



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 8 Byram Hill Road

### Section III- DESCRIPTION OF WORK:

To legalize existing storage shed on left side (north) of property.  
To legalize deck on rear (east) of residence.  
Please note that the gazebo reflected on survey has been removed.

### Section III- CONTACT INFORMATION:

APPLICANT: Joseph R. Crocco Architects- Chris Crocco

ADDRESS: 4 MacDonald Ave. Suite 5 Armonk, NY 10504

PHONE: 914-273-2774 MOBILE: 914-403-0453 EMAIL: Chris@jrcarchitects.com

PROPERTY OWNER: Roseanne Paniccia

ADDRESS: 8 Byram Hill Road Armonk, NY 10504

PHONE: \_\_\_\_\_ MOBILE: 914-879-6987 EMAIL: ro2rose@yahoo.com

PROFESSIONAL.: Same as applicant

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

### Section IV- PROPERTY INFORMATION:

Zone: R-1A Tax ID (lot designation) 101.03-4-14



TOWN OF NORTH CASTLE  
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PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
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**GROSS LAND COVERAGE CALCULATIONS WORKSHEET**

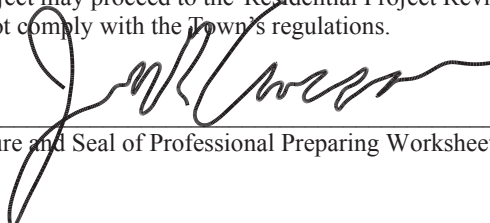
Application Name or Identifying Title: Paniccia Residence Date: 10.25.22

Tax Map Designation or Proposed Lot No.: 101.03-4-14

Gross Lot Coverage

- 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 63,555
- 2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 11,150
- 3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):  
4.8 Distance principal home is beyond minimum front yard setback  
 x 10 = 48
- 4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 11,198
- 5. Amount of lot area covered by **principal building**:  
2,914 existing + \_\_\_\_\_ proposed = 2,914
- 6. Amount of lot area covered by **accessory buildings**:  
 \_\_\_\_\_ existing + 382 proposed = 382
- 7. Amount of lot area covered by **decks**:  
 \_\_\_\_\_ existing + 404 proposed = 404
- 8. Amount of lot area covered by **porches**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = 0
- 9. Amount of lot area covered by **driveway, parking areas and walkways**:  
4,440 existing + \_\_\_\_\_ proposed = 4,440
- 10. Amount of lot area covered by **terraces**:  
 \_\_\_\_\_ existing + 868 proposed = 868
- 11. Amount of lot area covered by **tennis court, pool and mechanical equip**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = 0
- 12. Amount of lot area covered by **all other structures**:  
 \_\_\_\_\_ existing + \_\_\_\_\_ proposed = 0
- 13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 9,008

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4, your proposal does not comply with the Town's regulations.

  
 \_\_\_\_\_  
 Signature and Seal of Professional Preparing Worksheet

10.25.22  
 Date





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 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
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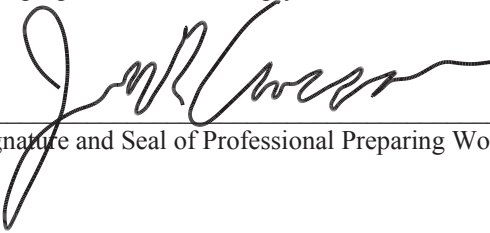
**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: Paniccia Residence Date: 10.25.22  
 Tax Map Designation or Proposed Lot No.: 101.03-4-14

Floor Area

- |     |  |               |
|-----|--|---------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):   | <u>63,555</u> |
| 2.  | <b>Maximum</b> permitted floor area (per Section 355-26.B(4)):   | <u>8,929</u>  |
| 3.  | Amount of floor area contained within first floor:<br><u>2914</u> existing + _____ proposed = _____                              | <u>2914</u>   |
| 4.  | Amount of floor area contained within second floor:<br><u>8□4</u> existing + _____ proposed = _____                              | <u>8□4</u>    |
| 5.  | Amount of floor area contained within garage:<br><u>520</u> existing + _____ proposed = _____                                    | <u>520</u>    |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br>_____ existing + _____ proposed = _____              | <u>0</u>      |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>434</u> existing + _____ proposed = _____ | <u>434</u>    |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br>_____ existing + _____ proposed = _____         | <u>0</u>      |
| 9.  | Amount of floor area contained within all accessory buildings:<br>_____ existing + <u>382</u> proposed = _____                   | <u>382</u>    |
| 10. | Proposed <b>floor area</b> : Total of Lines 3 – 9 = _____  | <u>5125</u>   |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

  
 \_\_\_\_\_  
 Signature and Seal of Professional Preparing Worksheet

10.25.22  
 Date



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
45 PSF	110 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7°F	YES	NO

CODE INFORMATION		
TYPE	APPLICABLE CODES	
ARCHITECTURAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
MECHANICAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
PLUMBING	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
FIRE PROTECTION	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
ELECTRICAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
ENERGY	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
EXISTING	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE	
CATEGORY	REQUIREMENT	REFERENCE
CLASSIFICATION OF WORK	ALTERATION - LEVEL 2	SECTION 405
OCCUPANCY CLASSIFICATION	GROUP R-3-SINGLE FAMILY	SECTION 310
CONSTRUCTION CLASSIFICATION	TYPE 5B - WOOD FRAME	SECTION 601

**GENERAL NOTES**

All work shall comply with the strictest requirements of the 2015 IBC and all applicable codes whether specifically stated or not.

All work shall conform with the strictest interpretation of State and Local codes, laws, rules and regulations of all authorities having jurisdiction over the project, whether specifically shown or not.

Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished.

The Contractor shall visit the site prior to submitting a bid. The Contractor will be responsible for the verification of all dimensions and conditions. All discrepancies shall be brought to the attention of the Architect before proceeding.

All drawings and notes are complementary and what is called for by either will be binding as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings.

The drawings are not to be scaled at any time. Only written dimensions and notes are to be used. All dimensions are given to finishes. All dimensional discrepancies shall be immediately brought to the attention of the Architect. All dimensions shall be verified before starting work by the respective Contractor, who shall be held responsible for his phase of the work.

All "Plus-Minus" dimensions are provided in situations where existing conditions exist. Such dimensions shall be verified in the field by the Contractor.

All work listed on the construction notes sheets and shown or implied on all drawings shall be supplied and installed by the contractor, unless otherwise noted.

The Contractor shall notify the Architect in writing immediately if he cannot comply with all notes contained within the Contract Documents.

The Contractor shall notify the Architect in writing immediately of any discrepancies between the drawings, the notes and field conditions before commencing any work to request clarification.

The Contractor shall be responsible for all damage to existing property as a result of his work, his workmanship and subcontractors. The Contractor shall provide adequate protection for his work, and shall be responsible for the same. The Contractor shall restore to original condition and existing element damaged as a result of his work.

Where a product is specified by a particular manufacturer, the Contractor shall furnish and install the product in accordance with the strictest specifications set forth by the manufacturer's best standards.

The General Conditions of the contract for construction of Buildings, the Standard form of the American Institute of Architects (AIA), latest edition of Form A-201, inclusive as it pertains to this project, are part of these Contract Documents.

Work included in this contract shall be all labor, material and equipment required to complete the proposed construction as shown or implied in the Contract Documents. Work included in this contract shall be according to the true intent of these drawings and shall be first class in all respects.

The Contractor is responsible for dimensions to be confirmed and correlated at the job site and for information that pertains to the fabrication process, and/or to techniques for construction and coordination of the work of all trades.

The Architect shall be the sole judge as to the adequacy of any work performed. The Architect shall have the right to order the removal of defective work and material, and its replacement without any additional cost to the Owner.

All work to comply with governing State and Local Building Codes.

All plumbing to comply with governing State and Local Plumbing Codes.

All Electrical work to comply with governing National and Local Electrical Codes.

The Contractor shall assume full responsibility for the confirmation of actual field dimensions as they pertain to the fabrication and installation of any materials and/or equipment requiring such.

The General Contractor shall exercise strict control over job cleaning to prevent any debris, dust or dirt from leaving the job site and adjacent finished areas.

The Contractor shall properly protect all adjoining property or work or work and any damage to the same caused by his work or workmen must be made good without delay. Patching and and replacing or damaged work shall be done by the Contractor who is responsible for the damage.

The Contractor shall provide all necessary protection for his work until it is turned over to the Owner.

The Construction Drawings and/or notes are supplied to illustrate the design and general type of construction desired and are intended to imply the finest quality construction materials and craftsmanship throughout.

The Contractor, upon acceptance of these drawings, assumes full responsibility for the construction, materials and workmanship of the work described in these notes and drawings, and he will be expected to comply with the spirit, as well as with the letter in which they were written and drawn.

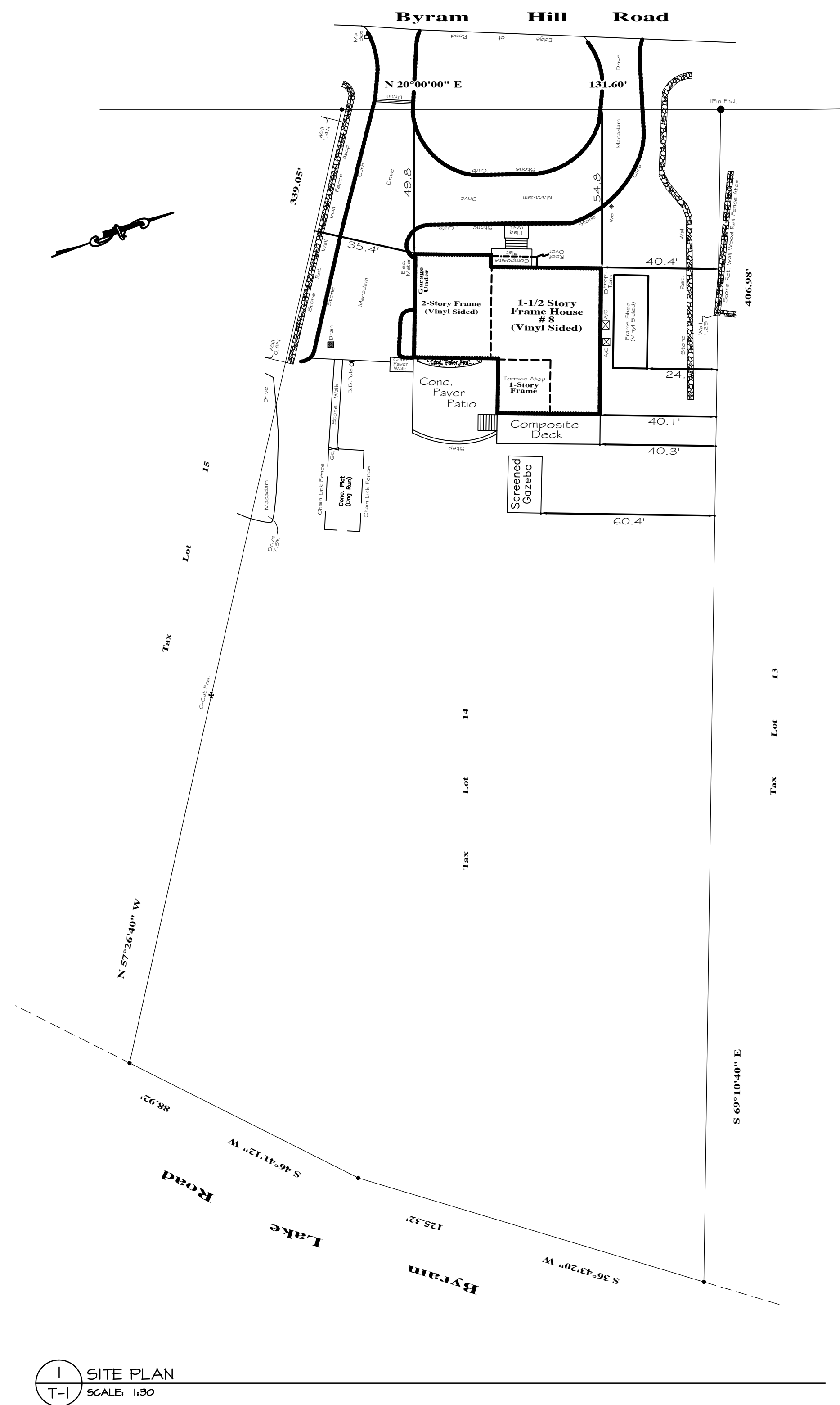
Controlled tests required by those having jurisdiction over the project shall be executed and paid for by the Contractor.

ZONING CHART			
SECTION 136.46 BLOCK 1, LOT 2			
ZONE: R-1A			
	REQUIRED	EXISTING	PROPOSED
LOT SQ. FT.	43560 SF.	63544 SF.	NO CHANGE
SETBACKS:			
ONE SIDE YARD:	5 FT		24.3 FT
TWO SIDE YARD:	5 FT		86.5 FT
REAR YARD:	5 FT		224.6 FT
BUILDING HEIGHT:	15 FT		4'-11-3/4"
BUILDING COVERAGE:	12%		1.2%

DESIGN FLOOR LOADS	
DECK	40 LBS LIVE LOAD

# PROPOSED DECK & SHED LEGALIZATION

AT:  
8 BYRAM HILL RD  
ARMONK, NY



1 SITE PLAN  
T-1 SCALE: 1/8"=1'-0"

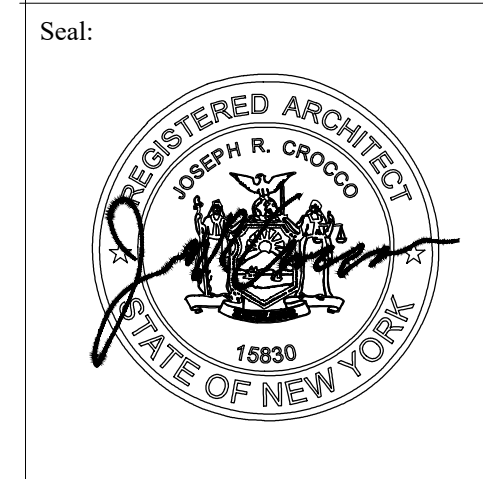
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UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

REVISION	DATE



**Joseph R. Crocco architects**  
new york connecticut new jersey massachusetts  
4 macedonald avenue, suite 5  
armonk, new york 10904  
(914) 273-2774 fax (914) 273-2776

## PROPOSED LEGALIZATION FOR:

8 BYRAM HILL RD  
ARMONK, NY

Dwg. Name:  
**TITLE SHEET**

Project No:  
21020

Date:  
AUGUST 8, 2022

Sheet Number:  
**T-1**

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FOR AMENDMENT 08.15.22  
REVISION DATE



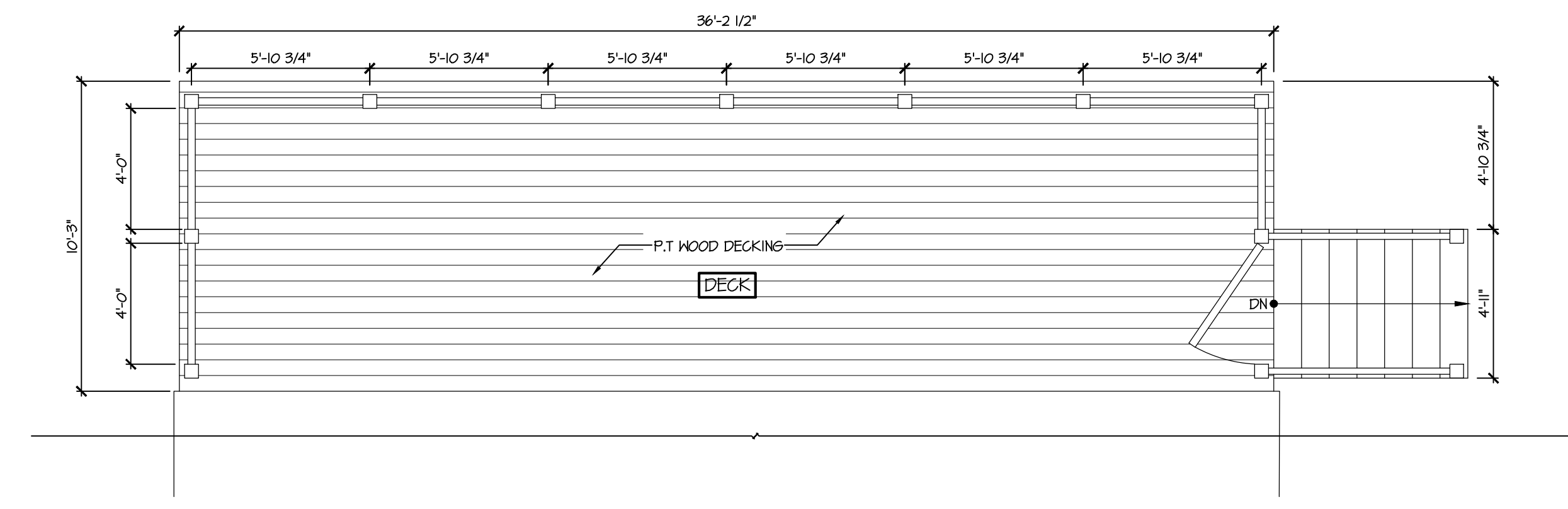
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ARMONK, NY

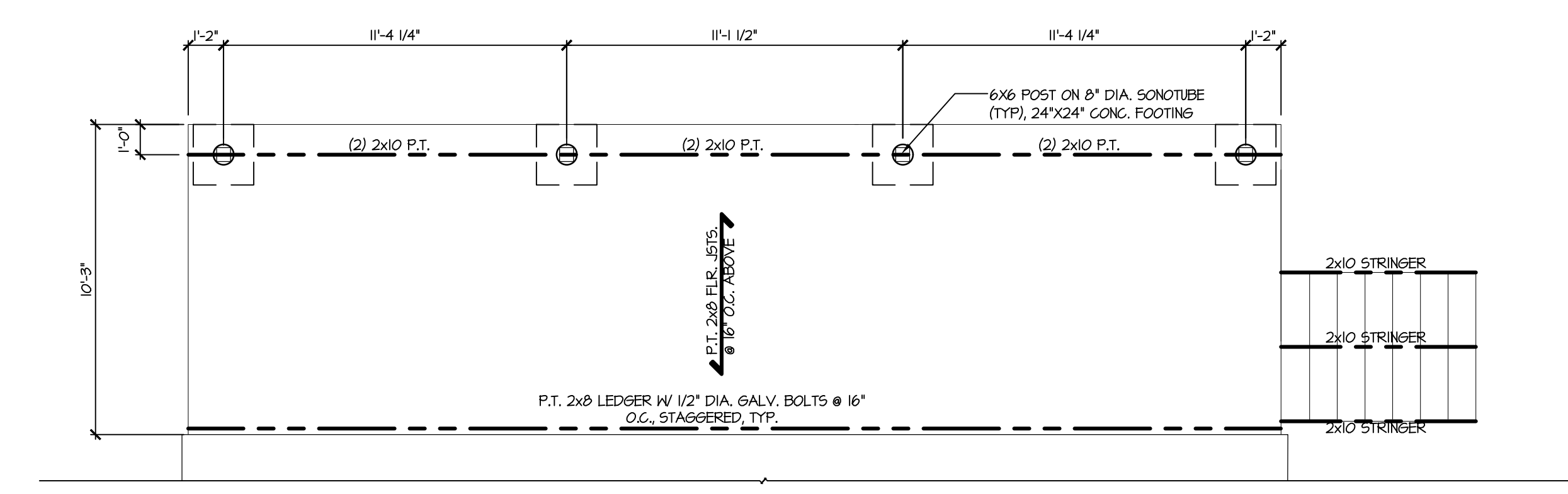
Dwg. Name:  
**DECK PLANS & ELEVATION**

Project No:  
21020  
Date:  
AUGUST 8, 2022

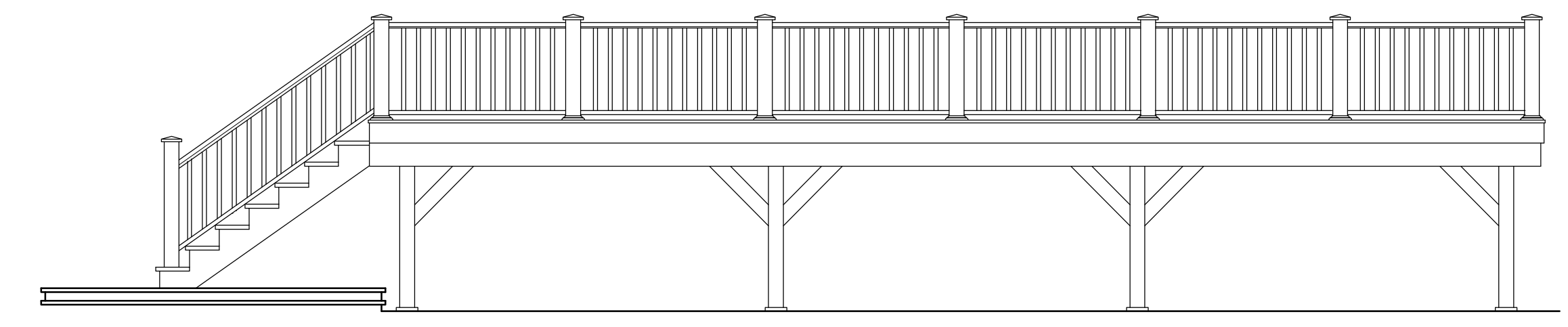
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**A-1**



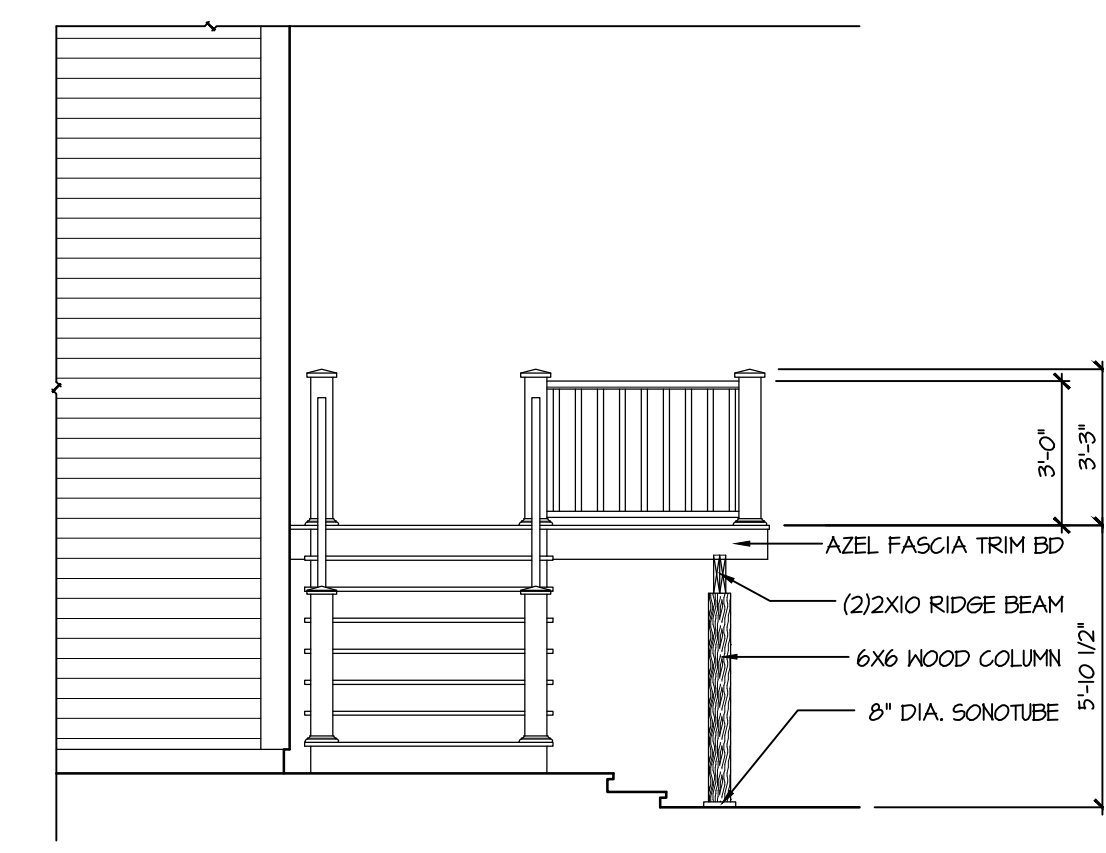
**1 FLOOR PLAN**  
SCALE: 1/4"=1'-0"



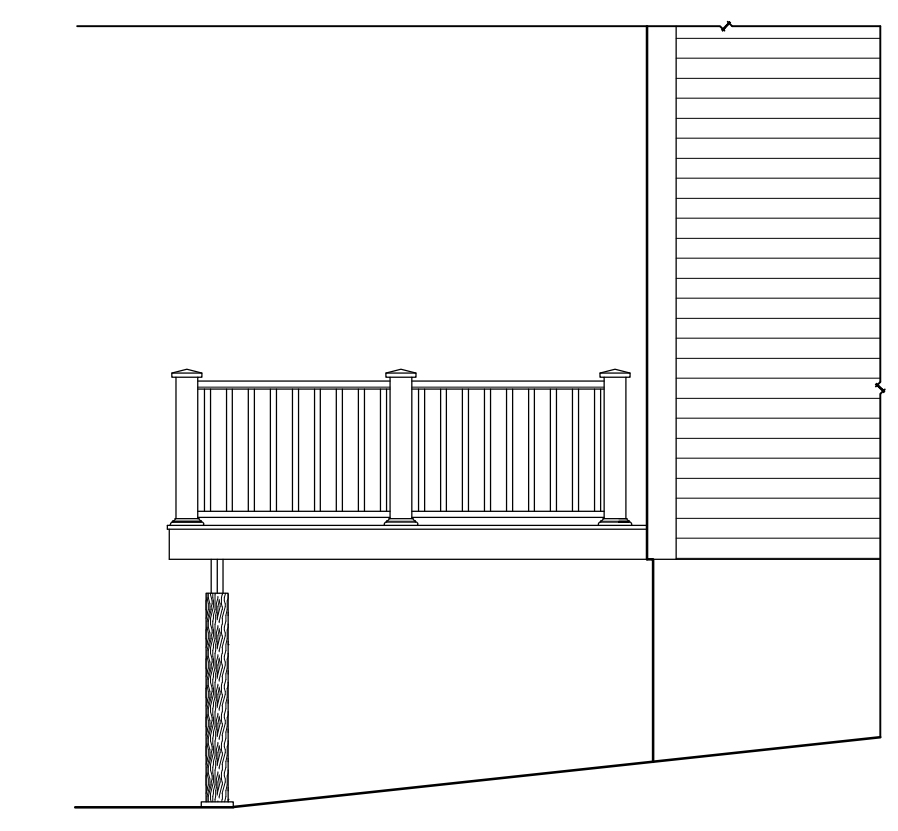
**2 FOUNDATION/FRAMING PLAN (PARTIAL)**  
SCALE: 1/4"=1'-0"



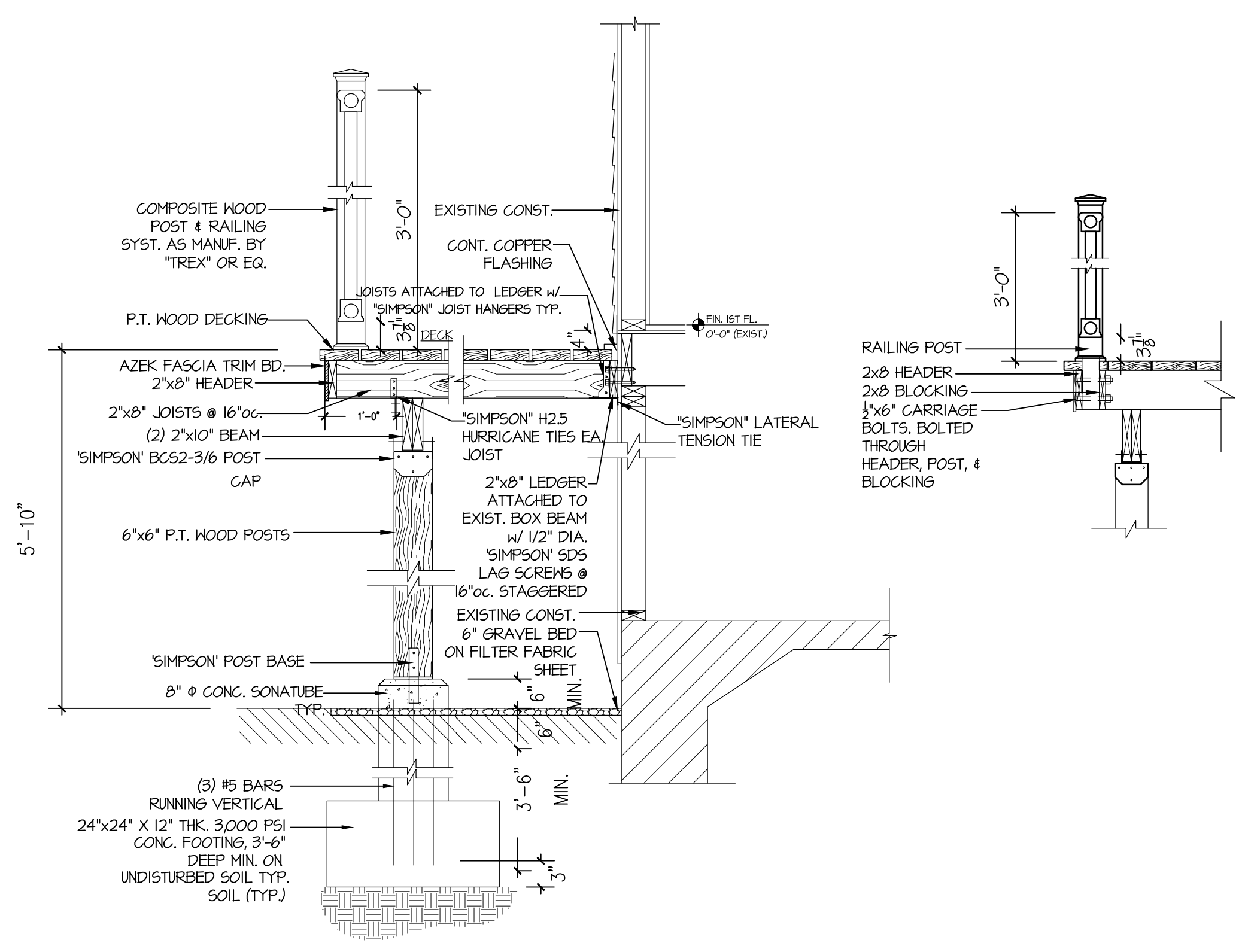
**3 REAR DECK ELEVATION**  
SCALE: 1/4"=1'-0"



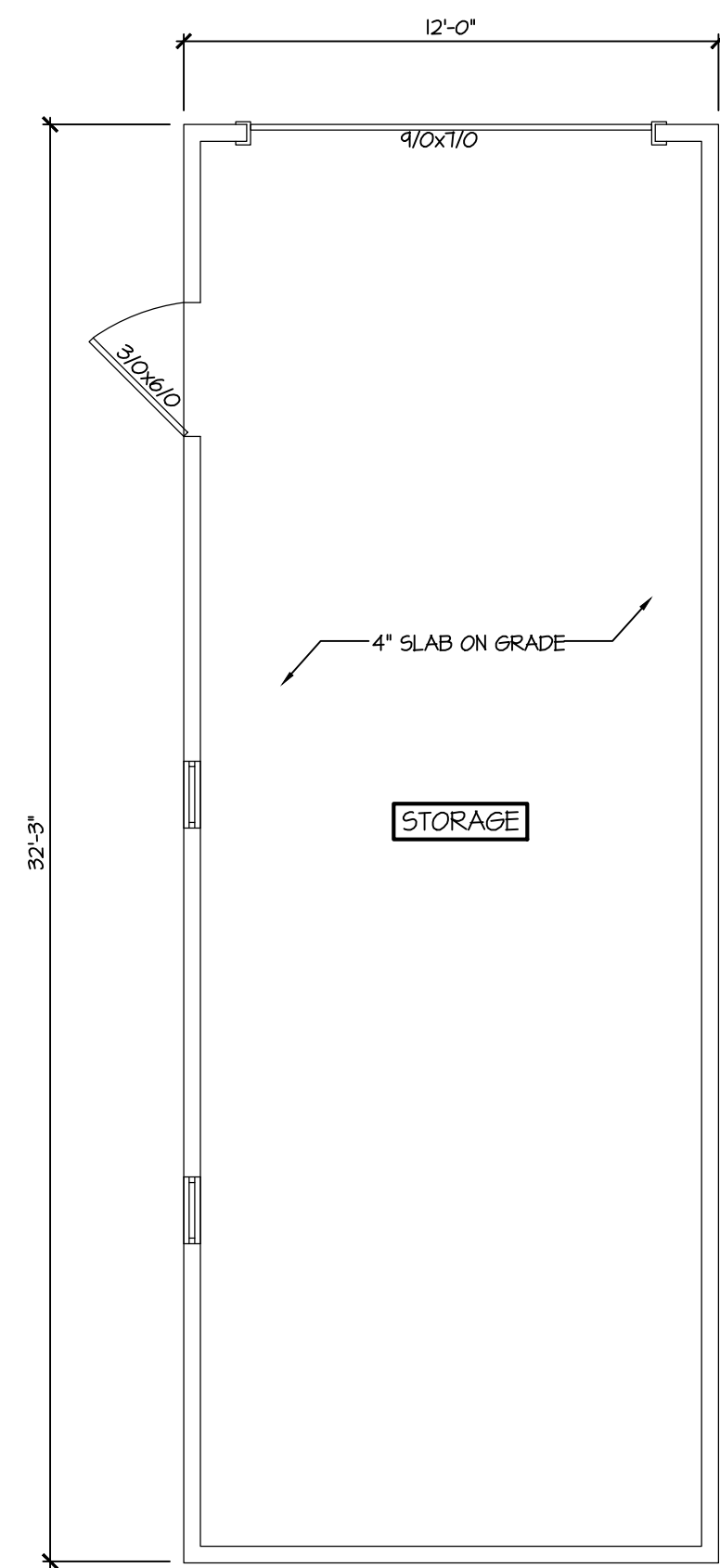
**4 LEFT SIDE DECK ELEVATION**  
SCALE: 1/4"=1'-0"



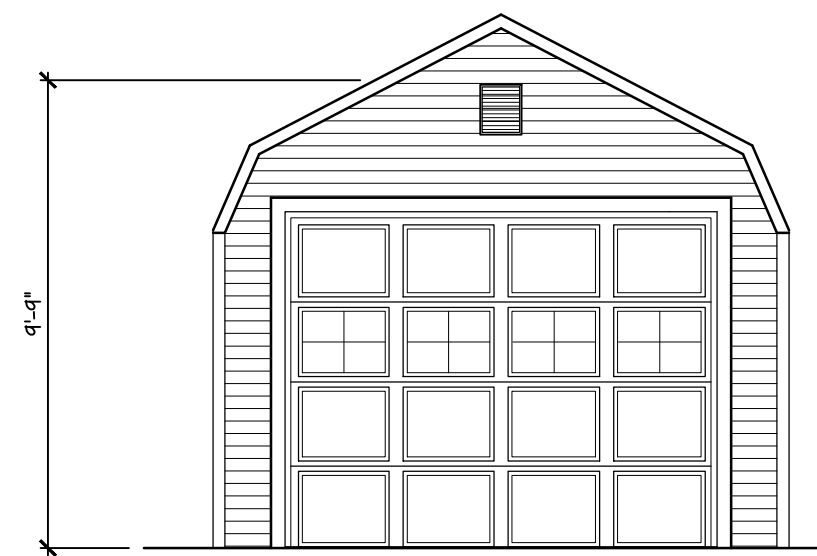
**5 RIGHT SIDE DECK ELEVATION**  
SCALE: 1/4"=1'-0"



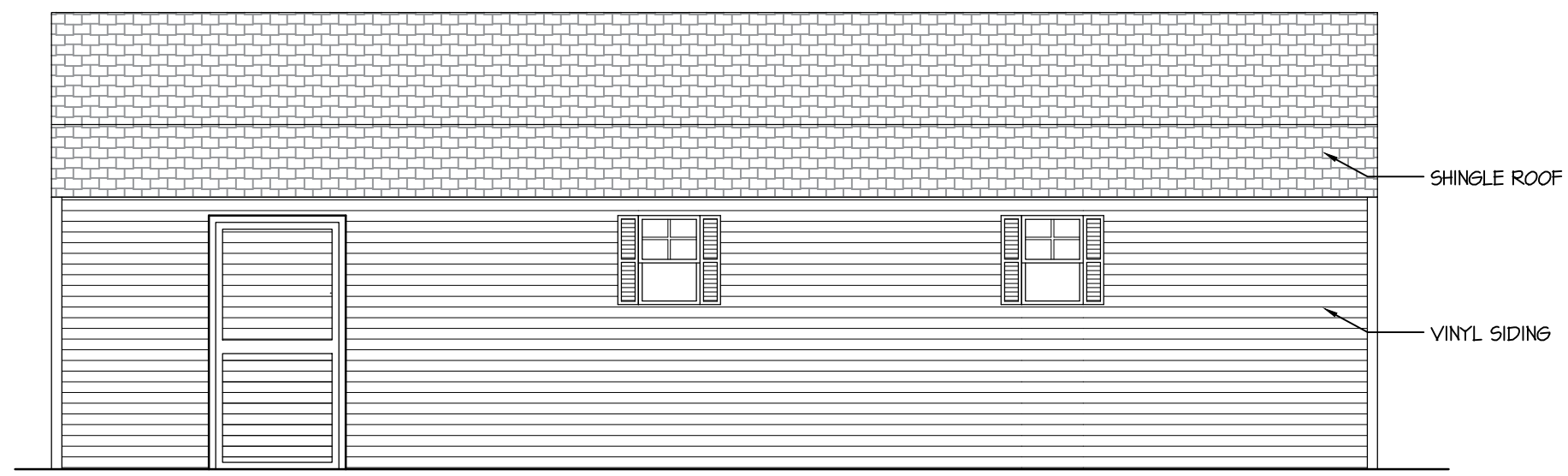
**6 DECK DETAILS**  
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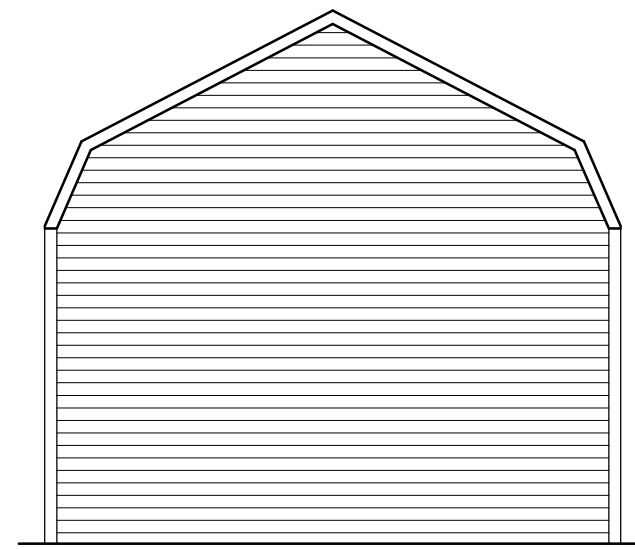
1 SHED FLOOR PLAN  
SCALE: 1/4"=1'-0"



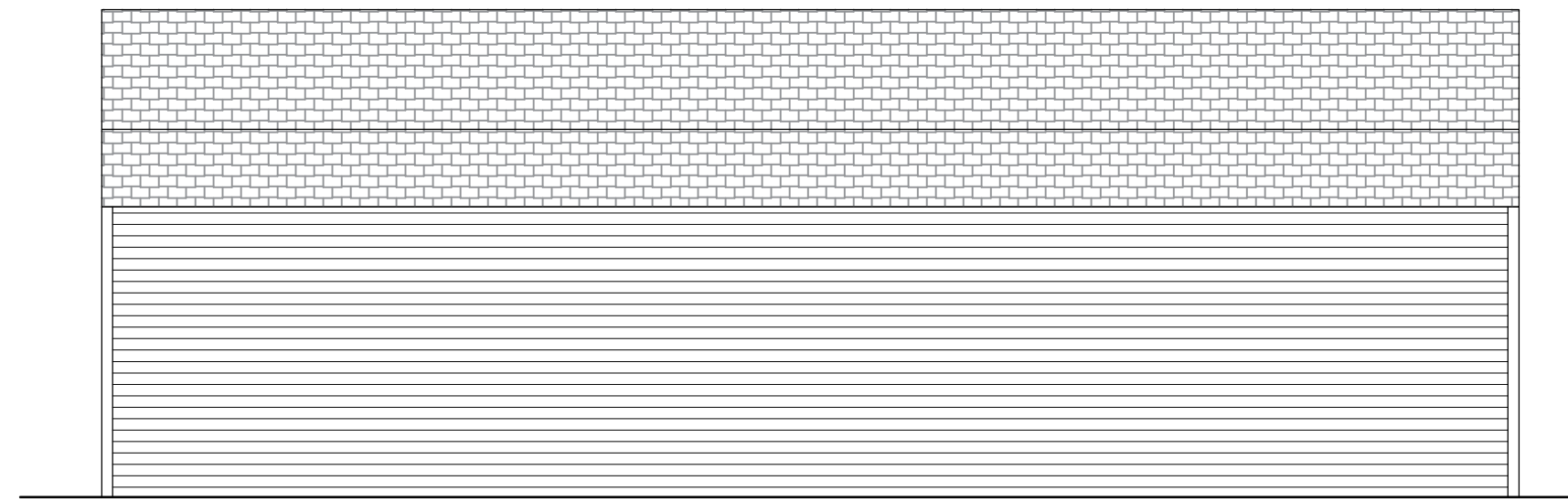
2 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



3 RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



4 REAR ELEVATION  
SCALE: 1/4"=1'-0"



5 LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

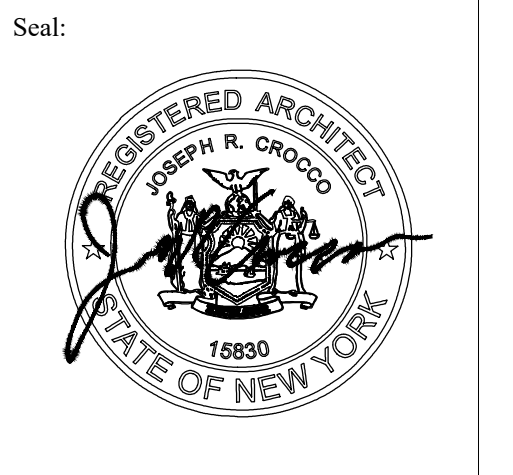
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Dwg. Name:  
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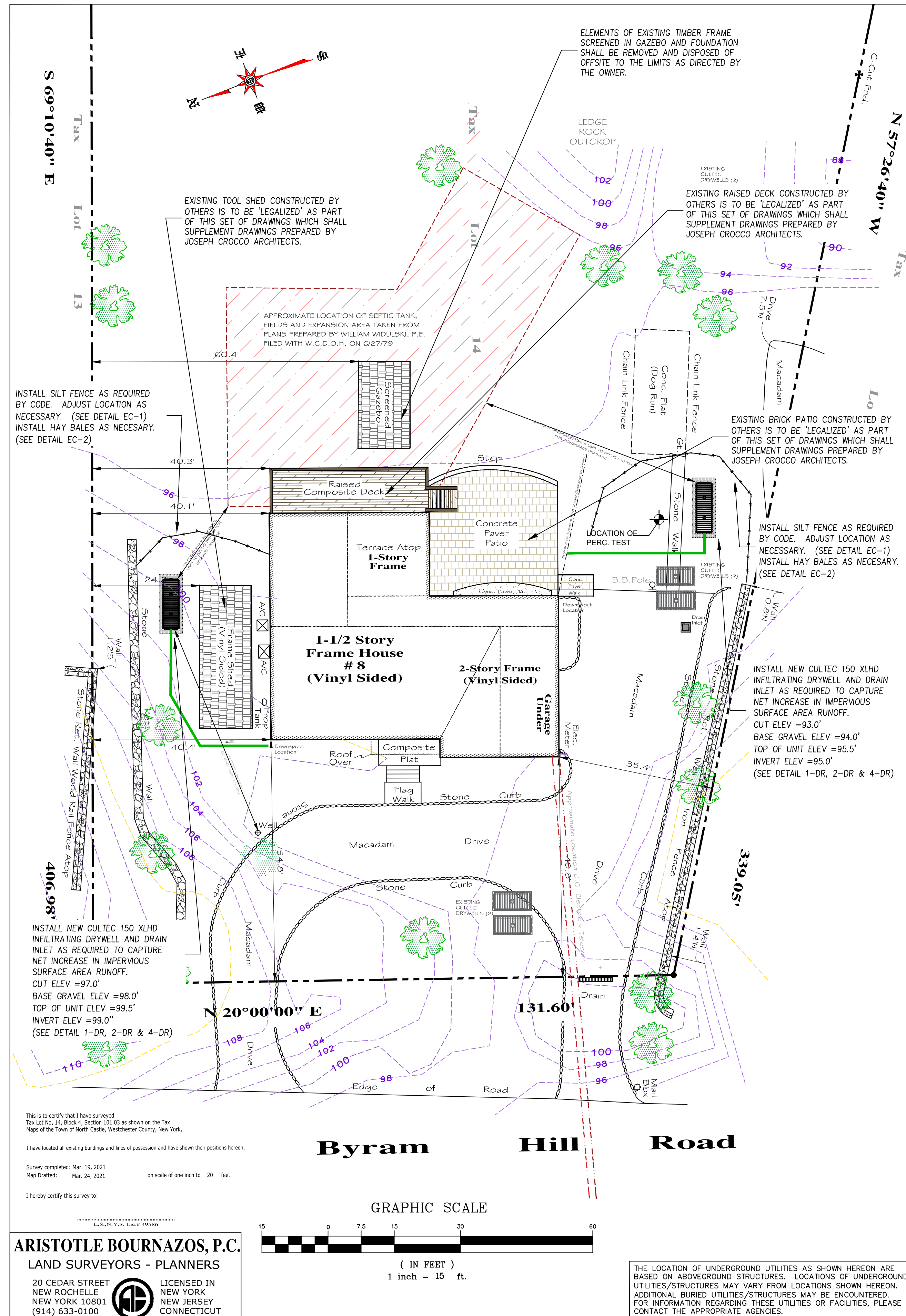
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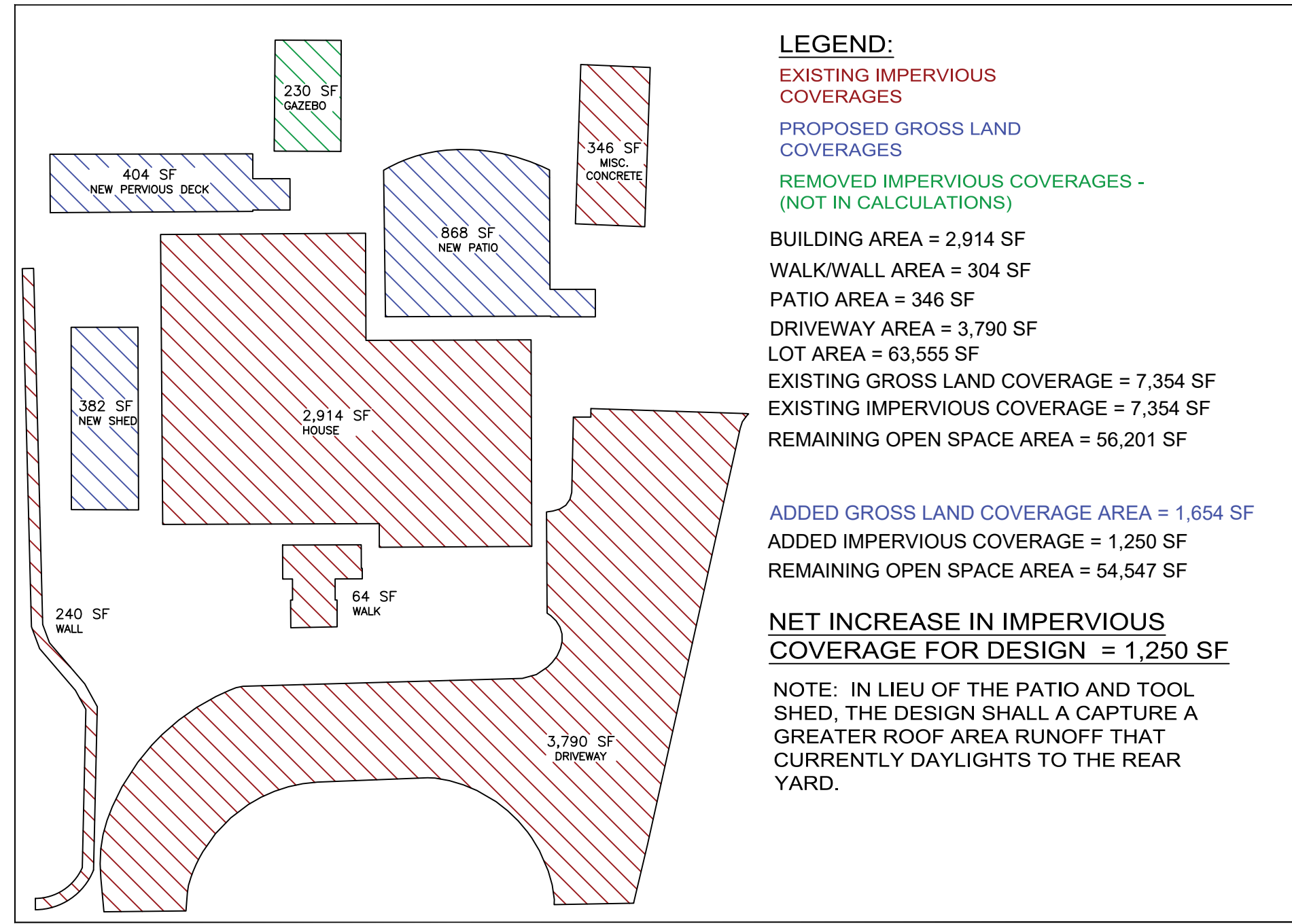
Sheet Number:

**A-2**

EXISTING CONDITIONS - IMPROVEMENTS SITE PLAN PLAN



LAND COVERAGE ANALYSIS



LOCATION MAP

PROJECT ZONING COMPLIANCE TABLE:

PROPERTY OWNER / SITE ADDRESS: NICK & ROSEANNE PANICCIA 8 BYRAM HILL ROAD ARMONK, NY 10504 SECTION 101.03 BLOCK 04 LOT 14	LOT AREA (REQ'D) 43,560 SF PRINC. BLDG COV'G (REQ'D) 7,626 SF (12.0%) ACC. BLDG COV'G (REQ'D) 800 SF (MAX ALLOWED)	LOT AREA (EXIST) 63,555 SF PRINC. BLDG COV'G (EXIST) 2,914 SF (4.5%) ACC. BLDG COV'G (EXIST) 382 SF (48% OF ALLOWED)	LOT AREA (PROPOSED) N/C BLDG COVERAGE (PROPOSED) N/C MAX GROSS LAND COVERAGE: 9,350 SF + 9% (19,995 SF) = 11,150 SF EXIST. GROSS LAND COVERAGE: 7,354 SF PROP. GROSS LAND COVERAGE 9,008 SF PROP. IMPERVIOUS COVERAGE 8,604 SF NET INCREASE IMPERVIOUS COVERAGE: 1,250 SF
PRINCIPAL USE: SINGLE FAMILY	LOT WIDTH (REQ'D) 125 FEET	LOT WIDTH (EXISTING) 131 FEET	
ZONING DISTRICT: R - 1A RESIDENTIAL	FRONT SETBACK (REQ'D) 50 FEET	FRONT SETBACK (EXIST) 54.8 FEET	
SANITARY SEWER DISTRICT: N/A	ONE SIDE SETBACK (REQ'D) 25 FEET	ONE SIDE SETBACK (EXIST) 35.4 FEET	
WATERSHED: INLAND LONG ISLAND SOUND	TOTAL TWO SIDES (REQ'D) N/A	TOTAL TWO SIDES (EXIST) 75.5 FEET	
USDA SOIL TYPE: C/C - Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky (59.1%) CsD - Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky (40.9%) Hydrologic Soils: Group B Slope: 3 to 15 percent Depth to restrictive feature: > 80 inches Drainage class: Well drained Depth to water table: > 80 inches	REAR YARD SETBACK (REQ'D) 40 FEET	REAR YARD SETBACK (EXIST) 258 FEET	

SITE SLOPE CATEGORY ANALYSIS:

0% TO 15%:	50 Percent of Lot = 31,778 SF
15% TO 25%:	30 Percent of Lot = 19,067 SF
25% TO 35%:	15 Percent of Lot = 9,533 SF
> 35%:	5 Percent of Lot = 3,177 SF

AREA OF DISTURBANCE SLOPE VARIES = 2 -11%

PROJECT NOTES / GENERAL CONDITIONS:

- The Applicant shall secure all of the necessary permits from the Town of North Castle to ensure compliance with Local, County and State Building, Highway and Sanitary Codes. The Applicant is responsible to contact the Town Building Department to schedule all required inspections for the improvements performed on the premises including but not limited to general construction, plumbing, electrical and gas piping.
- As this project involves the legalization of work previously performed by others, the Applicant may be required to provide local officials with visual access to all unexpended built out features including elements of work that may be presently buried and inaccessible.
- The Applicant shall consult with the contractor of record as well as licensed electrician(s) and licensed plumber(s) to certify that all performed construction meets or exceeds current code and design standards. Local jurisdiction currently utilizes the 2020 New York State Residential Code and 2020 New York State Plumbing Code as well as the 2020 New York State Uniform Fire Prevention and Building Code, Chapter 35 "Referenced Standards" (i.e. reference to NFPA70-17 and 2017 National Electrical Code.)
- All improvements shown herein on this set of plans are based on visual inspections of as-built conditions performed by the by the Engineer whose name bears seal on this drawing. All inspections were performed in September of 2022. The Engineer makes no express guarantees or warranties for any standards or material performance.
- Base mapping for this drawing was prepared using a land survey drafted by Aristotle Bournazos Surveying dated revised March 24, 2021. All elevations referenced on said drawings were prepared using a combination of field measurements against known elevations. Topographic contours are provided using Westchester County GIS data.
- All of the developed features involving the improved patio, raised composite deck and tool shed have been inspected against local zoning. With exception to the tool shed side yard setback, by observation it is confirmed that said features are in compliance for zoning setback and impervious coverage. The parcel contains no environmental critical areas for Steep Slopes or Wetlands.
- If required for final inspection, certification and issuance of approval (C of O) the Applicant may be required to secure the services of a NYS licensed land surveyor to document and record all performed improvements as required by the Town.
- No trees were removed as part of this project.

PHOTOS - EXISTING CONDITIONS OF IMPROVEMENT AREA



DAVID A. GOESSL,  
PE CIVIL ENGINEER  
622 SPROUT BROOK ROAD  
PUTNAM VALLEY, NY 10579 (914) 227-0258  
LEGALIZATION PLAN FOR RAISED DECK, TOOL  
SHED AND PATIO IMPROVEMENTS  
8 BYRAM HILL RD., NORTH CASTLE, NY 10504

PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: N. & R. PANICCIA

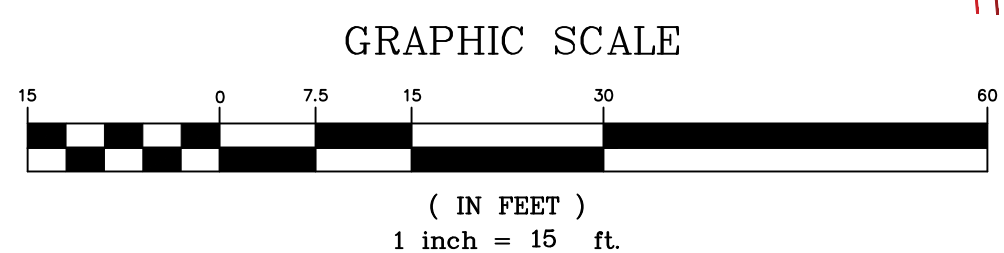
DATE: SEPTEMBER 25, 2022 SCALE: 1" = 15 FEET SHEET: 1 OF 2

NO.	REVISION	DATE

ANY UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A SEAL OF A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 2209 OF THE NYS EDUCATION LAW.

ADDITIONAL PLANIMETRIC SURVEY DATA SHOWN HEREIN ON THIS PLAN OF THE PROPERTY OF 8 BYRAM HILL ROAD, NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, 10504 WAS PREPARED FROM SITE PLAN PREPARED BY ORPHEUS ASSOCIATES, DATED 5/11/05, LAND SURVEY PREPARED BY ARISTOTLE BOURNAZOS, DATED 3/24/21, WESTCHESTER COUNTY GIS DATA, AND RECORDED DEED FOR SAID PROPERTY.

ARISTOTLE BOURNAZOS, P.C.  
LAND SURVEYORS - PLANNERS  
20 CEDAR STREET  
NEW ROCHELLE  
NEW YORK 10801  
(914) 633-0100  
LICENSED IN NEW JERSEY  
NEW YORK  
CONNECTICUT



THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE CONTACT THE APPROPRIATE AGENCIES.

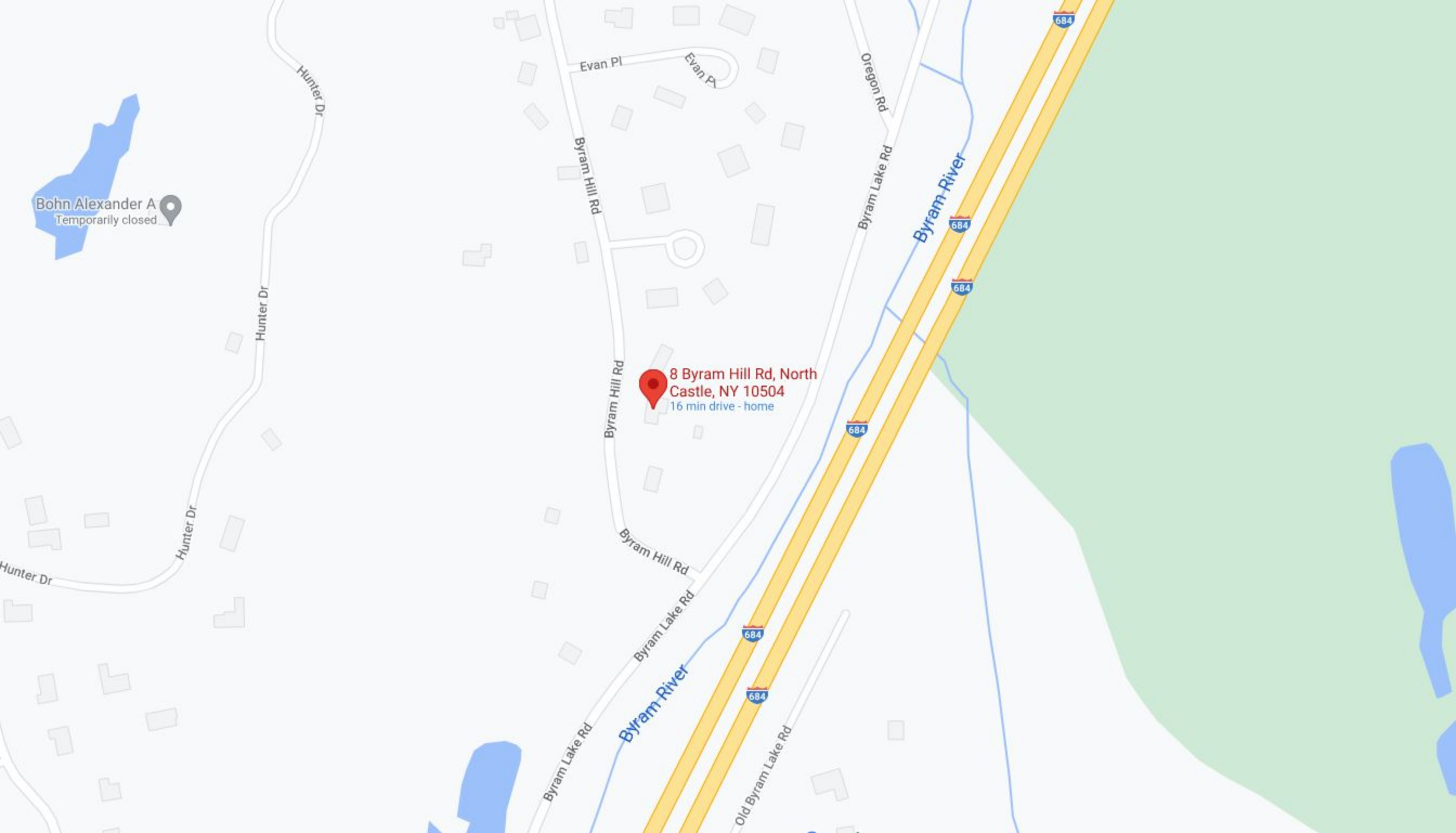
This is to certify that I have surveyed Tax Lot No. 14, Block 4, Section 101.03 as shown on the Tax Maps of the Town of North Castle, Westchester County, New York.  
I have located all existing buildings and lines of possession and have shown their positions hereon.  
Survey completed: Mar. 15, 2021  
Map Drafted: Mar. 24, 2021  
on scale of one inch to 20 feet.  
I hereby certify this survey to:

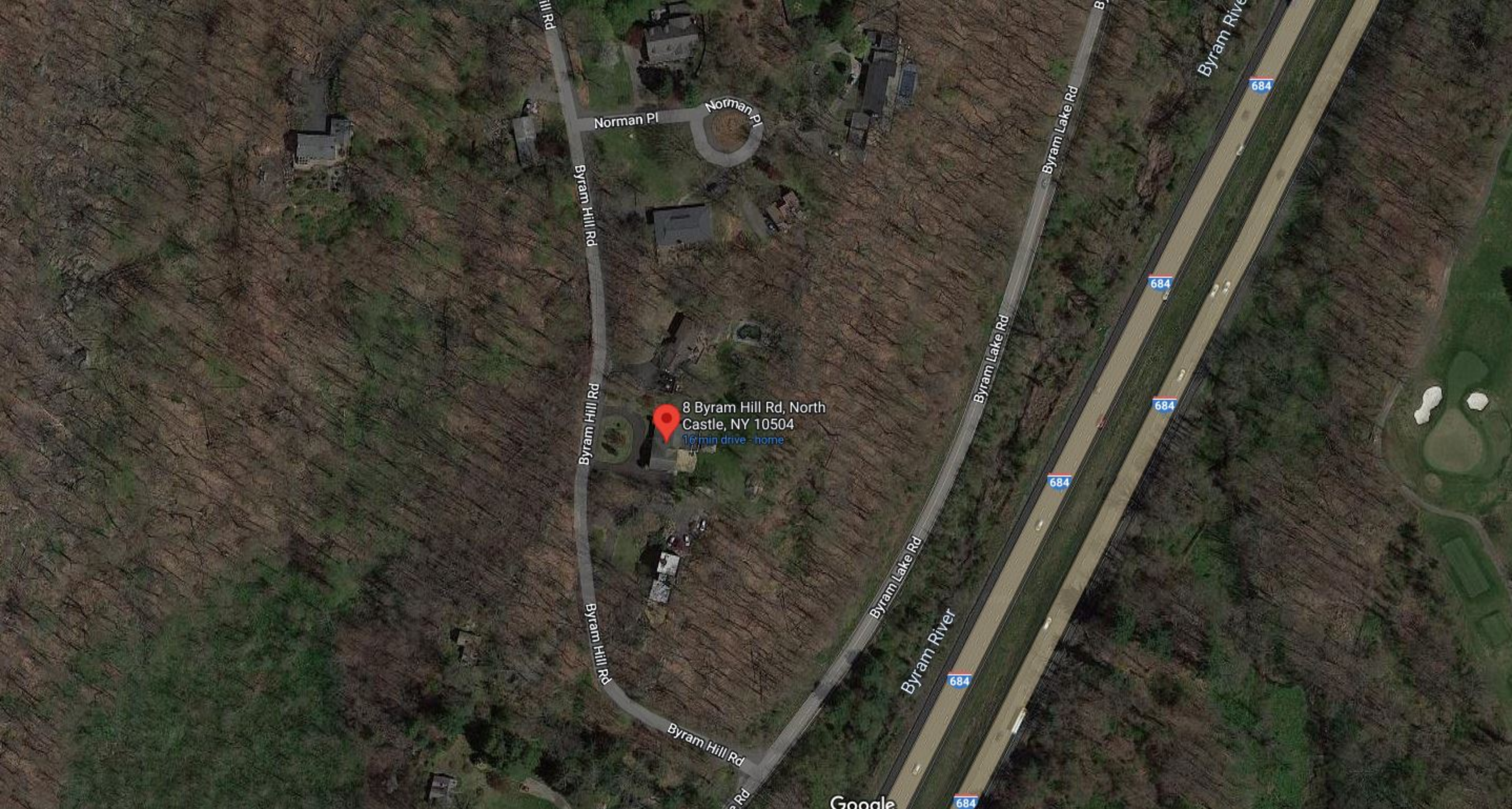




Bohn Alexander A  
Temporarily closed

8 Byram Hill Rd, North  
Castle, NY 10504  
16 min drive - home





Hill Rd

Norman Pl

Norman Pl

Byram Hill Rd

Byram Hill Rd

Byram Hill Rd

Byram Hill Rd

Byram Hill Rd

8 Byram Hill Rd, North Castle, NY 10504  
16 min drive - home

Byram Lake Rd

Byram Lake Rd

Byram Lake Rd

684

684

Byram River

684

684

684

Byram River

684

Google





















