



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 40 Sarles Street, North Castle NY

Section III- DESCRIPTION OF WORK:

New Single family residence, driveway & Terraces

Section III- CONTACT INFORMATION:

APPLICANT: Teodoro Siguenza - Teo Siguenza Architect PLLC

ADDRESS: 460 Old Post Road, Bedford NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722 EMAIL: ts@teosiguenza.com

PROPERTY OWNER:

North Castle 40 LLC c/o Geller and Company

ADDRESS: 909 Third Ave, 16th Floor New York, NY 10033

PHONE: (646) 963-2906 MOBILE: _____ EMAIL: DStotler@gellerco.com

PROFESSIONAL: Teodoro Siguenza - Teo Siguenza Architect PLLC

ADDRESS: 460 Old Post Road, Bedford NY 10506

PHONE: 914-234-6289 MOBILE: 914-519-7722

EMAIL: ts@teosiguenza.com

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 101.01 - 1 - 76



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

40 Sarles Street

Zoning District: R-2A Property Acreage: 4.867 Tax Map Parcel ID: 101.01-1-76

Date: 10-31-22

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: North Castle 40 LLC Date: 10-31-22

Tax Map Designation or Proposed Lot No.: 101.01-1-76

Gross Lot Coverage

- | | | |
|-----|--|---------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>212,006 SF</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): | <u>22,636.45 SF</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback | |
| | <u>183</u> x 10 = <u>1,830</u> | <u>1,830</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>24,466.45 SF</u> |
| 5. | Amount of lot area covered by principal building : | |
| | <u>1,405</u> existing + <u>1,618</u> proposed = (3023-1405 SF) | <u>3,023 SF</u> |
| | (Ex. residence removed) | |
| 6. | Amount of lot area covered by accessory buildings : | |
| | <u>854</u> existing + <u>-854</u> proposed = Ex. accessory structure | <u>0</u> |
| | to be removed | |
| 7. | Amount of lot area covered by decks : | |
| | <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of lot area covered by porches : | |
| | <u> </u> existing + <u>162</u> proposed = | <u>162 SF</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways : | |
| | <u>1,150</u> existing + <u>3,672</u> proposed = (4,822-1,150) | <u>4,822 SF</u> |
| | Ex. driveway removed | |
| 10. | Amount of lot area covered by terraces : | |
| | <u>0</u> existing + <u>1,191</u> proposed = | <u>1,191 SF</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip : | |
| | <u> </u> existing + <u> </u> proposed = | <u>0</u> |
| 12. | Amount of lot area covered by all other structures : | |
| | <u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>9,198 SF</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



10-31-22

Date

Geller Advisors, LLC
909 Third Ave – 16th Floor
New York NY 10022

September 20, 2022

Town of North Castle
Attn: Building Department
17 Bedford Road
Armonk, New York 10504

Re:40 Sarles Street,
North Castle NY

To whom it may concern:

This letter is to serve as authorization for Teodoro Sigüenza, of Teo Sigüenza Architect P.L.L.C to act as our representative on the application to the RPRC and associated submittals for the main house and related amenities located at the above captioned property.

Please contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Diane Gubelli". The signature is fluid and cursive, with a large initial "D" and a long, sweeping underline.

Diane Gubelli
Delegated Agent
North Castle 40 LLC

North Castle

SARLES ST

VINCENY LN

BELLWOOD FARMWAY

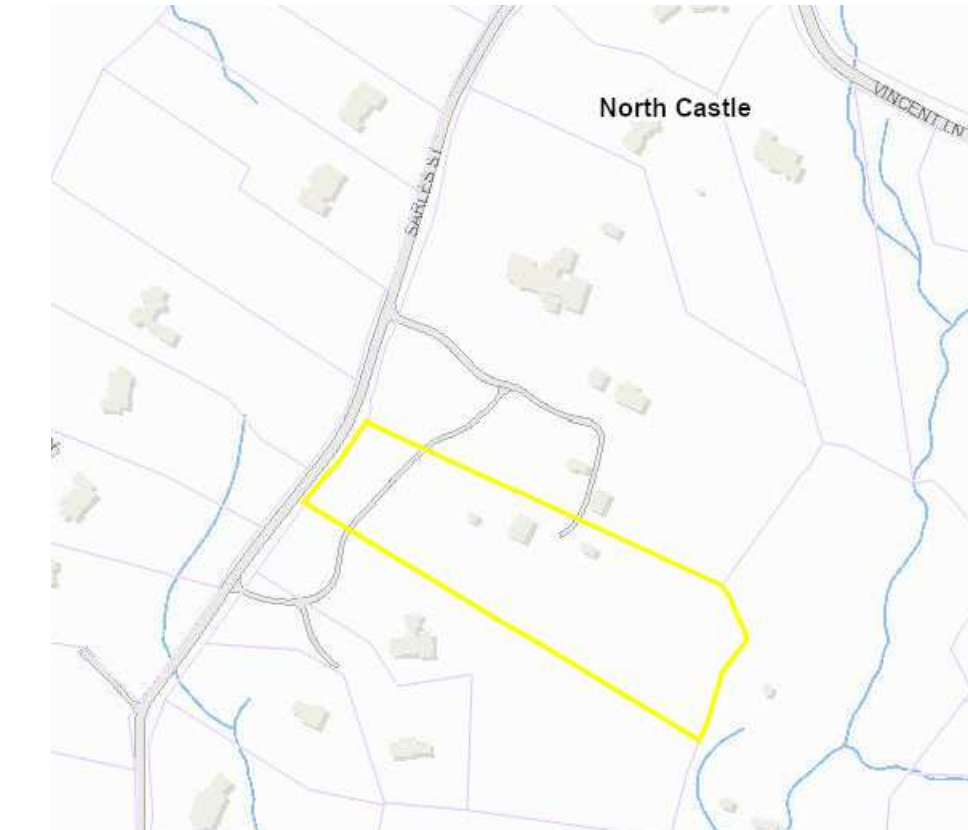
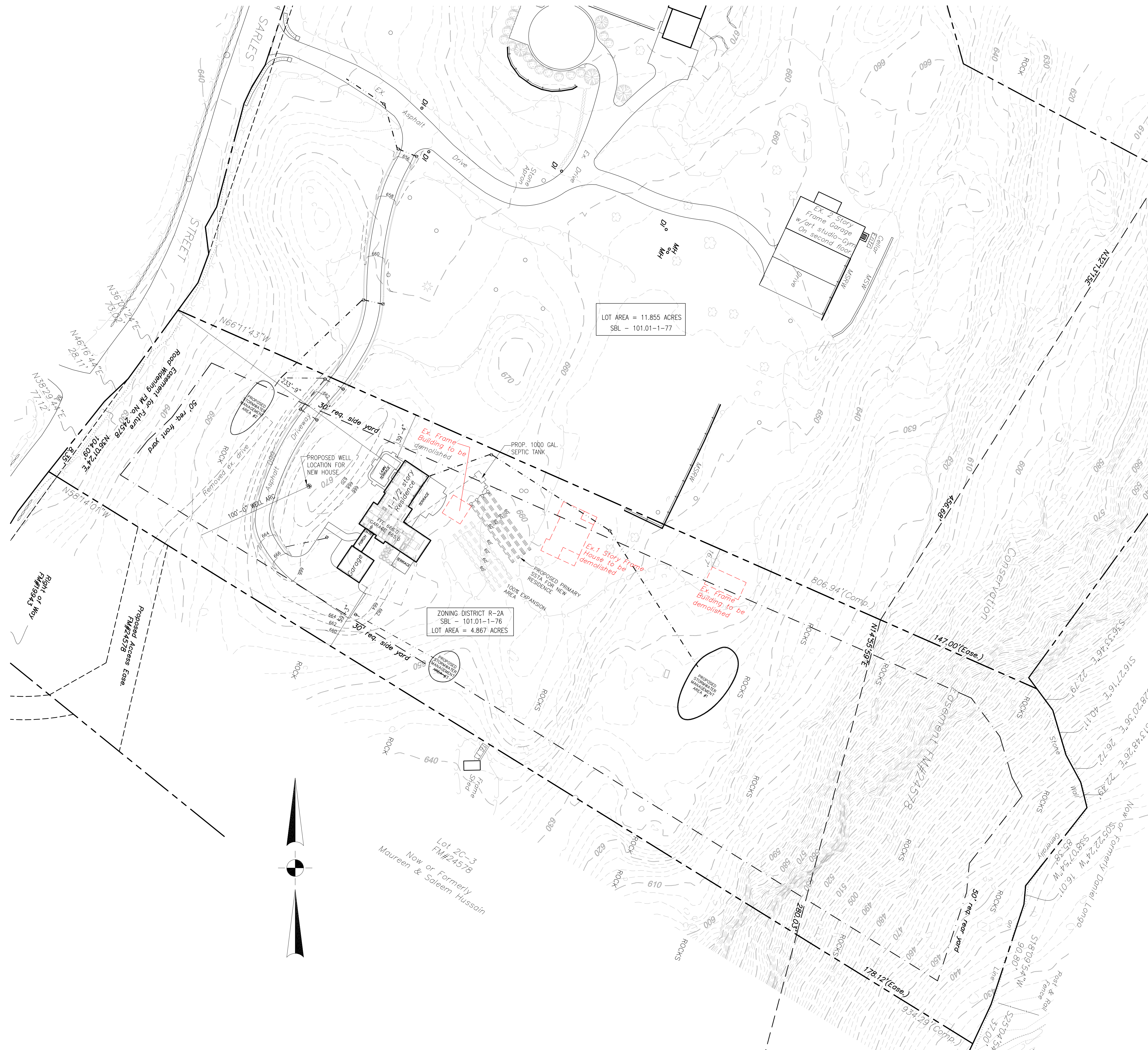
40 Sarles st

BYRAM RIDGE RD

HIGH ST

AERIAL MAP





LOCATION MAP

ZONING TABULATION		
Owner: North Castle 40 LLC		Municipality: Town of North Castle
Address: 40 Sarles st. Armonk, NY		Section : 101.01 Block: 1 Lot: 76
		Total Land Area: 212,006 SF/ 4.867 Acres
		Zoning District: R-2A
Topic	Required	Proposed
Minimum Lot Area	87,120 SF	212,006 SF
Minimum Front Yard	50 FT	233'-9"
Minimum Side Yard	30 FT	39'-4"
Minimum Rear Yard	50 FT	590.0'±

TEO SIGUENZA
ARCHITECT
 460 OLD POST ROAD 2A BEDFORD, N. Y. 10506
 TEL: 914.234.6289 FAX: 914.234.0619
 www.teosiguenza.com

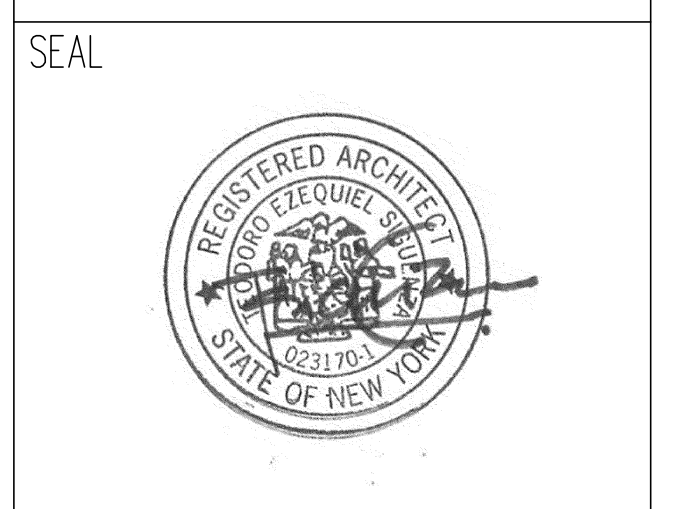
GENERAL NOTES:
 1. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES
 2. ALL DIMENSIONS TO BE CHECKED
 3. CONTRACTOR IS OBLIGED TO REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT

DATE:	REVISION

PROJECT
RESIDENCE AT SARLES STREET
 SINGLE FAMILY RESIDENCE

40 SARLES STREET
 ARMONK, NY

DRAWING TITLE
SITE PLAN



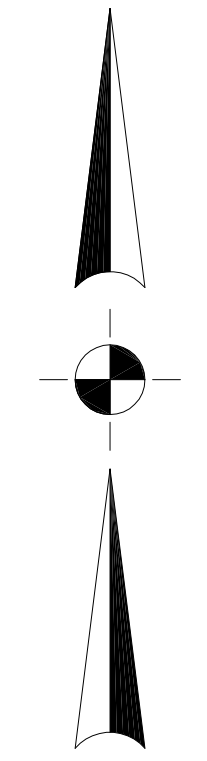
DATE
10-31-22

SCALE
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SP-1.00

PAGE NO.

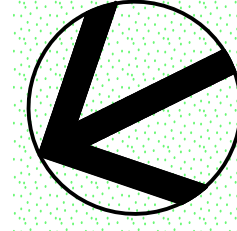
Name of the Application:	RESIDENCE AT 40 SARLES STREET
Name & Address of Owner:	NORTH CASTLE 40 LLC 40-42 SARLES ST. ARMONK, NY
Name & Address of Architect: Licensed Professional: and Applicant	Teo Siguenza, Architect 460 Old Post Road, Suite 2A Bedford, N.Y. 10506
Name & Address of Survey:	INSITE ENGINEERING



Lot 2C-3
 FM#24578
 Now or Formerly
 Maureen & Saleem Hussain

LOT AREA = 11.855 ACRES
 SBL - 101.01-1-77

ZONING DISTRICT R-2A
 SBL - 101.01-1-76
 LOT AREA = 4.867 ACRES



PRELIMINARY LANDSCAPE PLAN
FOR
40 SARLES STREET
ARMONK, NY

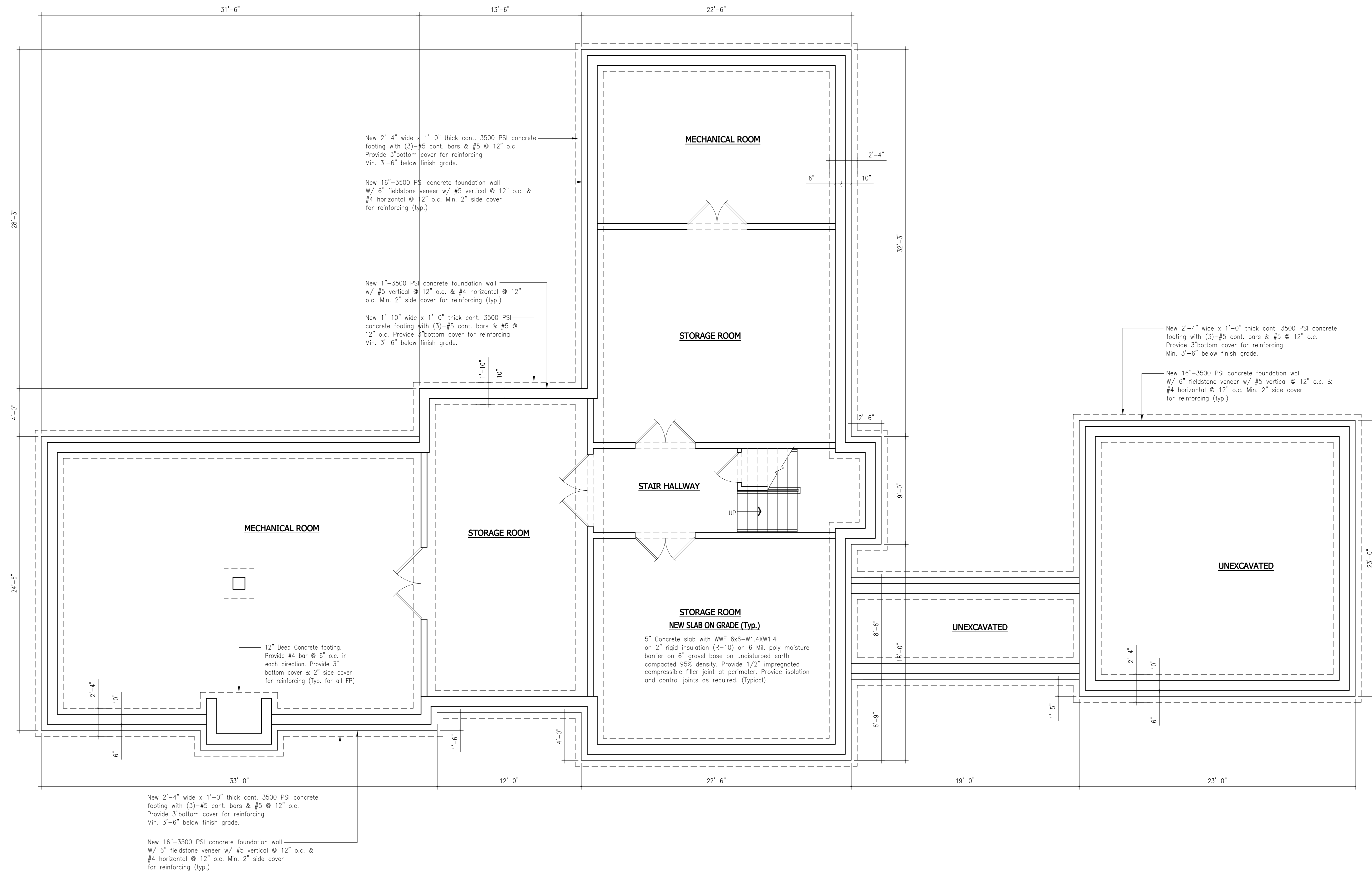
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Drawn: S.T.
Date: 10/29/22

Revisions:	Date	Item

BENEDEK & TIGHEURST
LANDSCAPE ARCHITECTS & SITE PLANNERS, P.C.
448H Old Post Road, Bedford Village, New York 10506
P. 914.234.9666 / F. 914.234.6882
www.btlandscape.com
Members American Society of Landscape Architects

Drawing Number:
L-1

GENERAL NOTES:
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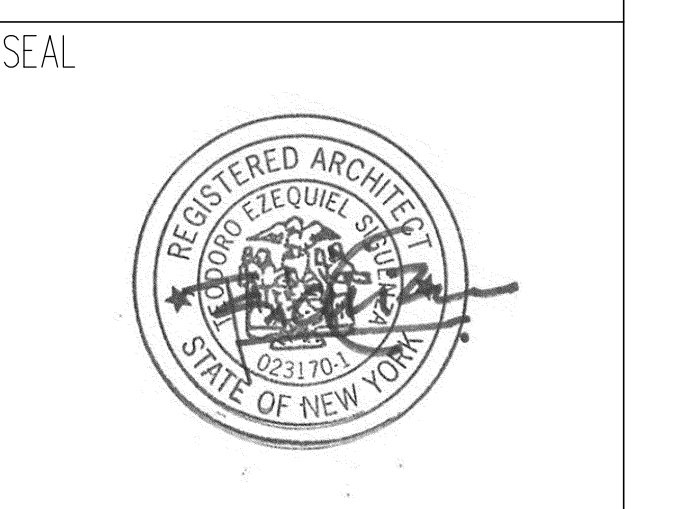


DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
SINGLE FAMILY RESIDENCE

40 SARLES ST
ARMONK, NY

DRAWING TITLE
PROPOSED BASEMENT / FOUNDATION PLAN



DATE
10-31-22

SCALE
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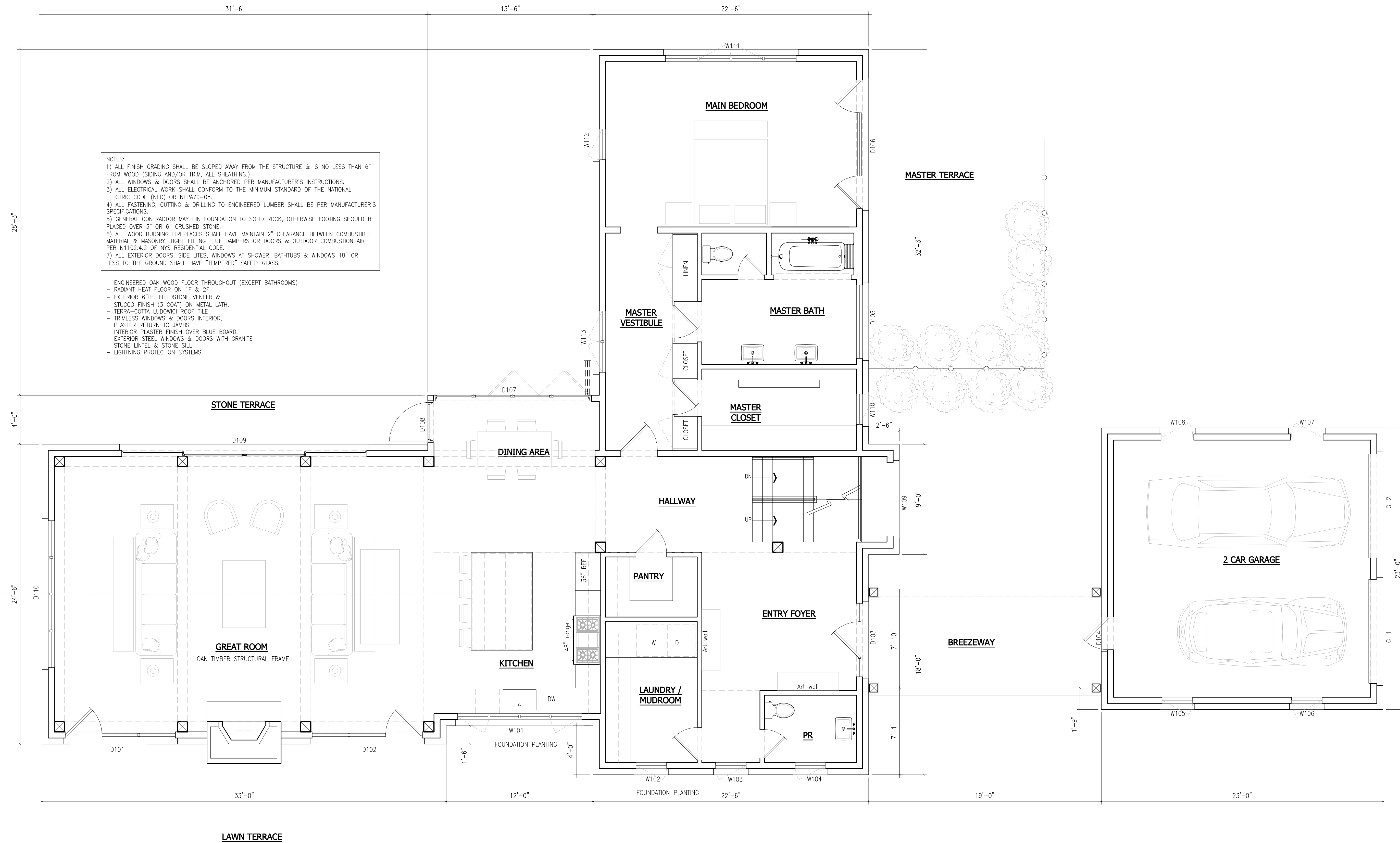
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NOTES:
 1) ALL FINISH GRADING SHALL BE SLOPED AWAY FROM THE STRUCTURE & IS NO LESS THAN 6" FROM WOOD (SIDING AND/OR TRIM, ALL SHEATHING.)
 2) ALL WINDOWS & DOORS SHALL BE ANCHORED PER MANUFACTURER'S INSTRUCTIONS.
 3) ALL ELECTRICAL WORK SHALL CONFORM TO THE MINIMUM STANDARD OF THE NATIONAL ELECTRIC CODE (NEC) OR NFPA70-08.
 4) ALL FASTENING, CUTTING & DRILLING TO ENGINEERED LUMBER SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
 5) GENERAL CONTRACTOR MAY PIN FOUNDATION TO SOLID ROCK, OTHERWISE FOOTING SHOULD BE PLACED OVER 3" OR 6" CRUSHED STONE.
 6) ALL WOOD BURNING FIREPLACES SHALL HAVE MAINTAIN 2" CLEARANCE BETWEEN COMBUSTIBLE MATERIAL & MASONRY, TIGHT FITTING FLUE DAMPERS OR DOORS & OUTDOOR COMBUSTION AIR PER N1102.4.2 OF NYS RESIDENTIAL CODE.
 7) ALL EXTERIOR DOORS, SIDE LITES, WINDOWS AT SHOWER, BATHTUBS & WINDOWS 18" OR LESS TO THE GROUND SHALL HAVE "TEMPERED" SAFETY GLASS.

- ENGINEERED OAK WOOD FLOOR THROUGHOUT (EXCEPT BATHROOMS)
- RADIANT HEAT FLOOR ON 1F & 2F
- EXTERIOR 6"TH. FIELDSTONE VENEER & STUCCO FINISH (3 COAT) ON METAL LATH.
- TERRA-COTTA LUDOWICI ROOF TILE
- TRIMLESS WINDOWS & DOORS INTERIOR, PLASTER RETURN TO JAMBS.
- INTERIOR PLASTER FINISH OVER BLUE BOARD.
- EXTERIOR STEEL WINDOWS & DOORS WITH GRANITE STONE LINTEL & STONE SILL.
- LIGHTNING PROTECTION SYSTEMS.



DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
 SINGLE FAMILY RESIDENCE
 40 SARLES ST
 ARMONK, NY

DRAWING TITLE
PROPOSED FIRST FLOOR PLAN



DATE
10-31-22

SCALE
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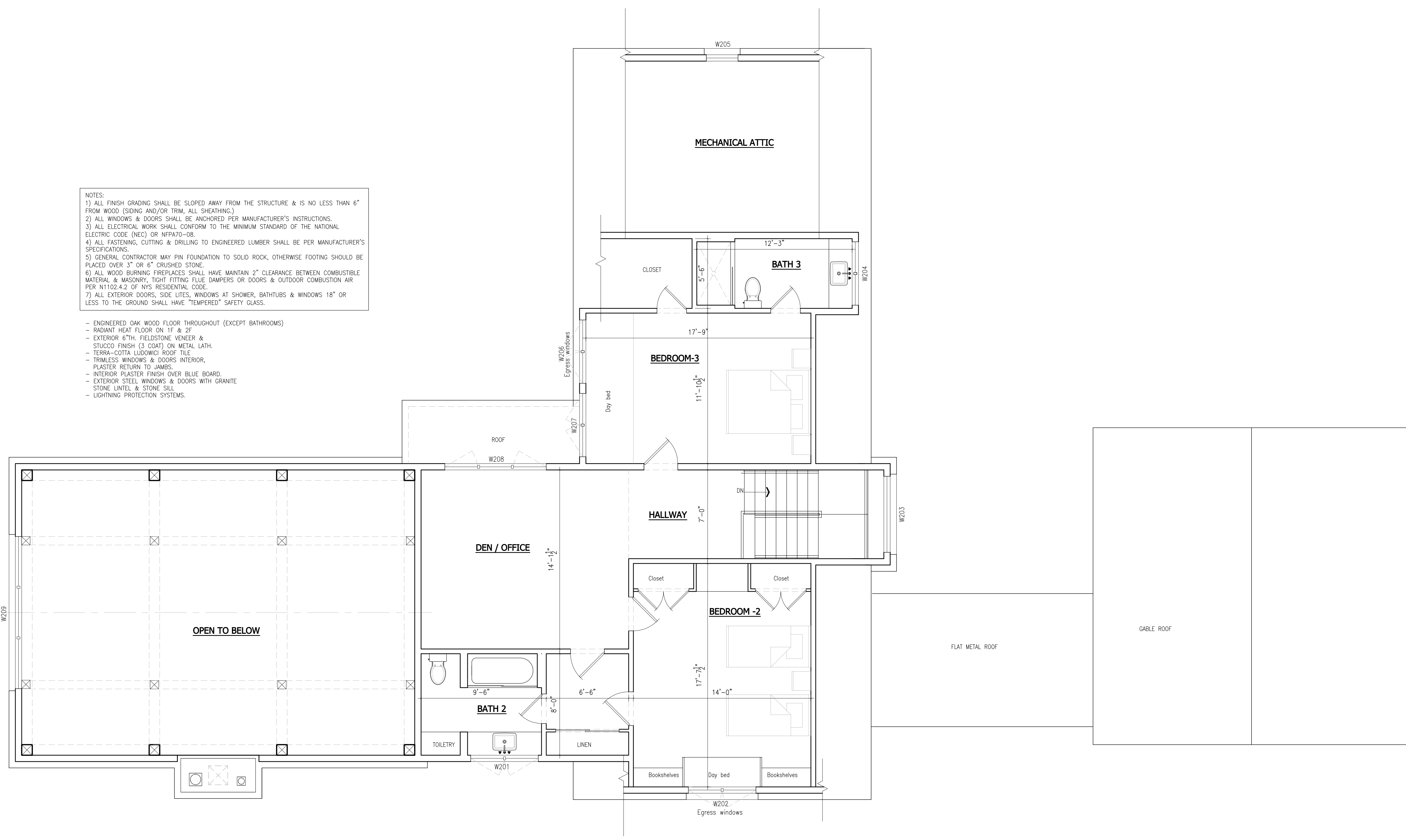
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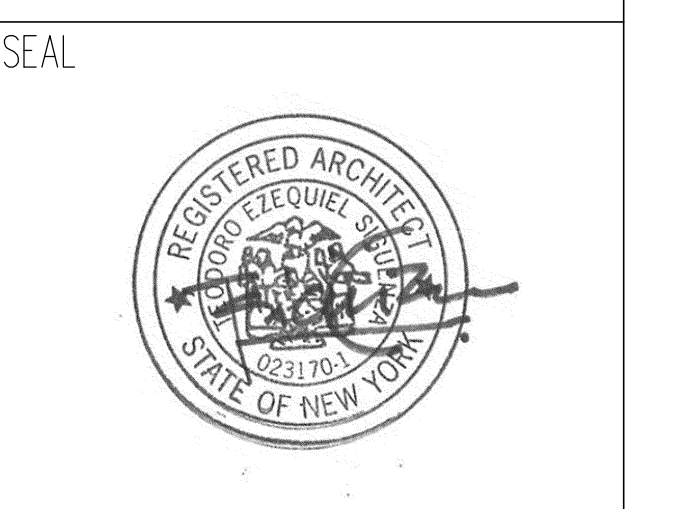
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- INTERIOR PLASTER FINISH OVER BLUE BOARD.
- EXTERIOR STEEL WINDOWS & DOORS WITH GRANITE STONE LINTEL & STONE SILL
- LIGHTNING PROTECTION SYSTEMS.



DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
 SINGLE FAMILY RESIDENCE
 40 SARLES ST
 ARMONK, NY

DRAWING TITLE
PROPOSED SECOND FLOOR PLAN



DATE
10-31-22

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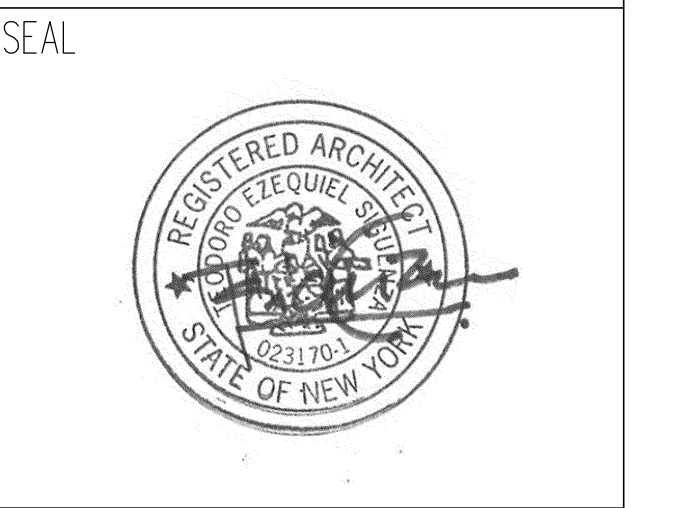
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DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
 SINGLE FAMILY RESIDENCE
 40 SARLES ST
 ARMONK, NY

DRAWING TITLE
PROPOSED ROOF PLAN



DATE
10-31-22

SCALE
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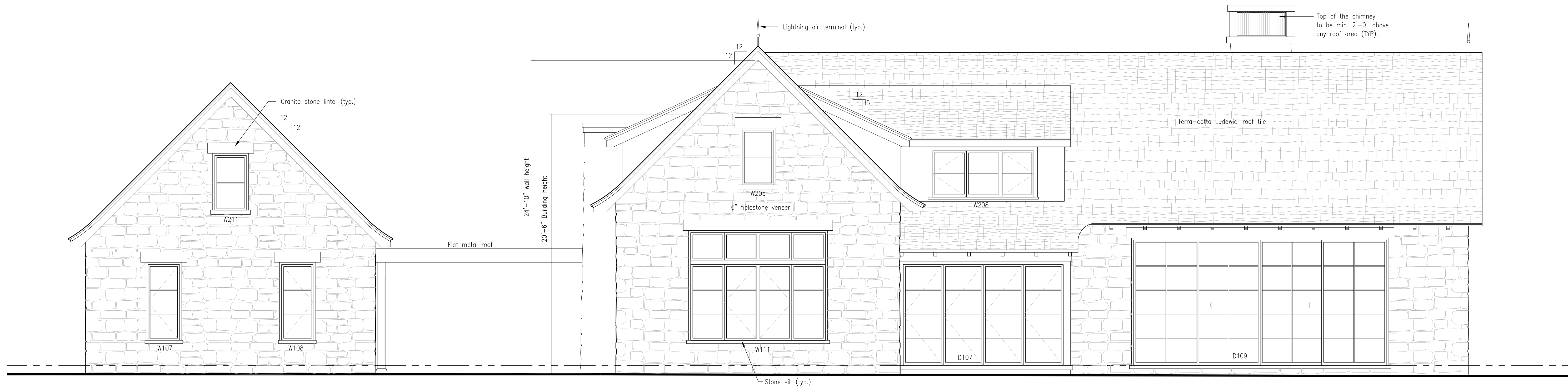
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GENERAL NOTES:
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1 PROPOSED FRONT ELEVATION
 Scale: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
 Scale: 1/4" = 1'-0"

DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
 SINGLE FAMILY RESIDENCE

40 SARLES ST
 ARMONK, NY

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS



DATE
10-31-22

SCALE
1/4" = 1'-0"

DRAWING NO.
A200.00

PAGE NO.

GENERAL NOTES:
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1 PROPOSED LEFT SIDE ELEVATION
 Scale: 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE ELEVATION
 Scale: 1/4" = 1'-0"



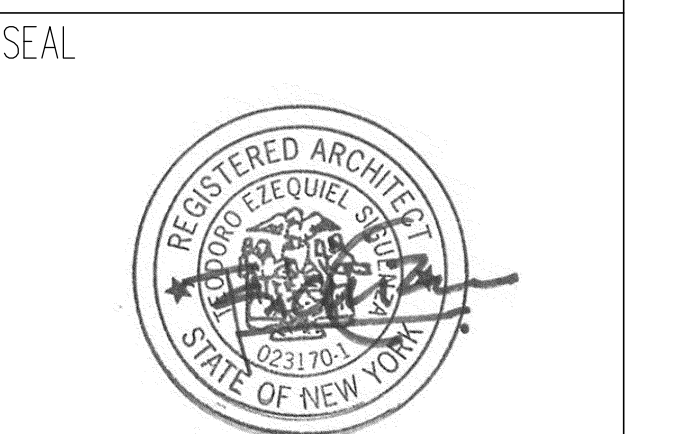
3 PROPOSED ELEVATION FACING GARAGE
 Scale: 1/4" = 1'-0"

DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
 SINGLE FAMILY RESIDENCE

40 SARLES ST
 ARMONK, NY

DRAWING TITLE
PROPOSED EXTERIOR ELEVATIONS



DATE
10-31-22

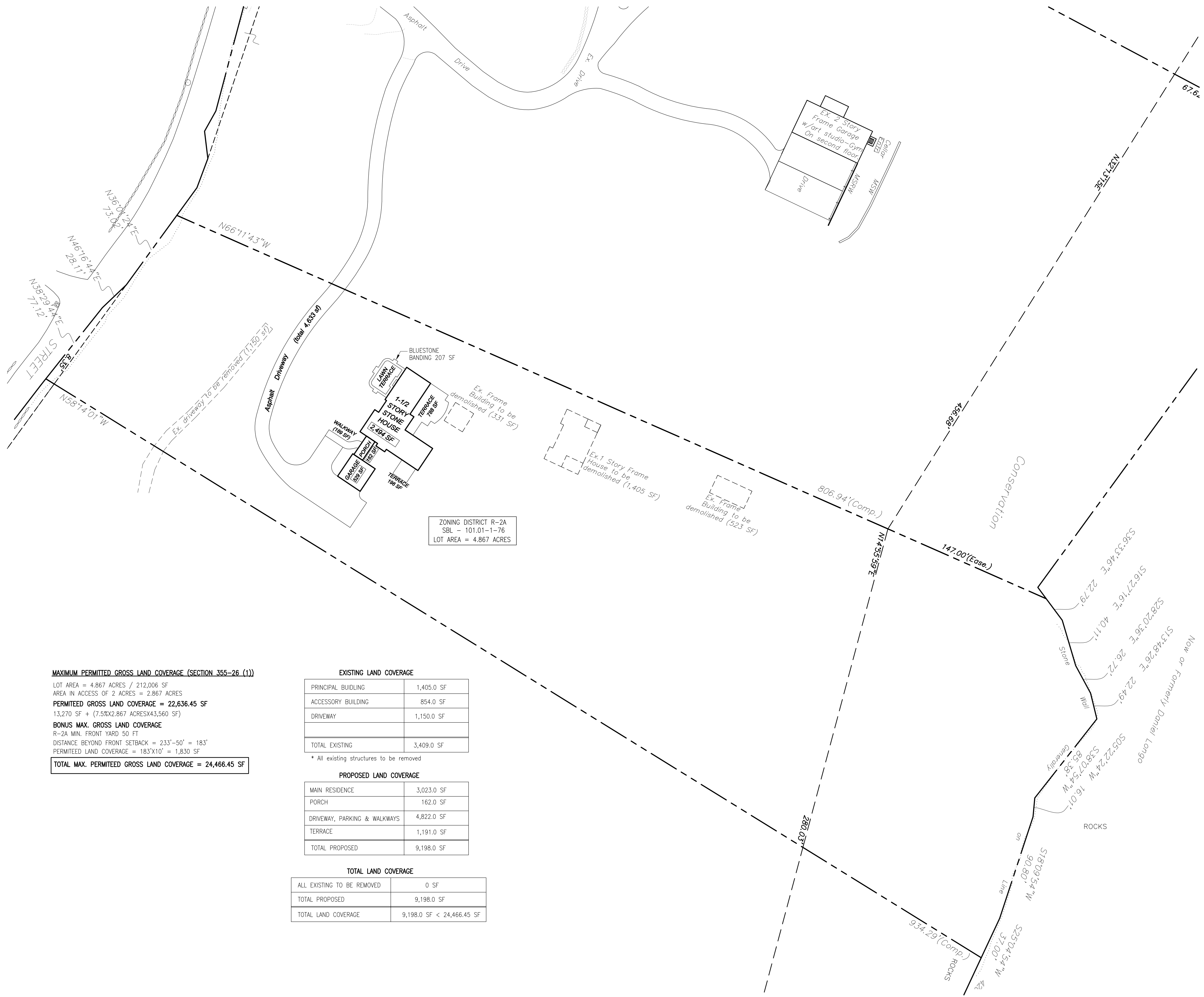
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ZONING DISTRICT R-2A
 SBL - 101.01-1-76
 LOT AREA = 4.867 ACRES

MAXIMUM PERMITTED GROSS LAND COVERAGE (SECTION 355-26 (1))
 LOT AREA = 4.867 ACRES / 212,006 SF
 AREA IN ACCESS OF 2 ACRES = 2.867 ACRES
PERMITTED GROSS LAND COVERAGE = 22,636.45 SF
 13,270 SF + (7.5% x 2.867 ACRES x 43,560 SF)
BONUS MAX. GROSS LAND COVERAGE
 R-2A MIN. FRONT YARD 50 FT
 DISTANCE BEYOND FRONT SETBACK = 233'-50" = 183'
 PERMITTED LAND COVERAGE = 183' x 10' = 1,830 SF
TOTAL MAX. PERMITTED GROSS LAND COVERAGE = 24,466.45 SF

EXISTING LAND COVERAGE

PRINCIPAL BUILDING	1,405.0 SF
ACCESSORY BUILDING	854.0 SF
DRIVEWAY	1,150.0 SF
TOTAL EXISTING	3,409.0 SF

PROPOSED LAND COVERAGE

MAIN RESIDENCE	3,023.0 SF
PORCH	162.0 SF
DRIVEWAY, PARKING & WALKWAYS	4,822.0 SF
TERRACE	1,191.0 SF
TOTAL PROPOSED	9,198.0 SF

TOTAL LAND COVERAGE

ALL EXISTING TO BE REMOVED	0 SF
TOTAL PROPOSED	9,198.0 SF
TOTAL LAND COVERAGE	9,198.0 SF < 24,466.45 SF

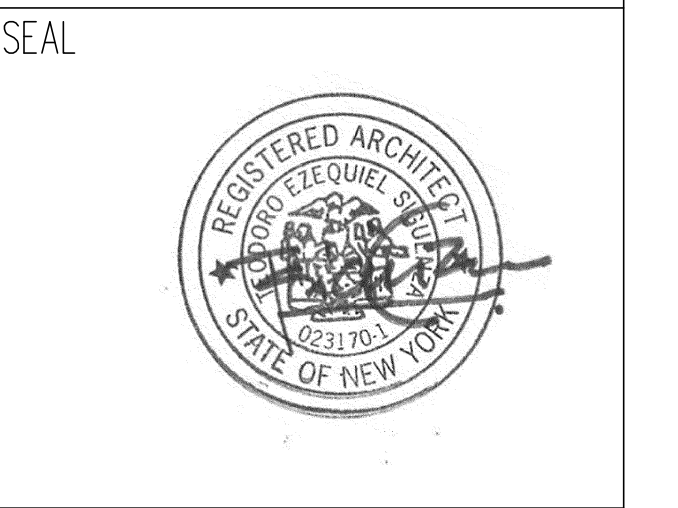
* All existing structures to be removed

DATE:	REVISION

PROJECT
RESIDENCE AT SARLES STREET
 SINGLE FAMILY RESIDENCE

40 SARLES STREET
 ARMONK, NY

DRAWING TITLE
GROSS LAND COVERAGE CALCULATION

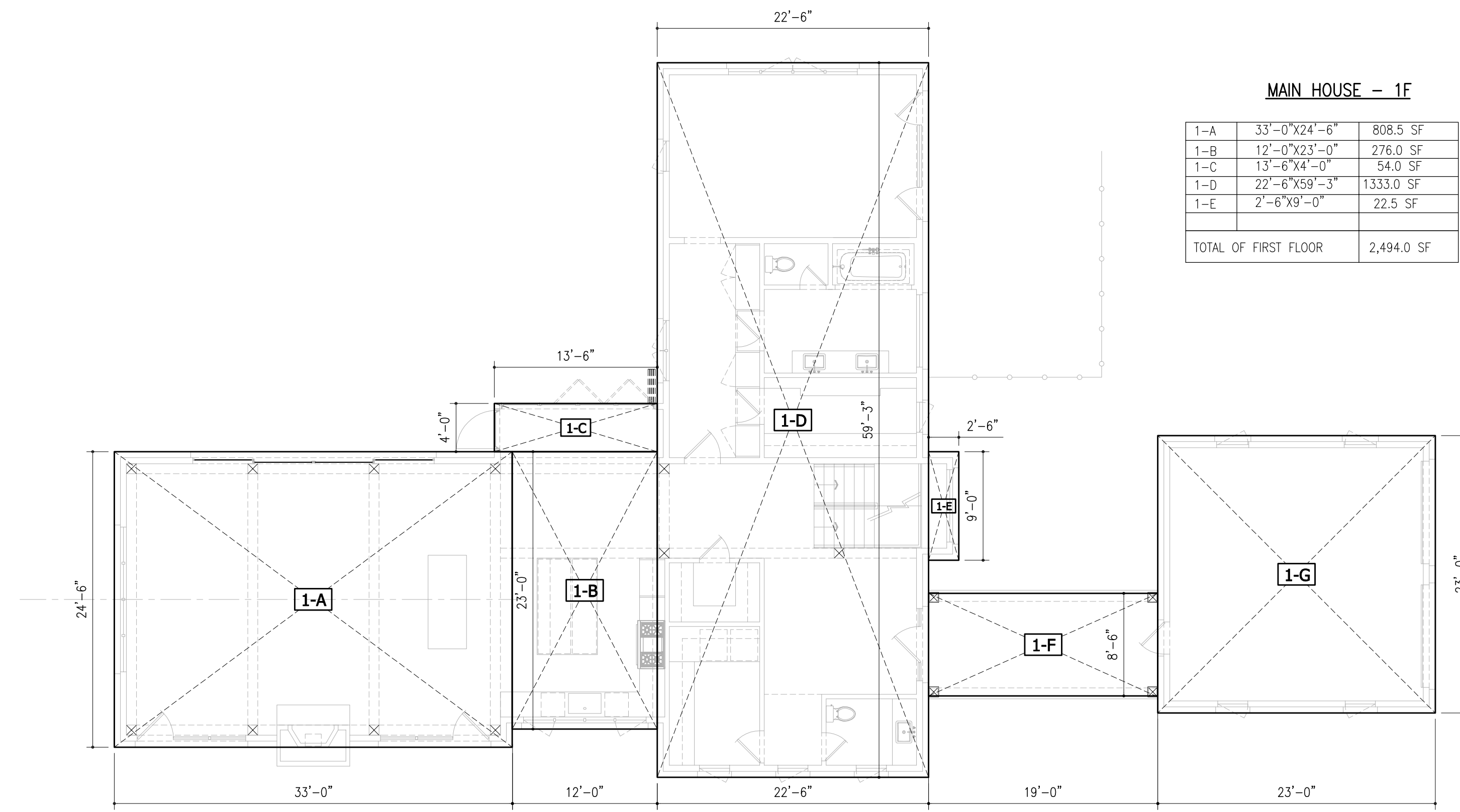


DATE
10-31-22

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PAGE NO.



MAIN HOUSE - 1F

1-A	33'-0" X 24'-6"	808.5 SF
1-B	12'-0" X 23'-0"	276.0 SF
1-C	13'-6" X 4'-0"	54.0 SF
1-D	22'-6" X 59'-3"	1333.0 SF
1-E	2'-6" X 9'-0"	22.5 SF
TOTAL OF FIRST FLOOR		2,494.0 SF

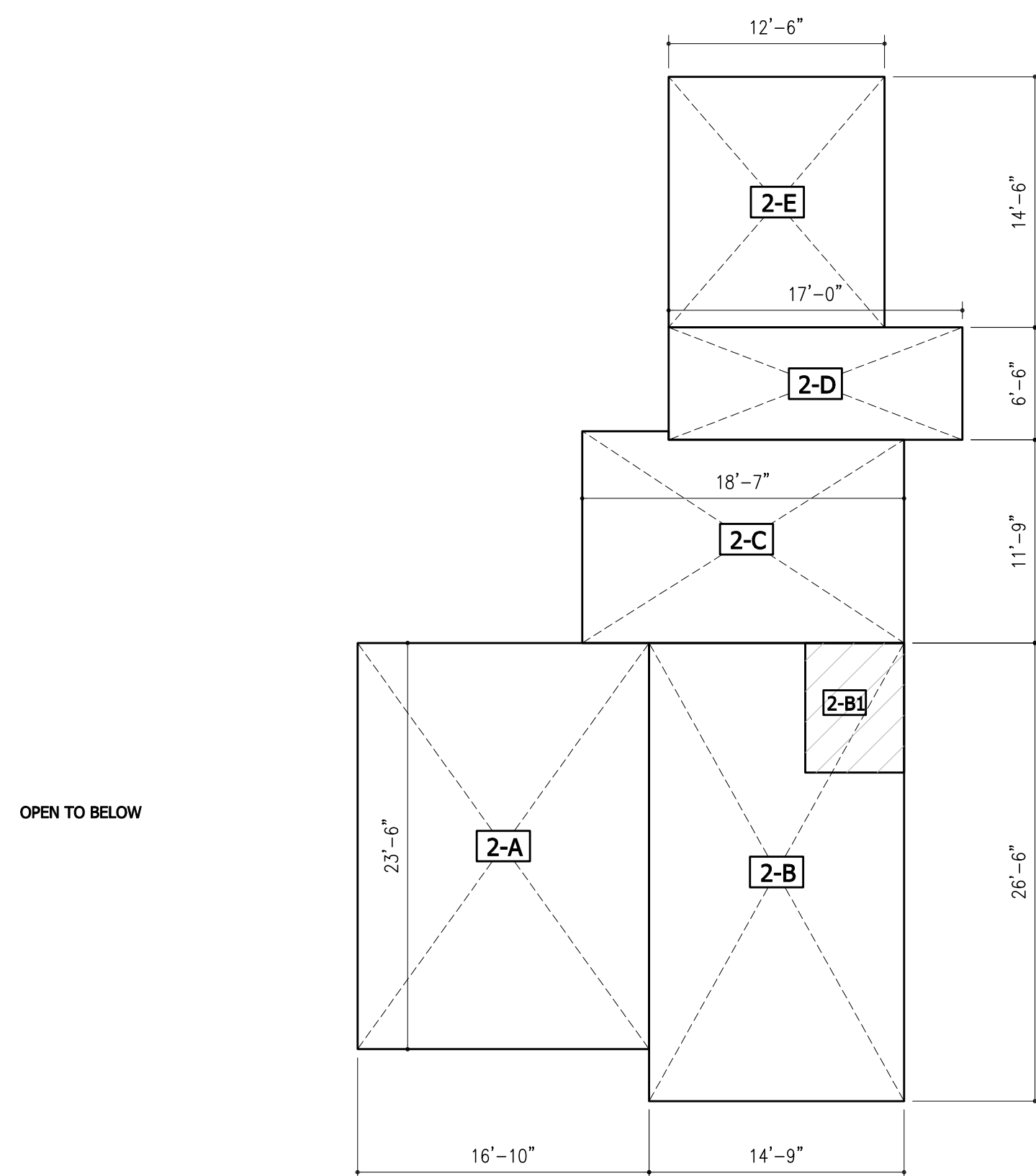
1-F	19'-0" X 8'-6"	161.5 SF
TOTAL OF PORCH (MAIN HOUSE)		161.5 SF

1-G	23'-0" X 23'-0"	529.0 SF
TOTAL OF GARAGE		529.0 SF

TOTAL FLOOR AREA CALCULATION

MAIN HOUSE 1F	2,494.0 SF
MAIN HOUSE 2F	1,254.0 SF
GARAGE	529.0 SF
PORCHES	162.0 SF
TOTAL	4,439.0 SF

1 PROPOSED FIRST FLOOR PLAN
 Scale: 1/8" = 1'-0"



MAIN HOUSE - 2F

2-A	16'-10" X 23'-6"	395.5 SF
2-B	14'-9" X 26'-6"	391.0 SF
2-B1 (STAIR)		-43.0 SF
2-C	11'-9" X 18'-7"	219.0 SF
2-D	17'-0" X 6'-6"	110.5 SF
2-E	12'-6" X 14'-6"	181.0 SF
TOTAL OF FIRST FLOOR		1,254.0 SF

2 PROPOSED SECOND FLOOR PLAN
 Scale: 1/8" = 1'-0"

GENERAL NOTES:
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DATE:	REVISION

PROJECT
RESIDENCE AT SARLES ST
 SINGLE FAMILY RESIDENCE
40 SARLES ST
 ARMONK, NY

DRAWING TITLE
FLOOR AREA CALCULATION



DATE
 10-31-22

SCALE
 AS NOTED

DRAWING NO.
A101.10

PAGE NO.