



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

Lot 1 Wampus Mills Subdivison



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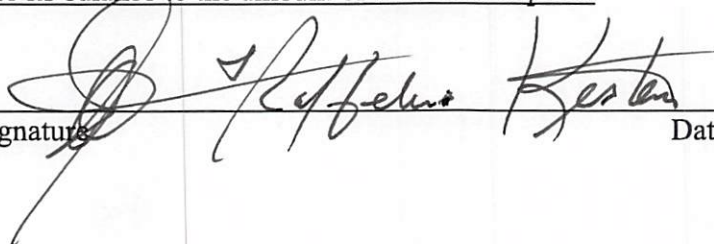
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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

 11/2/21

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES


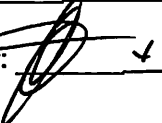
Name of Property Owner: <u>Marshall and Raffelina Kesten</u>
Mailing Address: <u>33 Trapping Way, Pleasantville, NY 10570</u>
Telephone: _____ Fax: _____ e-mail _____
Name of Applicant (if different): _____
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner: _____
Is the Applicant (if different from the property owner) a Contract Vendee? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board
Name of Professional Preparing Site Plan: <u>Ralph Alfonzetti</u>
Address: <u>14 Smith Avenue, Mount Kisco, NY 10549</u>
Telephone: <u>914-666-9800</u> Fax: <u>914-666-9801</u> e-mail <u>info@alfonzettieng.com</u>
Name of Other Professional: _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____
Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  + Raffaelina Koster Date: 10/5/21
Signature of Property Owner:  + Raffaelina Koster Date: 10/5/21

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 1 Shoemaker Lane Armonk, NY 10504

Location (in relation to nearest intersecting street):

20 feet (north, south, east or west) of Shoemaker Lane

Abutting Street(s): Main Street

Tax Map Designation (NEW): Section 101.03 Block 2 Lot 7.1

Tax Map Designation (OLD): Section 101.03 Block 2 Lot 6

Zoning District: R-1A Total Land Area 2.131

Land Area in North Castle Only (if different) _____

Fire District(s) Armonk FD School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No _____ Yes (adjacent) X Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No X Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Residential

Gross Floor Area: Existing 0 S.F. Proposed 8604 S.F.

Proposed Floor Area Breakdown:

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential _____ S.F.;

Number of Dwelling Units: _____

Number of Parking Spaces: Existing 0 Required _____ Proposed _____

Number of Loading Spaces: Existing _____ Required _____ Proposed _____

Earthwork Balance: Cut 2,782 C.Y. Fill 2,554 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- Location of existing parking and truck loading areas, with access and egress drives thereto.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- Location, size and design of existing signs.
- Location, type, direction, power and time of use of existing outdoor lighting.
- Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- Proposed sight distance at all points of vehicular access.
- Proposed number of employees for which buildings are designed
- Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- Location, size and design of all proposed signs.
- Location, type, direction, power and time of use of proposed outdoor lighting.
- Location and design of proposed outdoor garbage enclosure.
- Location of proposed outdoor storage, if any.
- Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- Type of power to be used for any manufacturing
- Type of wastes or by-products to be produced and disposal method
- In multi-family districts, floor plans, elevations and cross sections
- The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- Proposed soil erosion and sedimentation control measures.
- For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: Kesten Residence							
Project Location (describe, and attach a location map): Southwest of intersection of Main Street and Shoemaker Lane							
Brief Description of Proposed Action: A single family residential, inground pool, and well are being proposed on the site.							
Name of Applicant or Sponsor: Marshall and Raffelina Kesten		Telephone:					
		E-Mail: pmauto123@aol.com					
Address: 33 Trapping Way							
City/PO: Pleasantville		State: NY	Zip Code: 10570				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		_____ 2.131 acres					
b. Total acreage to be physically disturbed?		_____ .88 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Sewer	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES Stormwater will be collected by catch basins and raingarden _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

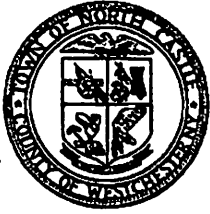
<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Raffilina Kerten

Date: 4/5/21

Signature: Raffilina Kerten



Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

PRELIMINARY SITE PLAN COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all preliminary site plans. Failure to provide all of the information requested will result in a determination that the site plan application is incomplete. The review of the site plan for completeness will be based on the requirements of the Town of North Castle Town Code.

Project Name on Plan: Kesten Residence Lot 1 Wampus Mills Subdivison

Initial Submittal Revised Preliminary

Street Location: 1 Shoemaker Lane, Armonk, NY 10504

Zoning District: R-1A Property Acreage: 2.131 Tax Map Parcel ID: 101.03-2-7.1

Date: 11/05/2021

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. A complete application for site development plan approval form
- 2. Plan prepared by a registered architect or professional engineer
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Proposed division of buildings into units of separate occupancy, detailed breakdowns of all proposed floor space by type of use and floor level
- 7. Existing topography and proposed grade elevations
- 8. Location of drives

PRELIMINARY SITE PLAN COMPLETENESS REVIEW FORM

Page 2

- 9. Location of any outdoor storage
- 10. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences
- 11. Description of method of water supply and sewage disposal and location of such facilities
- 12. Location, design and size of all signs
- 13. Location and design of lighting, power and communication facilities
- 14. In an industrial district, specific uses proposed, number of employees for which buildings are designed, type of power to be used for any manufacturing process, type of wastes or by-products to be produced by any manufacturing process and proposed method of disposal of such wastes or by-products
- 15. In a multifamily district, floor plans of each dwelling unit shall be shown, and elevations and cross sections also may be required
- 16. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work.
- 17. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 18. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 19. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

MK PROPERTY MANAGEMENT LLC

1036 MANHATTAN AVE.
BROOKLYN, NY 11222-1316

1-2
210¹⁸⁶

718

DATE

11/5/21

PAY TO THE
ORDER OF

Town of North Castle

\$

2000 ⁰⁰/_{xx}

Two Thousand ⁰⁰/_{xx}

DOLLARS



Security Features
Included.
Details on Back.

CHASE



JPMorgan Chase Bank, N.A.
www.Chase.com

MEMO

1 Shoemaker Lane

MP

+ 0210000211

918785973110718

MK PROPERTY MANAGEMENT LLC

1036 MANHATTAN AVE.
BROOKLYN, NY 11222-1316

1-2
210 186

717

DATE

11/5/21

PAY TO THE
ORDER OF

Town of North Castle

\$ 200⁰⁰/₁₀₀

Two Hundred ⁰⁰/₁₀₀

DOLLARS



Security Features
Included.
Details on Back.

CHASE

JPMorgan Chase Bank, N.A.
www.Chase.com

MEMO

1.5 Shoemaker Lane

MP

+ 021000021

918785973 0717



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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: KESTEN RESIDENCE Date: September 29, 2020

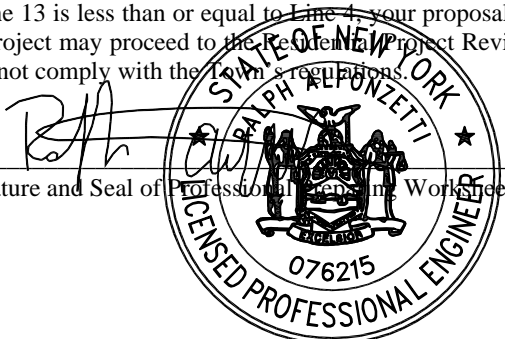
Tax Map Designation or Proposed Lot No.: 101.03-2-7.1

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1.807
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 12,513.7
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

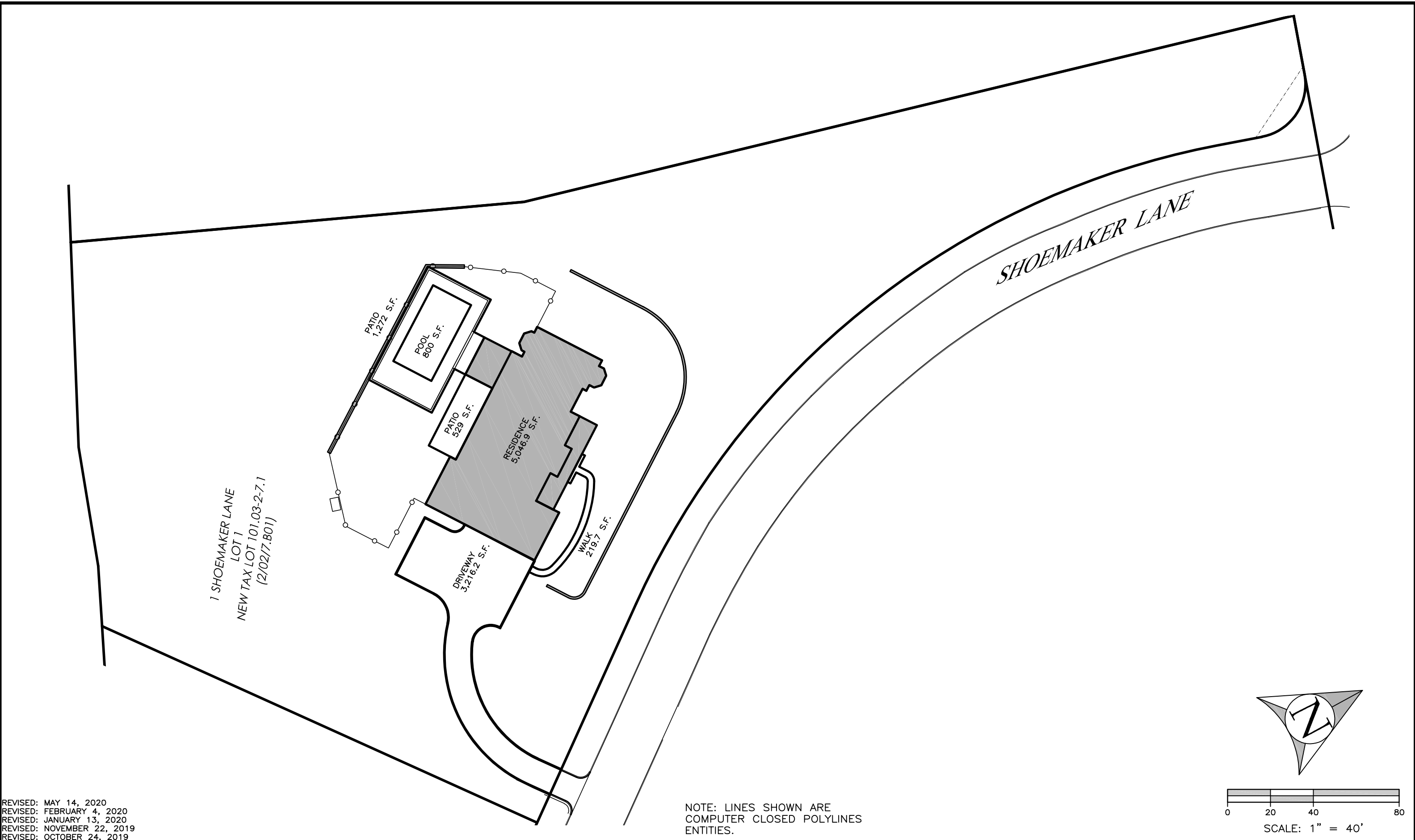
Distance principal home is beyond minimum front yard setback
0.9 x 10 = 9
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 12,522.7
5. Amount of lot area covered by **principal building**:
0 existing + 5,046.9 proposed = 5,046.9 S.F.
6. Amount of lot area covered by **accessory buildings**:
0 existing + 0 proposed = 0
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
0 existing + 0 proposed = 0
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 existing + 3,435.9 proposed = 3,435.9 S.F.
10. Amount of lot area covered by **terraces**:
0 existing + 1,801.0 proposed = 1,801.0 S.F.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 800.0 S.F. proposed = 800.0 S.F.
12. Amount of lot area covered by **all other structures**:
0 existing + 0 proposed = 0
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 11,083.8 S.F.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.



RAK
 Signature and Seal of Professional Engineer

10/23/2020
 Date



1 SHOEMAKER LANE
 LOT 1
 NEW TAX LOT 101.03-2-7.1
 (2/02/7.B01)

PATIO
 1,272 S.F.

POOL
 800 S.F.

PATIO
 529 S.F.

RESIDENCE
 5,046.9 S.F.

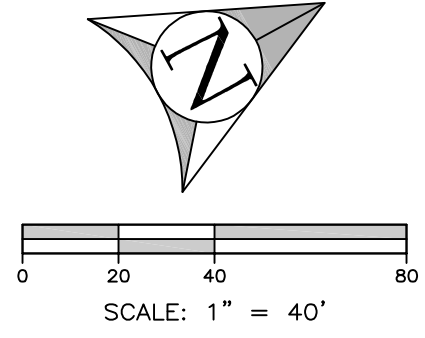
DRIVEWAY
 3,216.2 S.F.

WALK
 219.7 S.F.

SHOEMAKER LANE

REVISED: MAY 14, 2020
 REVISED: FEBRUARY 4, 2020
 REVISED: JANUARY 13, 2020
 REVISED: NOVEMBER 22, 2019
 REVISED: OCTOBER 24, 2019

NOTE: LINES SHOWN ARE
 COMPUTER CLOSED POLYLINES
 ENTITIES.



ALFONZETTI ENGINEERING, P.C.
 1100 ROUTE 52, CARMEL, N.Y. 10512
 845 - 228 - 9800

KESTEN RESIDENCE
 TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

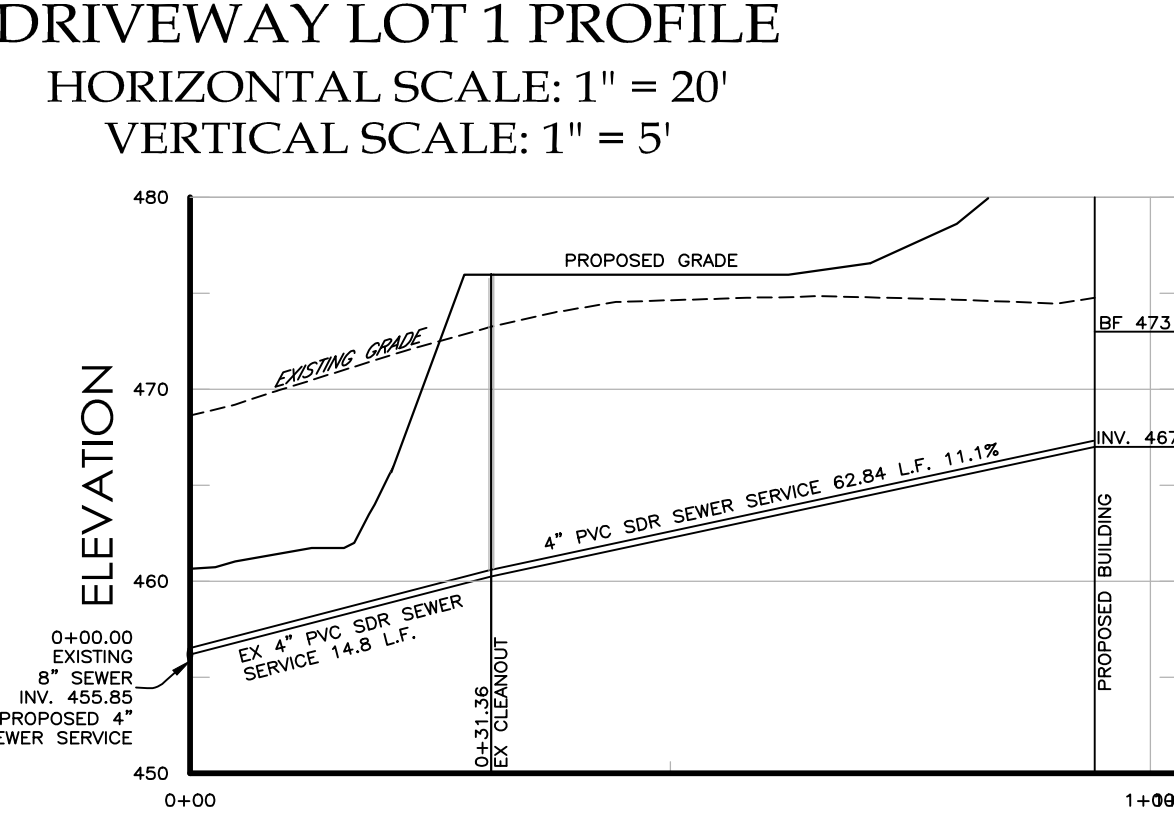
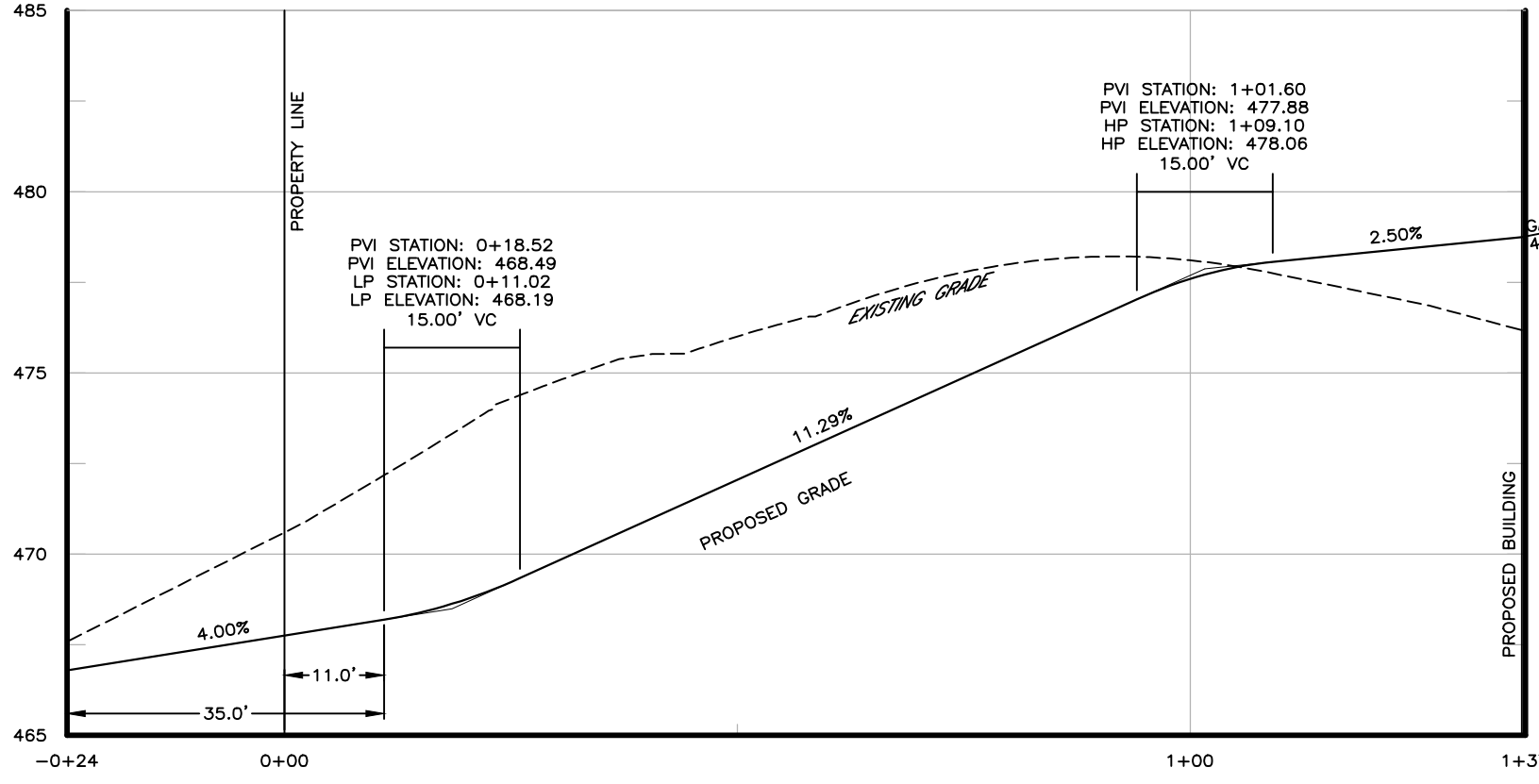
GROSS LOT COVERAGE EXHIBIT LOT 1
 SEPTEMBER 29, 2020

ZONING TABLE

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE 'R-1A'

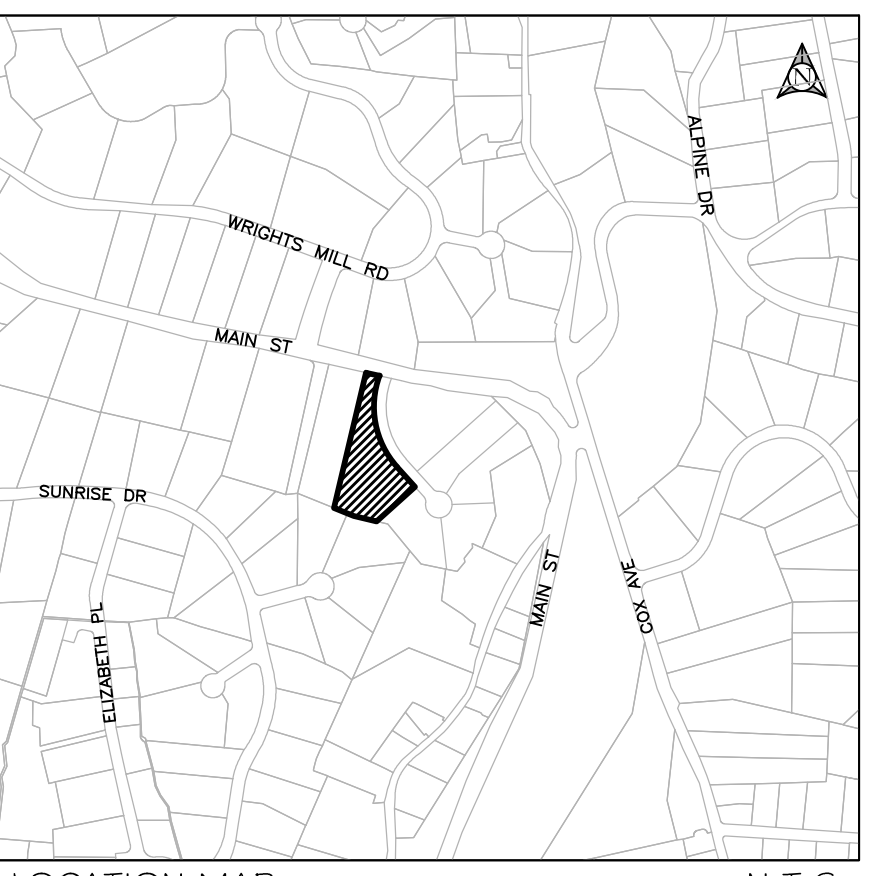
TOTAL LOT AREA: 2.131 ACRES

	REQUIRED/ PERMITTED	LOT 1 EXISTING	LOT 1 PROPOSED
MINIMUM LOT AREA	1 ACRE	2.131 ACRES	1.998 ACRES
75% WETLAND AREA		0.000 ACRES	0.000 ACRES
50% STEEP SLOPE AREA		0.215 ACRES	0.191 ACRES
NET LOT AREA		1.916 ACRES	1.807 ACRES
MINIMUM LOT FRONTAGE	125 FT	531.07 FT	531.07 FT
MINIMUM LOT WIDTH	125 FT	200.7 FT	189.9 FT
MINIMUM LOT DEPTH	150 FT	170.6 FT	160.1 FT
FRONT YARD SETBACK	50 FT	50.9 FT	50.9 FT
SIDE YARD SETBACK	25 FT	78.5 FT	58.9 FT
REAR YARD SETBACK	40 FT	183.5 FT	183.5 FT
MAXIMUM HEIGHT	30 FT	≤30 FT	≤30 FT
MAXIMUM BUILDING COVERAGE	12%	6.05%	6.41%



RAIN GARDEN SIZING CALCULATIONS FOR PEAK ATTENUATION

NET INCREASE IMPERVIOUS AREA	S.F.	2836.9
DESIGN STORM (100 YR.):	IN.	9.2
HYDROLOGIC SOIL TYPE:		8
EXISTING CN:		55
PROPOSED CN:		98
REQUIRED STORAGE VOLUME CALCULATION		
EX. RUNOFF DEPTH:	IN.	3.63
PR. RUNOFF DEPTH:	IN.	8.96
DELTA RUNOFF DEPTH:	IN.	5.33
INCREASE IN RUNOFF VOLUME:	C.F.	1259.2
REQUIRED 100 YR STORAGE VOLUME:	C.F.	1259.2
RAIN GARDEN FOOTPRINT AREA:	S.F.	1050
THICKNESS OF SOIL MEDIA:	FT.	1.5
THICKNESS OF DRAINAGE MEDIA:	FT.	1
SOIL MEDIA VOID RATIO:		0.2
DRAINAGE MEDIA VOID RATIO:		0.4
VOID VOLUME OF SOIL MEDIA:	C.F.	315
VOID VOLUME OF DRAINAGE MEDIA:	C.F.	420
PONDING DEPTH:	FT.	0.5
VOLUME OF PONDING:	C.F.	525
TOTAL VOLUME OF RAIN GARDEN:	C.F.	1260.0



WATER QUALITY CALCULATION

90% RAINFALL EVENT NUMBER (P):

IMPERVIOUS COVER (I):	percent	100.00
AREA (A) (ROOF, POOL TERRACE)	acres	0.176
CALCULATIONS:		
Rv (=0.05+0.009(I)):		0.95
WATER QUALITY VOLUME (WQV):	acre-feet	0.0208
WATER QUALITY VOLUME (WQV):	c.f.	908.2
REQUIRED STORAGE VOLUME:	c.f.	908.2
RAIN GARDEN FOOTPRINT AREA:	s.f.	854
THICKNESS OF SOIL MEDIA:	ft.	1
THICKNESS OF DRAINAGE MEDIA:	ft.	1
SOIL MEDIA VOID RATIO:		0.2
DRAINAGE MEDIA VOID RATIO:		0.4
VOID VOLUME OF SOIL MEDIA:	c.f.	170.8
VOID VOLUME OF DRAINAGE MEDIA:	c.f.	341.6
PONDING DEPTH:	ft.	0.5
VOLUME OF PONDING:	c.f.	427
TOTAL VOLUME OF RAIN GARDEN:	c.f.	939.40

LIMITS OF DISTURBANCE QUANTIFICATION TABLE

LIMITS OF DISTURBANCE SUBDIVISION	32,021 SQ.FT.
LIMITS OF DISTURBANCE CURRENT SITE LAYOUT	52,838 SQ.FT.

6" DRAWDOWN CALCULATION

POOL WIDTH:	FT. 20
POOL LENGTH:	FT. 40
DRAW DOWN:	FT. 0.5
DRAW DOWN VOLUME:	C.F. 400

- ### CONSTRUCTION NOTES:
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
 2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
 3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
 4. AS-BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
 7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
 8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
 9. ALL PROPOSED OR DISTURBED SLOPES, 14:24 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
 10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
 11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
 12. OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: FEBRUARY 10, 2020

ENGINEERING DRAWINGS, PLANS REVIEWED BY TOWN ENGINEER

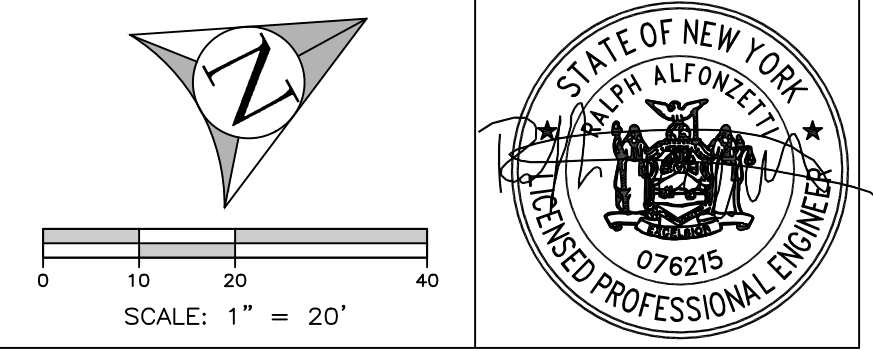
DATE: _____

JOSEPH M. CERMILE, P.E.
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEER

DATE: _____

CHRISTOPHER CATHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 2709(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION."



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA

OWNER/APPLICANT: MARSHALL AND RAFFELUM KESTEN

SITE ADDRESS: 1 SHOEMAKER LANE ARMONK, 10904

TAX MAP #: 101.03-2-7.1

LOT AREA: 2.131

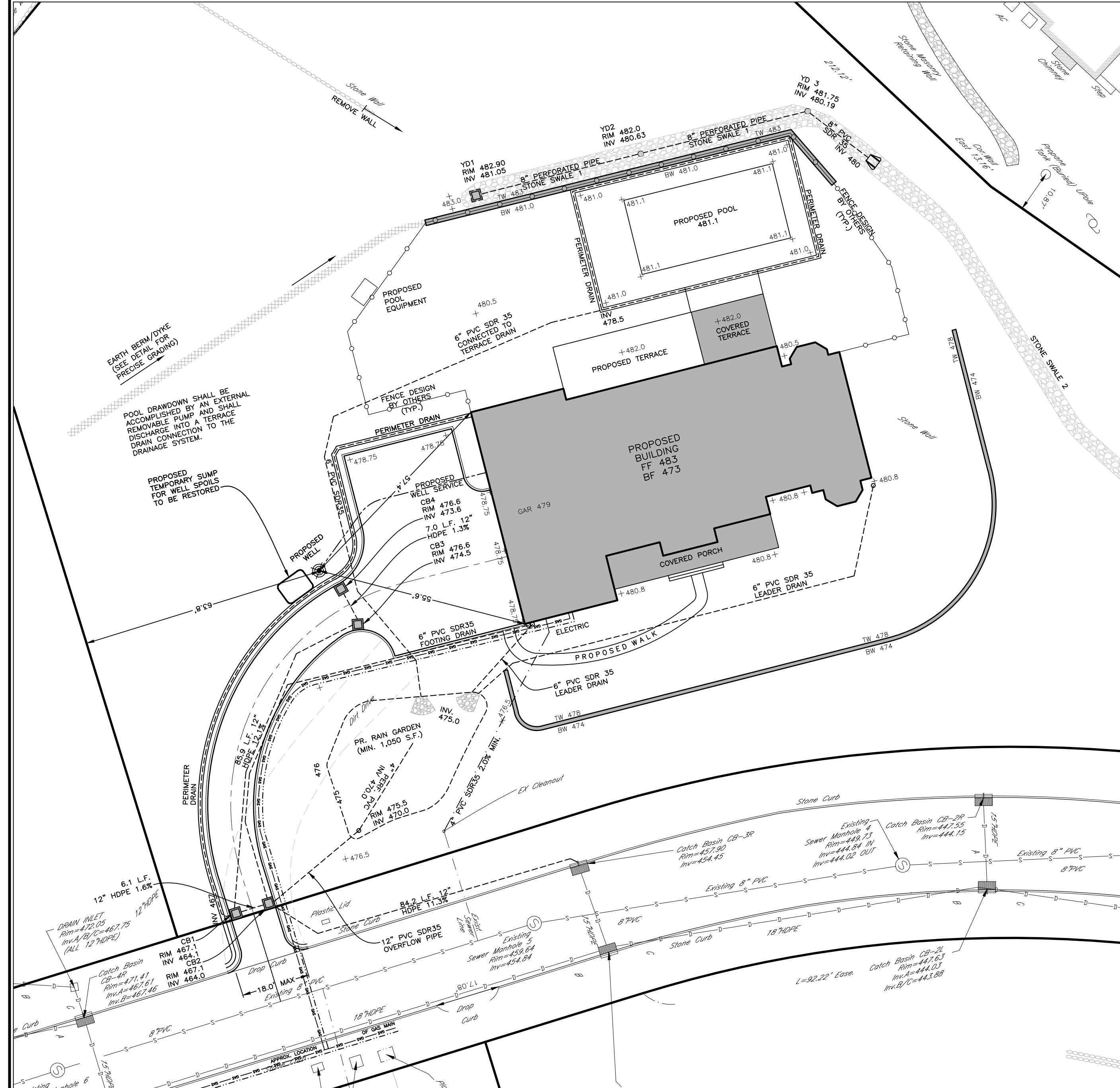
ZONING: R-1A

REVISIONS:
REVISED: NOVEMBER 23, 2020
REVISED: NOVEMBER 17, 2020
REVISED: MAY 14, 2020
REVISED: FEBRUARY 4, 2020
REVISED: JANUARY 13, 2020
REVISED: NOVEMBER 22, 2019
REVISED: OCTOBER 24, 2019

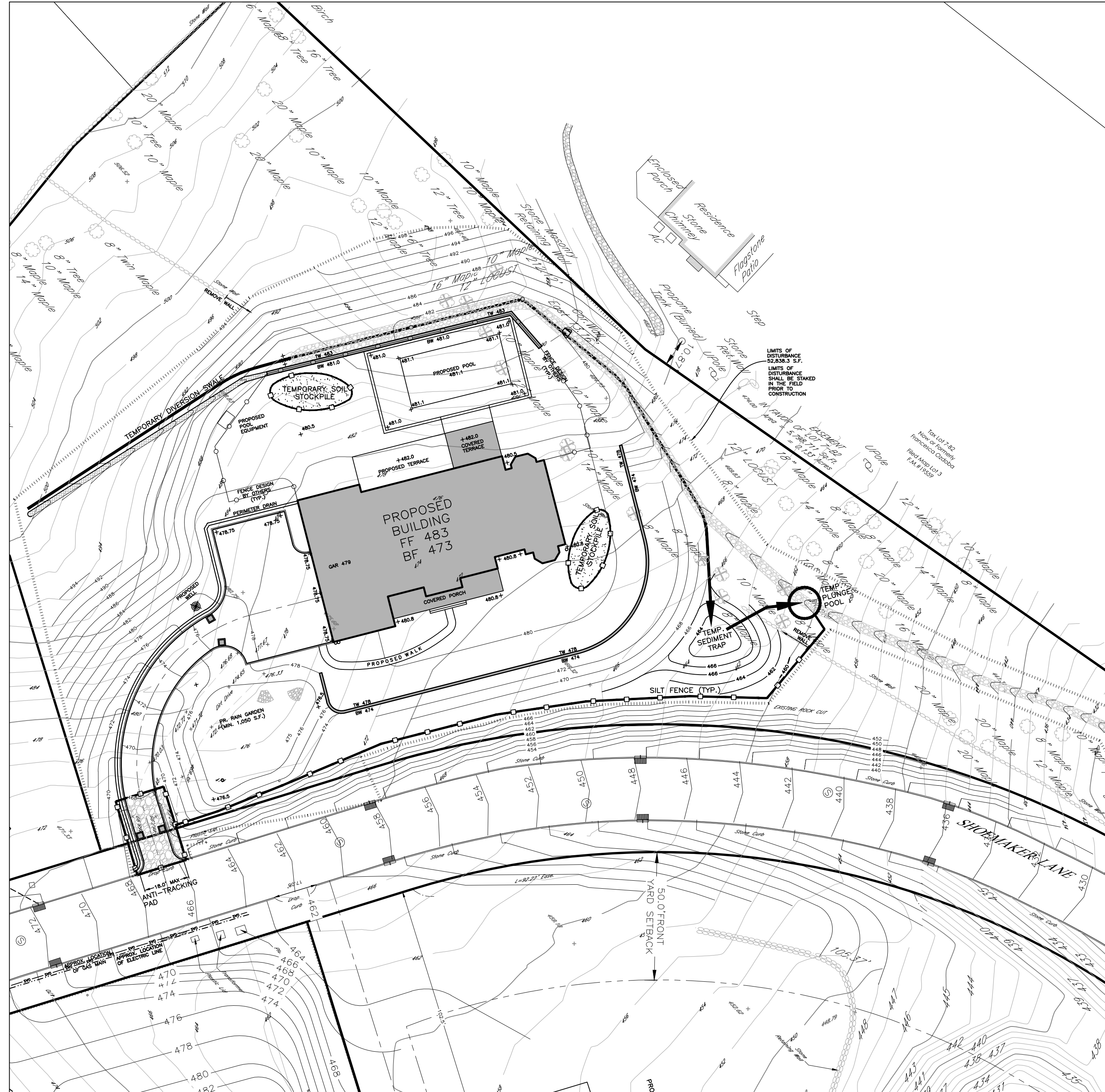
DRAWING: **SITE PLAN**
SEPTEMBER 20, 2019

PROJECT: **KESTEN RESIDENCE**
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

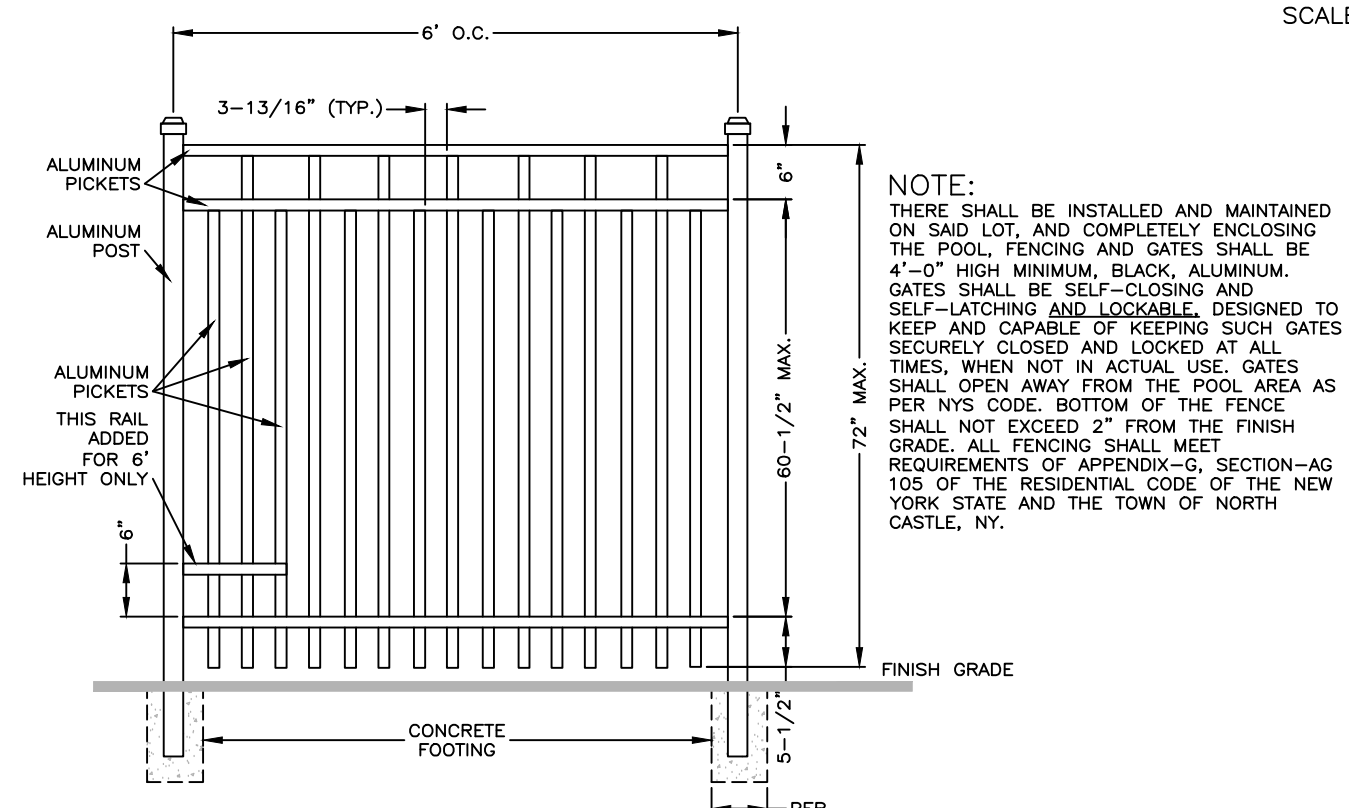
SHEET: 01 OF 03



UTILITY PLAN
SCALE: 1" = 20'



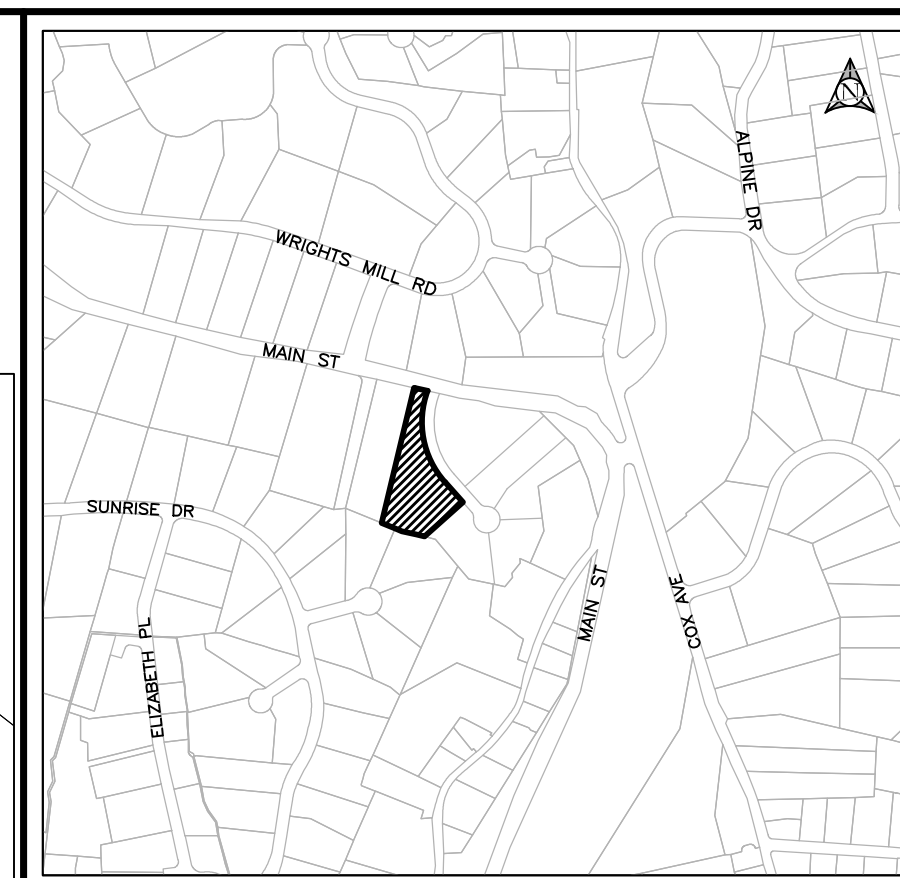
EROSION CONTROL PLAN
SCALE: 1" = 30'



POOL FENCE DETAIL
N.T.S.
(OR APPROVED EQUAL)

NOTE:
THERE SHALL BE INSTALLED AND MAINTAINED ON SAID LOT, AND COMPLETELY ENCLOSING THE POOL, FENCING AND GATES SHALL BE 4'-0" HIGH MINIMUM, BLACK, ALUMINUM. GATES SHALL BE SELF-CLOSING AND SELF-LATCHING AND LOCKABLE, DESIGNED TO KEEP AND CAPABLE OF KEEPING SUCH GATES SECURELY CLOSED AND LOCKED AT ALL TIMES. WHEN NOT IN ACTUAL USE, GATES SHALL OPEN AWAY FROM THE POOL AREA AS PER NYS CODE. BOTTOM OF THE FENCE SHALL NOT EXCEED 2" FROM THE FINISH GRADE. FENCING SHALL MEET REQUIREMENTS OF APPENDIX-G, SECTION-AG 100 OF THE RESIDENTIAL CODE OF THE NEW YORK STATE AND THE TOWN OF NORTH CASTLE, NY.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: FEBRUARY 10, 2020
ENGINEERING DRAWINGS, PLANS REVIEWED BY TOWN ENGINEER
JOSEPH M. CERMELE, P.E. DATE: _____
KELLARD SESSIONS CONSULTING CONSULTING TOWN ENGINEERS
CHRISTOPHER C. CARNEY, CHAIRMAN DATE: _____
TOWN OF NORTH CASTLE PLANNING BOARD

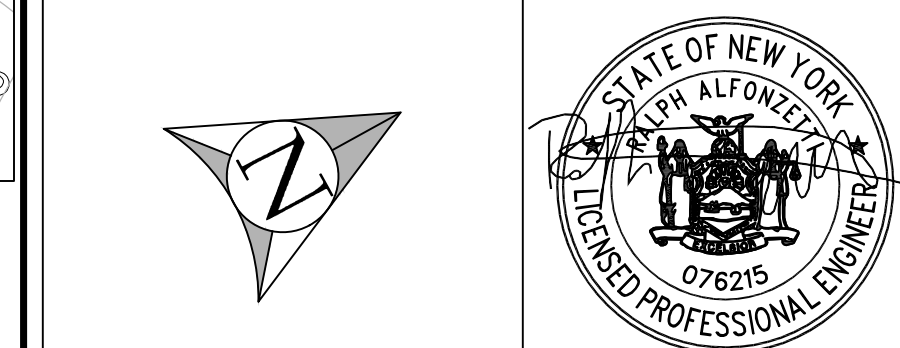


LOCATION MAP N.T.S.

- EROSION CONTROL NOTES:
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 - PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
 - TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 - ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIME, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
 - ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
 - ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIME AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
 - ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
 - THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 - ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE STABILIZED.
 - UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
 - SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
 - ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
 - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).

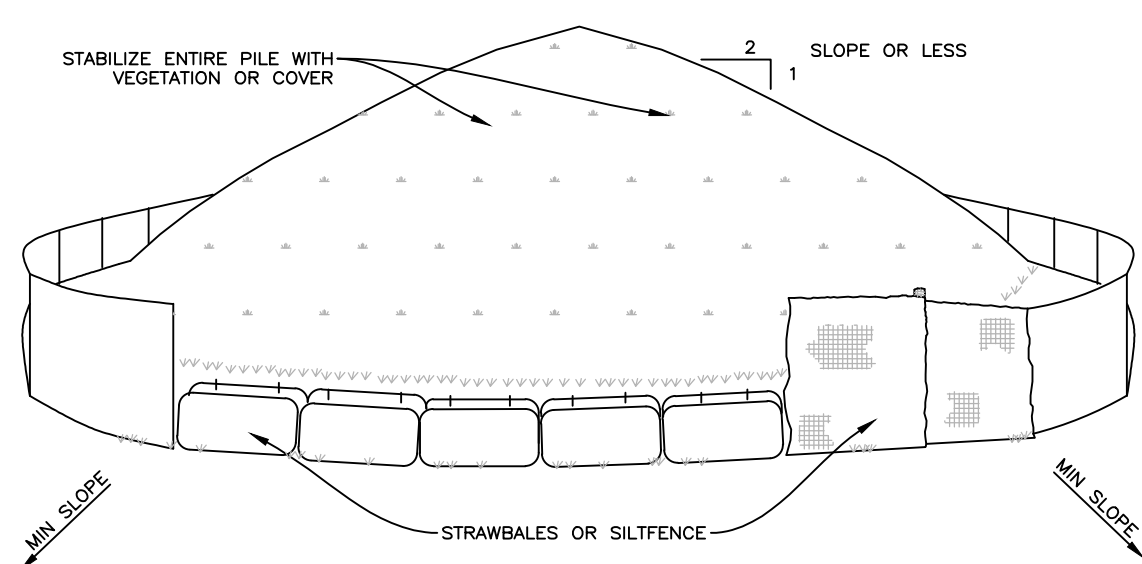
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- CONSTRUCTION SEQUENCE
- OBTAIN NECESSARY PERMITS WITH APPROPRIATE GOVERNING AGENCIES.
 - LIMITS OF DISTURBANCE SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
 - THE PROPOSED HOUSE AND/OR OFFSETS SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR.
 - TREES TO BE PRESERVED SHALL BE CLEARLY MARKED AND PROTECTED.
 - ALL EROSION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AS PER THIS PLAN OR THE EROSION CONTROL PLAN AND APPROPRIATE DETAILS.
 - CLEARING AND GRUB AREAS PROPOSED FOR CONSTRUCTION, CHIP BRANCHES AND LOGS AS PRACTICABLE AND REMOVE FROM SITE IN A LAWFUL MANNER.
 - COMMENCE EXCAVATIONS AND FILLING FOR ROUGH GRADING OF LOT AND FOR FOOTING GRADE OF DRIVEWAY.
 - CONSTRUCT TEMPORARY DIVERSION SWALES, TRAP, SEDIMENT BASIN, AND TEMPORARY PLUNGE POOLS.
 - CONSTRUCT FOOTINGS, FOUNDATION WALLS, AND BUILDING SUPERSTRUCTURE.
 - INSTALL FOOTING LEADERS DRAINS AND FOOTING DRAINS.
 - RAIN GARDEN SHALL BE PROTECTED FROM SEDIMENTS.
 - INSTALL DRAINAGE SYSTEM AS SHOWN ON PLAN.
 - INSTALL SEWER CONNECTION AS SHOWN ON PLAN.
 - COORDINATE AND INSTALL APPROPRIATE UTILITIES AS PER UTILITY COMPANIES.
 - UPON COMPLETION OF SEWER CONNECTION, HOUSE UTILITIES, DRAINAGE, AND ROUGH GRADING, LOT SHALL BE BROUGHT TO FINISHED GRADE, TOP SOILED, SEEDED AND MULCHED.
 - TEMPORARY SEDIMENT BASIN AND PLUNGE POOL SHALL BE REMOVED, RE-GRADED, AND STABILIZED. TEMPORARY SWALES SHALL BE CONVERTED INTO PERMANENT SWALES.
 - FINAL PAVING OF DRIVEWAY.
 - REMOVAL OF EROSION CONTROL DEVICES AS AREAS ARE STABILIZED. COLLECTED SEDIMENTS SHALL BE REMOVED AND EROSION CONTROL DEVICES SHALL BE DISCARDED IN A LAWFUL MANNER.



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

SITE DATA	
OWNER/APPLICANT: MARSHALL AND RAFFELM KESTEN	
SITE ADDRESS: 1 SHOEMAKER LANE ARMONK, 10504	
TAX MAP #: 101.03-2-7.1	REVISED: NOVEMBER 23, 2020
LOT AREA: 2.131	REVISED: NOVEMBER 17, 2020
ZONING: R-1A	REVISED: MAY 14, 2020
	REVISED: FEBRUARY 4, 2020
	REVISED: JANUARY 13, 2020
DRAWING: UTILITY & EROSION CONTROL PLAN	SHEET 02 03
PROJECT: KESTEN RESIDENCE	
TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	



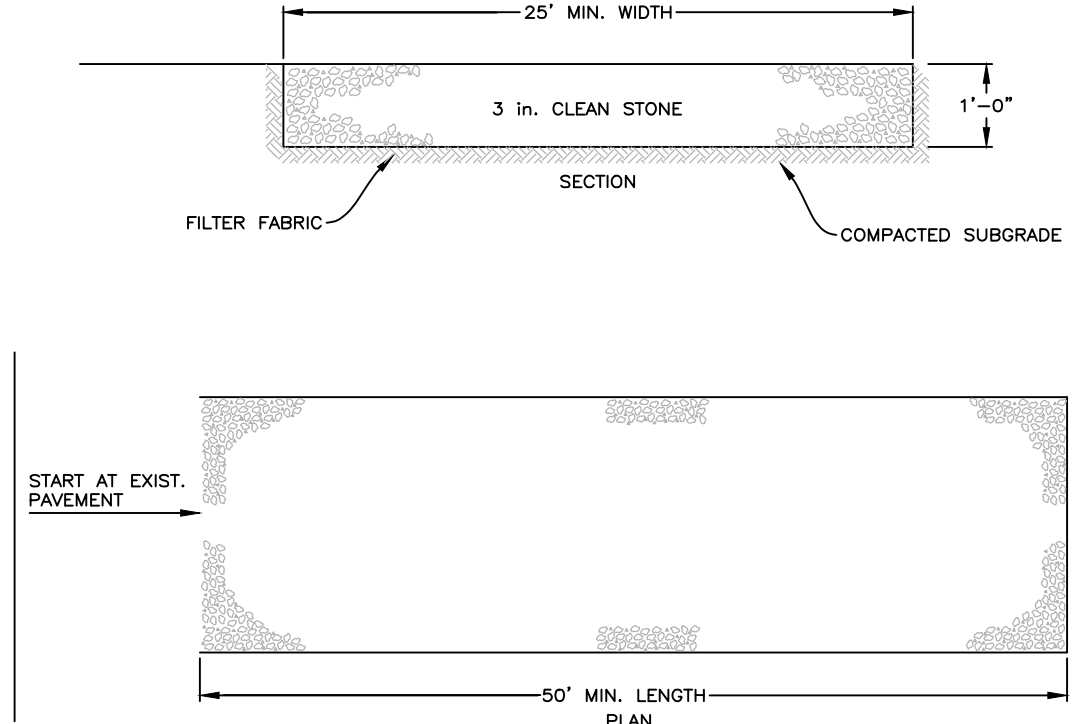
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW FERTILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVER.

TEMPORARY MATERIAL STOCKPILE
N.T.S.

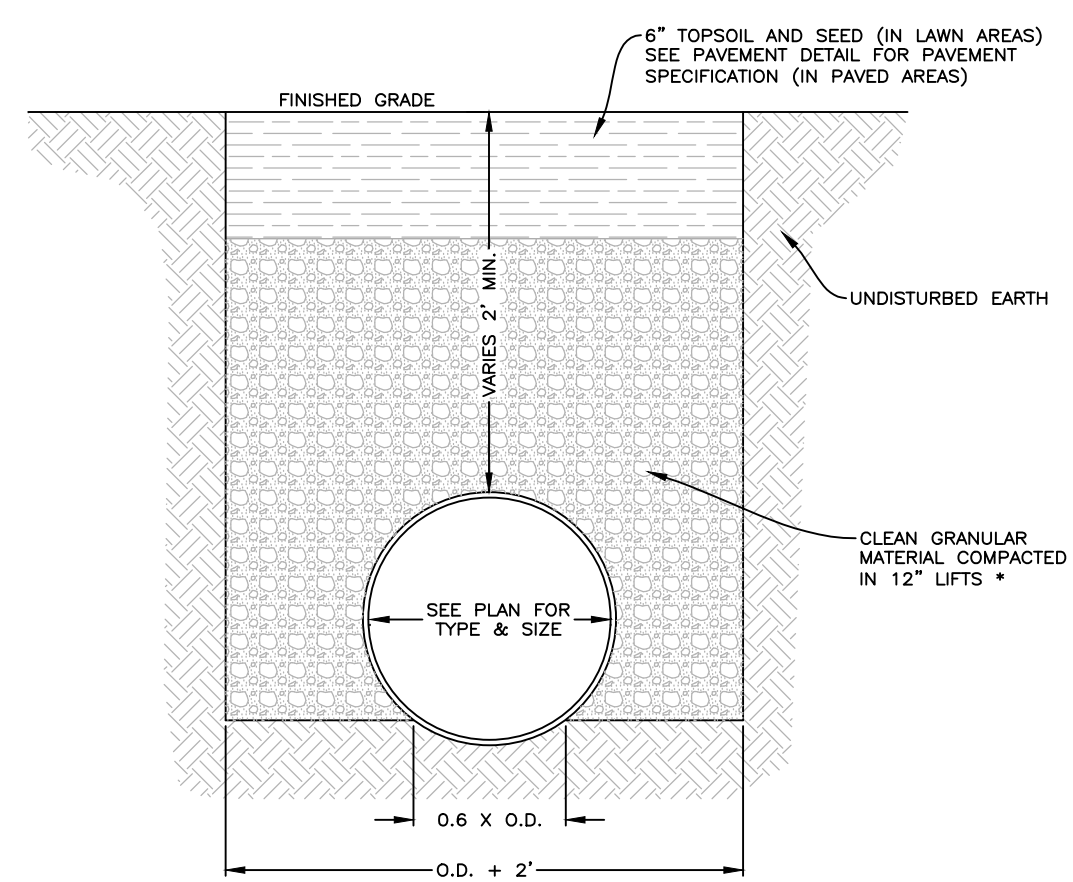


STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)
N.T.S.

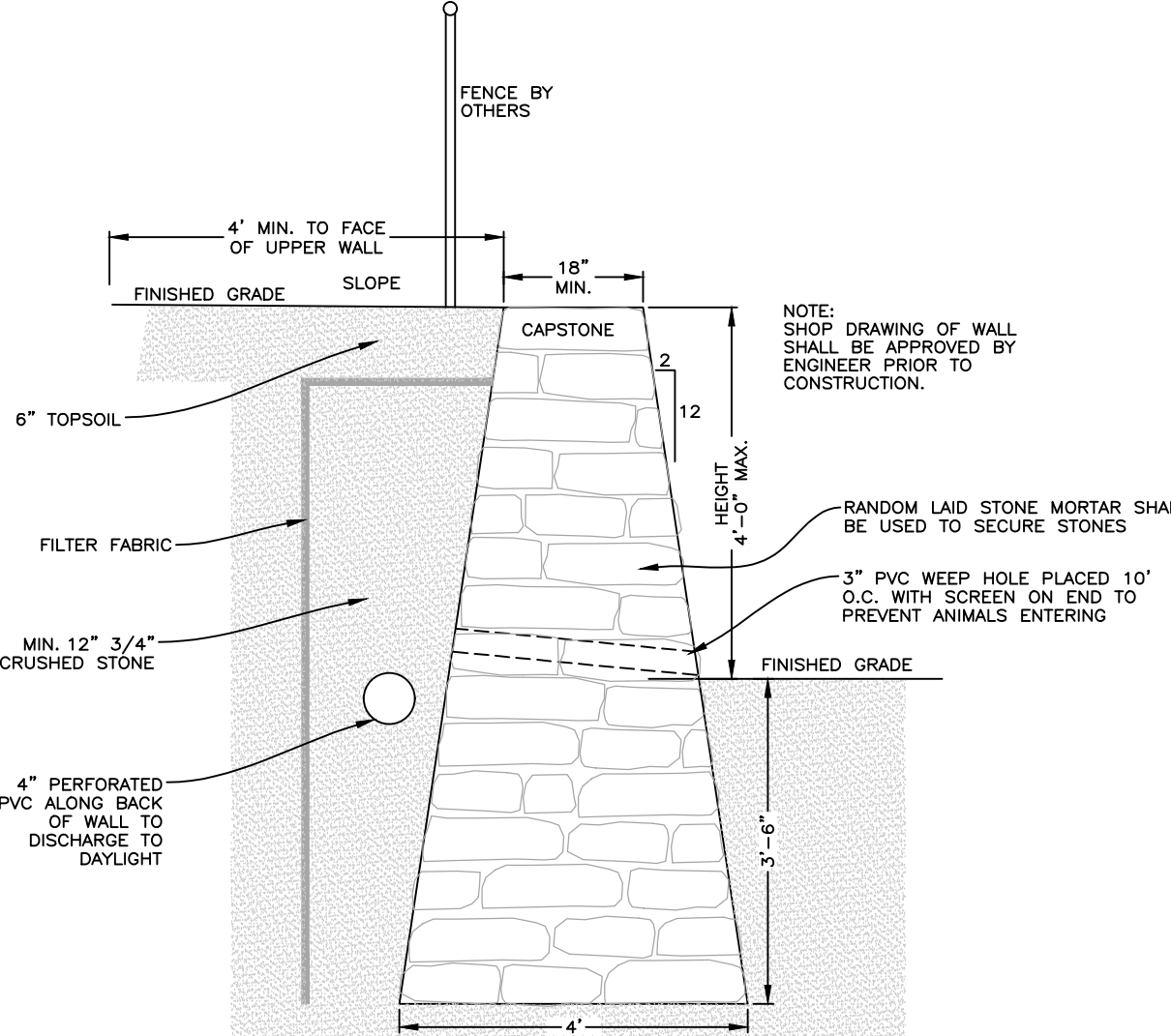
TO BE PROVIDED AT ALL POINTS OF EQUIPMENT INGRESS OR EGRESS ONTO PUBLIC RIGHTS-OF-WAY.

INSTALLATION NOTES

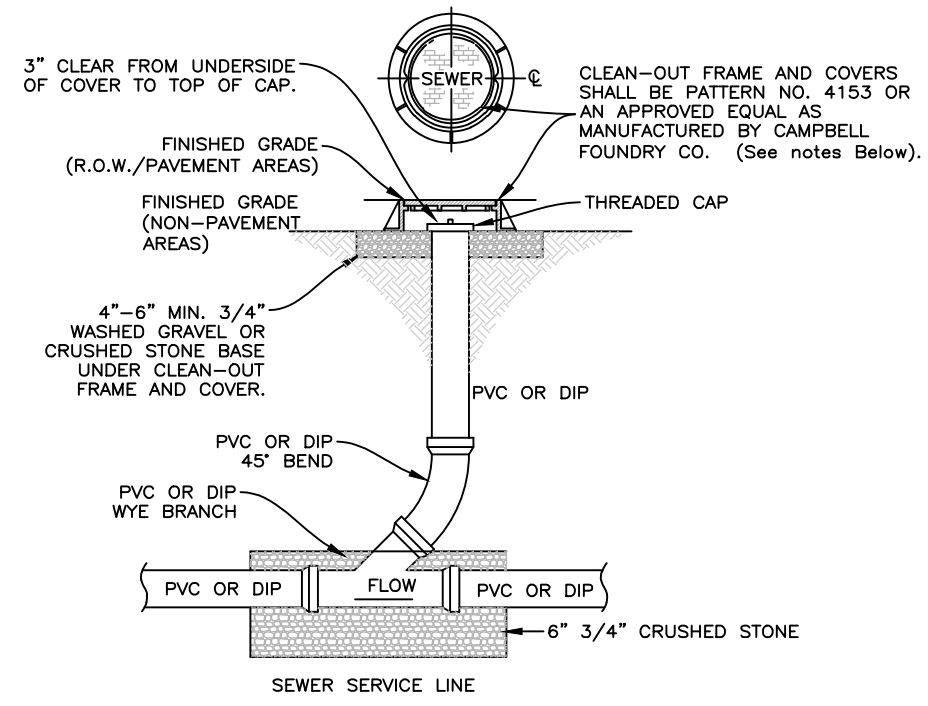
1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



DRAIN PIPE TRENCH DETAIL
N.T.S.

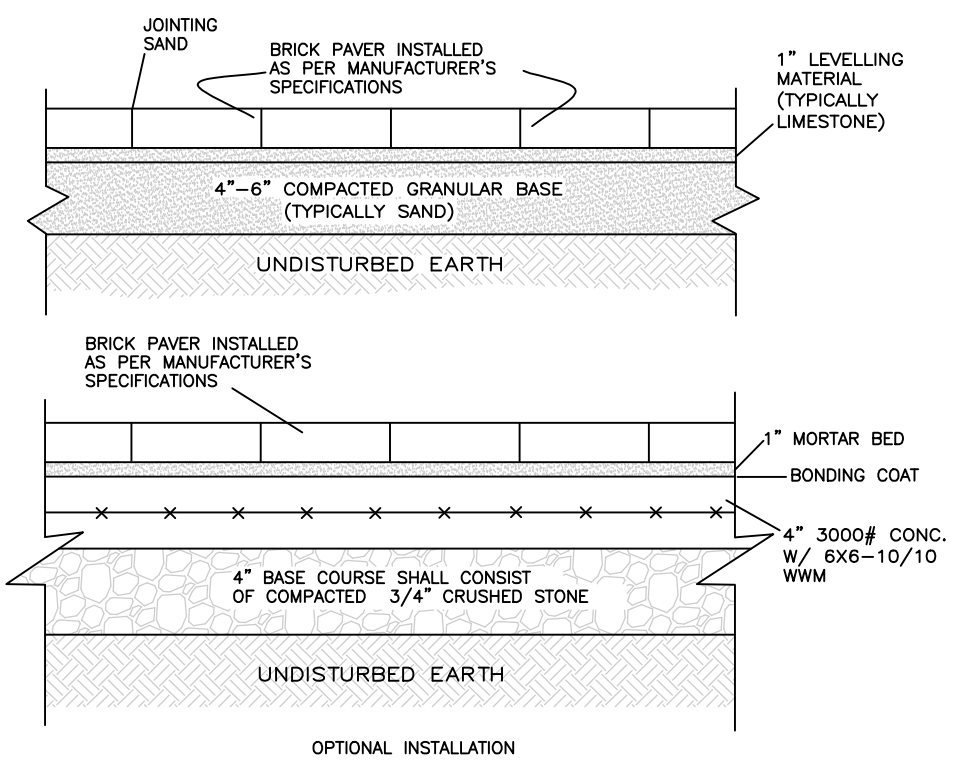


TYPICAL RETAINING WALL
N.T.S.

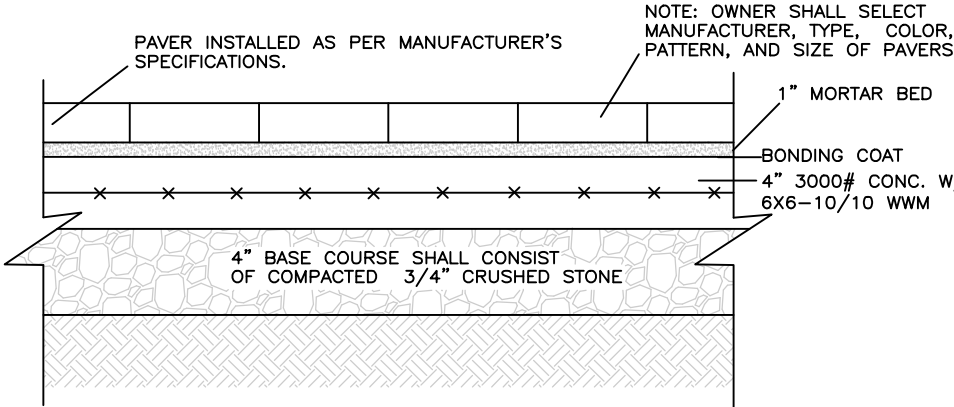


1. ALL CLEAN-OUT FRAMES AND COVERS SHALL BE MADE IN THE U.S.A. HEAVY DUTY SURFACE FOR TRAFFIC LOADINGS WITH A MACHINED MATING SURFACE FOR A TIGHT NON-ROCKING FIT.
2. CLEAN-OUT COVERS SHALL CONTAIN THE WORD "SEWER" CAST IN RAISED LETTERS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE COVER PATTERN CLEAN AND FREE OF EXCESS PAVENTMENT, MORTAR, AND DIRT THAT MAY HINDER REMOVAL OR OBSCURE THE LETTERING UNTIL THE MUNICIPALITY HAS ACCEPTED THE SEWER.

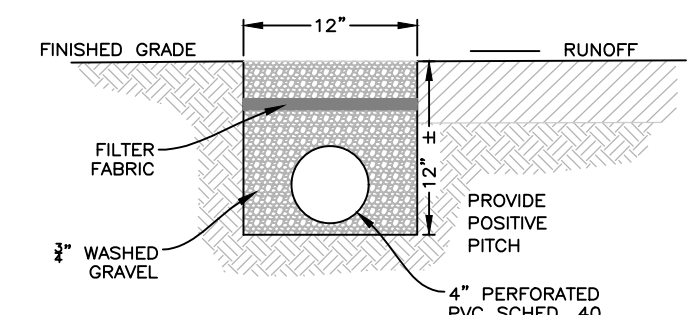
CLEANOUT ASSEMBLY DETAIL
N.T.S.



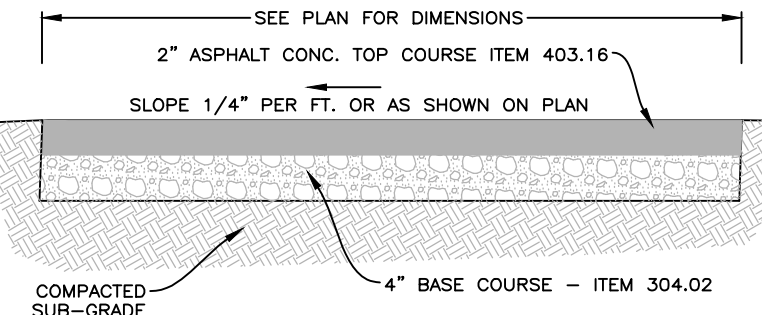
TYPICAL TERRACE/PATIO DETAILS
N.T.S.



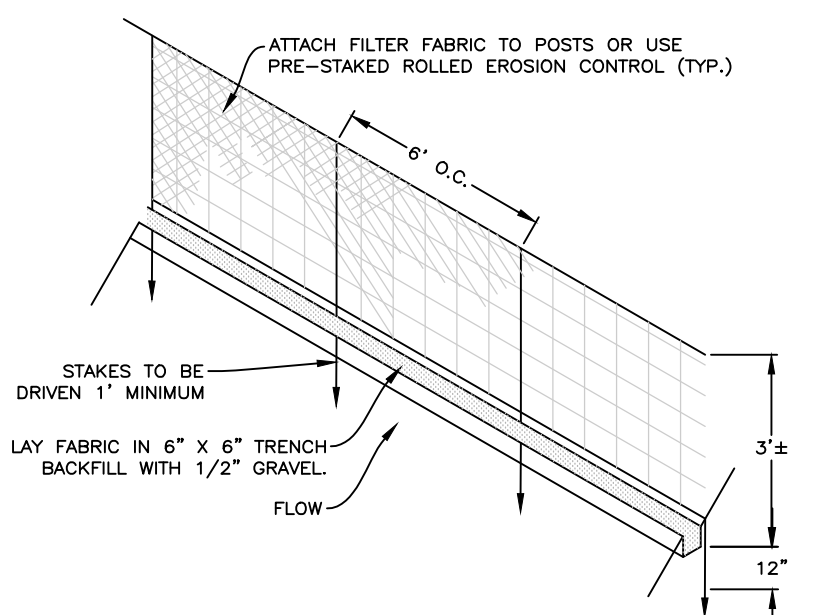
WALKWAY DETAIL
N.T.S.



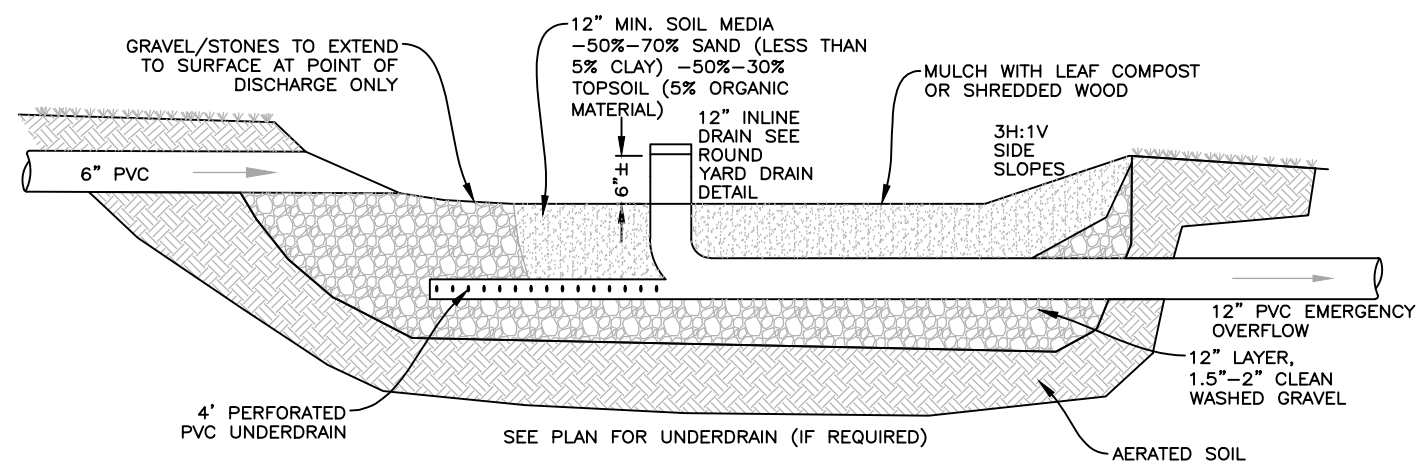
PERIMETER DRAIN
N.T.S.



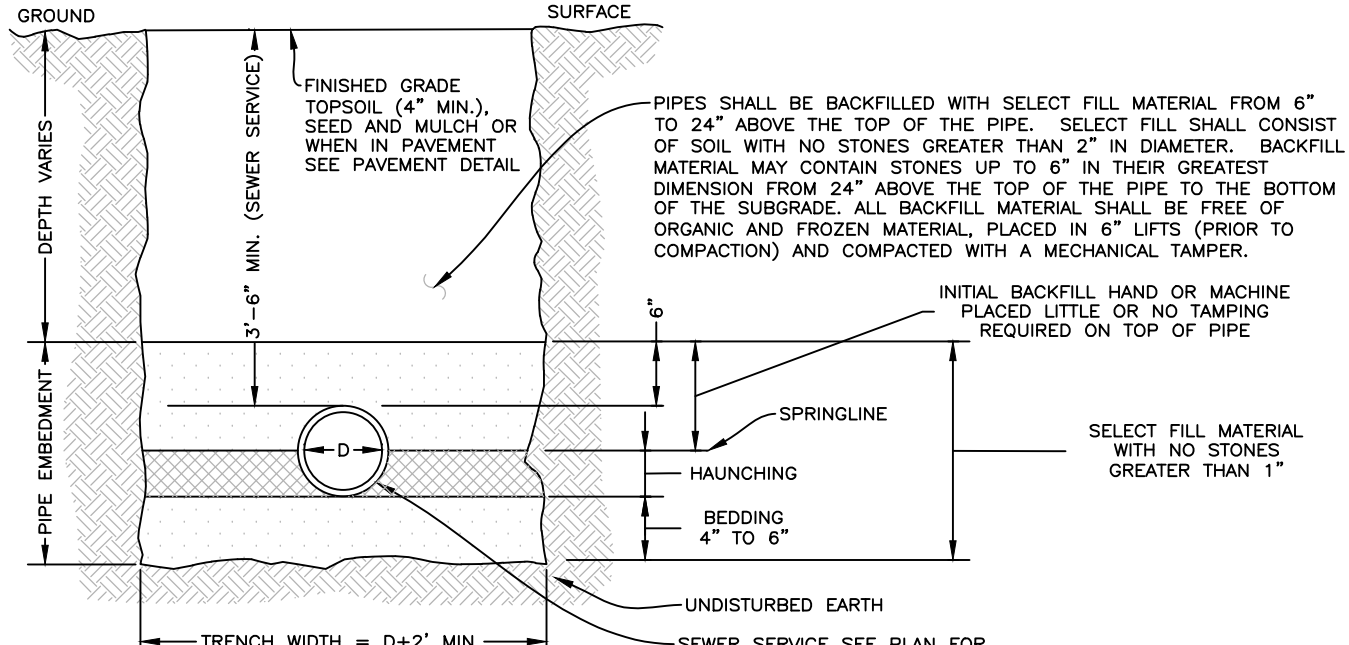
DRIVEWAY SECTION
N.T.S.



SILT FENCE
N.T.S.

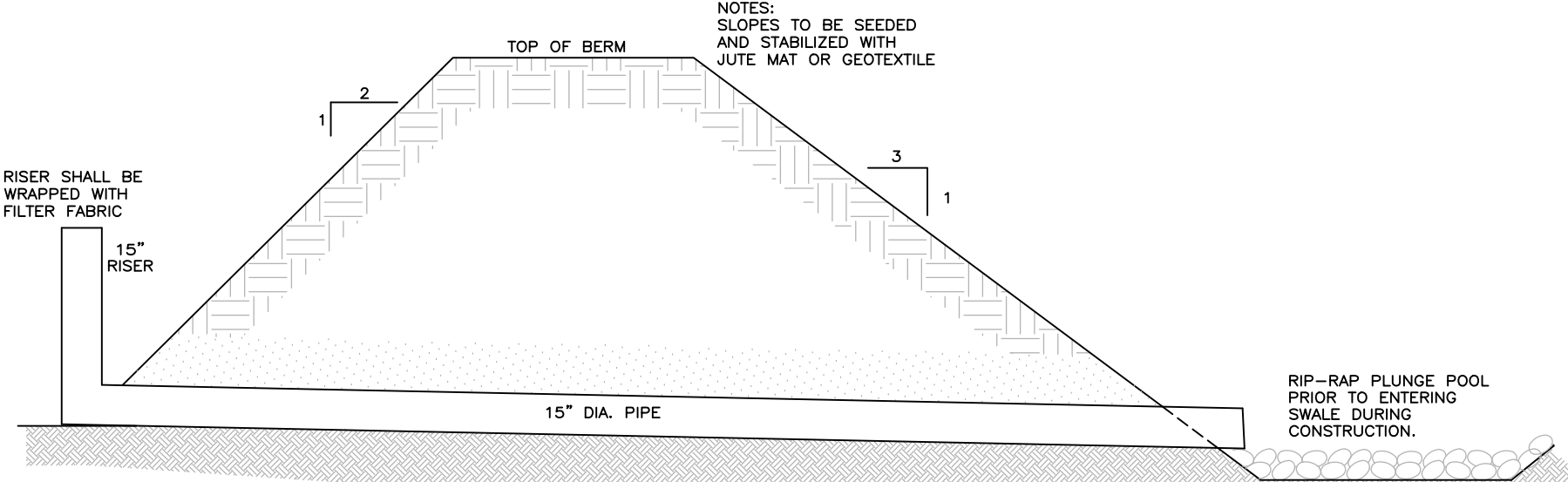


RAIN GARDEN DETAILS
N.T.S.

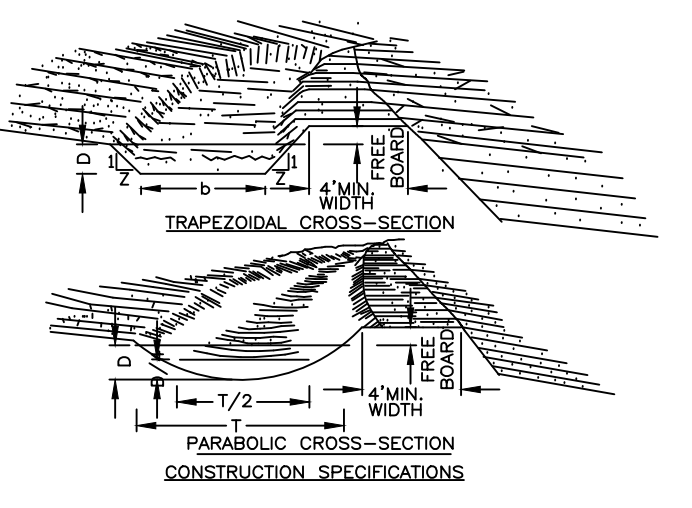


SEWER SERVICE TRENCH DETAIL
N.T.S.

1. NO ROCK IS TO PROJECT INTO WITHIN THE EDGES OF THE TRENCH. IN ROCK EXCAVATION PIPE SHALL BE 2" MIN. OF 4" OVER AND AWAY FROM ROCK.
2. BACKFILL SHALL BE PLACED SO AS TO NOT DISTURB THE PIPE ALIGNMENT.

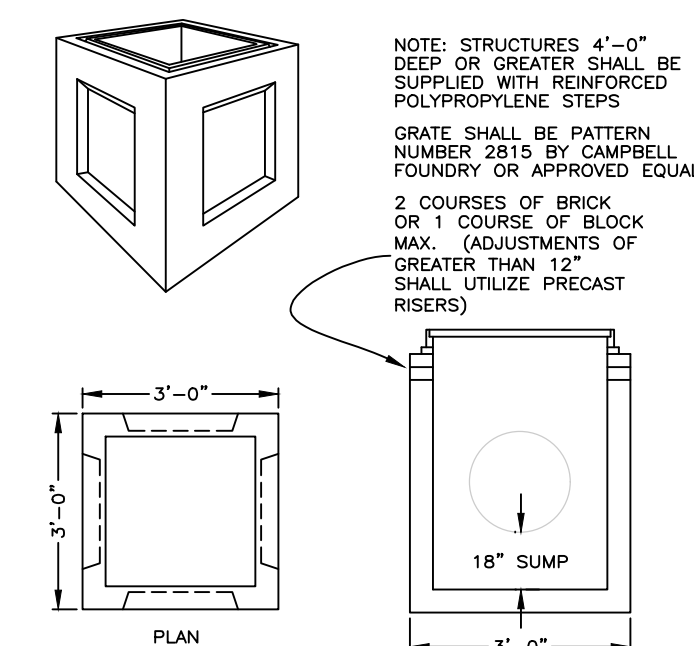


TEMPORARY SEDIMENT BASIN OUTLET
N.T.S.

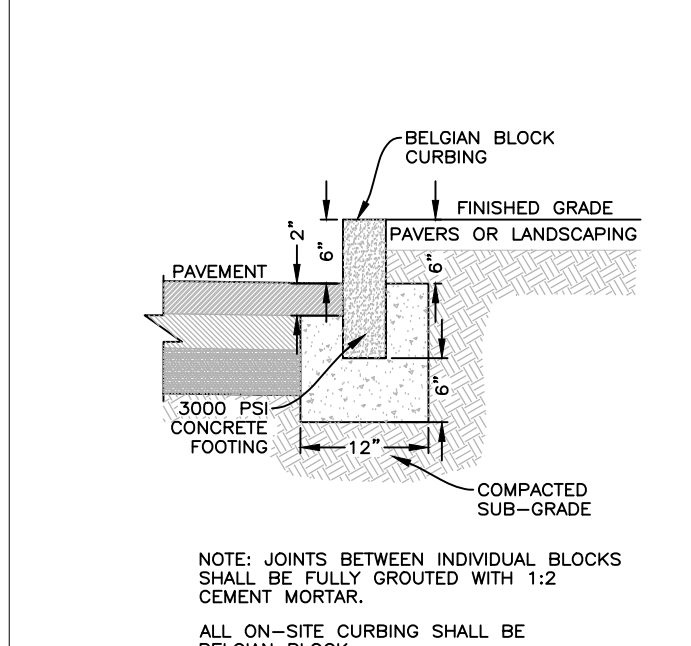


DIVERSION SWALE
N.T.S.

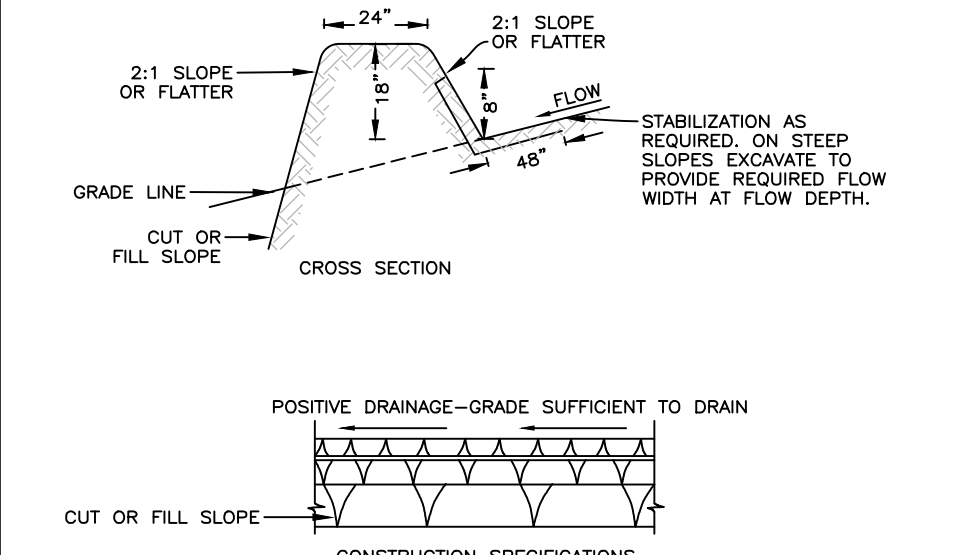
1. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIVERSION.
2. THE DIVERSION SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN, AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPED NORMAL FLOW.
3. FILLS SHALL BE COMPACTED AS NEEDED TO PREVENT UNEQUAL SETTLEMENT THAT WOULD CAUSE DAMAGE IN THE COMPLETE DIVERSION.
4. ALL EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIVERSION.
5. STABILIZATION SHALL BE DONE ACCORDING TO THE APPROPRIATE STANDARD AND SPECIFICATIONS FOR VEGETATIVE PRACTICES.
6. FOR DESIGN VELOCITIES OF LESS THAN 3.5 FT. PER SEC., SEEDING AND MULCHING MAY BE USED FOR THE ESTABLISHMENT OF THE VEGETATION. IT IS RECOMMENDED THAT WHEN CONDITIONS PERMIT, TEMPORARY DIVERSIONS OR OTHER MEANS SHOULD BE USED TO PREVENT WATER FROM ENTERING THE DIVERSION DURING THE ESTABLISHMENT OF THE VEGETATION.
7. FOR DESIGN VELOCITIES OF MORE THAN 3.5 FT. PER SEC., THE DIVERSION SHALL BE STABILIZED WITH SOD, WITH SEEDING PROTECTED BY JUTE OR EXCLOSOR MATTING OR WITH SEEDING AND MULCHING INCLUDING TEMPORARY DIVERSION OF THE WATER UNTIL THE VEGETATION IS ESTABLISHED.



YARD DRAIN
N.T.S.

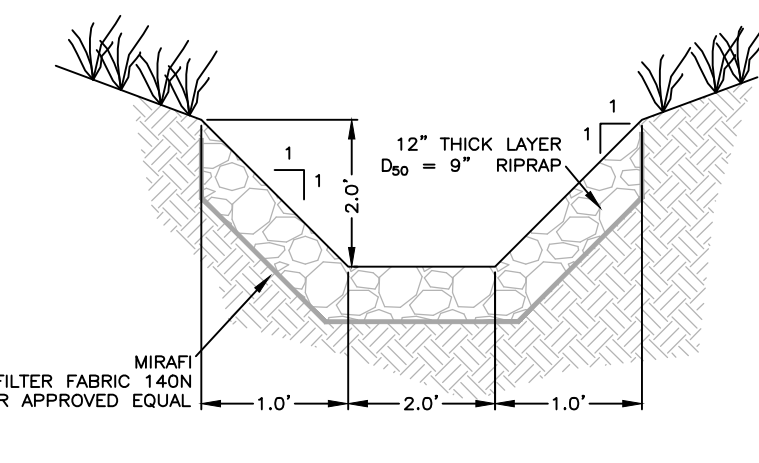


BELGIAN BLOCK CURB
N.T.S.

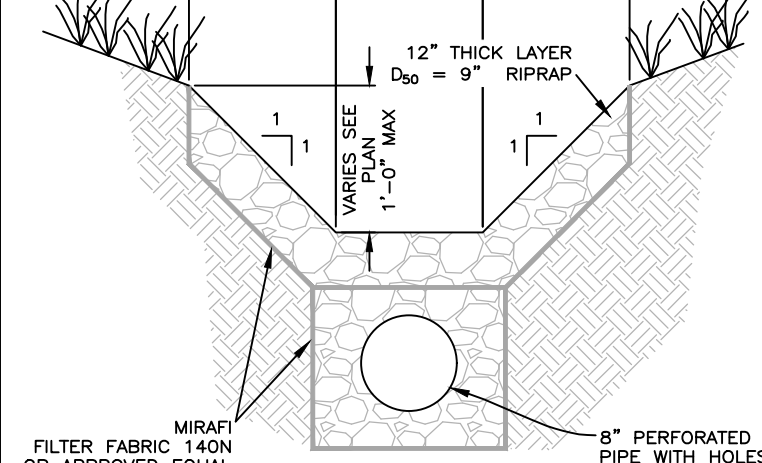


EARTH BERM/DYKE
N.T.S.

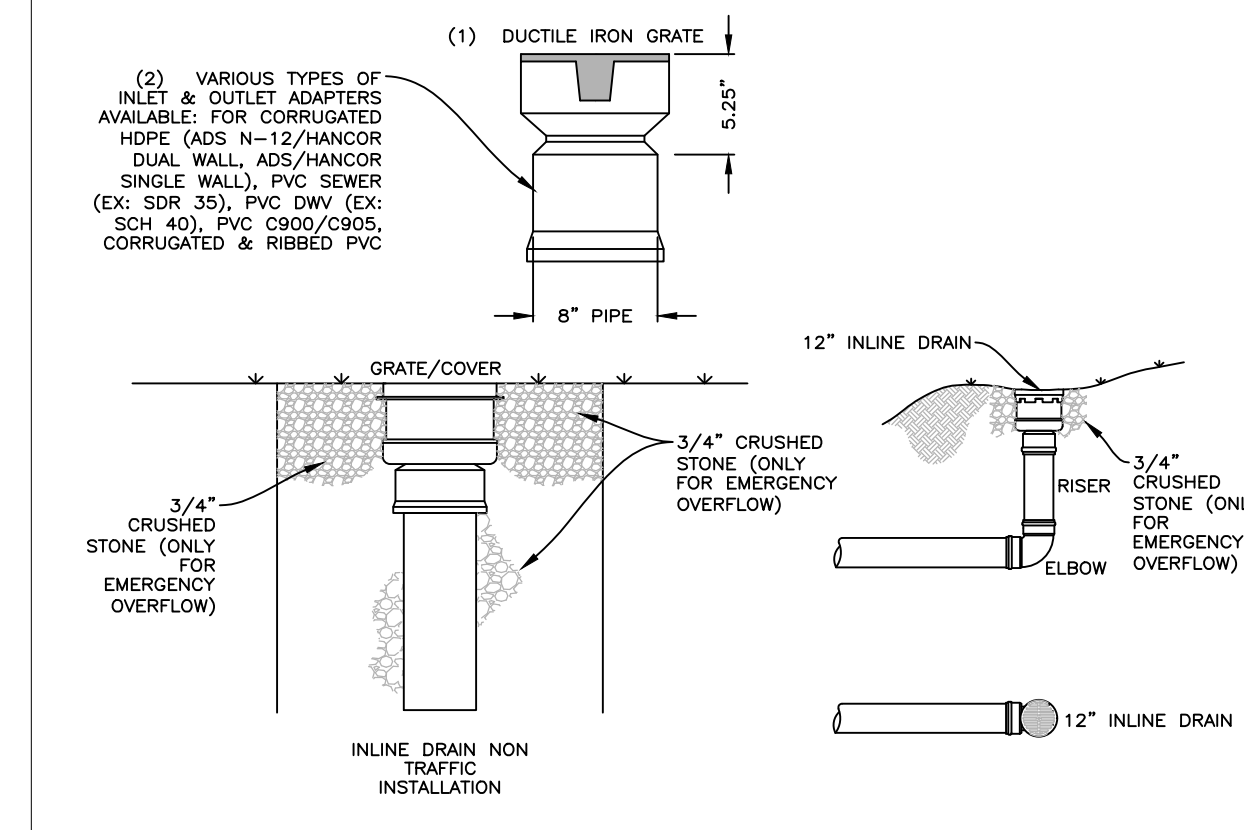
1. ALL DIKES SHALL BE COMPACTED BY EARTH-MOVING EQUIPMENT.
2. ALL DIKES SHALL HAVE POSITIVE DRAINAGE TO AN OUTLET.
3. TOP WIDTH MAY BE WIDER AND SIDE SLOPES BE FLATTER IF DESIRED TO FACILITATE CROSSING BY CONSTRUCTION TRAFFIC.
4. FIELD LOCATION SHOULD BE ADJUSTED AS NEEDED TO UTILIZE A STABILIZED SAFE OUTLET.
5. EARTH DIKES SHALL HAVE AN OUTLET THAT FUNCTIONS WITH A MINIMUM OF EROSION. RUNOFF SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE SUCH AS A SEDIMENT TRAP OR SEDIMENT BASIN WHERE EITHER THE DIKE CHANNEL OR DRAINAGE AREA ABOVE THE DIKE ARE NOT ADEQUATELY STABILIZED.
6. STABILIZATION SHALL BE (A) IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEED AND STRAW MULCH IF NOT IN SEEDING SEASON, (B) FLOW CHANNEL AS PER THE CHART ON THE PREVIOUS PAGE.



STONE SWALE 2
N.T.S.



STONE SWALE 1
N.T.S.



ROUND YARD DRAIN
N.T.S.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: FEBRUARY 10, 2020

ENGINEERING DRAWINGS, PLANS REVIEWED BY TOWN ENGINEER



ALFONZETTI ENGINEERING, P.C.
1100 ROUTE 52, CARMEL, N.Y. 10512
845 - 228 - 9800

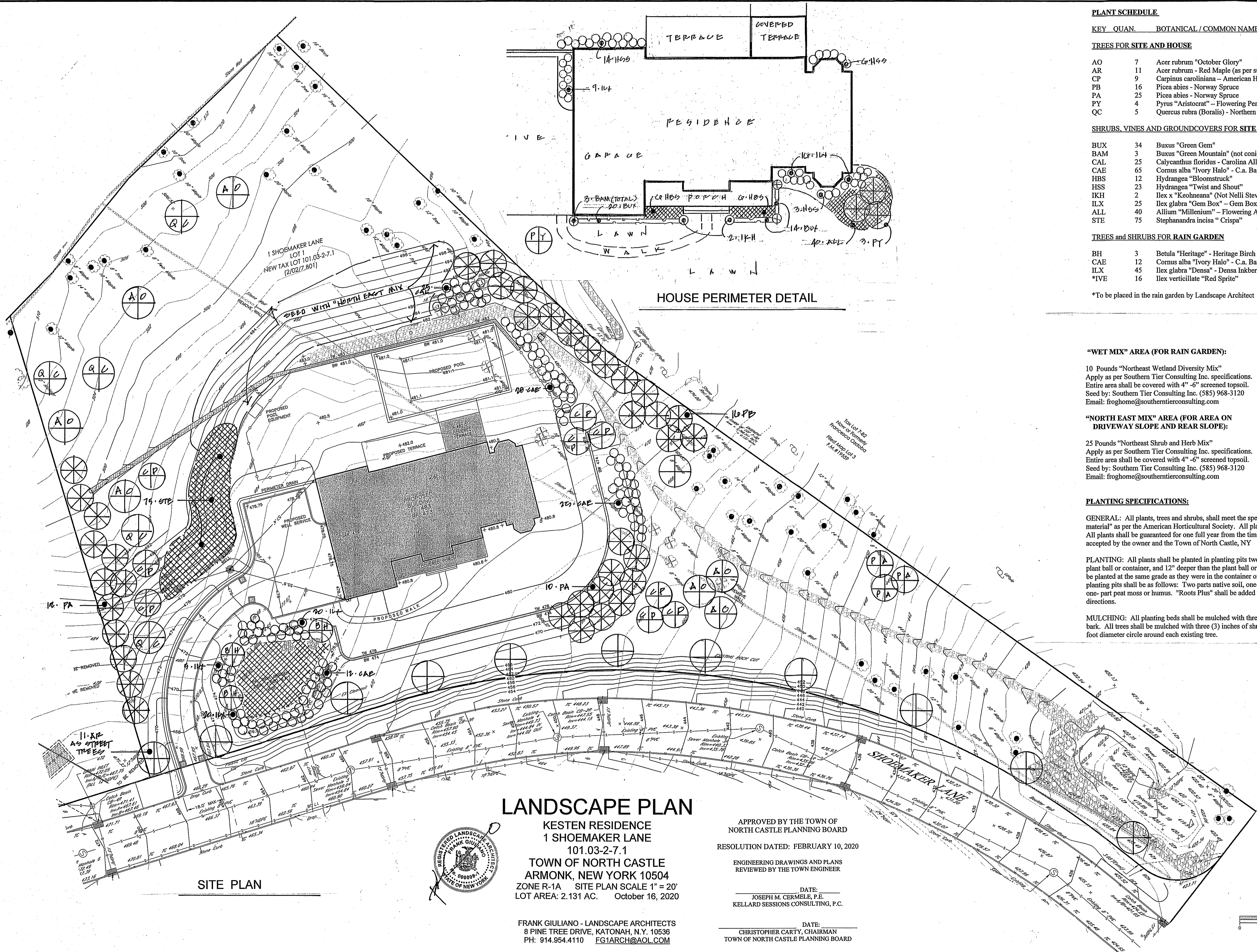
SITE DATA

OWNER/APPLICANT: MARSHALL AND RAFFELM KESTEN
SITE ADDRESS: 1 SHOEMAKER LANE ARMONK, 10504
TAX MAP #: 101.03-2-7.1
LOT AREA: 2.131
ZONING: R-1A

REVISOR: NOVEMBER 23, 2020
REVISOR: NOVEMBER 17, 2020
REVISOR: MAY 14, 2020
REVISOR: FEBRUARY 4, 2020
REVISOR: JANUARY 13, 2020
REVISOR: NOVEMBER 22, 2019
REVISOR: OCTOBER 24, 2019

SITE DETAILS
SEPTEMBER 20, 2019

PROJECT: **KESTEN RESIDENCE**
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK



PLANT SCHEDULE

KEY	QUAN.	BOTANICAL / COMMON NAME	SIZE
TREES FOR SITE AND HOUSE			
AO	7	Acer rubrum "October Glory"	3 1/2"-4" Cal.
AR	11	Acer rubrum - Red Maple (as per subdivision. Plan)	2"-2 1/2" Cal.
CP	9	Carpinus caroliniana - American Hornbeam	15 Gal.
PB	16	Picea abies - Norway Spruce	10'-12" HT.
PA	25	Picea abies - Norway Spruce	8'-9" HT.
PY	4	Pyrus "Aristocrat" - Flowering Pear	3"-3 1/2" Cal.
QC	5	Quercus rubra (Boralis) - Northern Red Oak	3"-3 1/2" Cal.
SHRUBS, VINES AND GROUNDCOVERS FOR SITE AND HOUSE:			
BUX	34	Buxus "Green Gem"	18"-24" HT.
BAM	3	Buxus "Green Mountain" (not conical)	30"-36" HT.
CAL	25	Calycanthus floridus - Carolina Allspice	3 Gal.
CAE	65	Cornus alba "Ivory Halo" - C.a. Ballhalo	5 Gal.
HBS	12	Hydrangea "Bloomstruck"	5 Gal.
HSS	23	Hydrangea "Twist and Shout"	5 Gal.
IKH	2	Ilex x "Keokheana" (Not Nelli Stevens) specimen	6'-7" HT.
ILX	25	Ilex glabra "Gem Box" - Gem Box Inkberry	5 Gal.
ALL	40	Allium "Millenium" - Flowering Allium	2 Gal.
STE	75	Stephanandra incisa "Crispa"	2 Gal.
TREES and SHRUBS FOR RAIN GARDEN			
BH	3	Betula "Heritage" - Heritage Birch (three stems)	10'-12" HT.
CAE	12	Cornus alba "Ivory Halo" - C.a. Ballhalo	5 Gal.
ILX	45	Ilex glabra "Densa" - Densa Inkberry	3 Gal.
*IVE	16	Ilex verticillata "Red Sprite"	3 Gal.

*To be placed in the rain garden by Landscape Architect

"WET MIX" AREA (FOR RAIN GARDEN):
 10 Pounds "Northeast Wetland Diversity Mix"
 Apply as per Southern Tier Consulting Inc. specifications.
 Entire area shall be covered with 4"-6" screened topsoil.
 Seed by: Southern Tier Consulting Inc. (585) 968-3120
 Email: froghome@southern-tierconsulting.com

"NORTH EAST MIX" AREA (FOR AREA ON DRIVEWAY SLOPE AND REAR SLOPE):
 25 Pounds "Northeast Shrub and Herb Mix"
 Apply as per Southern Tier Consulting Inc. specifications.
 Entire area shall be covered with 4"-6" screened topsoil.
 Seed by: Southern Tier Consulting Inc. (585) 968-3120
 Email: froghome@southern-tierconsulting.com

PLANTING SPECIFICATIONS:

GENERAL: All plants, trees and shrubs, shall meet the specifications for "plant material" as per the American Horticultural Society. All plants shall be specimen quality. All plants shall be guaranteed for one full year from the time the landscaping is formally accepted by the owner and the Town of North Castle, NY

PLANTING: All plants shall be planted in planting pits two times the diameter of the plant ball or container, and 12" deeper than the plant ball or container. The plants shall be planted at the same grade as they were in the container or nursery. Backfill for all planting pits shall be as follows: Two parts native soil, one-part screened topsoil and one-part peat moss or humus. "Roots Plus" shall be added to all backfill, as per label directions.

MULCHING: All planting beds shall be mulched with three (3) inches of shredded cedar bark. All trees shall be mulched with three (3) inches of shredded cedar bark in a four (4) foot diameter circle around each existing tree.

LANDSCAPE PLAN

KESTEN RESIDENCE
 1 SHOEMAKER LANE
 101.03-2-7.1

TOWN OF NORTH CASTLE
 ARMONK, NEW YORK 10504
 ZONE R-1A SITE PLAN SCALE 1" = 20'
 LOT AREA: 2.131 AC. October 16, 2020

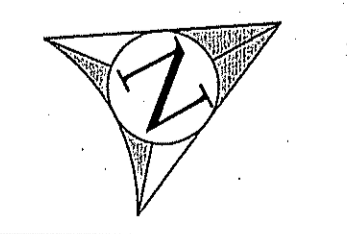
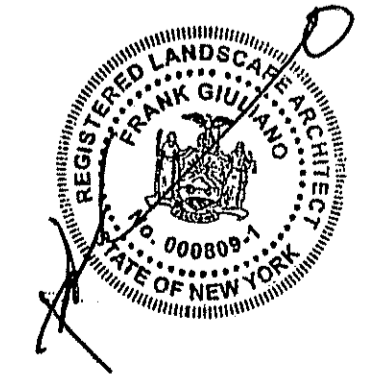
APPROVED BY THE TOWN OF
 NORTH CASTLE PLANNING BOARD
 RESOLUTION DATED: FEBRUARY 10, 2020

ENGINEERING DRAWINGS AND PLANS
 REVIEWED BY THE TOWN ENGINEER

DATE:
 JOSEPH M. CERMELE, P.E.
 KELLARD SESSIONS CONSULTING, P.C.

DATE:
 CHRISTOPHER CARTY, CHAIRMAN
 TOWN OF NORTH CASTLE PLANNING BOARD

FRANK GIULIANO - LANDSCAPE ARCHITECTS
 8 PINE TREE DRIVE, KATONAH, N.Y. 10536
 PH: 914.954.4110 FG1ARCH@AOL.COM



SCALE: 1" = 20'

Construction Type Note:
 As Per Title 19 NYCRR Part 1265
 Provide Label As Shown Below For:
 John Wallace Drive East, Lot 4, Croton on Hudson

Construction Type
 As Per Section 602 of BCNYS

FR = Floor And Roof Framing
 As Per Designation For Structural Components That Are Of
 Truss/Engineered Type Construction

Size:
 6" Diameter Circle

Color:
 Circle To Be 1/2" Stroke - Reflective Red Pantone #187
 Inner Circle - Reflective White
 Text - Reflective Red Pantone #187

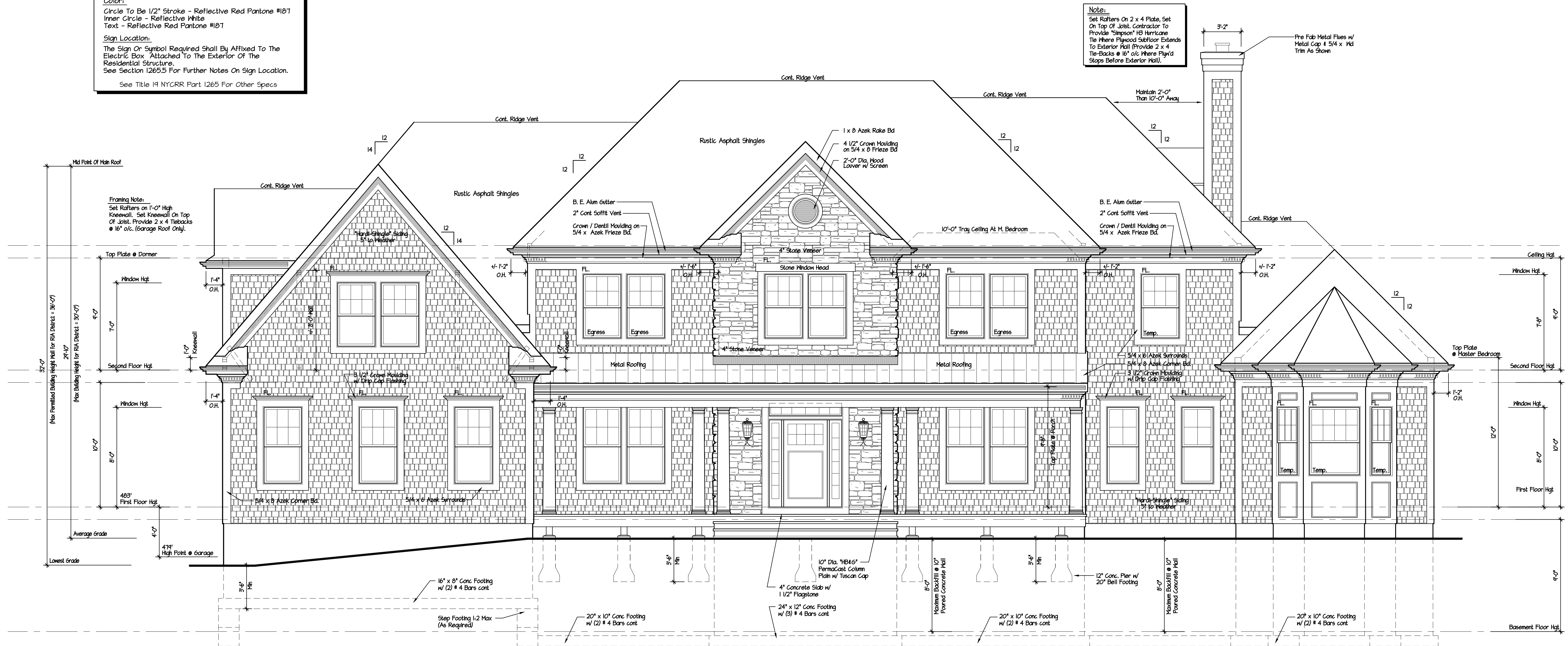
Sign Location:
 The Sign Or Symbol Required Shall Be Affixed To The
 Electric Box Attached To The Exterior Of The
 Residential Structure.
 See Section 1265.5 For Further Notes On Sign Location.

See Title 19 NYCRR Part 1265 For Other Specs

2015 International Residential Code
 With NYS Building Standards And Codes 2017 Uniform Code Supplement

Climatic & Geographic Design Criteria Table R301.2(1)

Ground Snow Load	Wind Design Speed (mph)	Topographic Effects	Special Wind Region	Hind-Borne Debris Zone	Seismic Design Category	Subject To Damage From Weathering First Ice Depth	Termites	Winter Design Temp.	Ice Shield Unobstructed Required	Flood Hazards	Air Freezing Index	Mean Annual Temperature	
30 lb/ft ²	115 - 120 mph	No	Yes	Zone I	C	Severe	42"	Moderate Heavy	7° F	Yes	No	1500 or Less	52.2 F



Front Elevation
 Scale: 1/4" = 1'-0"

Schedule For Proposed Building Material and Color Scheme

Name:	Type:	Color:
Siding:	James Hardie Shingle Siding	White
Windows:	Andersen (400 Series) Double Hung	Black
Trim:	Azek Composite	White
Front Door:	n/a Composite	Black
Garage Door:	n/a Composite	Wood
Metal Roofing:	n/a Metal	Dark Gray
Roofing:	6AF (30 Yr) Asphalt	Black
Stone Entrance:	n/a Ledge Stone	Natural
Gutter/ Leaders:	n/a Aluminum	White

Square Footage

First Floor	3,441 SF
Second Floor	2,156 SF
Total	6,203 SF
Unfinished Storage	455 SF

Approved by the Town of North Castle Planning Board
 Resolution, Dated Feb/10/2020

_____ Dated ___/___/___
 Christopher Carthy, Chairman
 Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:
 _____ Dated ___/___/___
 Joseph Cermele, PE
 Kellard Sessions Consulting, P.C. Consulting Town Engineers

DeMasi Architects P.C.
 105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
 PHONE: (914) 666-3856
 EMAIL: Lov@DemasiArchitects.com

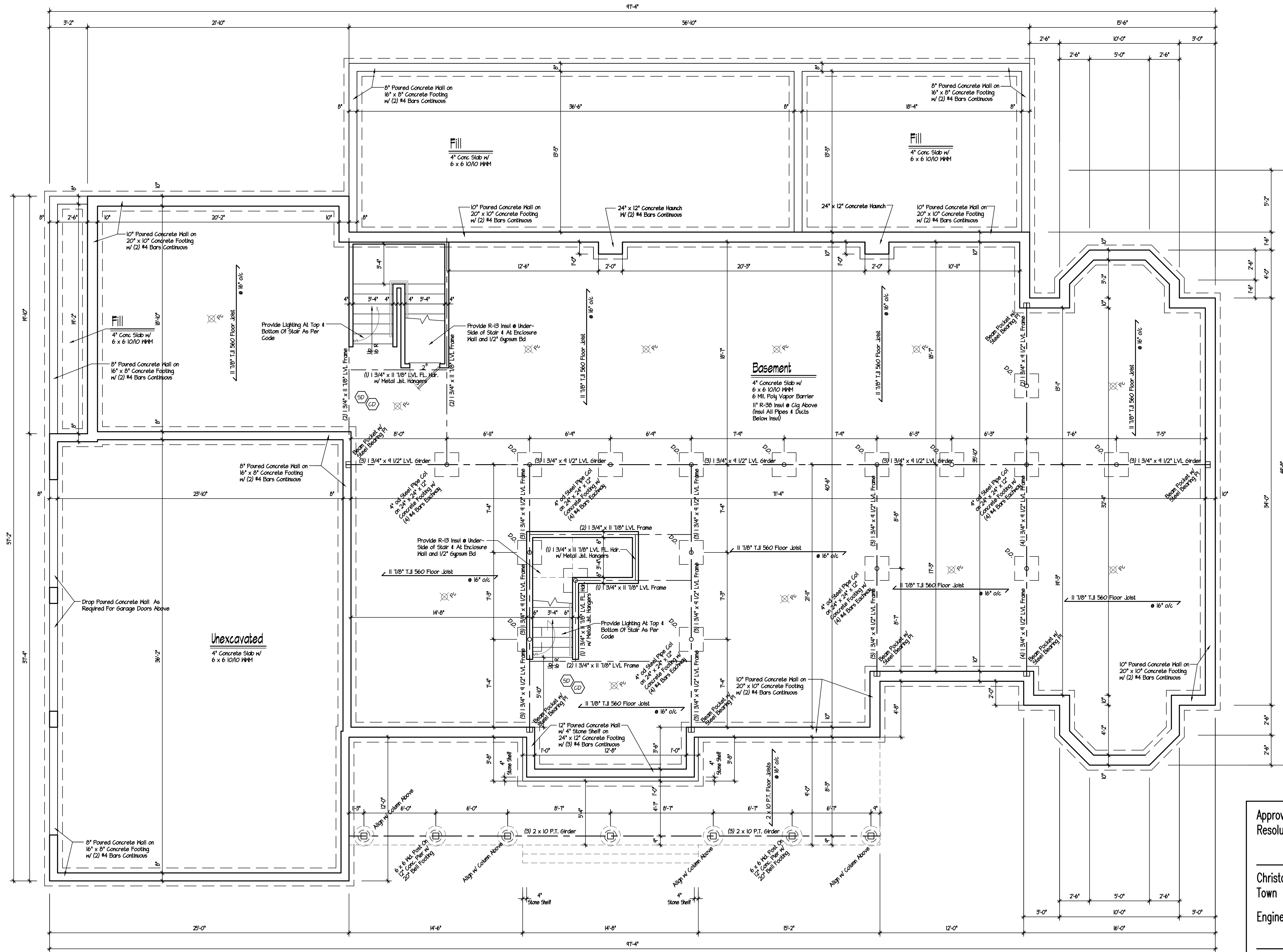


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Residence For
 Lot 1
 Wampus Mills Subdivision
 Shoemaker Lane
 North Castle, NY.

Grading	1-10-20
Revision	Date
Date	Oct. 7, 2020
Job No	214-060
Drawing	1 OF 9

Do Not Scale Prints



Foundation Plan
Scale: 1/4" = 1'-0"

Notes:

- All Footings To Bear 12" Below Solid Undisturbed Earth
- All Framing Members To Be # 2 Douglas Fir-Larch Or Better
- Double Frame Under All Partitions Parallel To Framing
- Double All Box Joist At Cellar Type Windows
- If The Floor Is To Be MID Job Consult Architect For Additional Framing Required

Legend:

- 2 x Wood Post (Match Beam Width or As Noted)
- Smoke Detector w/ Battery Back-up
- Heat Detector w/ Battery Back-up
- Carbon Monoxide Det w/ Battery Back-up
- Surface Mounted Light Fixture
- Surface Mounted Light Fixture w/ Pull Chain
- Duplex Outlet
- Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)

Wood Header Schedule

Span	Header Size
Up To 3'-0"	(2) 2 x 8 Hd
Up To 4'-0"	(2) 2 x 10 Hd
Up To 6'-0"	(3) 2 x 10 Hd

Notes:
Unless Otherwise Noted On Plans

Approved by the Town of North Castle Planning Board
Resolution, Dated Feb/10/2020

_____ Dated ____/____/____
Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:
_____ Dated ____/____/____
Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3956
EMAIL: Lo@DemasiArchitects.com



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Residence For
Lot 1
Wampus Mills Subdivision
Shoemaker Lane
North Castle, NY.

Revision	Date
Date	Oct. 7, 2020
Job No	214-060
Drawing	2 OF 9

Egress Window Sizes:

Opening	Meth	Height
TM 21040	5.12 sf	3'-10" / 25'-3/4"

- Window Note:**
- All Glazing To Be Low E⁺ Insulated Glass w/ Minimum R-31 (U=0.32).
 - All Windows Within 10' Of Floor To Have Tempered Glass (Double Hungs-Bottom Sash Only, All Others Full Unit).
 - All Glazing In Doors 4 Windows Enclosing Hot Tubs, Whirlpool Tubs, Saunas, Steam Rooms, Bathrooms and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 sq Ft Minimum w/ 24" min Clear Opening Height & 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEM" To Have Full Unit Tempered.
 - All Window Sills Within 24" Above The Finished Floor & Greater Than 12" Above Finished Grade Or Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

- Notes:**
- All Framing Members To Be # 2 Douglas Fir - Larch Or Better Double Frame Under All Partitions Parallel To Framing.
- If The Floor Is To Be MID Job Consult Architect For Additional Framing Required.
- Legend:**
- 2 x Wood Post (Match Beam Width or As Noted)
 - Smoke Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Surface Mounted Light Fixture
 - Recessed Light Fixture
 - Duplex Outlet
 - Ground Fault Interrupter (GFI) At All Wet Areas (As Required By Code)
- Wood Header Schedule**
- | Span | Header Size |
|-------------|----------------|
| Up To 3'-0" | (2) 2 x 8 Hdr |
| Up To 4'-0" | (2) 2 x 10 Hdr |
| Up To 6'-0" | (3) 2 x 10 Hdr |
- Note: Unless Otherwise Noted On Plans

- Fireplace Note:**
- (A) Pre-Fab Hood Barring Fireplace w/ 42" Opening. Tile Surround to Wood Mantel w/ Flush Tile Hearth Provide Temp. Glass Dr's & Provide Glass Outside Air Intake Duct Provide Gas Insert.
- (B) Pre-Fab Gas Burning Fireplace w/ 36" Opening. Tile Surround to Wood Mantel w/ Flush Tile Hearth Provide Temp. Glass Window & Provide Glass Outside Air Intake Duct Provide Gas Insert.
- Contractor To Maintain 2" Min. Clearance To Combustibles Members From All Masonry Masses As Per Building Code

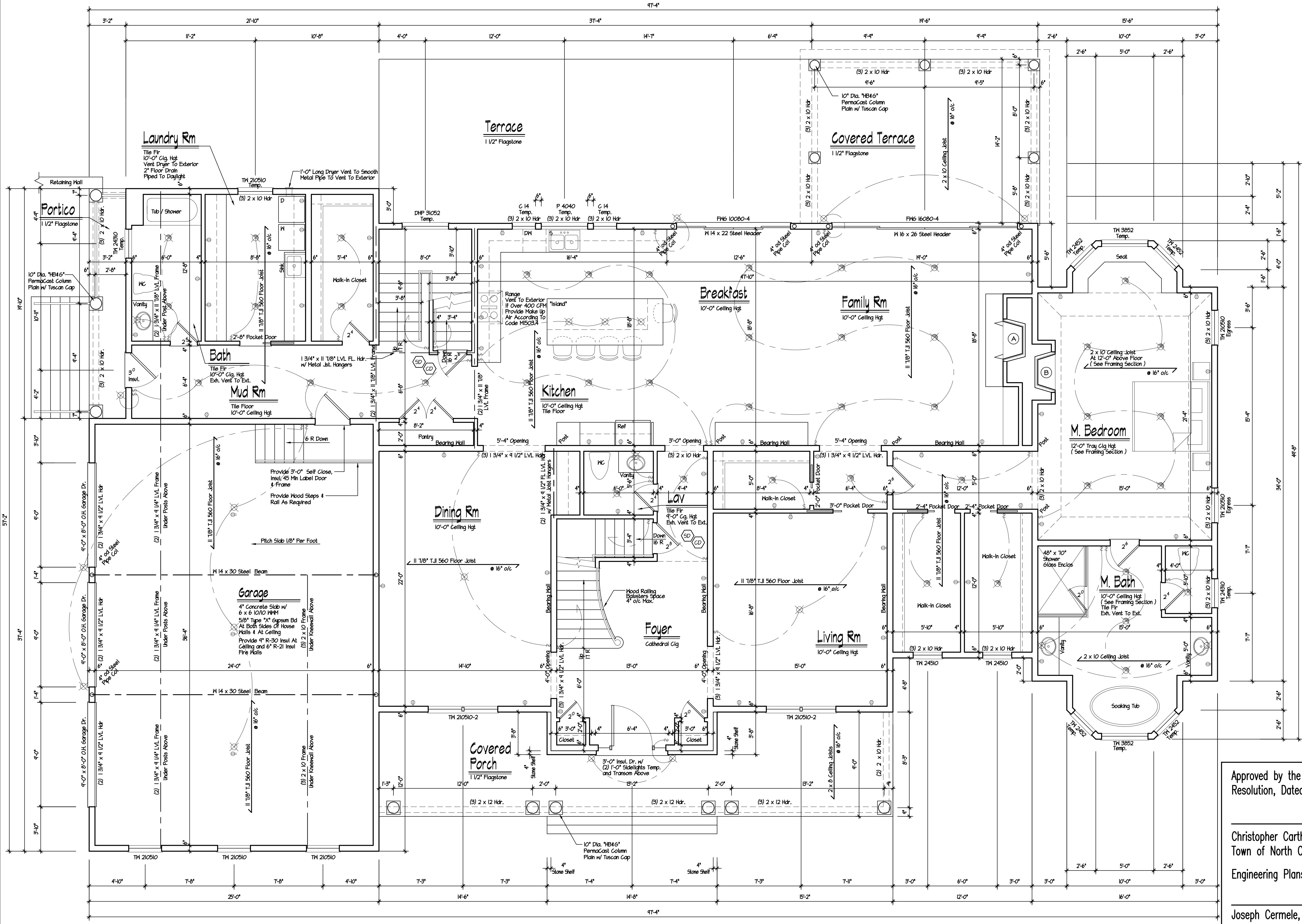
Approved by the Town of North Castle Planning Board
Resolution, Dated Feb/10/2020

Dated ___/___/___

Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:
Dated ___/___/___

Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers



First Floor Plan
Scale: 1/4" = 1'-0"

Do Not Scale Prints

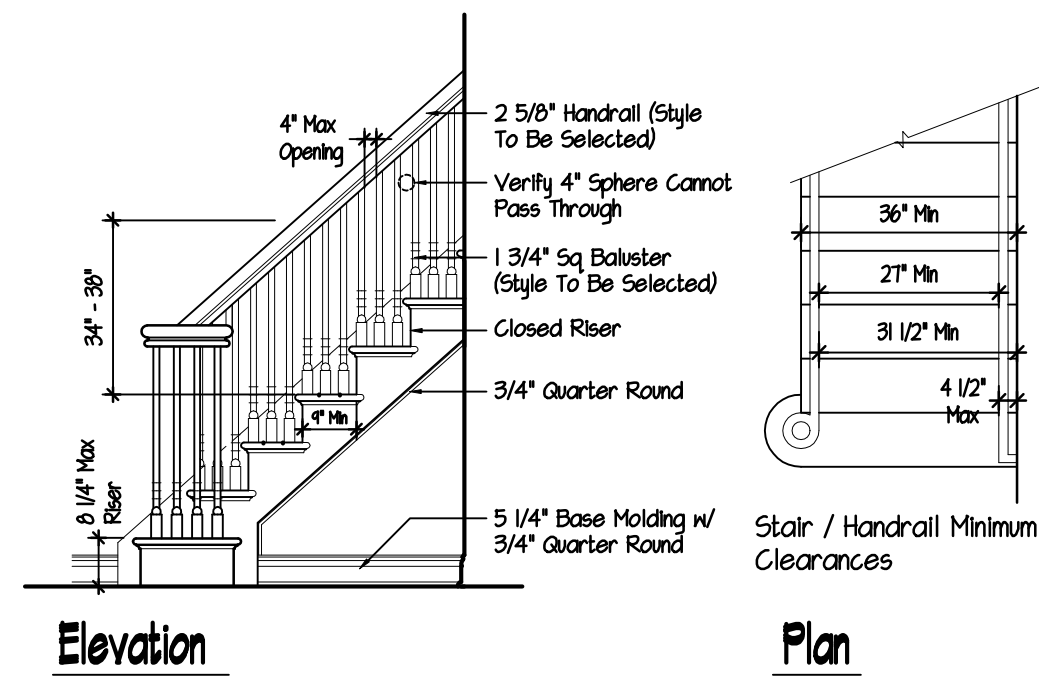
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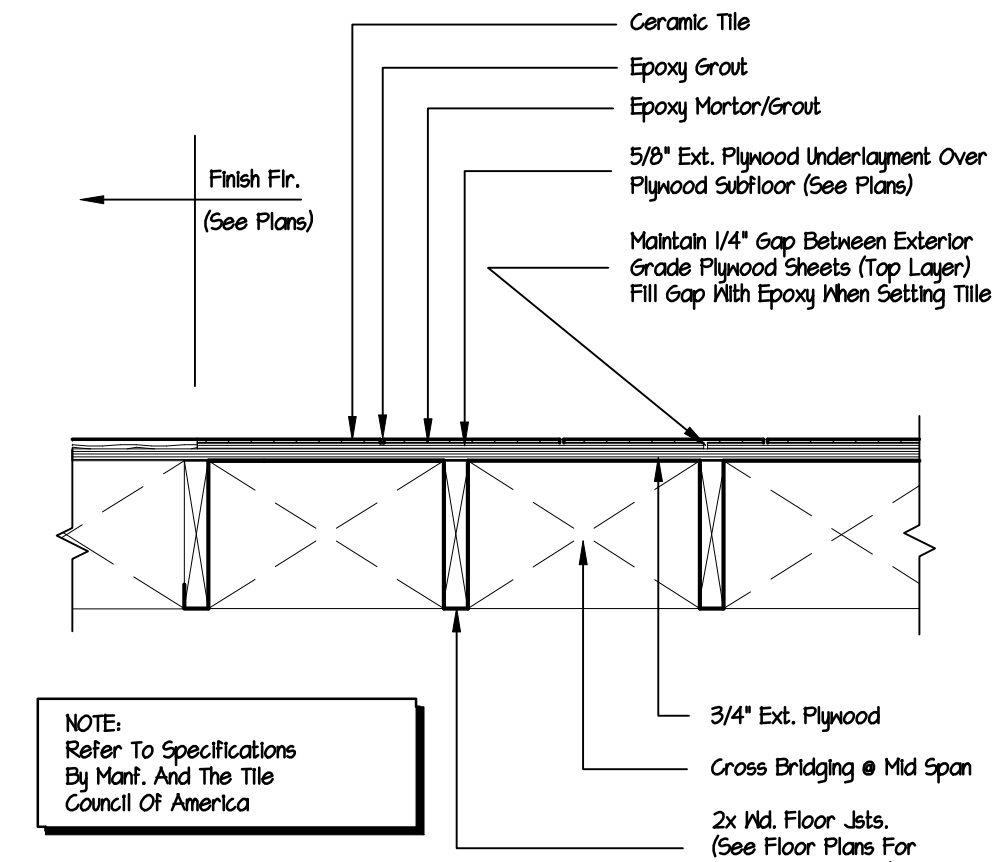
Residence For
Lot 1
Wampus Mills Subdivision
1 Shoemaker Lane
North Castle, NY.

Revision	Date

Job No: 214-060
Drawing: 3 OF 9

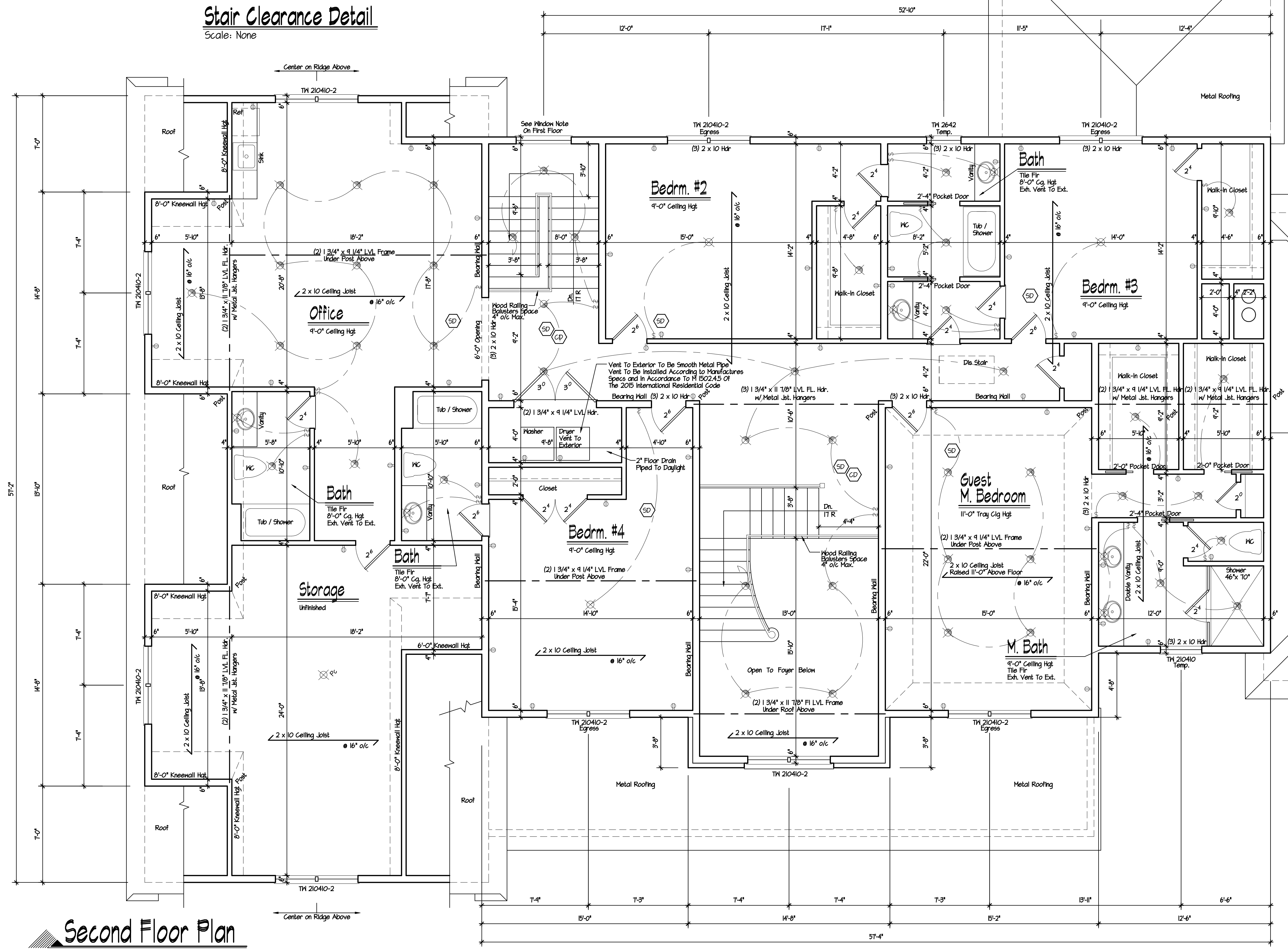


Stair Clearance Detail
Scale: None



Tile Floor Detail (Thin Set)
No Scale:

- Notes:**
- All Framing Members To Be # 2 Douglas Fir - Larch Or Better Double Frame Under All Partitions Parallel To Framing
 - If Tile Floor Is To Be MID Job Consult Architect For Additional Framing Required
- Legend:**
- 2 x Wood Post (Match Beam Width or As Noted)
 - Smoke Detector w/ Battery Back-Up
 - Carbon Monoxide Det w/ Battery Back-Up
 - Surface Mounted Light Fixture
 - Recessed Light Fixture
 - Duplex Outlet
 - Grand Focal Interrupter (GFI) At All Wet Areas (As Required By Code)
- Wood Header Schedule**
- | Span | Header Size |
|-------------|----------------|
| Up To 3'-0" | (2) 2 x 8 Hdr |
| Up To 4'-0" | (2) 2 x 10 Hdr |
| Up To 6'-0" | (3) 2 x 10 Hdr |
- Notes:**
Unless Otherwise Noted On Plans



Second Floor Plan
Scale: 1/4" = 1'-0"

Egress Window Sizes:

	Opening	Width	Height
TN 210410	5'-2"	3'-10"	25'-3/4"

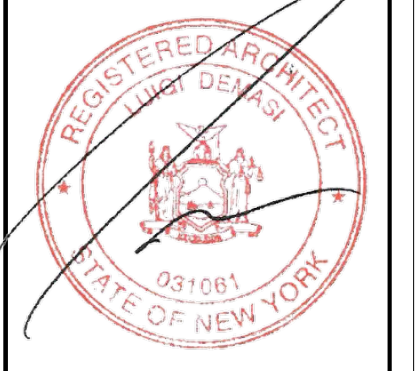
- Window Note:**
- All glazing To Be Low "E" Insulated Glass w/ Minimum R-3 (U=0.32).
 - All Windows Within 18" Of Floor To Have Tempered Glass (Double Hung's-Bottom Sash Only, All Others Full Unit).
 - All glazing In Doors 4 Windows Enclosing Hot Tubs, whirlpool Tubs, Saunas, Steam Rooms, Bathtubs and Showers Within 60" Of Window or Door Unit Shall Have Tempered Glass.
 - All Egress Windows To Have A Minimum Clear Opening Area Of 5.7 Sq Total w/ 24" min Clear Opening Height 4 20" min Clear Width. Refer To Manufacturers Specifications For All Other Information.
 - All Windows or Doors Marked w/ "TEB" To Have Full Unit Tempered.
 - All Windows Sills Within 24" Above The Finished Floor & Greater Than 12" Above Finished Grade On Other Surface. Requires Fall Protection. See Section R312.2 For More Info.

Approved by the Town of North Castle Planning Board Resolution, Dated Feb/10/2020

_____ Dated ____/____/____
Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:

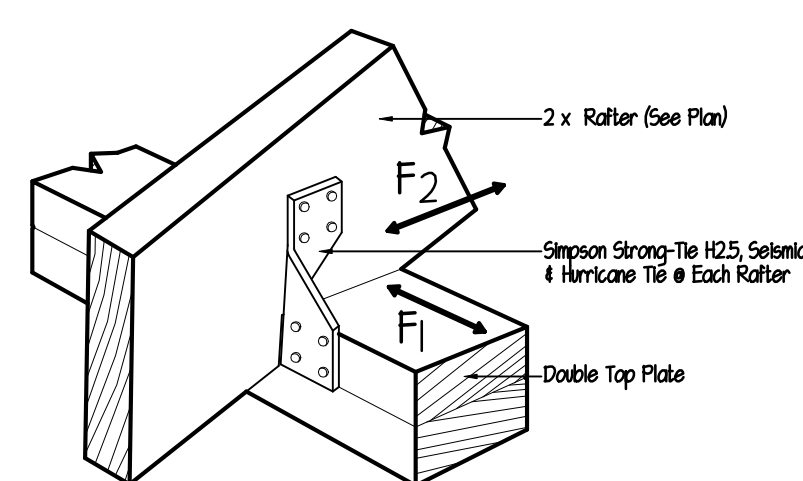
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Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers



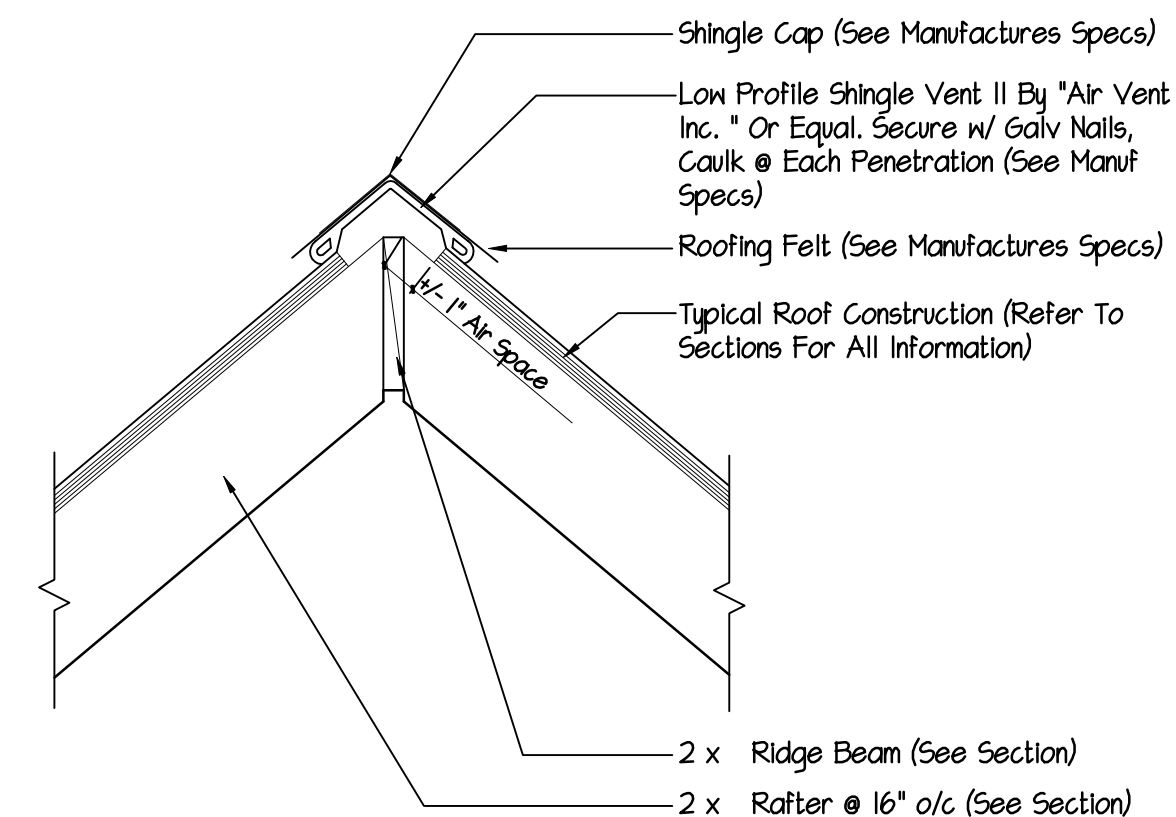
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Residence For Lot 1
Wampus Mills Subdivision
Shoemaker Lane
North Castle, NY.

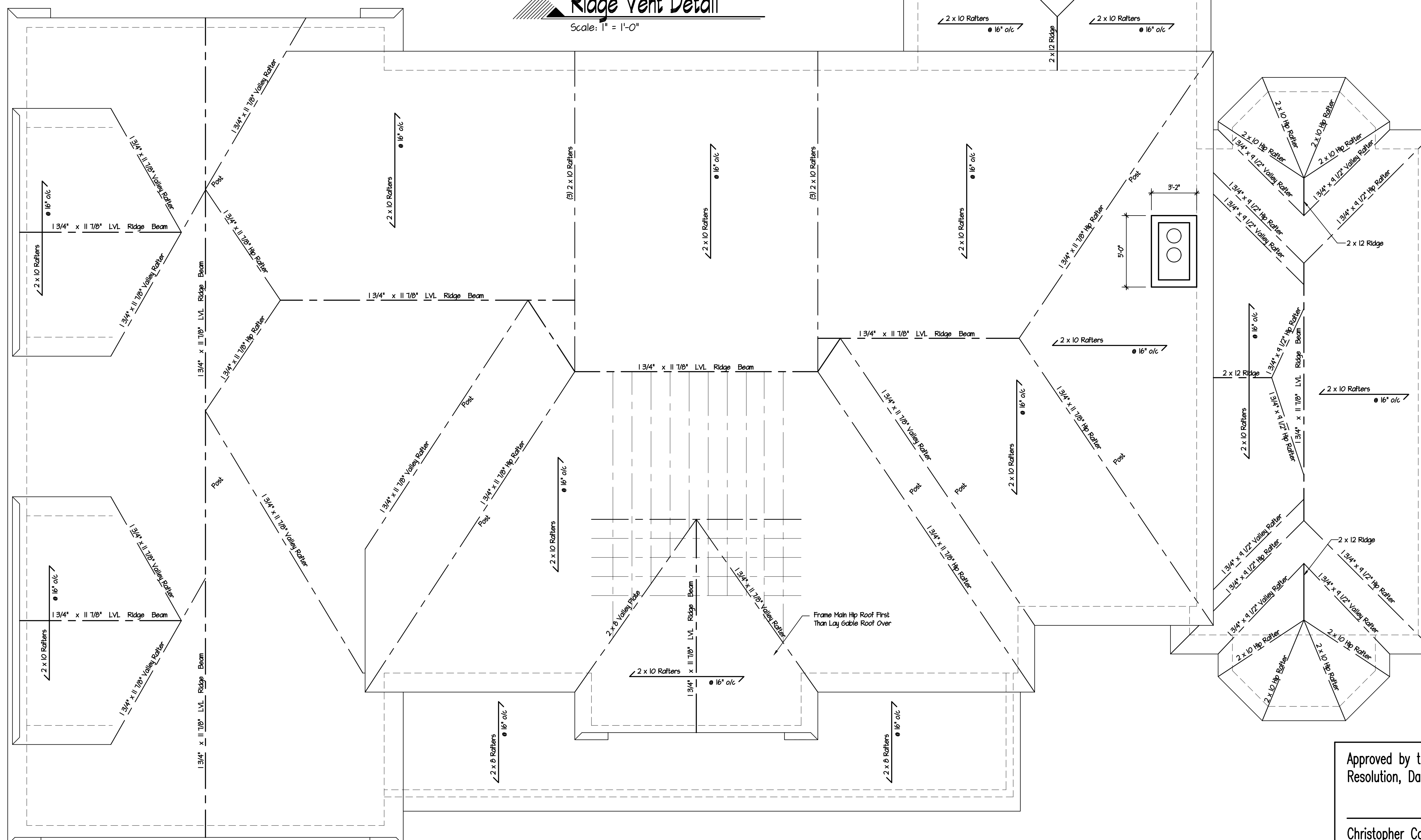
Revision	Date
Date	Oct. 7, 2020
Job No	214-060
Drawing	4 OF 9



Rafter Tie Down Detail
Scale: None



Ridge Vent Detail
Scale: 1" = 1'-0"



Roof Framing Plan
Scale: 1/4" = 1'-0"

Design Loads:

Required Live Loads:

First Floor Loads	Live Load	40 #/sf
Second Floor Loads	Live Load	30 #/sf
Attic Load (w/o Storage)	Live Load	20 #/sf
Attic Load (w/ Storage)	Live Load	30 #/sf
Exterior Balconies	Live Load	60 #/sf
Decks	Live Load	40 #/sf
Guardrails	Live Load	200 #/sf
Stairs	Live Load	40 #/sf

Refer to section RR301.4 of the International Residential Code for any additional information.

Provided Design Loads:

First Floor Loads	Live Load	40 #/sf
	Dead Load	12 #/sf
Second Floor Loads	Live Load	30 #/sf
	Dead Load	12 #/sf
Attic Load (< 4'-6" Headroom)	Live Load	20 #/sf
	Dead Load	12 #/sf
> 4'-6" Headroom	Live Load	30 #/sf
	Dead Load	12 #/sf
Ground Snow Load	Live Load	45 #/sf
	Dead Load	7 #/sf

Snow Load Reduction

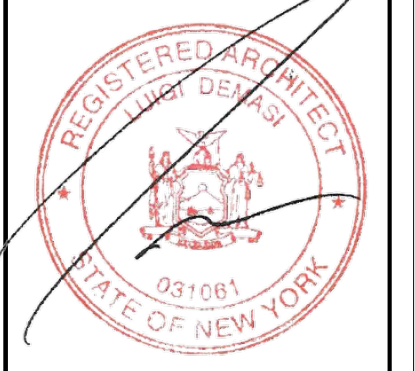
Ground Snow Loads Have Been Converted To Roof Snow Loads In Accordance With The Provisions Of ASCE 7.

Pitch	Roof Snow Load
4-4	26.35
10-11	21
12	22.7
13	20
14	18.5
15-16	17

LUMBER: All framing lumber to be stress grade Douglas-Fir Larch No. 2 or better.

Do Not Scale Prints

DeMasi Architects P.C.
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EMAIL: Love@DemasiArchitects.com
PHONE: (914) 666-3856



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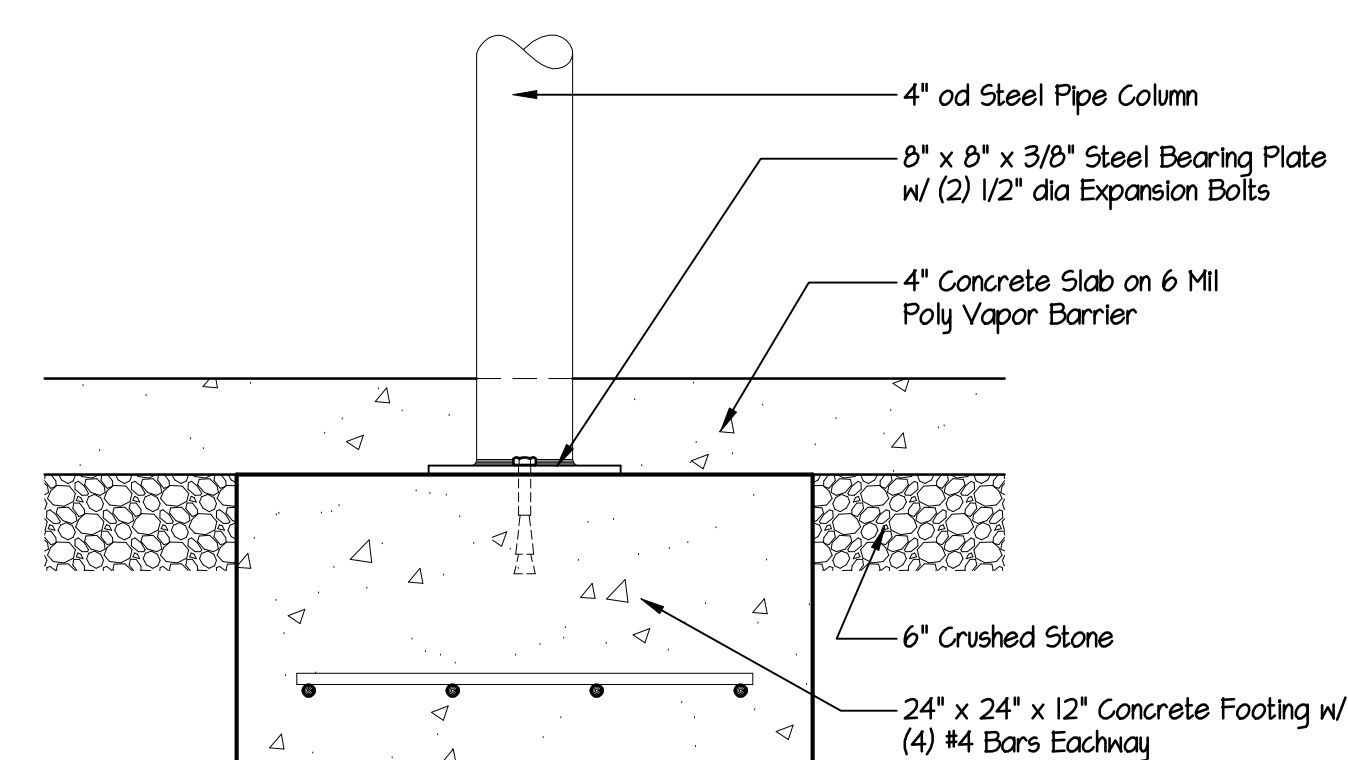
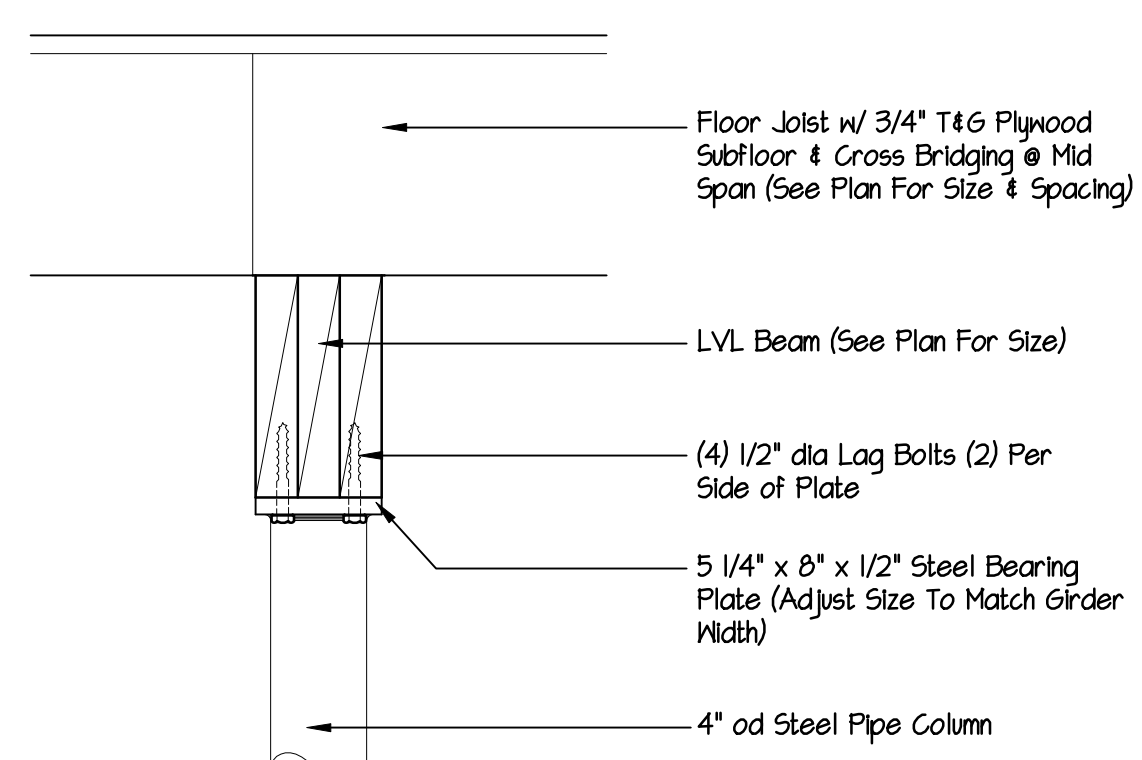
Residence For
Lot
Wampus Mills Subdivision
Shoemaker Lane
North Castle, NY.

Approved by the Town of North Castle Planning Board Resolution, Dated Feb. 10 / 2020

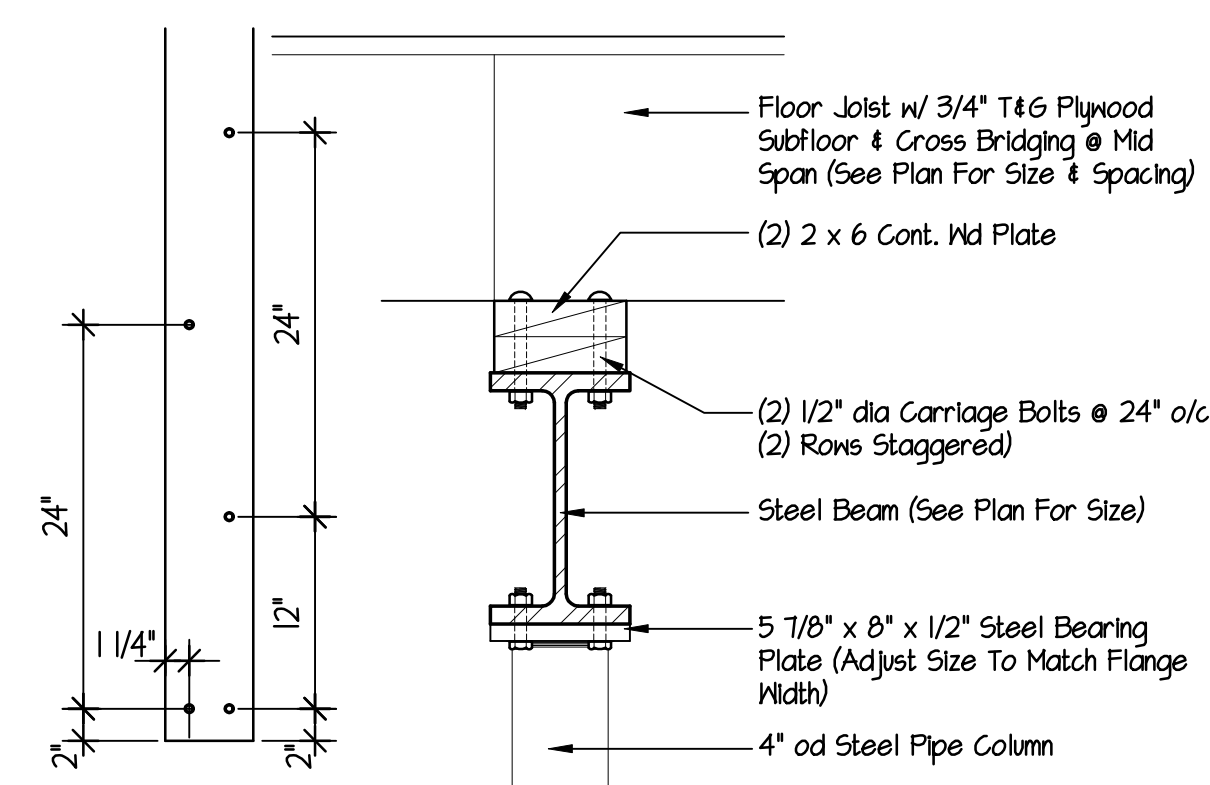
_____ Dated ____/____/____
Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:
_____ Dated ____/____/____
Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers

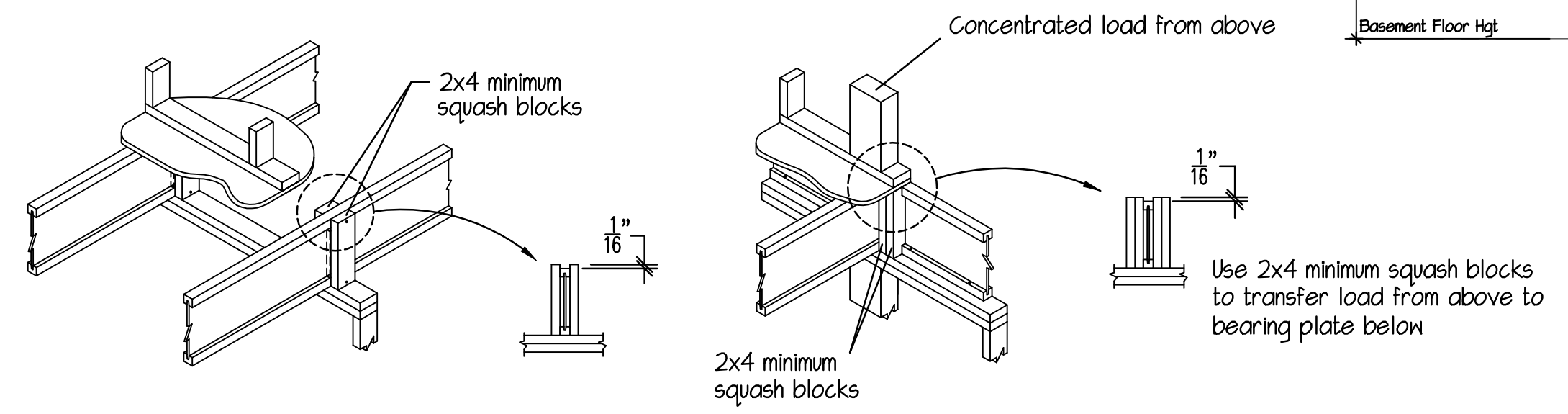
Revision	Date
	Oct. 7, 2020
Job No	219-060
Drawing	JT OF 9



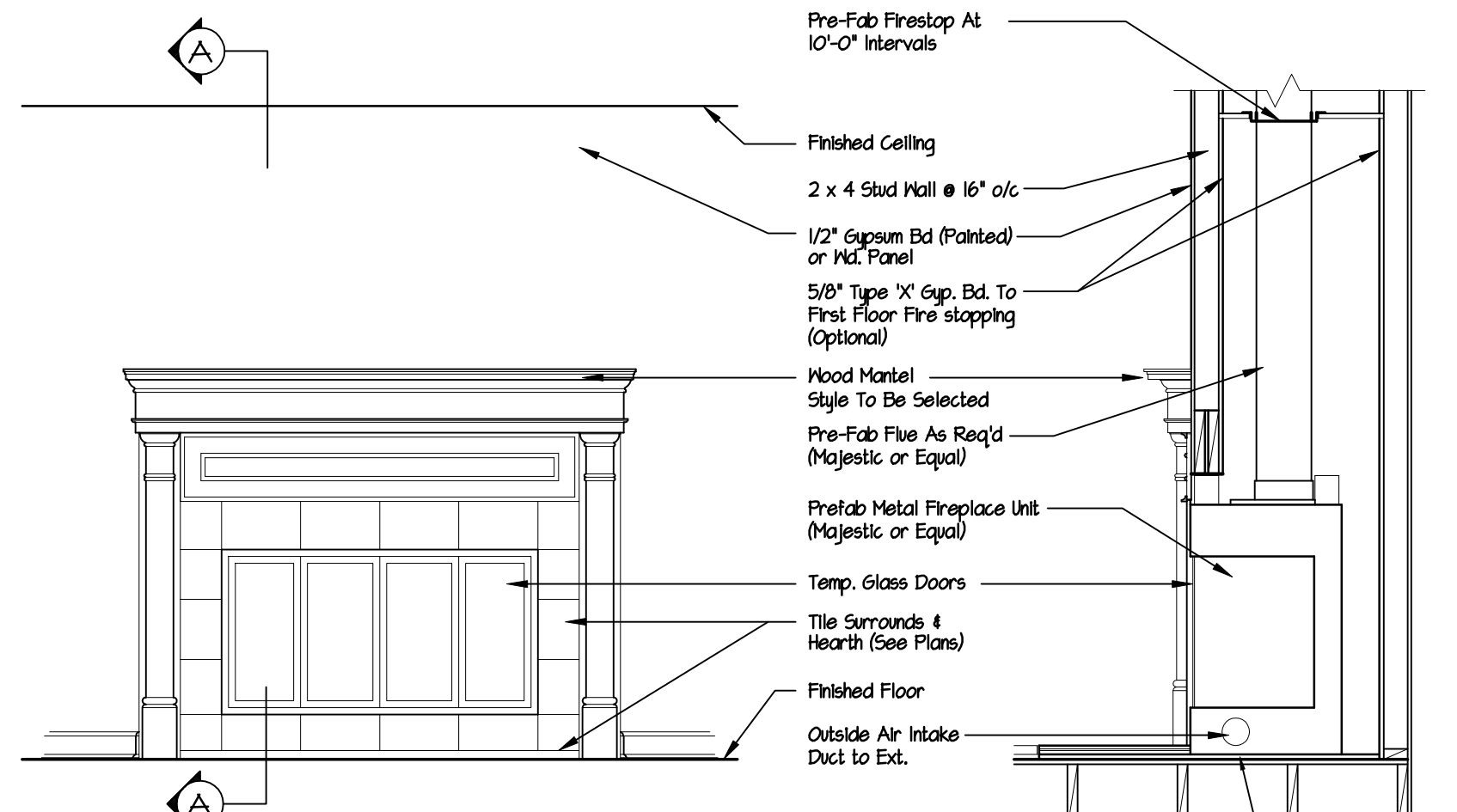
LVL Girder Detail
Scale: 1/2" = 1'-0"



Steel Beam Detail @ Garage
Scale: 1/2" = 1'-0"



Squash Blocking Details
No Scale

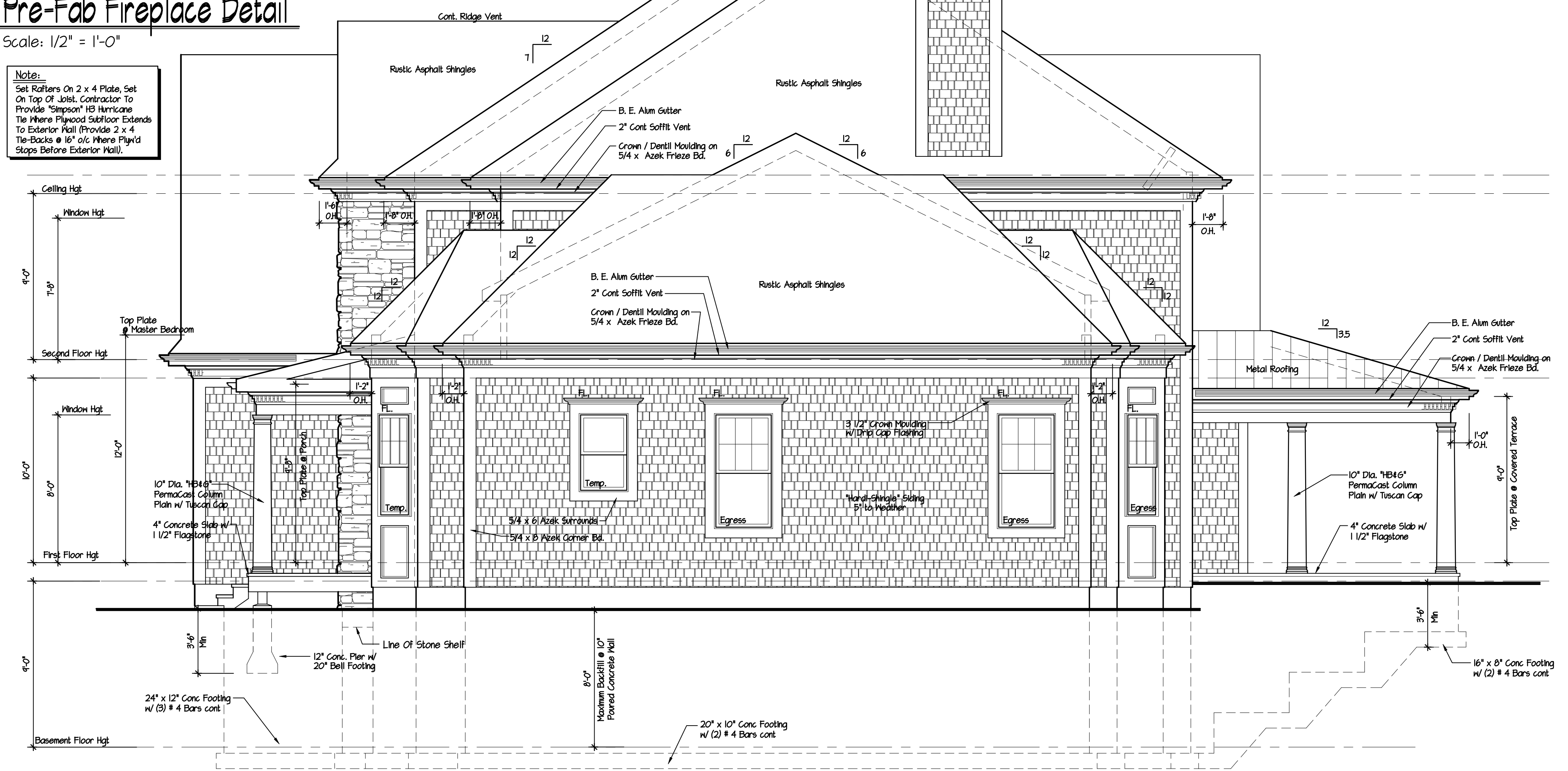


Hearth Note:
Hearth Extensions Of Approved Pre-Fab Fireplaces Shall Be Installed In Accordance with The Listing Of The Fireplace. The Hearth Extension Shall Be Readily Distinguishable From Surrounding Floor Area.

Note: Provide 1/2" N.P.T. Black Iron Pipe At all Gas Units. All Work Shall Comply w/ Manufacturers Specs & Utility Company & NYS Requirements

Pre-Fab Fireplace Detail
Scale: 1/2" = 1'-0"

Note:
Set Rollers On 2 x 4 Plate. Set On Top Of Joist. Contractor To Provide "Simpson" HB Hurricane Tie Where Plywood Subfloor Extends To Exterior Wall (Provide 2 x 4 Tie-Backs @ 16" o/c Where Plywood Stops Before Exterior Wall).



Right Side Elevation
Scale: 1/4" = 1'-0"

Approved by the Town of North Castle Planning Board Resolution, Dated Feb./10/2020

Dated ___/___/___
Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:
Dated ___/___/___
Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers

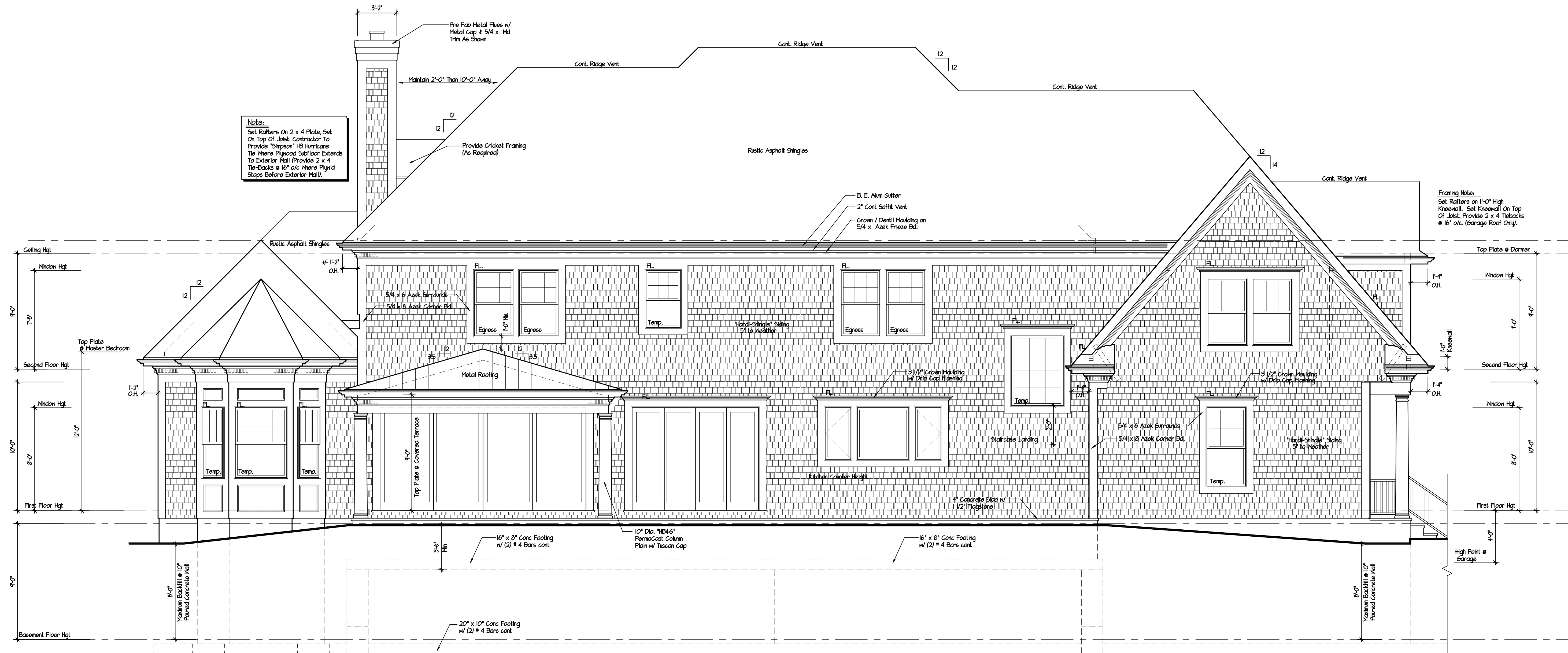
DeMasi Architects P.C.
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Residence For
Lot
Wampus Mills Subdivision
Shoemaker Lane
North Castle, NY.

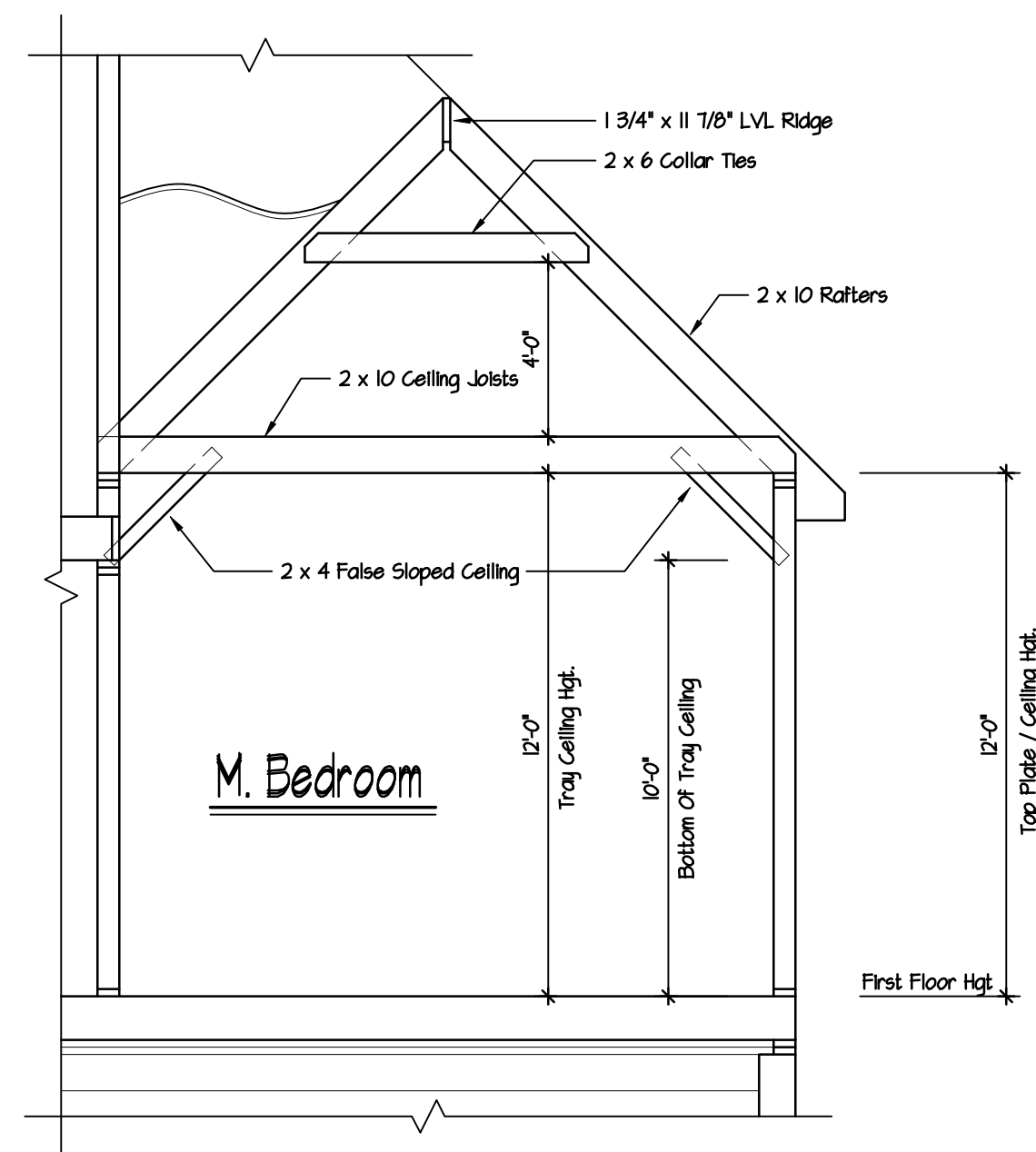
Revision	Date
	Oct. 7, 2020
Job No	214-060
Drawing	6 OF 9



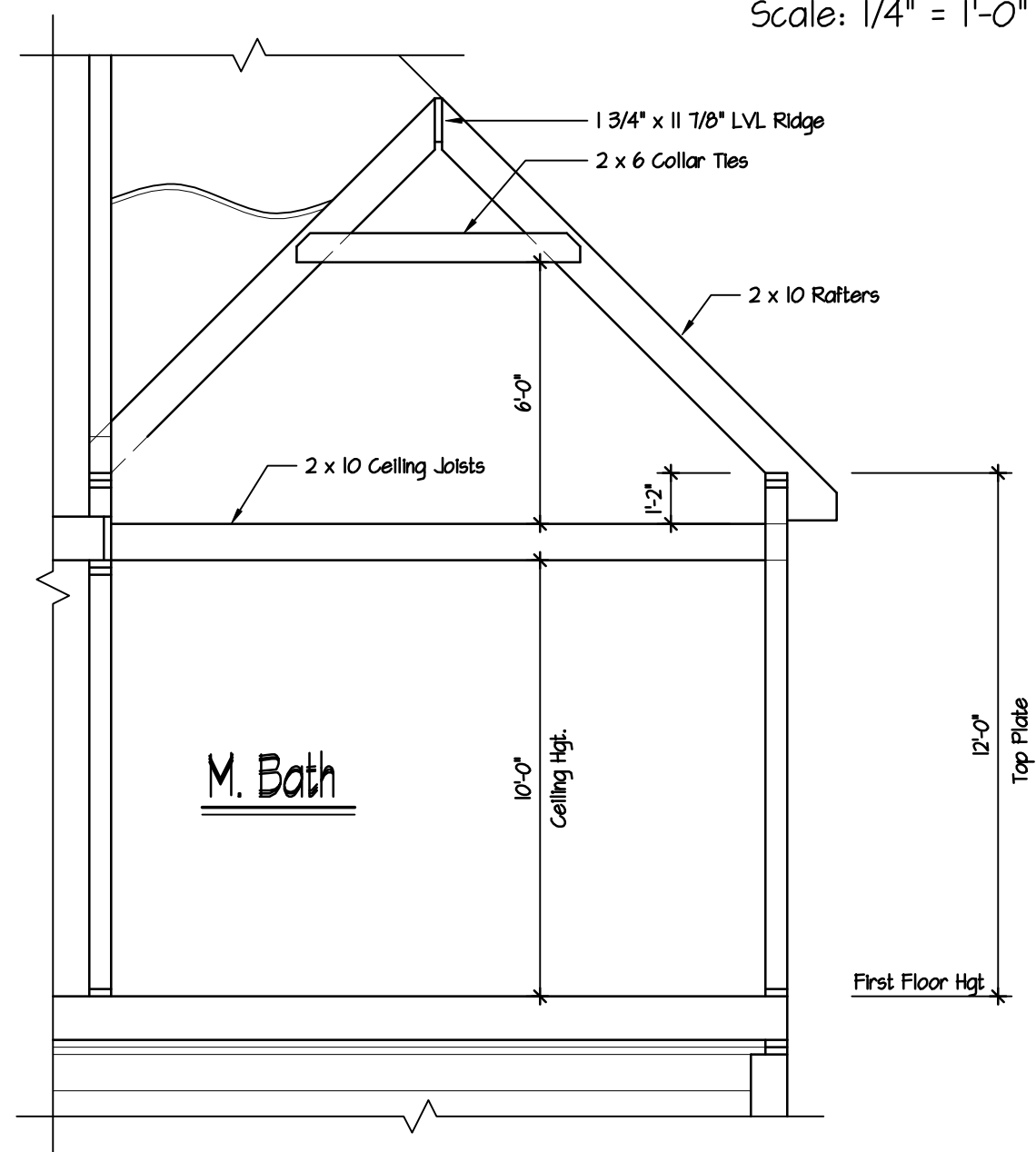
Note:
Set Rafters On 2 x 4 Plate, Set On Top Of Joist. Contractor To Provide "Simpson" H8 Hurricane Tie Where Plywood Subfloor Extends To Exterior Wall (Provide 2 x 4 Tie-Backs @ 16' o/c Where Plywood Stops Before Exterior Wall).

Framing Note:
Set Rafters on 1'-0" High Kneewall. Set Kneewall On Top Of Joist. Provide 2 x 4 Tiebacks @ 16' o/c. (Garage Roof Only).

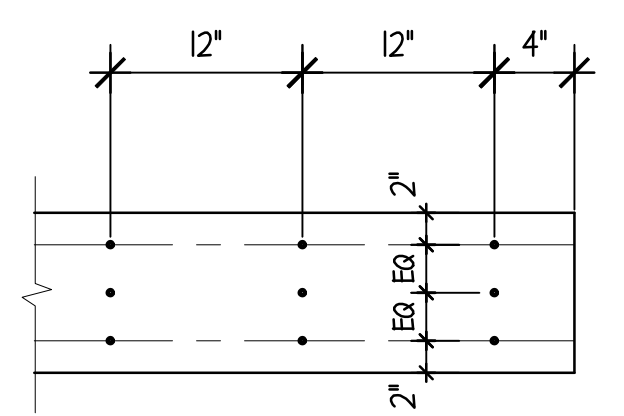
Rear Elevation
Scale: 1/4" = 1'-0"



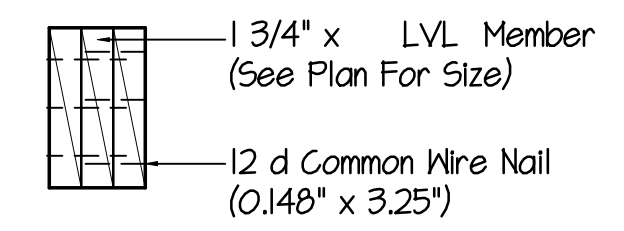
M. Bedroom Framing Section
Scale: 1/4" = 1'-0"



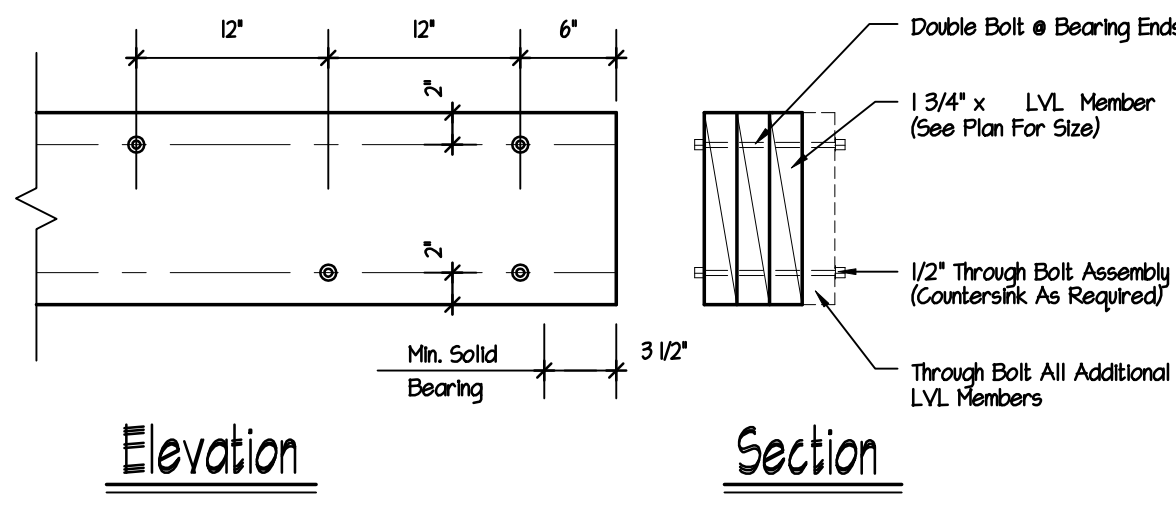
M. Bath Framing Section
Scale: 1/4" = 1'-0"



LVL Beam Detail (Nailed)
Scale: 1" = 1'-0"



LVL Beam Detail (Bolted)
Scale: None



Note:
LVL = Laminated Veneer Lumber By Trus-Joist MacMillan (1.9 E) Minimum or Equal

Note:
See Plans For Size & Location Of All LVL Members

Note:
Bolting As Required, Refer To Manufactured Specifications For All Information & Specifics

Approved by the Town of North Castle Planning Board Resolution, Dated Feb/10/2020

_____ Dated ____/____/____

Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:

_____ Dated ____/____/____

Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers

Do Not Scale Prints

DeMasi Architects P.C.
105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
EMAIL: Lov@DemasiArchitects.com

REGISTERED ARCHITECT
STATE OF NEW YORK
031061

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Residence For
Lot 1
Wampus Mills Subdivision
Shoemaker Lane
North Castle, NY.

Grading	1-10-20
Revision	Date
Date	Oct. 7, 2020
Job No	219-060
Drawing	8 OF 9



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

January 29, 2019
Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: WAMPUS MILLS SUBDIVISION LOT 1 Date: 11-25-19

Tax Map Designation or Proposed Lot No.: 101.03-2-7.1

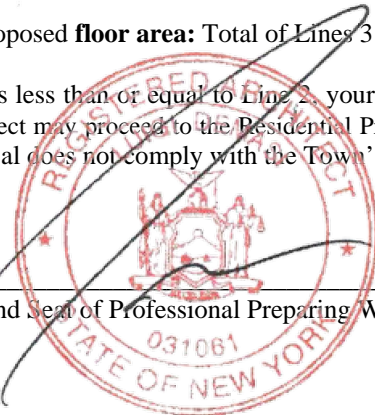
Floor Area

- | | | |
|-----|--|---------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | NET LOT AREA <u>1,916</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>9,940</u> |
| 3. | Amount of floor area contained within first floor:
_____ existing + <u>3,447</u> proposed = | <u>3,447</u> |
| 4. | Amount of floor area contained within second floor:
_____ existing + <u>3,554</u> proposed = | <u>3,554</u> |
| 5. | Amount of floor area contained within garage:
_____ existing + <u>910</u> proposed = | <u>910</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
_____ existing + <u>693</u> proposed = | <u>693</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
_____ existing + <u>0</u> proposed = | <u>0</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
_____ existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of floor area contained within all accessory buildings:
_____ existing + <u>0</u> proposed = | <u>0</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>8,604</u> |

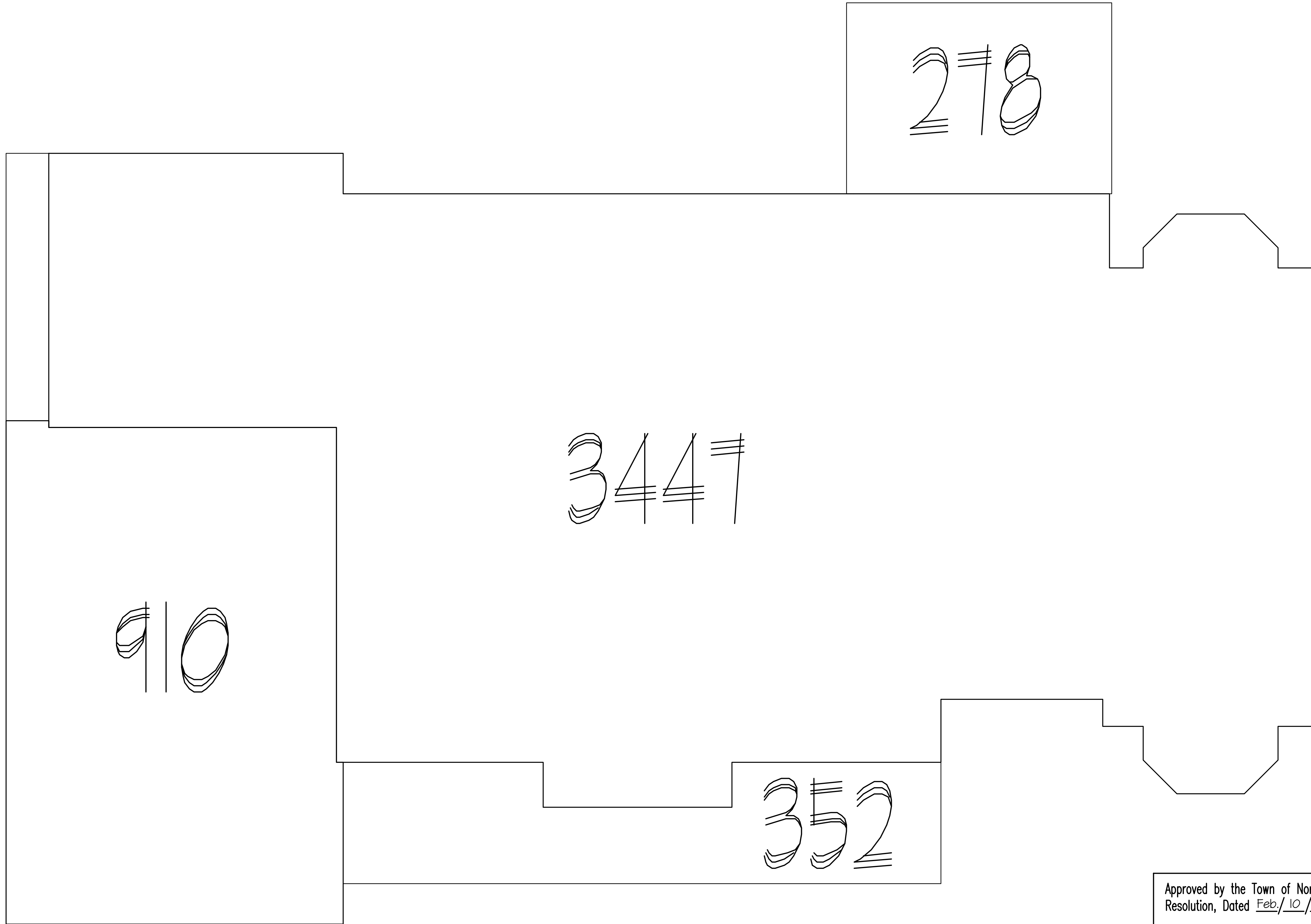
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

11-25-19
Date



63



First Floor

Scale: 1/4" = 1'-0"

Note: Lines Shown are Computer Polyline Entities

Approved by the Town of North Castle Planning Board Resolution, Dated Feb./10./2020

_____ Dated ___/___/___

Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:

_____ Dated ___/___/___

Joseph Cermele, PE
Kellard Sessions Consulting, P.C. Consulting Town Engineers

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105 SMITH AVENUE, MOUNT KISCO, NEW YORK 10549
PHONE: (914) 666-3856
EMAIL: Lo@DemasiArchitects.com



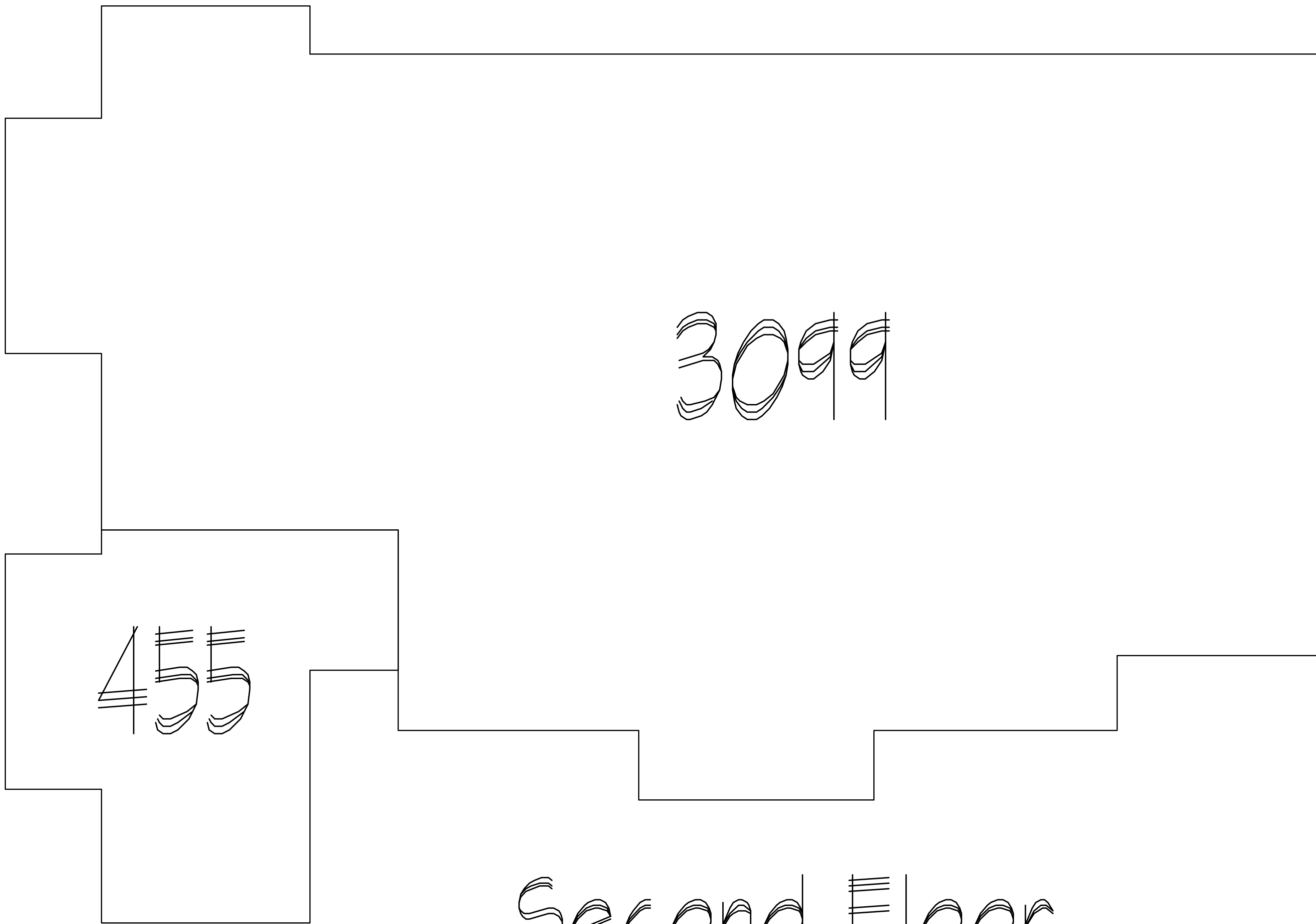
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Residence For
Lot 1
Wampus Mills Subdivision
Shoemaker Lane
North Castle, NY.

Revision	Date
Date	Oct. 7, 2020
Job No	219-060

Drawing (FAR)

1 OF 2



3099

455

Second Floor

Scale: 1/4" = 1'-0"

Note: Lines Shown are
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Approved by the Town of North Castle Planning Board
Resolution, Dated Feb./10/2020

_____ Dated ___/___/___
Christopher Carthy, Chairman
Town of North Castle Planning Board

Engineering Plans reviewed for conformance to resolution:
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Kellard Sessions Consulting, P.C. Consulting Town Engineers

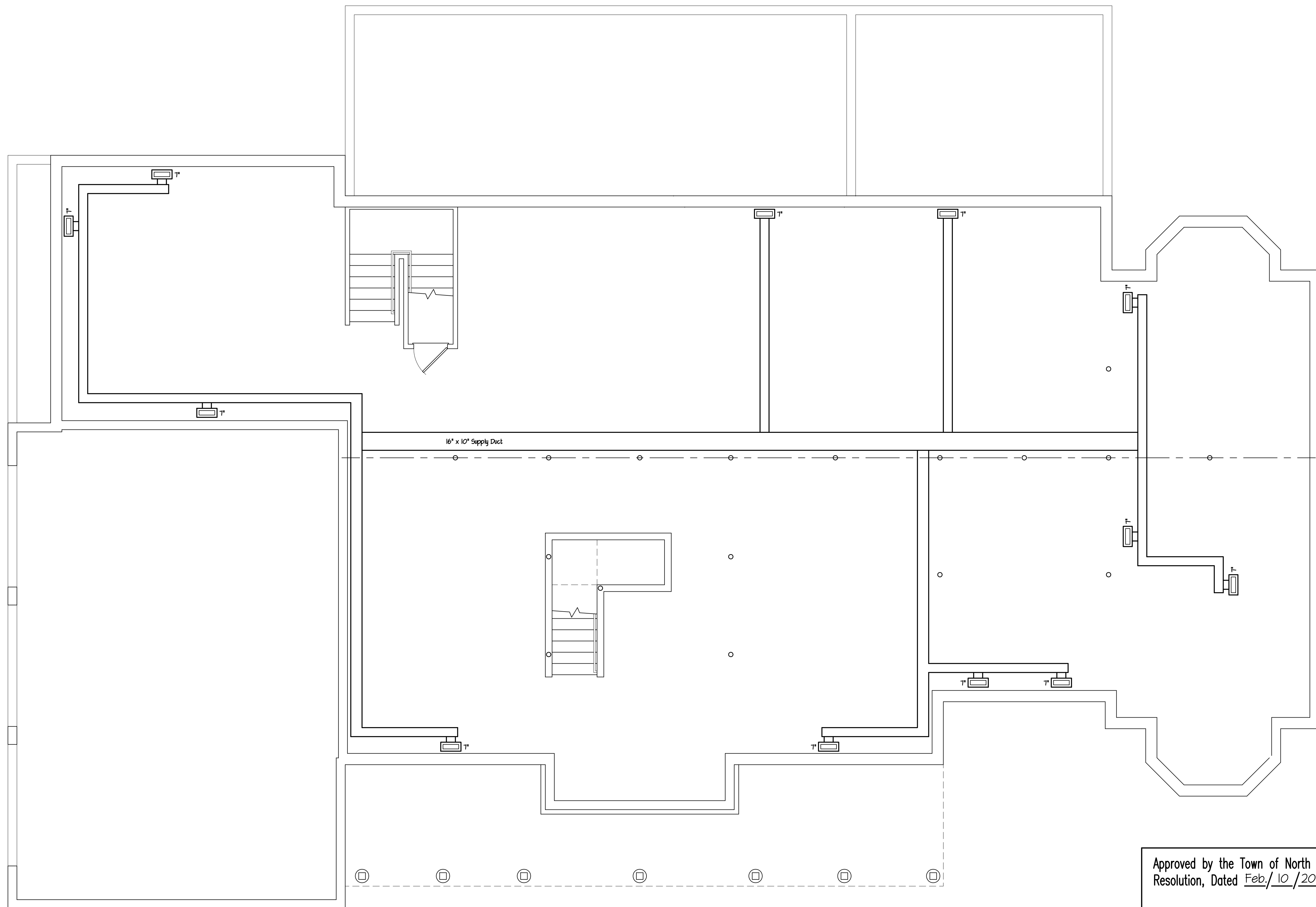
Residence For
Lot 1
Wampus Mills Subdivision
Shoemaker Lane
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Revision	Date
Date	Oct. 7, 2020
Job No	219-060
Drawing (FAR)	

2 OF 2



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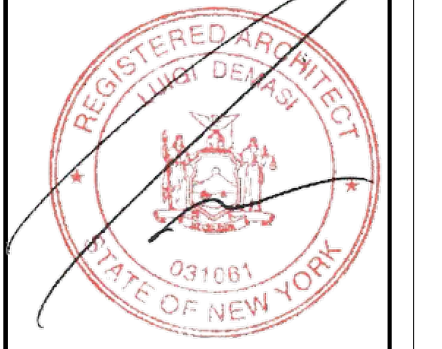


HVAC Plan
Foundation Plan
 Scale: 1/4" = 1'-0"

Approved by the Town of North Castle Planning Board
 Resolution, Dated Feb./10/2020
 _____ Dated ____/____/____
 Christopher Carthy, Chairman
 Town of North Castle Planning Board
 Engineering Plans reviewed for conformance to resolution:
 _____ Dated ____/____/____
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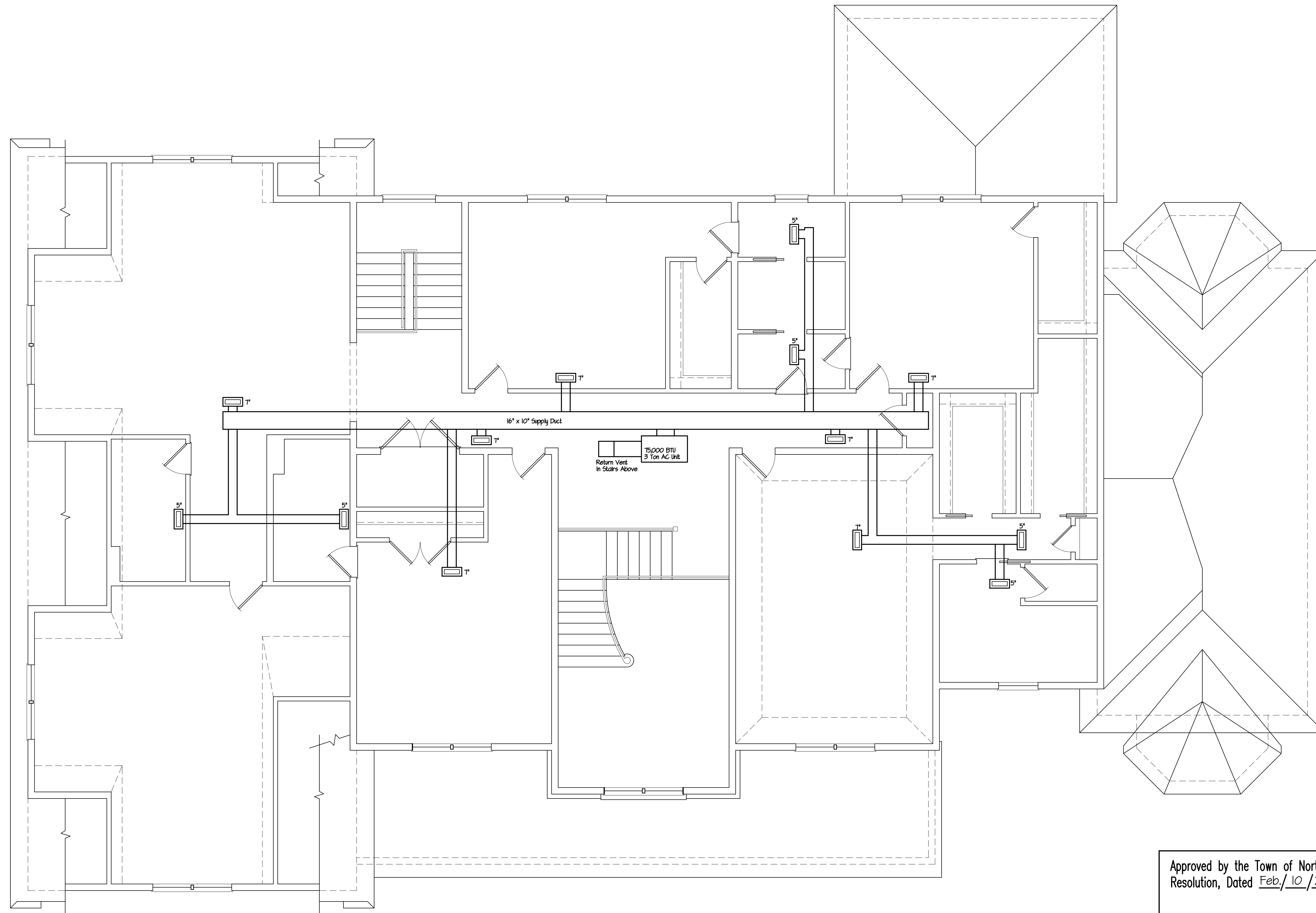
Residence For
 Lot 1
 Wampus Mills Subdivision
 Shoemaker Lane
 North Castle, NY.

Revision	Date
	Oct. 7, 2020
Job No	219-060
Drawing (HVAC)	



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HVAC Plan
Second Floor Plan
 Scale: 1/4" = 1'-0"

Approved by the Town of North Castle Planning Board
 Resolution, Dated Feb. 10 / 2020

_____ Dated ____/____/____
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Residence For
 Lot 1
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