

Section I- PROJECT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

RESIDENTIAL PROJECT REVIEW COMMITTEE Adam R. Kaufman AICP, Chair Telephone: (914) 273-3000 x 43 Fax: (914) 273-3554 www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

ADDRESS: 8 Byram Hill Road
Section III- DESCRIPTION OF WORK:
To legalize existing storage shed on left side (north) of property. To legalize deck on rear (east) of residence. Please note that the gazebo reflected on survey has been removed.
Section III- CONTACT INFORMATION:
APPLICANT: Joseph R. Crocco Architects- Chris Crocco
ADDRESS: 4 MacDonald Ave. Suite 5 Armonk, NY 10504
PHONE: 914-273-2774 MOBILE: 914-403-0453 EMAIL: Chris@jrcarchitects.com
PROPERTY OWNER: Roseanne Paniccia
ADDRESS: 8 Byram Hill Road Armonk, NY 10504
PHONE:MOBILE: 914-879-6987 EMAIL: ro2rose@yahoo.com
PROFESSIONAL:: Same as applicant
ADDRESS:
PHONE: MOBILE:
EMAIL:
Section IV- PROPERTY INFORMATION:
Zone: R-1A Tax ID (lot designation) 101.03-4-14



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 <u>www.northcastleny.com</u>

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Applicat	ion Name or Identifying Title:	Paniccia Residence	Date: <u>10.25.2</u> 2
Tax Maj	Designation or Proposed Lot No.: _	101.03-4-14	
Gross Lo	ot Coverage		
1.	Total lot Area (Net Lot Area for Lot	s Created After 12/13/06):	_63,555
2.	Maximum permitted gross land cov	rerage (per Section 355-26.C(1)(b)):	11,150
3.	BONUS maximum gross land cover	(per Section 355-26.C(1)(b)):	
4.8	Distance principal home is beyond r x 10 =	ninimum front yard setback	_48
4.	TOTAL Maximum Permitted gro	ss land coverage = Sum of lines 2 and 3	11,198
5.	Amount of lot area covered by prine 2,914 existing +		
6.	Amount of lot area covered by access existing + 382	ssory buildings: proposed =	382
7.	Amount of lot area covered by deck existing + 404		404
8.	Amount of lot area covered by porc existing +		0
9.	Amount of lot area covered by drive 4,440 existing +	eway, parking areas and walkways: proposed =	4,440
10.	Amount of lot area covered by terra existing + <u>868</u>	proposed =	868
11.	Amount of lot area covered by tenn	is court, pool and mechanical equip: proposed =	0
12.	Amount of lot area covered by all of existing +		0
13. Prop	osed gross land coverage: Tot	ral of Lines $5 - 12 =$	9,008
the projection does not		10.25	3 is greater than Line Rep Days al
	//		15030



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

January 29, 2019 Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Applica	tion Name or Identifying Title:	Paniccia Residence	Date: 10.25.22
Tax Ma	p Designation or Proposed Lot No.:	101.03-4-14	-
Floor A			
1.	Total Lot Area (Net Lot Area for Lo	ots Created After 12/13/06):	63,555
2.	Maximum permitted floor area (per	Section 355-26.B(4)):	8,929
3.	Amount of floor area contained with 2914 existing +		2914
4. -	Amount of floor area contained with $8 \square_{-}^{4}$ existing +		80:
5. -	Amount of floor area contained with 520 existing +	nin garage: proposed =	520
6. -	Amount of floor area contained with existing +	nin porches capable of being enclosed: proposed =	0
7. -	Amount of floor area contained with 434 existing +	nin basement (if applicable – see definition proposed =	n): 434
8.	Amount of floor area contained with existing +	nin attic (if applicable – see definition): proposed =	0
9. -	Amount of floor area contained with existing + 382	nin all accessory buildings: proposed =	382
10. Pro	posed floor area: Total of Lines	3 – 9 = _	5125
and the pyour pro			

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND WIND SEISMIC SNOW SPEED DESIGN			SUBJECT TO DAMAGE FROM			WINTER DESIGN	ICE SHIELD UNDERLAYMENT	FL <i>OOD</i> HAZARDS	
LOAD	SI LLD	CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	TEMP	REQUIRED	11/12/11/05
45 PSF	IIO MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7 ° F	YES	NO

CODE INFORMATION			
TYPE	APPLICABLE CODES		
ARCHITECTURAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE		
MECHANICAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE		
PLUMBING	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE		
FIRE PROTECTION	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE		
ELECTRICAL	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE		
ENERGY	2020 NEW YORK STATE RESIDENTIAL BUILDING CODE		
EXISTING	2020 NEW YORK STATE RES	DENTIAL BUILDING CODE	
<u>CATEGORY</u>	<u>REQUIREMENT</u>	REFERENCE	
CLASSIFICATION OF WORK	ALTERATION - LEVEL 2	SECTION 405	
OCCUPANCY CLASSIFICATION	GROUP R-3-SINGLE FAMILY	SECTION 310	
CONSTRUCTION CLASSIFICATION	TYPE 5B - WOOD FRAME	SECTION 601	

GENERAL NOTES

All work shall comply with the strictest requirements of the 2015 IBC and all applicable codes whether All work shall conform with the strictest interpretation of State and Local codes, laws, rules and regulations of all authorities having jurisdiction over the project, whether specifically shown, or not.

Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished.

The Contractor shall vist the site prior to submitting a bid. The Contractor will be responsible for the verification of all dimensions and conditions. All discrepancies shall be brought to the attention of the

All drawings and notes are complimentary, and what is called for by either will be binding as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings. The drawings are not to be scaled at any time. Only written dimensions and notes are to be used. All

dimensions are given to finishes. All dimensional discrepancies shall be immediately brought to the attention of the Architect. All dimensions shall be verified before starting work by the respective Contractor, who shall be held responsible for his phase of the work.

All "Plus-Minus" dimensions are provided in situations where existing conditions exist. Such dimensions shall be verified in the field by the Contractor.

All work listed on the construction notes sheets and shown or implied on all drawings shall be supplied and installed by the Contractor, unless otherwise noted. The Contractor shall notify the Architect in writing immediately if he cannot comply with all notes

contained within the Contract Documents. The Contractor shall notify the Architect in writing immediately of any discrepancies between the drawings, the notes and field conditions before commencing any work to request clarification.

The Contractor shall be responsible for all damage to existing property as a result of his work, his workmanship and subcontractors. The Contractor shall provide adequate protection for his work, and shall be responsible for the same. The Contractor shall restore to original condition and existing element damaged as a result of his work.

Where a product is specified by a particular manufacturer, the Contractor shall furnish and install the product in accordance with the strictest specifications set forth by the manufacturer's best standards.

The General Conditions of the contract for construction of Buildings, the Standard form of the American Institute of Architects (AIA), latest edition of Form A-201, inclusive as it pertains to this project, are part of these Contract Documents.

Work included in this contract shall be all labor, material and equipment required to complete the proposed construction as shown or implied in the Contract Documents. Work included in this contract shall be according to the true intent of these drawings and shall be first class in all respects.

The Contractor is responsible for dimensions to be confirmed and correlated at the job site and for information that pertains to the fabrication process, and/or to techniques for construction and

The Architect shall be the sole judge as to the adequacy of any work performed. The Architect shall have the right to order the removal of defective work and material, and its replacement without any additional cost to the Owner.

All work to comply with governing State and Local Building Codes.

All plumbing to comply with governing State and Local Plumbing Codes. All Electrical work to comply with governing National and Local Electrical Codes.

The Contractor shall assume full responsibility for the confirmation of actual field dimensions as they

pertain to the fabrication and installation of any materials and/or equipment requiring such.

The General Contractor shall excercise strict control over job cleaning to prevent any debris, dust or dirt from leaving the job site and adjacent finished areas. The Contractor shall properly protect all adjoining property or work or work and any damage to the

same caused by his work or workmen must be made good without delay. Patching and and replacing or damaged work shall be done by the Contractor who is responsible for the damage.

The Contractor shall provide all necessary protection for his work until it is turned over to the Owner.

The Construction Drawings and/or notes are supplied to illustrate the design and general tupe of construction desired and are intended to imply the finest quality construction materials and " craftsmanship throughout.

The Contractor, upon acceptance of these drawings, assumes full responsibility for the construction, materials and workmanship of the of the work described in these notes and drawings, and he will be expected to comply woth the spirit, as well as with the letter in which they were written and drawn.

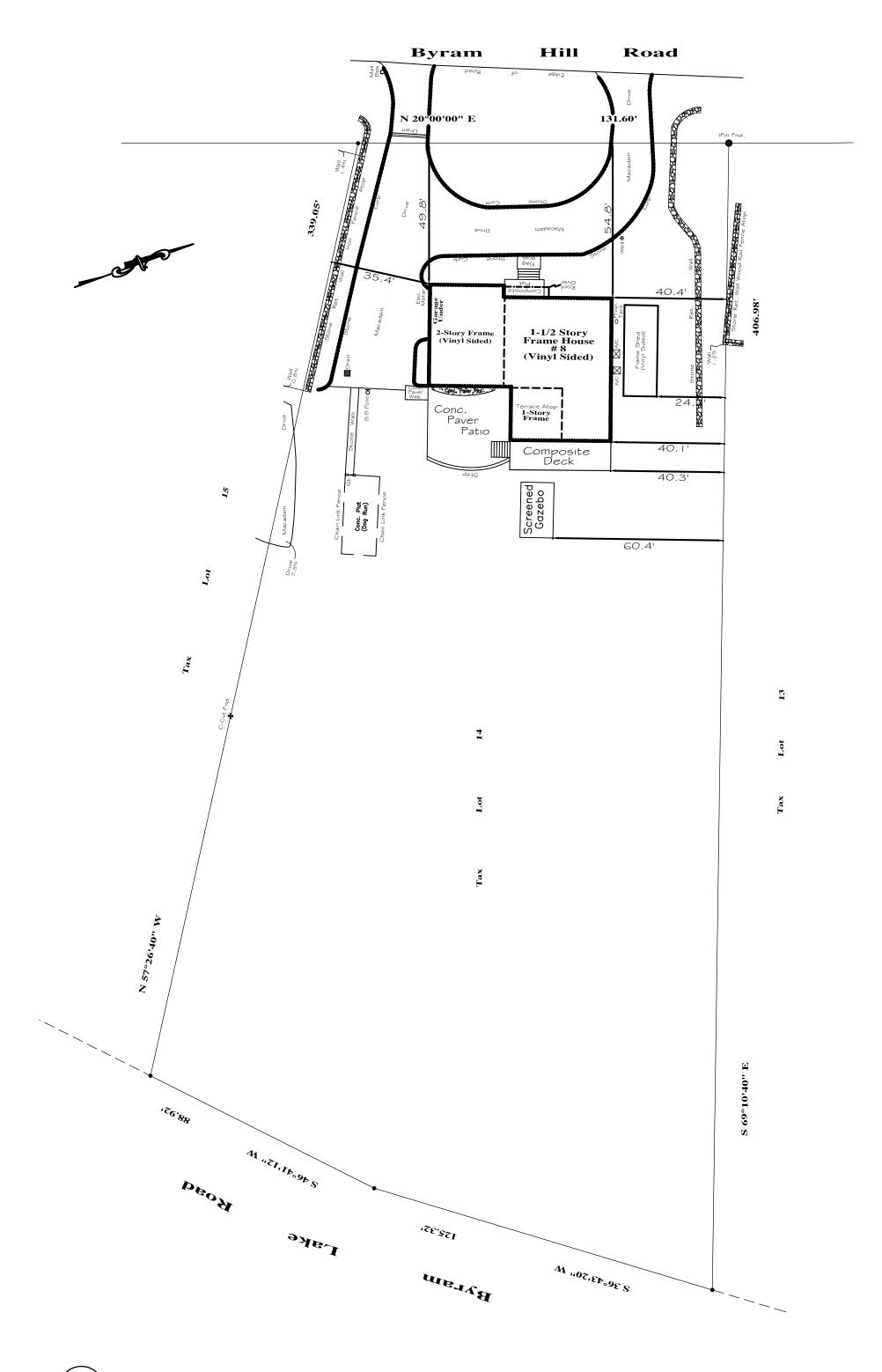
Controlled tests required by those having jurisdiction over the project shall be executed and paid for

ZONING CHART					
SECTION 136.46 BLOCK I, LOT 2					
ZONE: R-IA					
	REQUIRED:	EXISTING:	PROPOSED:		
LOT SQ. FT.:	43560 S.F.	63544 S.F.	NO CHANGE		
SETBACKS:					
ONE SIDE YARD:	5 FT		24.3 FT		
TWO SIDE YARD:	5 FT		86.5 FT		
REAR YARD:	5 FT		229.6 FT		
BUILDING HEIGHT:	I5 FT		9'-11-3/4"		
BUILDING COVERAGE:	12%		7.2%		

DESIGN FLOOR LOADS 40 LBS LIVE LOAD

PROPOSED DECK & SHED LEGALIZATION

AT: 8 BYRAM HILL RD ARMONK, NY



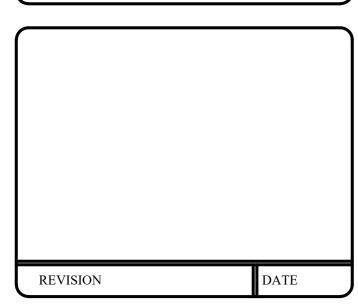


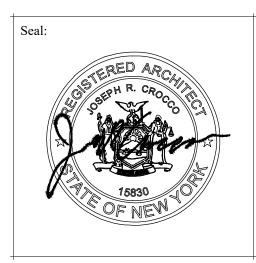
ALL DRAWINGS & WRITTEN MAT'L. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED WOUT WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

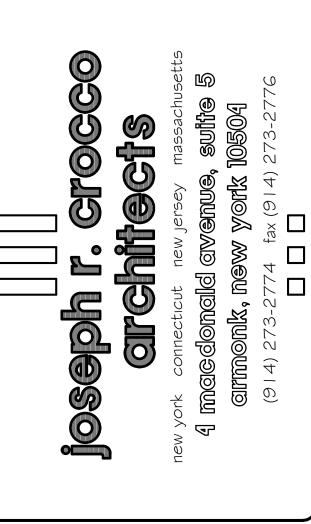
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UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.





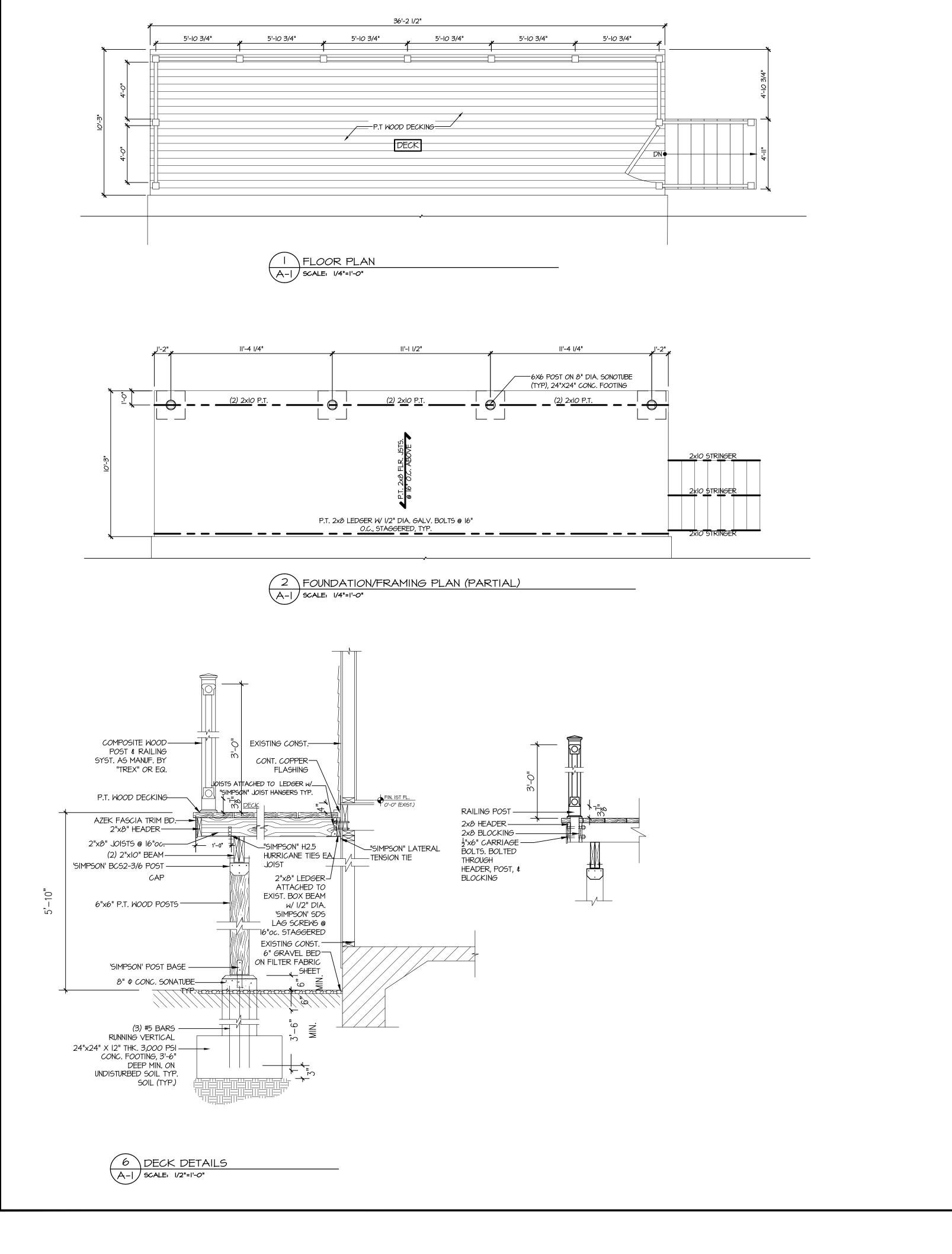


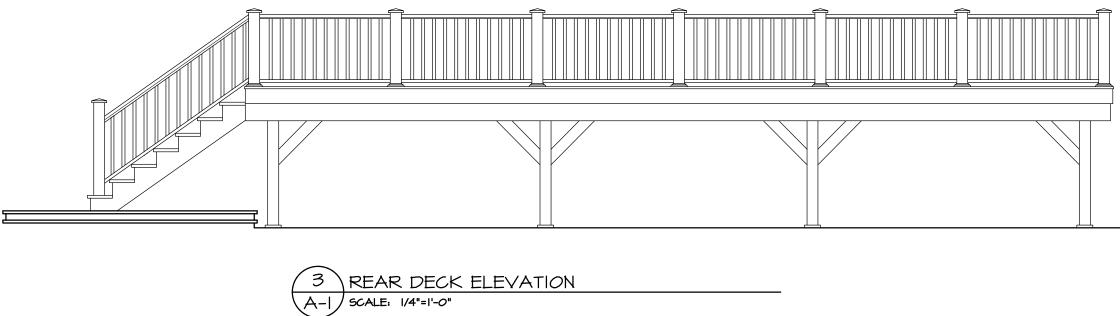
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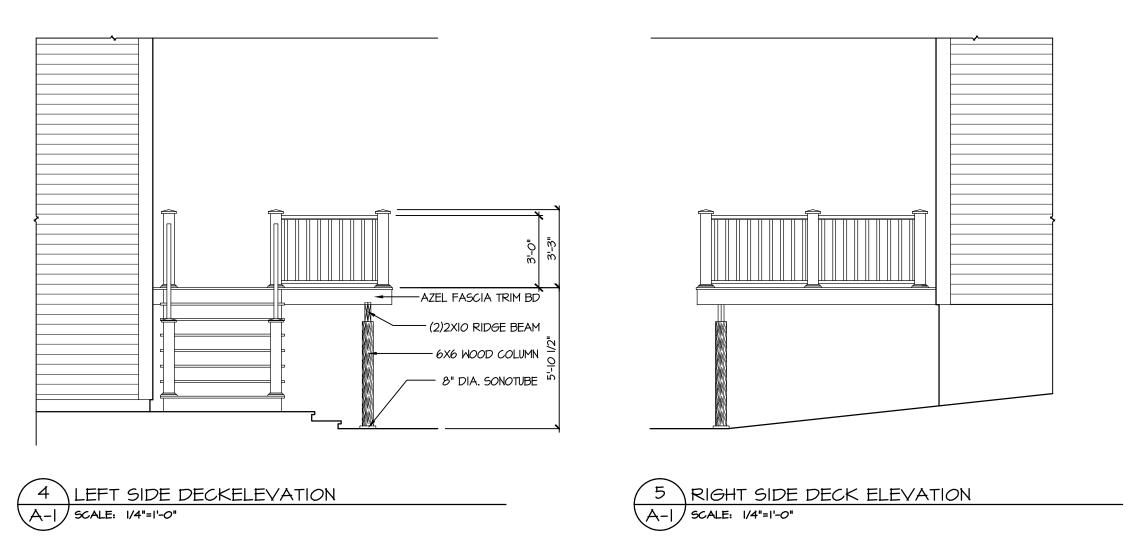
8 BYRAM HILL RD ARMONK, NY

TITLE SHEET

AUGUST 8, 202





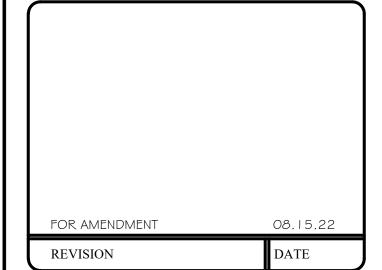


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15830

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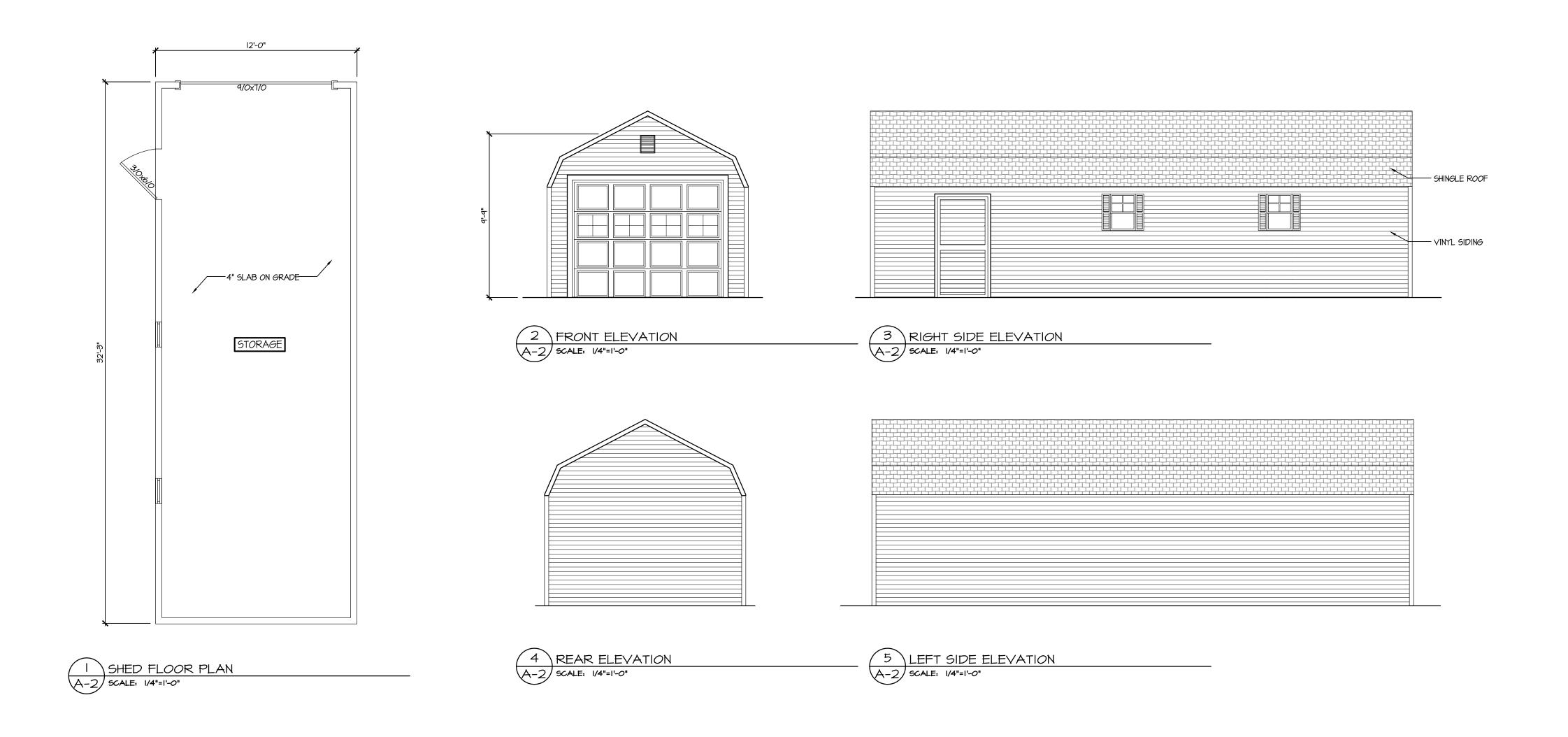
PROPOSED LEGALIZATION FOR:

8 BYRAM HILL RD ARMONK, NY

DECK PLANS &
ELEVATION

Project No: 21020

Date:
AUGUST 8, 2022

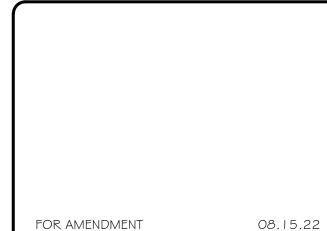


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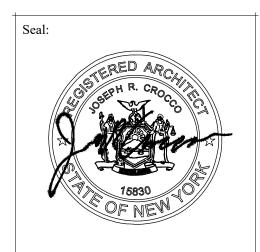
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FOR AMENDMENT

REVISION

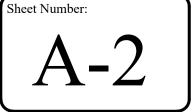


DATE

PROPOSED LEGALIZATION FOR:

8 BYRAM HILL RD ARMONK, NY

SHED PLANS



EXISTING CONDITIONS - IMPROVEMENTS SITE PLAN PLAN ELEMENTS OF EXISTING TIMBER FRAME SCREENED IN GAZEBO AND FOUNDATION SHALL BE REMOVED AND DISPOSED OF OFFSITE TO THE LIMITS AS DIRECTED BY THE OWNER. LEDGE ROCK OUTCROF EXISTING RAISED DECK CONSTRUCTED BY EXISTING TOOL SHED CONSTRUCTED BY OTHERS IS TO BE 'LEGALIZED' AS PART OTHERS IS TO BE 'LEGALIZED' AS PART OF THIS SET OF DRAWINGS WHICH SHALL OF THIS SET OF DRAWINGS WHICH SHALL SUPPLEMENT DRAWINGS PREPARED BY SUPPLEMENT DRAWINGS PREPARED BY JOSEPH CROCCO ARCHITECTS. ·---/------------APPROXIMATE LOCATION OF SEPTIC TANK FIELDS AND EXPANSION AREA TAKEN FROM PLANS PREPARED BY WILLIAM WIDULSKI, P.E FILED WITH W.C.D.O.H. ON 6/27/79 INSTALL SILT FENCE AS REQUIRED BY CODE. ADJUST LOCATION AS NECESSARY. (SEE DETAIL EC-1) EXISTING BRICK PATIO CONSTRUCTED BY INSTALL HAY BALES AS NECESARY. OTHERS IS TO BE 'LEGALIZED' AS PART (SEE DETAIL EC-2) OF THIS SET OF DRAWINGS WHICH SHALL SUPPLEMENT DRAWINGS PREPARED BY Concrete INSTALL SILT FENCE AS REQUIRED LOCATION OF... Paver BY CODE. ADJUST LOCATION AS Patio PERC. TEST Terrace Atop NECESSARY. (SEE DETAIL EC-1) 1-Story INSTALL HAY BALES AS NECESARY. Frame (SEE DETAIL EC-2) 1-1/2 Story **Frame House** INSTALL NEW CULTEC 150 XLHD 2-Story Frame (Vinyl Sided) INFILTRATING DRYWELL AND DRAIN (Vinyl Sided) INLET AS REQUIRED TO CAPTURE NET INCREASE IN IMPERVIOUS SURFACE AREA RUNOFF. CUT ELEV =93.0' BASE GRAVEL ELEV =94.0' TOP OF UNIT ELEV =95.5' INVERT ELEV =95.0' (SEE DETAIL 1-DR, 2-DR & 4-DR) Macadam INSTALL NEW CULTEC 150 XLHD INFILTRATING DRYWELL AND DRAIN INLET AS REQUIRED TO CAPTURE NET INCREASE IN IMPERVIOUS SURFACE AREA RUNOFF. CUT ELEV =97.0BASE GRAVEL ELEV =98.0' 131.60 TOP OF UNIT ELEV =99.5' N 20°00'00W E INVERT ELEV =99.0" (SEE DETAIL 1-DR, 2-DR & 4-DR) This is to certify that I have surveyed Tax Lot No. 14, Block 4, Section 101.03 as shown on the Tax $\,$ Maps of the Town of North Castle, Westchester County, New York Hill Road **Byram** I have located all existing buildings and lines of possession and have shown their positions hereon. Survey completed: Mar. 19, 2021 Map Drafted: Mar. 24, 2021 on scale of one inch to 20 feet. I hereby certify this survey to: GRAPHIC SCALE L.S.,N.Y.S. Lic.# 49586 ARISTOTLE BOURNAZOS, P.C LAND SURVEYORS - PLANNERS (IN FEET) THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE 1 inch = 15 ft.BASED ON ABOVEGROUND STRUCTURES. LOCATIONS OF UNDERGROUNI 20 CEDAR STREET LICENSED IN NEW YORK LICENSED IN UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES, PLEASE NEW YORK 10801 (914) 633-0100 NEW JERSEY (914) 633-0100 CONNECTICUT CONTACT THE APPROPRIATE AGENCIES.

ADDITIONAL PLANIMETRIC SURVEY DATA SHOWN HERIEN ON THIS PLAN OF THE PROPERTY OF 8 BYRAM HILL

PREPARED BY ORPHEUS ASSOCIATES, DATED 5/11/05, LAND SURVEY PREPARED BY ARISTOTLE BOURNAZOS,

ROAD, NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, 10504 WAS PREPARED FROM SITE PLAN

DATED 3/24/21, WESTCHESTER COUNTY GIS DATA, AND RECORDED DEED FOR SAID PROPERTY.

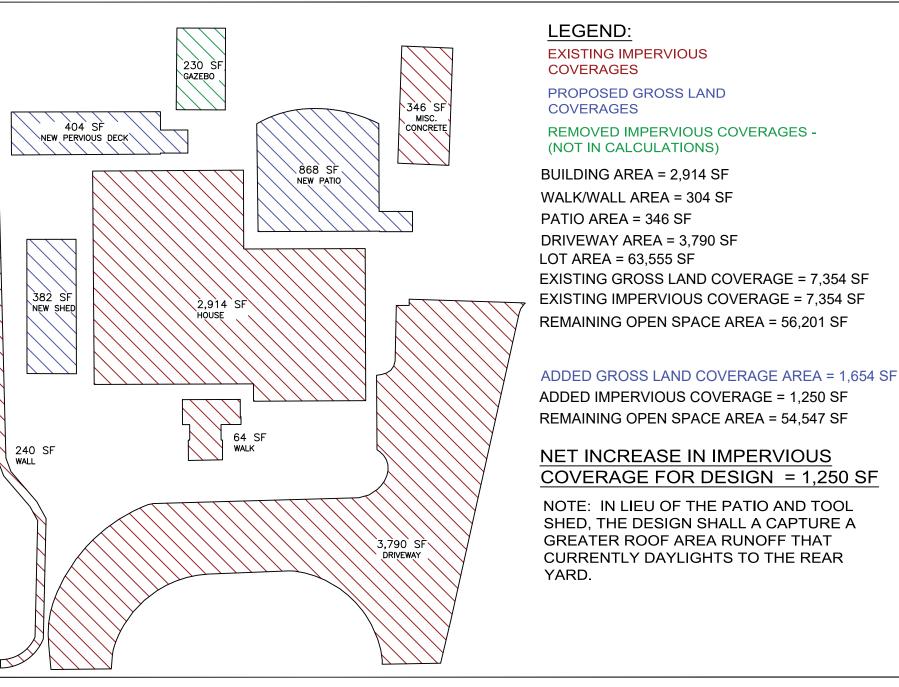
ANY UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN

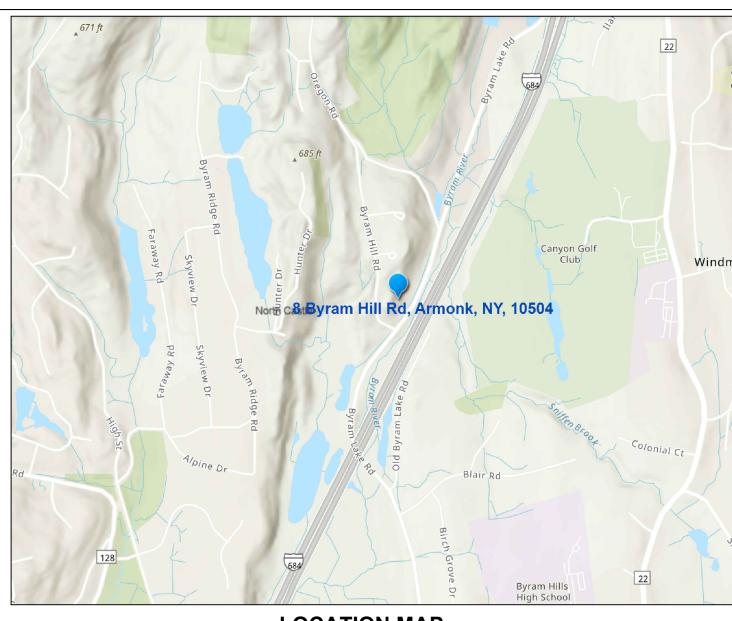
PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209

BEARING A SEAL OF A LICENSED LAND SURVEYOR OR

OF THE NYS EDUCATION LAW.

LAND COVERAGE ANALYSIS





LOCATION MAP

PROJECT NOTES / GENERAL CONDITIONS:

- 1. The Applicant shall secure all of the necessary permits from the Town of North Castle to ensure compliance with Local, County and State Building, Highway and Sanitary Codes. The Applicant is responsible to contact the Town Building Department to schedule all required inspections for the improvements performed on the premises including but not limited to general construction, plumbing, electrical and gas piping.
- 2. As this project involves the legalization of work previously performed by others, the Applicant my be required to provide local officials with visual access to all unexposed built out features including elements of work that may be presently buried and inaccessible.
- 3. The Applicant shall consult with the contractor of record as well as licensed electrician(s) and licensed plumber(s) to certify that all performed construction meets or exceeds current code and design standards. Local jurisdiction currently utilizes the 2020 New York State Residential Code and 2020 New York State Plumbing Code as well as the 2020 New York State Uniform Fire Prevention and Building Code, Chapter 35 "Referenced Standards" (i.e. reference to NFPA70-17 and 2017 National Electrical Code.)
- 4. All improvments shown herein on this set of plans are based on visual inspections of as-built conditions performed by the by the Engineer whose name bears seal on this drawing. All inspections were performed in September of 2022. The Engineer makes no express guarantees or warantees for any standards or material performance.
- 5. Base mapping for this drawing was prepared using a land survey drafted by Aristotle Bournazos Surveying dated revised March 24, 2021. All elevations referenced on said drawings were prepared using a combination of field measurements against known elevations. Topographic contours are provided using Westchester County GIS data.
- 6. All of the developed features involving the improved patio, raised composite deck and tool shed have been inspected against local zoning. With exception to the tool shed side yard setback, by observation it is confirmed that said features are in compliance for zoning setback and impervious coverage. The parcel contains no environmental critical areas for Steep Slopes or Wetlands.
- If required for final inspection, certification and issuance of approval (C of O) the Applicant may be required to secure the services of a NYS licensed land surveyor to document and record all performed improvements as required by the Town.
- No trees were removed as part of this project.

DAVID A. GOESSL, PE CIVIL ENGINEER 622 SPROUT BROOK ROAD PUTNAM VALLEY, NY 10579 (914) 227-0258 LEGALIZATION PLAN FOR RAISED DECK, TOOL SHED AND PATIO IMPROVEMENTS 8 BYRAM HILL RD., NORTH CASTLE, NY 10504

DATE: SEPTEMBER 25, 2022 SCALE: 1"= 15 FEET SHEET: 1 OF 2

PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: N. & R. PANICCIA

REVISION DATE

PROPERTY OWNER / SITE ADDRESS:

NICK & ROSEANNE PANICCIA 8 BYRAM HILL ROAD

ARMONK, NY 10504 SECTION 101.03 BLOCK 04 LOT 14

SINGLE FAMILY **ZONING DISTRICT:** R - 1A RESIDENTIAL

SANITARY SEWER DISTRICT:

PRINCIPAL USE:

WATERSHED: INLAND LONG ISLAND SOUND

USDA SOIL TYPE: CrC - Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky (59.1%)

CsD - Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky (40.9%)

Hydrologic Soils: Group B Slope: 3 to 15 percent Depth to restrictive feature: > 80 inches Drainage class: Well drained **Depth to water table:** > 80 inches

PROJECT ZONING COMPLIANCE TABLE: LOT AREA (REQ'D)

> 43,560 SF PRINC. BLGD. COV'G (REQ'D) 7,626 SF (12.0%) ACC. BLDG COV'G (REQ'D) 800 SF (MAX ALLOWED)

LOT WIDTH (REQ'D) 125 FEET FRONT SETBACK (REQ'D) 50 FEET

ONE SIDE SETBACK (REQ'D) 25 FEE I TOTAL TWO SIDES (REQ'D)

REAR YARD SETBACK (REQ'D) 40 FEET

35.4 FEET TOTAL TWO SIDES (EXIST) 75.5 FEET

LOT AREA (EXIST)

2,914 SF (4.5%)

PRINC. BLDG COV'G (EXIST)

ACC. BLDG COV'G (EXIST)

LOT WIDTH (EXISTING)

FRONT SETBACK (EXIST)

ONE SIDE SETBACK (EXIST)

382 SF (48% OF ALLOWED)

63,555 SF

131 FEET

54.8 FEET

LOT AREA (PROPOSED)

7,354 SF

9,008 SF

8.604 SF

1,250 SF

BLDG COVERAGE (PROPOSED)

MAX GROSS LAND COVERAGE:

EXIST. GROSS LAND COVERAGE:

PROP. GROSS LAND COVERAGE

PROP. IMPERVIOUS COVERAGE

9,350 SF + 9% (19,995 SF) = 11,150 SF

NET INCREASE IMPERVIOUS COVERAGE:

REAR YARD SETBACK (EXIST) 258 FEET

SITE SLOPE CATEGORY ANALYSIS:

50 Percent of Lot = 31,778 SF - 5% TO 25%: 30 Percent of Lot = 19,067 SF - 25% TO 35%: 15 Percent of Lot = 9,533 SF

- 0% TO 15%:

5 Percent of Lot = 3,177 SF **-** > 35%:

- AREA OF DISTURBANCE SLOPE VARIES = 2 ~11%

PHOTOS - EXISTING CONDITIONS OF IMPROVEMENT AREA









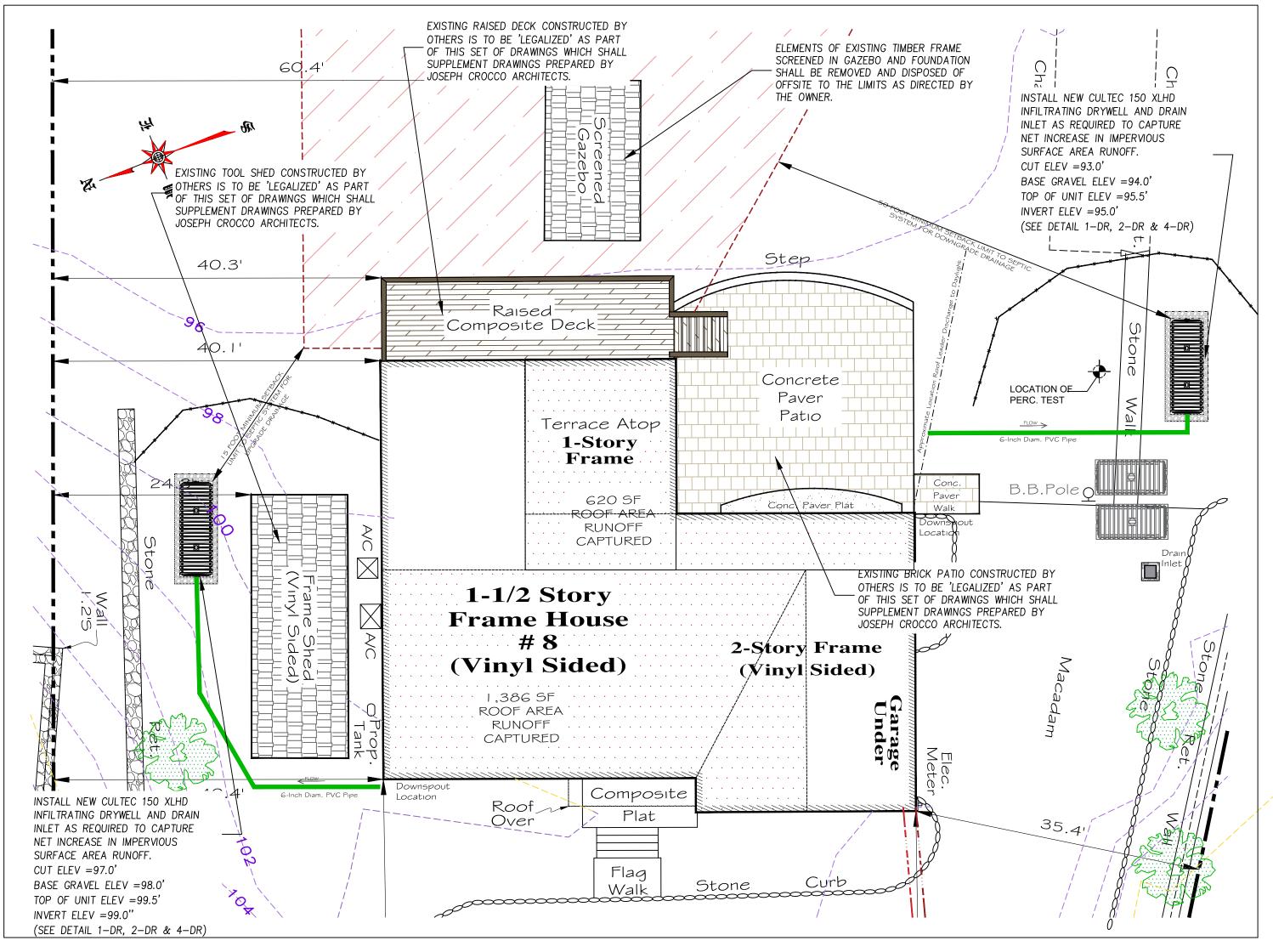








ENLARGED PLAN VIEW



CULTEC 150XLHD INFLITRATING CHANGES See and to be a company of the company of th

ROOF LEADER OVERFLOW @ GRADE

ANY UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN

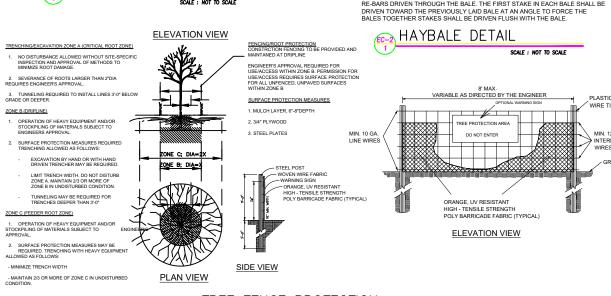
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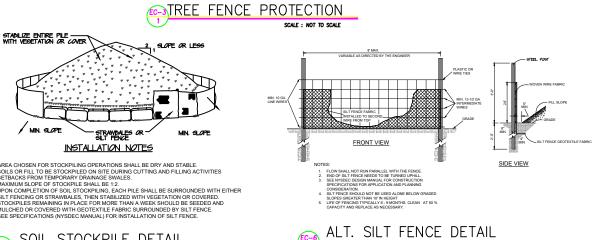
BEARING A SEAL OF A LICENSED LAND SURVEYOR OR

OF THE NYS EDUCATION LAW.

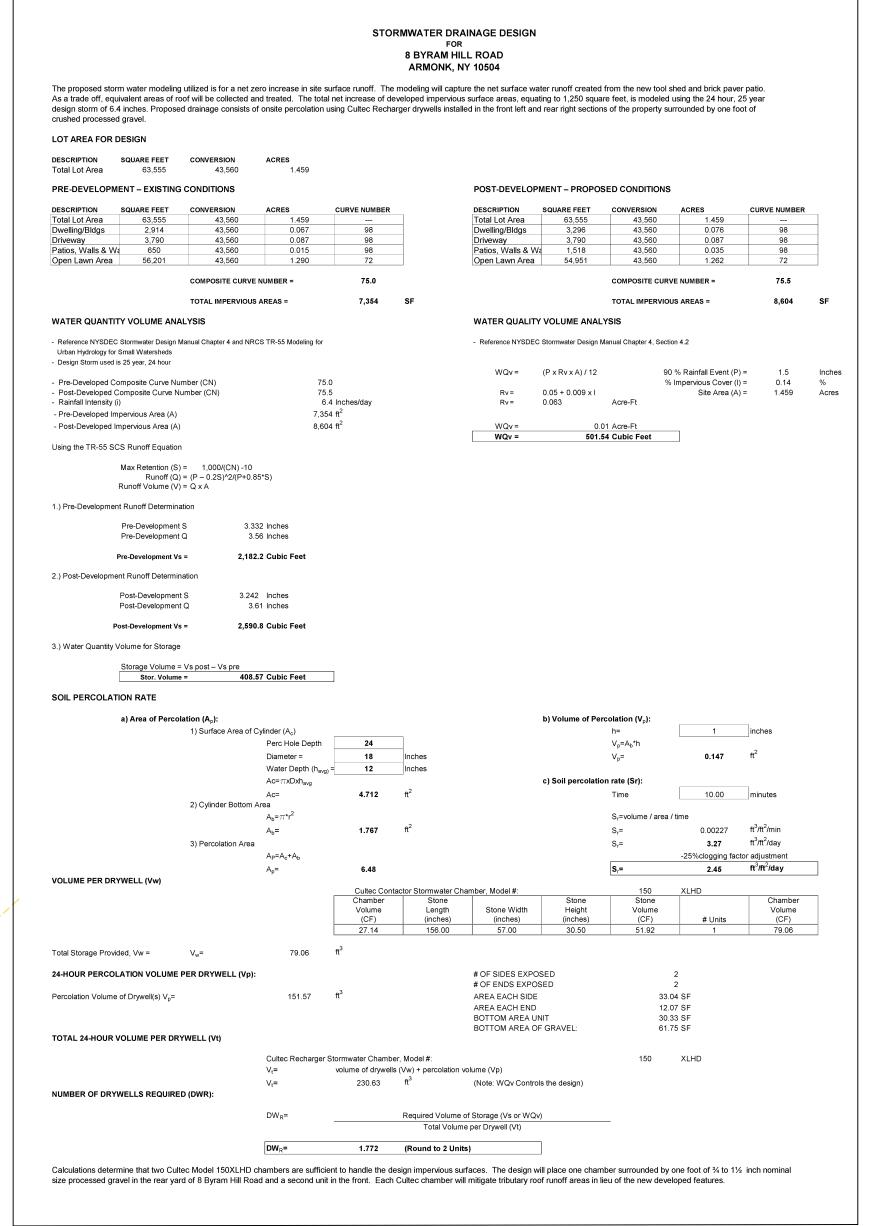
6" WIDE & BURY TO MAY 1-0" OF PITE OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MIST BE COMPLETELY REMOVED AND THE EMBEDMENT TRENCH RESTORED TO A NATURAL CONDITION. SILT FENCE DETAIL SOLE: NOT TO SOLE SOLE: NOT TO SOLE SOLE: NOT TO SOLE ENGINGATION FOR THE PROVINCE AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MIST BE COMPLETELY REMOVED AND THE EMBEDMENT TRENCH RESTORED TO A NATURAL CONDITION. 1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES. 2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SO THE BIDDINIONS ARE HORIZONTAL. 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER STAKES IN ALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER STAKES SHALL BE DETAIL SOLE: NOT TO SOLE ENGINEERS APPROVAL OR METHODS TO METHOD TO METH

EROSION CONTROL DETAILS

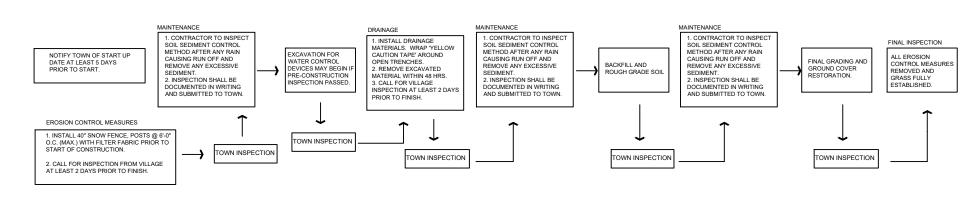




STORMWATER MANAGEMENT ANALYSIS



EROSION CONTROL SCHEDULE & DETAILS



PERCOLATION AND DEEP TEST PIT DATA:

TEST DATE: 9/24/22 @ 1:00 PM
WEATHER: SUNNY, T = 75 DEGREES
PRE-SOAK DATE 9/23/22 @ 5:00 PM
WITNESS: N/A

DEEP TEST PIT: 36" DEPTH SANDY BROWN LOAM NO LEDGE ROCK NO GROUND WATER PERCOLATION TEST #1
START TIME: 1:00 PM
END TIME: 1:28 PM

START DEPTH
FROM SURFACE: 0"

START DEPTH
FROM SURFACE: 0" FROM SURFACE: 0"
START DEPTH
FROM SURFACE: 3" FROM SURFACE: 3"
RESULT: 28MIN / 3"DROP
(USE 10 MIN / 1" DROP)

PERCOLATION TEST #2

START TIME: 1:35 PM

END TIME: 2:05 PM

Know what's below. Call before you dig. 1-(800) 962-7962

GENERAL CONSTRUCTION NOTES:

- The Applicant shall secure all of the necessary permits from the Town of North Castle
 to ensure compliance with Local, County and State Building, Highway and Sanitary
 Codes. The Applicant is responsible to contact the Building Department to schedule
 an inspection of the sediment and erosion control practices prior to the start of
 construction.
- 2. During work and upon completion, the Applicant shall schedule all of the necessary inspections and certificates of approval with the Town of North Castle officials.
- 3. The Applicant shall secure the services of a NYS licensed land surveyor as necessary to stake out the exact location of proposed improvements and as required by the Town for record documents.
- The Applicant shall verify location of all underground utilities by calling Dig Safe NY @ 1-(800) 962-7962 to ensure that there are no conflicts with existing systems.
 Private installations shall also be identified as required.
- Any existing utilities, pavement, sidewalk, curbing, grass areas etc., disturbed and/or damages during construction, must be replaced and/or repaired at the Applicant's
- 6. The Applicant shall secure the work zone through proper placement of construction fencing materials, cones, barricades, and caution tape.
- 7. All debris, excess soils and waste materials, as a result of this proposed improvement, shall be removed from site and disposed of properly. All construction fuels and chemicals shall be transported in approved sealed containers and shall be removed from the site by the Contractor daily.
- 8. All fill material shall consist of clean soils, or soil-rock mixture free from organic matter, construction debris or other deleterious material. Materials shall contain no rock or lump over 6" in greatest dimension and not more than 15% of the rocks or lumps shall be larger than 2.5" in greatest dimension.
- 9. Should unforeseen conditions or circumstances develop or other causes necessitate changes to the approved plans, the Applicant shall notify the Design Engineer of
- 10. All erosion controls and protective measures shall conform to the "New York State Standards and Specifications for Erosion and Sediment Control." The Town Inspector may specify additional sediment and erosion control measures to safeguard the public right of way and adjacent properties. All areas of disturbance shall be restored at the earliest practical date and/or immediately upon suspension of work.
- 11. Construction erosion control and protection measures shall be inspected by a qualified engineer or trained individual having received NYSDEC 4-hour erosion and sediment control training at a minimum of weekly and following all rain events greater than 0.5 inch.

STORMWATER SYSTEM NOTES:

- The Applicant shall safeguard the limits of improvements through proper installation of silt fencing and hay bales downgrade from all excavation areas and stockpiles soil and gravels materials.
- 2. The Contractor shall verify all field dimensions and drainage layouts prior to performing any installation. Any discrepancies shall be immediately reported to the Engineer of record.
- 3. The Contractor shall verify depth upon excavation for suitable soils and consult with the Design Engineer prior to installing any drainage systems. The Design Engineer will verify soil percolation rates, and prior test results at the time of construction to confirm the depth of any design conflicts such as depth of bedrock or groundwater. Any design changes to the storm water system during construction due to unforeseen circumstances such as shallow groundwater, rock, utility conflict etc., must be resubmitted to the Town Building Department for approval prior to construction.
- 4. The Contractor shall schedule required inspections at least 48 hours in advance to both Engineer of record and Town Inspector, and that no work shall be covered or concealed until the required inspections are passed.
- Stormwater discharge pipe to the proposed infiltration drainage system shall be installed along the proposed pool & patio as indicated on the plans. Pipe materials for shall be 6" diameter PVC (or HDPE) piping.
- 6. Underground infiltrating stormwater chamber(s) shall not be buried within ten feet of a building foundation nor ten feet from any adjacent property or right of way. The proposed drainage system is designed to offset 1250 SF of net impervious surfaces created by the proposed patio, tool shed and related. Comparable runoff from front and rear roof areas will be captured in lieu of said improvements. The proposed stormwater system consists of 2 Cultec 150XLHD Chambers with inlet connections consisting of 6" diameter PVC (or HDPE) piping. The proposed location of the drywell system shall be in the front left yard and rear right yard maintaining minimum 10 foot setbacks from dwelling and property lines. Owner/Contractor shall contact the Design Engineer should conflict(s) exist.
- 7. Storm water facilities shall be maintained in accordance with best management practices and and Cultec maintenance literature. The owner shall have the said system inspected and certified at 5-year intervals (minimum).

OWNER POST CONSTRUCTION MAINTENANCE:

- 1. The owner shall inspect all roof leader downspouts fittings, inspection ports and cleanout caps once per year to ensure proper connections are in place.
- The owner shall inspect and remove all debris from the grate of any open yard drain and driveway drain regularly with additional emphasis during the fall and winter months.
- The owner shall inspect and remove all accumulated debris from the sumps of any driveway drain and yard drain at a minimum of once per year. Adjust frequency as

DAVID A. GOESSL, PE
CIVIL ENGINEER
622 SPROUT BROOK ROAD
BUTNAM VALLEY NV 10570 (014) 227 (

PUTNAM VALLEY, NY 10579 (914) 227-0258

LEGALIZATION PLAN FOR RAISED DECK, TOOL
SHED AND PATIO IMPROVEMENTS

8 BYRAM HILL RD., NORTH CASTLE, NY 10504
PREPARED BY: DAVID GOESSL, P.E. PREPARED FOR: N. & R. PANICCIA

DATE: SEPTEMBER 25, 2022 SCALE: 1"= 10 FEET SHEET: 2 OF 2

