

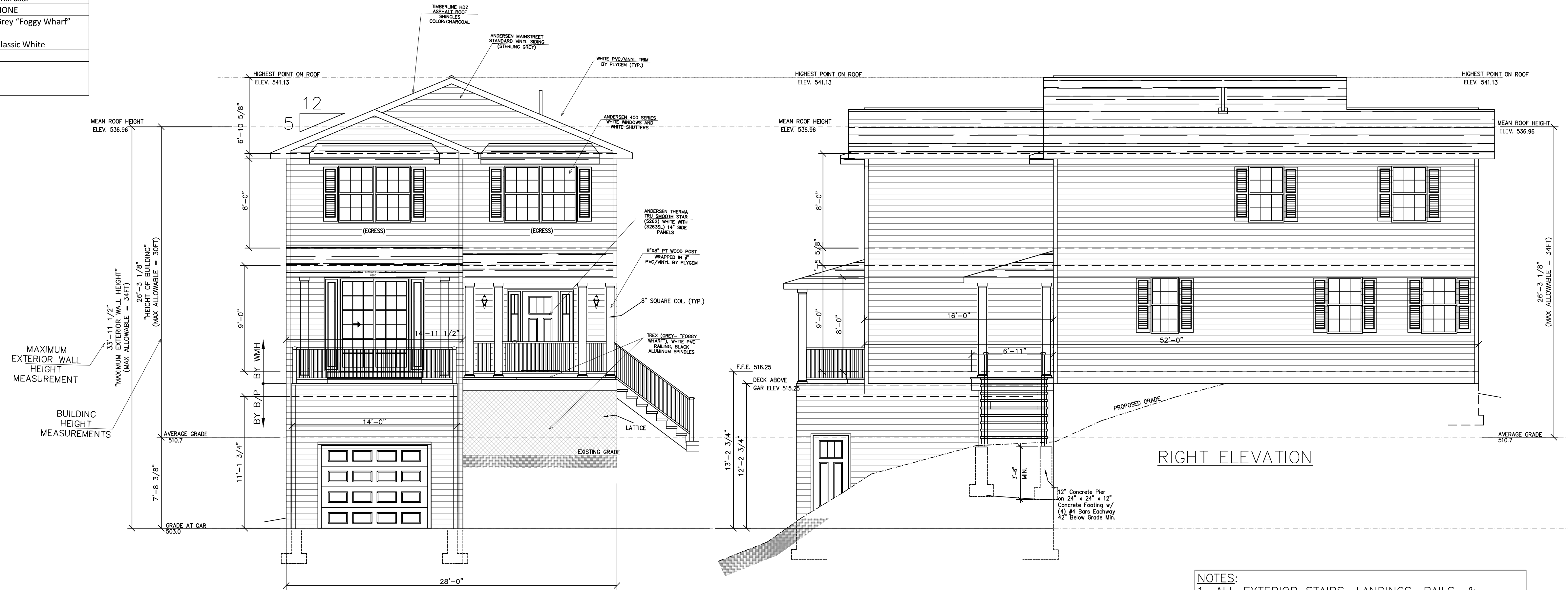
SCHEDULE OF MATERIALS

	Name	Type	Color
Siding	Andersen	MainStreet Standard	Sterling Grey
Windows	Andersen	400 Series	White (Standard)
Trim	Ply Gem	PVC Trim Board	White
Ext. Door	Andersen	Therma Tru Smooth Star (S262)	White
Ext. Door (Transom)	Andersen	Therma Tru Smooth Star (S263SL)	White
Roofing	Timberline	HDZ Shingles	Charcoal
Stone/Brick	NONE	NONE	NONE
Decking	Trex	Composite	Grey "Foggy Wharf"
Deck Railing Style	Vinyl & Black Aluminum Spindles	Transcend Railing	Classic White
Gross Floor Area (See GFA Worksheet Attached)	Gross Floor Area: 2,494 SF		

A-001

DATE - 01/01/2020

NO.	DATE	DESCRIPTION
1.	02/20/2021	BAR COMM
2.	04/11/2021	AVG GRADE
3.	04/23/2021	GRADE
4.	05/19/2021	RESIL.
5.	06/15/2021	BLDG HT

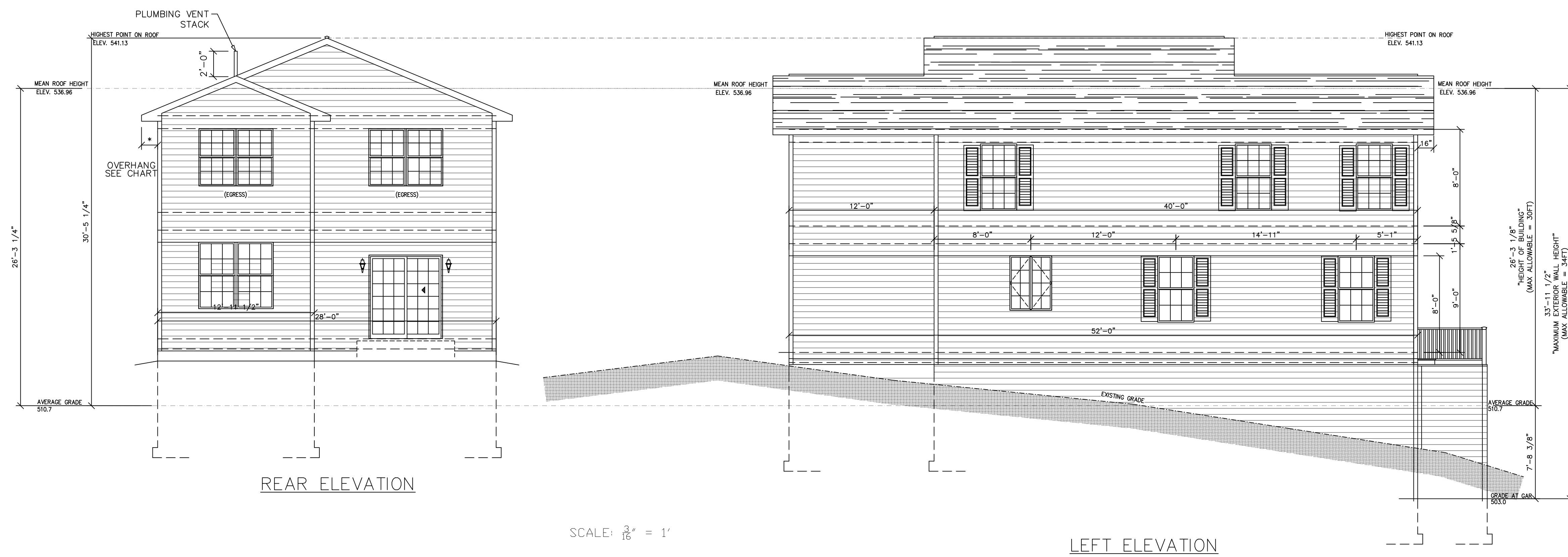


SEE SHEET A-002 FOR ALL MEAN ROOF ELEVATION CALCULATIONS
SEE "GRADING AND STORMWATER PLAN" SW-1, SHEET 2 OF 5, FOR AVERAGE GRADE CALCULATIONS

NOTE:
VENT FLASHING SHALL BE INSTALLED AT VENT PIPE PENETRATION PER R3103.3

BUILDING HEIGHTS:
BUILDING HEIGHT = 26'-3 1/8" < 30'-0" (OK)
MAX EXTERIOR WALL HEIGHT = 33'-11 1/2" < 34'-0" (OK)

NOTES:
1. ALL EXTERIOR STAIRS, LANDINGS, RAILS, & GUARDS TO BE DESIGNED, SUPPLIED, AND INSTALLED ON SITE BY B/P PER R311.7, 312.1, & R303.8
2. ALL STAIRWAY ILLUMINATION AT EXTERIOR DOORS TO BE PROVIDED BY WMH PER R303.8



SCALE: 3/16" = 1'

SEE WESTCHESTER MODULAR DRAWINGS FOR INFORMATION ON MODULAR STRUCTURE

ELEVATION VIEWS AND BUILDING HEIGHT PLAN
22 NETHERMONT AVE

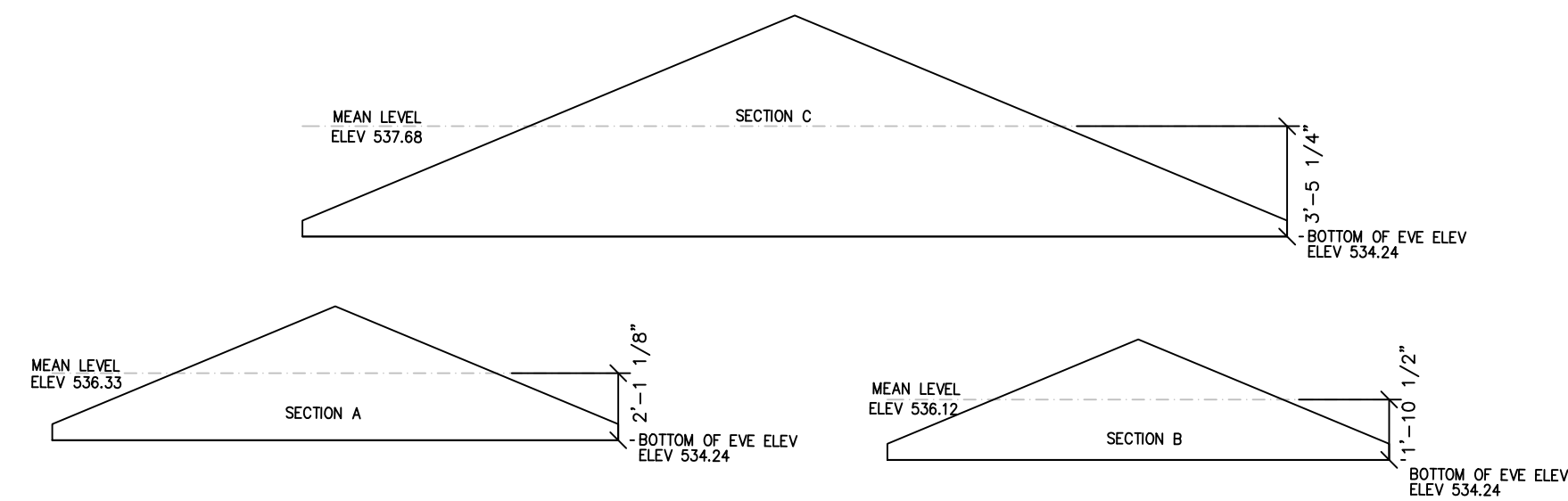
PROPOSED RESIDENCE
NEW HOME AT
22 NETHERMONT AVE
TOWN OF NORTH CASTLE

SEAL

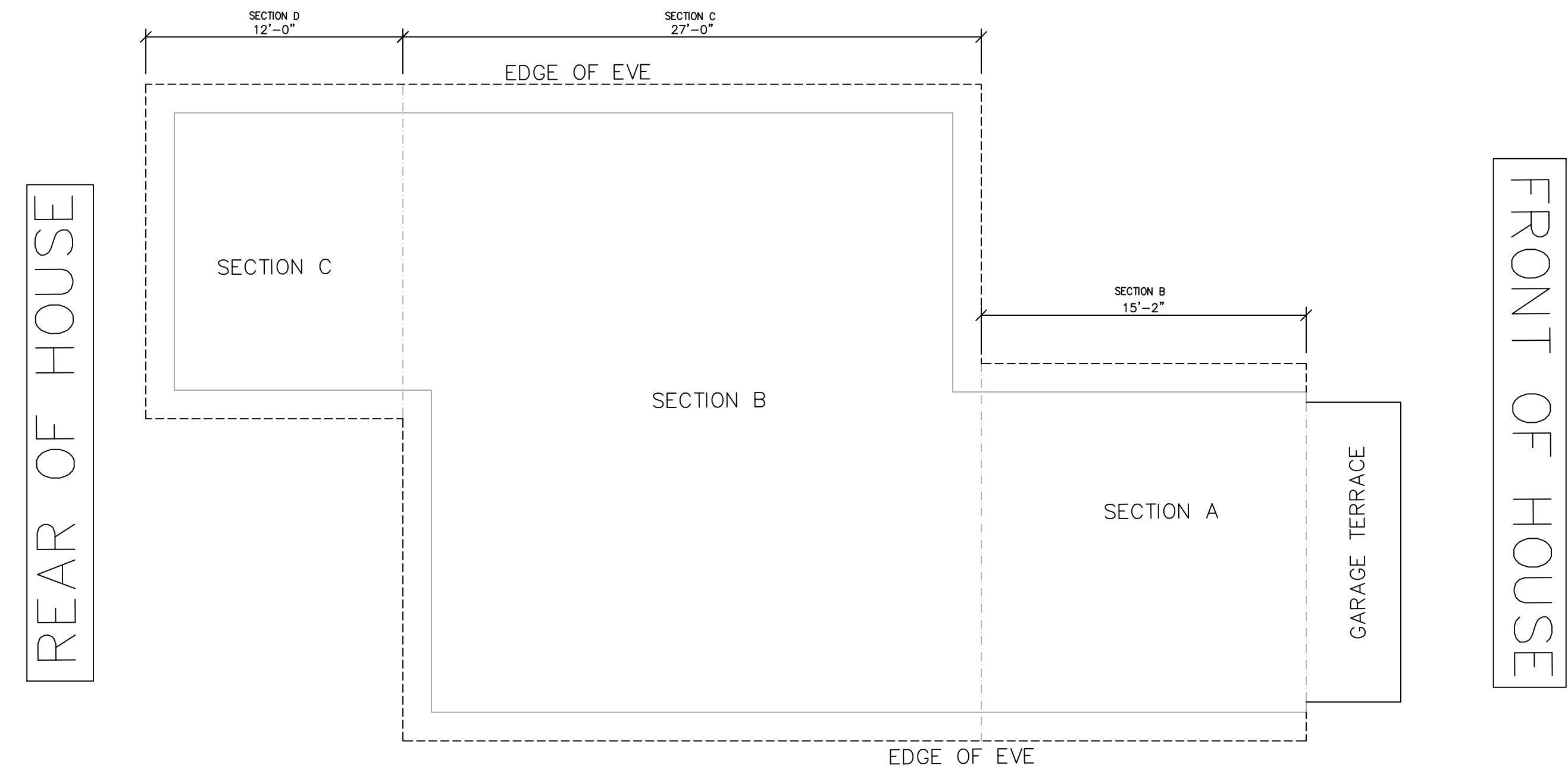
Gabriel E. Senor, P.C.
Engineers Surveyors
90 North Central Ave.
Hartsdale, NY 10530
914-422-0070

NO.	DATE	DESCRIPTION
1.	04/23/2021	GRADE
2.	05/19/2021	RESSL
3.	06/15/2021	BLDG HT

ROOF SECTION ELEVATION VIEW



ROOF SECTION ELEVATION VIEW



WEIGHTED MEAN ROOF LEVEL CALCULATIONS
22 NETHERMONT AVE

PROPOSED RESIDENCE WITH ADDITION TO GARAGE
22 NETHERMONT AVE

SEAL



FRONT OF HOUSE

REAR OF HOUSE

FRONT AND REAR ELEVATION VIEW

21 NETHERMONT AVE - WEIGHTED MEAN ROOF LEVEL CALCULATIONS						
DESCRIPTION	BOTTOM OF EVE ELEVATION	HEIGHT FROM EVE TO RIDGE	HEIGHT FROM EVE TO MEAN LEVEL	MEAN LEVEL ELEVATION PER SECTION	LENGTH OF ROOF SECTION	(MEAN LEVEL ELEVATION PER SECTION) X (LENGTH OF ROOF SECTION)
SECTION A	534.24	4.18	2.09	536.33	15.17	8134.49436
SECTION B	534.24	6.89	3.44	537.68	27	14517.4275
SECTION C	534.24	3.76	1.88	536.12	12	6433.4424
TOTAL AREA					TOTAL LENGTH 54.17	29085.36426
WEIGHTED MEAN ROOF ELEV. = ((MEAN LEVEL ELEVATION PER SECTION) X (LENGTH OF ROOF SECTION)) / TOTAL LENGTH OF ROOF SECTION						
WEIGHTED MEAN ROOF ELEV. =						536.96

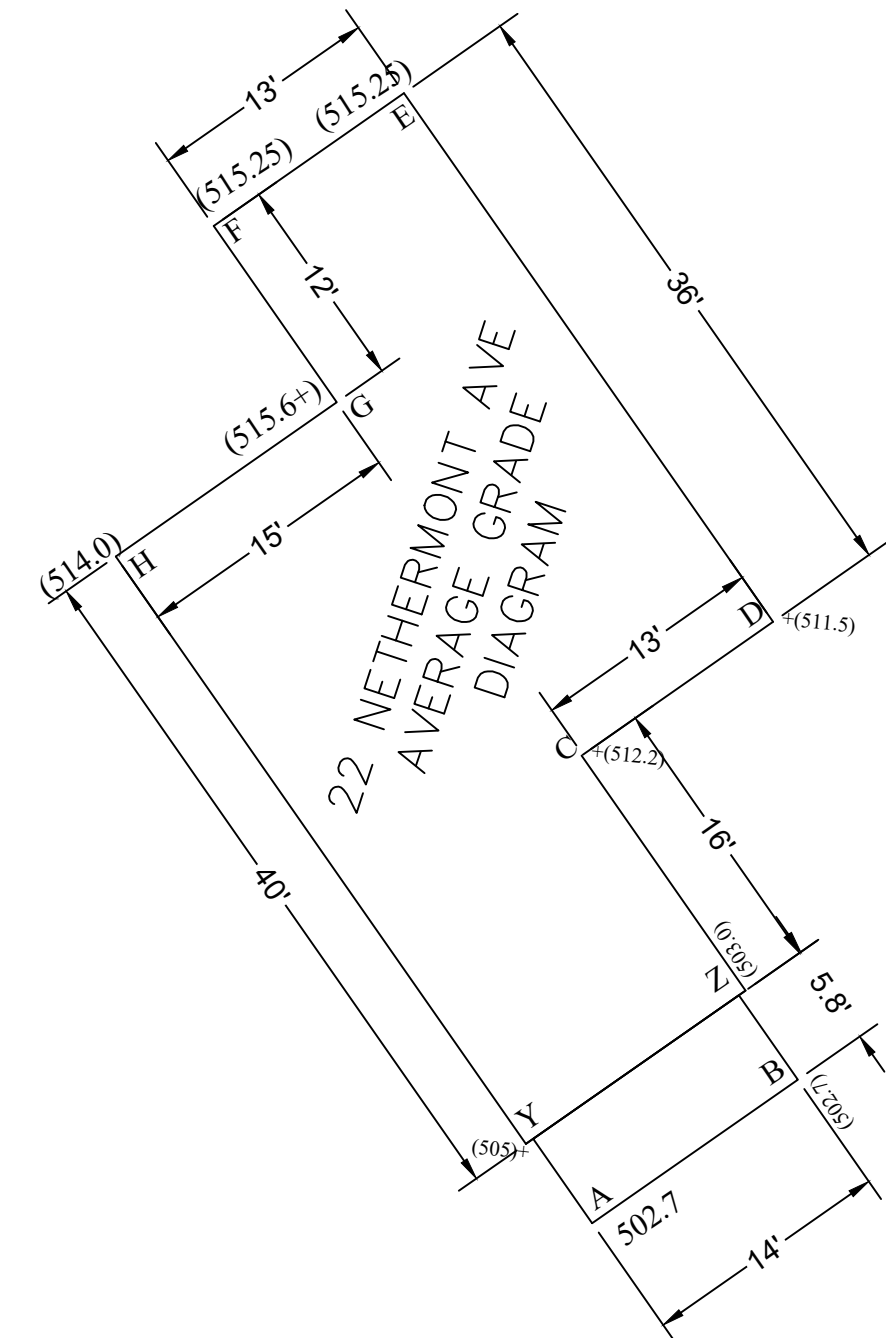
SCALE: 3/16" = 1'

Gabriel E. Senor, P.C.
Engineers Surveyors
90 North Central Ave.
Hartsdale, NY 10530
914-422-0070

GENERAL NOTES

- Gabriel E. Senor, P.C. is not responsible for construction supervision unless retained under separate contract.
- Gabriel E. Senor, P.C. must be notified prior to backfilling any storm water system for inspection if The Engineering Dept. will require a final letter of certification from the design engineer for the storm water approval, site work and drainage installation.
- Any changes made to these plans shall be approved by Gabriel E. Senor, P.C. Any changes must be filed and approved by the appropriate Department as amendments.
- Gabriel E. Senor, P.C. is not responsible for damages if changes are made and not approved as in item 1 above.
- All conditions, locations, dimensions and elevations shall be verified by the Contractor or Owner and must report all discrepancies to the Design Engineer prior to the start of construction.
- All work and materials shall comply with all applicable codes including, but not limited to the following: NYS Building Code, Local Zoning Code, ACI and AISI.
- The Contractor is responsible for all construction means and methods to implement the designs shown.
- Safety during construction is the responsibility of the Contractor and shall conform to all Local, State and Federal Agencies' requirements.
- The Contractor shall apply for and receive all necessary permits to perform the work shown on these plans prior to the start of construction.
- Final grading shall be sloped away from the building and foundations.
- Unless noted, all drainage piping on this plan is to be 6" Rigid HDPE ASTM F810-07 or better.
- This storm water design plan is not designed to accept footing drains. Refer to Architectural plans for footing drain design. Do not connect footing drains or sump pumps to this surface water drainage system.
- If the drainage system is to be built in a filled area, the fill should be well drained material with a setting period of one to three months prior to the system installation. Additional percolations are required after the setting period and the system design will be revised as necessary.
- Proposed Silt Fence to be installed along existing and proposed contours.
- Orange Construction Fence to be installed along the limits of the proposed disturbance limits line.
- Roof leaders to be connected to the drainage system with 6" rigid HDPE pipe at 2% min. slope or as shown.
- The Contractor and all Sub-Contractors must submit a "Contractor Certification Statement" as per section 294-8 of the NYSDEC "Stormwater Pollution Prevention Plan" manual prior to the start of construction.
- If imported fill material is required, it shall be certified in writing by a New York State licensed Professional Engineer as non-contaminated, clean fill suitable for the intended use. Percolation tests shall be performed by the Design Engineer to demonstrate that the stormwater management practice will draw down the entire water quality volume within 48 hours. The results of the percolation test (s) shall be submitted to the Municipal Engineer for review and approval.
- All proposed temporary seeding mixture shall be in accordance with the New York State Standards and Specifications for Urban Erosion Control, dated August 2005.
- New sewer laterals are required for all new construction. Laterals must be extra heavy cast iron or ductile iron pipe or as directed by Municipal Engineer.
- Connection permits are required from the Department of Public Works for Sewer, Water, and Storm Water System overflows.
- All trenches in the Municipality Right of Way must be backfilled with controlled density fill (k-crete) or as directed by Municipal Engineer.
- A street opening permit must be obtained from the Municipality, all work in the Right of Way and an inspection performed prior to back filling and final approvals.
- Replace or re-lay stone curb as directed by Municipal Engineer.
- A non-conversion agreement for the basement in Special Flood Hazard Zone must be signed and filed prior to the issuance of a C. of O. for properties subjected to flooding.
- Curb cut permit is required from the Department of Public Works. Curb cut maximum width is 18 feet.
- The contractor shall schedule with the Municipality a rough grading inspection prior to any framing of a building above the first floor braced decking. Excess soils of significance shall be removed and disposed of upon completion of the rough grading.
- The structures for the storm water management system shall be installed at the earliest date possible when the structure's roof is complete. The contractor shall consult with the Municipality and schedule this work upon completion and inspection of the rough grading activities.
- The contractor shall secure a Street Opening Permit with the Municipality for all work to take place on the right of way including construction of a new driveway apron, and installation of new service laterals.
- If necessary, the Contractor shall secure a Tree Removal Permit with the Municipality prior to the commencement of construction activities.
- Contractor required to provide Dig Safe NY ticket prior to issuance of permits.

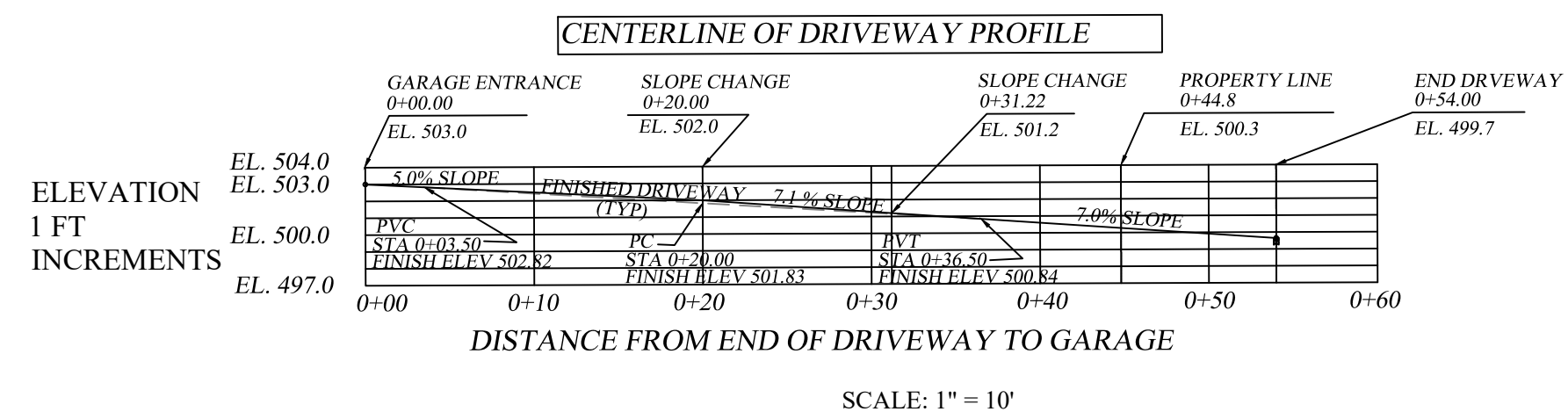
22 NETHERMONT AVE - AVERAGE GRADE CALCULATIONS						
FRONT LEFT CORNER TO FRONT RIGHT CORNER OF HOUSE						
Point #	ELEV	ELEV	DIST	AVG ELEV	(DIST) X (AVG ELEV)	
A-B	502.7	502.7	14.0	502.7	7037.8	
B-Z	502.7	503.0	5.8	502.9	2916.5	
Z-C	503.0	512.2	16.0	507.6	8121.6	
C-D	512.2	511.5	13.0	511.9	6654.1	
RIGHT SIDE OF HOUSE						
Point #	ELEV	ELEV	DIST	AVG ELEV	(DIST) X (AVG ELEV)	
D-E	511.5	515.3	36.0	513.4	18481.5	
REAR OF HOUSE						
Point #	ELEV	ELEV	DIST	AVG ELEV	(DIST) X (AVG ELEV)	
E-F	515.3	515.3	13.0	515.3	6699.3	
F-G	515.3	515.8	12.0	515.4	6185.1	
G-H	515.6	514.0	15.0	514.8	7722.0	
LEFT SIDE OF HOUSE						
Point #	ELEV	ELEV	DIST	AVG ELEV	(DIST) X (AVG ELEV)	
H-Y	514.0	505.0	34.2	509.5	17424.9	
Y-A	505.0	502.7	5.8	503.9	2922.3	
TOTAL DISTANCE =				164.8	TOTAL DISTANCE X ELEV =	84164.1
AVG. GRADE ELEV.				510.7		



ALL ELEVATIONS TAKEN AT 6 FT FROM CORNERS

EROSION CONTROL NOTES

- INSTALLATION & MAINTENANCE OF EROSION CONTROL**
- CONSTRUCTION SCHEDULE**
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.
- EROSION CONTROL MEASURES**
- Install all erosion control measures prior to start of construction.
 - Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 Days prior to finish.
- INSPECTION BY MUNICIPALITY**
- MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)**
- After any rain causing runoff, Contractor to inspect silt fences, etc. and remove any excessive sediment and inspect stockpiles and correct and problems with seed establishment.
 - Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.
- STOCK PILING OF EXCAVATED MATERIAL**
- Strip Topsoil and Stockpile.
 - Stockpile Excavation Subgrade.
 - Seed piles with 1 lb. total annual ryb or remove from site within two days.
- INSPECTION BY MUNICIPALITY**
- FINAL GRADING**
- Remove unneeded subgrade from site.
 - Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.
- INSPECTION BY MUNICIPALITY**
- LANDSCAPING**
- Spread topsoil evenly over areas to be seeded. Hand rake level.
 - Broadcast 1 25lb. bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded.



APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: _____ DATE: _____

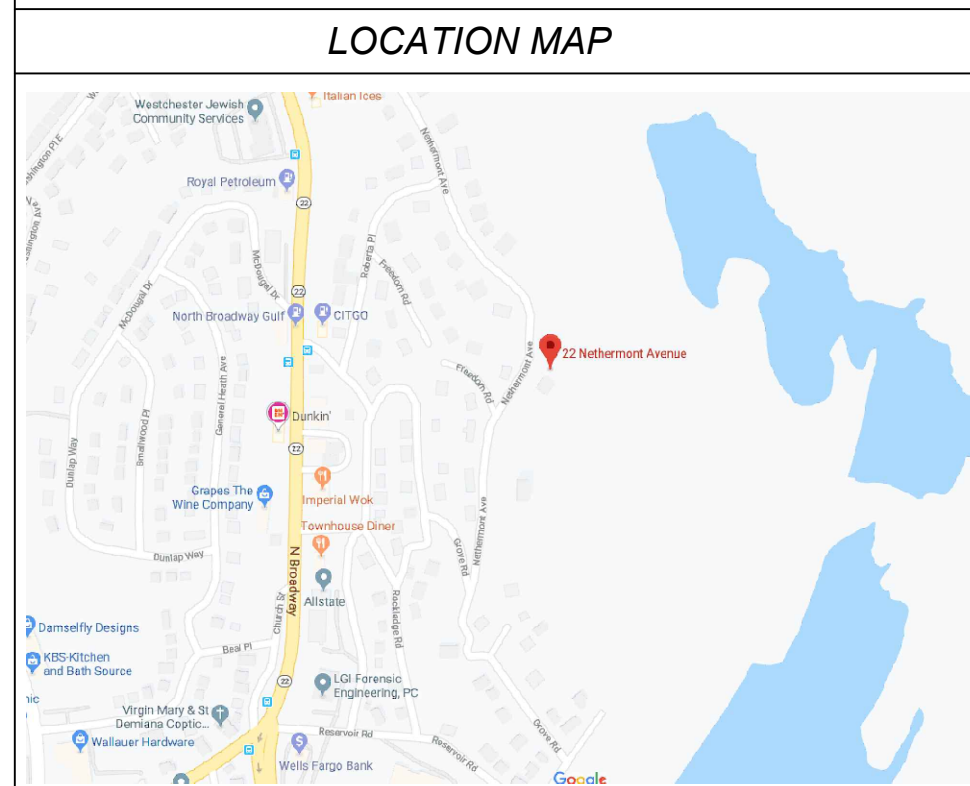
CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE: _____

JOSEPH M. CERMELE, P.E.
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

LEGEND

- UTILITY POLE
- SIGN POST
- HYDRANT
- WATER VALVE
- GAS VALVE
- LIGHT POLE
- GUY WIRES
- TELE. MANHOLE
- SEWER MANHOLE
- WATER MANHOLE
- ELECTRIC MANHOLE
- DRAIN MANHOLE
- MANHOLE
- ELECTRIC BOX
- EXISTING GRADE (102)
- PROPOSED GRADE
- 14 TREE
- TREE SIZE
- TREE TO BE REMOVED
- SILT FENCE or HAYBALES AS REQ'D
- AREA OF DISTURBANCE
- PROPOSED 6" HDPE



NO	DATE	DESC	BY
7	06/15/2021	DRIVEWAY GRADE RESOLUTION	GC
6	05/19/2021	RESOLUTION	GC
5	04/19/2021	REVISIONS	GC
4	04/11/2021	PB COMMENTS	GC
3	02/13/2021	ARB COMMENTS	GC
2	01/13/2021	WALL NEXT DRIVEWAY	GC
1	03/10/2020	PB COMM	GC
NO			

GRADING & STORMWATER PLAN

PREPARED FOR: ODOARDI

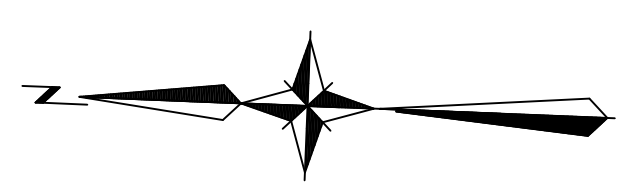
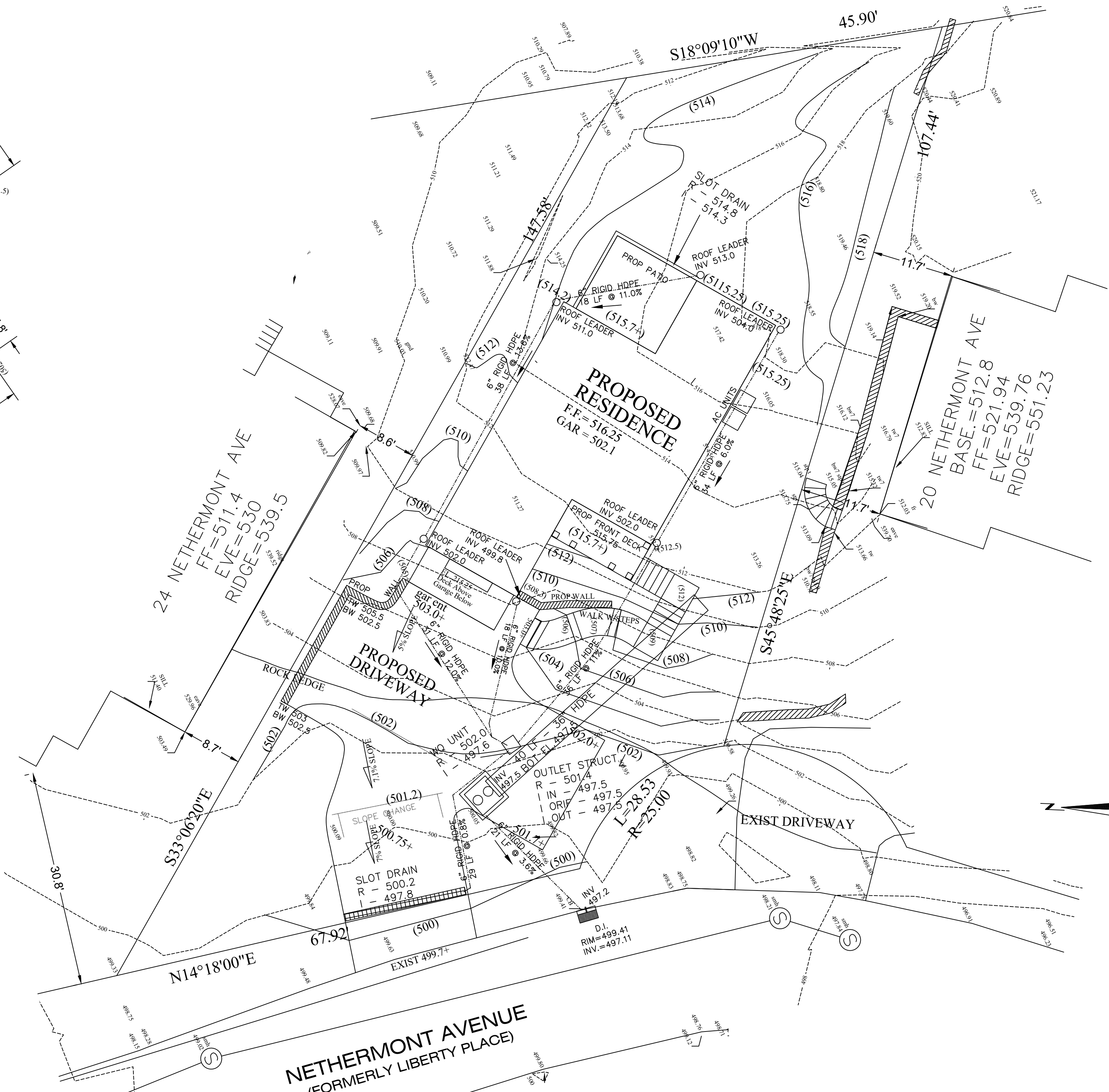
ADDRESS: 22 NETHERMONT AVE
NORTH WHITE PLAINS, NY

TAX ID: SECTION 122.16 - TAX BLOCK 4 - LOT 7

SITUATED IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

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GABRIEL E. SENOR, P.C.
CONSULTING ENGINEER LAND SURVEYORS
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530
● (914) 422-0070 FAX 422-3009



ADDITIONAL NOTES:

- All retaining walls on the property are proposed.
- Garbage will be kept in trash bins in the garage until the day prior to pick up and be brought to the end of the driveway in enclosed lockable bins the day prior to trash pick up.

SCALE: 1" = 10'
DATE: JANUARY 10, 2020
DRAWN BY: GC
CHECKED BY: ES.

SW-1