



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

MR. & MRS. JOEL BELTRAN
ADDRESS: 22 GENERAL HEATH AVE. N. WHITE PLAINS, NY 10603

Section III- DESCRIPTION OF WORK: • NEW WOOD DECK @ REAR OF RESIDENCE.

- NEW WOOD DECK IS 10'-0" WIDE X 21'-7" LONG. DECK STAIR 3'-0" WIDE, DOWN TO GRADE. (SEE PLANS T-1, A-1, A-2)
- 1ST FLOOR PLAN, NEW 6" W X 6" SLIDING DOOR TO EXTENSION DECK FROM EXIST. DINING RM
- REMOVE EXIST. KITCHEN WALL TO OPEN TO DIN. RM. NEW HEADERS @ BOTH OPENINGS
- BASEMENT: EXISTING GARAGE (1 CAR) TO BE REMOVED. NEW 1 BED RM. W/ CLOSET & NEW EXIST. DOOR 5'-0" X 6'-8" TO EXTERIOR. NEW 2 WINDOWS (PH) 25" X 44"
- NEW INSULATED WALLS EXT (R-21) RAISED FL. ABOVE EXIST. CONC. SLAB. W/ INSULATION (R17)
- ALTERED EXIST. BATH RM. W/ NEW SHOWER, SINK & W.C. & TILED FL.
- REMOVED LOW CEILING @ WASH. SINK RM
- NEW 5/8" TYPE X SR. RATED FIBER @ CLG. ADV. EXIST. BOILER.

Section III- CONTACT INFORMATION:

APPLICANT: MR. JOEL BELTRAN
ADDRESS: 22 GENERAL HEATH AVE, N. WHITE PLAINS, NY, 10603
PHONE: 914-343-9075 MOBILE: EMAIL:

PROPERTY OWNER: MR. JOEL BELTRAN
ADDRESS: 22 GENERAL HEATH AVE, N. WHITE PLAINS, NY, 10603
PHONE: 914-343-9075 MOBILE: EMAIL:

PROFESSIONAL: JOHN DANIEL WHALEN, R.A., ARCHITECT
ADDRESS: 61 NORTH ST. KATONAH, NY, 10536
PHONE: 914-232-4732 MOBILE: -
EMAIL: JW PENINKY@AOL.COM

Section IV- PROPERTY INFORMATION:

Zone: R-5 Tax ID (lot designation) S 122.16 - 3-51





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlennv.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: M/M JOEL BELTRAN Date: NOV. 15 2022

Tax Map Designation or Proposed Lot No.: S122.16-3-51

Floor Area

- 1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 5,141 SF
- 2. Maximum permitted floor area (per Section 355-26.B(4)): 2,500 + 25% 141 = 2535 SF MAX ALLOW
- 3. Amount of floor area contained within first floor:
839 existing + - proposed = 839 SF
- 4. Amount of floor area contained within second floor:
182 existing + - proposed = 182 SF
- 5. Amount of floor area contained within garage:
200 existing + 70 proposed = (BEDROOM) 270 SF
- 6. Amount of floor area contained within porches capable of being enclosed:
- existing + - proposed = ENTRY ONLY - N/A
- 7. Amount of floor area contained within basement (if applicable - see definition):
748 existing + - proposed = 748 SF
- 8. Amount of floor area contained within attic (if applicable - see definition):
- existing + - proposed = NON-HABITABLE N/A
- 9. Amount of floor area contained within all accessory buildings:
- existing + - proposed = NONE N/A
- 10. Proposed floor area: Total of Lines 3 - 9 = 839 + 182 + 270 + 748 = 2,039 SF OK 2,039 SF COMPLIES
10% BONUS = 204 = 2,243 < 2535 SF MAX OK

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

John B. Whalen, RA.
Signature and Seal of Professional Preparing Worksheet

NOV. 15, 2022
Date



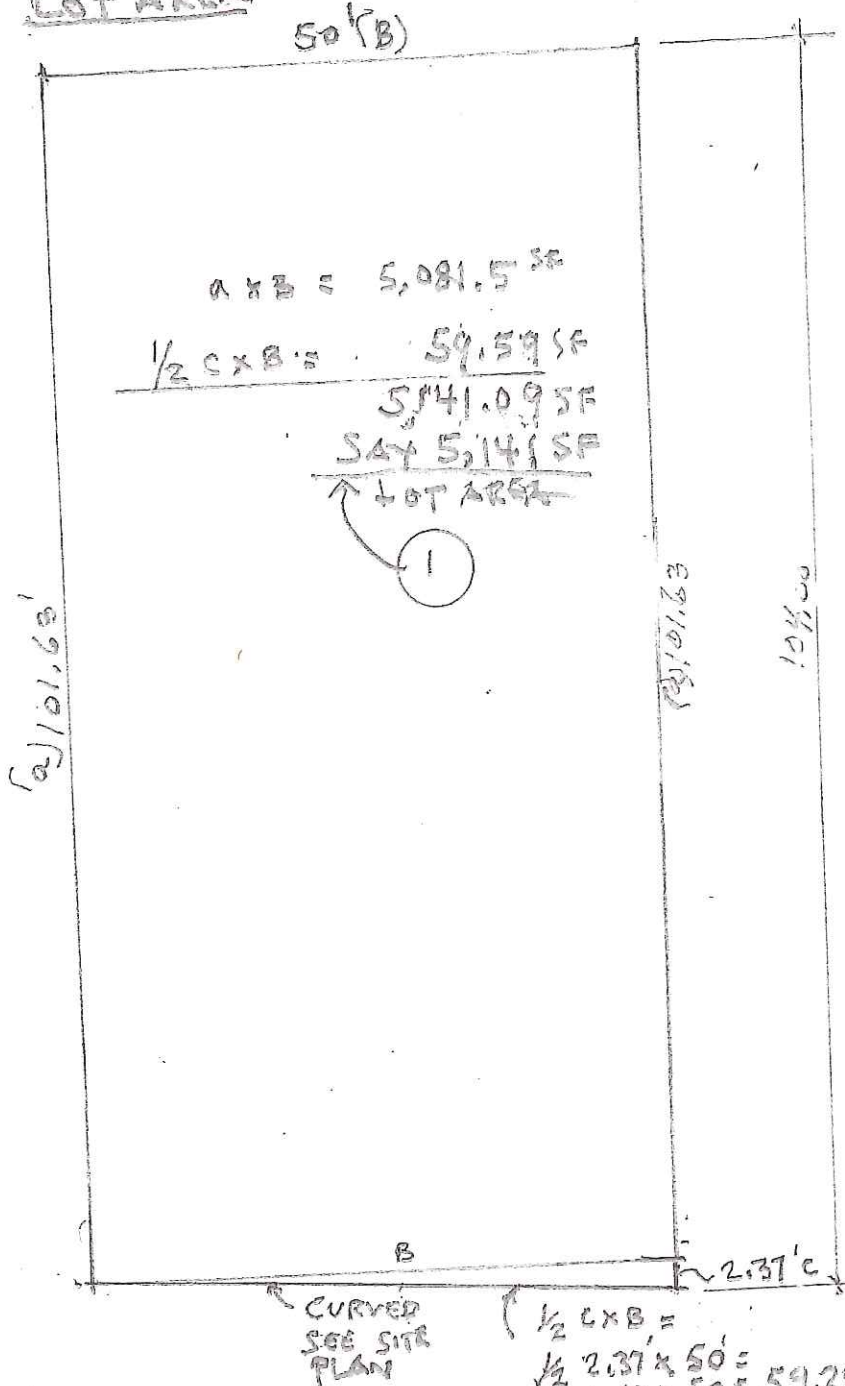
architect JOHN B. WHALEN RA
61 North Street
Katonah, NY 10536
914-232-4732

RE: JOEL BELTRAN - RESIDENCE - 22 GENERAL HEATH AVE
LOT # J122.16-3-51 N. WHITE PLAINS, NY 10603.

WORK SHEET

FLOOR AREA RATIO (FAR)

LOT AREA

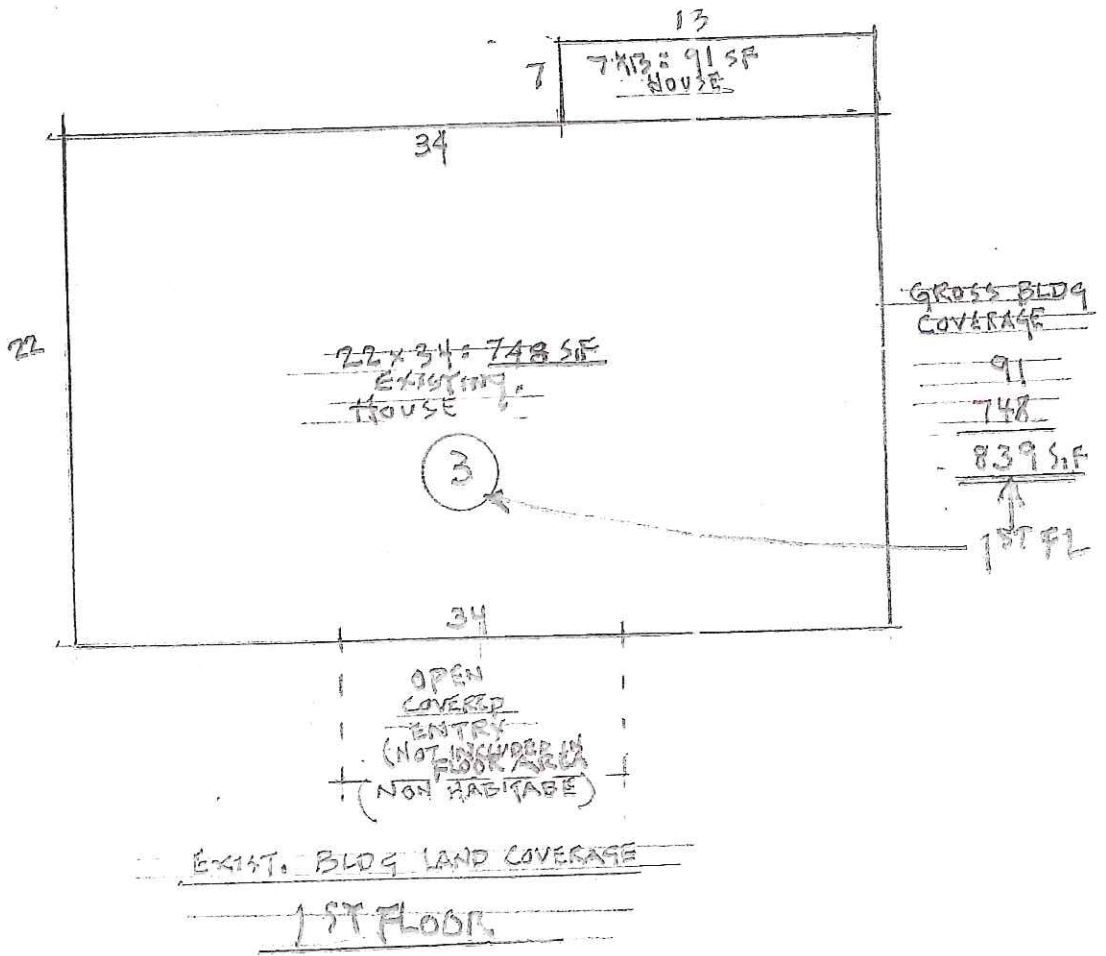


Quotation
 ITEM # ON
 FAR CALCULATION
 SHEET

2 MAX. PERMITTED
 FL. AREA OF HOUSE
 $2,500 SF + 25\% (141) =$
 $2,500 + 35 SF =$
2,535 SF MAX. ALLOWED

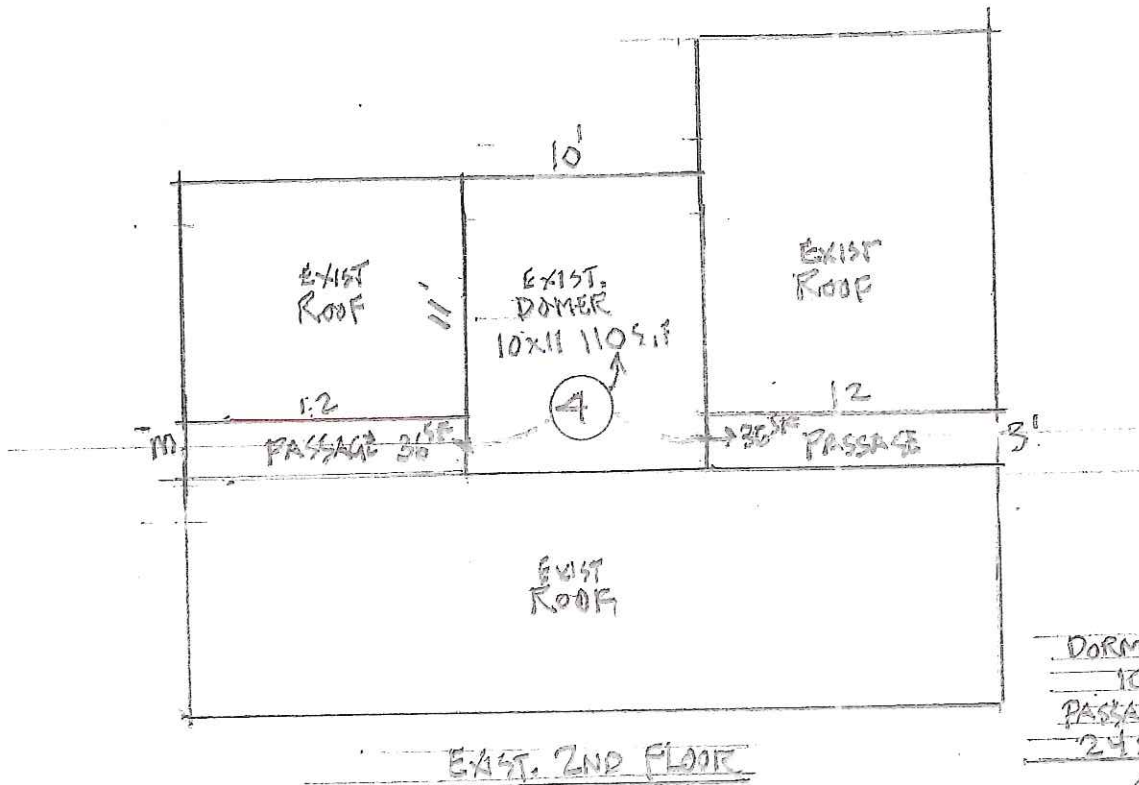
SCALE 5/16" = 1'-0"

architect **JOHN B. WHALEN**
 61 North Street
 Katonah, NY 10536

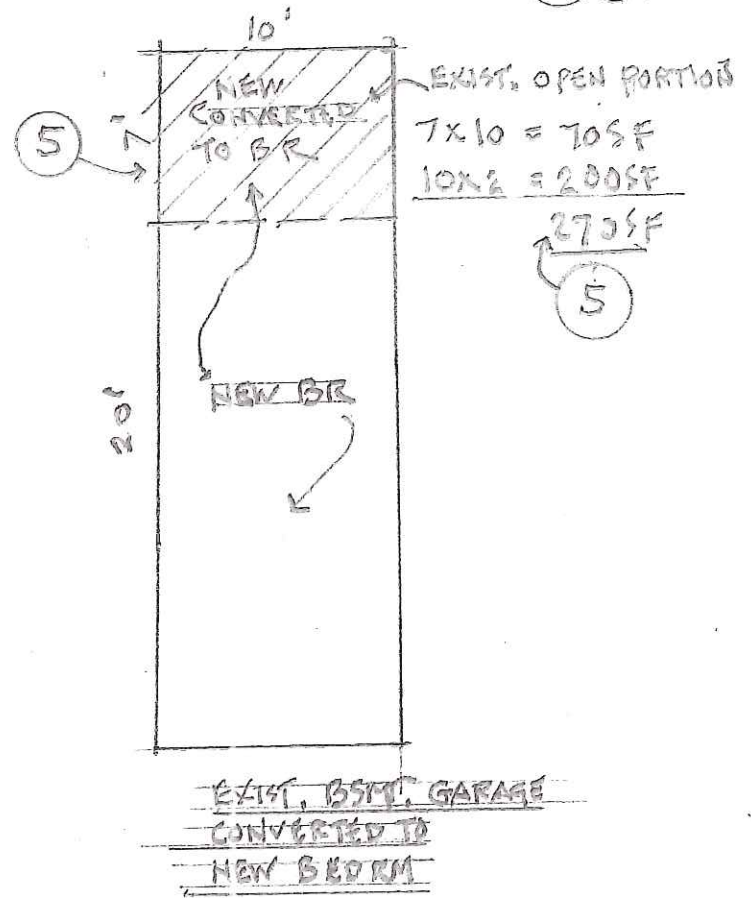
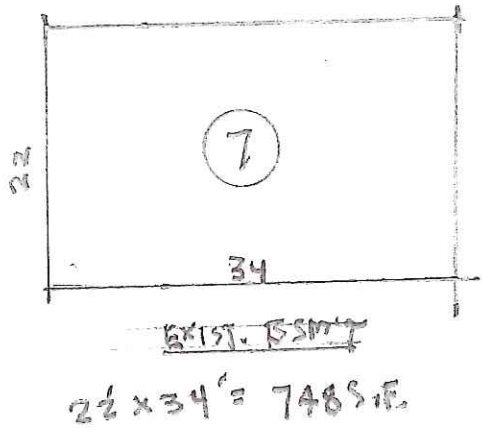


Scale: 1/16" = 1'-0"

architect JOHN B. WHALEN R.A.
61 North Street
Katonah, NY 10536
914-232-4732



DORMER BR
 10x11 = 110 SF
 PASSAGE
 24x3 = 72 SF
182 SF
 4



EXIST. BSMT GARAGE
 CONVERTED TO
 NEW BEDRM

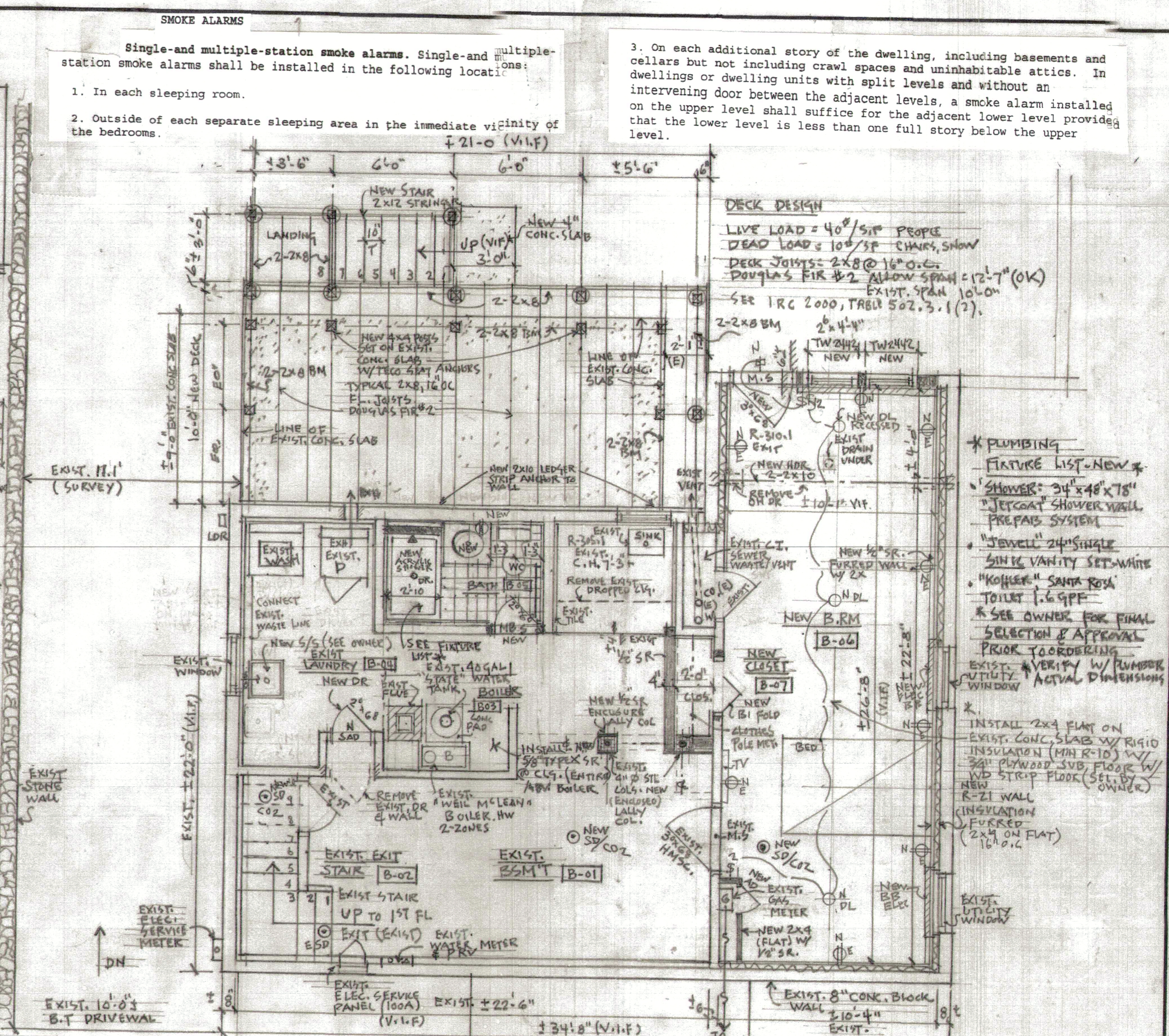
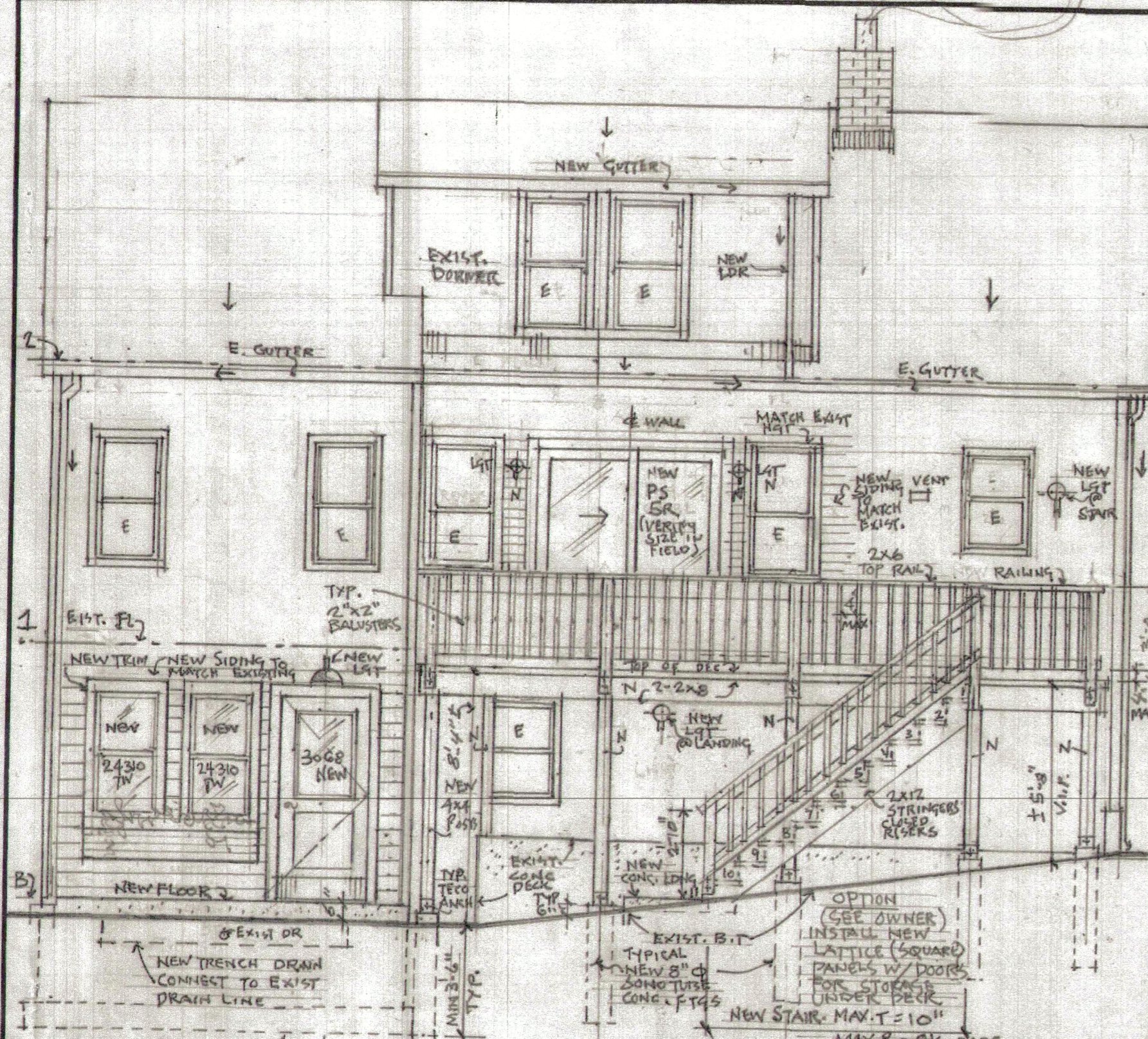
architect JOHN B. WHALEN RA
 61 North Street
 Katonah, NY 10536
 914.232.4732

SMOKE ALARMS

Single and multiple-station smoke alarms. Single and multiple-station smoke alarms shall be installed in the following locations:

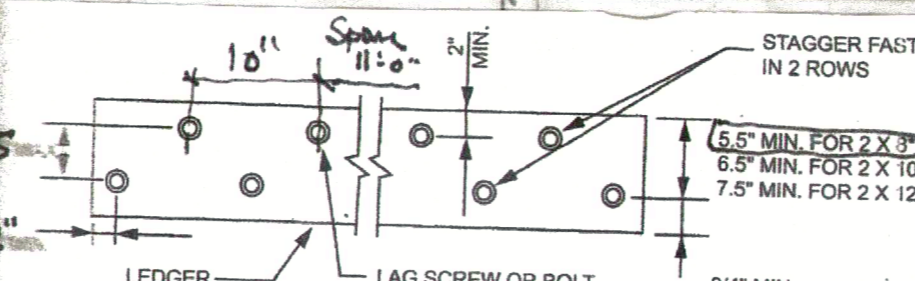
1. In each sleeping room.
2. Outside of each separate sleeping area in the immediate vicinity of the bedrooms.

3. On each additional story of the dwelling, including basements and cellars but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.



DECK DESIGN
 LIVE LOAD = 40' / 5' PEOPLE
 DEAD LOAD = 10' / 5' CHAIRS, SNOW
 DECK JOISTS = 2x8 @ 16" O.C.
 DOUGLAS FIR #2 ALLOW SPAN = 12'-7" (OK)
 EXIST. SPAN 10' 0"
 SEE IRC 2000, TABLE 502.3.1(2).

- * PLUMBING**
- FIGURE LIST - NEW *
 - SHOWER: 34" x 48" x 78"
 - JETCOAT SHOWER WALL PREPARED SYSTEM
 - JOWELL 24" SINGLE SINK VANITY SET - WHITE
 - KOHLER "SANTA ROSA" TOILET 1.6 GPF
 - SEE OWNER FOR FINAL SELECTION & APPROVAL PRIOR TO ORDERING
 - EXIST. UTILITY WINDOW
 - INSTALL 2x4 FLAT ON EXIST. CONC. SLAB W/ RIGID INSULATION (MIN R-10) W/ 3/4" PLYWOOD SUB. FLOOR W/ WD STRIP FLOOR (SEL. BY OWNER)
 - R-21 WALL INSULATION FURRED (2x4 ON FLAT) 16" O.C.



"DISTANCE SHALL BE PERMITTED TO BE REDUCED TO 4.5" IF LAG SCREWS ARE USED OR BOLT SPACING IS REDUCED TO THAT OF LAG SCREWS TO ATTACH 2 X 8 LEDGERS TO 2 X 8 BAND JOISTS.

LEGGER (2015) FIGURE R507.2.1(1) IRC CODE

- LEGEND**
- EXISTING CONSTRUCTION
 - REMOVE EXISTING
 - NEW CONSTRUCTION
 - V.I.F. VERIFY IN FIELD
 - NEW SMOKE DETECTOR / CO2 COMB.
 - MB/MS MARBLE SADDLE / MET. SADDLE
 - NEW GFI @ SINK (BATH RM)
 - NEW DUPLEX OUTLET
 - NEW SWITCH
 - NEW CEILING DOWN LIGHTS, RECESSED

BASEMENT FINISH SCHEDULE

SPACE NO.	FLOOR	FINISH	BASE	HEIGHT	WALLS	CEILING	REMARKS
BASEMENT B-01	EXIST SR	EXIST WD	24"		SR PAINT	SR PAINT 27'-6"	
EXIST STAIR B-02	EXIST	EXIST WD	24"		EAST	SR EXIST EXIST	
EXIST BOILER B-03	EXIST CONC	EXIST	14"		EXIST SR	NEW 5/8" SR EXIST 5'-0"	TYPE X SR. FIRE
EXIST LAUNDRY B-04	EXIST	EXIST			EXIST	EXIST EXIST	
EXIST BATH B-05	NEW CT	NEW WD	34"		NEW CT	EXIST EXIST	PATCH AS FORD
NEW BR B-06	NEW SR	NEW WD	34"		PAINT/INSUL	SR PNT 37'-6"	INSUL. R-21 WALLS
NEW CLOSET B-07	NEW	NEW	4"		NEW SR/PNT	SR PNT EXIST	
EXIST. WB B-08	EXIST	EXIST	EXIST		EXIST	EXIST PAINT EXIST	REMOVE EXIST DED



M/M JOEL BELTRAN
 22 GENERAL HEATH AVE, NORTH CASTLE, NY 10603

SCALE: 1/4" = 1'-0" **BASEMENT PLAN** DRAWN BY JDW
 DATE: OCT. 2022 REAR ELEVATION SECTION REVISED

ALTERATIONS TO EXISTING BSMT & 1ST FL

John D. Whalen, RA, Architect
 61 North Street, Katonah, NY 10536. 914-232-4732

DRAWING NUMBER **A-2**

Specifications

GENERAL CONSTRUCTION NOTES

- ALL WORK TO BE CONSIDERED NEW UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, NOTES AND CONDITIONS AT SITE BEFORE ANY CONSTRUCTION WORK IS STARTED. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT. NO WORK OR ORDERING OF MATERIAL MAY BE STARTED UNTIL ALL DIMENSIONAL ITEMS HAVE BEEN RESOLVED. THE CONTRACTOR SHALL ASSUME FULL AND UNDIVIDED RESPONSIBILITY FOR THE ACCURACY, FIT AND STABILITY OF ALL PARTS OF THE WORK.
- CONTRACTOR SHALL VISIT THE SITE TO THOROUGHLY FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS. IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY OR CONDITION THAT IS NOT IN CONFORMANCE WITH THESE DRAWINGS.
- NO PLANS SHALL BE SCALED; DIMENSIONS SHALL BE USED.
- ALL LABOR, MATERIALS AND INSTALLATIONS MUST COMPLY WITH THE CODES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCY WHICH EXISTS BETWEEN THE REQUIREMENTS BY THE PLANS AND SPECIFICATIONS, AND SAID CODES, RULES AND REGULATIONS, IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING FOR RESOLUTION.
- THE CONTRACTOR SHALL PROVIDE RIGID AND SOLID DUST PARTITIONS CLOSING OFF WORK AREA FROM BALANCE OF HABITABLE SPACES WITHIN EXISTING BUILDING.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION OF EXISTING WORK AND NEWLY ADDED WORK.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
- THE CONTRACTOR SHALL REPAIR AND RESTORE TO ITS ORIGINAL CONDITION ALL WORK AND ITEMS DAMAGED AS A RESULT OF BUILDING OPERATIONS AND SHALL LEAVE THE WORK COMPLETED TO THE TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION WHILE PERFORMING ALL WORK SPECIFIED UNDER THIS CONTRACT.
- ANY DISTURBANCE OR DAMAGE TO THE EXISTING BUILDINGS OR UTILITIES RESULTING EITHER DIRECTLY OR INDIRECTLY FROM THE ANY DISTURBANCE OR DAMAGE TO THE EXISTING BUILDINGS OR UTILITIES RESULTING EITHER DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THIS CONTRACT SHALL BE PROMPTLY REPAIRED, RESTORED OR REPLACED.
- ALL TRANSITION OF NEW WORK TO EXISTING (WALLS, FLOORS, AND CEILINGS) WORK SHALL BE CAREFULLY DONE. EXISTING CONSTRUCTION SHALL BE REPAIRED AS NEEDED AND PATCHED TO MATCH FINISHES OF ADJACENT SURFACES.
- CONTRACTOR SHALL COORDINATE THE WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ALL NECESSARY OPENINGS AND PENETRATIONS THROUGH WALLS, CEILING AND FLOOR. OPENINGS SHALL BE REINFORCED AS REQUIRED.
- ALL EXPOSED PIPES, CONDUITS OR DUCTS IN FINISHED AREAS, WHETHER SHOWN ON DRAWINGS OR NOT, SHALL BE FURRED OUT WITH GYPSUM BOARD.
- ALL PLUMBING, ELECTRICAL AND MECHANICAL WORK WHICH WILL BE ABANDONED FOR PROPOSED CONSTRUCTION WORK SHALL BE CUT BACK, CAPPED AND SAFED-OFF AS REQUIRED.
- ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C., ETC.) WHERE APPLICABLE. ALL MATERIALS INCORPORATED INTO WORK MUST BE NEW.
- LOCATION OF ACCESS DOORS SUPPLIED BY MECHANICAL TRADES AND INSTALLED BY GENERAL CONTRACTOR SHALL BE DETERMINED IN THE FIELD THROUGH COORDINATION OF TRADES. LOCATION OF LIGHT FIXTURES SHALL GOVERN POSITION OF DUCTS AND PIPES FOR WHICH ACCESS DOORS ARE REQUIRED. ACCESS DOORS SHALL NOT BE PLACED IN AN INACCESSIBLE POSITION OR IN THE WAY OF LIGHTS, GRILLES, REGISTERS, CONCEALED BY CASEWORK, ETC.

- ANY INTERRUPTION OF EXISTING SERVICES MUST BE COORDINATED WITH THE OWNER.
- IN ALL ROOMS AND/OR AREAS OF EXISTING BUILDING CONTRACTOR SHALL DO ALL NECESSARY CUTTINGS, REPAIRS, PATCHING, OR REPLACING OF EXISTING FLOORS, BASES, WALLS, CEILINGS, ETC. SO AS TO LEAVE SUCH ROOMS AND OR SPACES IN A NEAT AND ORDERLY FASHION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITY LINES WHETHER IN PUBLIC RIGHT-OF-WAY, IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION AND SHALL BE RESPONSIBLE FOR SAME. CODE 53.
- THE TOWN ENGINEER, AT HIS DISCRETION, MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF HE DEEMS IT APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

HEATING AND COOLING:

- As per Sections A-504-1b, A-501 N.Y.S.B.C. & E.-402.2, N.Y.S.E.C.C. & A.S. R.A.E. Standards. Design criteria as per Section 201.0 N.Y.S.E.C.C. (maximum indoor heat @ 68°F and minimum indoor cooling @ 78°F) with approved numeral setting thermostats one per zone, one per floor minimum.
- Apparatus for H.V.A.C. and service water heating as per Section E-403, E-404, type, size and controls to meet the standards and requirements of N.Y.S.E.C.C.

ELECTRICAL:

- As per Section A-501 N.Y.S.E.C.C., lighting-power budget and density criteria for visual tasks and areas as per Table 4-13 of N.Y.S.E.C.C., Distribution as per N.E.C.A. and local laws.
- Provide split switching for all areas in excess of 500 sq. ft.

PLUMBING:

- As per Section A-502-1a, b, c of N.Y.S.B.C., E-404 N.Y.S.E.C.C. and all local plumbing code requirements.
- Sanitary sewer disposal systems to comply with local Dept. of Health regulations.

ENERGY CODE:

- Design criteria as per Section E-202, 2A 2B, Section and Table E-202-1A and 2.2.
- The "R" and "U" values indicated on the typical section details for the various materials and insulation are such that the "U" value for the envelope sub-system does not exceed the thermal transmittance values as noted in Table Numbers 4.1 and 4.2 of Section E-402.0 and Table 5.1 of Section E-502.2 (6050° days).
- Exterior doors to be insulated, weatherstripped, frames caulked and maximum I.C.F.M. air infiltration and "U" value of .40.
- Windows to be insulated glazing in wood frame or thermal break metal frames. Maximum "Ug" = .69, maximum air infiltration 5 c.f.m. sash to be weatherstripped and frames caulked.

CODES:

- These plans are prepared in compliance with the minimum standards of the New York State Building Construction and Energy Conservation Codes and are subject to local regulatory agencies. All work is to conform to these codes and all requirements of the local Department of Health.

ENERGY CODE:

Design criteria as per Section E-202, 2A 2B, Section and Table E-202-1A and 2.2.

The "R" and "U" values indicated on the typical section details for the various materials and insulation are such that the "U" value for the envelope sub-system does not exceed the thermal transmittance values as noted in Table Numbers 4.1 and 4.2 of Section E-402.0 and Table 5.1 of Section E-502.2 (6050° days).

Exterior doors to be insulated, weatherstripped, frames caulked and maximum I.C.F.M. air infiltration and "U" value of .40.

Windows to be insulated glazing in wood frame.

Maximum "Ug" = .69, maximum air infiltration 5 c.f.m. sash to be weatherstripped and frames caulked.

These plans are prepared in compliance with the minimum standards of the New York State Building Construction and Energy Conservation Codes and are subject to local regulatory agencies. All work is to conform to these codes and all requirements of the local Department of Health.

ENERGY CONSERVATION NOTES

ENERGY CONSERVATION CONSTRUCTION CODES THAT ARE MORE STRINGENT IN THEIR REQUIREMENTS THAN THE NEW YORK STATE ENERGY CONSERVATION CODE SHALL APPLY AND BE IMPLEMENTED WHEREVER REQUIRED. (E104.2)

CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ALL THE APPLICABLE LAWS ORDINANCES, RULE AND REGULATIONS OF THE NEW YORK STATE ENERGY CODE AND SHALL PROVIDE ALL THE CRITERIA AS OUTLINED IN THIS GENERAL NOTE AS PERTAINED TO RELATED EQUIPMENT, MATERIALS AND THEIR INSTALLATION AT JOB SITES.

ALL INSULATIONS SHALL BE OF NON-COMBUSTIBLE MATERIALS. ALL COVERINGS VAPOR BARRIERS AND ADHESIVE SHALL HAVE A FLAME SPREAD RATING NO HIGHER THAN 25 AND A SMOKE DEVELOPED RATING NO HIGHER THAN 50.

ALL PIPING INSTALLED TO SERVICE BUILDINGS WITHIN BUILDING SHALL BE THERMALLY INSULATED AS PER TABLE 4-5 OF NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

ELECTRICAL DISTRIBUTION, LIGHTING POWER BUDGET, UNIT POWER DENSITY AS PER SECTIONS E405.2, E405.3, TABLES 4-13D AND TABLE 4-13E NYSECC.

ALL EQUIPMENT SHALL BE IDENTIFIED TO INDICATE COMPLIANCE WITH NYSECC.

MAXIMUM HEATING TEMP. SETTING N.Y. STATE 72°F.

MINIMUM COOLING TEMP. SETTING N.Y. STATE 78°F.

MAXIMUM DESIGN RELATIVE HUMIDITY SHALL BE 50%.

DESIGN PROFESSIONAL STATES THAT TO THE BEST OF HIS KNOWLEDGE AND PROFESSIONAL JUDGEMENT THE DESIGN IS IN CONFORMANCE WITH THE ENERGY CODE.

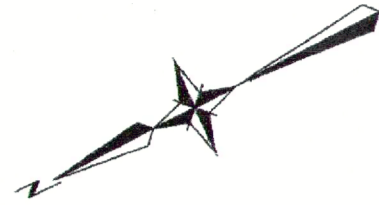
SAFETY NOTES

- REQUIRED EGRESS NOT TO BE IMPEDED DURING COURSE OF CONSTRUCTION.
- SECURITY AND FIRE SAFETY SHALL BE MAINTAINED DURING COURSE OF CONSTRUCTION WORK.
- WHERE STRUCTURAL WORK IS TO BE DONE, SAFETY OF OCCUPANTS SHALL BE MAINTAINED.
- DUST CREATED DURING THE COURSE OF CONSTRUCTION SHALL BE CONTAINED AND KEPT UNDER CONTROL.
- NOISE TO BE CONTROLLED DURING ALL WORKING HOURS.
- THE WORK SHALL BE SO PERFORMED, AND SUCH TEMPORARY FACILITIES AND UTILITIES FURNISHED, AS NOT TO INTERFERE WITH ACCESS TO ANY OCCUPIED PARTS OF THE EXISTING BUILDING AND SO AS TO CAUSE THE LEAST POSSIBLE INTERFERENCE WITH THE OPERATION OF THE BUILDING OF ESSENTIAL SERVICES THEREOF. THE CONTRACTOR SHALL WORK OUT A TIME SCHEDULE WITH THE OWNER AND OBTAIN WRITTEN APPROVAL OF THE OWNER TWO (2) WEEKS IN ADVANCE OF WORK WHICH MAY OR WILL CAUSE INTERFERENCE.
- WHEN INSTALLATION OF PARTIAL OR NEW SYSTEM REQUIRES SHUTDOWN OF AN OPERATING SYSTEM, THE CONNECTION TO THE SYSTEM SHALL BE PERFORMED ONLY AFTER WRITTEN NOTIFICATION OF ESTIMATED SHUTDOWN PERIOD HAS BEEN APPROVED BY OWNER.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR ALL PARTS OF THE EXISTING BUILDING, ITS CONTENTS AND OCCUPANTS.
- PROPER PROTECTION SHALL BE PROVIDED AROUND ALL AREAS IN WHICH DEMOLITION OR NEW WORK IS TO BE CARRIED SO AS TO PREVENT DIRT, OR DUST FROM ENTERING ACTIVE PORTIONS OF THE BUILDING. PROTECTIVE MEASURES SHALL CONSIST OF DUST-TIGHT STUD AND PLYWOOD PARTITIONS.
- ALL RUBBISH AND DEBRIS SHALL BE COLLECTED AND REMOVED FROM THE SITE BY THE CONTRACTOR ON A DAILY BASIS. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE WITHIN THE WORK AREA, PORTIONS OF THE BUILDING ADJACENT TO THE WORK AREA OR ANYWHERE ON THE SITE.



M/M JOEL BELTRAN 22 GENERAL HEATH AVE, N. CASTLENY		APPROVED BY: SPECIFICATIONS	DRAWN BY: DW
SCALE: -	DATE: OCT. 2022	REVISION: -	
ALTERATIONS TO EXIST. BSMT/FIRST & DECK			
John D. Whalen, RA, Architect 61 North Street, Katonah, NY 10536. 914-232-4732			DRAWING NUMBER T-1

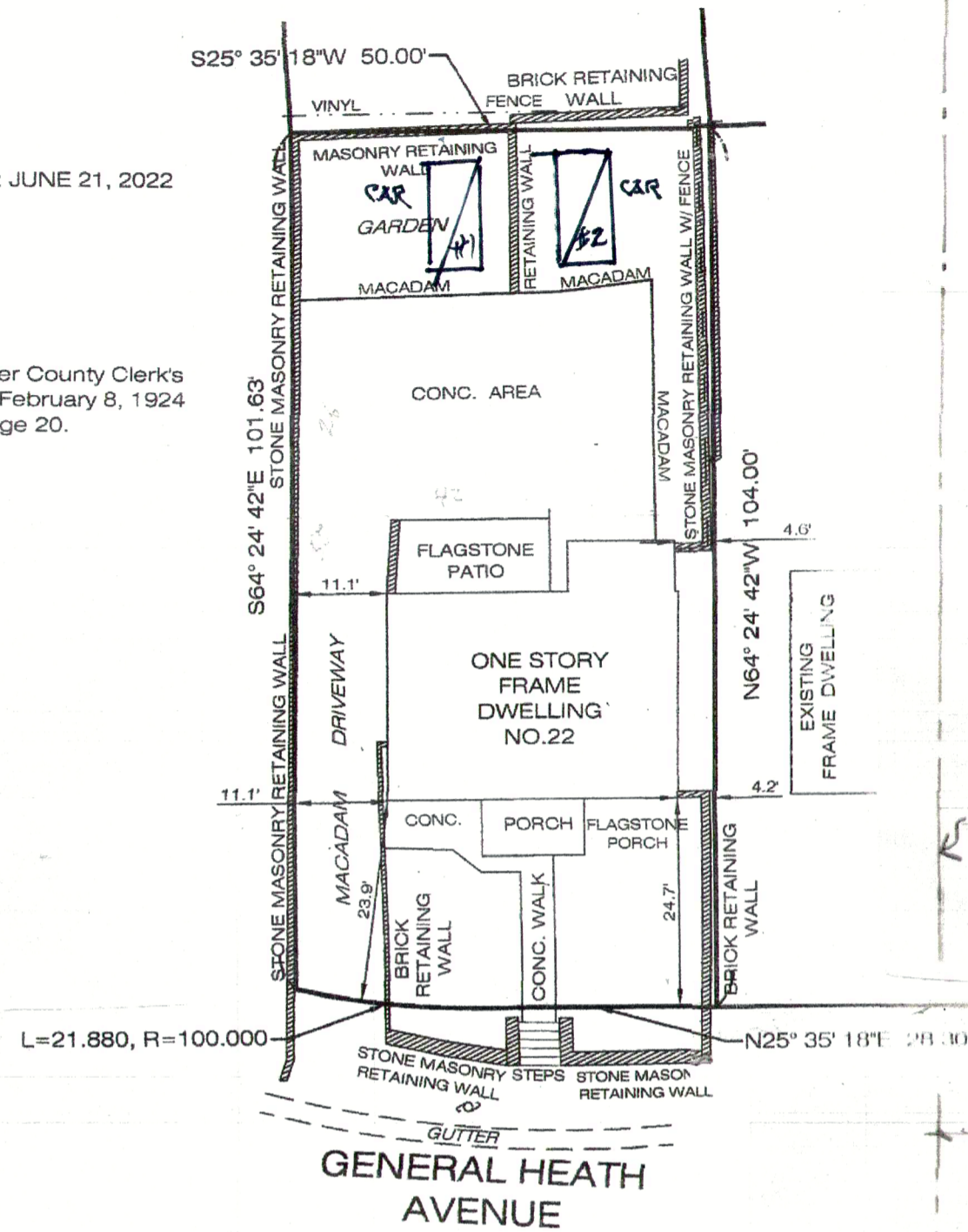
**SURVEY OF
TAX LOT No. 4 - BLOCK 3**
LOCATED IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK.



SCALE: 1" = 20'

DATE: JUNE 21, 2022

Said "Map" is filed in the Westchester County Clerk's office, Division of Land Records, on February 8, 1924 as R.O. Map number Volume 57 Page 20.



GENERAL HEATH AVENUE

SURVEY PLAN

GABRIEL E. SENOR, P.C.

CONSULTING ENGINEER • LAND SURVEYORS
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530
(914) 422-0070 FAX 421-3009

Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on June 21, 2022, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

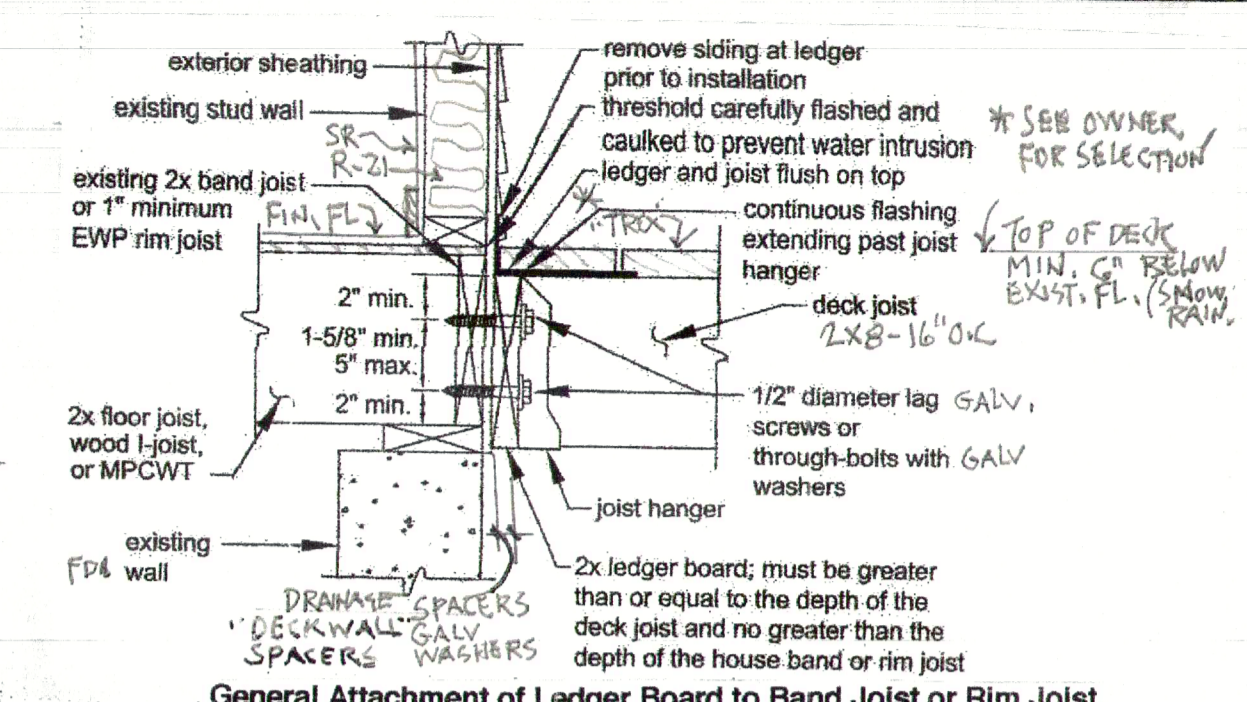
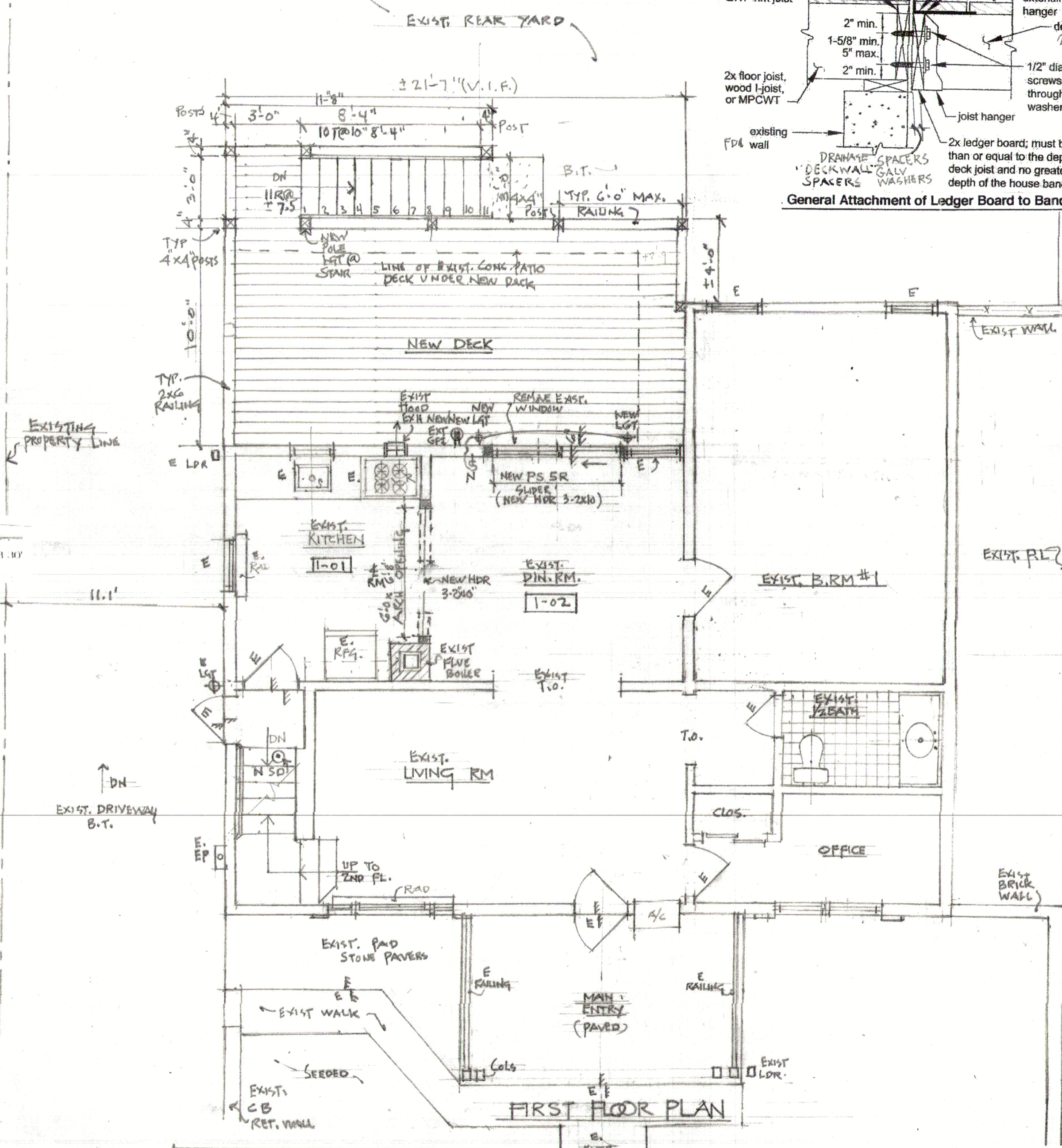
Eliot Senor, L.S. New York State Lic. No. 049822

Copies of the survey map not bearing the land surveyor's original blue signature and embossed seal shall not be considered to be a true and valid copy. Copyright Gabriel E. Senor, P.C., 2022. ALL RIGHTS RESERVED.

A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed. Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law



1st FLOOR FINISH SCHEDULE

SPACE	NO.	FLOOR			WALLS	CEILING		REMARKS
		FINISH	BASE	HGT		TYPE	FINISH HGT.	
EXIST. KITCHEN	1-01	EXIST.	EXIST.	EXIST.	SR. PAINT	SR	PAINT 8'6"	NEW FINISHES TO MATCH EXIST.
EXIST. DIN. RM.	1-02	EXIST.	EXIST.	EXIST.	SR. PAINT	SR	PAINT 8'6"	" " " " " "



JOEL BELTRAN
22 GENERAL HEATH AV, GREENSBURGH, N.Y. 10603

SCALE: 1/8" = 1'-0" APPROVED BY: **JOEL BELTRAN**
DATE: OCT. 2022 **FIRST FLOOR PLAN** DRAWN BY: **JDW**
REVISED: —

NEW DECK & ALTERATIONS

John D. Whalen, RA, Architect
61 North Street, Katonah, NY 10536. 914-232-4732 DRAWING NUMBER: **A-1**

