

650 Halstead Avenue
Mamaroneck, NY 10543
(914) 381-2357
www.SpinelliSurveying.com

SCALE 1"=40'

'HADLEY RD'

Survey of a Parcel of Land on the southerly side of Hadley Road. In the town of North Castle, Armonk Hamlet, Westchester County, NY.

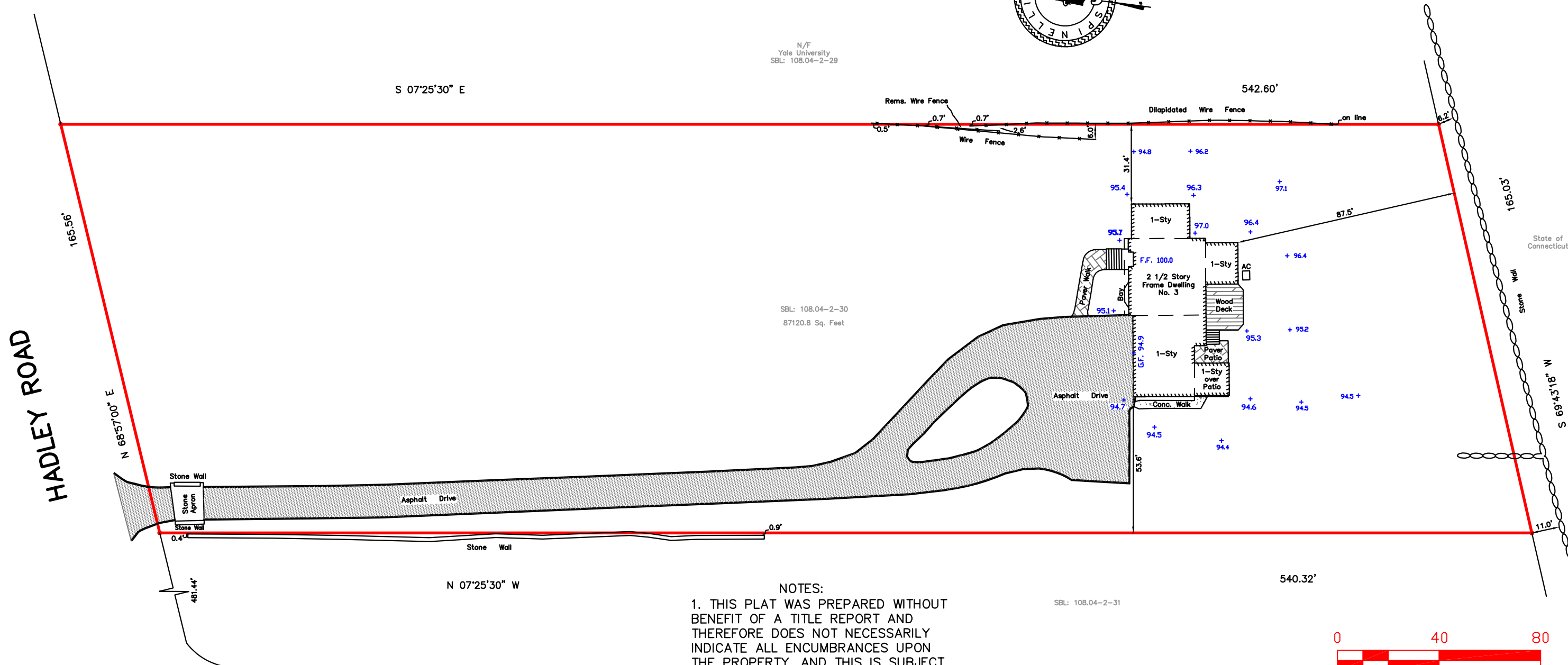
Surveyed: 10.14.22
Map Drawn: 10.17.22



N/F
Yale University
SBL: 108.04-2-29

SBL: 108.04-2-30
87120.8 Sq. Feet

SBL: 108.04-2-31



STERLING ROAD SOUTH

- NOTES:
1. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND THEREFORE DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES UPON THE PROPERTY, AND THIS IS SUBJECT TO ALL RESERVATIONS, RESTRICTIONS, EASEMENTS AND AGREEMENTS OF RECORD TO THE EXTENT THAT THEY LAWFULLY APPLY TO THE PROPERTY.
 2. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY AND RESEARCH PERFORMED ON OR PRIOR TO THE DATE SHOWN ON PLAT AND IS BASED ON MONUMENTS AND EVIDENCE FOUND IN THE FIELD AND MAY NOT CONFORM TO DEEDS, DESCRIPTIONS OR PLATS OF RECORD.
 3. PROPERTY CORNER MONUMENTS WERE NOT SET DURING THIS SURVEY
 4. ELEVATION DATUM ASSUMED OFF FRONT DOOR SILL AT EL. 100.0



[Signature]
Richard J. Spinelli, L.S. NYS Lic. 50975

-Unauthorized additions to or alterations of this plan is a violation of Section 7209 of the N.Y.S. Education Law.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 3 HADLEY RD ARMONK NY 10504

Section III- DESCRIPTION OF WORK:

PROPOSED REAR 1 1/2 STORY ADDITION. PROPOSED INTERIOR AND EXTERIOR ALTERATIONS AND RENOVATION. PROPOSED NEW WOOD PLAT AND STEPS IN REAR. PROPOSED PATIO EXTENSION AND NEW STORMWATER MANAGEMENT. PROPOSED NEW FRONT PORTICO OVER EXISTING PLATFORM.

Section III- CONTACT INFORMATION:

APPLICANT: JON ALLEN
ADDRESS: 3 HADLEY RD ARMONK N.Y. 10504
PHONE: (914) 438-8995 MOBILE: _____ EMAIL: JONALLEN17@GMAIL.COM

PROPERTY OWNER: - SAME AS APPLICANT -

ADDRESS: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROFESSIONAL: MARCO MAIORANO

ADDRESS: 439 WHITE PLAINS RD EASTCHESTER NY 10709

PHONE: (914) 346-5616 MOBILE: COMMUNITYDESIGNSLLC@AMAIL.COM

EMAIL: (914) 497-2953

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 108.04-2-30



Town of North Castle
Residential Project Review Committee
17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: 3 HADLEY RD

Initial Submittal Revised Preliminary

Street Location: 3 HADLEY RD ARMONK NY 10504

Zoning District: R-2A Property Acreage: 2 Tax Map Parcel ID: 108.04-2-30

Date: 10/19/22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

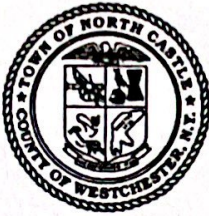
RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 1. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 2. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 3. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

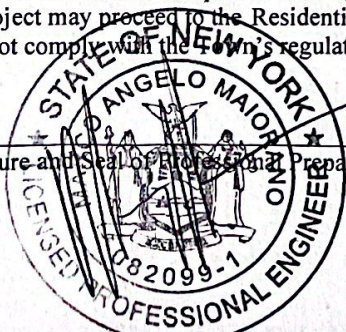
Application Name or Identifying Title: 3 HADLEY RD Date: 10/19/22
 Tax Map Designation or Proposed Lot No.: 108.04-2-30

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 87,120 S.F.
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):
13,270 S.F.
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
335 x 10 = 3,350
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3
16,620
5. Amount of lot area covered by principal building:
2,494 existing + 400 proposed = 2,894
6. Amount of lot area covered by accessory buildings:
N/A existing + N/A proposed = 0
7. Amount of lot area covered by decks:
TO BE REMOVED existing + 130 proposed = 130
8. Amount of lot area covered by porches:
N/A existing + N/A proposed = 0
9. Amount of lot area covered by driveway, parking areas and walkways:
8,397 existing + 163 proposed = 8,560
10. Amount of lot area covered by terraces:
N/A existing + N/A proposed = 0
11. Amount of lot area covered by tennis court, pool and mechanical equip:
9 existing + 0 proposed = 9
12. Amount of lot area covered by all other structures:
N/A existing + N/A proposed = 0
13. Proposed gross land coverage: Total of Lines 5 – 12 = 11,593

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations. **SEE SITE PLAN ON SP.1 FOR AREA BREAKDOWN*

Signature and Seal of Professional Preparing Worksheet



10/19/22
Date



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

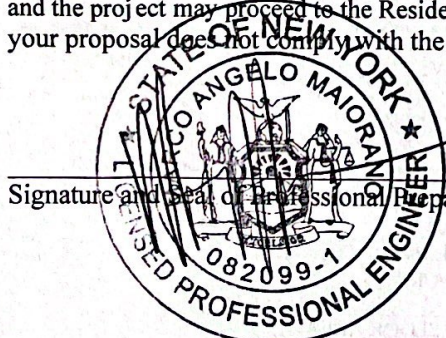
FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 3 HADLEY RD Date: 10/19/22
 Tax Map Designation or Proposed Lot No.: 108.04 - 2 - 30

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 87,120 S.F.
2. Maximum permitted floor area (per Section 355-26.B(4)): 10,122 S.F.
3. Amount of floor area contained within first floor:
 - 1,478 existing + 312 proposed = 1,790
4. Amount of floor area contained within second floor:
 - 1,740 existing + 468 proposed = 2,208
5. Amount of floor area contained within garage:
 - 771 existing + 0 proposed = 771
6. Amount of floor area contained within porches capable of being enclosed:
 - 0 existing + 0 proposed = 0
7. Amount of floor area contained within basement (if applicable - see definition):
 - N/A existing + N/A proposed = 0
8. Amount of floor area contained within attic (if applicable - see definition):
 - N/A existing + N/A proposed = 0
9. Amount of floor area contained within all accessory buildings:
 - N/A existing + N/A proposed = 0
10. Proposed floor area: Total of Lines 3 - 9 = 4,769

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations. *SEE PAGE A.2 FOR GROSS FLOOR AREA WORKSHEET.



Signature and Seal of Professional Preparing Worksheet

10/19/22
 Date

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT/ENGINEER BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITIES, SEWER, WATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.

CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL PITS, SLAB DEPRESSIONS, SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.

CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHEN DAMAGE SHOULD RESULT FROM SUCH WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.

CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENCES, CERTIFICATES, FEES, ETC., REQUIRED BY THE NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.

ALL WORK MUST CONFORM TO THE NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. [O.S.H.A. REGULATIONS MUST ALSO BE ADHERED TO]. ALL ELECTRIC WORK MUST CONFORM TO NATIONAL ELECTRIC CODE.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, [STANDARD FORM OF A.I.A. LATEST EDITION A201], ARE PART OF THE CONTRACT DOCUMENTS.

WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS.

SUBCONTRACTORS SHALL GUARANTEE, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

THE ARCHITECT/ENGINEER SHALL NOT BE RETAINED FOR ANY EXISTING CONDITIONS THAT DO NOT MEET TODAY'S STANDARDS. ANY CONDITION THAT DOES NOT MATCH THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND CONTRACTOR/OWNER SHALL PROVIDE NECESSARY ITEMS TO MEET AND OR EXCEED ALL CODE REQUIREMENTS.

NOTES:

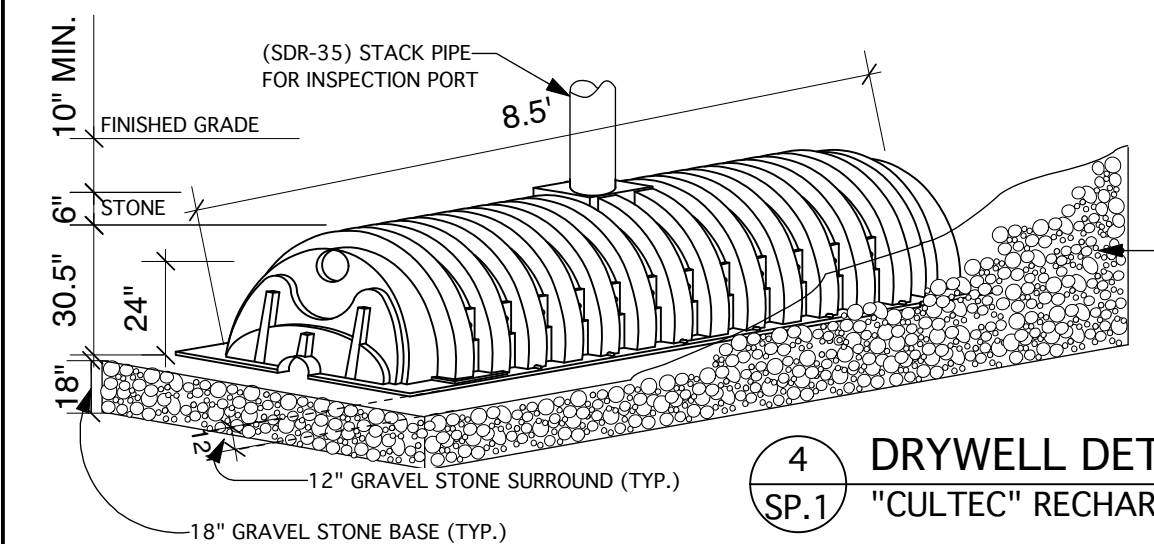
- PLANS DO NOT SHOW ALL UNDERGROUND UTILITIES, OIL TANKS OR OTHER SUBSURFACE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR A UTILITY MARK OUT PRIOR TO CONSTRUCTION CALL 800-962-7962 WWW.DIGSAFELYNEWYORK.COM
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION
- ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CH. 987.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO RESIDENTIAL CODE OF NYS, LOCAL BUILDING AND ZONING CODES.
- CONTRACTOR IS RESPONSIBLE FOR A SAFE WORKPLACE IN ACCORDANCE WITH ALL APPLICABLE LAWS AND CODES.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS TECHNIQUES, SEQUENCES AND PROCEDURES.
- WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- CONTRACTOR SHALL PROTECT EXISTING TREES DURING CONSTRUCTION
- FINAL GRADING AROUND THE BUILDING SHALL SLOPE AWAY FROM THE STRUCTURE.

CONSTRUCTION SEQUENCE SCHEDULE:

- INSTALL PERIMETER MEASURES, SOIL EROSION, SEDIMENT CONTROLS, AND CONSTRUCTION FENCING.
- IDENTIFY CRITICAL AREAS INCLUDING STOCK PILE AREAS, STAGING AREAS, AND VEHICULAR PARKING AREAS.
- PROPOSED SITE EXCAVATION. (1 WORKING DAY ANTICIPATED)
- START INITIAL CONSTRUCTION OF NEW BUILDING FOUNDATION.
- INSTALL FRAMING.
- INSTALLATION OF STORM WATER MANAGEMENT PRACTICES.
- BACKFILL FOUNDATION
- INSTALL NEW PATIO ADDITION.
- INSTALL TOPSOIL AND PERMANENT STABILIZATION.
- REMOVE ACCUMULATED SEDIMENT FROM STORM SYSTEM AND RELATED DEVICES.
- REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURE ONCE THE SITE HAS BEEN STABILIZED.
- COMPLETION OF FINAL LANDSCAPING.

NOTE:
PROPOSED POP-UP EMITTER FOR EMERGENCY OVERFLOW

ANTICIPATED PERCOLATION TEST LOCATION



4 DRYWELL DETAIL
"CULTEC" RECHARGER 330XLHD

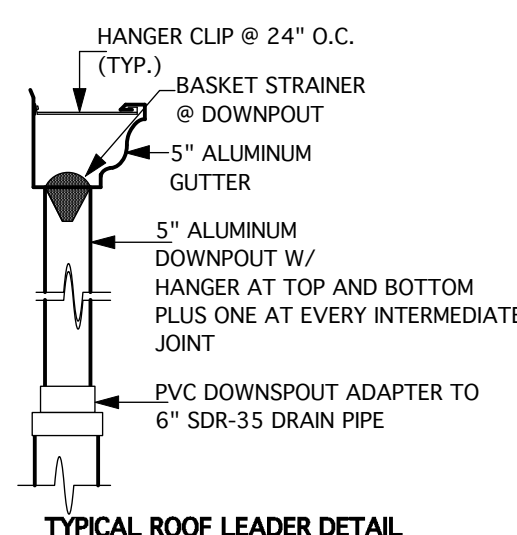
RECHARGER 330 XLHD SPECIFICATIONS	
LENGTH	8.5'
INSTALLED LENGTH	7.0'
WIDTH	52"
HEIGHT	30.5"
INLET	24"
CHAMBER STORAGE	79.26 FT ³
MIN. STORAGE WITH 18" STONE BASE	92.79 FT ³

Table R301.2(3)
Climatic and Geographic Design Criteria

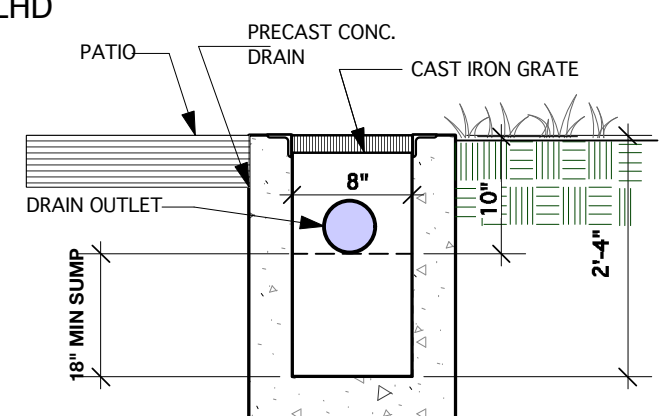
WIND DESIGN		SEISMIC DESIGN		SUBJECT TO DAMAGE FROM		WINTER DESIGN		ICE BARRIER		FLOOD HAZARDS		AIR FREEZING		MEAN ANNUAL	
GROUND SNOW LOAD	SPEED + (mph)	TOPOGRAPHIC EFFECTS +	CATEGORY I	WEATHERING	FROST DEPTH +	TERMINI +	DESIGN TEMP -	UNDERLAYMENT REQUIRED +	REQUIRED +	HAZARDS +	INDEX -	INDEX -	TEMP -	TEMP -	TEMP -
30	15.5	Nr	0	Severe	42"	Very Heavy	10	Yes	Yes	Yes	1,500 or less	50			

Manual J Design Criteria

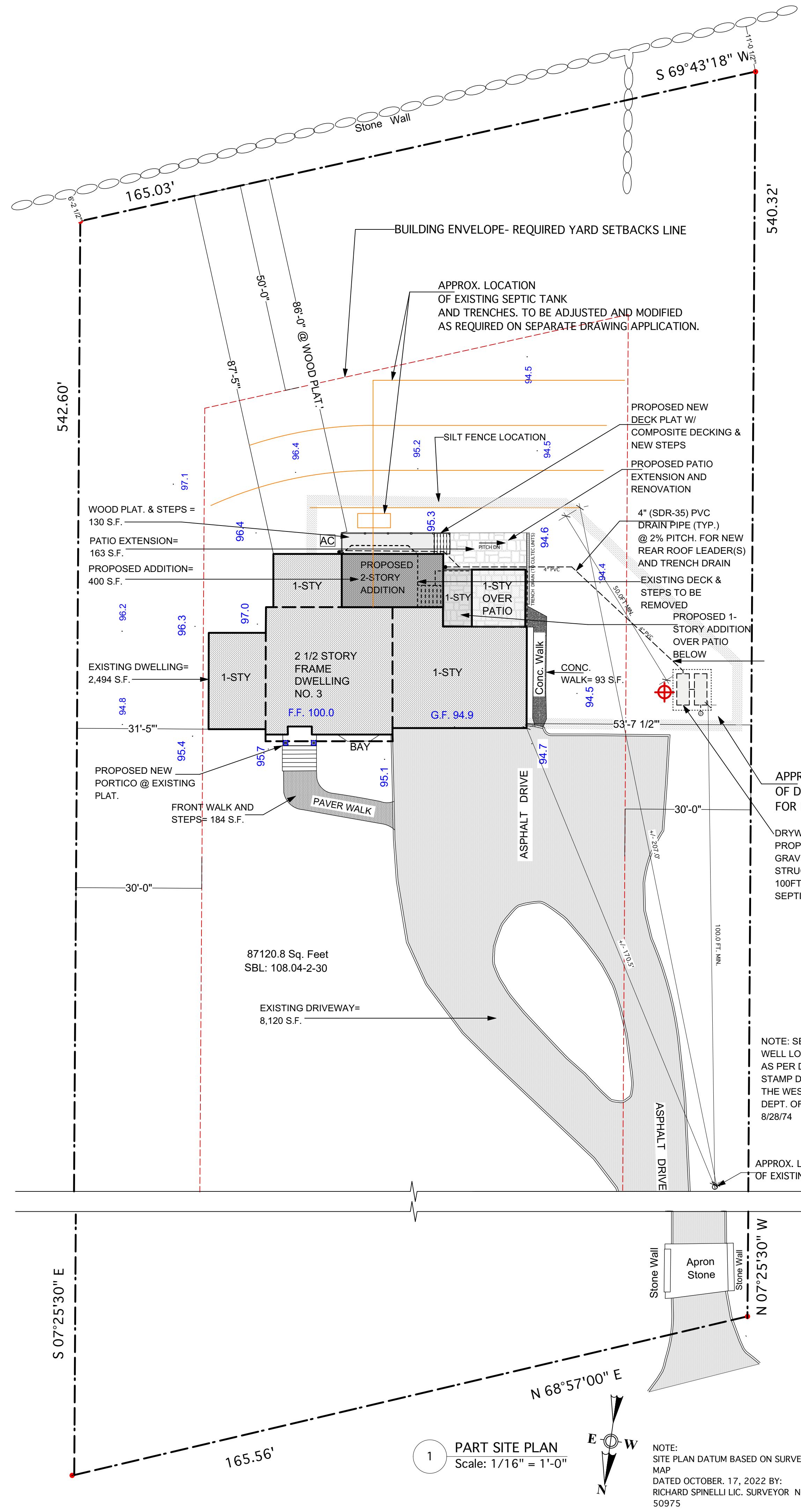
Elevation	Latitude	Winter Heating	Summer Cooling	Altitude Correction Factor	Indoor Design Temperature	Design Temperature Cooling	Heating Temperature Difference
292	41.91 55"	52	87	None	72	75	60
Cooling Temperature Difference	Wind Velocity Heating	Wind Velocity Cooling	Coincident Wet Bulb	Daily Range	Winter Humidity	Summer Humidity	
52.5			72	M			



TYPICAL ROOF LEADER DETAIL



5 TRENCH DRAIN DETAIL @ PATIO (TYP)
Scale: NTS



PROJECT SITE

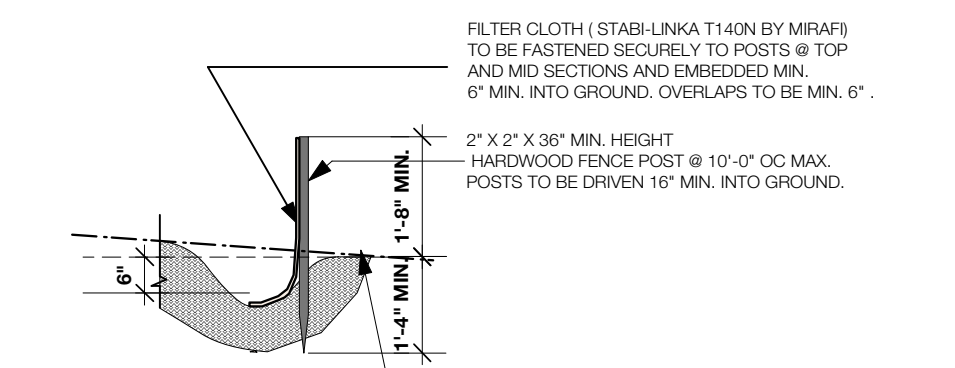
ARIEL VIEW



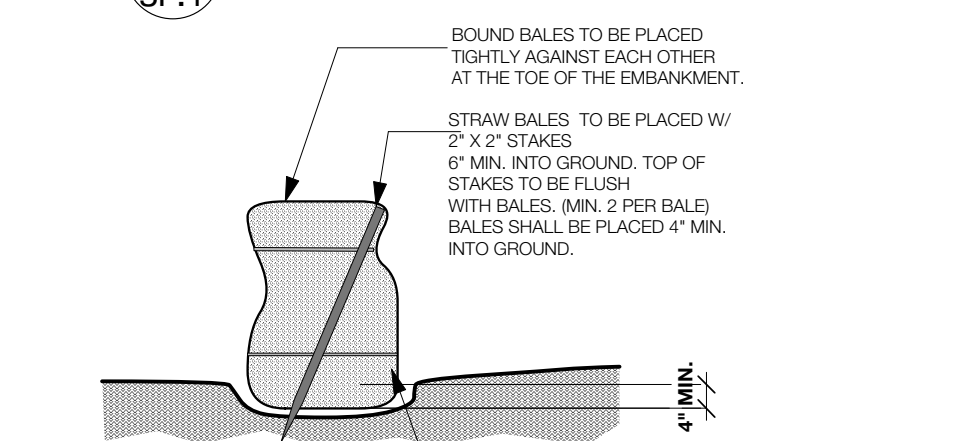
GIS MAP

SOIL EROSION NOTES:

- PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.
- CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.
- CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.
- CONTRACTOR SHALL KEEP ALL PUBLIC AND PRIVATE ADJOINING AREAS CLEAR OF SEDIMENTATION DEBRIS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS AT THE END OF EACH WORK DAY.
- METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAW BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12" LOOSE STONE AND ROCK SHALL REMOVED FROM SITE, COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.
- THIS ARCHITECT AND OR ENGINEER HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF.
- ALL WORK SHALL MEET THE WESTCHESTER COUNTY REQUIREMENTS



2 SILT FENCE DETAIL
SP.1 NOT TO SCALE



3 STRAW BALE PLACEMENT DETAIL
SP.1 NOT TO SCALE

DEMOLITION:
1. CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION OF WORK SHOWN ON DRAWINGS.
2. HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE.
3. HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS REQUIRED.

SHORING AND BRACING:
1. CONTRACTOR SHALL PROTECT SITE FROM CAVING AND SOIL MOVEMENT. HE SHALL LOCATE SYSTEMS TO CLEAR PERMANENT CONSTRUCTION AND TO PERMIT FORMING AND FINISHING OF CONCRETE SURFACES.
2. CONTRACTOR SHALL LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. INSTALL NEW BRACE PRIOR TO REMOVING OLD BRACE.

NOTE:
PLUMBING PERMIT AND ELECTRICAL PERMIT UNDER SEPARATE APPLICATIONS
NOTE:
EQUIPMENT PERMIT AND HVAC PERMITS UNDER SEPARATE APPLICATIONS.

COMMUNITY DESIGNS ENGINEERING D.P.C.
439 WHITE PLAINS RD EASTCHESTER NY 10709 (914) 346-5616 CDESIGNSENGINEERING@GMAIL.COM

PROPOSED ADDITION & ALTERATION TO THE ALLEN RESIDENCE
3 HADLEY RD
ARMONK, NY 10504
SECTION:108.04 BLOCK:2 LOT(S):30 ZONE:R-2A

PROPERTY OWNER:
HEATHER & JON ALLEN
3 HADLEY RD
ARMONK NY 10504

PRPC- SET ONLY

NO.	REVISION	DATE

SITE PLAN & NOTES
SP.1
DRAWN BY: AM CHECKED BY: MM
SUBMISSION DATE: 10/20/22

DRYWELL CALCULATIONS

NEW IMPERV. SURFACES	485 S.F.
DESIGN BASED ON 50YR. RAINFALL EVENT (7.56 INCHES)	6.4" / HOUR
TOTAL RAINWATER RETENTION (W/ 3.56" OF INFILTRATION)	485 X 4.0/12 = 218.75 C.F.
ONE 330 RECHARGER RETAINS W/ 18" STONE BASE:	92.79 C.F.
161.6 C.F. / 92.79 C.F. = 1.7	
TWO SUCH DRYWELLS ARE PROPOSED	

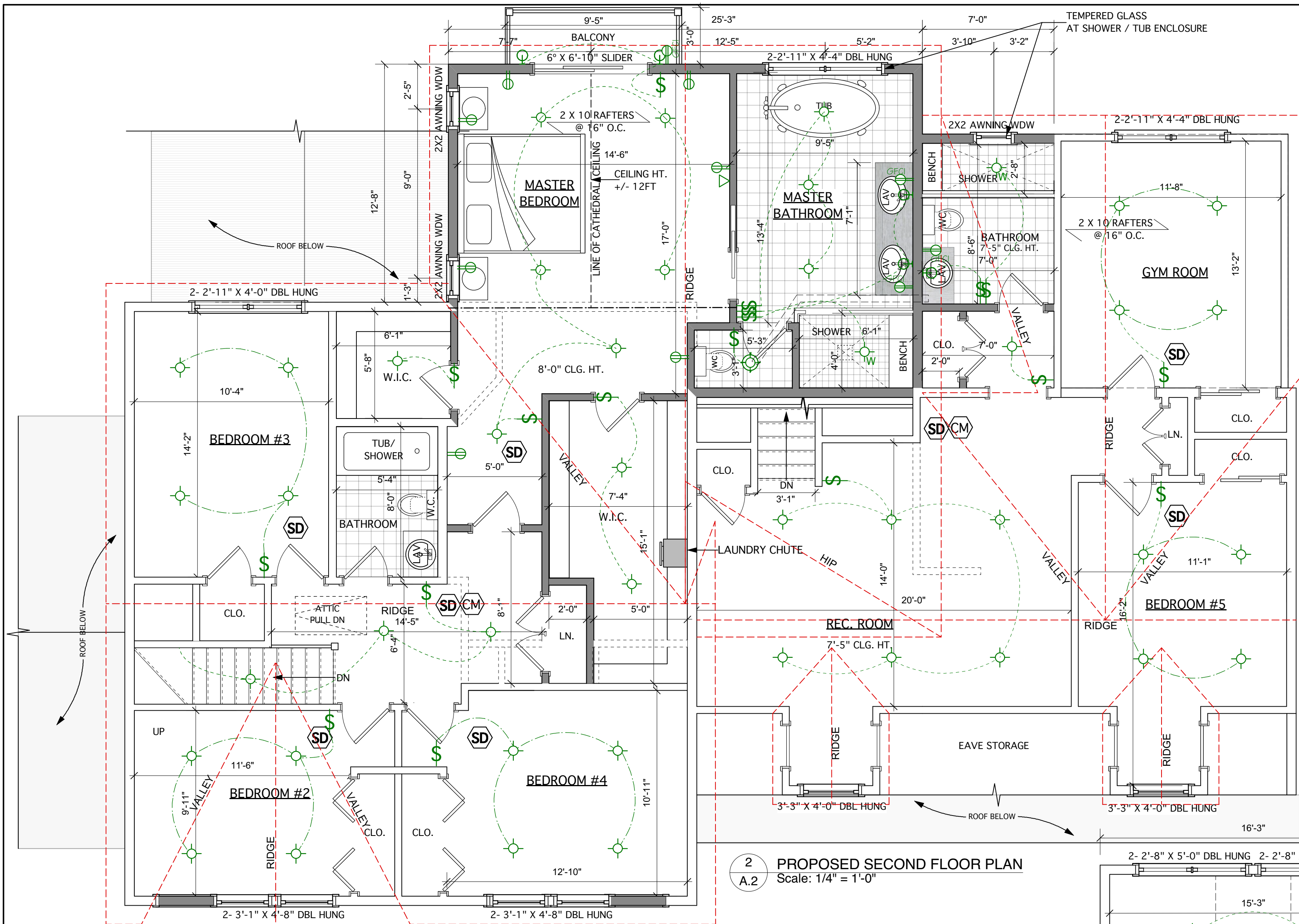
NOTE:
ALL WORK TO COMPLY WITH THE 2020 NYS RESIDENTIAL CODE.

ZONE R-2A

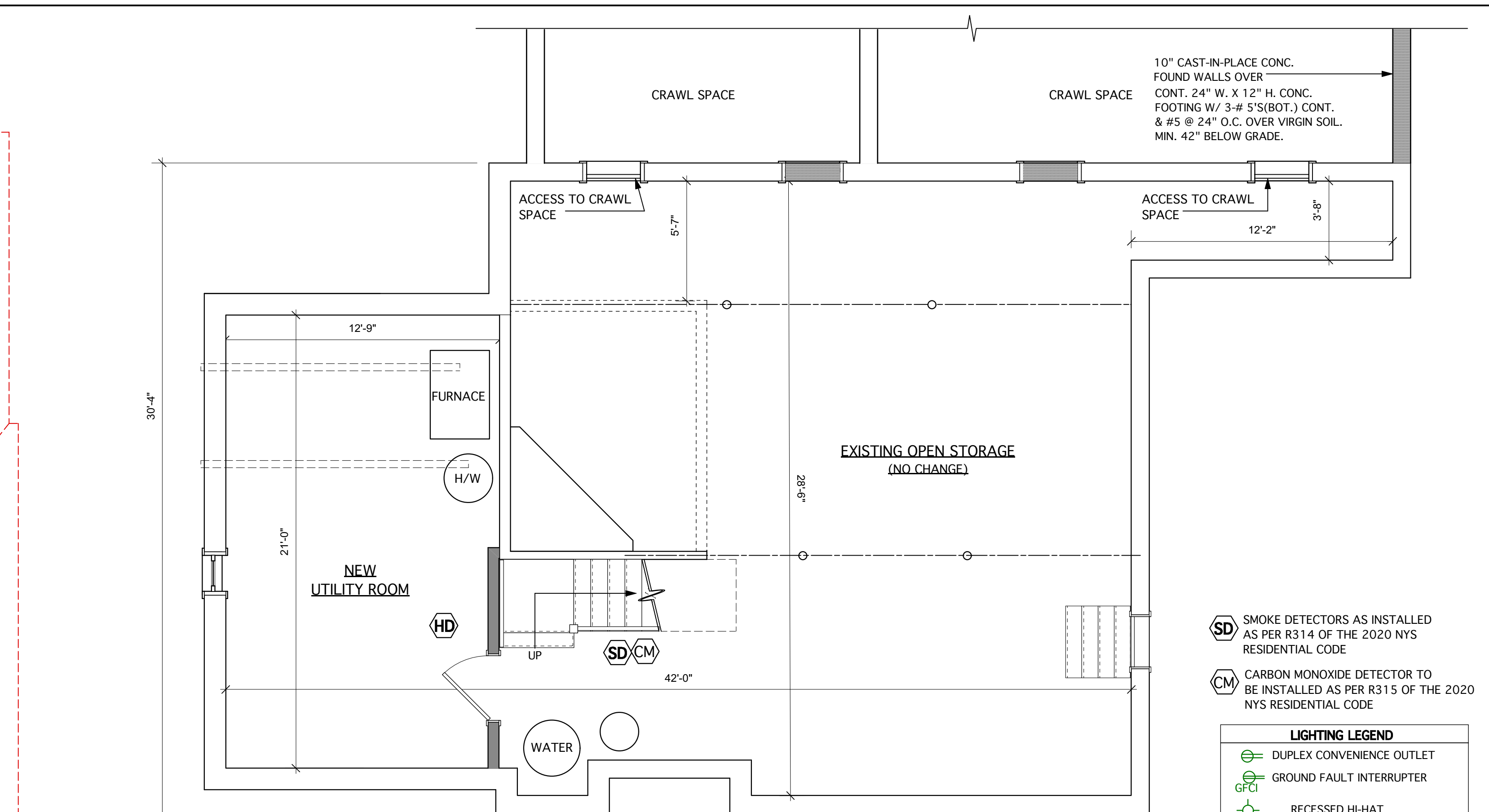
CRITERIA	REQUIRED	PERMITTED	EXISTING	PROPOSED	REMARKS
USE	ONE FAMILY RESIDENCE	ONE FAMILY RESIDENCE	ONE FAMILY RESIDENCE	ONE FAMILY RESIDENCE	PERMITTED
LOT AREA	2 ACRE	2 ACRE	2 ACRE	2 ACRE	PERMITTED
FRONTAGE	150 FT	165.56 FT	165.56 FT		
FRONT YARD	50.0 FT	+/- 385.0 FT	+/- 385.0 FT		
FIRST SIDE YARD	30.0 FT	53.58 FT	53.58 FT		
SECOND SIDE YARD	30.0 FT	31.41 FT	31.41 FT		
REAR YARD	50 FT	87.41 FT	87.41 FT		
MAXIMUM BLDG COVERAGE	8% 6,969 S.F.	2.8% 2,494 S.F.	3.3% 2,894 S.F.		
MAXIMUM LAND COVERAGE	16,620 S.F.	11,283 S.F.	11,593 S.F.		PERMITTED

1 PART SITE PLAN
Scale: 1/16" = 1'-0"

NOTE:
SITE PLAN DATUM BASED ON SURVEY MAP DATED OCTOBER, 17, 2022 BY: RICHARD SPINELLI L.C. SURVEYOR NO. 50975



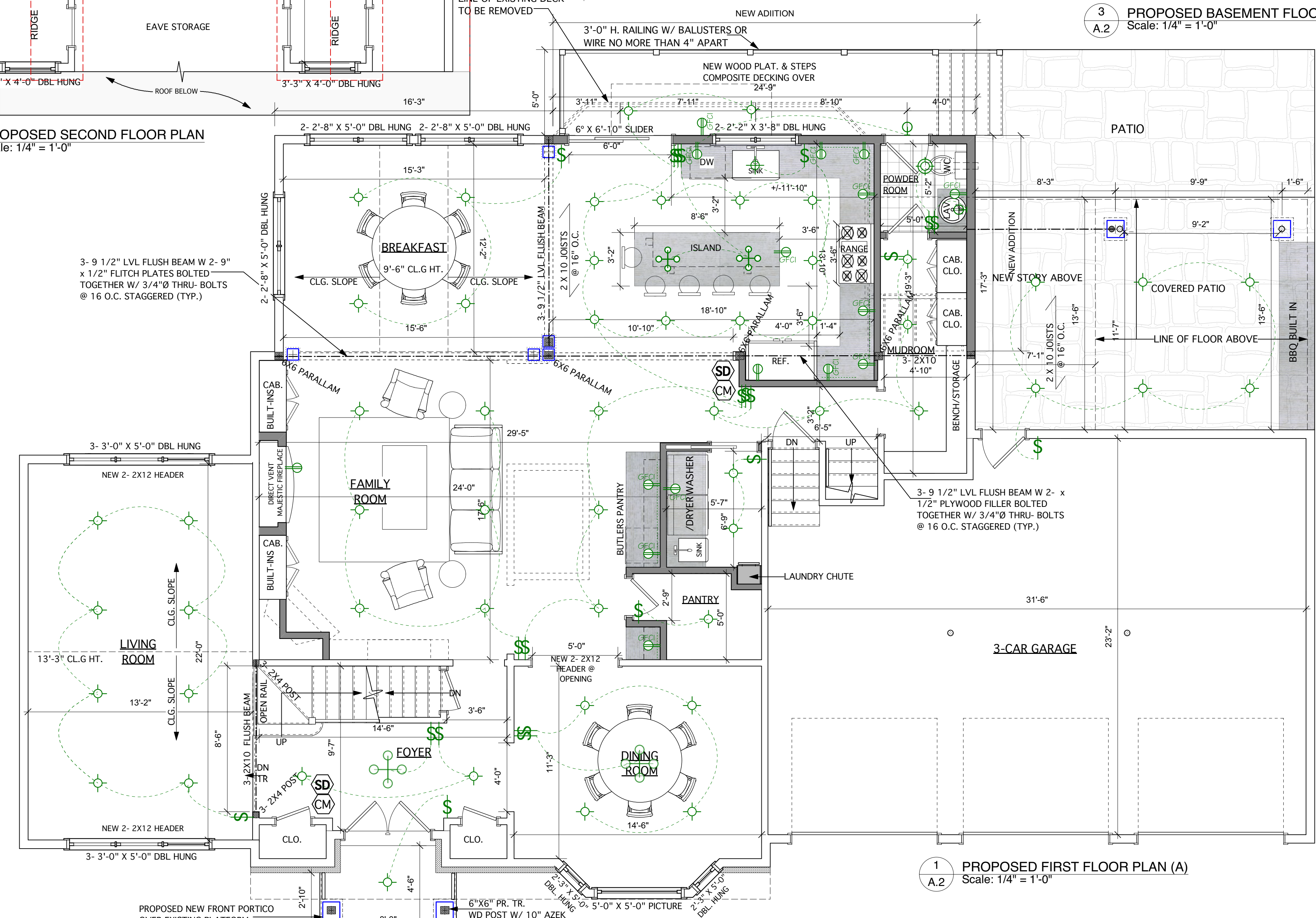
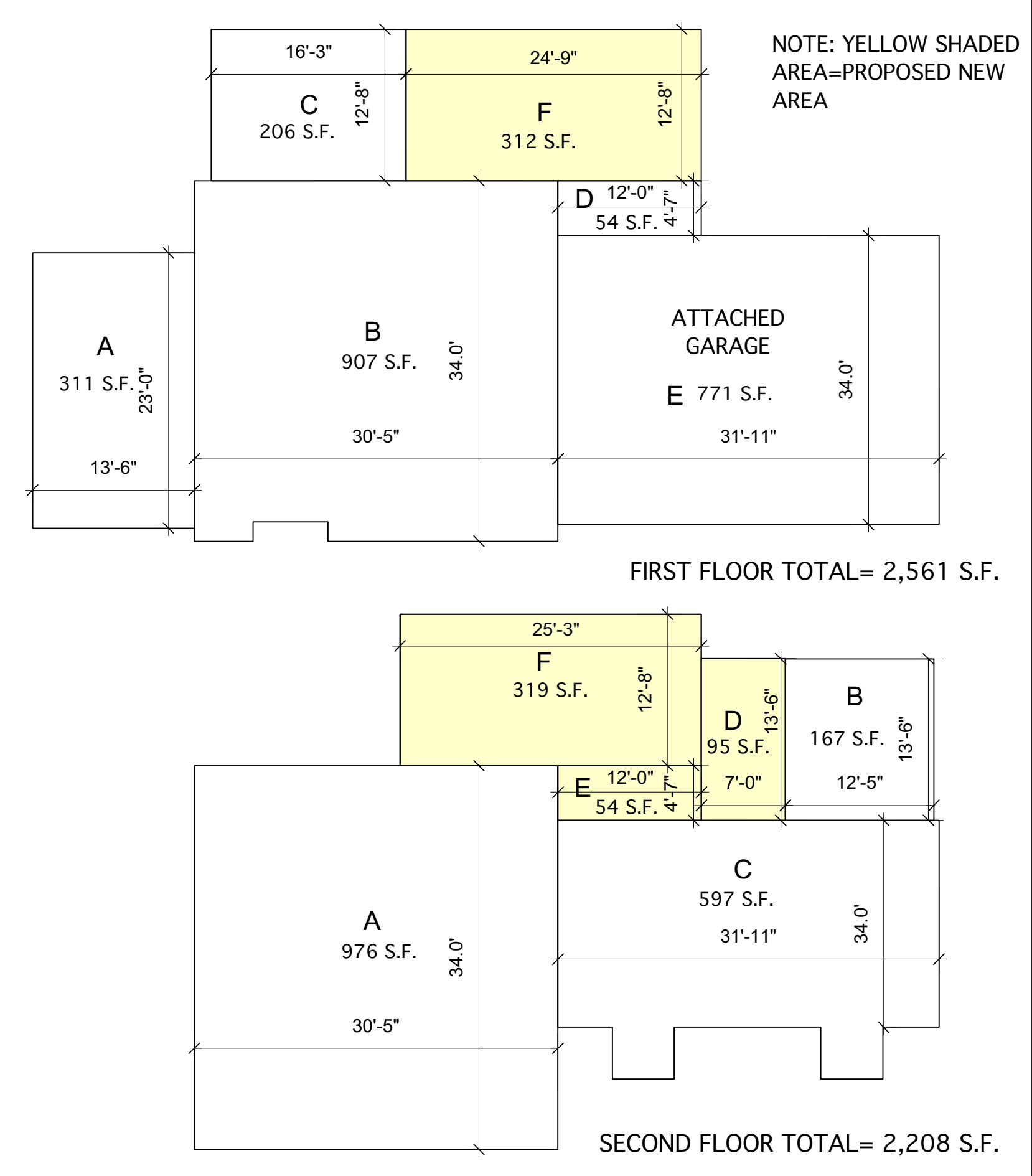
2 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



3 PROPOSED BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

- SMOKE DETECTORS**
SD SMOKE DETECTORS AS INSTALLED AS PER R314 OF THE 2020 NYS RESIDENTIAL CODE
- CARBON MONOXIDE DETECTOR**
CM CARBON MONOXIDE DETECTOR TO BE INSTALLED AS PER R315 OF THE 2020 NYS RESIDENTIAL CODE
- LIGHTING LEGEND**
- ⊕ DUPLEX CONVENIENCE OUTLET
 - ⊕ GFI GROUND FAULT INTERRUPTER
 - ⊕ RECESSED HI-HAT
 - ⊕ WATERPROOF RECESSED HI-HAT
 - ⊕ SWITCH
 - ⊕ EXHAUST FAN FIXTURE
 - ⊕ PENDANT FIXTURE
 - ⊕ WALL FIXTURE
 - ⊕ UNDER CAB. LIGHTING
 - ⊕ DATA
- PARTITION LEGEND**
- EXISTING PARTITIONS TO BE REMOVED
 - EXISTING PARTITIONS
 - ▬ PROPOSED MASONRY WALL
 - ▬ PROPOSED BEARING WD PARTITION WALLS
 - ▬ PROPOSED 2"x6" PARTITIONS W/ R-20 BATT INSULATION
 - ▬ PROPOSED WD PARTITIONS

GROSS FLOOR AREA WORKSHEET.



1 PROPOSED FIRST FLOOR PLAN (A)
Scale: 1/4" = 1'-0"

COMMUNITY DESIGNS ENGINEERING D.P.C.
439 WHITE PLAINS RD EASTCHESTER NY 10709 (914) 346-5616 CDESIGNSENGINEERING@GMAIL.COM

PROPOSED ADDITION & ALTERATION TO THE ALLEN RESIDENCE
3 HADLEY RD ARMONK, NY 10504
SECTION:108.04 BLOCK:2 LOT(S):30 ZONE:R-2A

PROPERTY OWNER: HEATHER & JON ALLEN
3 HADLEY RD ARMONK NY 10504

RPRC- SET ONLY		
NO.	REVISION	DATE

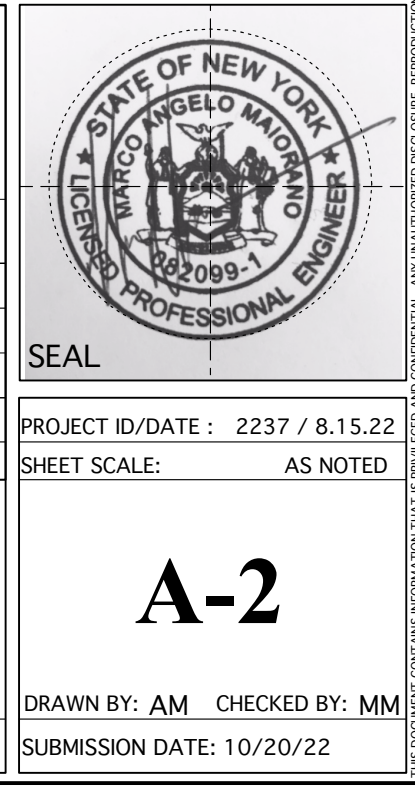
SEAL

PROJECT ID/DATE: 2237 / 8.15.22
SHEET SCALE: AS NOTED

EXISTING & PROPOSED FLOOR PLANS

Scale: 1/4" = 1'-0"

DRAWN BY: AM CHECKED BY: MM
SUBMISSION DATE: 10/20/22





EXISTING VIEW OF FRONT ELEVATION



1 PROPOSED FRONT ELEVATION
A.4 Scale: 1/4" = 1'-0"

ELEVATION NOTE KEY		
1	DBL CUSTOM ENTRY DOOR: AUTHENTIC RUSTIC WOOD GRAIN, BLACK FINISH 5'-0" X 7'-0"	
2	"AZEK" TRIM BOARD- WHITE	
3	JAMES HARDIE FIBER CEMENT SIDING SMOOTH (7" EXPOS.) OVER BLDG. PAPER AND 1/2" CDX EXT-GRADE PLYWOOD SHEATHING OVER 2X6 STUDS W/ 16" OC - DBL. TOP PLATES R-20 BATT INSUL. 1/2" GYP. BOARD INTERIOR (TYP) COLOR- ARCTIC WHITE	
4	WHITE SEAMLESS ALUM. GUTTER TO LEADER TO STORM	
5	LIFETIME, ATLAS PINNACLE HIGH PERFORMANCE ARCHITECTURAL SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT.GR. PLWD SHEATHING OVER 2X10 WD RAFTERS @ 16" OC. COLOR- PRISTINE BLACK ASPHALT	
6	AZEK FASCIA & SOFFIT-WHITE	
7	WHITE PAINTED BRICK VENEER	
8	RECESSED EXTERIOR HI-HATT LIGHTING	
9	CLOPAY GARAGE DOOR -(BLACK) MULTI LAYERED STEEL AND INSULATION TOPPED WITH A WOODGRAIN TEXTURED COMPOSITE OVERLAY	
10	JAMES HARDIE FIBER CEMENT PANEL VERTICLE SIDING BOARD AND BATTEN. (WHITE)	
11	FYPON BRACKET	
12	ANDERSON 400 SERIES DBL HUNG WINDOWS W/ SDL DIVIDED LIGHT GRILLE	
13	"AZEK" 1/2" X 3-5/8" (3052) CROWN MOULDING	
14	GOOSENECK BARN LIGHT BLACK FINISH.	
15	STANDING SEAM METAL ROOF BY PAC-CLAD ALUMINUM OR APPROVED EQUAL (GRAPHITE)	
16	AZEK COLUMN WRAP	
17	1" STUCCO (W/ WWF.)	
18	AZEK TRADEMARK WHITE PVC RAILING W/ BALUSTERS NO MORE THAN 4" APART	



EXISTING VIEW OF REAR ELEVATION



2 PROPOSED REAR ELEVATION
A.4 Scale: 1/4" = 1'-0"

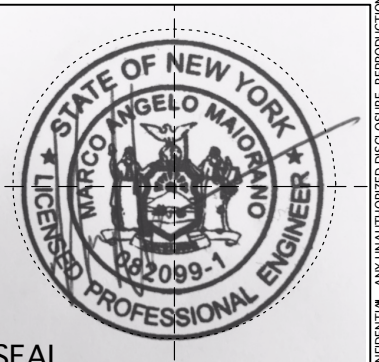
COMMUNITY DESIGNS
ENGINEERING D.P.C.
439 WHITE PLAINS RD EASTCHESTER NY 10709 (914) 346-5616 CDESIGNSENGINEERING@GMAIL.COM

PROPOSED ADDITION & ALTERATION TO THE ALLEN RESIDENCE
3 HADLEY RD
ARMONK, NY 10504
SECTION:108.04 BLOCK:2 LOT(S):30 ZONE:R-2A

PROPERTY OWNER:
HEATHER & JON ALLEN
3 HADLEY RD
ARMONK NY 10504

RPRC- SET ONLY

NO.	REVISION	DATE



SEAL

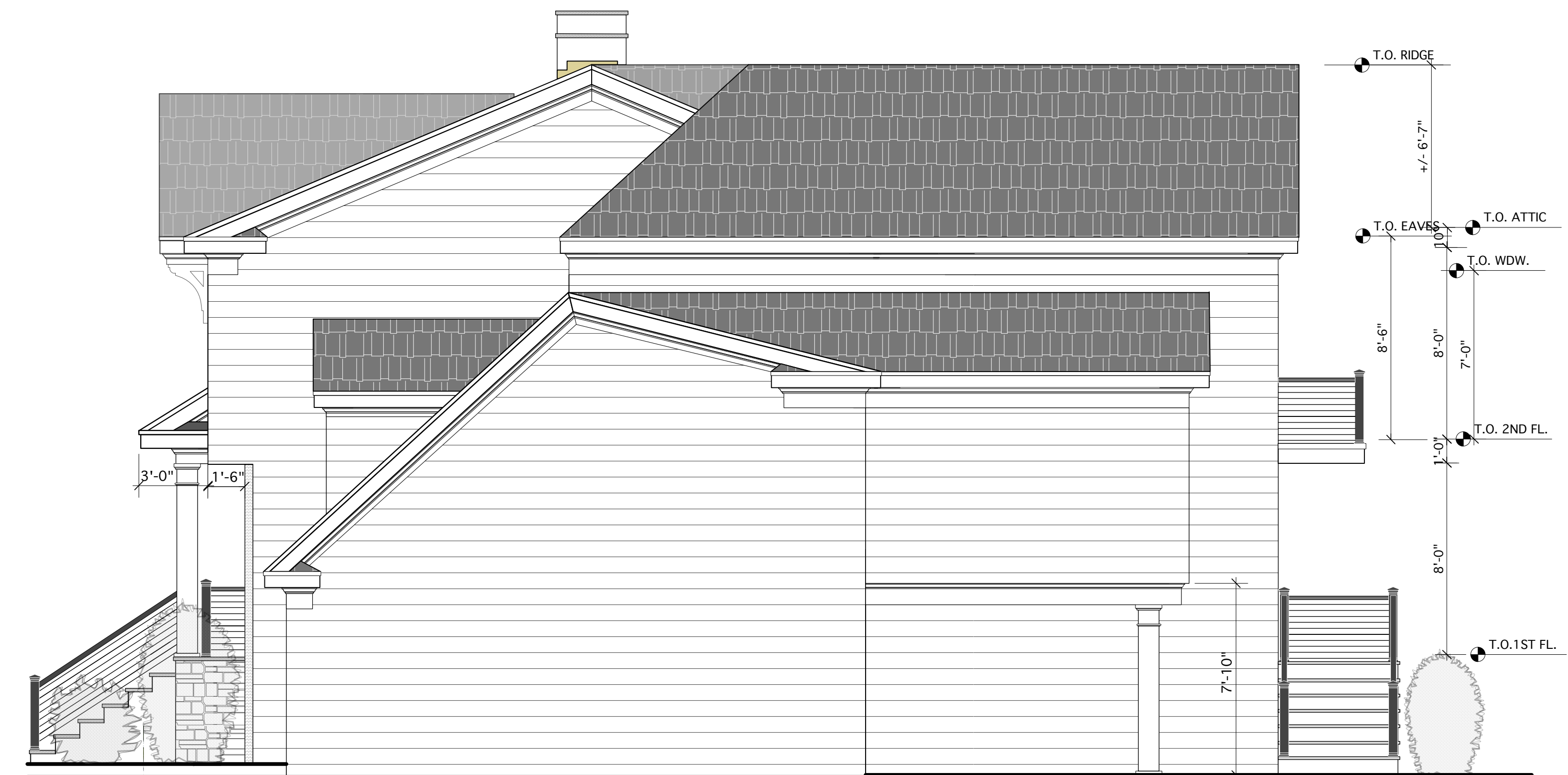
PROJECT ID/DATE : 2237 / 8.15.22
SHEET SCALE: AS NOTED

DRAWN BY: AM CHECKED BY: MM
SUBMISSION DATE: 10/20/22

THIS DOCUMENT CONTAINS INFORMATION THAT IS UNCLASSIFIED AND CONTROLLED UNDER E.O. 13526, UNLESS INDICATED OTHERWISE. DATE OF DECLASSIFICATION IS INDEFINITE.



3 PROPOSED LEFT SIDE ELEVATION
A.4 Scale: 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
A.4 Scale: 1/4" = 1'-0"



EXISTING VIEW LEFT SIDE ELEVATION



EXISTING VIEW RIGHT SIDE ELEVATION


COMMUNITY DESIGNS
 ENGINEERING D.P.C.
 439 WHITE PLAINS RD EASTCHESTER NY 10709 (914) 346-5616
 CDESIGNSENGINEERING@GMAIL.COM

PROPOSED ADDITION & ALTERATION TO THE ALLEN RESIDENCE
 3 HADLEY RD
 ARMONK, NY 10504
 SECTION:108.04 BLOCK:2 LOT(S):30 ZONE:R-2A

PROPERTY OWNER:
 HEATHER & JON ALLEN
 3 HADLEY RD
 ARMONK NY 10504

RPRC- SET ONLY		
NO.	REVISION	DATE



PROJECT ID/DATE: 2237 / 8.15.22
 SHEET SCALE: AS NOTED

ELEVATIONS
A.4
 DRAWN BY: AM CHECKED BY: MM
 SUBMISSION DATE: 10/20/22
 Scale: 1/4" = 1'-0"