



100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240

October 7, 2022

Planning Board
Town of North Castle
15 Bedford Road
Armonk, NY 10504

Re: PATTI Residence, 30 Palmer Avenue
Off-Street Parking Space and Retaining Wall

Dear members of the Board,

Please find attached revised plans for consideration before the Planning Board for construction of One (1) off street parking space:

Sheet	Drawing Name	Last Revised
Sh. 1 of 3:	SITE PLAN & LAND COVERAGE	10/7/22
Sh. 2 of 3:	SIGHT DISTANCE & RETAINING WALL	10/7/22
Sh. 3 of 3:	DETAILS & PROFILE	10/7/22
L-100	Landscape Plan (JMC Consulting)	10/7/22

The plans have been revised as follows to address comment transmitted in review memos from the Town Planner dated 8/10/22 and Town Engineer dated 9/26/22.

Sh 1 of 3 Site Plan and land Coverage(ARQ PC): Conformance with Steep Slopes illustration. Note stating "No Tree Removal proposed with this application".

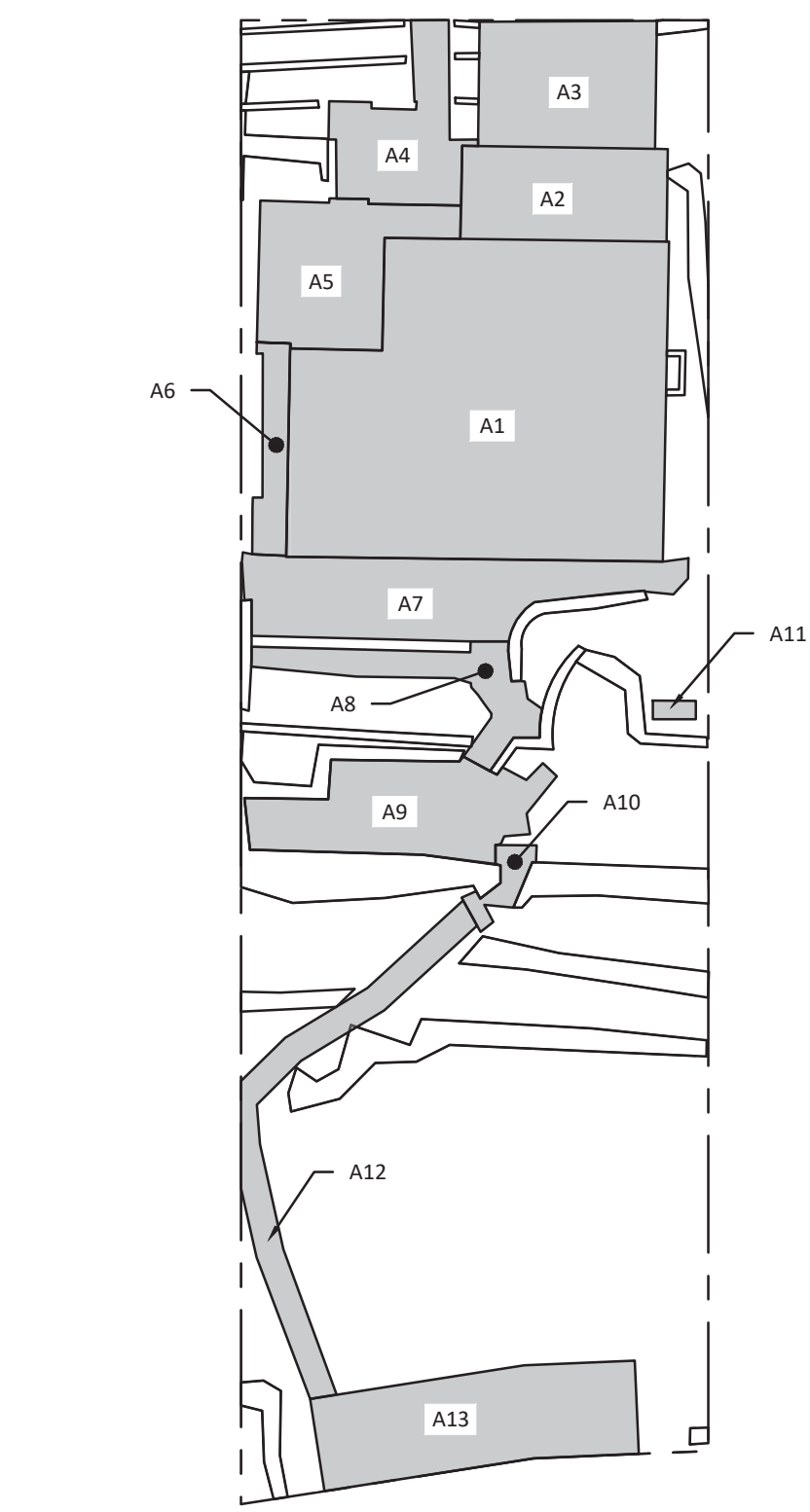
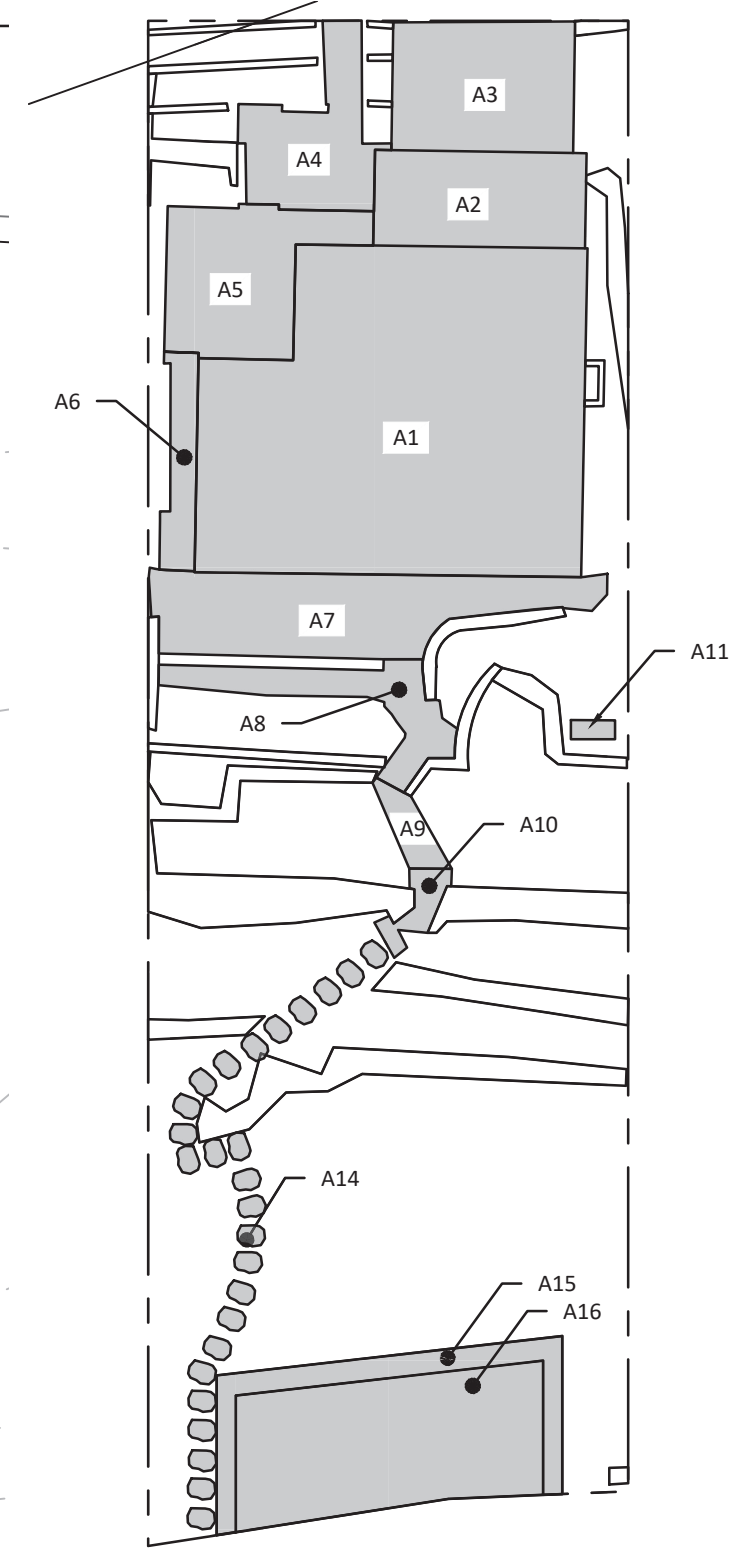
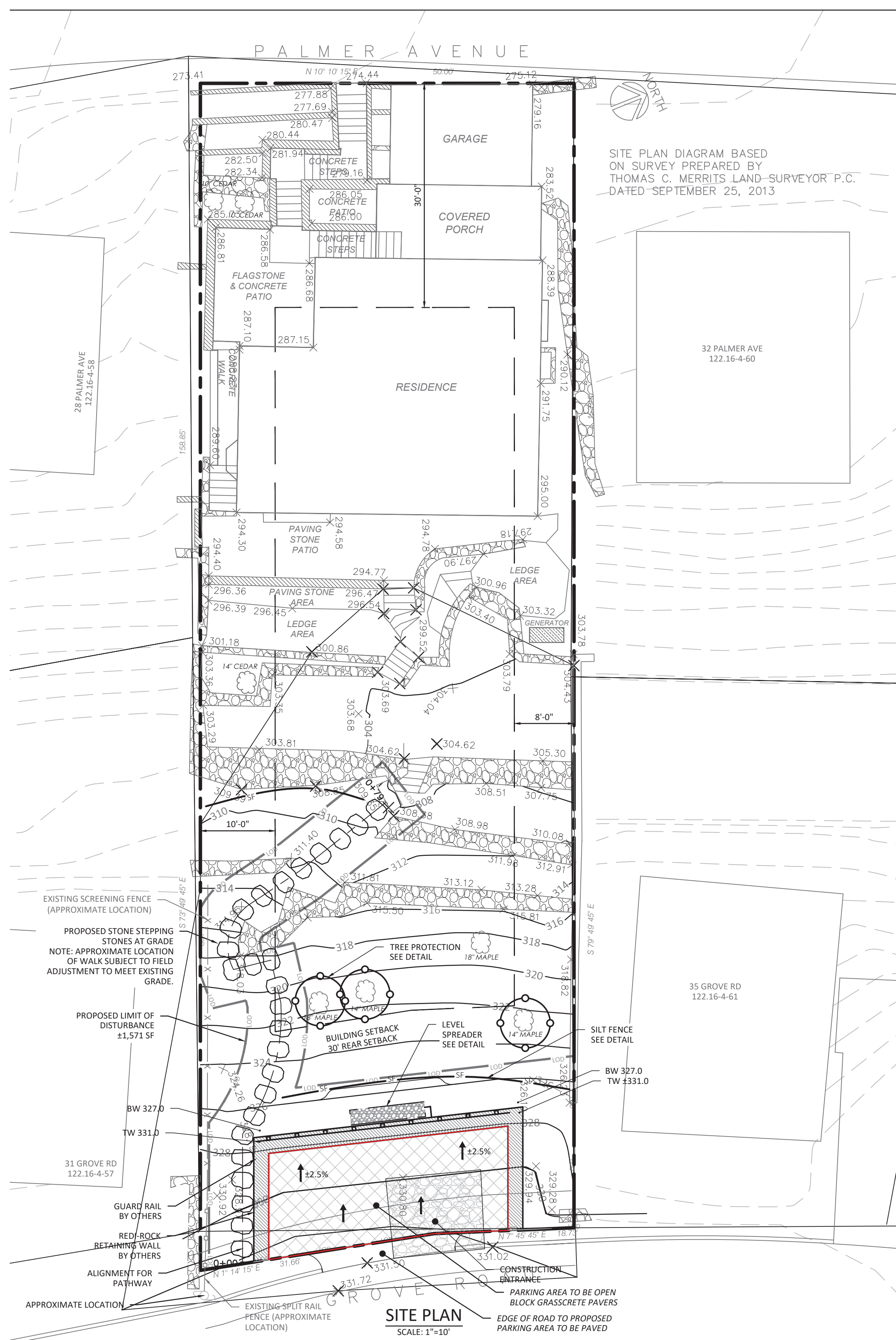
Landscape Plan (by JMC): added the walkway from the parking space to the rear of the home, as shown on the Site Plan.

Please let us know if there are any comments, appreciate the opportunity to present this application at the next Planning Board for Public Hearing.

Sincerely,

ARQ PC

Paul Berte, PE

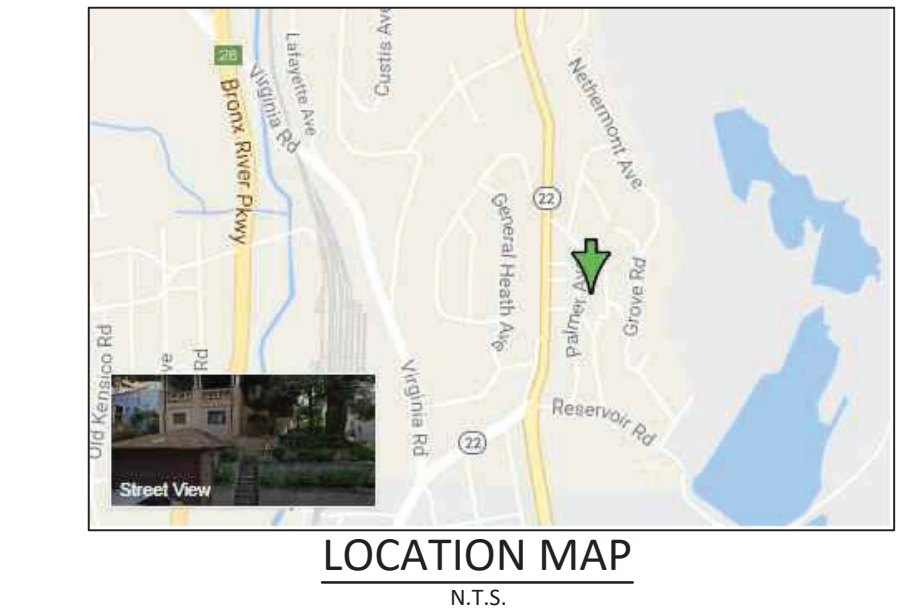


GROSS LAND COVERAGE CALCULATIONS

AREA SYMBOL	DESCRIPTION	EXISTING AREA	PROPOSED
A1	RESIDENCE	1261	1261
A2	PORCH	219	219
A3	GARAGE	256	256
A4	CONCRETE STEPS & PATIO	175	175
A5	FLAGSTONE & COCNETE PATIO	239.5	239.5
A6	CONCRETE WALK	85	85
A7	PAVING STONE PATIO	320.5	320.5
A8	PAVING STONE AREA & STEPS	127	127
A9	GRAVEL & PAVING STONE AREA	260	33
A10	STEPS	30	30
A11	EXISTING GENERATOR	9	9
A12	GRAVEL PATH	185	0
A13	EXISTING GRAVEL PARKING AREA	350	0
A14	PROPOSED WALKING PATH	N/A	134
A15	REDI-ROCK WALL	N/A	141
A16	GRASSCRETE PAVER PARKING AREA	N/A	438
TOTAL		3517	3468

ZONING ANALYSIS
 PATTI RESIDENCE | 30 PALMER AVE | SECTION 122.16 | BLOCK 4 | LOT 59
 ZONE R5

REQUIREMENTS	ALLOWABLE	EXISTING	PROPOSED
LOT AREA (SQ. FT.)	5000	7765	NO CHANGE
LOT WIDTH	50	50	NO CHANGE
MINIMUM FRONT YARD	30	N/A	NO CHANGE
MINIMUM SIDE YARD	8	N/A	NO CHANGE
SIDE YARDS COMBINED	18	N/A	NO CHANGE
MINIMUM REAR YARD	30	N/A	NO CHANGE
GROSS LAND COVERAGE (2500 SF+ 30% IN EXCESS OF 5000 SF)	3329.8	3517	3468

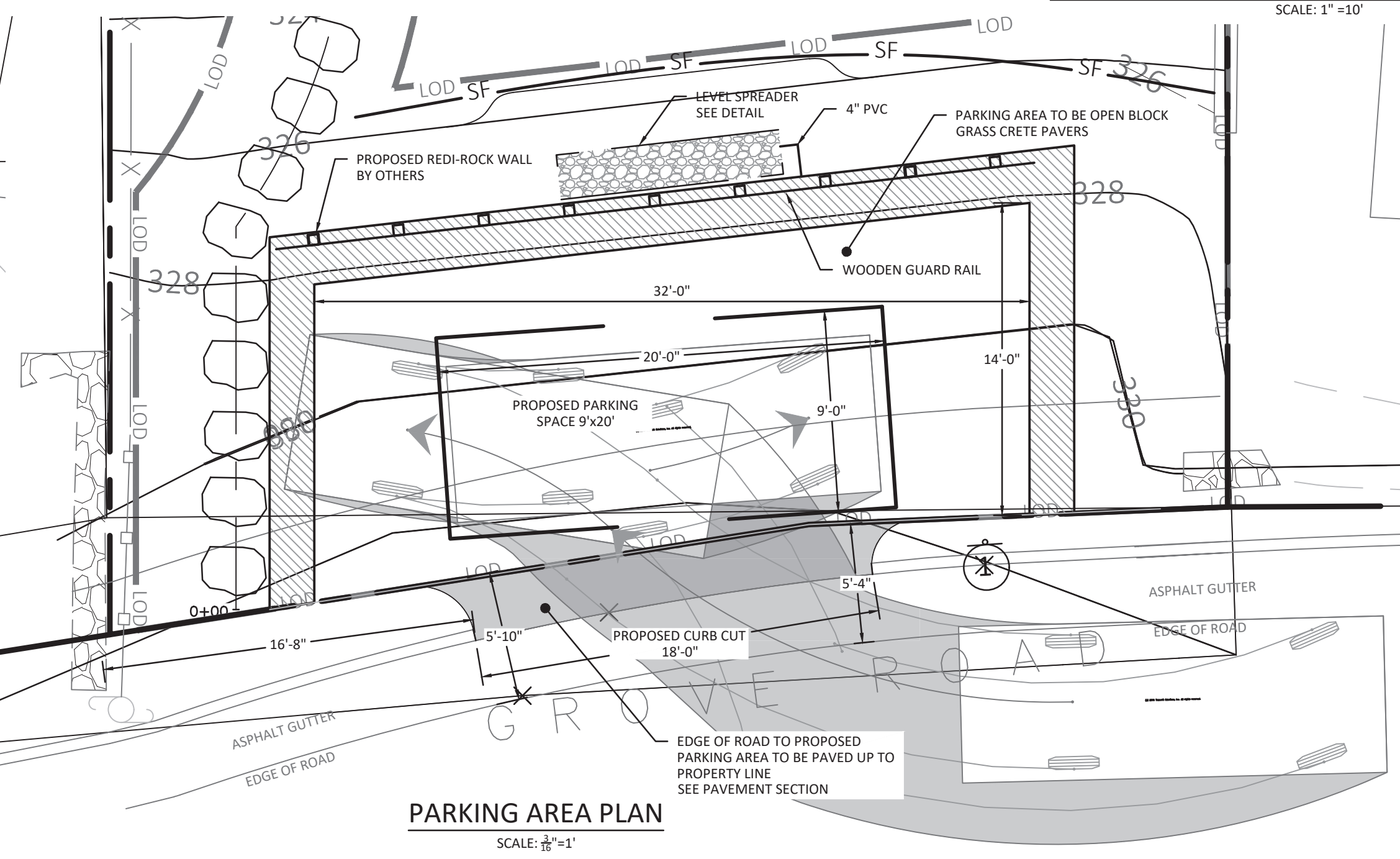
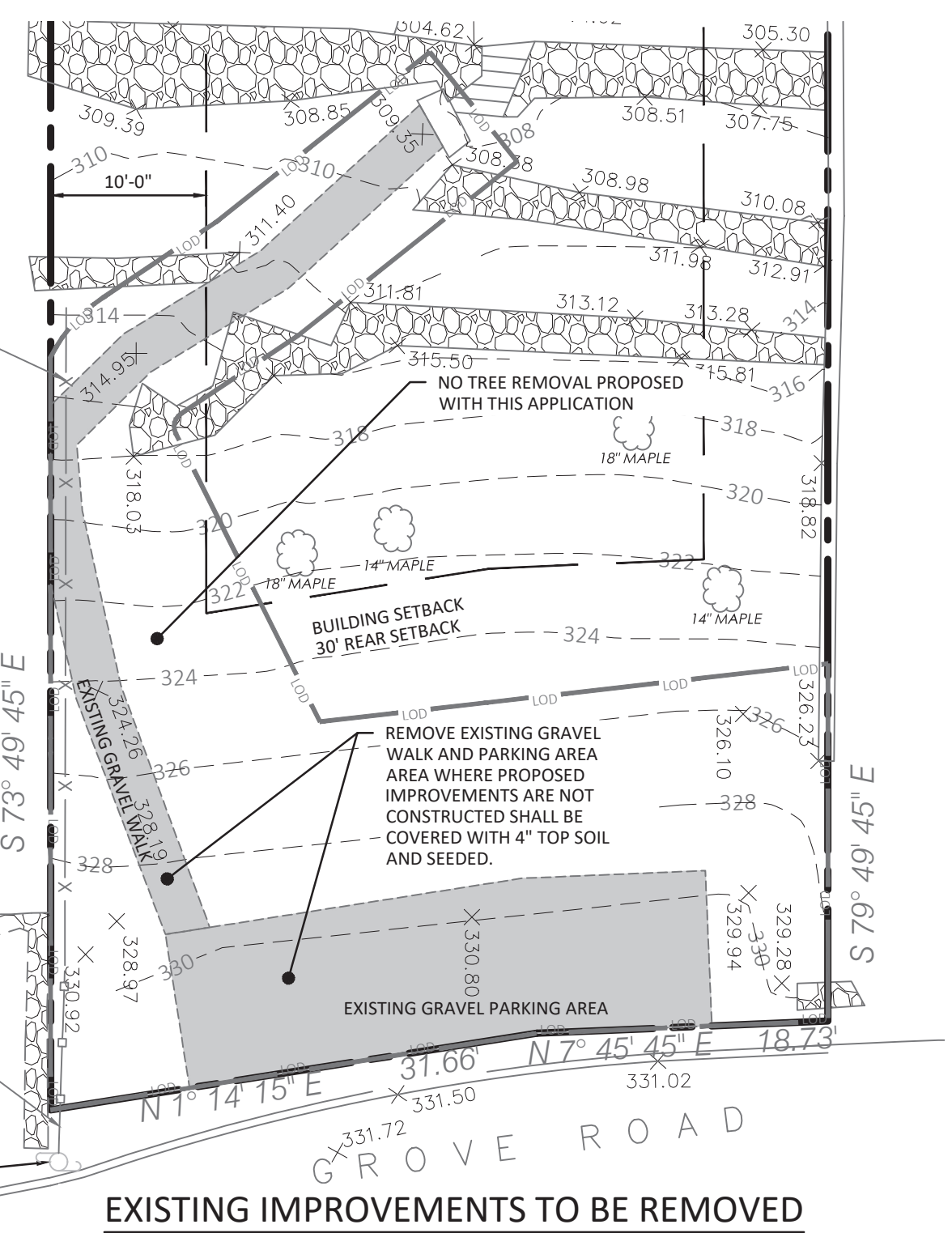
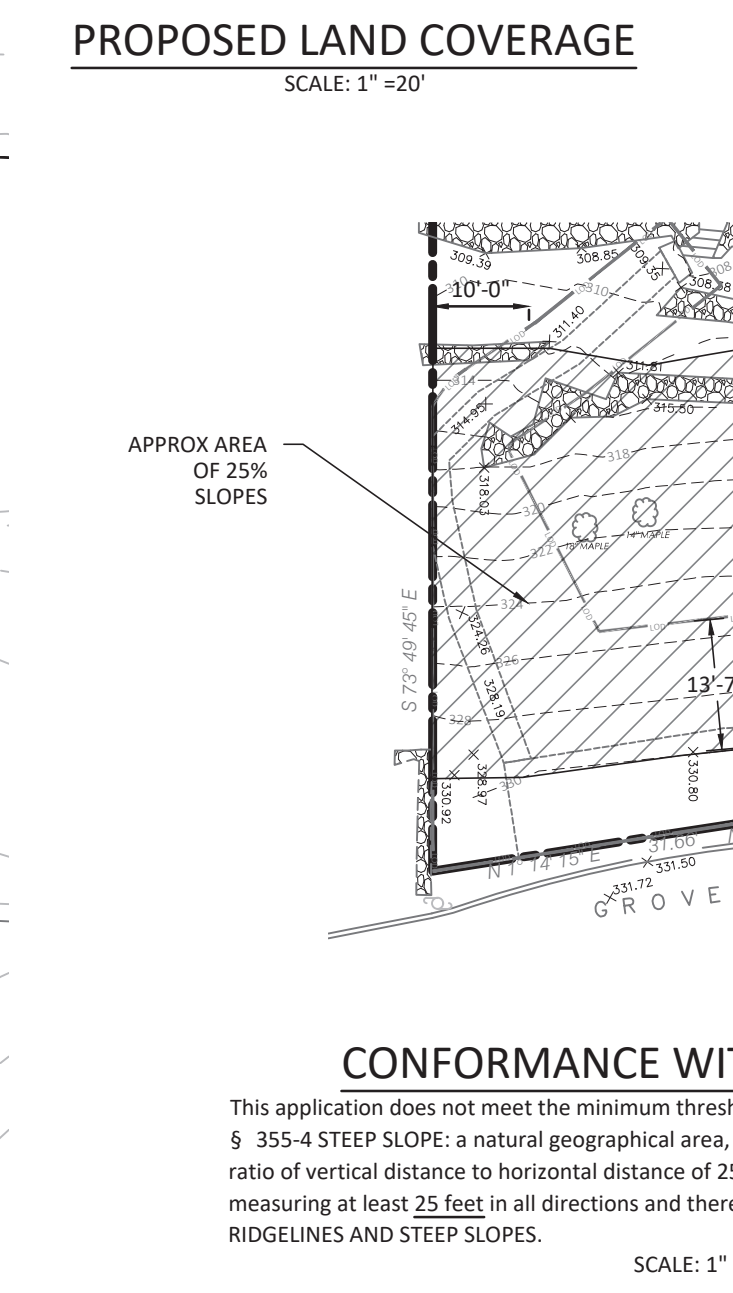


GENERAL NOTES

- THIS PLAN WAS PREPARED TO COMPLY WITH THE APPLICATION REQUIREMENT FOR BUILDING PERMIT IN THE TOWN OF NORTH CASTLE. REFER TO PLANS PREPARED BY MICHAEL MACRI FOR SPECIFICATIONS REGARDING THE PROPOSED RETAINING WALL, GUARD RAIL, AND PARKING AREA.
- EXISTING TOPOGRAPHIC AND SURVEY INFORMATION SHOWN HEREON PROVIDED BY A SURVEY PREPARED BY THOMAS C. MERRITS LAND SURVEYORS ON SEPTEMBER 25, 2013.
- EXISTING TOPOGRAPHICAL AND SURVEY INFORMATION SHOWN OUTSIDE THE PROPERTY LIMITS OF 30 PALMER AVENUE (SECTION 122.16 BLOCK 4 LOT 59) PROVIDED BY WESTCHESTER G.S.
- UNDERGROUND UTILITIES, FACILITIES AND STRUCTURES MAY NOT BE ALL SHOWN HEREON. THE LOCATIONS OF PORTIONS OF THE UNDERGROUND UTILITIES INDICATED HEREON WHERE OBTAIN FROM THE MAP REFERRED TO ABOVE AND FIELD MARK-OUTS BY THE UTILITY COMPANY PERSONNEL. THERE MAY BE OTHER UNDERGROUND UTILITIES TO WHICH THE LOCATIONS ARE CURRENTLY UNKNOWN. ANY PARTY UTILIZING THE INFORMATION AND DATA DERIVED ON THIS PLAN SHALL CONTACT "DIG SAFE, NEW YORK" AT PHONE NUMBER 1-800-962-7962 OR 811 A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES TO VERIFY THE LOCATION OF ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE. THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE A TRAINED INDIVIDUAL (CARRYING CARD/CERTIFICATION BY THE NYSDC) TO BE PRESENT ON SITE AT ALL TIMES DURING SOIL DISTURBING ACTIVITIES.

EROSION CONTROL NOTES:

- TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK.
- SUGGESTED LOCATIONS OF EROSION AND SEDIMENT CONTROL MEASURES ARE SHOWN HEREON. PLACEMENT OF BEST MANAGEMENT PRACTICES TO MANAGE SOIL EROSION AND POLLUTION PREVENTION ON SITE MAY BE MODIFIED IN THE FIELD AFTER CONSULTATION WITH THE APPROPRIATE REGULATORY AGENCY HAVING JURISDICTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PRACTICES MUST BE PROPERLY INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL BE INSPECTED AND MAINTAINED AS NEEDED TO INSURE THE CONTROLS ARE FUNCTIONING AS DESIGNED. CONTRACTOR SHALL TAKE CARE TO VISUALLY INSPECT CONTROLS, ESPECIALLY PRIOR TO PRECIPITATION EVENTS AND MAKE ANY CORRECTIONS OR PROVIDE ADDITIONAL MEASURES AS NECESSARY TO TRY TO PREVENT SEDIMENT OR POLLUTANTS FROM LEAVING THE SITE.
- CONSTRUCTION ACCESS TO EXPOSED/GRADED SOILS SHALL BE DEFINED BY THE PLACEMENT OF AN ANTI-TRACKING MANAGEMENT PRACTICE PRIOR TO THE START OF CONSTRUCTION. TRACK OUT ONTO PUBLIC STREETS SHALL BE SWEEPED DAILY AND BEFORE PRECIPITATION EVENTS.
- DISTURBED SOILS SHALL BE TEMPORARILY STABILIZED WITHIN 14 DAYS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NYSDC "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".
- THE ENGINEER MAY AT HIS DISCRETION REQUIRE ADDITIONAL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO MITIGATE UNFORESEEN EROSION AND SILTATION.
- PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATER FROM DAMAGING THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACES FILLS.
- TREES, ROOT SYSTEMS AND OTHER VEGETATION REMOVED FOR CONSTRUCTION PURPOSES SHALL BE CHIPPED OR REMOVED FROM SITE. NO ON-SITE BURIAL OR BURNING SHALL BE PERMITTED.
- DURING GRADING OPERATIONS, APPROPRIATE MEASURES FOR DUST CONTROL SHALL BE EXERCISED.
- ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT UNDESIRABLE SETTLEMENT.
- AFTER FINAL GRADES ARE ESTABLISHED, DISTURBED AREAS SHALL BE COVERED WITH FOUR INCHES OF TOPSOIL AND SEEDED; LANDSCAPE AREAS SHALL BE MULCHED.
- FOR DEWATERING ACTIVITIES: A DEWATERING PUMP SHALL BE LOCATED IN A PERFORATED TUB SURROUNDED BY FILTER FABRIC AND STONE (OR APPROVED ALTERNATIVE). CLEAN DISCHARGE SHOULD BE DIRECTED TO ONSITE DRAINAGE APPURTENANCES TO MINIMIZE EROSION OF SOILS. DISCHARGE WITH SUSPENDED SEDIMENT SHALL BE CONNECTED TO A SEDIMENT BAG ON UNDISTURBED GROUND IN A LOCATION WHERE THE DISCHARGE WILL NOT CAUSE EROSION OR FLOW OVER EXPOSED SOILS.



Construction Phasing Plan

- Construction shall be implemented in the following order:
- Erosion and sediment control (ESC) measures and Pollution Prevention (PP) implementation,
 - Install silt fences along the limit of disturbance
 - Install controlled construction access
 - Install Tree Protection
 - Install waste container - maintain rigorous site cleaning schedule to prevent debris from blowing off site.
 - Construction waste shall be stored in a dumpster and carried off-site on a regular basis
 - Allocate concrete washout areas if necessary.
 - Clearing and grubbing,
 - Strip existing gravel from existing parking area and gravel walking path.
 - Disturbed areas where construction will cease for more than 14 days will be stabilized with erosion controls, such hydro-seeding, hydro-mulch, or straw. Straw mulch shall be applied at the rate of 2 tons per acre.
 - Remove existing 24" tulip tree.
 - Excavate to subgrade elevation
 - Install dewatering practice if necessary.
 - Construct improvements
 - Final stabilization of disturbed areas
 - Install minimum 4" topsoil and final stabilize with lawn or mulch in landscape areas.
 - Remove all ESC and PP measures upon approval of design engineer and/or ESC inspector.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED _____ DATE: _____

CHRISTOPHER CATHY, CHAIRMAN,
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER

JOSEPH CERMELE, PE
 KELLARD SESSIONS, PC
 CONSULTING TOWN ENGINEERS

ARQ ARCHITECTURE P.C.
 ARCHITECTURE - PLANNING & ENGINEERING
 100 EXECUTIVE BLVD. SUITE 204
 OSSING, NY 10822
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JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973256

PAUL A. BERTE, P.E.
 100 EXECUTIVE BLVD. SUITE 204
 OSSING, NY 10822

REVISIONS	DATE	BY
LAND COVERAGE REV.	1/6/17	FEPC
PER TOWN COMMENTS	3/13/17	FEPC
REDUCED PARKING AREA	6/1/18	FEPC
LAND COVERAGE	10/18/8	FEPC
SIGHT DIST. PLAN & COM.	1/10/19	FEPC
WALL DETAIL	4/13/20	FEPC
ZONING SUBMISSION	1/19/22	ARQPC
PLANNING SUBMISSION	10/7/22	ARQPC

DRAWING TITLE:
 SITE PLAN AND LAND COVERAGE

PROJECT:
 PROPOSED PARKING SPACE
 PATTI RESIDENCE

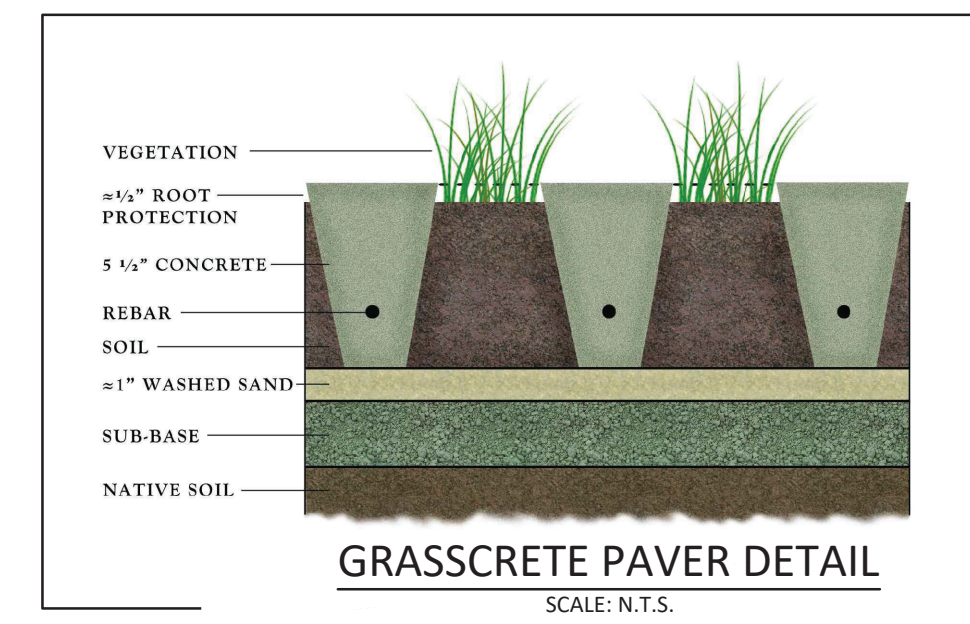
PROJECT ADDRESS:
 30 PALMER ROAD
 NORTH CASTLE, NY

PLANNING BOARD SIGNATURE:

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VIII, ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.

SEAL & SIGNATURE

DATE: 1/19/22
PROJECT NO.: 22
DRAWING BY: PB
CHECKED BY: PB
SCALE: AS SHOWN
DRAWING NO.: 1 OF 3

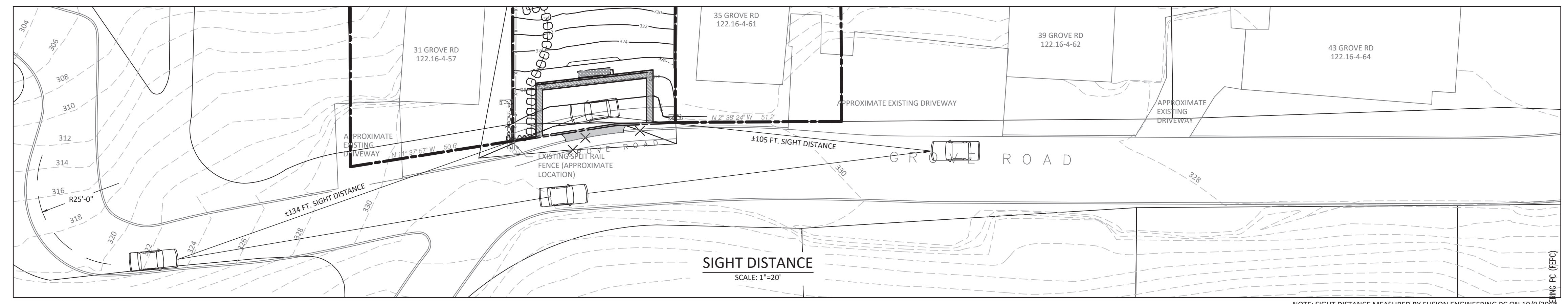


1 SIGN INSTALLED IN ACCORDANCE WITH LOCAL LAW 2, 2020 DATED 3/11/20 TO AMEND CHAPTER 325 OF THE TOWN CODE

Design speed (mph)	Minimum sight distance (ft) for specified design traffic volumes and location types	
	0-100 veh/day	100-250 veh/day
15	65	65
20	80	80
25	115	115
30	135	135
35	170	170
40	215	215
45	260	260
50	310	310
55	365	365
60	435	435

AASHTO GEOMETRIC DESIGN OF VERY LOW-VOLUME LOCAL ROADS (ADT<400)

Traffic Study performed by Adler Consulting 8/28/18 documented the measured 85th percentile speed to be 13 mph in both north and southbound direction on Grove Road.



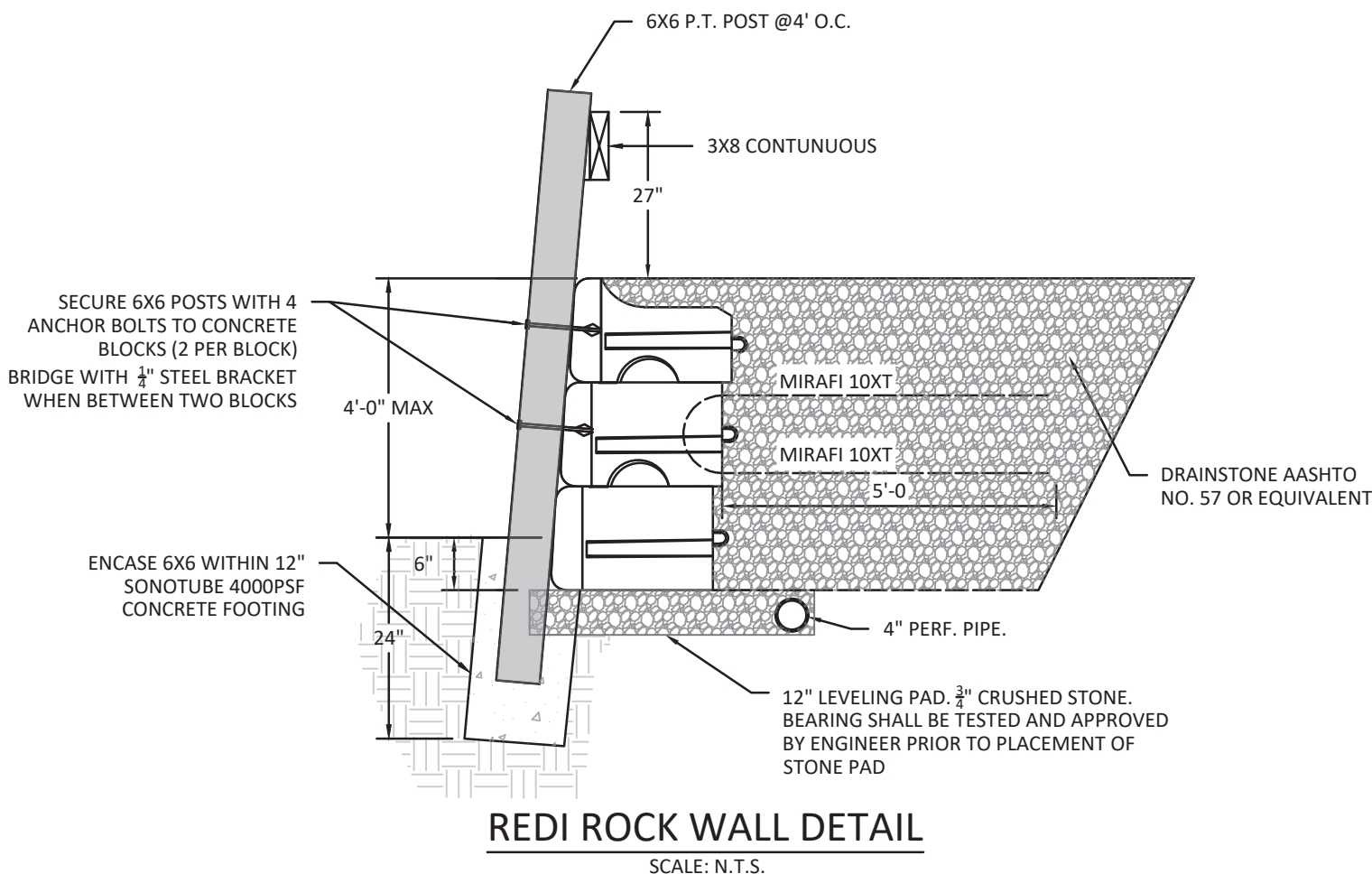
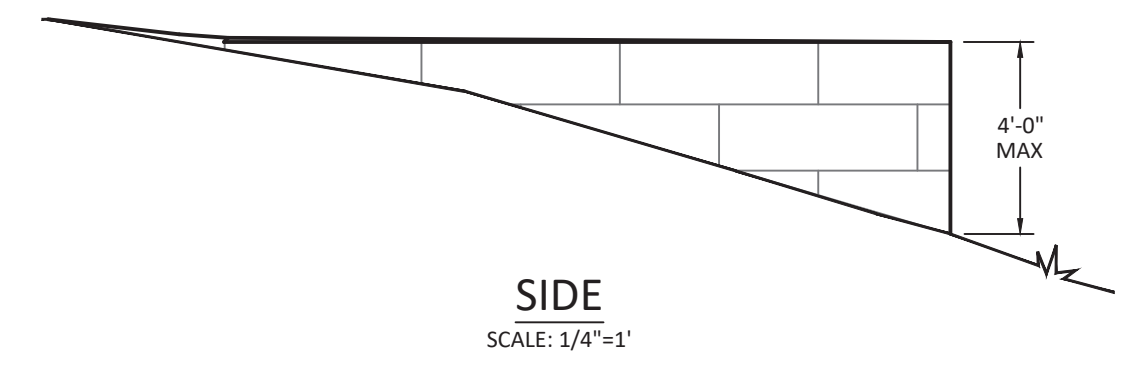
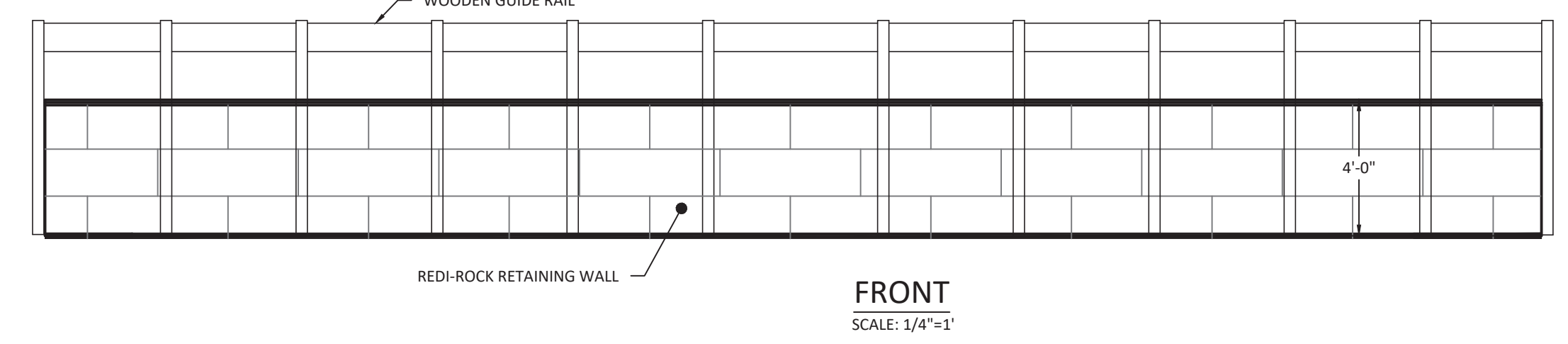
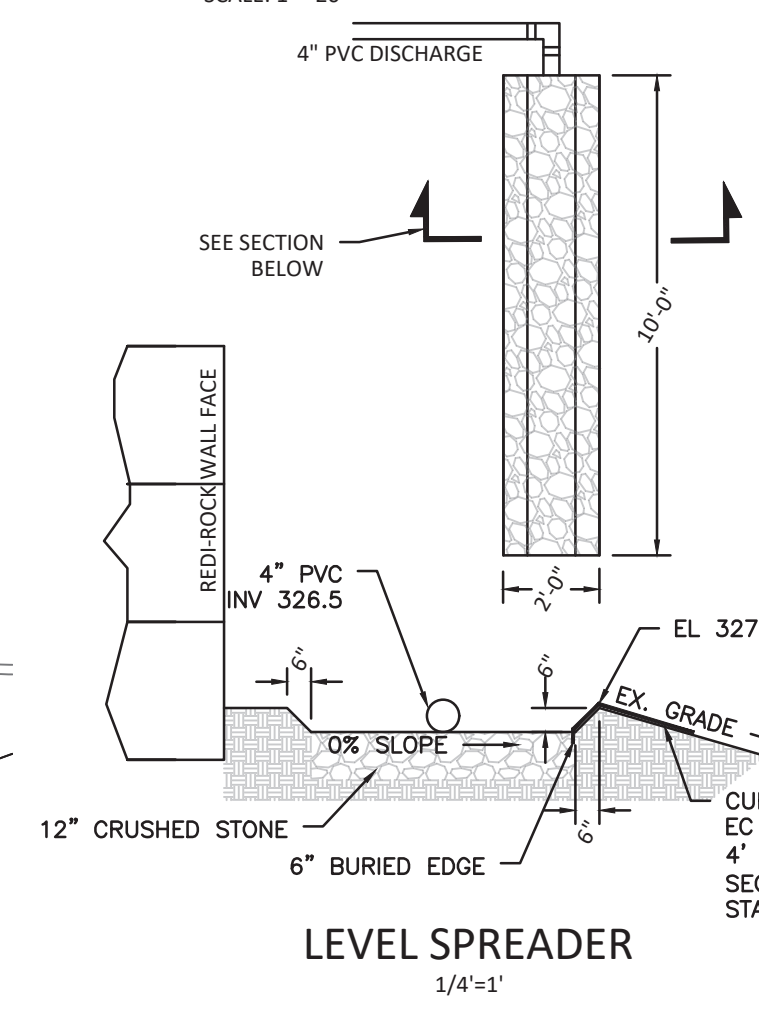
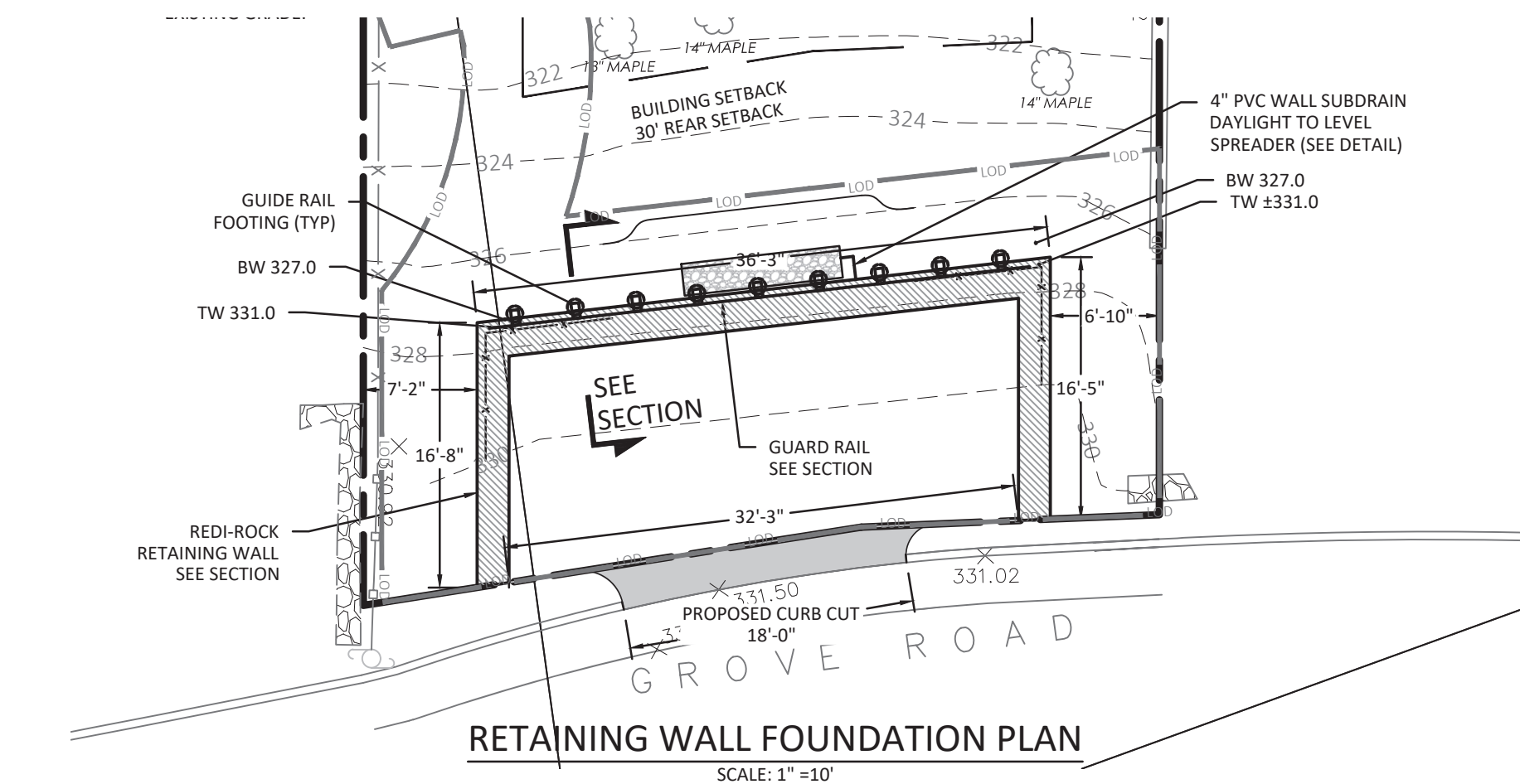
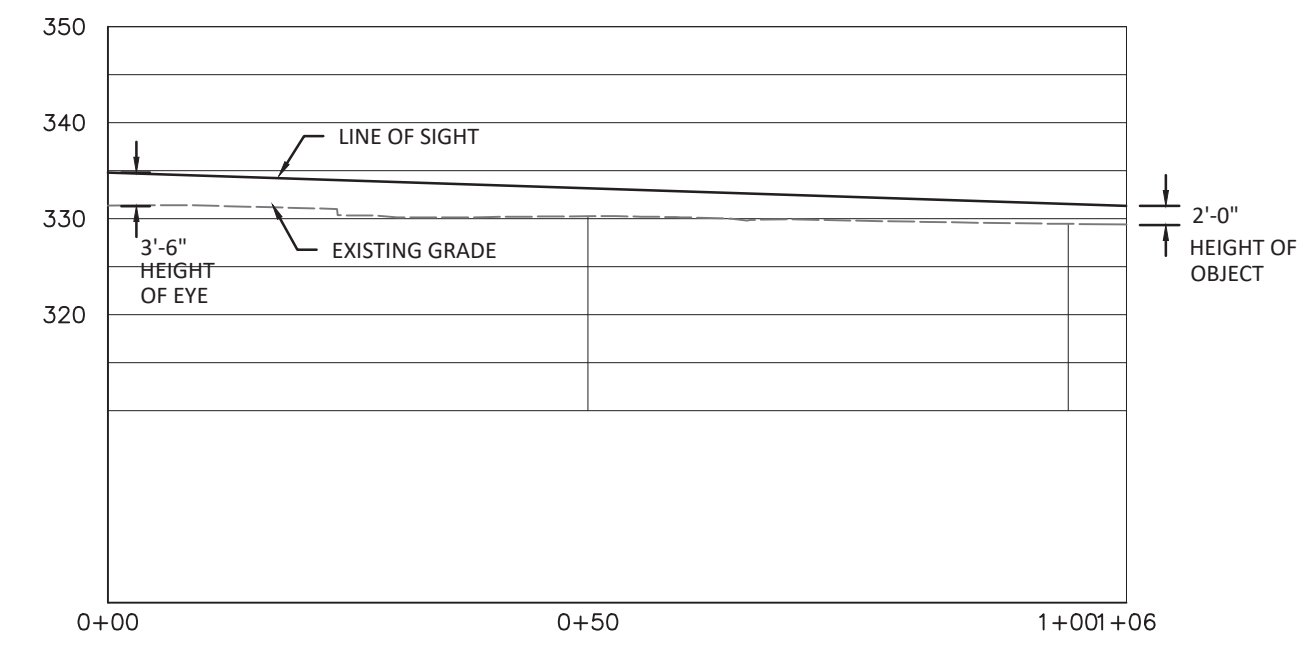
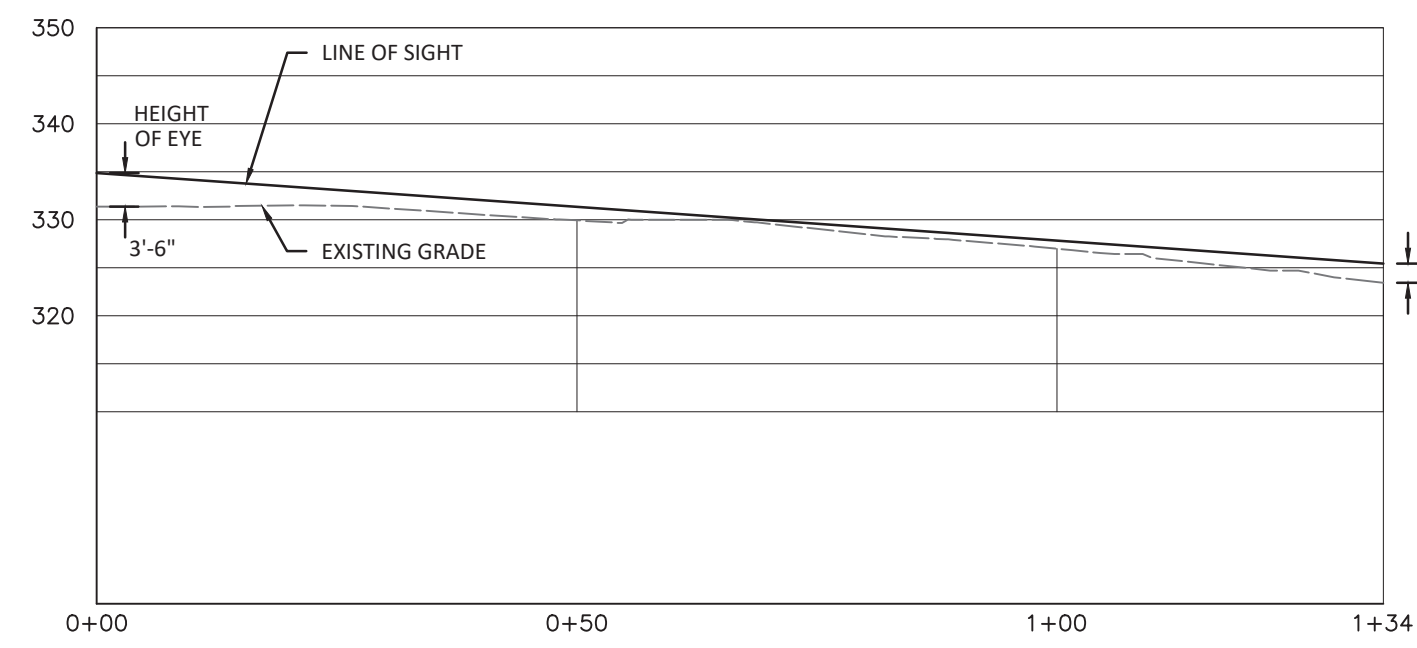
RETAINING WALL FOUNDATION PLAN NOTES:

- GENERAL NOTES:**
1. ALL WORK WILL COMPLY WITH THE NEW YORK STATE BUILDING CODE AND THE REQUIREMENTS OF THE LOCAL MUNICIPALITY.
 2. A PROFESSIONAL ENGINEER AND/OR A CERTIFIED INDEPENDENT TESTING AND INSPECTION AGENCY ENGAGED BY THE OWNER AND APPROVED BY THE ENGINEER SHALL INSPECT AND APPROVE THE FOLLOWING ITEMS.
 3. SPECIAL INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER IMMEDIATELY AFTER EACH INSPECTION.
 4. STRUCTURAL DRAWINGS SHALL BE COORDINATED WITH THE SITE ENGINEER'S DRAWINGS.

- BEARING SOIL BELOW FOOTINGS - CONTROLLED FILL**
1. NATIVE SOILS OR CONTROLLED STRUCTURAL FILL WILL POSSESS A MINIMUM BEARING CAPACITY OF 4000PSF
 2. SOIL CAPACITY WILL BE VERIFIED BY A GEOTECHNICAL ENGINEER IN FIELD PRIOR TO PLACEMENT OF LEVELING COURSE OF FILL.

- WALL UNITS**
1. WALL UNITS SHALL BE REDI-ROCK AS PRODUCED BY A LICENSED MANUFACTURER.
 2. CONTRACTOR SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR REDI-ROCK BLOCK LAYOUT FOR THE ENGINEER'S REVIEW AND SHALL NOT PROCEED WITH THE WORK PRIOR TO THIS REVIEW. SHOP DRAWINGS SHALL NOT BE SUBMITTED FOR REVIEW WITHOUT THE CONTRACTOR'S STAMP INDICATING HIS PRIOR REVIEW AND APPROVAL. ENGINEER WILL NOT REVIEW DRAWINGS WITHOUT THIS STAMP.
 3. STRUCTURAL DRAWINGS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS.
 4. HANDLING AND INSTALLATION OF UNITS SHALL BE IN CONFORMANCE WITH THE CURRENT SPECIFICATIONS FOR REDI-ROCK WALL SYSTEMS.

- LEVELING PAD**
1. LEVELING PAD SHALL BE CRUSHED STONE AND SHALL BE PLACED ON UNDISTURBED SOIL. ENGINEERED CONTROLLED FILL OR ROCK HAVING A PRESUMPTIVE ALLOWABLE BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT. LEVELING PAD BOTTOMS SHALL BE INSPECTED AND BEARING CAPACITY CONFIRMED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF CONCRETE.
 2. SOIL FILL BEHIND WALL SHALL BE NO. 57 STONE MATERIAL.
 3. TRUCKS, BULLDOZERS OR OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO NOT DAMAGE THE WALLS.



APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED _____ DATE: _____
 CHRISTOPHER CARTHY, CHAIRMAN,
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER
 JOSEPH CERMELE, PE
 KELLARD SESSIONS, PC
 CONSULTING TOWN ENGINEERS

ARQ ARCHITECTURE P.C.
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 ARCHITECTURE - PLANNING & ENGINEERING
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JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973256

PAUL A. BERTE, P.E.
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REVISIONS	DATE	BY
LAND COVERAGE REV.	1/6/17	FEPC
PER TOWN COMMENTS	3/13/17	FEPC
REDUCED PARKING AREA	6/1/18	FEPC
LAND COVERAGE	10/18/18	FEPC
SIGHT DIST. PLAN & COM.	1/10/19	FEPC
WALL DETAIL	4/13/20	FEPC
ZONING SUBMISSION	1/19/22	ARQPC
PLANNING SUBMISSION	10/7/22	ARQPC

DRAWING TITLE:
SITE DISTANCE AND RETAINING WALL

PROJECT:
PROPOSED PARKING SPACE PATTI RESIDENCE

PROJECT ADDRESS:
**30 PALMER ROAD
 NORTH CASTLE, NY**

PLANNING BOARD SIGNATURE:

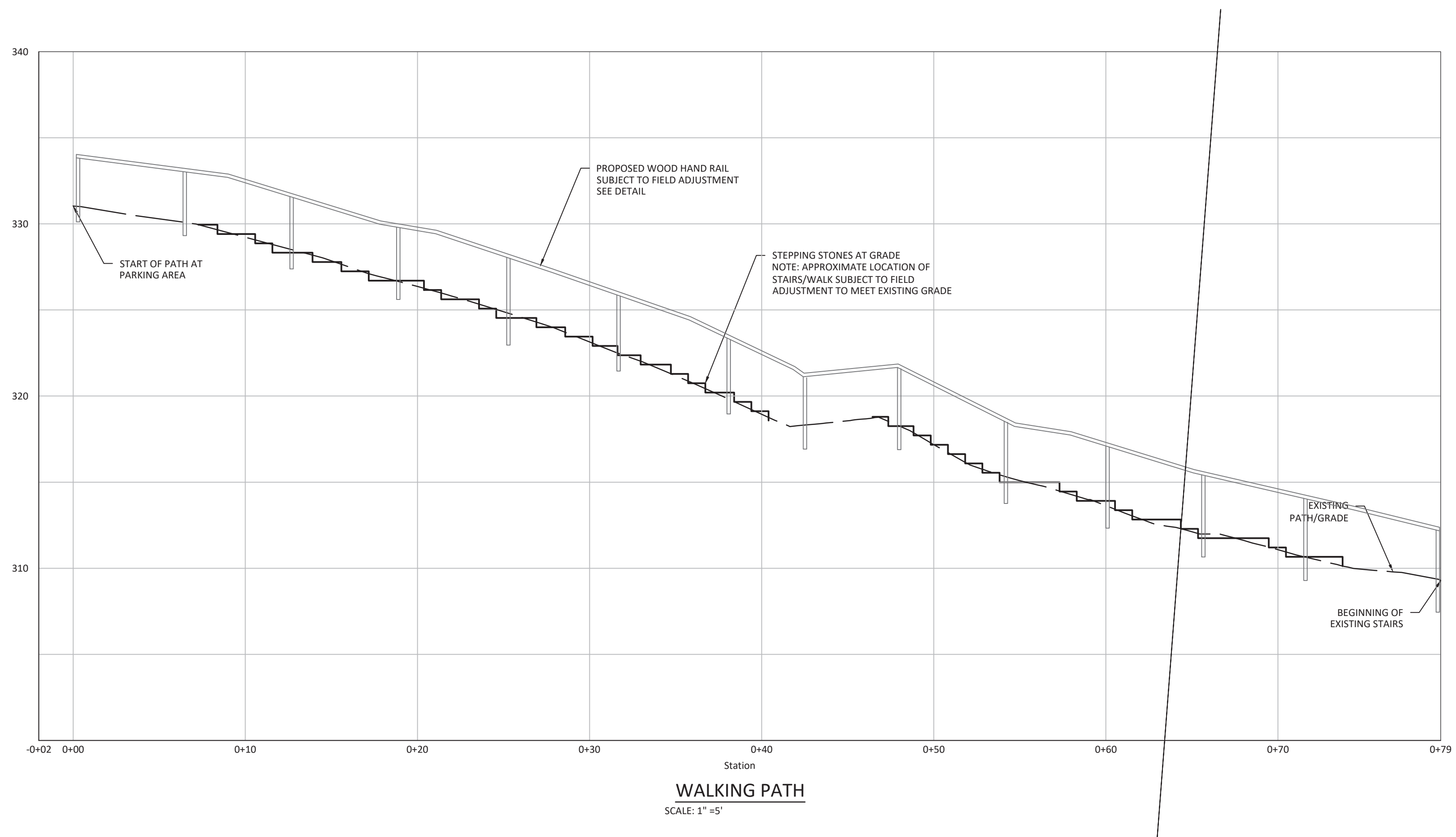
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SEAL & SIGNATURE

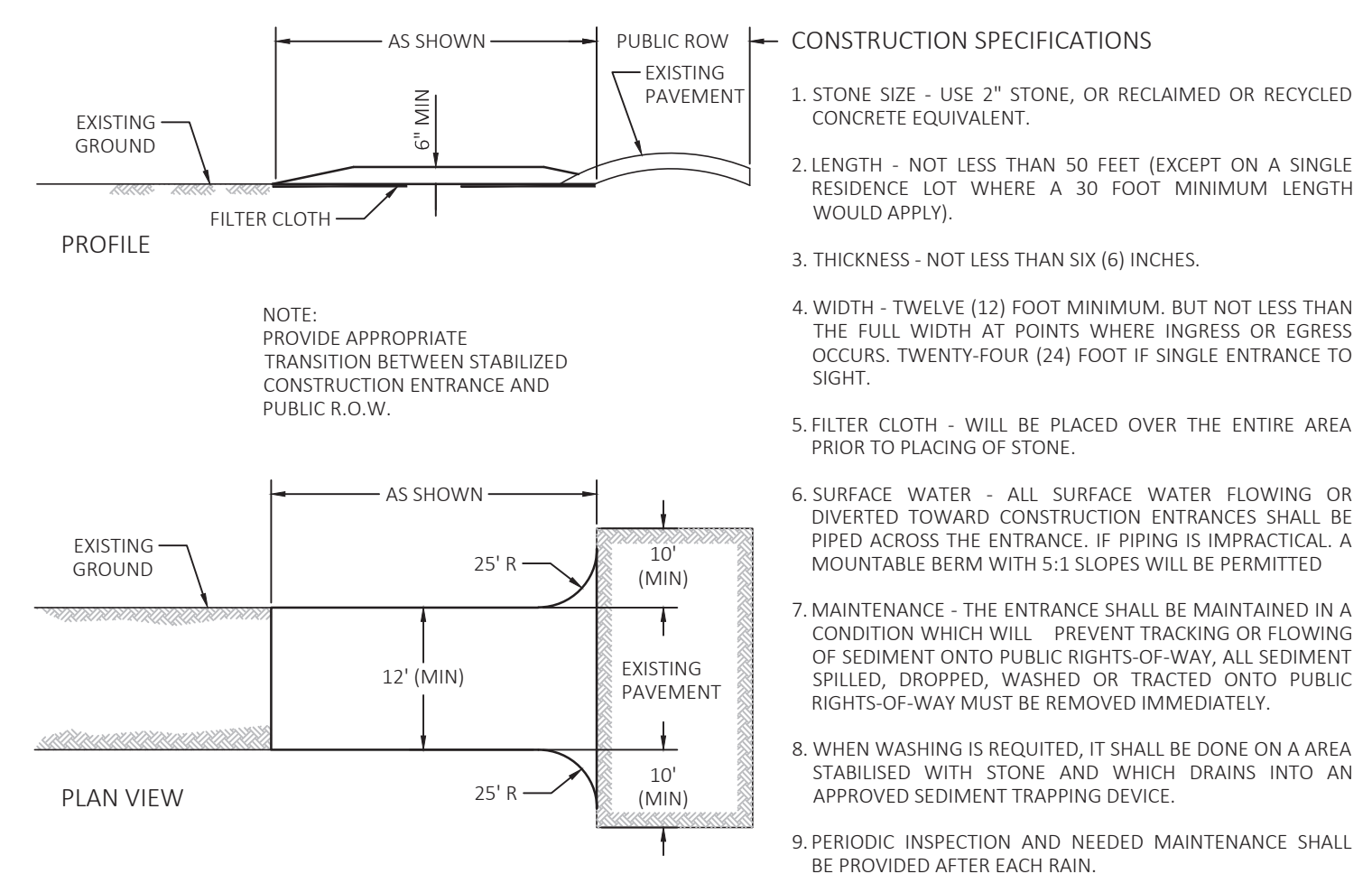


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 CHECKED BY: PB

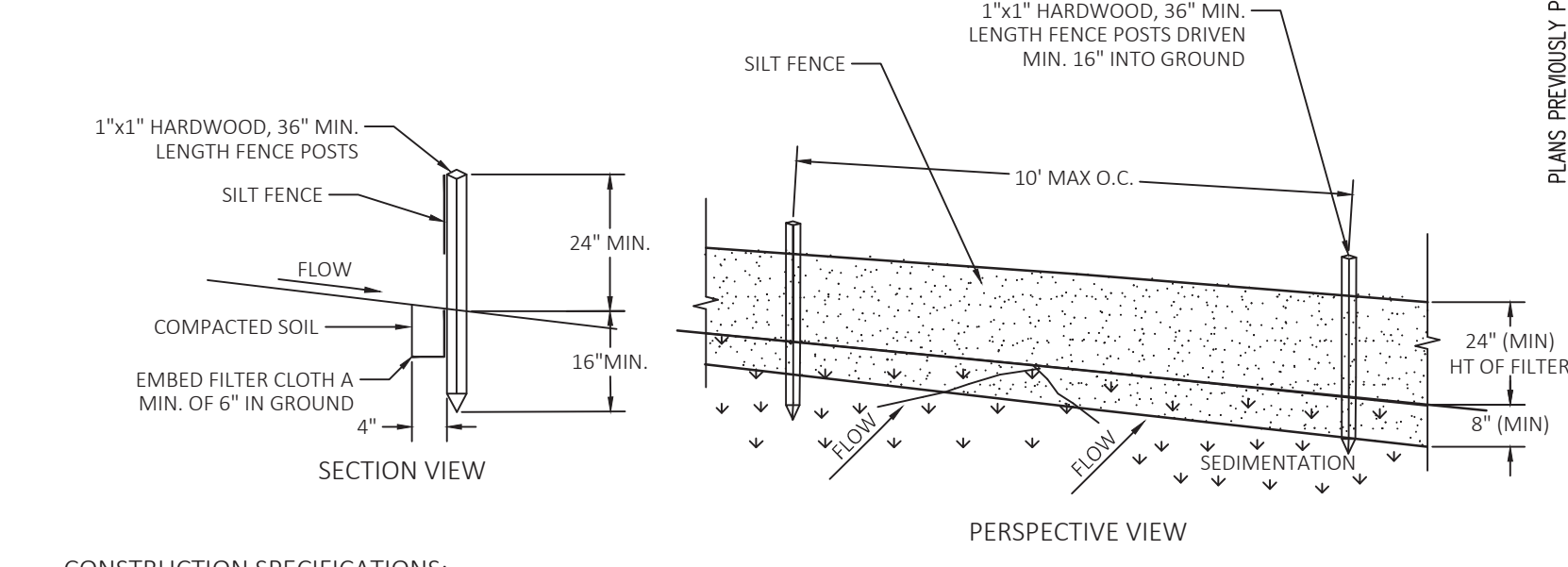
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 DRAWING NO.: 2 OF 3



WALKING PATH
SCALE: 1"=5'

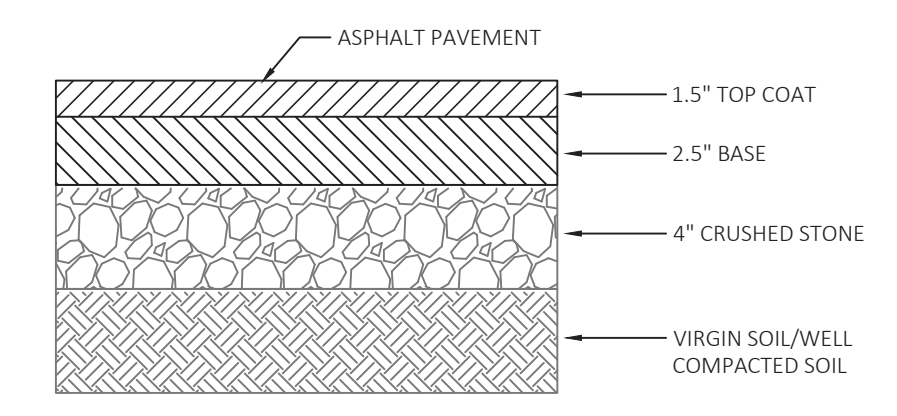


STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

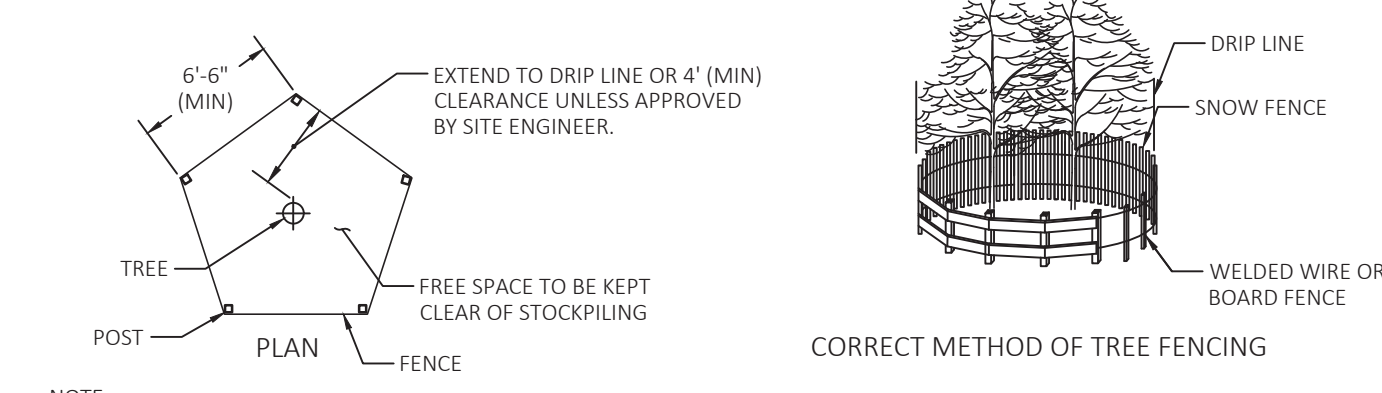


- CONSTRUCTION SPECIFICATIONS:**
- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USCF MISF180, MIRAFI 100X OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

SILT FENCE INSTALLATION DETAIL
N.T.S.

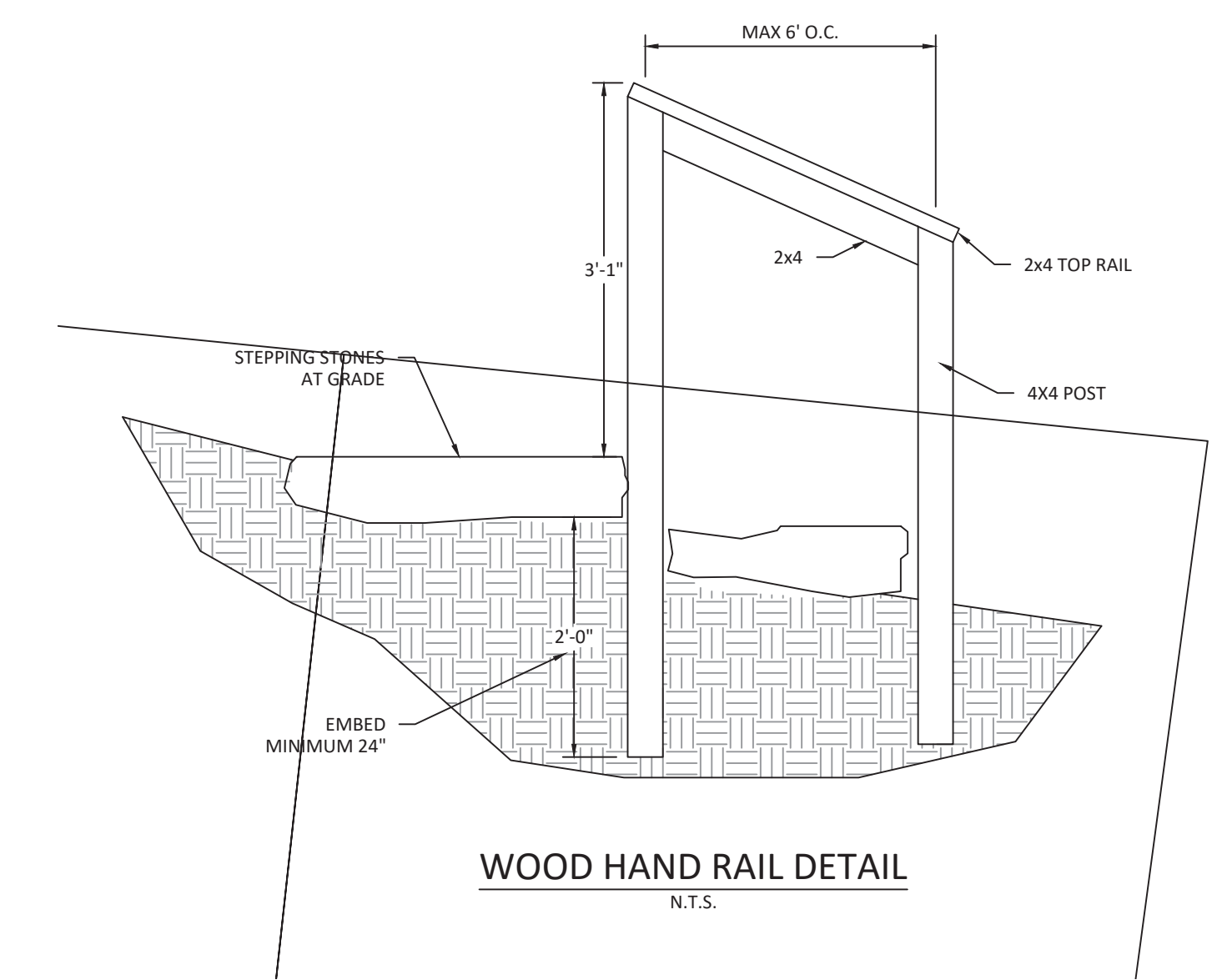


RESIDENTIAL DRIVEWAY SECTION
N.T.S.



- CONSTRUCTION SPECIFICATIONS:**
- TREE PROTECTION AREA WILL BE DETERMINED AS PART OF THE PLAN REVIEW PROCESS. EXACT LOCATION, DEPTH AND METHODS OF ROOT PRUNING TO BE DETERMINED IN FIELD BY PROJECT FORESTER.
 - EXACT LOCATION OF TREE PROTECTION AREAS SHALL BE STAKED OR FLAGGED PRIOR TO TRENCHING.
 - TRENCH SHOULD BE BACKFILLED IMMEDIATELY OR INCORPORATED WITH SILT FENCE INSTALLATION.
 - ROOTS SHOULD BE SEVERED BY TRENCHER, VIBRATORY PLOW OR APPROVED EQUIVALENT. ROOTS OVER 1.5" DIAMETER SHOULD BE CLEANLY CUT BY HAND. ROOT PRUNING ADJACENT TO SPECIMEN TREES MAY REQUIRE SOIL REMOVAL BY SUPERSONIC AIR TOOL TO MINIMIZE TREE AND ROOT IMPACTS.

TREE/VEGETATION PROTECTION BARRIER
N.T.S.



WOOD HAND RAIL DETAIL
N.T.S.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED _____ DATE: _____
 CHRISTOPHER CARTHY, CHAIRMAN,
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING DRAWING PLANS REVIEWED BY TOWN CONSULTING ENGINEER
 JOSEPH CERMELE, PE
 KELLARD SESSIONS, PC
 CONSULTING TOWN ENGINEERS



JORGE B. HERNANDEZ R.A. A.I.A.
 LICENSE NUMBER: 030424-1
 CERTIFICATE NUMBER: 0973256

PAUL A. BERTE, P.E.
 100 EXECUTIVE BLVD. SUITE 204
 OSSING, NY 10562

PLANS PREVIOUSLY PREPARED BY FUSION ENGINEERING PC (FEPG) UNDER DIRECTION OF PAUL BERTE.

REVISIONS	DATE	BY
LAND COVERAGE REV.	1/6/17	FEPG
PER TOWN COMMENTS	3/13/17	FEPG
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DRAWING TITLE:
DETAILS AND PROFILE

PROJECT:
PROPOSED PARKING SPACE PATTI RESIDENCE

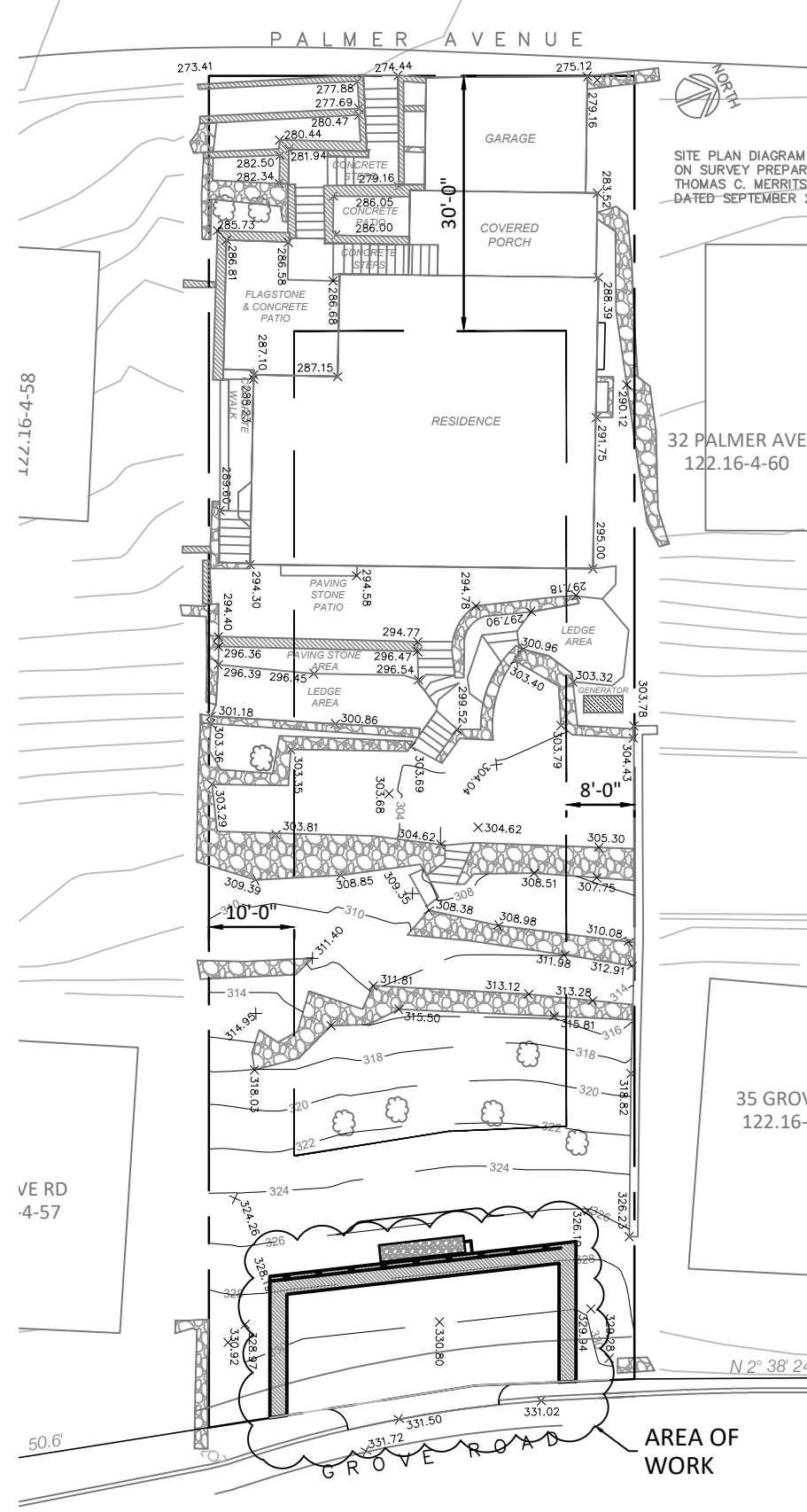
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PLANNING BOARD SIGNATURE:

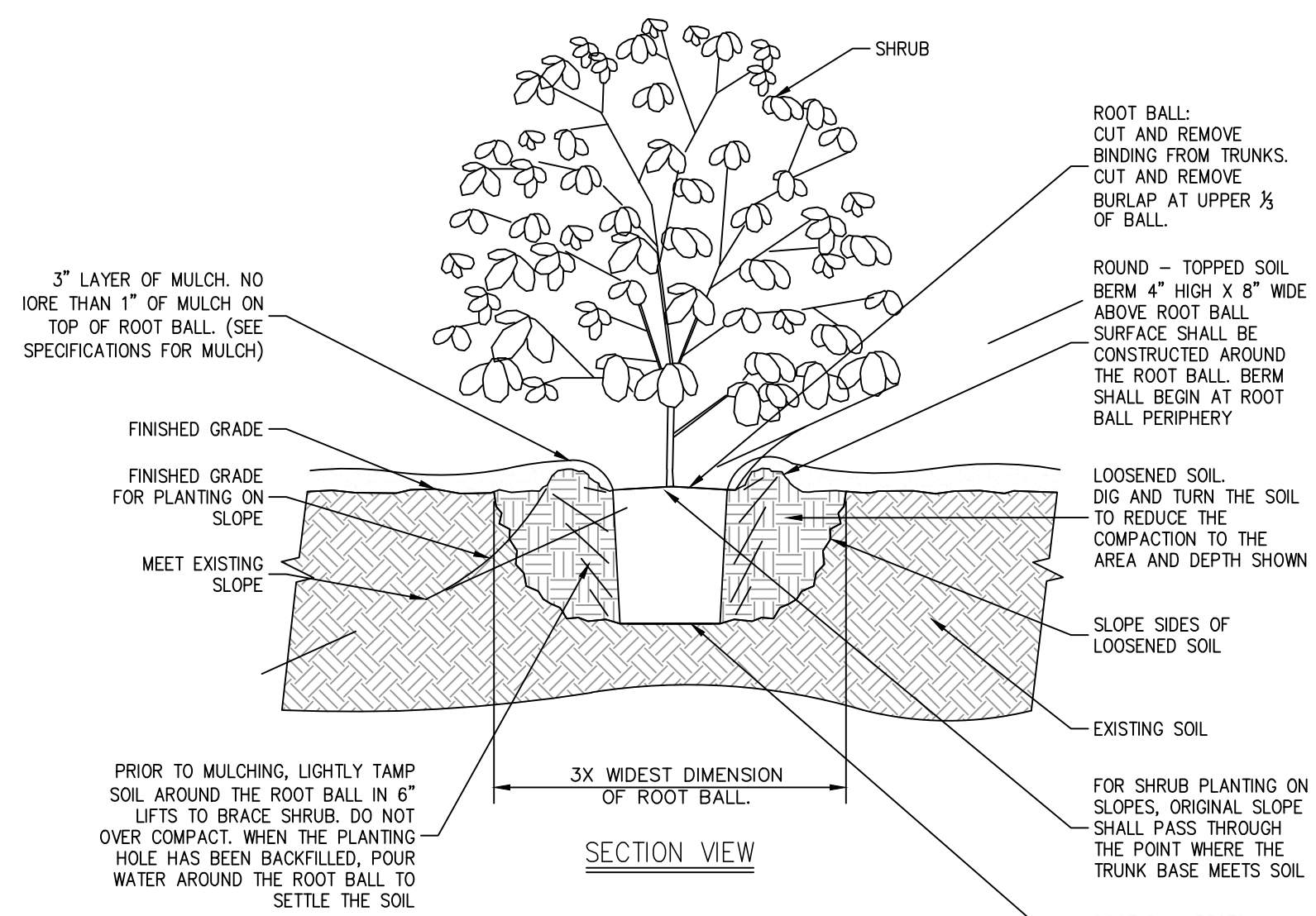
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 CHECKED BY: PB
 SCALE: AS SHOWN
 DRAWING NO.: PB
 3 OF 3

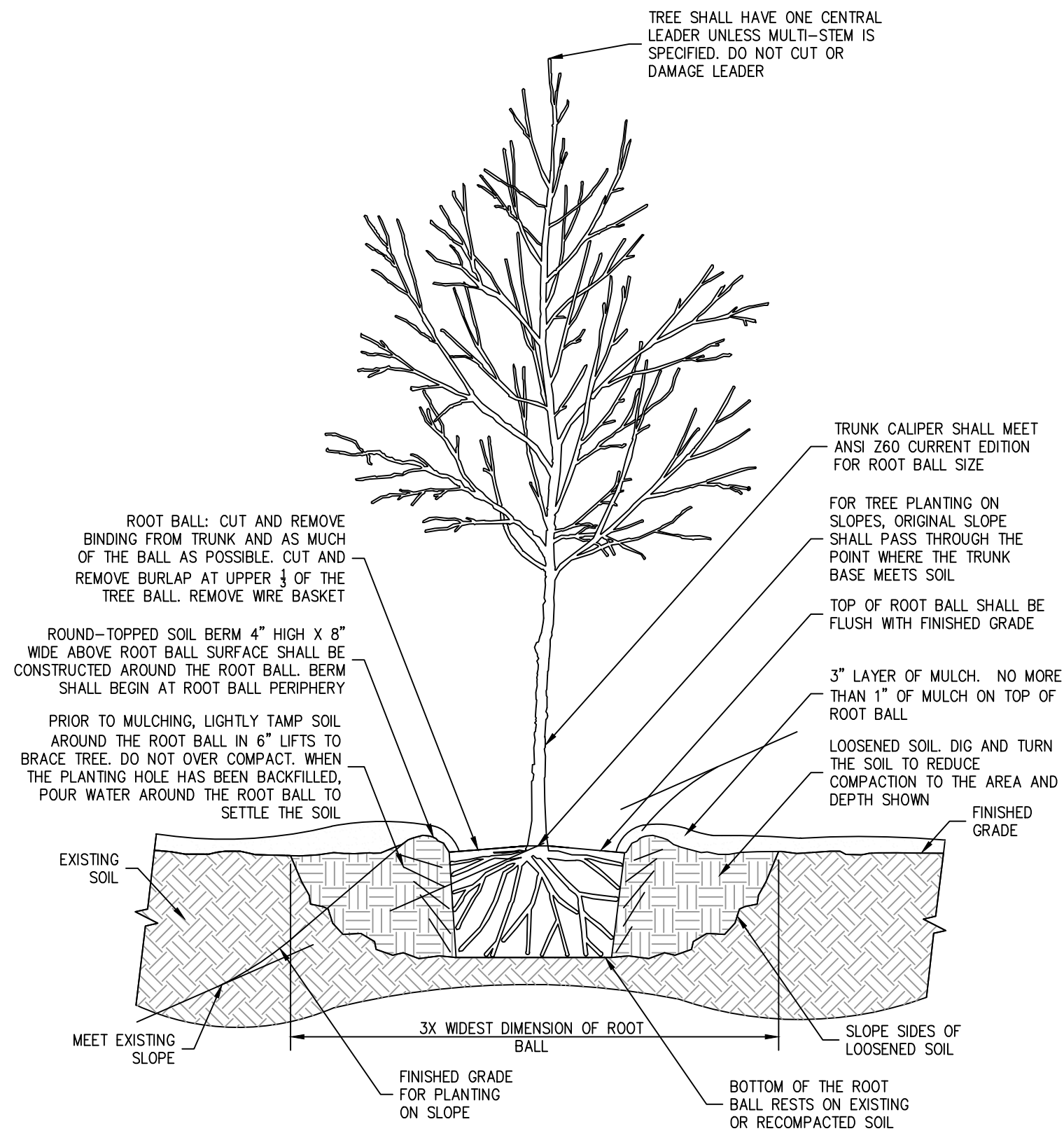


SITE PLAN
SCALE= 1"=20'



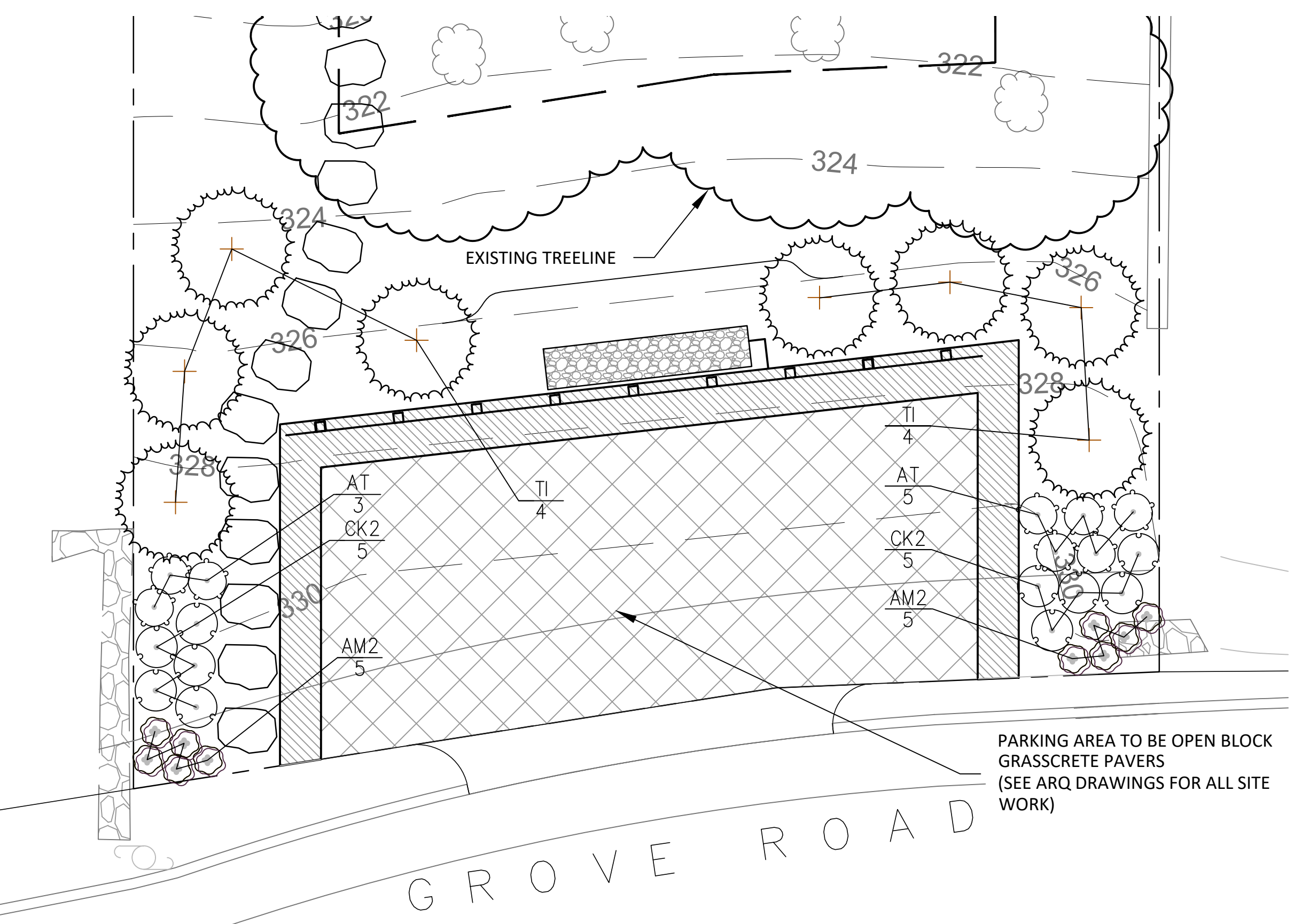
- NOTES:**
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
 2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
 3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

SHRUB PLANTING



- NOTES:**
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
 2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
 3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
 4. SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.

TREE PLANTING
(DECIDUOUS AND EVERGREEN)



SITE LANDSCAPING PLAN
SCALE= 1"=5'

PLANT SCHEDULE						
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
T1	8	Thuja x 'Green Giant'	Green Giant Arborvitae	6' - 8' HT.	B & B	
PERENNIALS/GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
AM2	10	Armeria maritima	Sea Thrift	1 gal	CONT.	
AT	8	Asclepias tuberosa	Butterfly Milkweed	1 gal	CONT.	
CK2	10	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	2 gal.	CONT.	

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING PAVEMENT EDGE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- PROPOSED CONCRETE CURB
- PROPOSED LEVEL SPREADER (DESIGN BY OTHERS)
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED GRASSCRETE PAVERS (DESIGN BY OTHERS)
- PROPOSED GUIDE RAIL (DESIGN BY OTHERS)
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS

- NOTES:**
1. ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN HORTICULTURE SOCIETY (ANSI Z60.1), LATEST EDITION.
 2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
 3. ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROOT MULCH SHREDDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNERS FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
 4. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
 5. ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTINGS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
 6. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 7. ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECTS EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
 8. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
 9. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 10. ALL LAWN AREAS (SOD OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOD OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
 11. SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
 13. ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
 14. FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
 15. CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
 16. ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
 17. ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLANTS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Revision	Date	By
1.	REVISED PER PLANNING BOARD COMMENTS	10/07/2022	DK

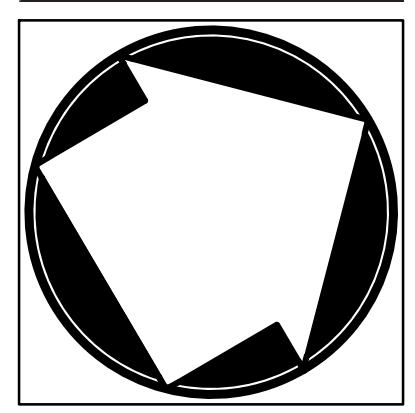
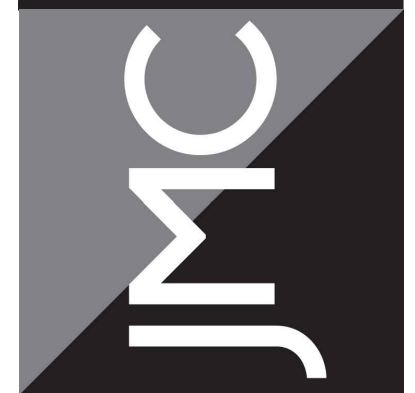
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Date: 08/01/2022	
Project No: 2208B	
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LAT:scr	
Drawing No:	

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APPLICANT/OWNER:
ANTHONY PATTI
30 PALMER AVENUE
NORTH CASTLE, NY

ARCHITECT:
ARQ ARCHITECTURE P.C.
100 EXECUTIVE BLVD., SUITE 204
OSSINING, NY 10562

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
voice 914.273.5225 - fax 914.273.2102
www.jmcpic.com



LANDSCAPING PLAN
PARKING SPACE LANDSCAPE PLAN
30 PALMER AVENUE
NORTH CASTLE, NY



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