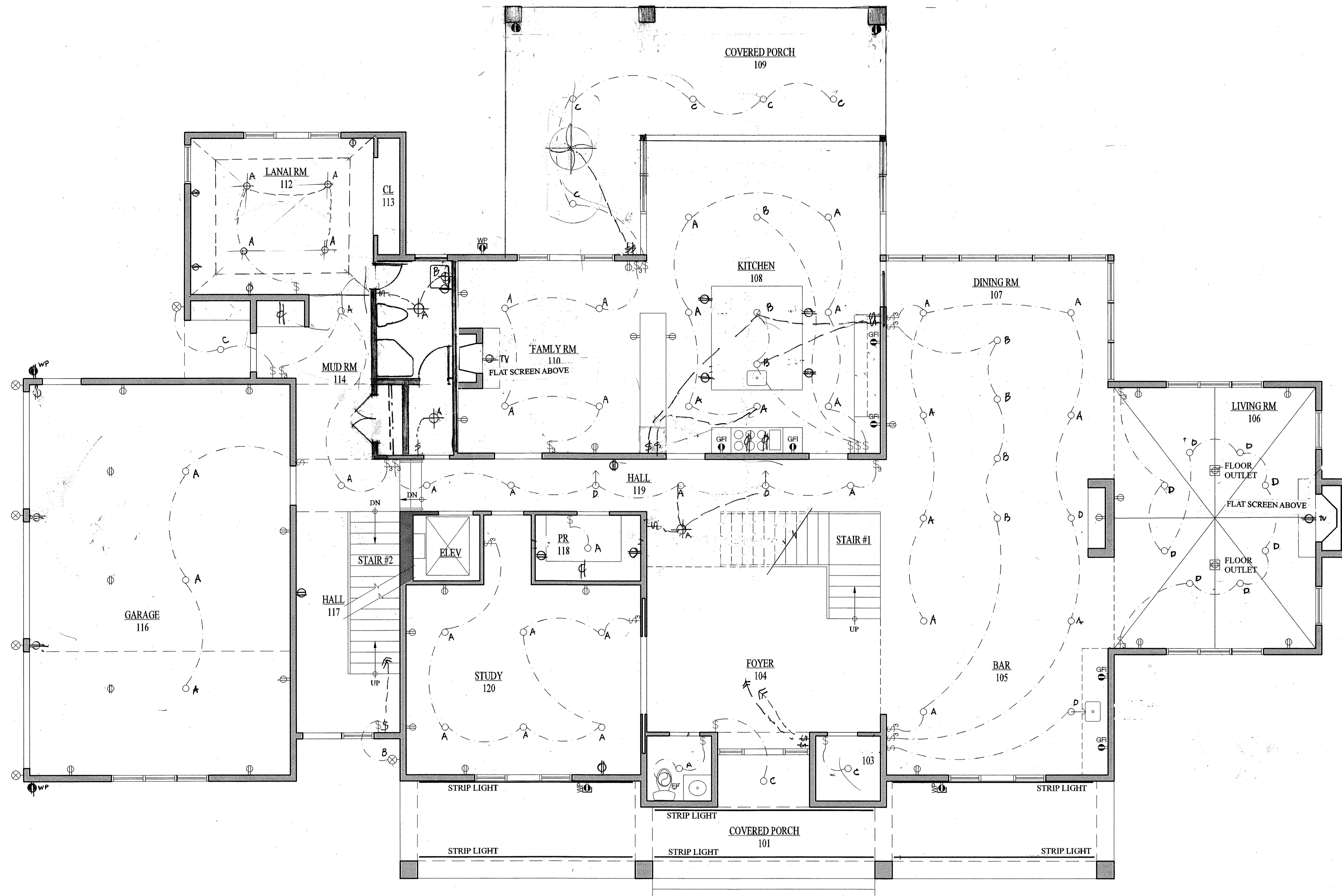
1 BASEMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



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1 1ST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ALL LIGHT SWITCHES TO BE ON DIMMERS

LIGHTING SCHEDULE

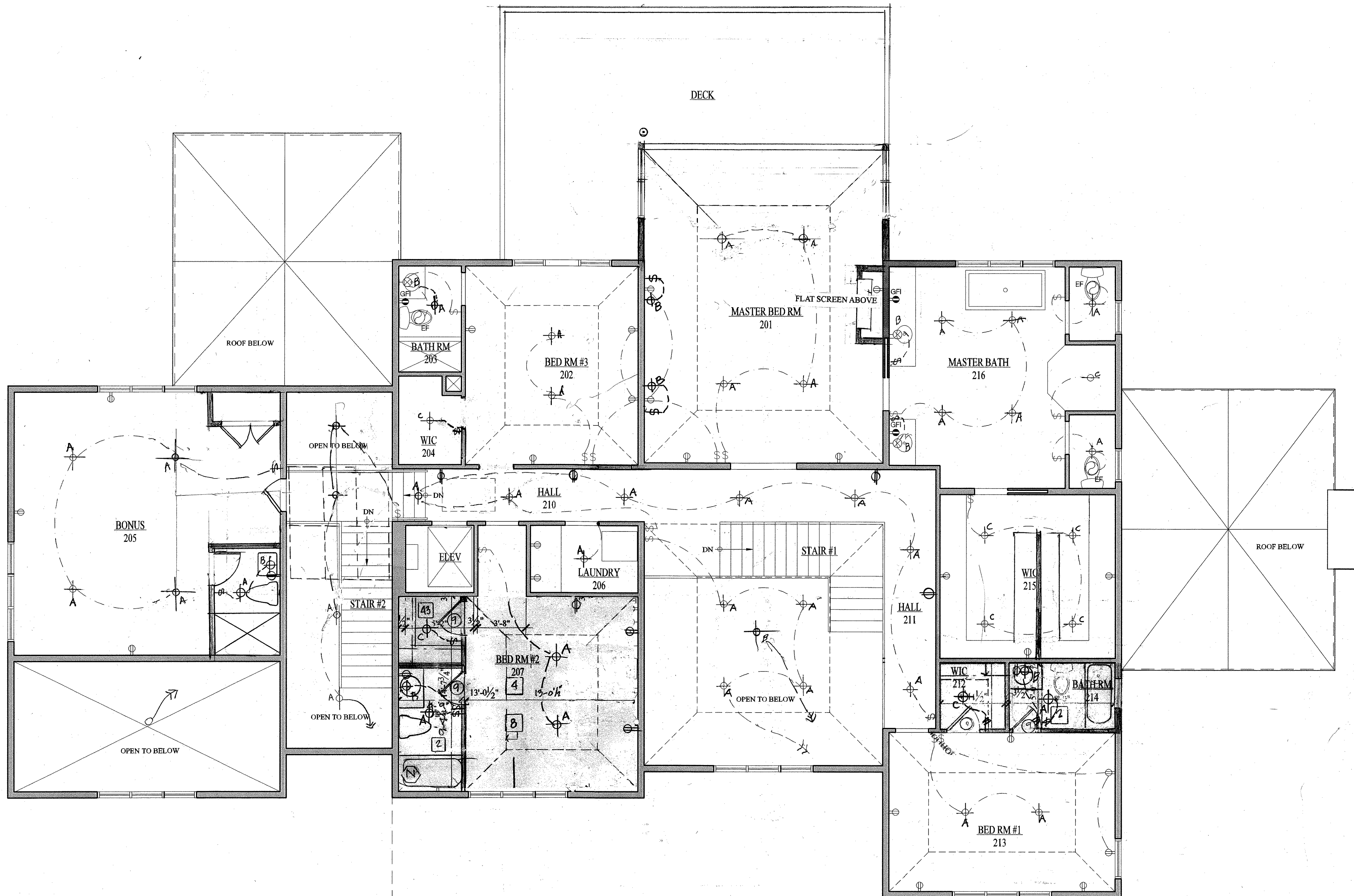
NUMBER	UNIT SIZE	MODEL	MANUFACTURE
A	3 1/2"	2005-MR 16	LOIGHTOLIER
B	BY OWNER	SBO-IBC	"
C	6 3/4"	1126 WHITE DIFF.	"
D	3 3/4" MR16 EYEBALL	2022LV	"



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ALL LIGHT SWITCHES
TO BE ON DIMMERS

LIGHTING SCHEDULE

NUMBER	UNIT SIZE	MODEL	MANUFACTURE
A	3 1/4"	2005-MR 16	LOIGHTOLIER
B	BY OWNER	SBO-IBC	"
C	6 3/4"	1125-WHITE DIFF.	"
D	3 3/4" MR16 EYEBALL	2022LV	"

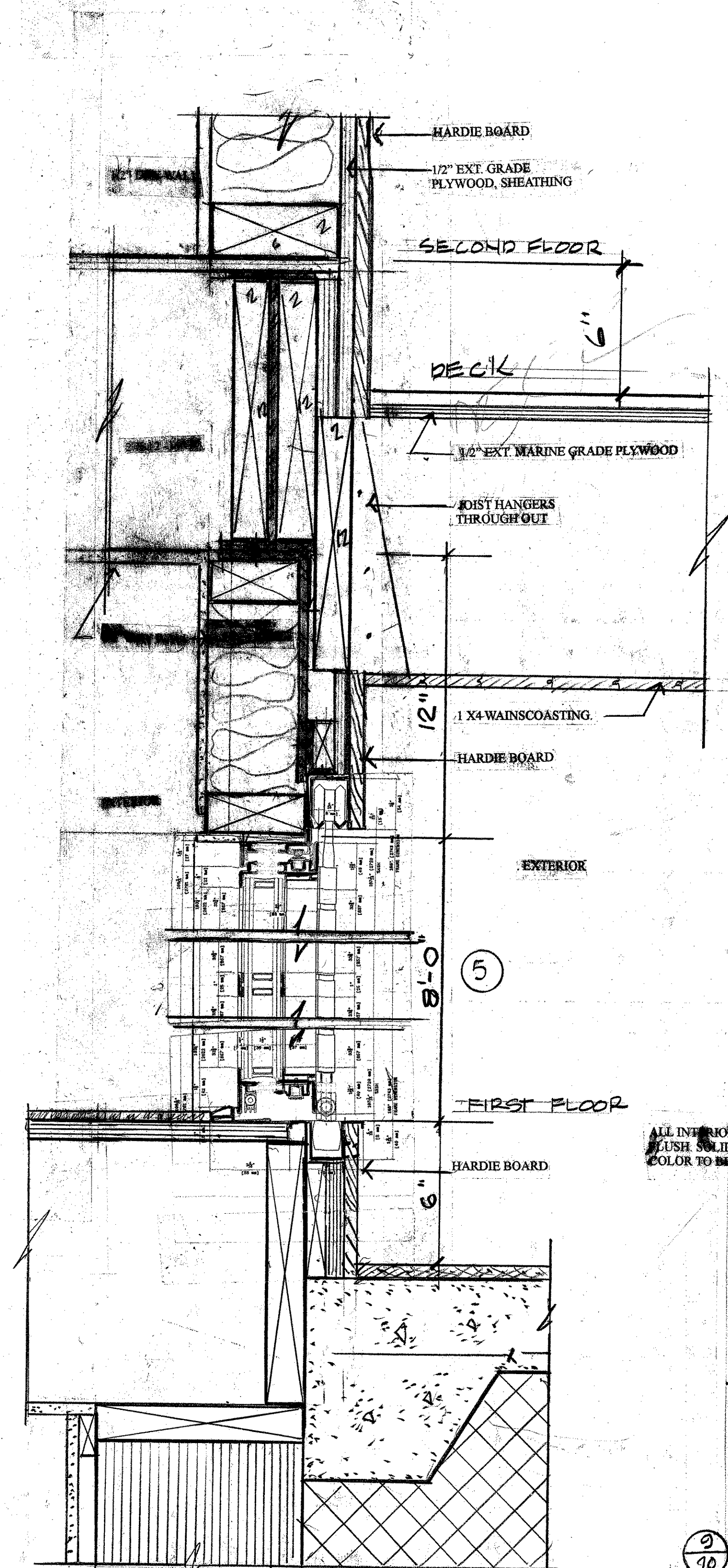
1 2ND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



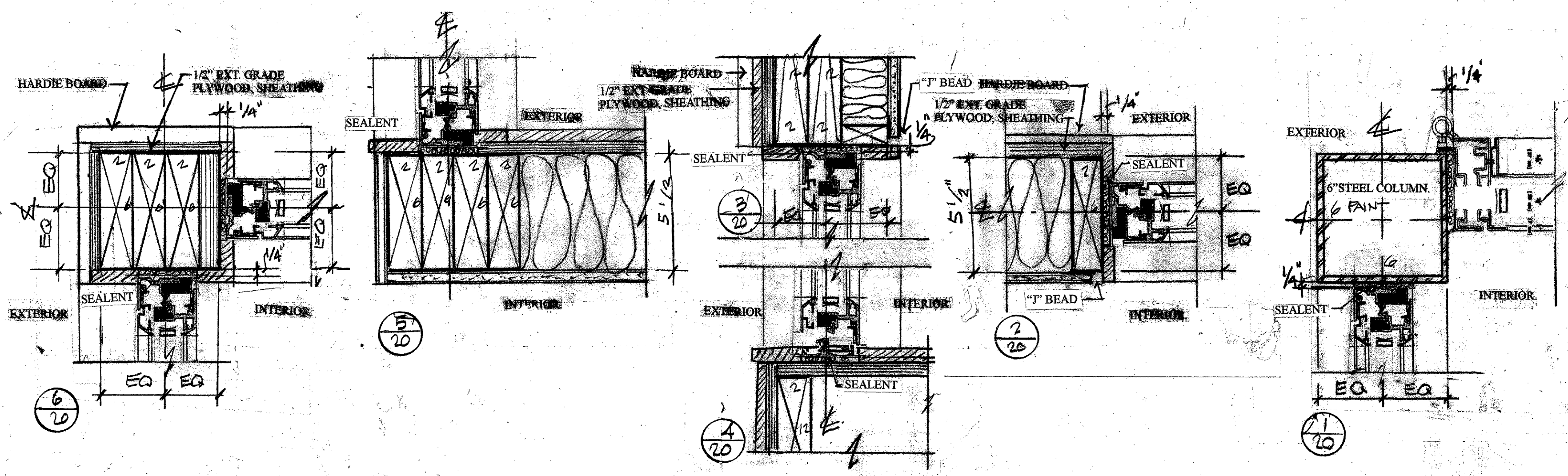
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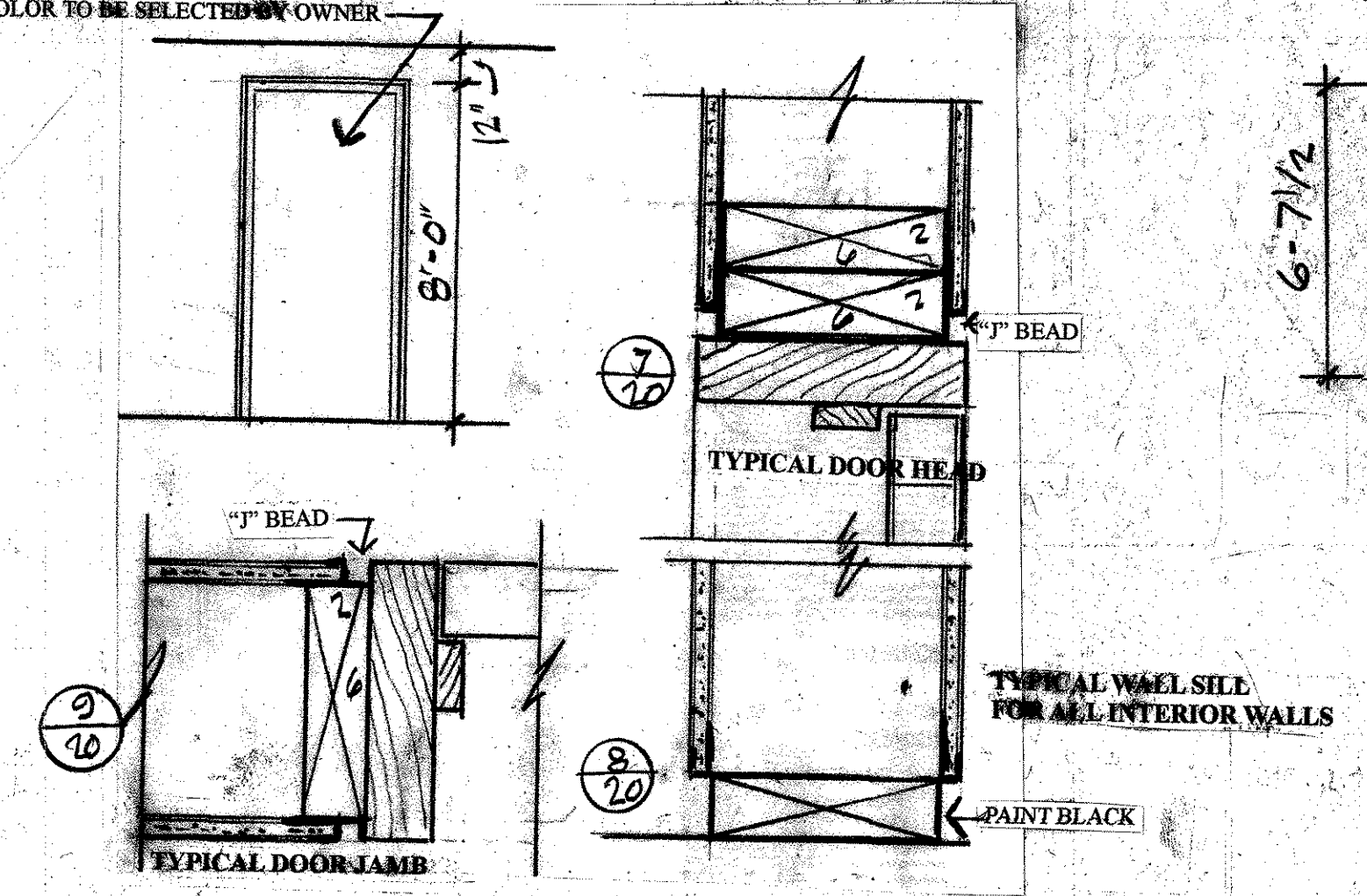


10
10 DETAIL SECTION THRU KITCHEN AT THE REAR SIDE 3" = 1'-0"

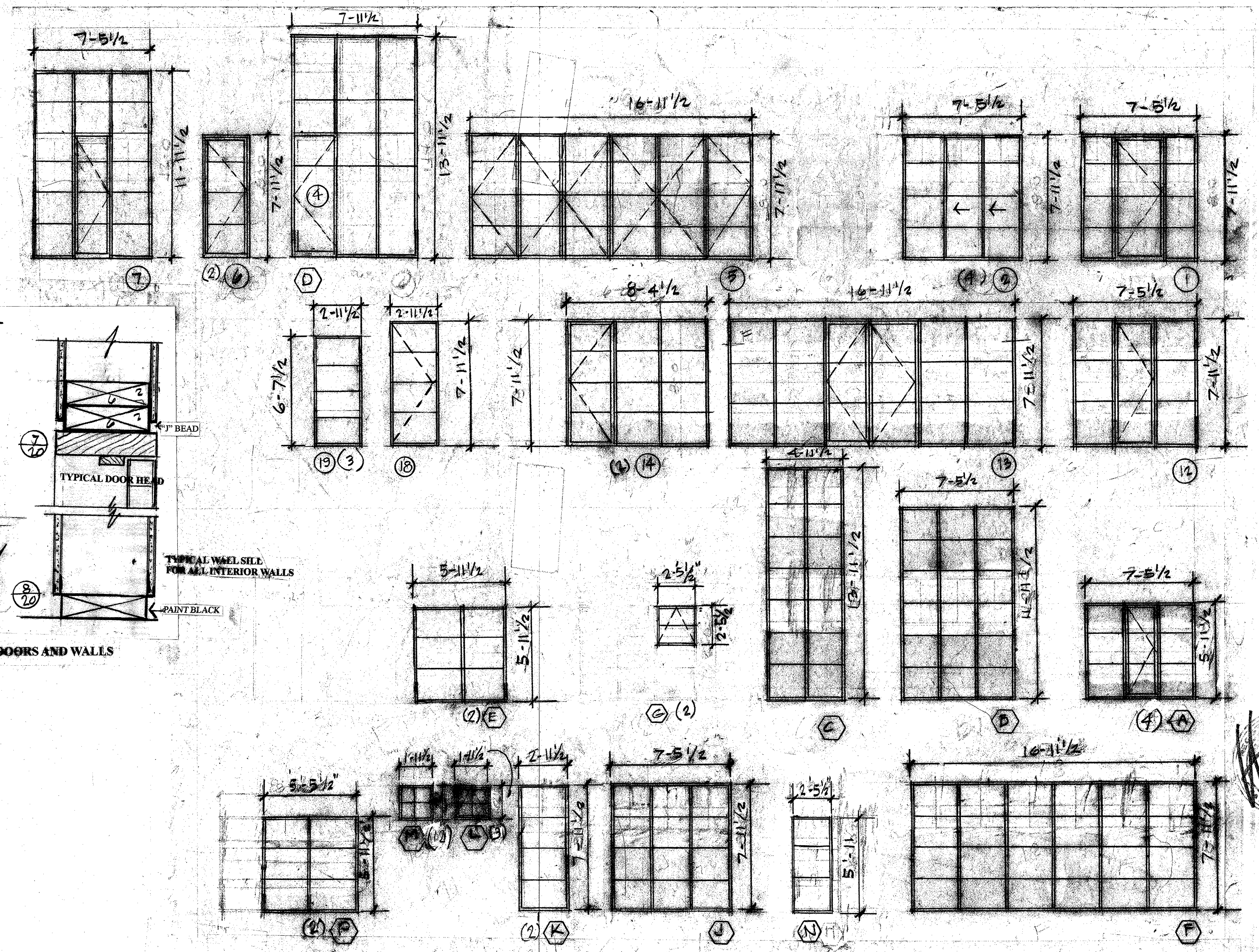


EXTERIOR WINDOW AND DOOR DETAILS
ALL STEEL WINDOWS AND DOORS HAVE A 1/2" TOLERANCE HORIZONTALLY AND VERTICALLY BETWEEN ACTUAL FRAME SIZE AND ROUGH OPENING

ALL INTERIOR DOORS AND TOPS TO BE FLUSH SOLID CORE PAINTED COLOR TO BE SELECTED BY OWNER



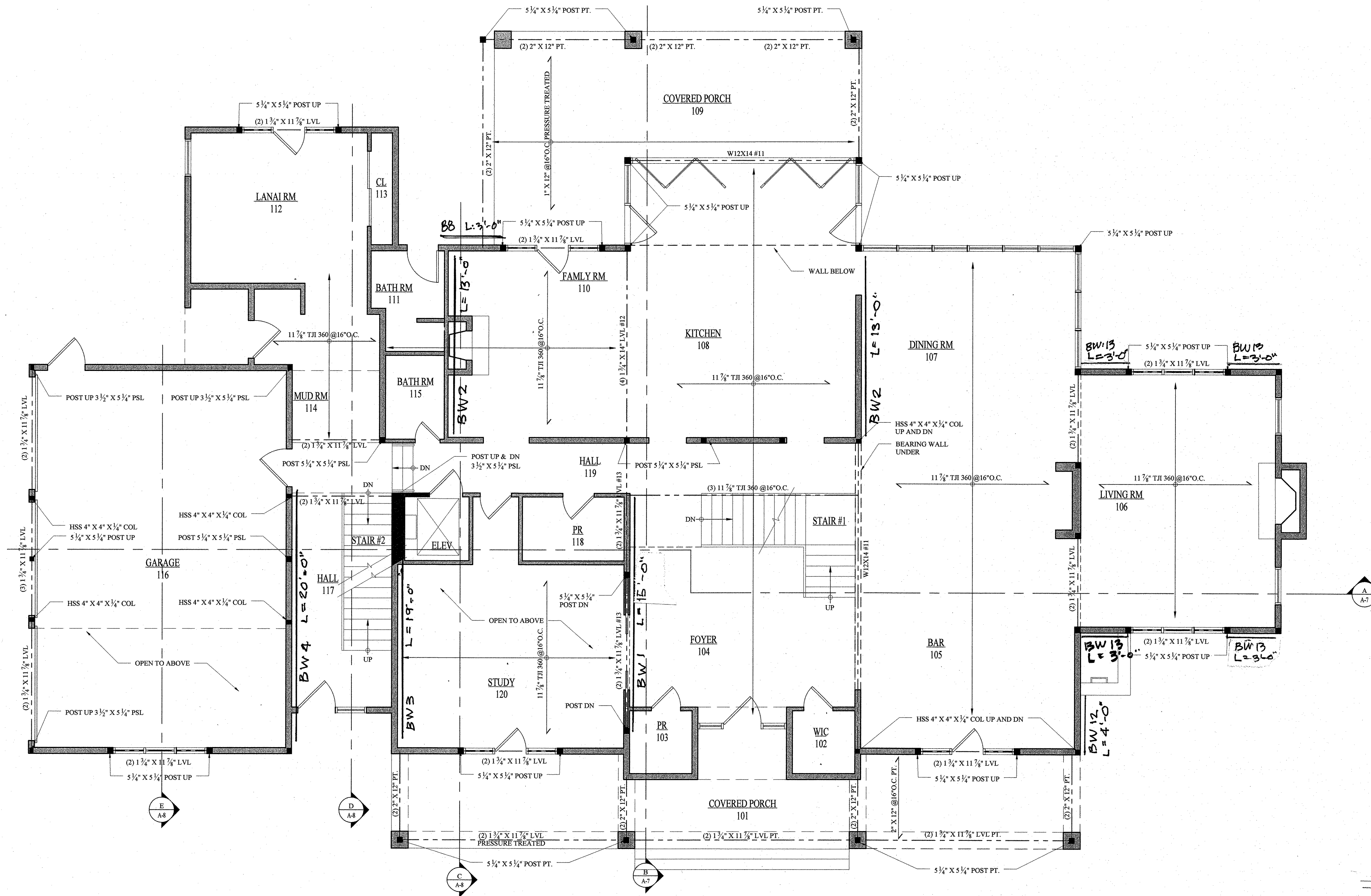
DETAILS FOR EXTERIOR DOORS AND WALLS



- 1 PANASONIC EXHAUST FAN FV-08VQ3 80 CFM
- 2 ALL BATHROOM FIXTURES AND FLOOR AND WALL FINISHES BY OWNER
- 3 WOOD PARQUET FLOOR BY OWNER TO DETERMINE PATTERN AND FINISH
- 4 CARPET BY OWNER OVER PLYWOOD
- 5 TILE FLOOR BY OWNER
- 6 SEE SHEET 9 FOR RETAILS
- 7 INTERIOR WALLS 2 X 4 - 16" OC WITH 1/2" SOUND INSULATION AT ALL BEDROOM BATHROOM AND POWDER ROOM WALLS
- 8 TRAY CEILING
- 9 SLIDING DOOR
- 10 ALL EXTERIOR WALLS 2 X 6 - 16" OC FULL FOAM INSULATION 1/2" D W 3/4" PLYWOOD MARINE GRADE WITH BUILDING PAPER OVER FIRST FLOOR - HARDIE BOARD 1 X 6 SMOOTH LAP SIDING - NAVAJO BEIGE SECOND FLOOR - HARDIE BOARD BOARD AND BATTEN 16" OC BATTENS CUT DOWN TO 1 X 2 PAINT CUT EDGE COLOR FOR CUT EDGE TO BE NAVAJO BEIGE
- 11 TILE FLOOR 18 X 18 *****
- 12 ALL APPL. TILE, CABINETS AND EQUIPMENT BY OWNER
- 13 STEPS 14" WIDE. SEE DETAIL
- 14 CABINET BY OWNER
- 15 WOOD BURNING FIREPLACE - WOODLAND DIRECT MAJESTIC BILTMORE 42" WIDE FAMILY ROOM 36" WIDE
- 16 GAS FIREPLACE BY OWNER
- 17 BAR BY OWNER
- 18 CLOTH POLE AND SHELF
- 19 CONDENSER PAD 42 X 42 - 6" CONC WITH 4 # BARS EACH WAY
- 20 SKYLIGHT SEE DETAIL SHEET 6A
- 21 SEE DETAIL FOR BENCH SHELF
- 22 KITCHENETTE BY OWNER
- 23 CABINET BY OWNER
- 24 6" CONC SLAB W 4 X 4 W/WF ON 6" GRAVEL ON COMPACTED FILL - SLOPE SLAB FLAT ROOF BELOW
- 25 RALING####
- 26 RISER UP
- 27 ACCESS PANEL TO ATTIC 42" X 30"
- 28 SHELF
- 29 WASHER/DRYER BY OWNER
- 30 FLOOD SAVER PAN WM-P27
- 31 RAILING SEE DETAIL SHEET 9
- 32 FUR OUT WALL 2 X 4 - 16" OC, 1/2 DW
- 33 SHELF
- 34 ROOF BUILT UP ROOFING SLOPE 1/4" PER FOOT
- 35 ADJUSTABLE LOUVERS BY "KE DRY A" CONTACT GREGORY SAHAGIAN & SON 914 949 9877
- 36 58" FIRE PROOF DRY WALL
- 37 FLOORING BY OWNER
- 38 WINE CELLAR SHELVING BY OWNER
- 39 CARPETING BY OWNER
- 40 FIRE DOOR
- 41 GEOTHERMAL SYSTEM BY OWNER
- 42 SEE SPECS FOR ELEVATOR
- 43 CLOTH POLE AND SHELF
- 44 STONE PLINTH - 2" CT THIN ASHLAR BY BEDFORD STONE BEDFORD HILLS NY 914-666-6404
- 45 SEE DETAIL SHEET 9
- 46 STANDING SEEM METAL ROOF GUN METAL FINISH
- 47 FIREPLACE FLUE
- 48 GAS FIREPLACE BY MAJESTIC MARQUIS SERIES 42" WIDE
- 49 STAIRS 17R @ 7 1/4 16T @ 12"
- 50 OAK STAINED HANDRAIL BY PROMENAU-SILVER RAIL AND BRACKET WITH ADA RETURN 888 992 4943
- 51 GAS LANTERNS BY OWNER
- 52 8" CONC BLOCK WALL WITH 2" CT THIN ASHLAR BY BEDFORD STONE AND GRAVEL BEDFORD HILLS NY
- 53 CONC STEPS SLATE RISER 10" TREAD 7" LEADERS AND GUTTERS BY "LEAF GUARD". (205) 635 5195
- 54 2 X 4 STUDS 16" OC FOAM INSULATION, WP DRY WALL - HARDER BOARD - BOARD AND BATTEN SEE NOTE 10 REGARDING CUTTING BATTENS DOWN TO 1 X 2
- 55 EDGE OF ROOF OVER HANG
- 56 TYPICAL COLUMN SEE DETAIL
- 57 CUSTOM BACK BAR SEE DETAILS
- 58 CUSTOM BAR SEE DETAILS
- 59 STONE FLOOR OVER 4" CONC SLAB 1/4 X 4 W/WF ON COMPACTED FILL
- 60 RIDGE OF ROOF ABOVE
- 61 ADJUSTABLE SHELF
- 62 STANDING METAL ROOF SEEMS AT 16" OC GUN METAL GREY
- 63 CUPOLA BY "ABSOLUTELY AMISH "CARLISLE" 36" WIDE X 6" HIGH
- 64 2" CT THIN ASHLAR STONE ON 10" CONC BLOCK
- 65 4 X 4 CEDAR
- 66 10" CONC BLOCK ON 12 X 18 CONC FOOTING W (2) #5 REBARS TO FROST LINE
- 67 4" CONC SLAB ON 6" CRUSSED GRAVEL ON COMPACTED FILL
- 68 WOOD BURNING FIRE PLACE DIRECT MAJESTIC BILTMORE 42" WIDE
- 69 THE BEAMS BEYONDS
- 70 4 X 10 CEDAR BEAMS
- 71 EDGE OF SLAB
- 72 CHIMNEY CAP SAME AS MAIN HOUSE
- 73 2 X 10 TIE BEAMS
- 74 2 X 10 TIE BEAMS
- 75 2 X 10 16" OC WITH 1 X 4 SQUARE CUT CEDAR SIDING - JOIST HANGERS THRU OUT
- 76 EXHAUST FAN PANASONIC FV08-VQ2
- 77 ALL FIXTURES SBO-IBC
- 78 SLIDING DOOR HARDWARE BY "JOHNSON" SERIES 20960 SC
- 79 OUT DOOR SHOWER PLUMBING - FITURES SELECTED BY OWNER - WALLS TO MATCH SIDING ON BUILDING CONC PAD WITH DRAIN

A RESIDENCE FOR MR AND MRS G. WEINHOFF 3 MAPLE WAY ARMONK, NY 10584

WALLACE ROSCANO A.L.A. ARCHITECT
COTSWOOD DR
NORTH SHEN NY 10584
914-327-4470
WWW.WRARCH.COM



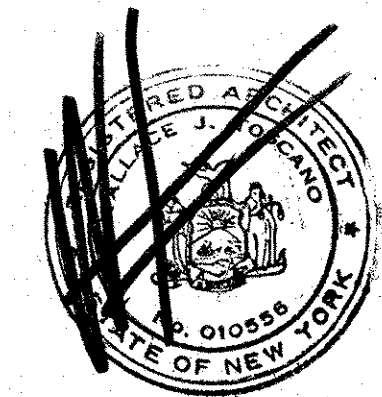
1 1ST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

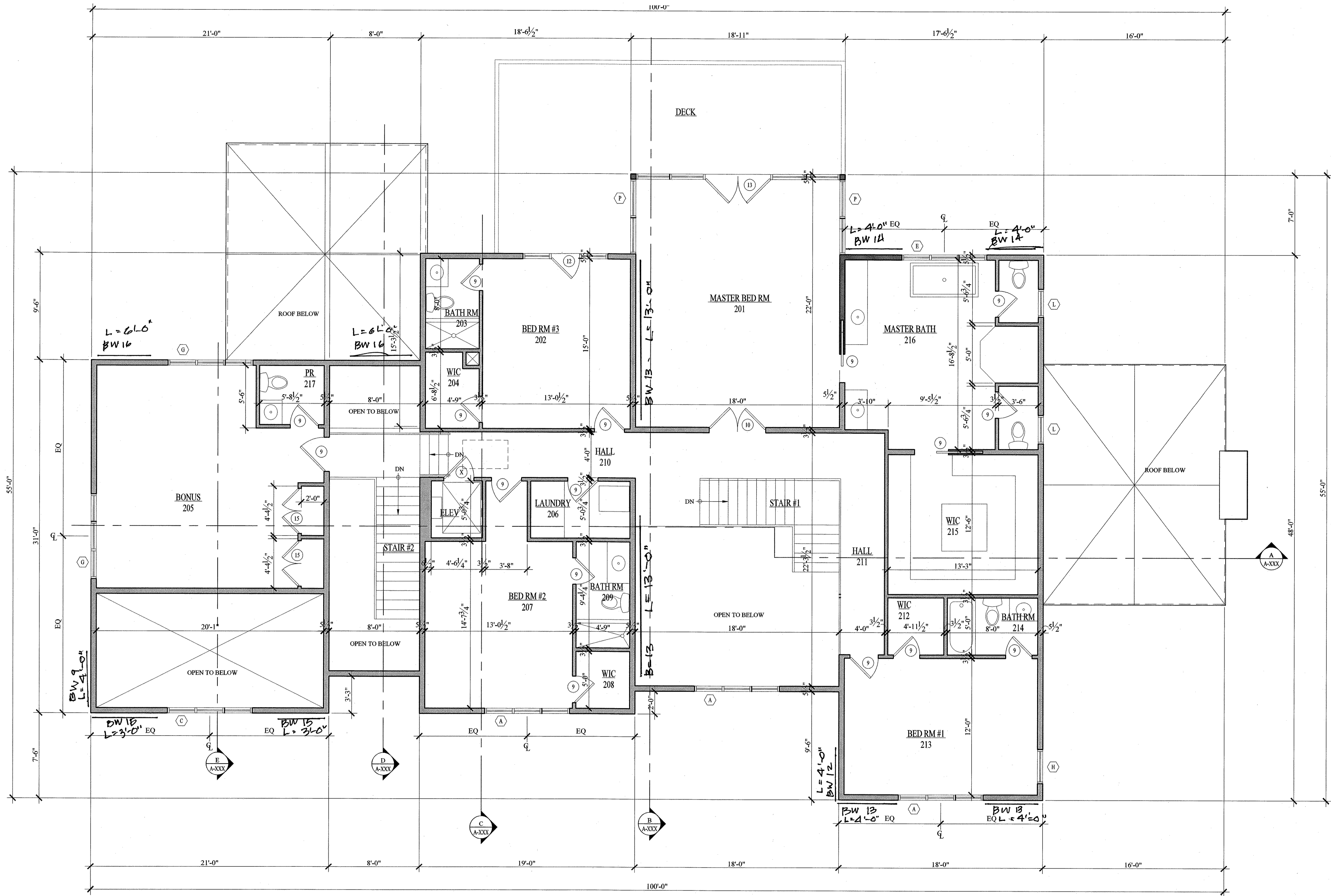
**SHEAR WALL
1ST FLOOR**

A RESIDENCE FOR
DR AND MRS G. WEINHOFF
3 MAPLE WAY
ARMONK, NY 10504

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1 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**SHEAR WALL
2ND FLOOR**

A RESIDENCE FOR
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WALLACE J. TOSCANO A.L.A.
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Bracing Wall Schedule- First Floor (BW)												
Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum Length Required T602.10.1.2(1)	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	800# Hold Down Y/N	Blocking Needed Y/N
					b. Exposure	c. Ridge Height	d. Wall Height	e. number of BWL's				
110	BW-1	34.5 ft	WSP	15.0 ft	C	10 ft	8 ft	4	14.11 ft	15 ft	N	Y
110	BW-2	34.5 ft	WSP	15.0 ft	C	10 ft	8 ft	4	14.11 ft	15 ft	N	Y
110	BW-3	49.5 ft	WSP	18.0 ft	C	10 ft	8 ft	4	17.96 ft	18 ft	N	Y
110	BW-4	49.5 ft	WSP	18.0 ft	C	10 ft	8 ft	4	17.96 ft	18 ft	N	Y
110	BW-5	32.5 ft	WSP	11.5 ft	C	10 ft	8 ft	4	11.5 ft	12 ft	N	Y
110	BW-6	32.5 ft	WSP	11.5 ft	C	10 ft	8 ft	4	11.5 ft	12 ft	N	Y
110	BW-7	39 ft	WSP	6.03 ft	C	10 ft	8 ft	4	6.03 ft	6.0 ft	N	Y
110	BW-8	15.5 ft	WSP	6.03 ft	C	10 ft	8 ft	4	6.03 ft	6.0 ft	N	Y

Note: WSP MEANS WOOD STRUCTURAL PANEL.

Bracing Wall Schedule - Second Floor (BW)												
Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum Length Required T602.10.1.2(1)	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	800# Hold Down Y/N	Blocking Needed Y/N
					b. Exposure	c. Ridge Height	d. Wall Height	e. number of BWL's				
110	BW-9	18 ft	WSP	3.74 ft	C	10 ft	8 ft	4	3.74 ft	4.0 ft	N	Y
110	BW-10	18 ft	WSP	3.74 ft	C	10 ft	8 ft	4	3.74 ft	4.0 ft	N	Y
110	BW-11	15 ft	WSP	3.22 ft	C	10 ft	8 ft	4	3.22 ft	4.0 ft	N	Y
110	BW-12	15 ft	WSP	3.22 ft	C	10 ft	8 ft	4	3.22 ft	4.0 ft	N	Y
110	BW-13	32.5 ft	WSP	6.29 ft	C	10 ft	8 ft	4	6.29 ft	8.0 ft	N	Y
110	BW-14	32.5 ft	WSP	6.29 ft	C	10 ft	8 ft	4	6.29 ft	8.0 ft	N	Y
110	BW-15	30 ft	WSP	5.85 ft	C	10 ft	8 ft	4	5.85 ft	6.0 ft	N	Y
110	BW-16	30 ft	WSP	5.85 ft	C	10 ft	8 ft	4	5.85 ft	6.0 ft	N	Y

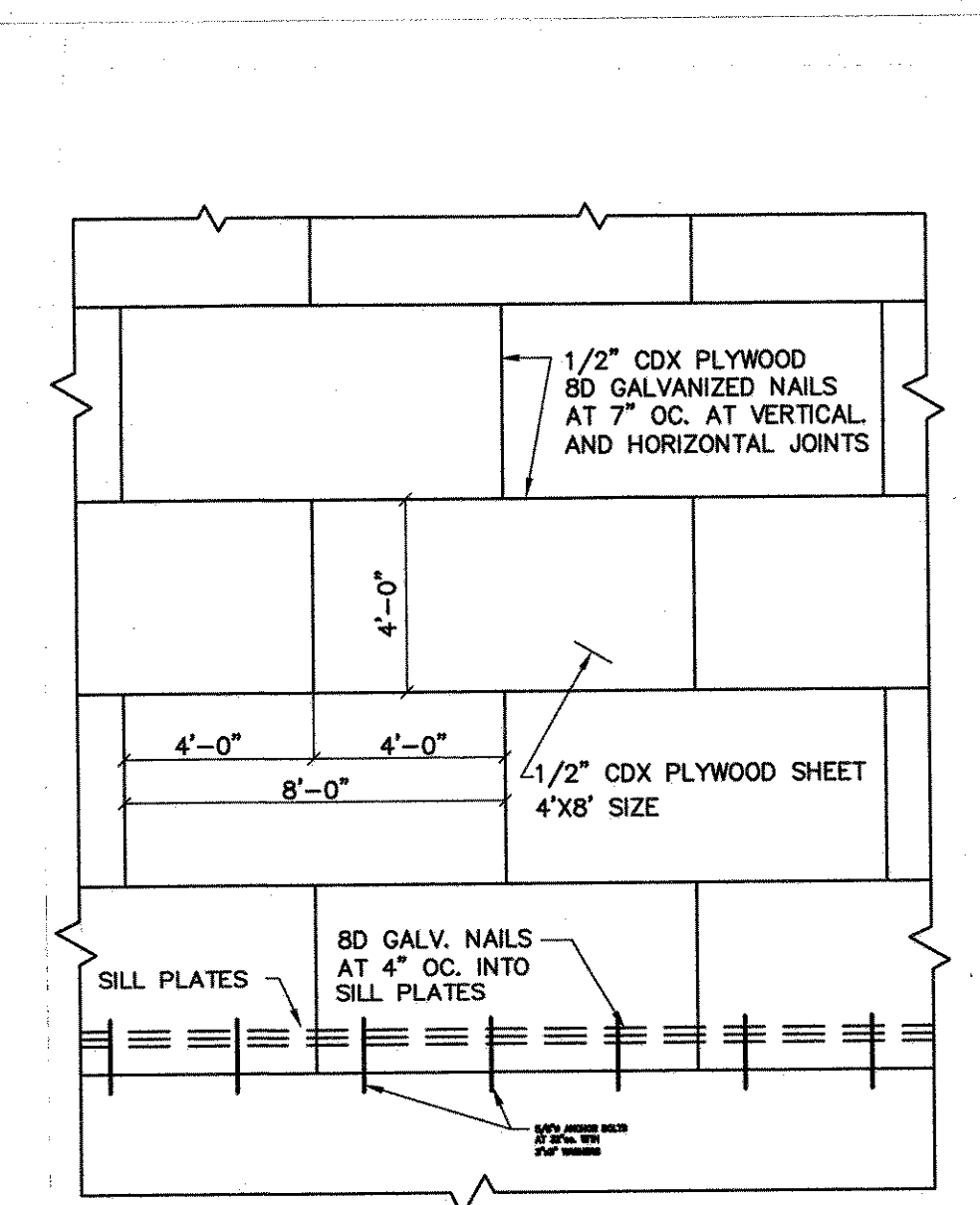
Note: WSP MEANS WOOD STRUCTURAL PANEL.

Bracing Wall Schedule- First Floor (BW)												
Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum Length Required T602.10.1.2(1)	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	800# Hold Down Y/N	Blocking Needed Y/N
					b. Exposure	c. Ridge Height	d. Wall Height	e. number of BWL's				
110	BW-1	34.5 ft	WSP	15.0 ft	C	10 ft	8 ft	4	14.11 ft	15 ft	N	Y
110	BW-2	34.5 ft	WSP	15.0 ft	C	10 ft	8 ft	4	14.11 ft	15 ft	N	Y
110	BW-3	49.5 ft	WSP	18.0 ft	C	10 ft	8 ft	4	17.96 ft	18 ft	N	Y
110	BW-4	49.5 ft	WSP	18.0 ft	C	10 ft	8 ft	4	17.96 ft	18 ft	N	Y
110	BW-5	32.5 ft	WSP	11.5 ft	C	10 ft	8 ft	4	11.5 ft	12 ft	N	Y
110	BW-6	32.5 ft	WSP	11.5 ft	C	10 ft	8 ft	4	11.5 ft	12 ft	N	Y
110	BW-7	39 ft	WSP	6.03 ft	C	10 ft	8 ft	4	6.03 ft	6.0 ft	N	Y
110	BW-8	15.5 ft	WSP	6.03 ft	C	10 ft	8 ft	4	6.03 ft	6.0 ft	N	Y

Note: WSP MEANS WOOD STRUCTURAL PANEL.

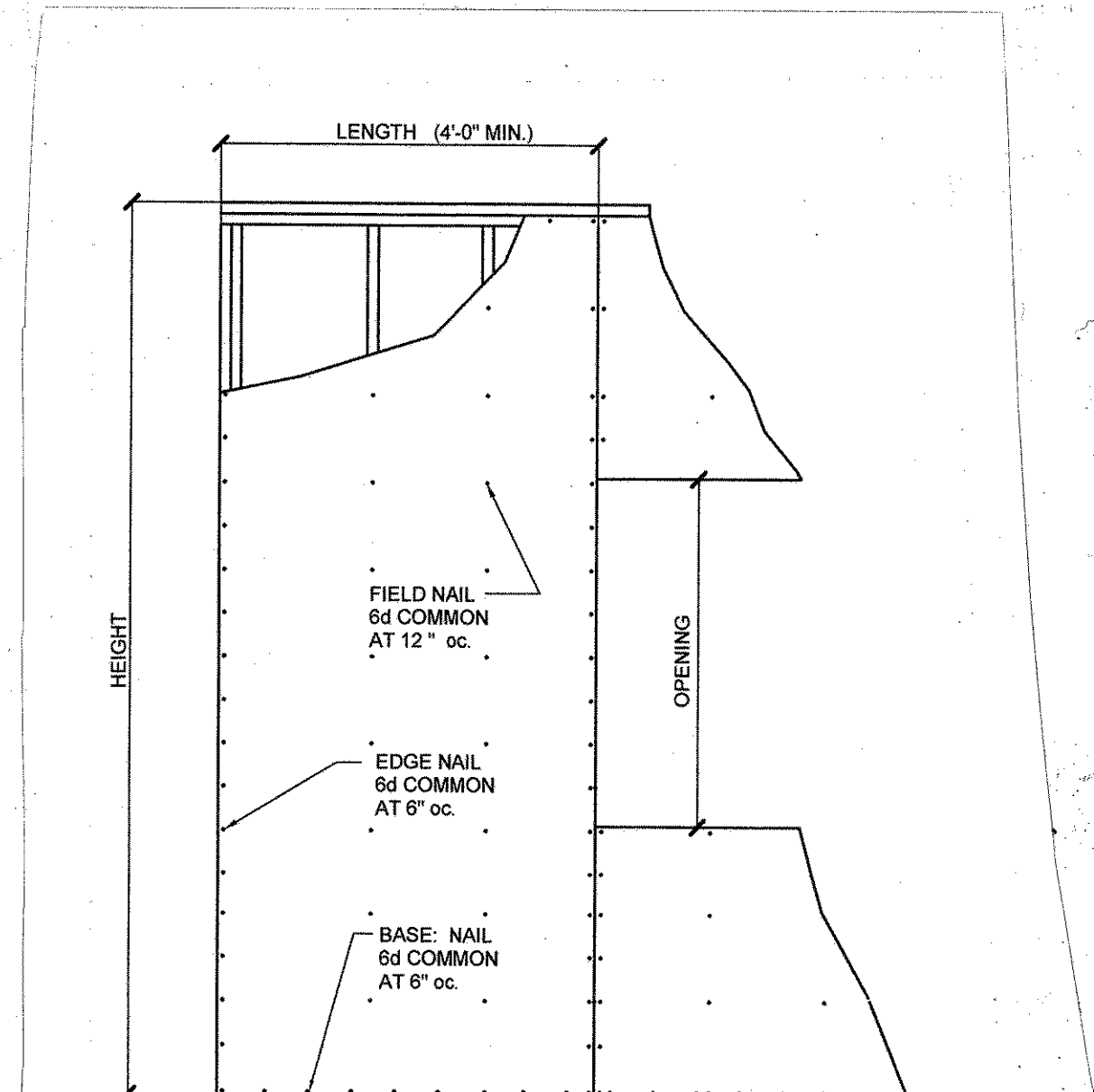
Bracing Wall Schedule - Second Floor (BW)												
Wind Speed	Braced Wall Line #	Braced Wall Line Spacing	Method	Minimum Length Required T602.10.1.2(1)	Adjustment Factors				Adjusted Minimum Length	Bracing Length Provided	800# Hold Down Y/N	Blocking Needed Y/N
					b. Exposure	c. Ridge Height	d. Wall Height	e. number of BWL's				
110	BW-9	18 ft	WSP	3.74 ft	C	10 ft	8 ft	4	3.74 ft	4.0 ft	N	Y
110	BW-10	18 ft	WSP	3.74 ft	C	10 ft	8 ft	4	3.74 ft	4.0 ft	N	Y
110	BW-11	15 ft	WSP	3.22 ft	C	10 ft	8 ft	4	3.22 ft	4.0 ft	N	Y
110	BW-12	15 ft	WSP	3.22 ft	C	10 ft	8 ft	4	3.22 ft	4.0 ft	N	Y
110	BW-13	32.5 ft	WSP	6.29 ft	C	10 ft	8 ft	4	6.29 ft	8.0 ft	N	Y
110	BW-14	32.5 ft	WSP	6.29 ft	C	10 ft	8 ft	4	6.29 ft	8.0 ft	N	Y
110	BW-15	30 ft	WSP	5.85 ft	C	10 ft	8 ft	4	5.85 ft	6.0 ft	N	Y
110	BW-16	30 ft	WSP	5.85 ft	C	10 ft	8 ft	4	5.85 ft	6.0 ft	N	Y

Note: WSP MEANS WOOD STRUCTURAL PANEL.



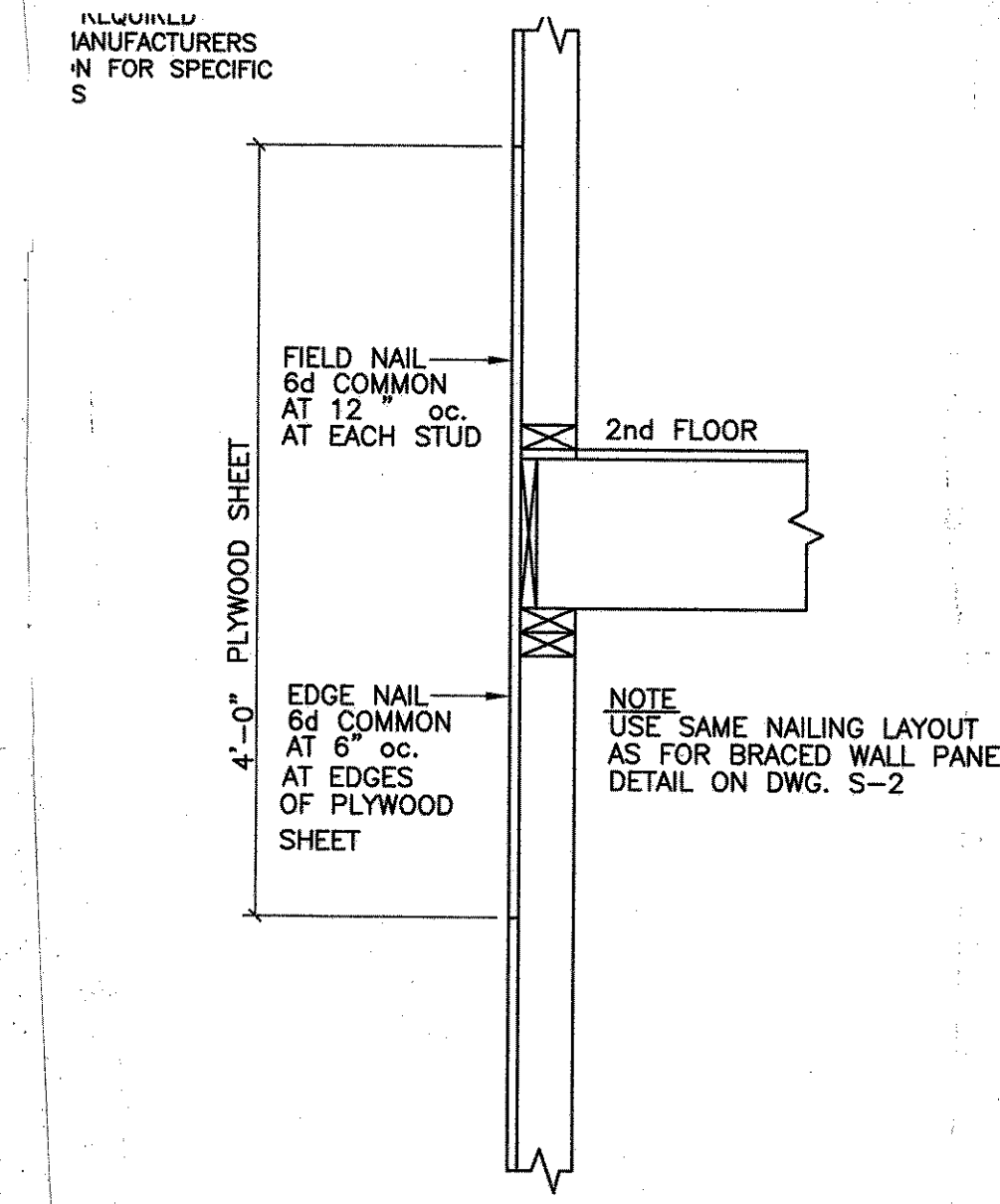
TYPICAL DETAIL SHOWING EXTERIOR PLYWOOD ATTACHMENT TO WALL

1/8"=1'-0"



NAILING LAYOUT FOR BRACED WALL PANEL

NO SCALE

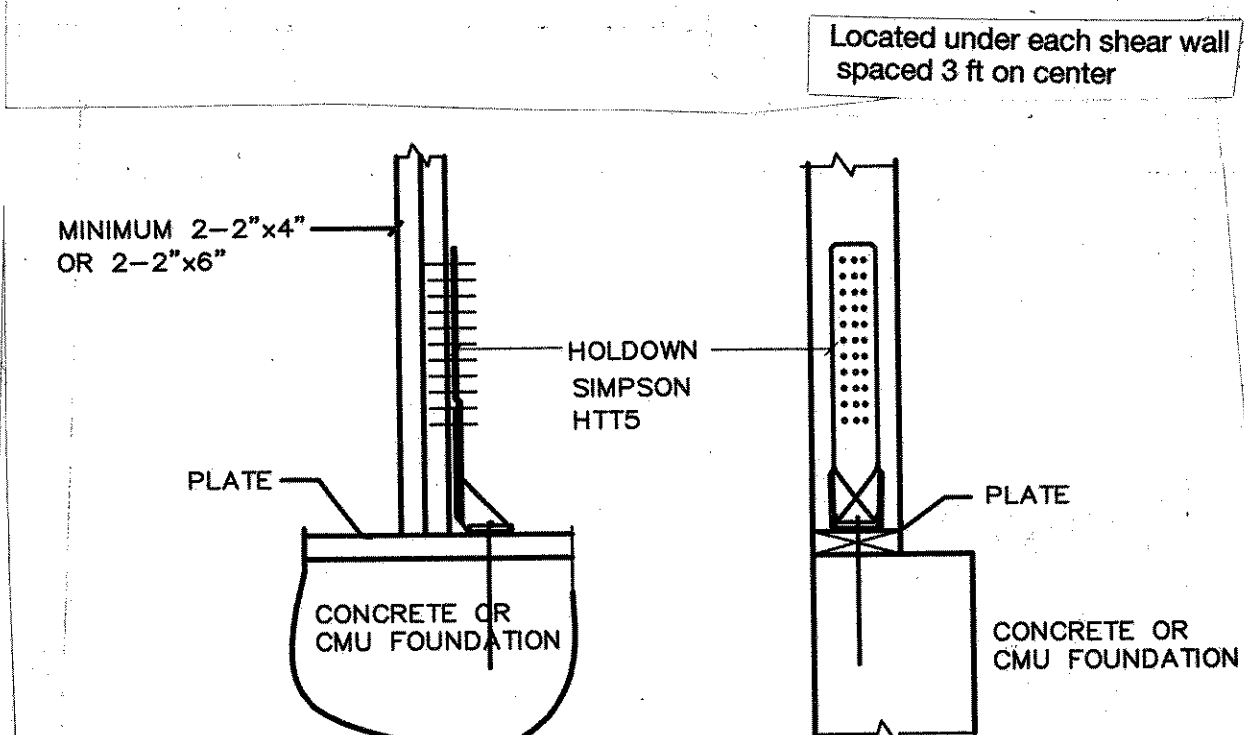


NAILING OF PLYWOOD SHEET AT 2nd FLOOR EXTERIOR WALL

NO SCALE

DESIGN LOADS

- GROUND SNOW LOAD = 30 PSF
- FIRST FLOOR LIVE LOAD = 40 PSF
SECOND FLOOR LIVE LOAD = 30 PSF
ATTIC FLOOR LIVE LOAD = 20 PSF
- BASIC WIND LOAD = 110 M.P.H.
- WIND LOAD IMPORTANCE FACTOR, 1W = 1.0
- WIND EXPOSURE = C
- ENCLOSED BUILDING PER ASCE7-02; INTERNAL PRESSURE COEF. = +/- .18



TYPICAL DETAIL OF HOLDDOWN ANCHORAGE

NO SCALE

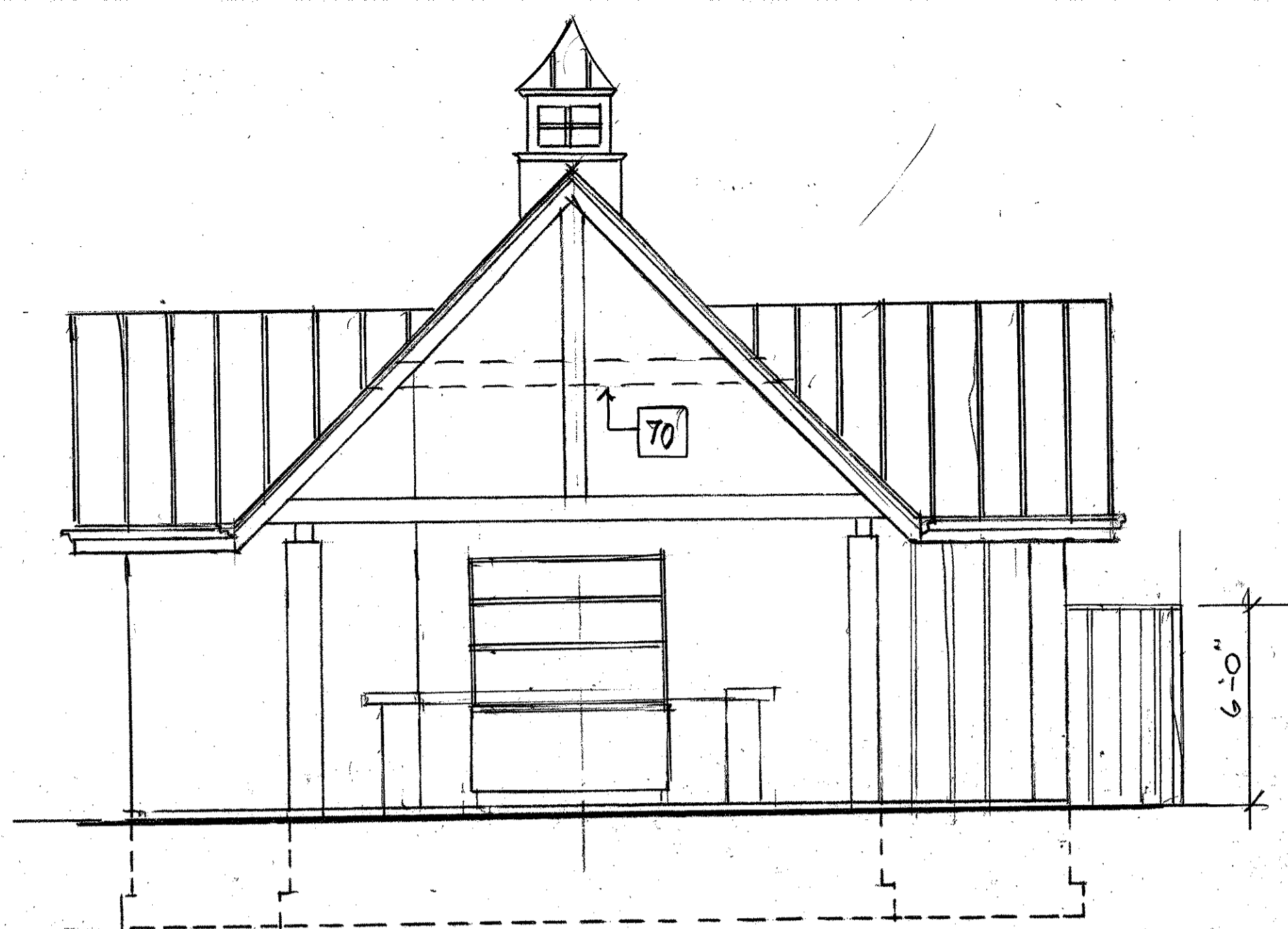


SHEAR WALL

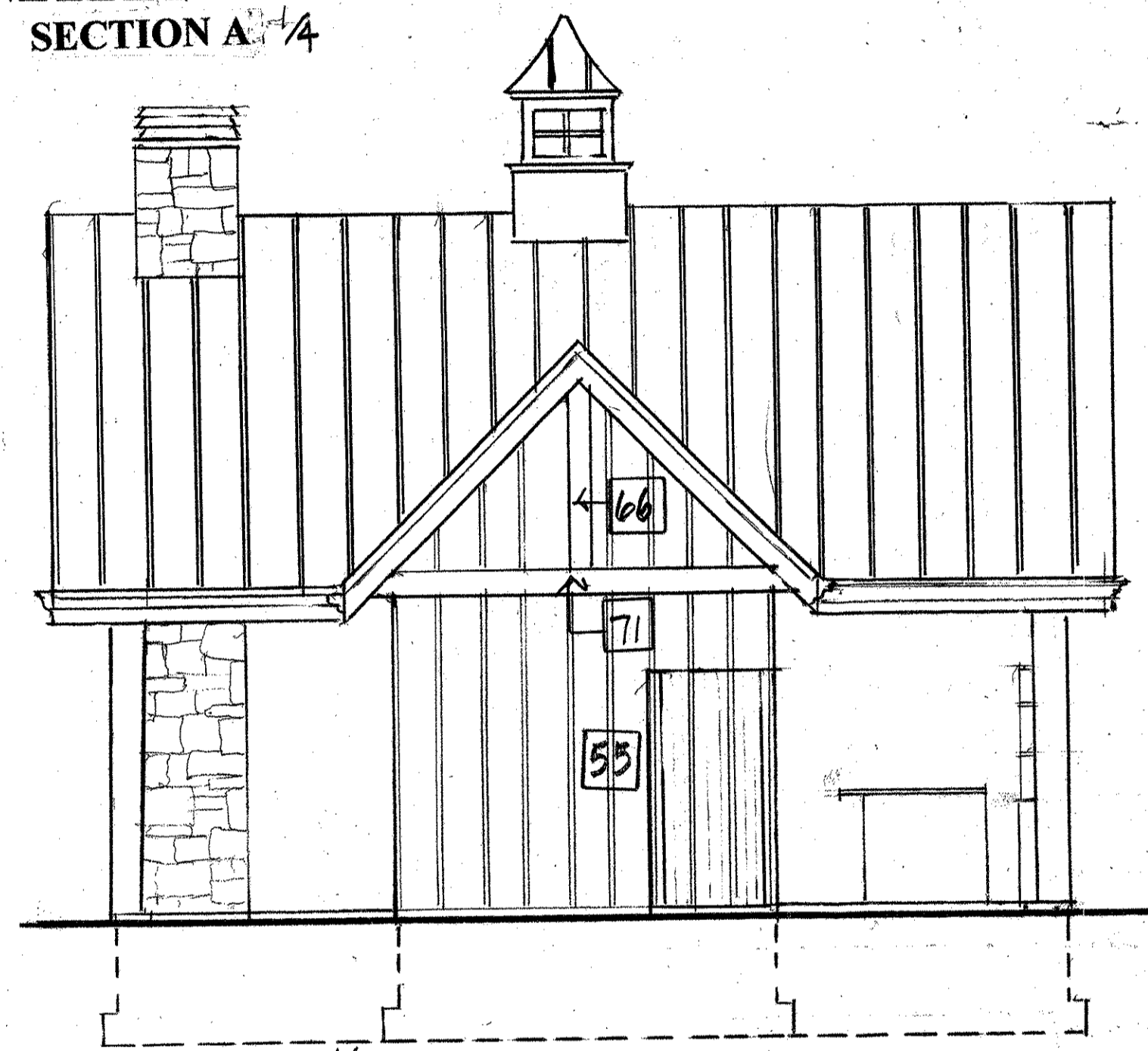
A RESIDENCE FOR DR AND MRS G. WEINHOFF
3 MAPLE WAY
ARMONK, NY 10504

WALLACE J. TOSCANO A.I.A.
ARCHITECT

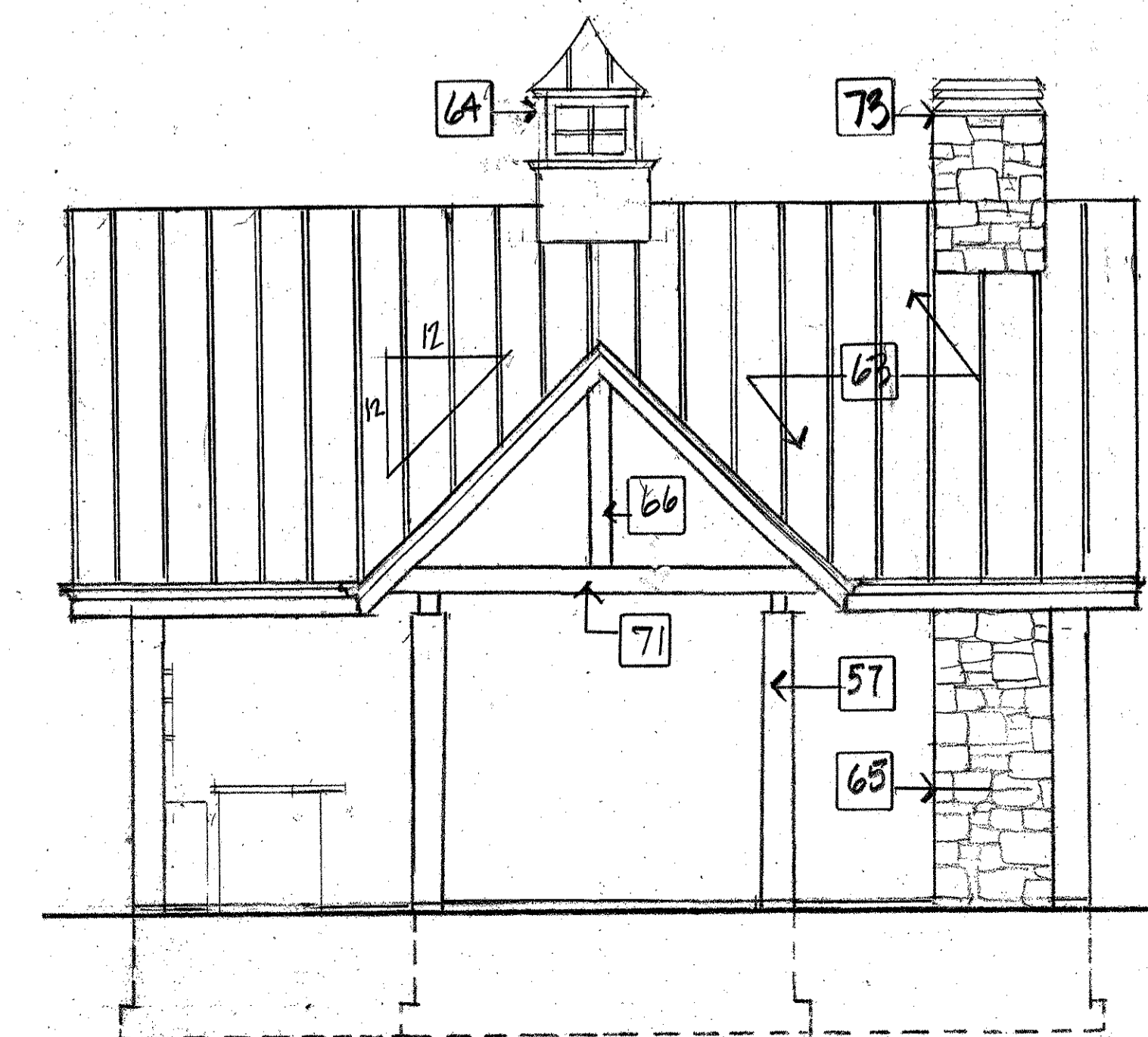
30 COTSWOLD DR
NORTH SALEM, NY 10560
914-329-1491 CELL
ARCHWY136@GMAIL.COM



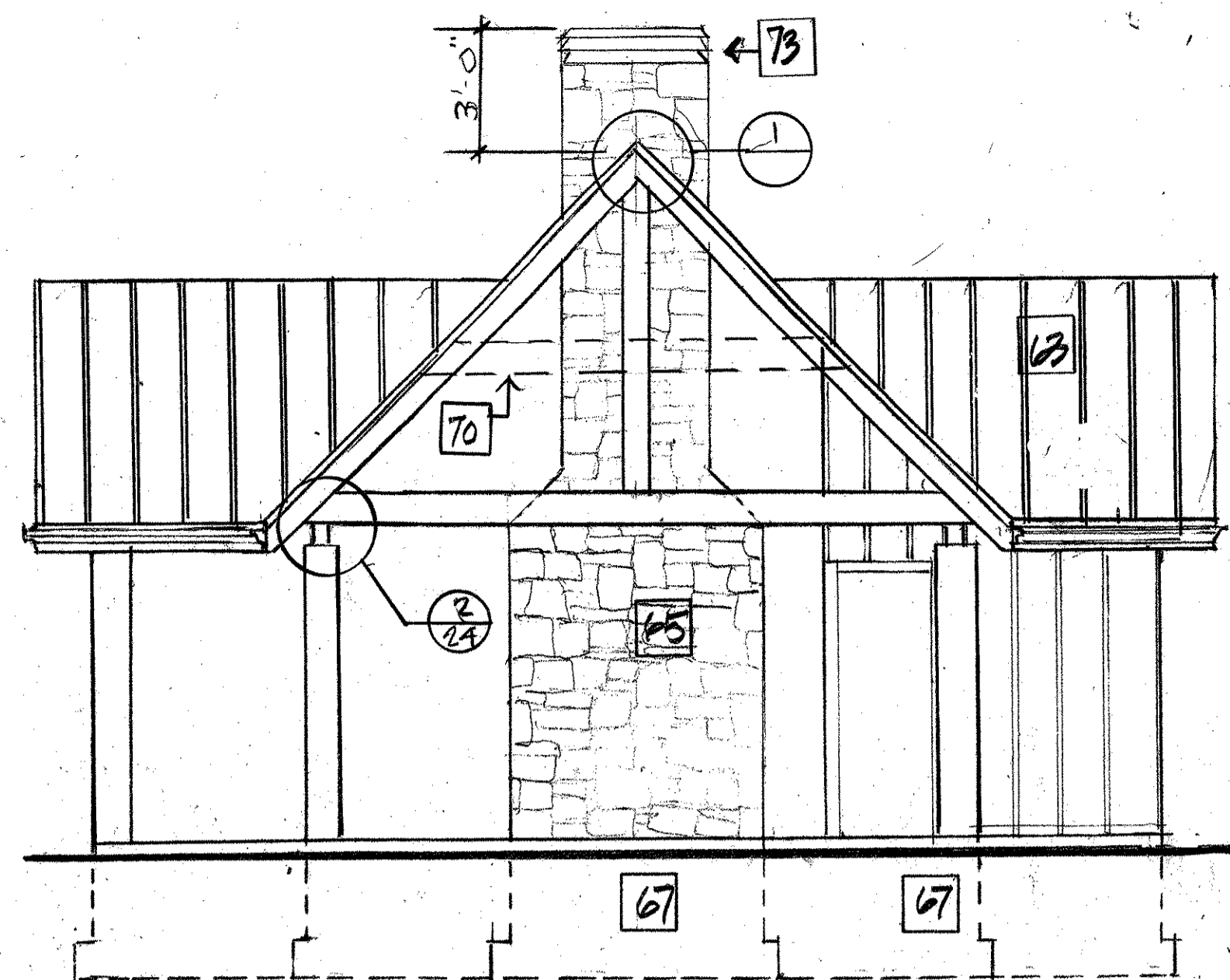
SECTION A 1/4



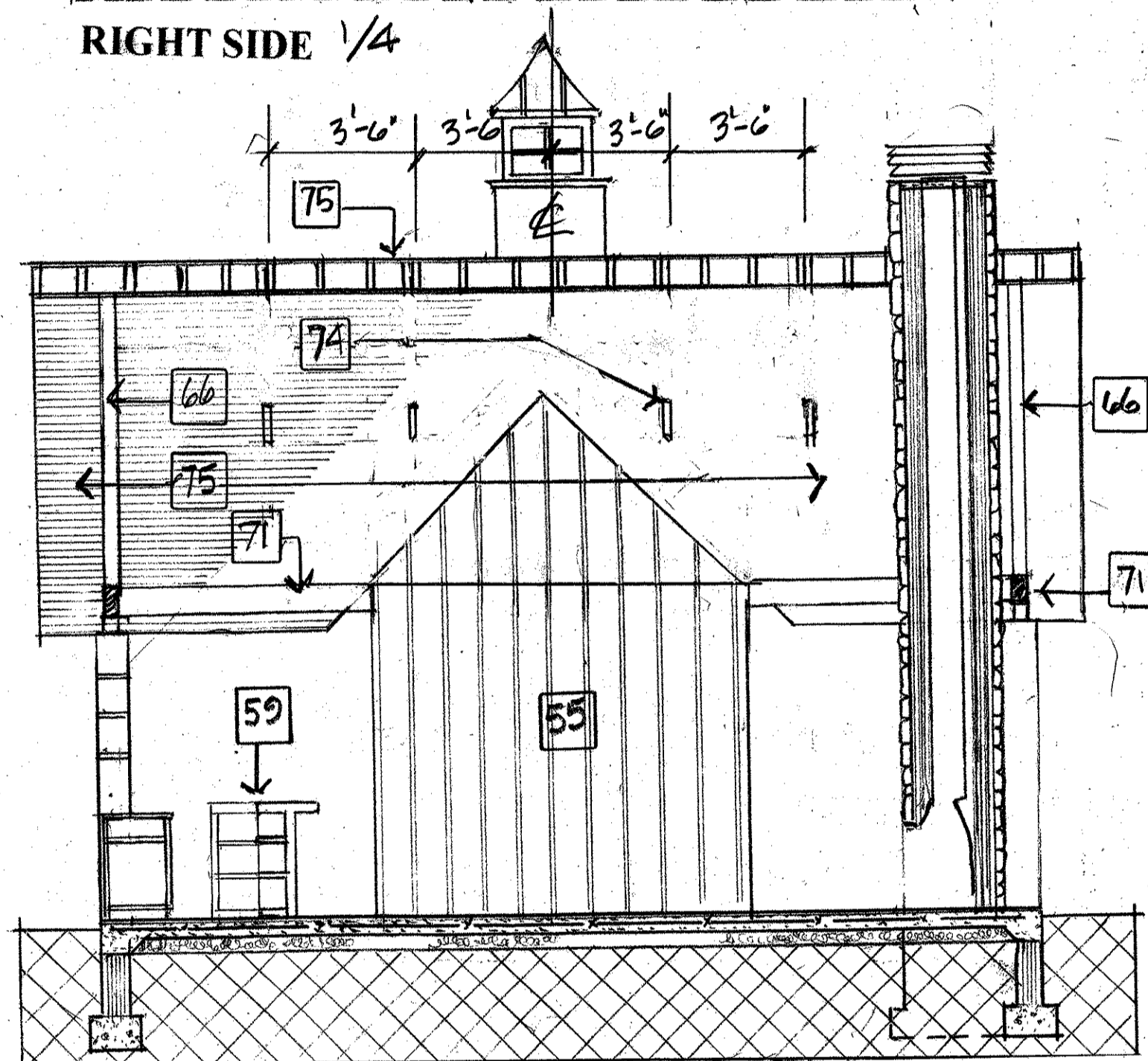
REAR SIDE 1/4



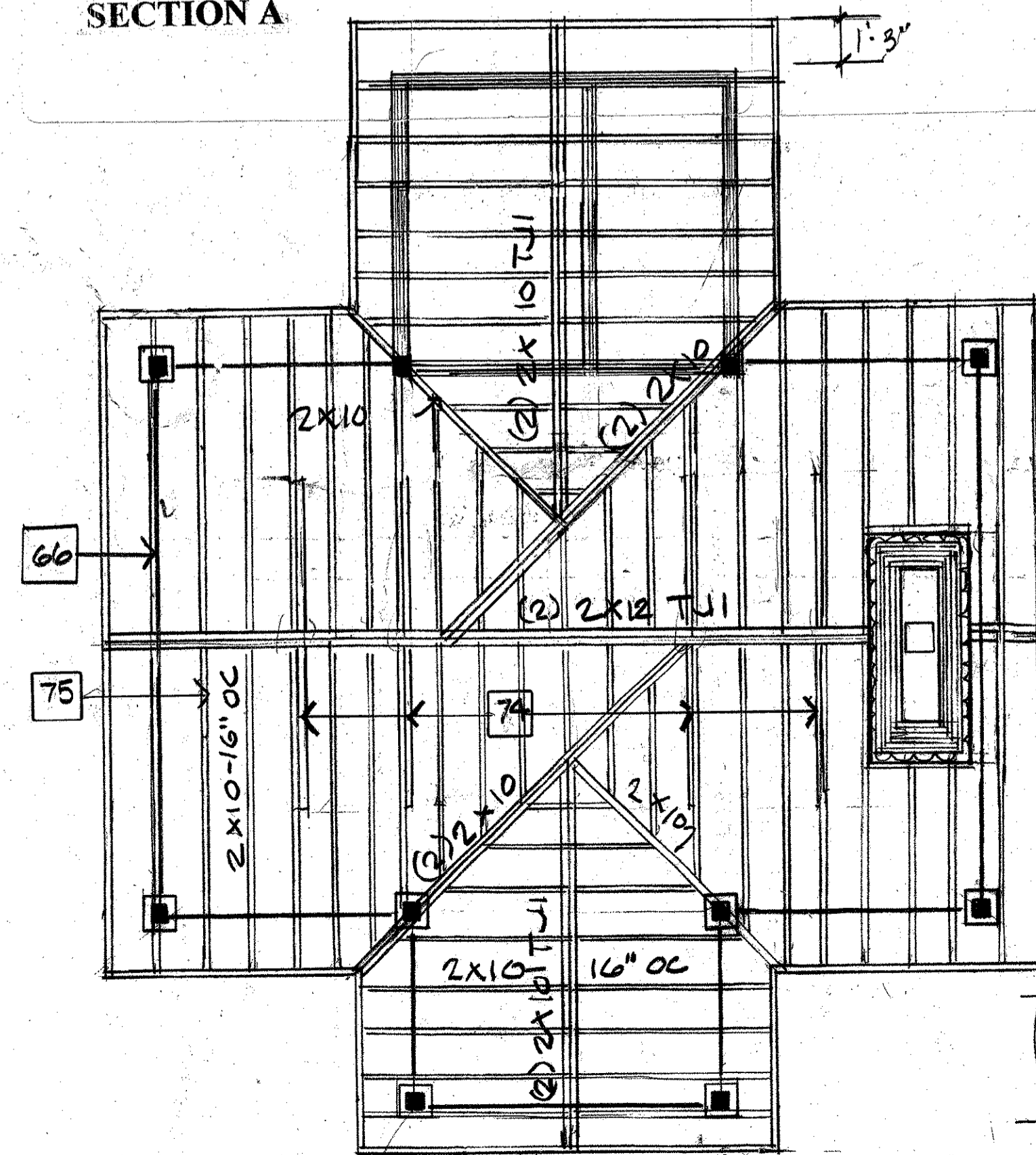
FRONT VIEW 1/4



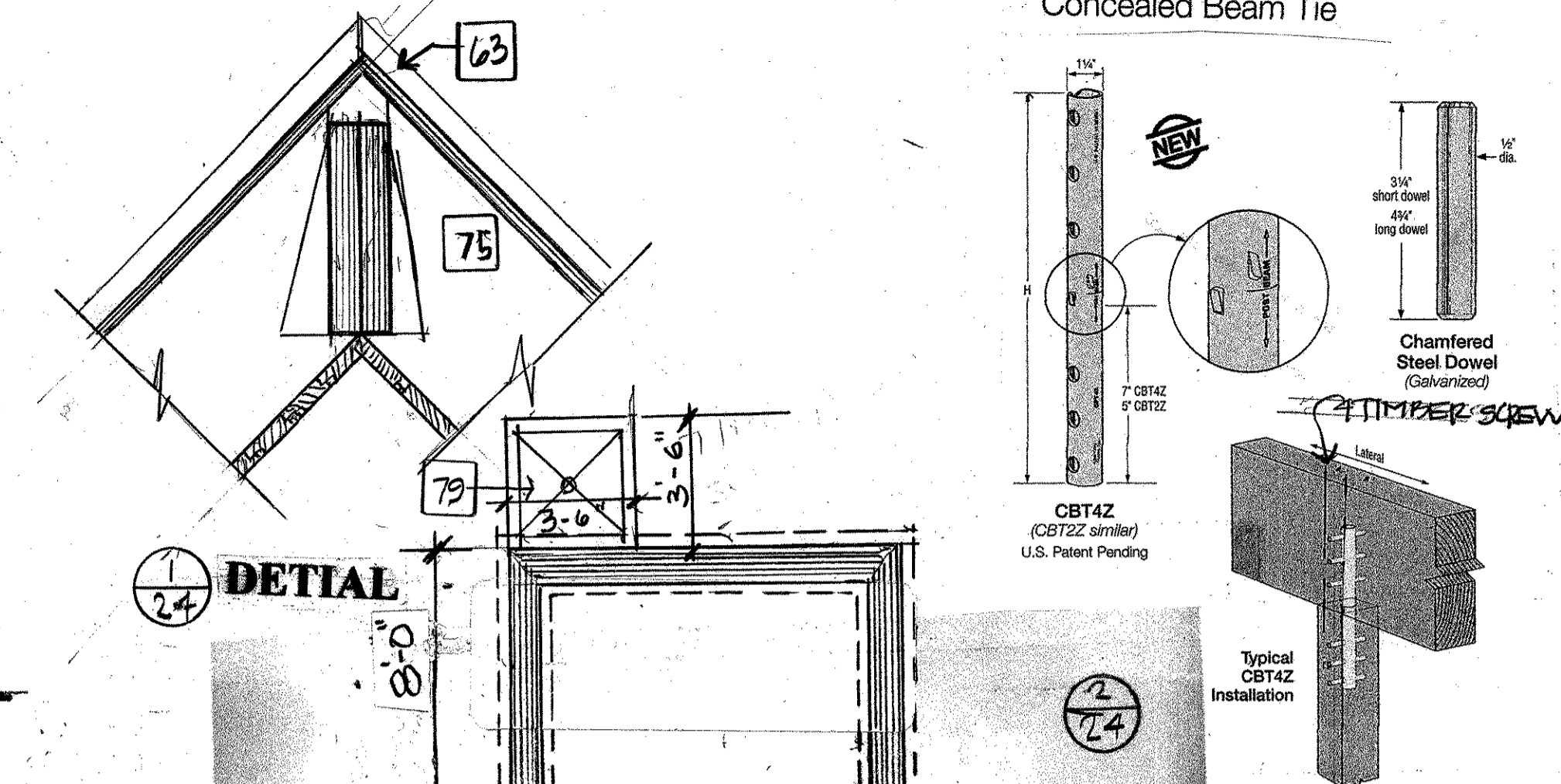
RIGHT SIDE 1/4



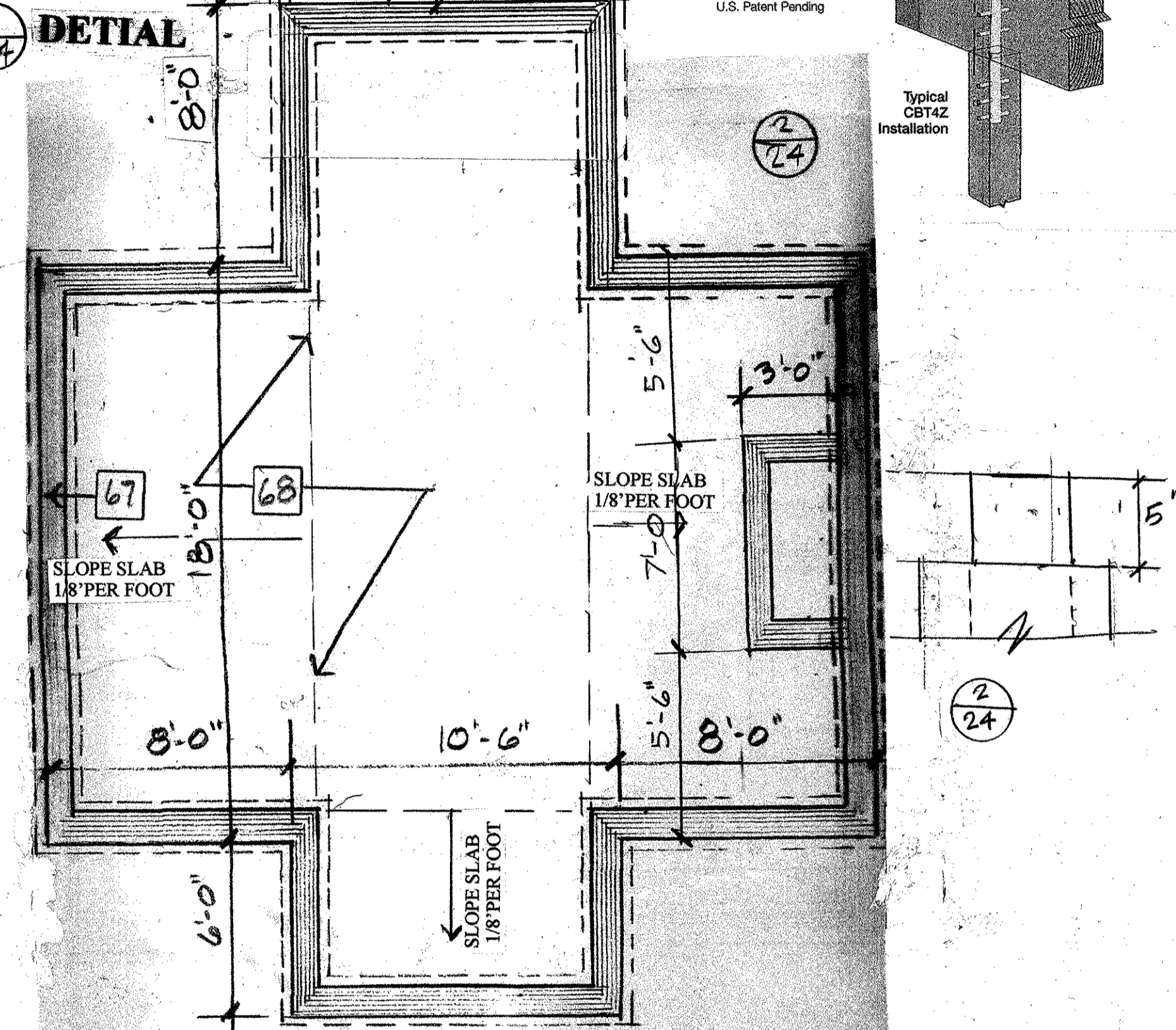
SECTION A



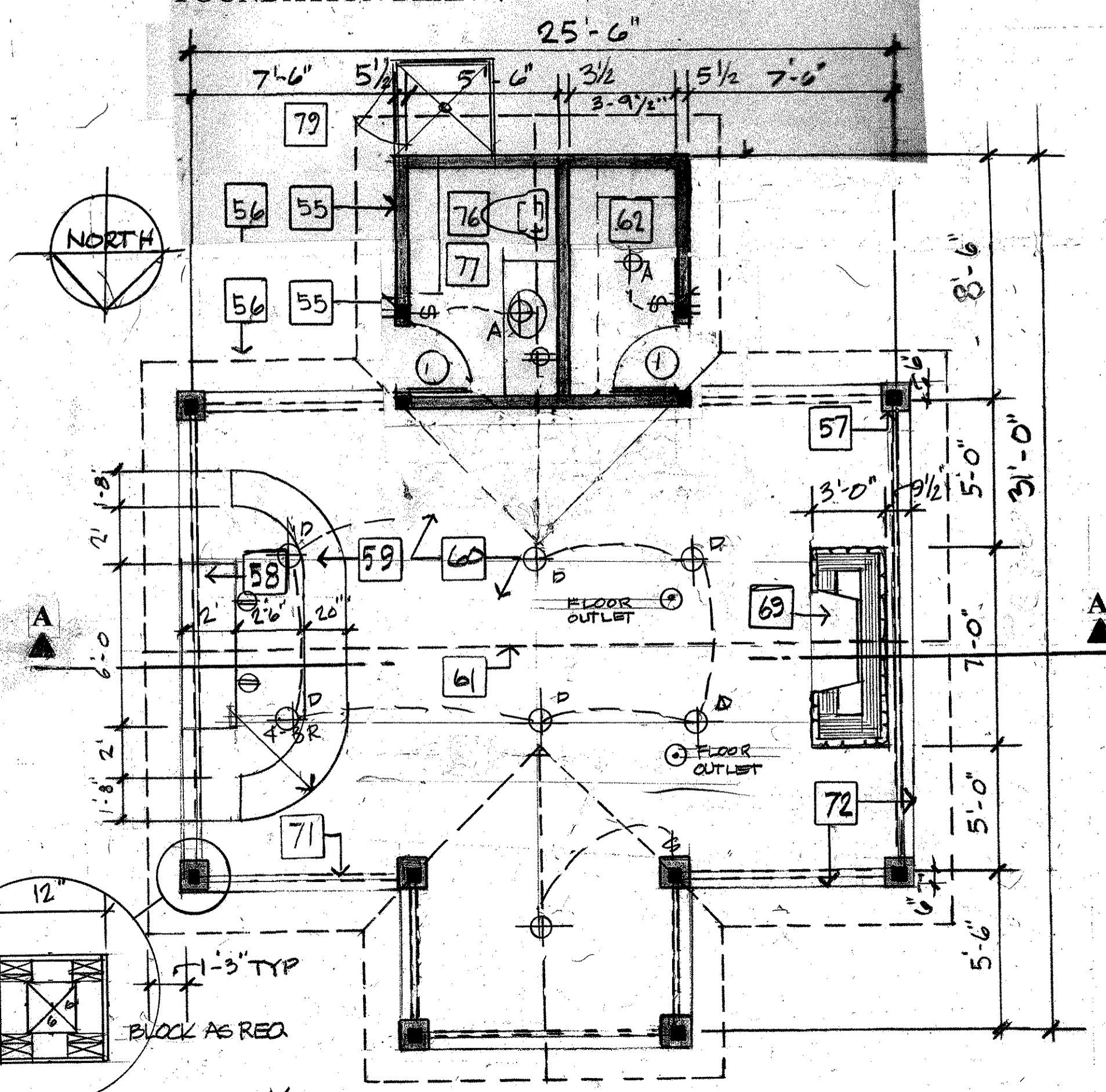
FOOF FRAMING PLAN 1/4



DETAIL



FOUNDATION PLAN 1/4

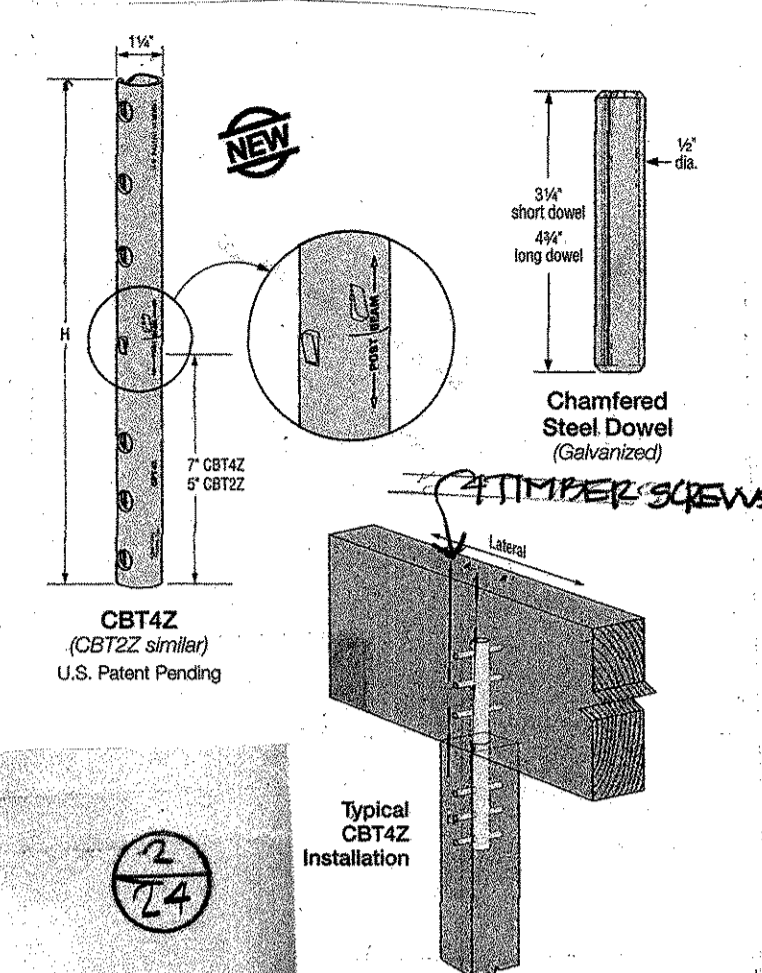


PLAN 1/4

POOL SIDE

Simpson Strong-Tie Wood Construction Connectors SIMPSON
CBTZ-27-10' LxNG Strong-Tie

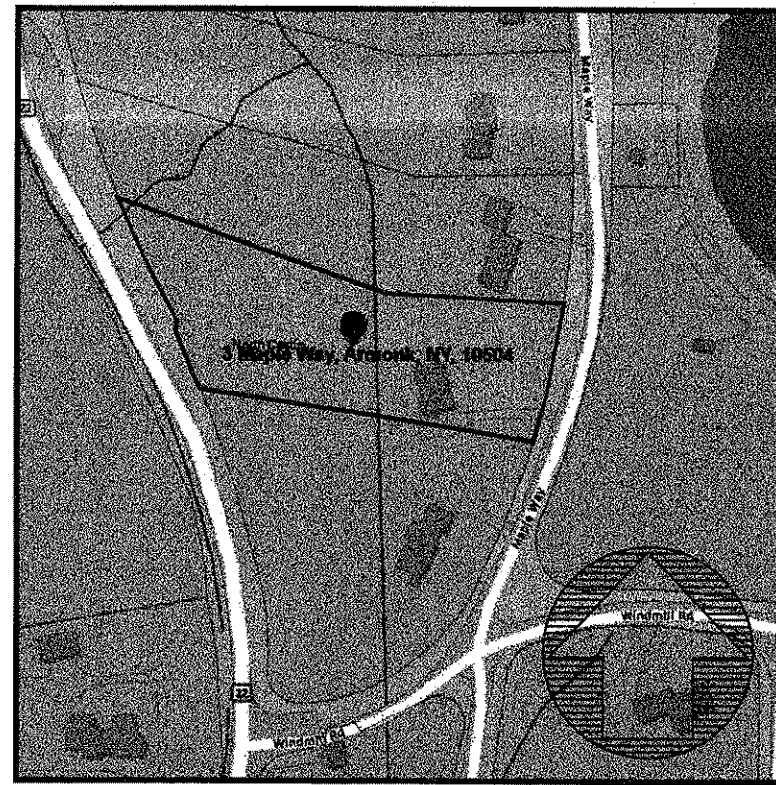
Concealed Beam Tie



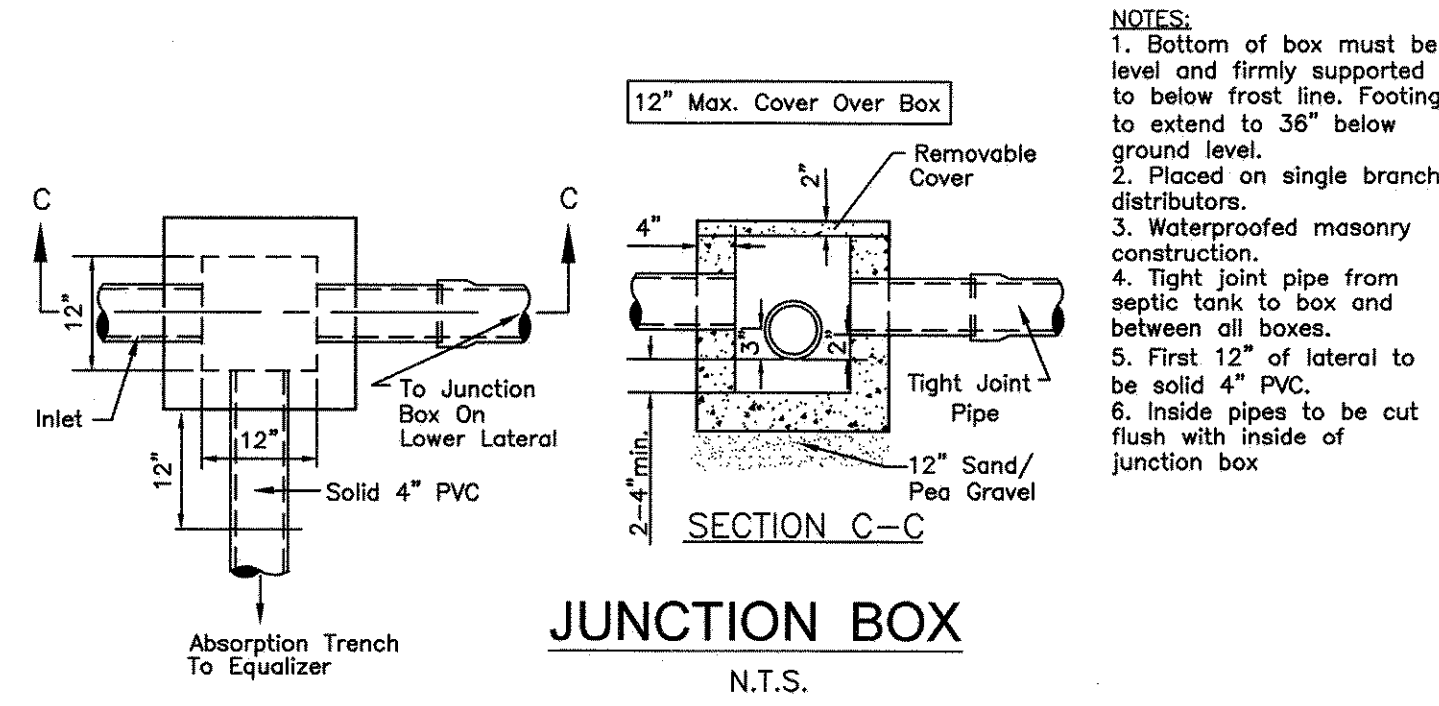
- 55 2 X 4 STUDS 16" OC FOAM INSULATION, WP DRY WALL - HARDER BOARD - BOARD AND BATTERNS SEE NOTE 10 REGARDING CUTTING BATTERNS DOWN TO 1 X 2
- 56 EDGE OF ROOF OVER HANG
- 57 TYPICAL COLUMN SEE DETAIL
- 58 CUSTOM BACK BAR SEE DETAILS
- 59 CUSTOM BAR 1/2" C
- 60 STONE FLOOR OVER 4" CONC SLAB 1/4 X 4 W/W ON COMPACTED FILL
- 61 RIDGE OF ROOF ABOVE
- 62 ADJUSTABLE SHELF
- 63 STANDING METAL ROOF SEAMS AT 16" OC GUN METAL GREY
- 64 CUPOLA BY "ABSOLUTELY AMISH" 36" WIDE X 6" HIGH
- 65 2" CT THIN ASHLAR STONE ON 10" CONC BLOCK
- 66 #4 CEDAR 4 X 6
- 67 10" CONC BLOCK ON 12 X 18 CONC FOOTING W/ (2) #5 REBARS TO FROST LINE
- 68 4" CONC SLAB ON 6" CRUSSED GRAVEL ON COMPACTED FILL
- 69 WOOD BURNING FIRE PLACE DIRECT MAJECTIC BILTMORE 42" WIDE
- 70 TIE BEAMS BEYONDS
- 71 4 X10 CEDAR BEAMS
- 72 EDGE OF SLAB
- 73 CHIMNEY CAP SAME AS MAIN HOUSE
- 74 2 X10 TIE BEAMS
- 75 2 X10 16" OC WITH 1 X4 SQUARE CUT CEDAR SIDING - JOIST HANGERS THRU OUT
- 76 EXHAUST FAN PANOSONIC FV08 VQ2
- 77 ALL FIXTURES SBO-IBC SERIES 592060 SC
- 79 OUT DOOR SHOWER PLUMBING - FIXTURES SELECTED BY OWNER - WALLS TO MATCH SIDING ON BUILDING



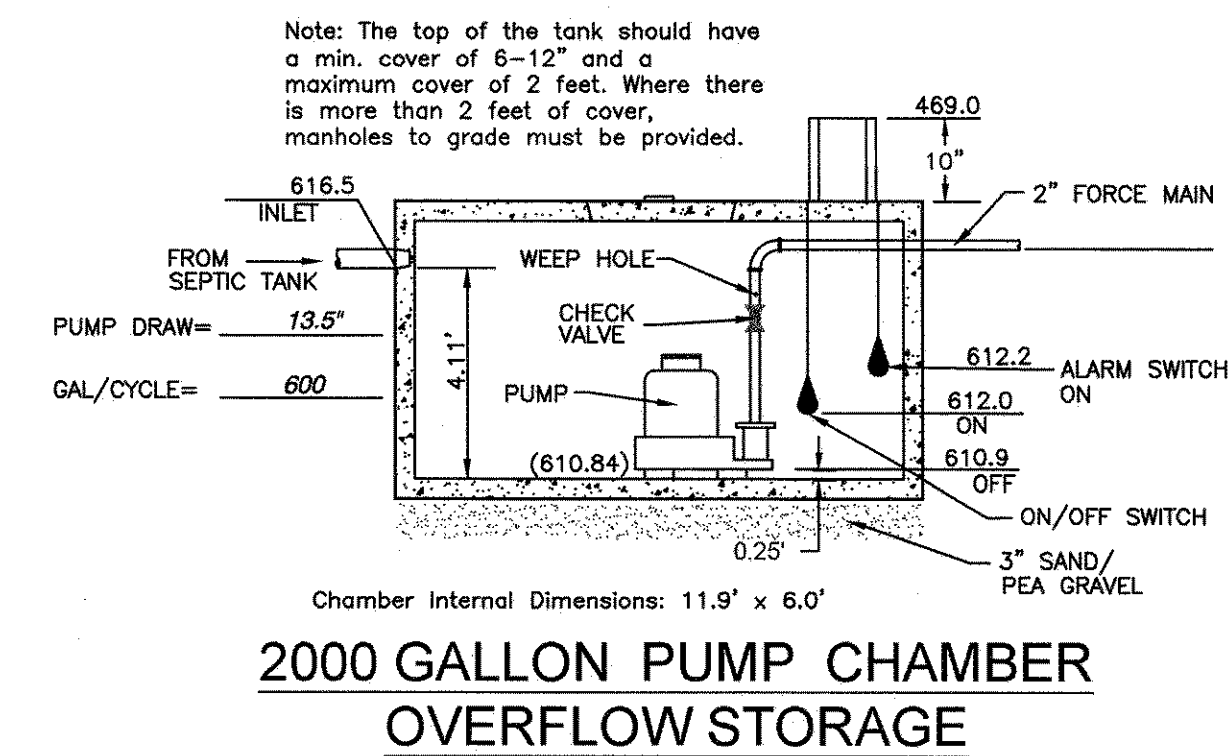
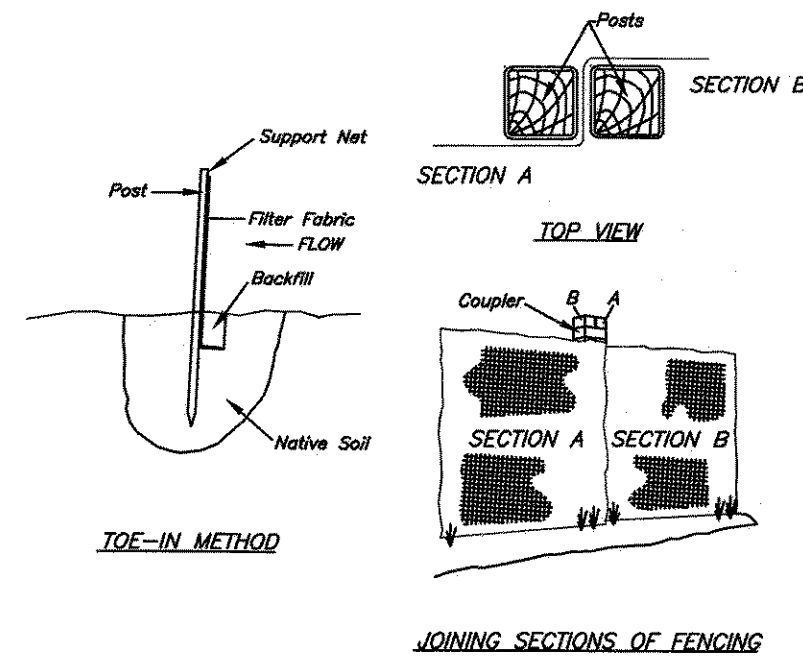
POOL HOUSE
 A RESIDENCE FOR
 DR AND MRS G. WEINHOF
 3 MAPLE WAY
 WALLACE J. TOSCANO A.L.A.
 ARCHITECT
 30 COTSWOLD DR
 NORTH SALEM, NY, 10560
 914-329-1491 CELL
 ARCHWJ34@GMAIL.COM



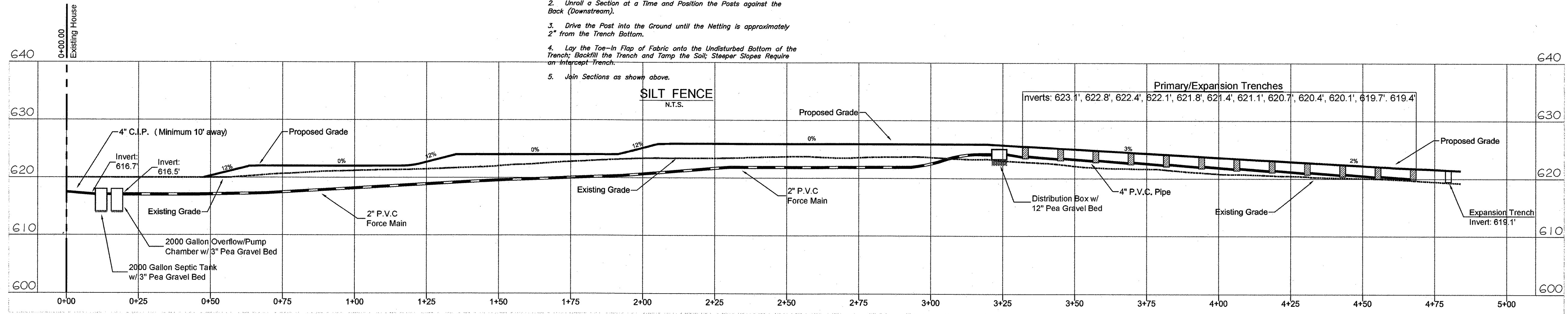
LOCATION MAP
N.T.S.



- NOTES:**
- Bottom of box must be level and firmly supported to below frost line. Footing to extend to 36" below ground level.
 - Placed on single branch distributors.
 - Waterproofed masonry construction.
 - Tight joint pipe from septic tank to box and between all boxes.
 - First 12" of lateral to be solid 4" PVC.
 - Inside pipes to be cut flush with inside of junction box.

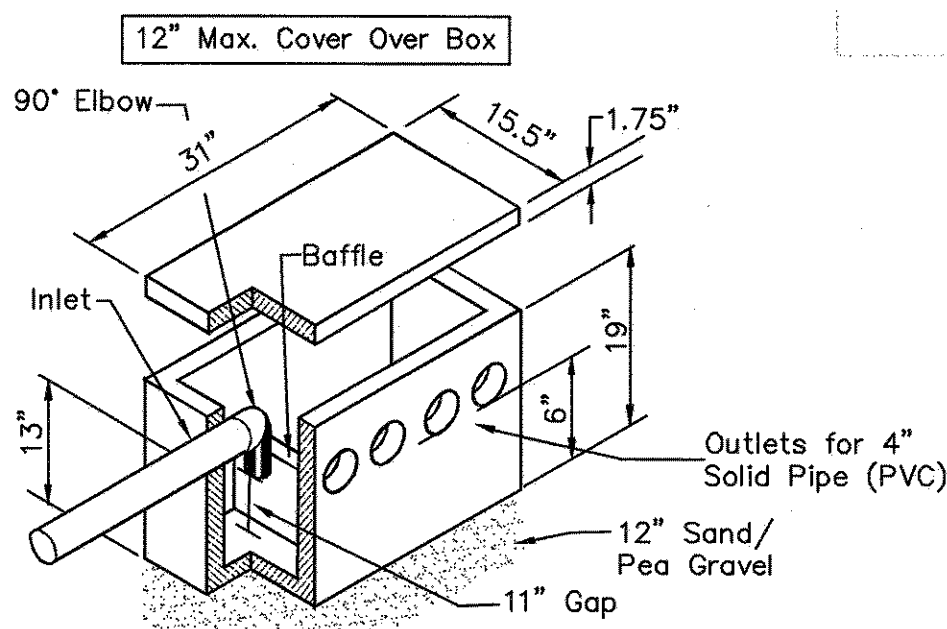
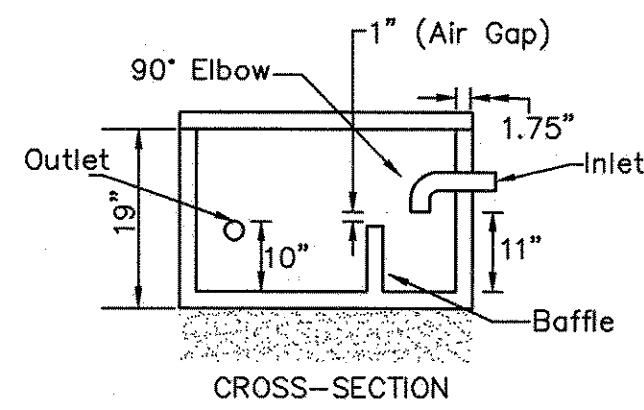


Chamber Internal Dimensions: 11.9' x 6.0'
N.T.S.
by: M&M Precast Corporation (2000-PH)
Concrete 4000 PSI 28 days
NOTE: AUDIO/VISUAL HIGH LEVEL ALARM MUST BE INSTALLED WITHIN THE DWELLING AND THE PRESENCE OF A CHECK VALVE TO BE INSTALLED ON THE FORCE MAIN.



PROPOSED ONSITE WATER TREATMENT SYSTEM PROFILE

SCALE: 1" = 10' VERT. 1" = 20' HORZ.

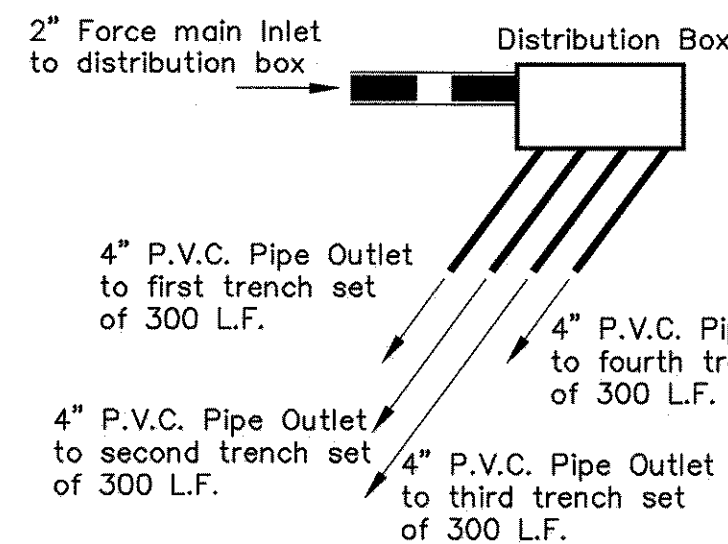


DISTRIBUTION BOX
N.T.S.

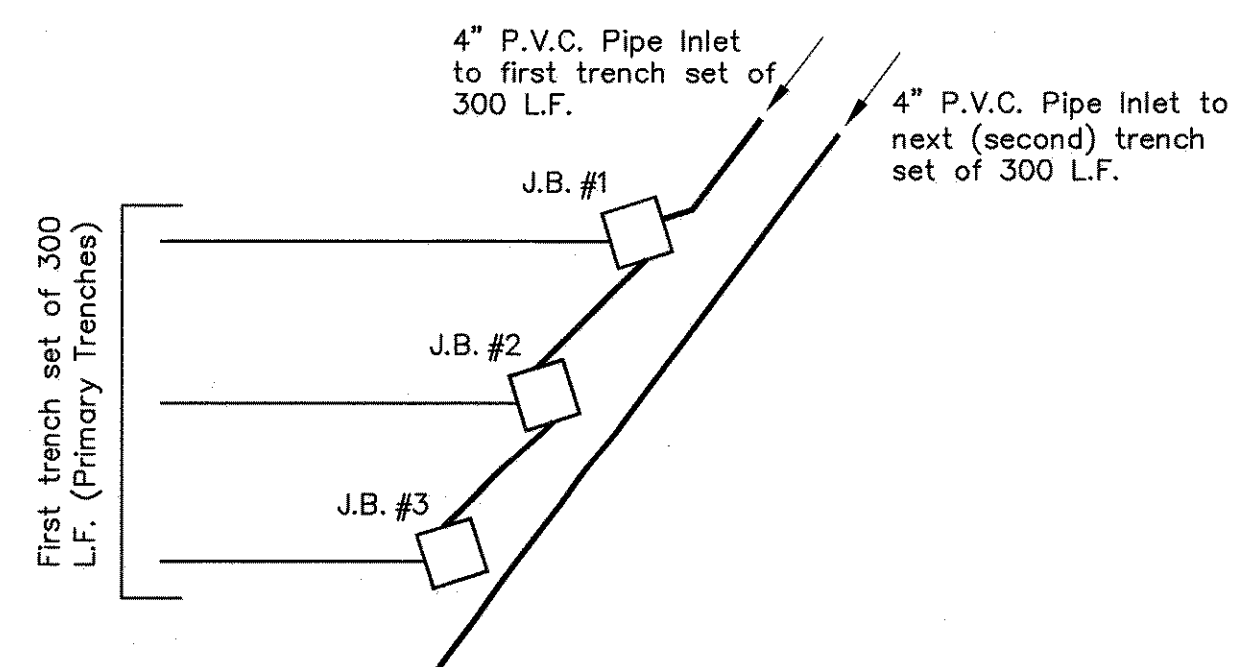
by: M&M Precast Corporation (NY-1500-S)
Concrete 4000 PSI 28 days
(3000 PSI is recommended as a minimum)

- NOTES:**
- Bottom of box must be level and firmly supported to below frost line. Footing to extend to 36" below ground level.
 - Waterproofed masonry construction.
 - All outlets to be at the same elevation.
 - Tight joint pipe from septic tank to box and between all boxes.
 - Only one outlet to be used. All other outlets must be closed.
 - Outlet pipes to be cut flush with inside of distribution box.

TOP VIEW: DISTRIBUTION BOX ISOLATION

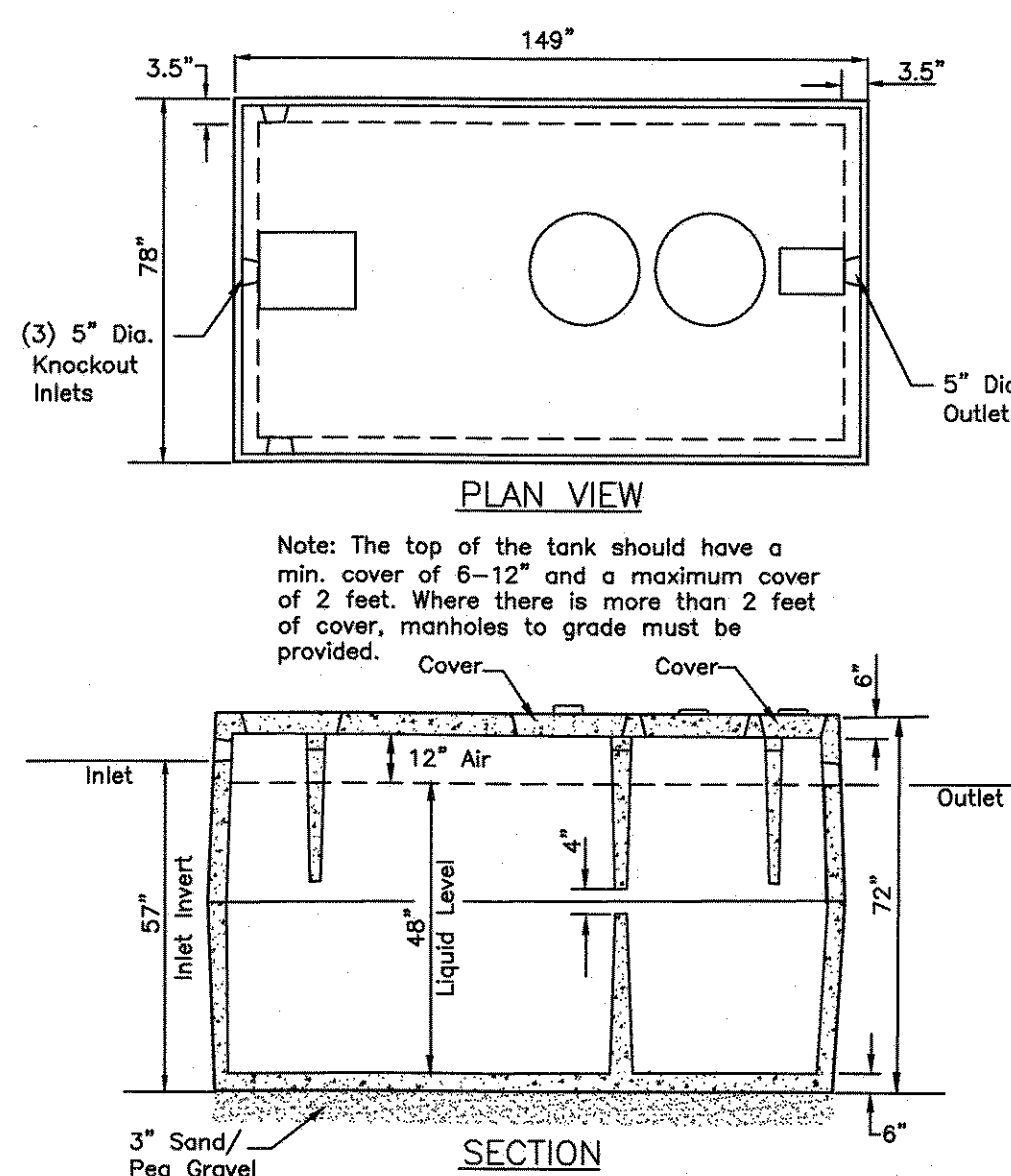


TOP VIEW: FIRST TRENCH SET OF 300 L.F. ISOLATION



SEPTIC SYSTEM CONNECTION DETAIL
N.T.S.

- NOTES:**
- Every 4" P.V.C. pipe for each set will finish at the 300 L.F. of trench mark.
 - After every 300 L.F. a new set of trenches will begin.



2000 GALLON SEPTIC TANK
N.T.S.

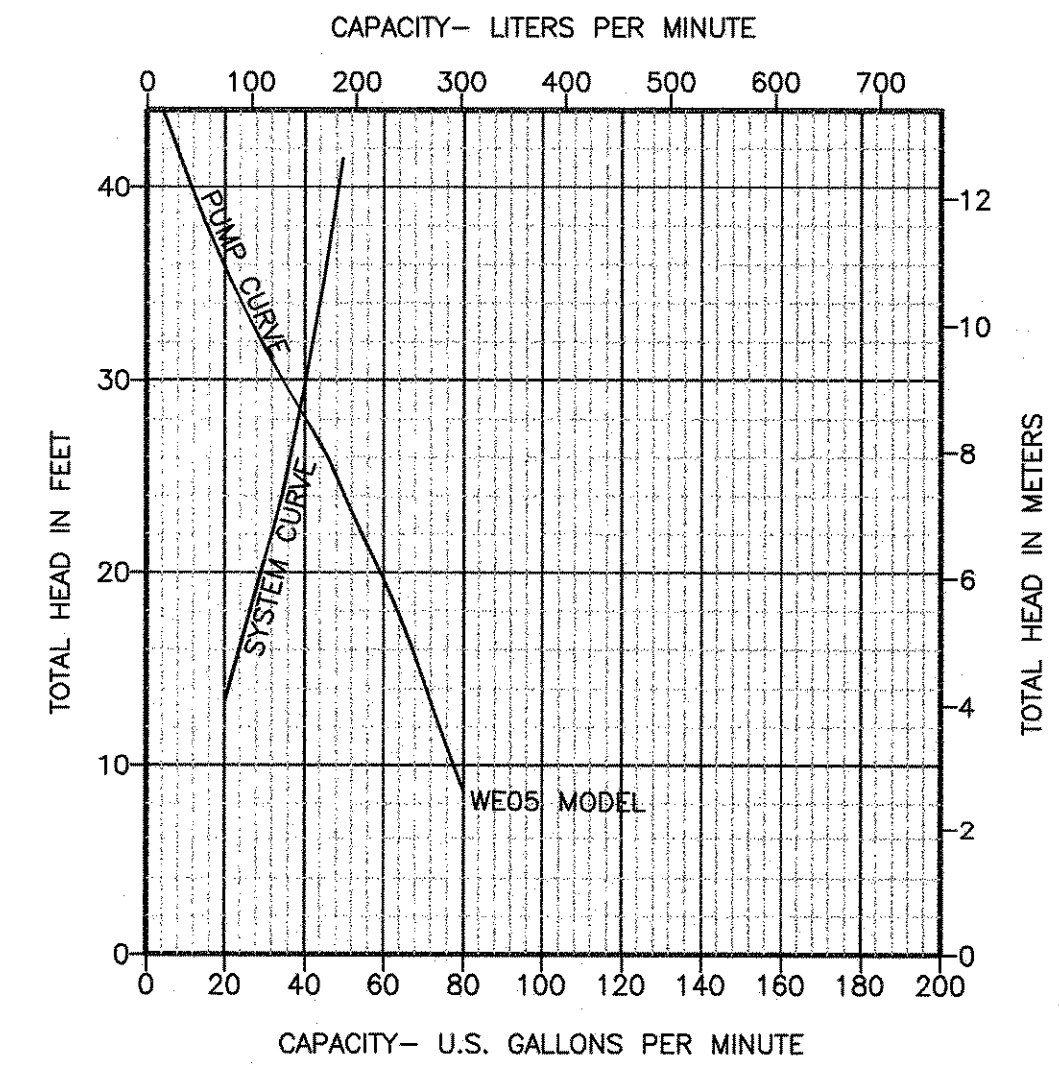
by: M&M Precast Corporation (NY-2000-S)
Concrete 4000 PSI 28 days
(3000 PSI is recommended as a minimum)

HAZEN-WILLIAMS FORMULA
USING THE HAZEN-WILLIAMS FORMULA THE FOLLOWING DATA WAS USED TO CALCULATE THE HEADLOSS WITHIN THE FORCEMAIN.
• 2" FORCEMAIN
• FORCEMAIN LENGTH 287 FEET
• CHANGE IN ELEVATION 2 FEET
USING THE PERFORMANCE CURVE FOR THE PROPOSED PUMP, PROVIDED BY THE MANUFACTURER THE FLOW AND HEADLOSS FOR THIS DESIGN WAS DETERMINED TO BE:
• VELOCITY 3.9 FEET/SECOND
• THE FLOW AND HEADLOSS FOR THIS DESIGN WAS DETERMINED TO BE 387.7 GPM AT 28.5 FEET.

PUMP DRAW CALCULATION
 $11.9' \times 6.0' = 71.4 \text{ sq. ft.}$
 $71.4 \text{ sq ft} \times 7.48 (\text{gal}/\text{cu. ft.}) = 534.07 \text{ gal./ft.}$
 $1200 \text{ LF} \div 2 = 600 \text{ Gal/cycle}$
 $600 \text{ gal.} \div 534.07 \text{ gal./ft.} = 1.123' \times 12" / 1' = 13.48"$
Draw = 13.5"

PUMP CHAMBER OVERFLOW CALCULATION
 $616.5' (\text{inlet}) - 612.2' (\text{alarm on}) = 4.3'$
 $4.3' \times 71.4 \text{ sq ft} = 307.02 \text{ cu ft}$
 $307.02 \text{ cu ft} \times 7.48 \text{ gal}/\text{cu ft} = 2,286.5 \text{ Gallons}$

PUMP CHAMBER CAPACITY
The Pump Chamber has a Capacity of 2,286.5 gallons above the "Alarm Switch On" level. The required Capacity for overflow is 1,200 gallons or 200 gallons per bedroom.



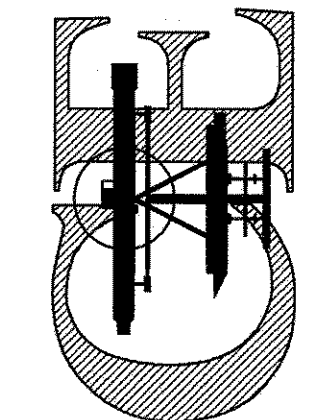
GRAPH NOTES:

- Operating Point from septic located at 39.1 g.p.m. and 28.5 feet.
- Velocity at Operating Point is 3.90 ft/s.

Note:
Topography from Westchester County Mapping and site survey. Accuracy of, or completion of sub-surface information is not certified.

DETAILS FOR PROPOSED SEPTIC PLAN

CAMPBELL ENGINEERING



SCALE: AS NOTED

28

S-2

Prepared for
Greg & Elissa Weinhoff
3 Maple Way
Town of North Castle
Westchester Co., N.Y.

Michael H. Campbell, PE
5 Schuman Road
Millwood, NY 10546
Michael@914engineer.com
(914) 239-3555
Fax: (914) 239-3435

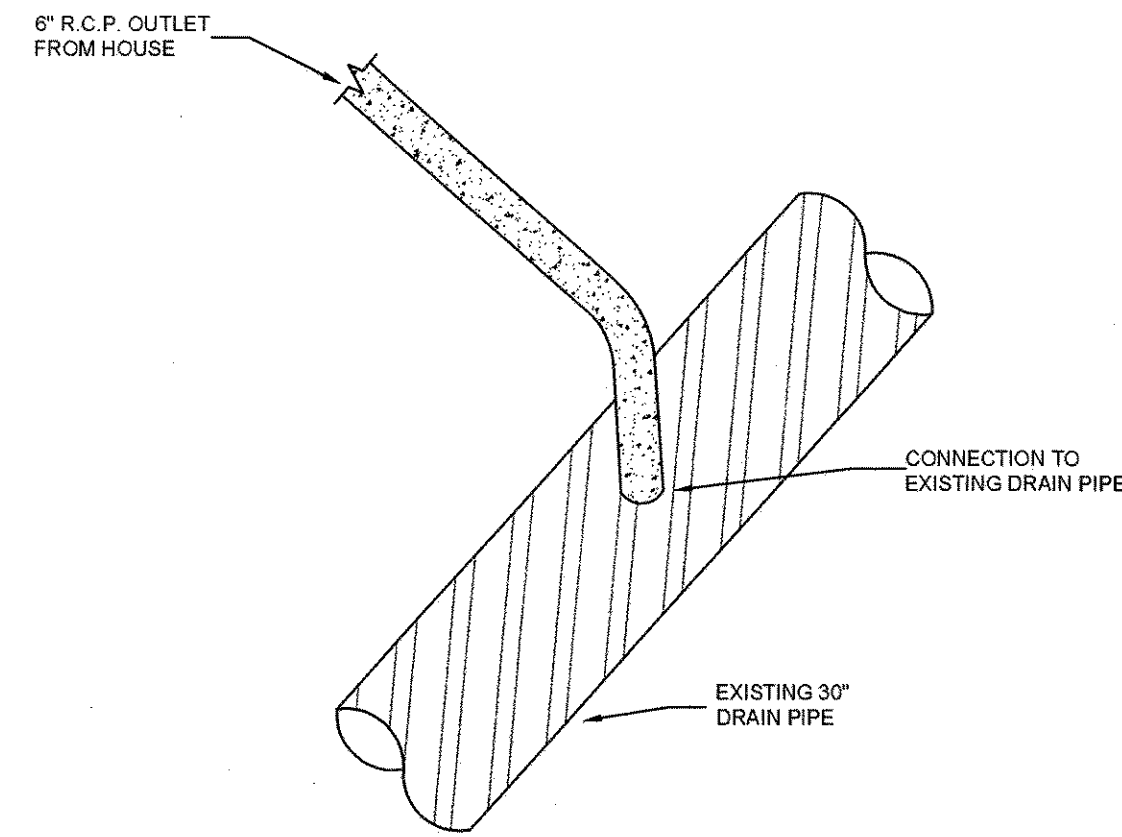
Date: 07/11/2022
Town of North Castle
Westchester Co., N.Y.



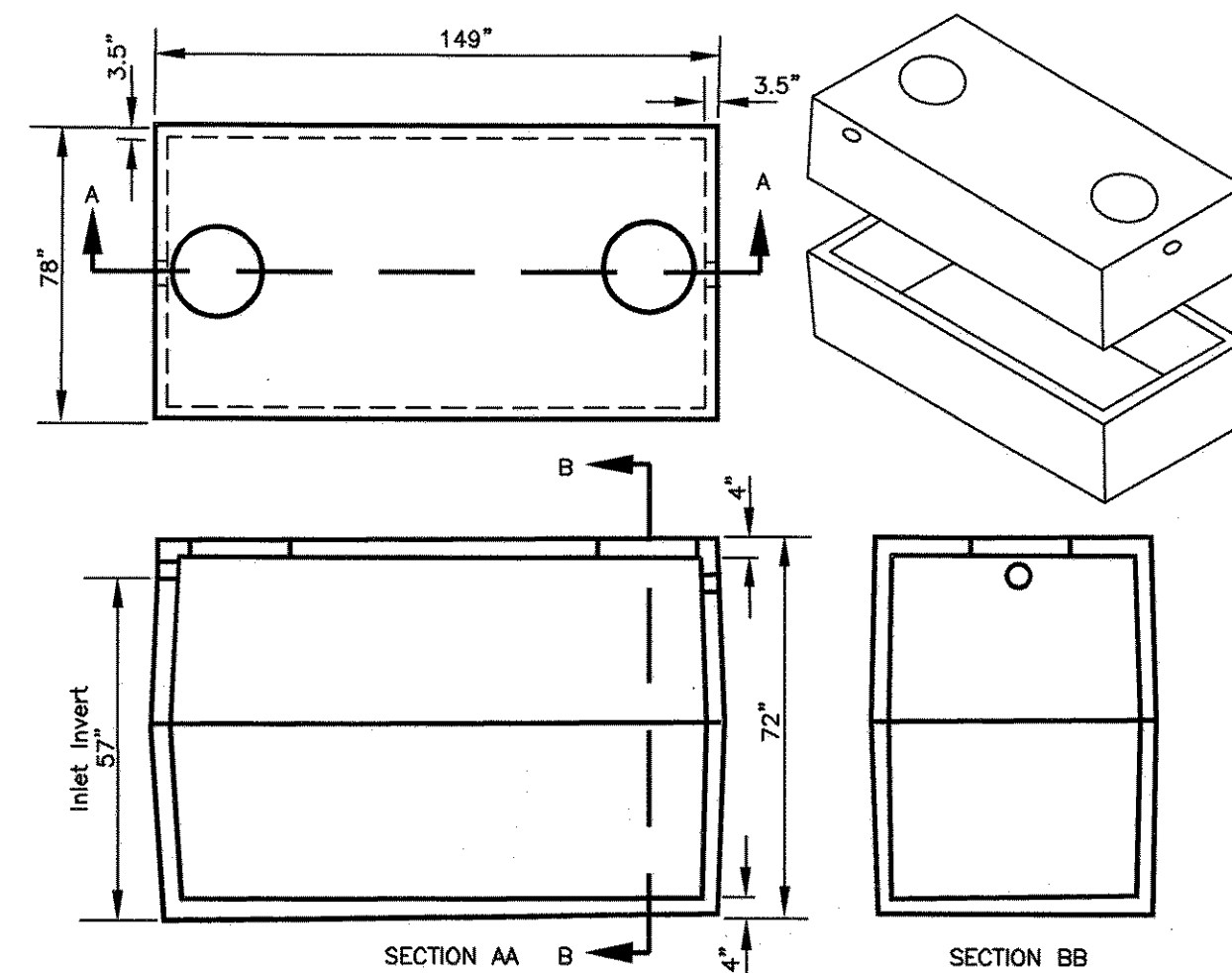
LOCATION MAP
N.T.S.

GENERAL NOTES:

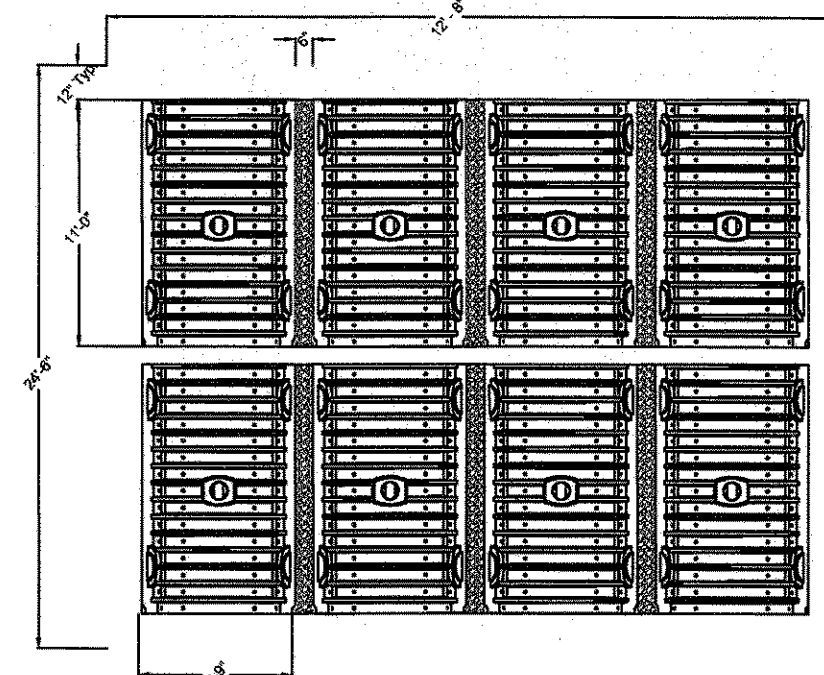
- As per Westchester County Code of Ordinance Sec. 873.729. When a public sanitary sewer shall become available to the property so served, a direct connection shall be made to such public sanitary sewer and any onsite wastewater treatment system shall be abandoned and every tank or pit in such system shall be opened, emptied of any sewage and completely filled with inert material.
 - The owner of the property acknowledges that the Town of North Castle and other agencies having jurisdiction shall have the right to enter the property at reasonable times and in a reasonable manner for purposes of inspection.
 - Each contractor who will be involved in a land development activity must have proof that he/she has received training and/or certification in proper erosion and sedimentation control practices.
 - For each truck delivering fill to the above-mentioned site, a Manifest shall be submitted and signed by the owner and/or engineer indicating the following:
 - Delivery date
 - Origin of fill
 - Type of fill
 - Certification by a New York State Licensed Professional Engineer that the fill delivered is in compliance with paragraph 360-7.1(b)(1) of 6 NYCRR Part 360 - Solid Waste Management.
- Note: If the fill material, as determined by the Town of North Castle, is considered to be non-exempt material as per paragraph 306-7.1(b)(1) of 6 NYCRR Part 360 - Solid Waste Management then the property owner and/or engineer may be required to perform and/or submit additional information.
- Upon completion of the project an As-Built Site Plan will be submitted showing the all improvements including the location of the Water Service Line and the Sewer Force main.



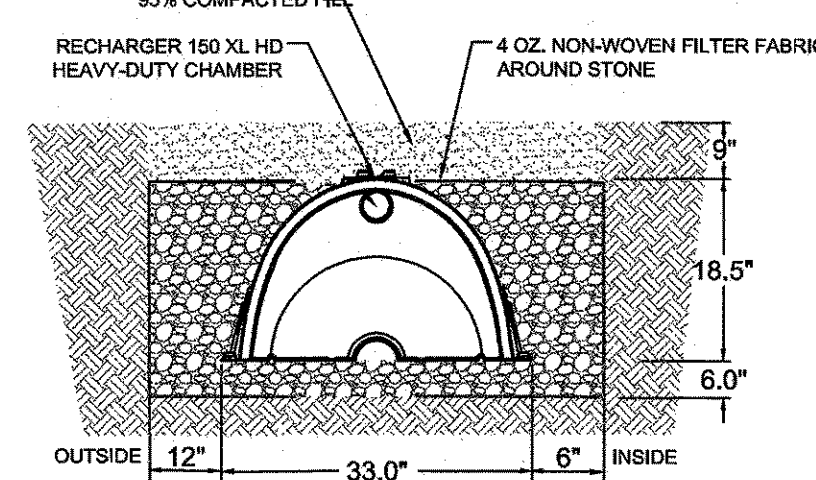
PROPOSED CONNECTION DETAIL
N.T.S.



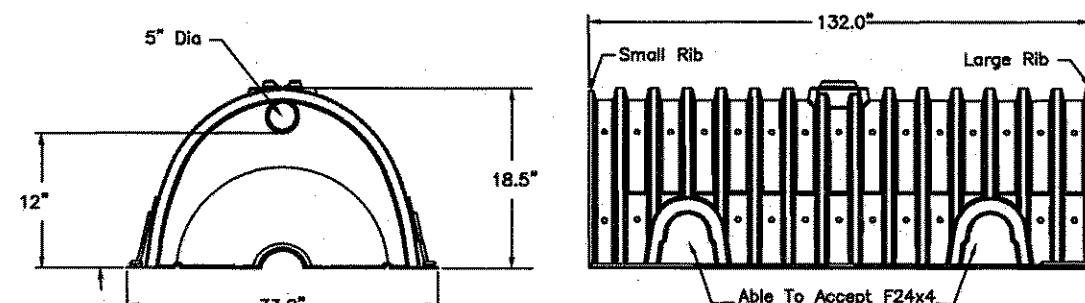
2000 GAL. PRE-TREATMENT TANK
N.T.S.



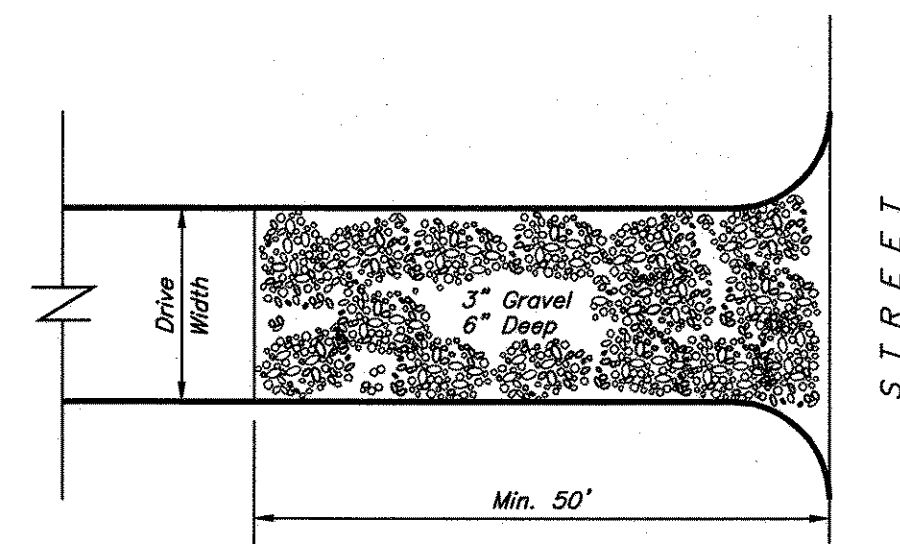
INFILTRATOR SYSTEM
8 UNITS
N.T.S.



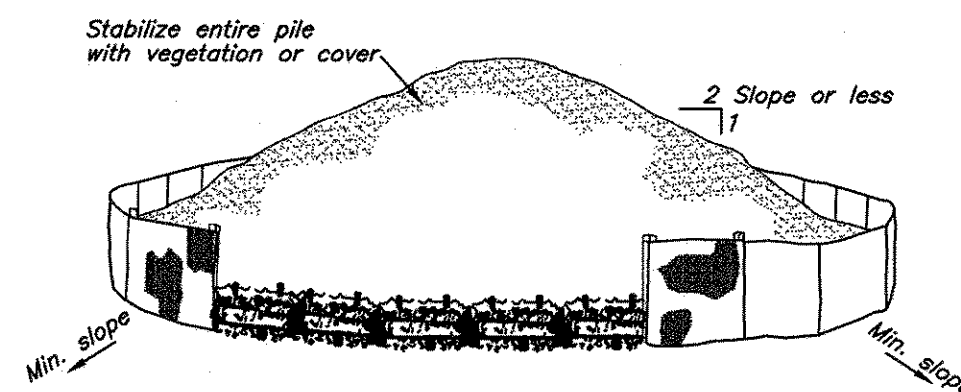
GENERAL NOTES:
RECHARGER 150 XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 1.99 CF PER RUN. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
USE RECHARGER 150 XL HD FOR TRAFFIC AND/OR H2O APPLICATIONS. THE CHAMBER SHALL HAVE A RIBBED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEANOUT.
ALL RECHARGER 150 XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



CULTEC RECHARGER 150 XL HD
N.T.S.

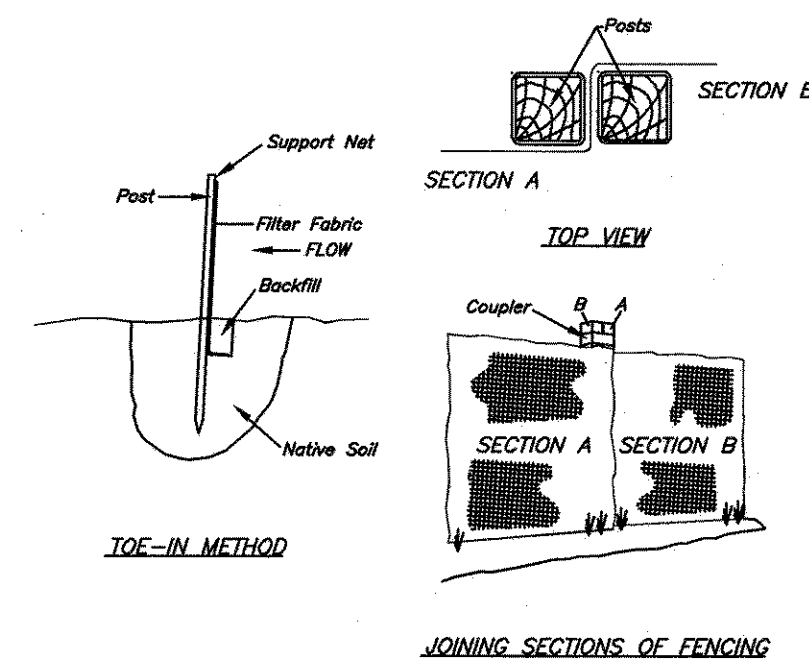


ANTI-TRACKING PAD
N.T.S.



SOIL STOCKPILING
N.T.S.

- Installation Notes:**
- Area chosen for stockpiling operations shall be dry and stable.
 - Maximum slope of stockpile shall be 1:2.
 - Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation on covered.



Installation Notes:

- Excavate a 4"x4" Trench along the Lower Perimeter of the Site.
- Unroll a Section at a Time and Position the Posts against the Back (Downstream).
- Drive the Post into the Ground until the Netting is approximately 2" from the Trench Bottom.
- Lay the Toe-in Flap of Fabric onto the Undisturbed Bottom of the Trench; Backfill the Trench and Tamp the Soil; Steeper Slopes Require an Intercept Trench.
- Join Sections as shown above.

SILT FENCE
N.T.S.

Applicant/Owner:
Greg & Elissa Weinhoff
3 Maple Way
North Castle, NY 10504

Site Address:
3 Maple Way
North Castle, NY 10504

Note:
Unauthorized alterations or additions to this drawing are a violation of Section 7209(2) of the New York State Education Law.

EROSION AND SEDIMENTATION CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

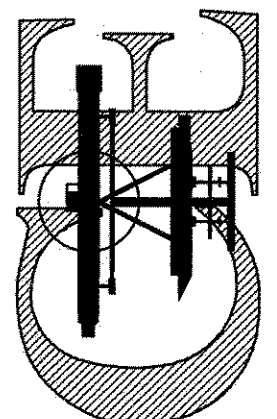
NO.	REVISIONS	DATE
1	GENERAL REVISIONS	10-07-22

PROPOSED DRAINAGE DETAILS

Prepared for
Greg & Elissa Weinhoff
3 Maple Way
Town of North Castle
Westchester Co., N.Y.
Tax. Map: Sht. 101.04, Bk. 2, Lot 74
Date: 04/12/2022

CAMPBELL ENGINEERING

Civil Engineers
Hydrology, Land Planners
Sanitary and Storm Sewers
Water Supply and Sewage Disposal
Michael H Campbell, PE
5 Schuman Road
Millwood, NY 10546
Michael@914engineer.com
(914) 238-3665
Fax (914) 238-3455



SCALE: AS NOTED
30

D-2

Note:
Topography from Westchester County Mapping and site survey. Accuracy of, or completion of sub-surface information is not certified.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 3 MAPLE WAT, ARMONK, NY 10504

Section III- DESCRIPTION OF WORK:

CONSTRUCTION OF A NEW 2 STORY
RESIDENCE PLUS POOL HOUSES

Section III- CONTACT INFORMATION:

APPLICANT: WALLACE J. TOSCANO AIA
ADDRESS: 30 COTSWOLD DR, N. SALEM NY 10560
PHONE: _____ MOBILE: 914-329-1491 EMAIL: ARCHWJT36@GMAIL.COM

PROPERTY OWNER: DR & MRS. G. WEINHOF
ADDRESS: 5 MAPLE WAT, ARMONK NY 10504
PHONE: _____ MOBILE: 914-882-7892 EMAIL: GREG@WEINHOF.NET

PROFESSIONAL: WALLACE J. TOSCANO, AIA ARCHITECT
ADDRESS: 30 COTSWOLD RD, N. SALEM, NY, 10560
PHONE: _____ MOBILE: 914 329-1491
EMAIL: ARCHWJT36@GMAIL.COM.

Section IV- PROPERTY INFORMATION:

Zone: 2A Tax ID (lot designation) 101.0A-2-74



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: WEINHOFF RESIDENCES

Initial Submittal Revised Preliminary

Street Location: 3 MAPLE WAY, ARMONK, NY 10560

Zoning District: 2A Property Acreage: 2 Tax Map Parcel ID: 101.04(2)-74

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. *If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.*
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.

$$\begin{array}{r}
 10,122 \\
 320 \\
 \hline
 10452
 \end{array}$$

$$\begin{array}{r}
 87200 \\
 -82120 \\
 \hline
 5080 \\
 \times 0.04 \\
 \hline
 320
 \end{array}$$

LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres



*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.

Handwritten calculations:

$$\begin{array}{r} 13,270 \\ + 600 \\ \hline 13,870 \end{array}$$

$$\begin{array}{r} 80 \\ \times 7.5 \\ \hline 600 \end{array}$$

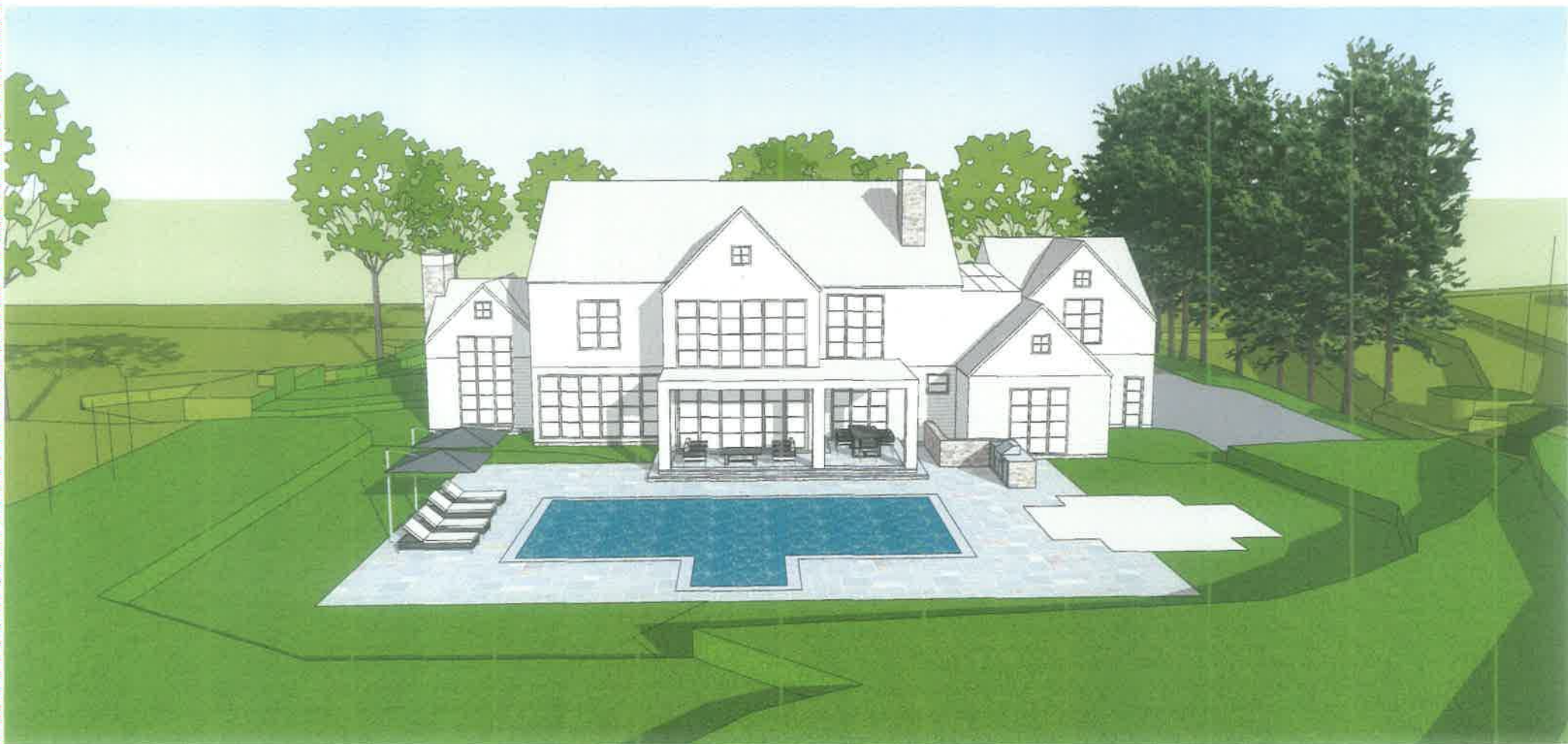
$$\begin{array}{r} 90\text{ ft} \\ \times 10 \\ \hline 900 \end{array}$$

























Map data ©2022 1000 ft

CONNECTICUT

Old Rocks



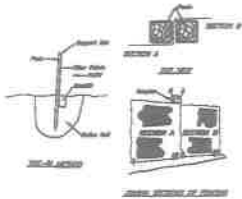
LOCATION MAP
N.T.S.

GENERAL NOTES:

1. An approved Professional Engineer's Certificate of Compliance (Sec. 87(2)(b)) shall be made available to the public. A signed Certificate shall be made available to the public. A signed Certificate shall be made available to the public. A signed Certificate shall be made available to the public.
2. The owner of the property acknowledges that the Town of North Castle and other agencies having jurisdiction shall have the right to enter the property at reasonable times and in a reasonable manner for purposes of inspection.
3. Each contractor who will be involved in a land development project must have proof that he/she has received training and/or certification in proper erosion and sedimentation control practices.
4. For each truck delivering fill to the above-mentioned site, a Manifest shall be submitted and signed by the owner and/or engineer indicating the following:
 - a) Delivery date
 - b) Origin of fill
 - c) Type of fill
 - d) Certification by a New York State Licensed Professional Engineer that the fill delivered is in compliance with paragraph 2607-A(3)(3) of NYCRR Part 266 - Solid Waste Management.

Note: If the fill material, as determined by the Town of North Castle, is considered to be non-waste material as per paragraph 2607-7.1(b)(1) of NYCRR Part 266 - Solid Waste Management then the property owner and/or engineer may be required to perform and/or submit additional information.

5. Upon completion of this project an As-Built Site Plan will be submitted showing the all improvements including the location of the Water Service Line and the Sewer Force Main.



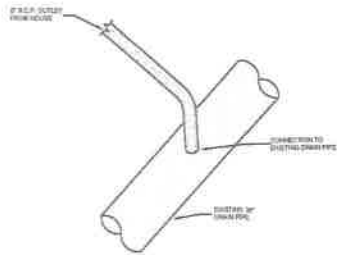
1. Excavate a 4" x 4" trench along the Lower Portion of the Site.
2. Spread a Surface of a Stone and Position the Posts against the Road (Downstream).
3. Drive the Posts into the Ground until the Height is approximately 2' from the Trench Surface.
4. Lay the Plastic Film of Fabric into the Individual Section of the Trench, Attach the Trench and Place the Soil Storage Bags (except on sloping Sites).
5. Walk Standing on stone surface.

SILT FENCE
N.T.S.

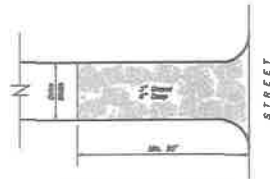
Applicant/Owner:
 Greg & Elissa Weinhoff
 3 Maple Way
 North Castle, NY 10504

Site Address:
 3 Maple Way
 North Castle, NY 10504

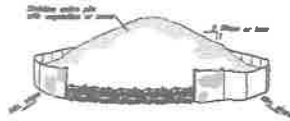
Note: Unsubstantiated allegations or accusations in this drawing are a violation of Section 220(2) of the New York State Education Law.



PROPOSED CONNECTION DETAIL
N.T.S.

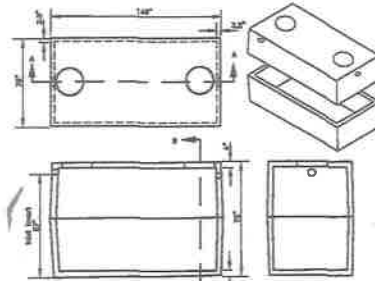


ANTI-TRACKING PAD
N.T.S.

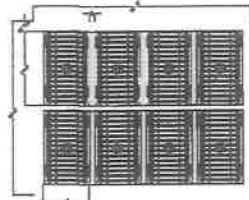


SOIL STOCKPILING
N.T.S.

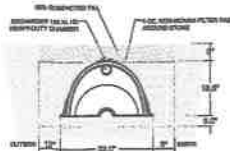
- Installation Notes:**
1. Area chosen for stockpiling operations shall be dry and stable.
 2. Maximum slope of stockpile shall be 1:2.
 3. Upon completion of soil stockpiling, each pile shall be surrounded with either soil fencing or straw bales, that encircle each pile with a minimum.



2000 GAL. PRE-TREATMENT TANK
N.T.S.



INFILTRATOR SYSTEM
8 UNITS
N.T.S.



CULTEC RECHARGER 150 XL HD
N.T.S.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY ESTABLISHED.
3. INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 8" DEEP.
4. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVELS IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS DIRECTED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL, TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
5. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL, REQUIRED FOR FINAL GRADING AND STORED ON SITE, SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDING AND MULCHED WITHIN 14 DAYS OF OTHERWISE ESTABLISHED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, OR DRAINAGE CHANNELS OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAIRED NATURAL OR SILT FENCE.
6. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDING, MULCHED AND STABILIZED WITH STAIRED TOBACCO NETTING OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
7. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
8. ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
9. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
10. ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
11. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACKFILLING, AREA IS TO BE TOPSOILED, SEEDING AND MULCHED.
12. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
13. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
14. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (BLUE BOOK).

NO.	REVISIONS	DATE
1	GENERAL REVISIONS	10-17-22

PROPOSED DRAINAGE DETAILS

Prepared by
Greg & Elissa Weinhoff
 3 Maple Way
 North Castle, NY 10504
 Tel: 914.838.3415
 Fax: 914.838.3415

CAMPBELL ENGINEERING

Civil Engineers
 Mechanical Engineers
 Surveyors and Surveyors
 Michael J. Campbell, P.E.
 5 S. Aurora Road
 Middletown, NY 10548
 Tel: 914.838.3415
 Fax: 914.838.3415



SCALE AS NOTED
 SHEET 2 OF 2

D-2

Note: Topography from Westchester County Mapping and other sources. Accuracy of compilation of sub-surface information is not certified.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3000 x43

Fax: (914) 273-3554

www.northcastleny.com

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1:00 p.m.)

CHECK LIST FOR ARB

Have You Submitted the Following to the Secretary?

- Application Fee \$100.00
- ARB Fee of \$100.00
- 5 Sets of Building Plans (with materials and color scheme noted)
- 5 Copies of Surveys of Site Plans, which may also be incorporated with the Building Plans, to show the footprint of the proposed project
- 5 Copies of Landscaping Plans
- 5 Copies of Aerial Views (See NYS Interactive Mapping Gateway Sheet)

The Following is Required to be Brought to the ARB Meeting:

- A sample material board
- A rendered elevation

NOTE:

Failure to appear with the required ARB Submission Materials will cause your application to be withdrawn from the agenda!

Under no circumstances will this project be accepted by the Building Department unless all of the above is compiled with or if special arrangements have already been made.

When the application is deemed complete, a meeting date will be assigned for you.