

February 10, 2021  
**VIA E-MAIL**

Chairman Carthy and Members of the Planning Board  
Town of North Castle  
15 Bedford Road  
Armonk, New York 10504

Re: ***375 Main Street – Site Plan Approval  
Section 108.03, Block 1, Lot 75***

Dear Chairman Carthy and Members of the Board:

As you know, we represent NY Fuel Distributors, LLC (the “Applicant”) in connection with the above-referenced property (the “Subject Property”). We respectfully submit herewith the following amended plans for your consideration at your upcoming meeting on February 22, 2021.

- Proposed Site Improvement Plans prepared by Bronzino Engineering last revised February 10, 2021:
  - C-001.00: Cover Sheet
  - C-002.00: Existing Site Plan
  - C-003.00: Proposed Site Plan
  - C-004.00: Proposed Grading, Drainage & Utility Plan
  - C-005.00: Proposed Landscaping Plan
  - C-006.00: Proposed Lighting Plan
  - C-007.00: Proposed Fuel Truck Path Plan
  - C-008.00: Proposed Building Floor Plan
  - C-009.00: Proposed Building Elevations I
  - C-010.00: Proposed Building Elevations II
  - C-011.00: Proposed Canopy Elevations & Signage Details
  - C-012.00: Site Details I
  - C-013.00: Site Details II
  - C-014.00: Site Details III
  - C-015.00: Site Details IV

### **Executive Summary**

The proposed plans have been revised in accordance with comments raised during the Planning Commission meeting on February 8, 2021. Due to the quick turnaround time this submission is not intended to respond to all of the latest comments from the Town Planner and Engineer, rather this submission is intended to address the comments of the Board so the Board can consider a recommendation to the Zoning Board of Appeals.

The Applicant has filed an application with the Zoning Board of Appeals based on the prior set of plans presented on February 8, 2021. If the Board prefers the revisions made in this set of plans the Applicant will modify its application to the Zoning Board of Appeals accordingly.

The changes to the plan include relocating the ADA accessible parking space to be located in front of the trash enclosure. The two previously proposed employee parking spaces that had insufficient backup aisle depth have been removed and three additional spaces have been added bringing the total to 12 spaces overall.

The proposed walkway along the storefront has been expanded to be 6 feet wide providing sufficient clear area to accommodate free passage around the proposed outdoor sales display. While we do not know the status of any permits or approvals for others, we note that a review of Google Street images of the other stations within the Town of North Castle reveals that at a minimum there is outside display of materials at the Sunoco at 360 Main Street, DJ's Auto Clinic at 905 N. Broadway and the Royal Petroleum at 825 N. Broadway.

Lastly, the proposed landscape plan has been revised to incorporate a mix of Italian Cypress trees along the rear façade at the corners and in between the windows. The Applicant has also expanded the landscaping to include portions of the area previously proposed for the employee parking spaces which also reduces the amount of proposed impervious surfaces within the wetland buffer.

With these revisions the Applicant would no longer need a variance for the insufficient backup aisle. The variances would then be limited to the area of the proposed monument sign and for the encroachments from improvements on the Amore parcel. We respectfully request that the Planning Board support our request for the variances with a positive recommendation to the Zoning Board of Appeals.

We look forward to presenting these materials to you at your upcoming meeting.

Very truly yours,  
HARFENIST KRAUT & PERLSTEIN, LLP

By:                     *Leo K. Napior*                      
Leo K. Napior

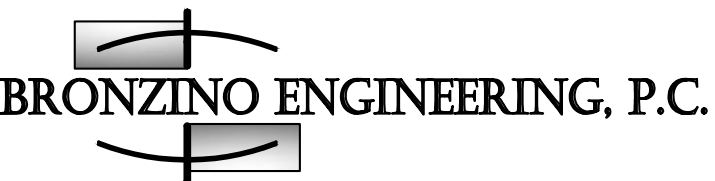


TO  
SHELL GAS STATION

375 MAIN STREET  
ARMONK, NY

## LIST OF DRAWINGS

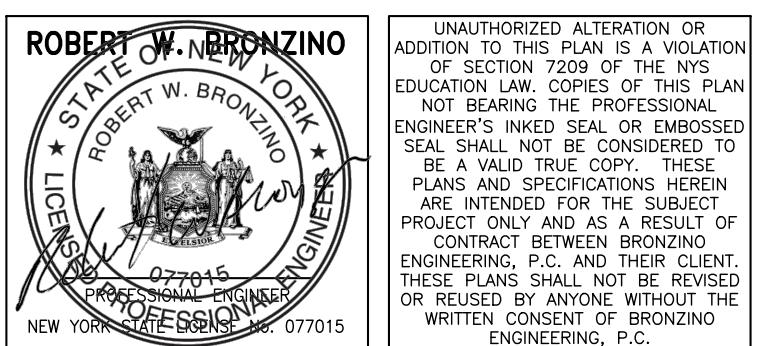
SHEET #	DRAWING #	TITLE
1	C-001.00	COVER SHEET
2	C-002.00	EXISTING SITE PLAN
3	C-003.00	PROPOSED SITE PLAN
4	C-004.00	PROPOSED GRADING, DRAINAGE & UTILITY PLAN
5	C-005.00	PROPOSED LANDSCAPING PLAN
6	C-006.00	PROPOSED LIGHTING PLAN
7	C-007.00	PROPOSED FUEL TRUCK PATH PLAN
8	C-008.00	PROPOSED BUILDING FLOOR PLAN
9	C-009.00	PROPOSED BUILDING ELEVATIONS I
10	C-010.00	PROPPSED BUILDING ELEVATIONS II
11	C-011.00	PROPOSED CANOPY ELEVATIONS & SIGNAGE DETAILS
12	C-012.00	SITE DETAILS I
13	C-013.00	SITE DETAILS II
14	C-014.00	SITE DETAILS III
15	C-015.00	SITE DETAILS IV



100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT  
NY DEALER STATIONS  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

3	REVISED AS PER TOWN COMMENTS	2/10/21
2	REVISED AS PER TOWN COMMENTS	1/25/21
1	REVISED FOR TOWN FILING	9/11/20
No.	D E S C R I P T I O N	DATE



DOB APPROVAL:

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

SECTION: 2	2	BLOCK: 11	11
LOT: 6.6	6.6	FIRE DIST:	2

DRAWING TITLE:

COVER SHEET

PROJECT #:	190908
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SCALE:	AS NOTED
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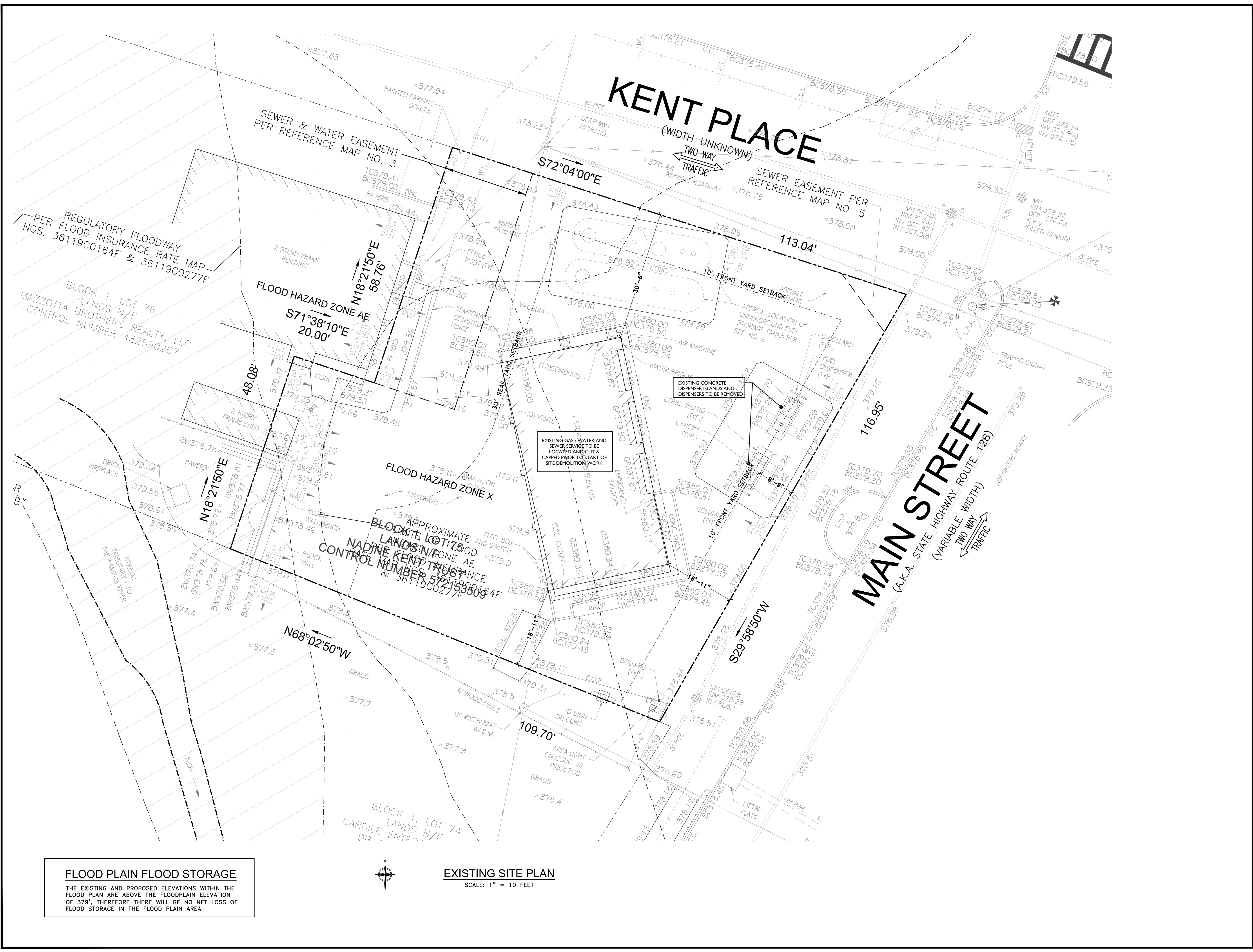
DATE: 5/11/20

DRAWING NO:  
C-001.00

SHEET NO: 1 OF 15

B-SCAN





**BRONZINO ENGINEERING, P.C.**

100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT

**NY DEALER STATIONS**

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PROJECT:

**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**

375 MAIN STREET  
ARMONK, NY

SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:

**EXISTING SITE PLAN**

PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20
DRAWING NO:	<b>C-002.00</b>
SHEET NO:	<b>2 OF 15</b>

B-SCAN

**FLOOD PLAIN FLOOD STORAGE**

THE EXISTING AND PROPOSED ELEVATIONS WITHIN THE FLOOD PLAN ARE ABOVE THE FLOODPLAIN ELEVATION OF 379', THEREFORE THERE WILL BE NO NET LOSS OF FLOOD STORAGE IN THE FLOOD PLAIN AREA

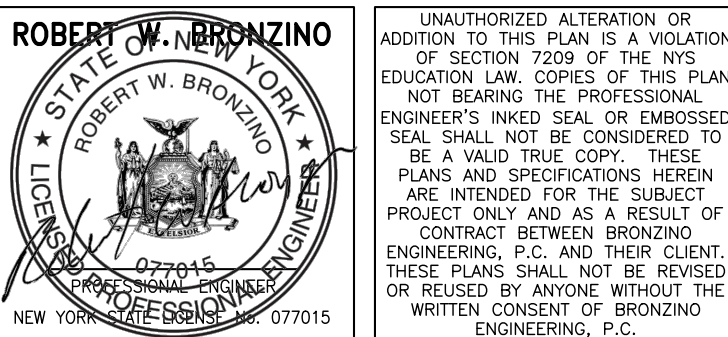
**EXISTING SITE PLAN**

SCALE: 1" = 10 FEET



CLIENT  
NY DEALER STATIONS  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

No.	DESCRIPTION	DATE
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PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

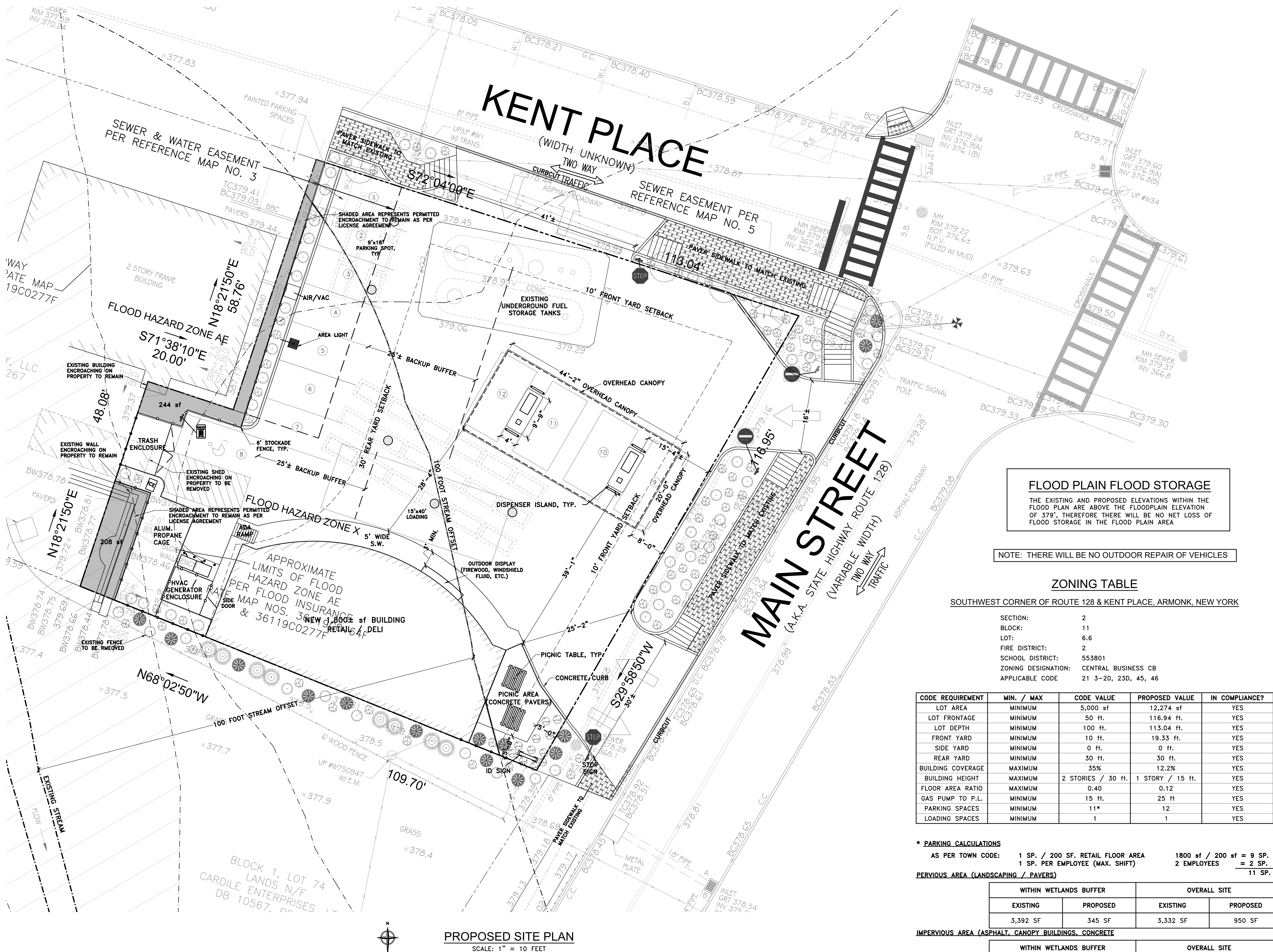
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LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
PROPOSED SITE PLAN

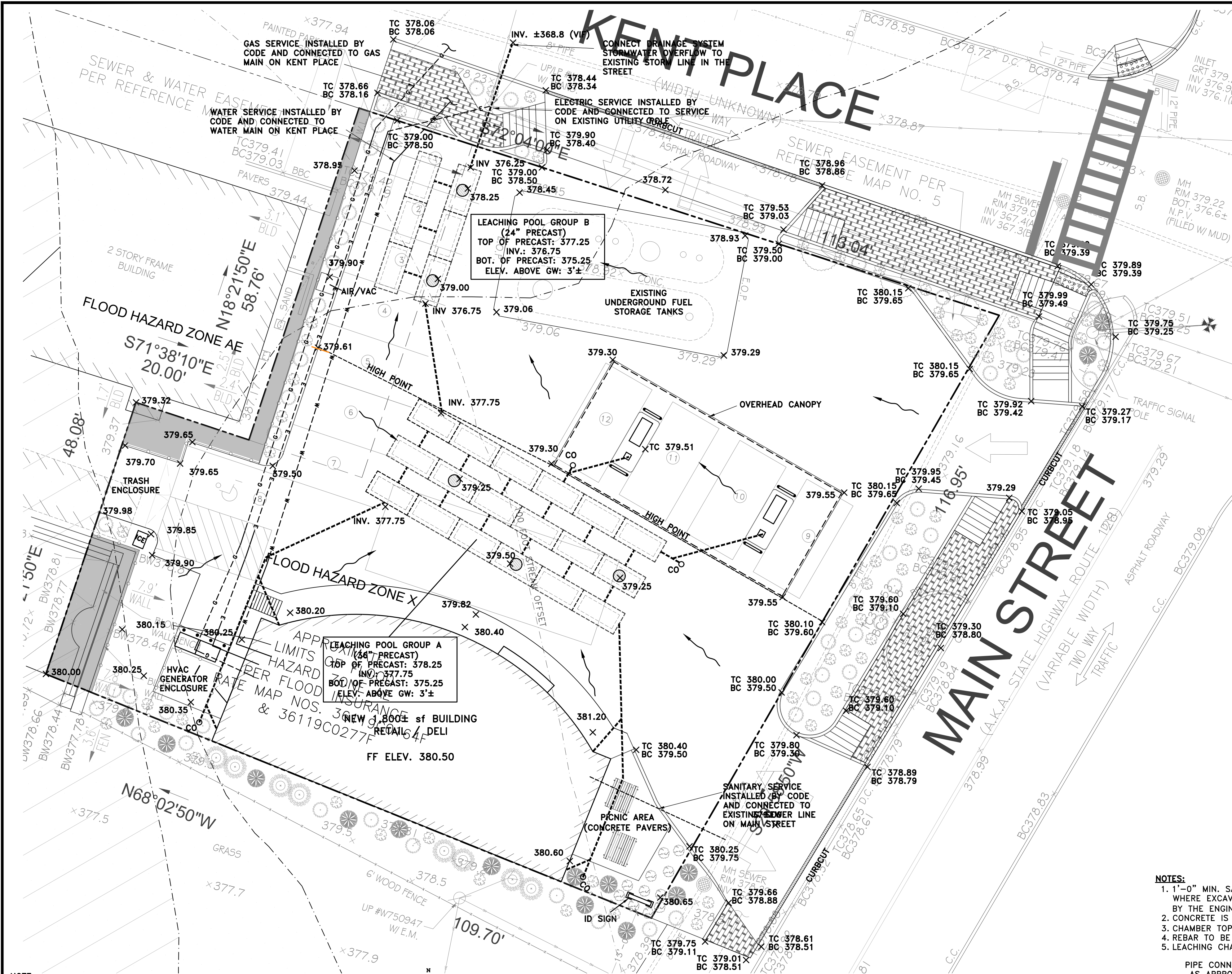
PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20

DRAWING NO:  
C-003.00  
SHEET NO:  
3 OF 15

B-SCAN







DRAINAGE / UTILITY NOTES

- WHERE SANITARY SYSTEM IS TO BE INSTALLED, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THOSE AREAS BACKFILLED WITH SUITABLE MATERIAL AS DIRECTED BY THE ENGINEER
- PUBLIC WATER IS AVAILABLE IN THE STREET AND THE NEW STRUCTURES SHALL BE CONNECTED TO THE PUBLIC WATER SYSTEM AS PER CODE
- ELECTRIC SERVICE IS AVAILABLE IN THE STREET AND THE NEW STRUCTURES SHALL BE CONNECTED TO THE PUBLIC ELECTRIC SYSTEM AS PER CODE
- THE PROPOSED BUILDING SANITARY SYSTEM SHALL BE INSTALLED AS PER CODE
- THE MINIMUM DISTANCE BETWEEN SANITARY AND STORM DRAINAGE STRUCTURES IS 20'
- THE MINIMUM DISTANCE BETWEEN WATER LINE AND SEPTIC STRUCTURES IS 10'
- THE MINIMUM DISTANCE BETWEEN WATER LINE AND STORM DRAINAGE STRUCTURES IS 10'
- THE MIN. DISTANCE BETWEEN WATER & UNDERGROUND ELECTRIC/TELEPHONE LINES IS 10'
- ALL INTERCONNECTING PIPE BETWEEN STORM WATER LEACHING POOLS SHALL BE 8" DIAMETER CORRUGATED PLASTIC PIPE
- ALL CONNECTIONS BETWEEN ROOF LEADERS AND LEACHING POOLS SHALL BE 6" SCHEDULE 80 PVC UNLESS OTHERWISE NOTED
- ROOF DRAINS SHALL BE 6" SCH 40 C.I. PIPE
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES
- STORM WATER RETENTION SYSTEM DESIGNED BASED ON THE FOLLOWING CRITERIA:
  - 100 YEAR STORM (24 HOUR DURATION)
  - NOAA, ATLAS 14, VOLUME 10, VERSION WHERE POINT PRECIPITATION FREQUENCY ESTIMATE IS 8.41 INCHES
- DRAINAGE SYSTEM DESIGN USES DATA OBTAINED BY SOIL PERCOLATION TEST (INFILTRATION TEST) PERFORMED BY TECTONIC, IN REPORT DATED 9/3/20 AND PERFORMED ON 9/1/20 WHERE
  - THE ESTIMATED INFILTRATION RATE = 4.5 INCHES PER HOUR
  - GROUNDWATER WAS FOUND AT APPROXIMATELY 7.5 FEET BELOW GRADE (ELEVATION 372±)

NYS STORMWATER QUANTITY CALCULATIONS FOR EXTREME FLOOD PROTECTION

	PEAK FLOW	VOLUME RUNOFF
EXISTING	2.31 CFS	8,083 CF
PROPOSED	2.58 CFS	9,173 CF

Vs Vr = 0.18  
REQUIRED STORAGE = 1,651 CF

DRAINAGE CALCULATIONS

EXISTING CONDITIONS

ACTUAL AREA (SF)	USE	MATERIAL	RUNOFF COEFF.	EFFECTIVE AREA (SF)
6,975	PARKING / DRIVEWAY	ASPHALT	1.00	6,975
3,332	LANDSCAPING	MULCH / GRASS	0.10	333
1,603	ROOF DRAINAGE	N/A	1.00	1,603
364	WALKWAYS	CONCRETE	1.00	364

PROPOSED CONDITIONS

ACTUAL AREA (SF)	USE	MATERIAL	RUNOFF COEFF.	EFFECTIVE AREA (SF)
8,091	PARKING / DRIVEWAY	ASPHALT	1.00	8,091
950	LANDSCAPING	MULCH / GRASS	0.10	95
2,683	ROOF DRAINAGE	N/A	1.00	2,683
550	WALKWAYS	CONCRETE	1.00	550

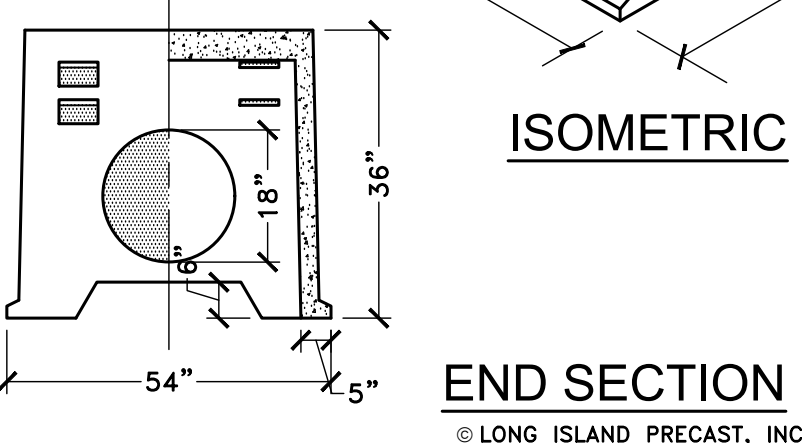
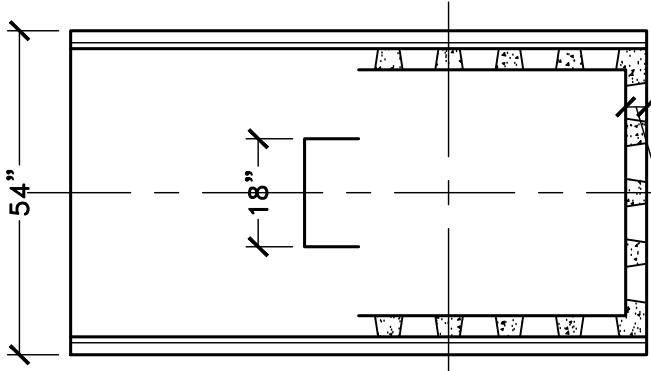
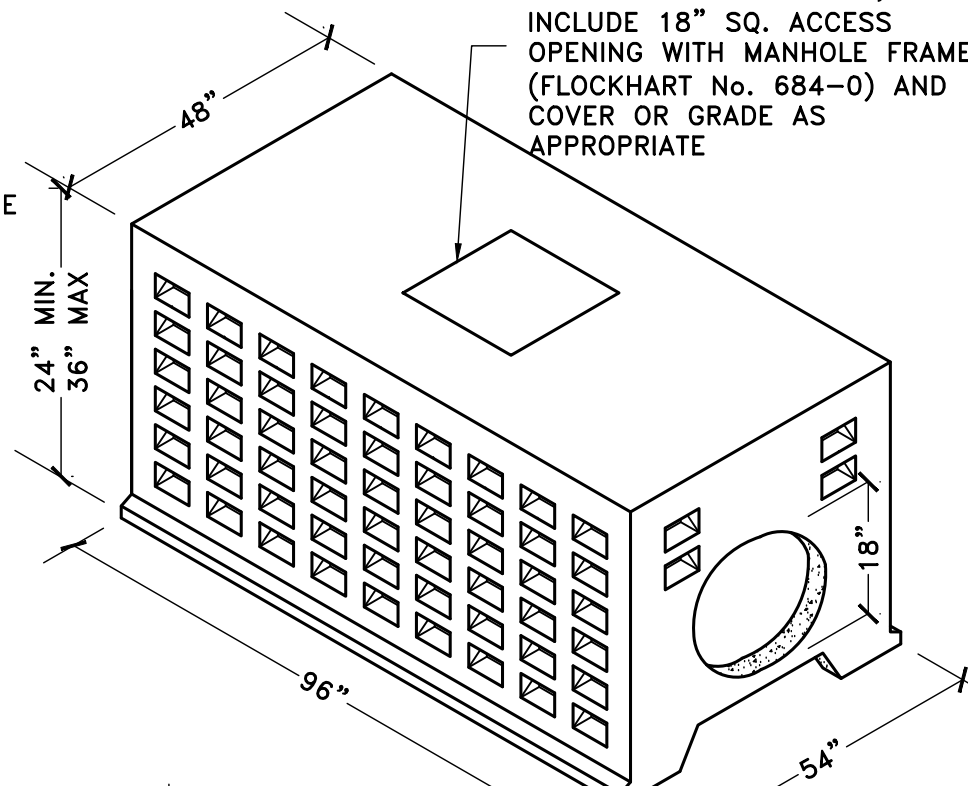
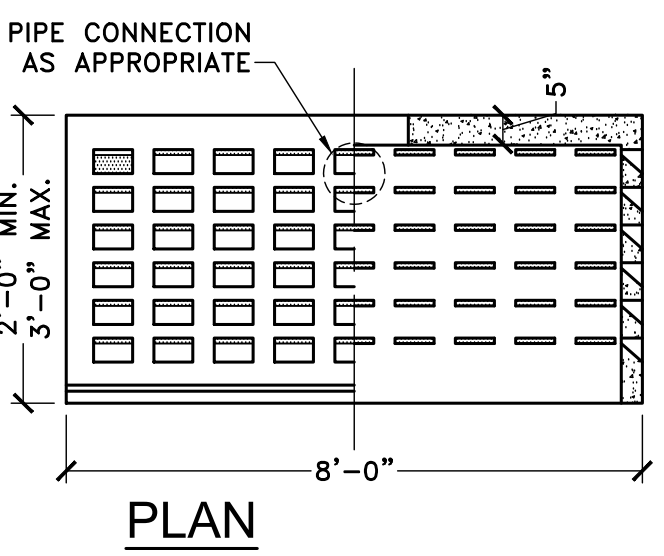
TOTAL CHANGE IN EFFECTIVE AREA = 11,419 SF - 9,275 SF = 2,144 SF TOTAL: 11,419  
TOTAL DRAINAGE STORAGE REQUIRED = 9.16 IN x (1 FT/12 IN) x 2,144 SF = 1,651 CF  
USE:  
(18) 3 FOOT HIGH PRECAST RECTANGULAR LEACHING STRUCTURES WITH THE FOLLOWING PROPERTIES:  
EFFECTIVE AREA: 25.38 SF  
EFFECTIVE HEIGHT: 2.50 FT  
EFFECTIVE VOLUME = 63.45 CF  
(18 x 63.45 CF) + (18 x 25.38 SF x (4.5 IN / 12 IN)) = 1,313.42 CF  
(6) 2 FOOT HIGH PRECAST RECTANGULAR LEACHING STRUCTURES WITH THE FOLLOWING PROPERTIES:  
EFFECTIVE AREA: 25.38 SF  
EFFECTIVE HEIGHT: 1.50 FT  
EFFECTIVE VOLUME = 38.07 CF  
(6 x 38.07 CF) + (5 x 25.38 SF x (4.5 IN / 12 IN)) = 285.53 CF  
(15) 3 FOOT LONG x 18" DIAMETER INTERCONNECTING PIPES ..... 79.50 CF  
TOTAL STORAGE PROVIDED = 1,678.45 CF

FLOOD PLAIN FLOOD STORAGE

THE EXISTING AND PROPOSED ELEVATIONS WITHIN THE FLOOD PLAIN ARE ABOVE THE FLOODPLAIN ELEVATION OF 379', THEREFORE THERE WILL BE NO NET LOSS OF FLOOD STORAGE IN THE FLOOD PLAIN AREA

- NOTES:
- 1'-0" MIN. SAND AND GRAVEL COLLAR AROUND STRUCTURE WHERE EXCAVATED MATERIAL IS UNSUITABLE AS DETERMINED BY THE ENGINEER AND/OR TOWN INSPECTOR
  - CONCRETE IS TO BE 4,000 PSI AT 28 DAYS
  - CHAMBER TOP/SIDES TO BE COVERED WITH FILTER FABRIC
  - REBAR TO BE ASTM A-615 GRADE 60
  - LEACHING CHAMBER SHALL BE SET ON COMPACTED SUBGRADE

WHERE SHOWN ON PLAN, INCLUDE 18" SQ. ACCESS OPENING WITH MANHOLE FRAME (FLOCKHART No. 684-0) AND COVER OR GRADE AS APPROPRIATE



3 FEET DEEP PRECAT RECTANGULAR LEACHING POOL

© LONG ISLAND PRECAST, INC.  
BROOKHAVEN, NY  
631-286-0240

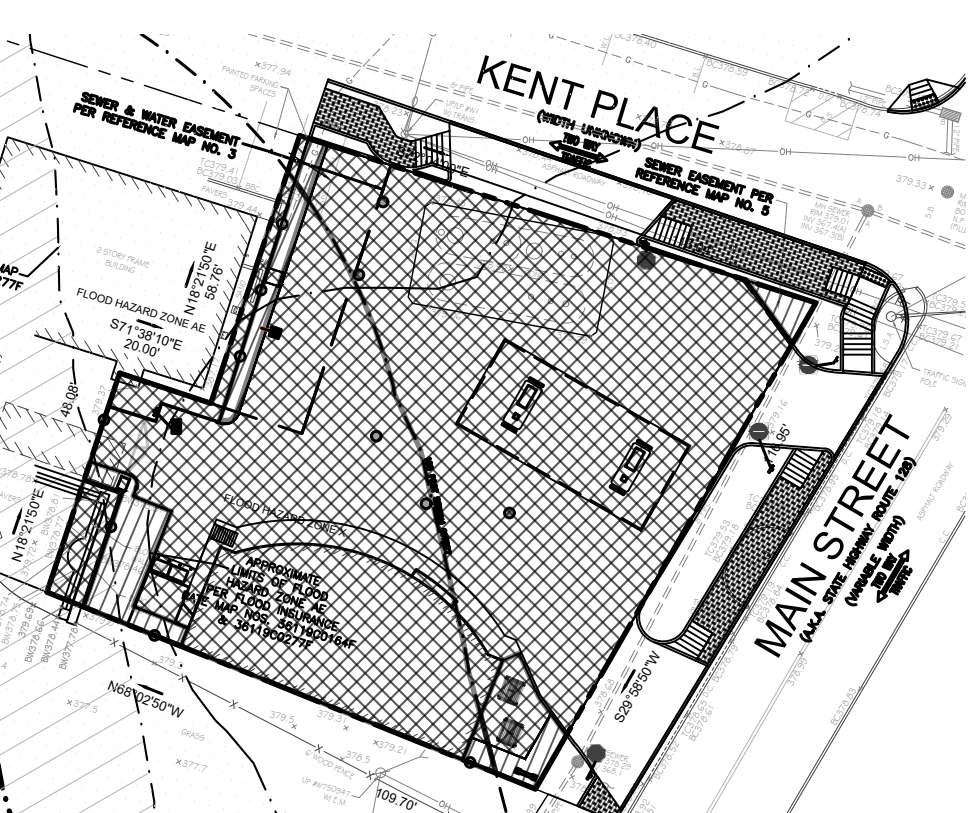
PROPOSED GRADING, DRAINAGE & UTILITY PLAN

SCALE: 1" = 10 FEET



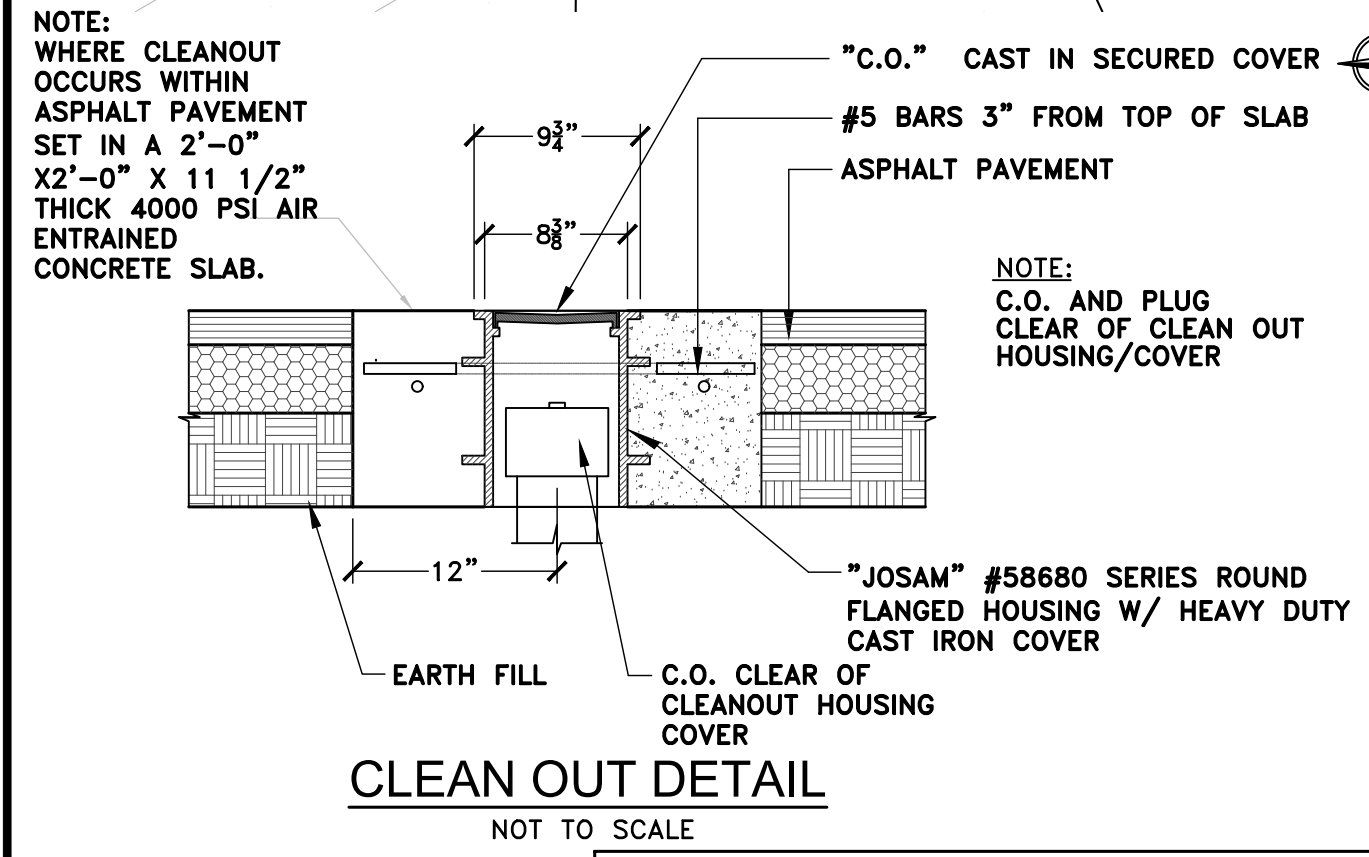
EXISTING DRAINAGE MAP

SCALE: 1" = 40 FEET



PROPOSED DRAINAGE MAP

SCALE: 1" = 40 FEET



DRAINAGE MAP LEGEND

IMPERVIOUS AREA	[Pattern]
PERVIOUS AREA	[Pattern]

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**ROBERT W. BRONZINO**  
Professional Engineer  
No. 077045  
New York State  
077015

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DOB APPROVAL:

PROJECT:  
**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

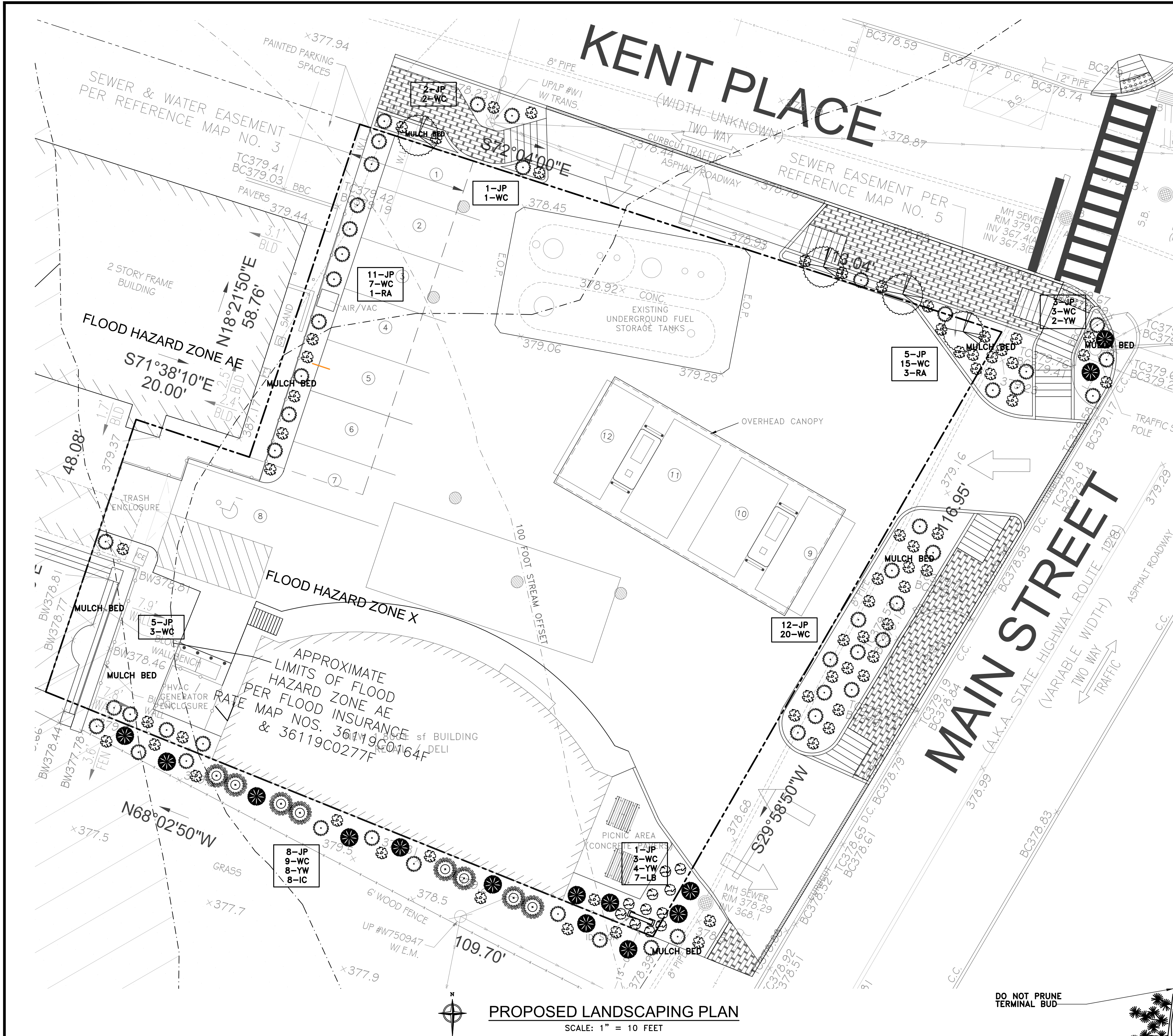
SECTION: 2 BLOCK: 11  
LOT: 6.6 FIRE DIST: 2

DRAWING TITLE:  
**PROPOSED GRADING, DRAINAGE & UTILITY PLAN**

PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:  
**C-004.00**  
SHEET NO:  
**4 OF 15**

B-SCAN





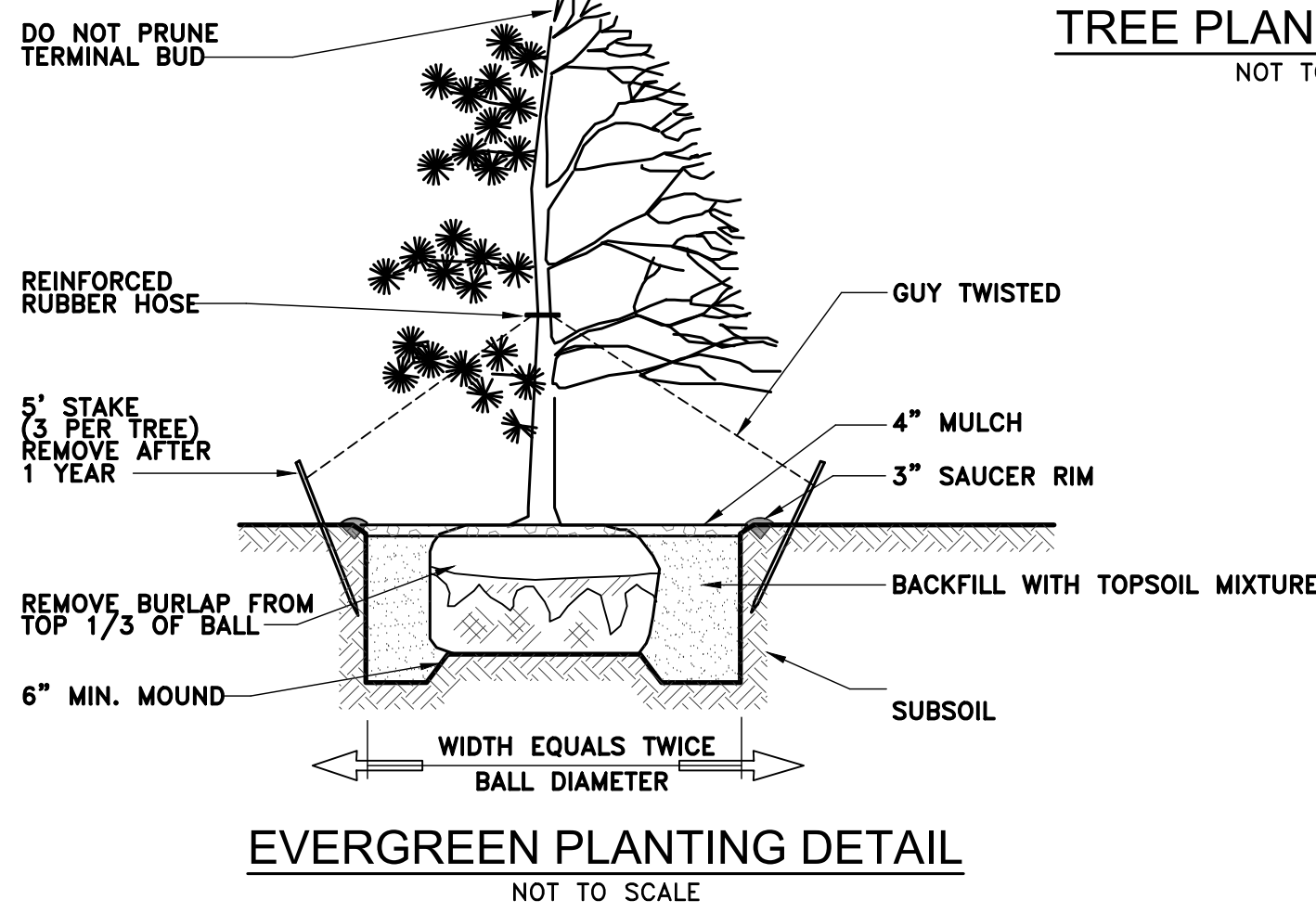
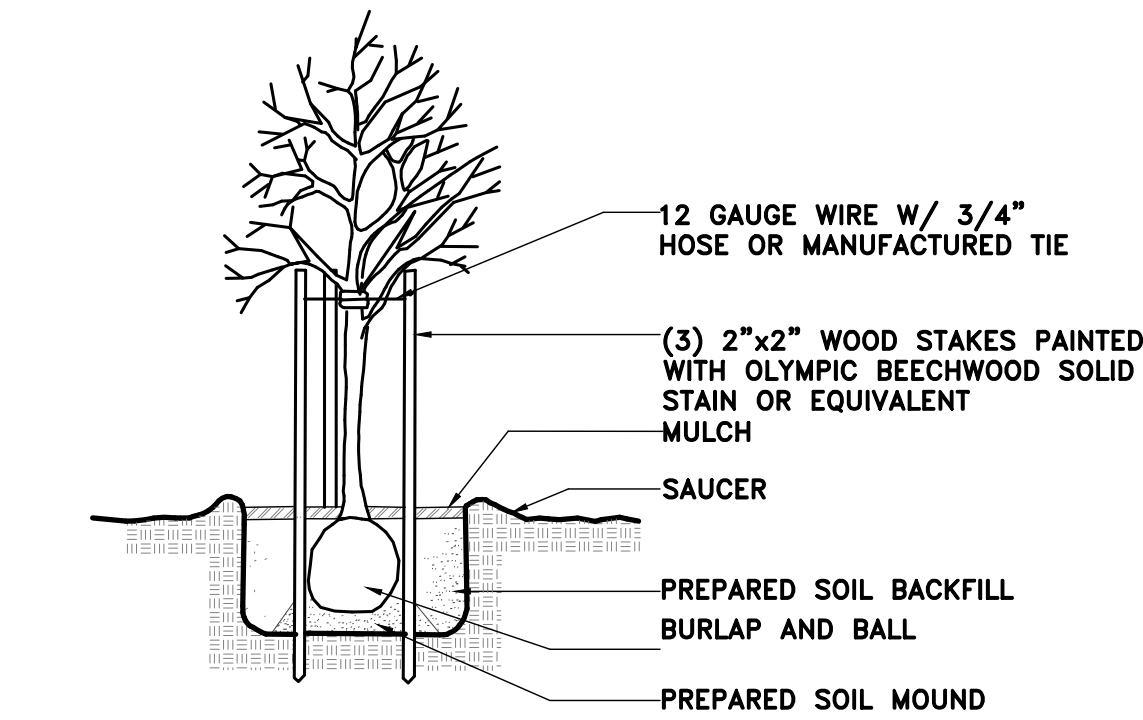
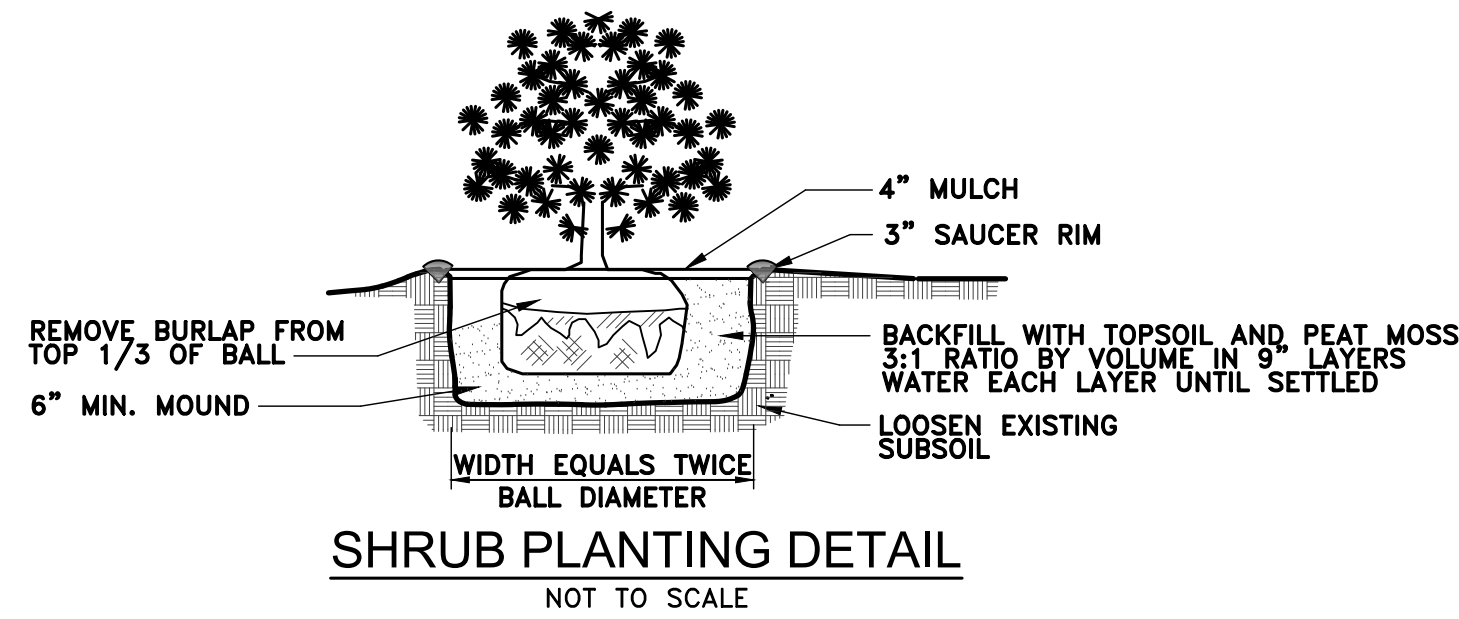
PROPOSED LANDSCAPING PLAN  
SCALE: 1" = 10 FEET

LANDSCAPE LEGEND

SYMBOL	KEY	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	SIZE
	JP	48	JUNIPERUS HORIZONTALIS "PLUMOSA"	ANDORRA JUNIPER	18"-24" O.C.	12"-18" HIGH
	WC	63	JUNIPERUS HORIZONTALIS "WILTONII"	WILTON CARPET JUNIPER	18"-24" O.C.	LESS THAN 6" HIGH
	YW	14	TAXUS BACCATA	ENGLISH YEWE	5' O.C.	30"-36" HIGH
	LB	7	LINDERA BENZOIN	SPICE BUSH	3'-4' O.C.	18"-24" HIGH
	RA	4	RETICULATA AMURENSIS JAPONICA	"IVORY SILK" TREE LILAC	N/A	4' TO 5' HIGH 2-1/2" TO 3", B & B
	IC	8	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	2'-3'	10' HIGH (MAINT) 2-1/2" TO 3", B & B
FA			FLOWERING ANNUALS (IF REQUIRED)			

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
3. NO PLANTS SHALL BE INSTALLED BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT OR EQUAL.
4. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING, AND AGAIN AT THE BEGINNING OF THEIR FIRST WINTER.
5. ALL PLANTS SHALL BE INSTALLED AS PER THE DETAILS AND CONTRACT SPECIFICATIONS.
6. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
7. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" OF SHREDDED BARK MULCH OVER A SYNTHETIC WEED BARRIER FABRIC.
9. THE CONTRACTOR SHALL FURNISH A ONE YEAR WARRANTY ON ALL PLANT MATERIALS.
10. ALL PLANT MATERIALS SHALL BE INSTALLED USING STANDARD ACCEPTABLE LANDSCAPE PRACTICES.
11. ALL EXISTING TREES AND WOODED AREAS AS DEPICTED SHALL BE RETAINED UNLESS SPECIFIED ELSEWHERE ON THIS PLAN. WHERE REQUIRED, EXISTING TREES SHALL BE APPROPRIATELY TRIMMED TO ACCOMMODATE CONSTRUCTION AND PEDESTRIAN USE OF SIDEWALK.
12. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION. ANY NEW PLANTS NOT SO MAINTAINED ARE TO BE REPLACED WITH PLANTS OF COMPARABLE TYPE AND SIZE AT THE BEGINNING OF THE NEXT GROWING SEASON.
13. NO PLANTINGS AT THE DRIVEWAYS SHALL VIOLATE ANY LINES OF SIGHT.
14. ALL PROPOSED SODDED AREAS SHALL CONSIST OF TOPSOIL, LIME, FERTILIZER AND SOD.
15. PROPOSED FROST PROOF LAWN HYDRANTS SHALL BE SPACED SO THAT ALL LANDSCAPED AREAS CAN BE WATERED WITH A 75 FOOT LENGTH HOSE. (PROVIDED BY OWNER).
16. STAKES TO BE DRIVEN INTO UNDISTURBED SOIL.
17. PRUNE ALL BROKEN OR DAMAGED BRANCHES.
18. GROUND LINE TO BE THE SAME AS EXISTED AT NURSERY.
19. FOLLOW DETAIL ABOVE FOR SHRUB PLANTING NO STAKING NECESSARY.
20. MATERIALS WITH A FALL PLANTING HAZARD SHALL BE HANDLED ACCORDINGLY.
21. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
22. PURSUANT TO TOWN CODE, ALL LANDSCAPING AS SHOWN ON AN APPROVED SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF COMPARABLE SIZE, TYPE AND QUALITY AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
23. ADDITIONAL LANDSCAPING MAY BE REQUIRED SUBSEQUENT TO POST-CONSTRUCTION LANDSCAPING INSPECTION(S) TO INSURE CONFORMANCE WITH THE REQUIREMENT OF THE TOWN CODE.



**BRONZINO ENGINEERING, P.C.**

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**ROBERT W. BRONZINO**  
STATE OF NEW YORK  
LICENSED PROFESSIONAL ENGINEER  
NO. 077015

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DRAWING TITLE:  
**PROPOSED LANDSCAPING PLAN**

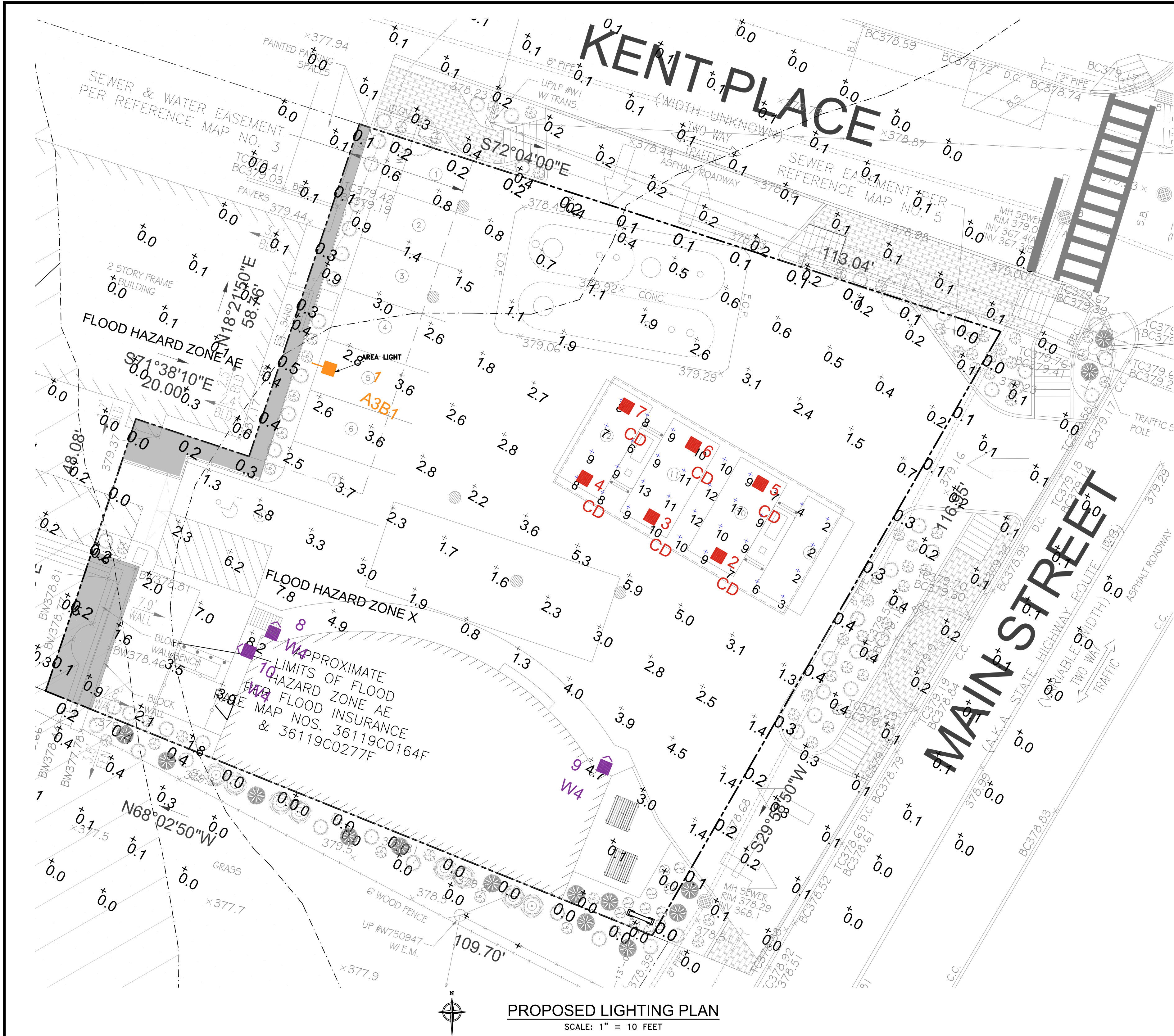
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DRAWING NO:  
**C-005.00**

SHEET NO:  
**5 OF 15**

B-SCAN





PROPOSED LIGHTING PLAN  
SCALE: 1" = 10 FEET

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LATF	DIMMING LUMEN MULTIPLIER	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	1	A3B1	SINGLE	5083	1.030	1.000	1.030	B1-U0-G2	70	70	CREE, INC.	ARE-EDG-3MB-DA-04-E-UL-XX-525
	6	CD	SINGLE	7349	1.030	0.400	0.412	B2-U0-G1	21.76	130.56	CREE, INC.	CAN-304-SL-RS-04-E-UL-XX-525-57K-DIM (SET @ 3.0V)
	3	W4	SINGLE	4270	1.030	1.000	1.030	B1-U0-G1	31	93	CREE, INC.	XSPW-B-WM-4ME-4L-57K-UL-XX

SEE DRAWING C-015 FOR  
LIGHTING FIXTURE DETAILS AND  
SPECIFICATIONS

NOTE: THESTATION WILL BE OPEN 24 HOURS A DAY

LUM NO.	LABEL	MTG. HT.
1	A3B1	15
2	CD	15
3	CD	15
4	CD	15
5	CD	15
6	CD	15
7	CD	15
8	W4	12
9	W4	12
10	W4	12

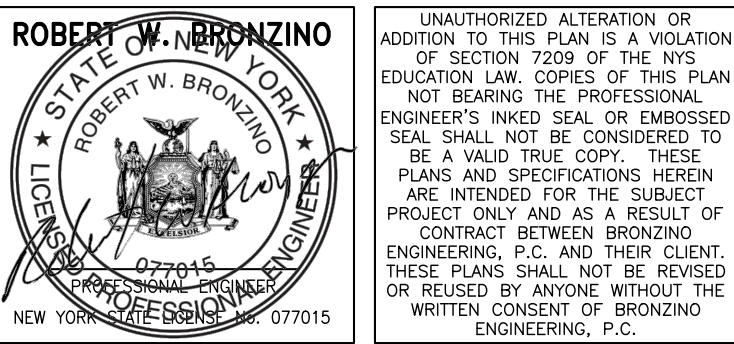
LIGHTING NOTES

- ILLUMINATION LEVELS ARE THE RESULT OF REQUESTS BY OTHERS. RED LEONARD ASSOCIATES / BRONZINO ENGINEERING, P.C. IS NOT RESPONSIBLE FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING AND DOES NOT RECOMMEND THESE LEVELS FOR SECURITY AND SAFETY REASONS.
- FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES

**BRONZINO ENGINEERING, P.C.**  
100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT  
**NY DEALER STATIONS**  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

No.	D E S C R I P T I O N	D A T E
3	REVISED AS PER TOWN COMMENTS	2/10/21
2	REVISED AS PER TOWN COMMENTS	1/25/21
1	REVISED FOR TOWN FILING	9/11/20



DOB APPROVAL:

PROJECT:  
**PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY**

SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:

**PROPOSED LIGHTING  
PLAN**

PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:

**C-006.00**

SHEET NO:

**6 OF 15**

B-SCAN





**PROPOSED FUEL TRUCK PATH PLAN**  
SCALE: 1/16" = 1'-0"



**PROPOSED SITE LINE PLAN**  
SCALE: 1" = 100 FEET

**BRONZINO ENGINEERING, P.C.**  
100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT  
**NY DEALER STATIONS**  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

No.	DESCRIPTION	DATE
3	REVISED AS PER TOWN COMMENTS	2/10/21
2	REVISED AS PER TOWN COMMENTS	1/25/21
1	REVISED FOR TOWN FILING	9/11/20

**ROBERT W. BRONZINO**  
STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
No. 077015  
UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW. COPIES OF THIS PLAN NOT BEARING THE PROFESSIONAL ENGINEER'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. THESE PLANS AND SPECIFICATIONS HEREIN ARE INTENDED FOR THE SUBJECT PROJECT ONLY AND AS A RESULT OF CONTRACT BETWEEN BRONZINO ENGINEERING, P.C. AND THEIR CLIENT. THESE PLANS SHALL NOT BE REVISED OR REUSED BY ANYONE WITHOUT THE WRITTEN CONSENT OF BRONZINO ENGINEERING, P.C.

DOB APPROVAL:

PROJECT:  
**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

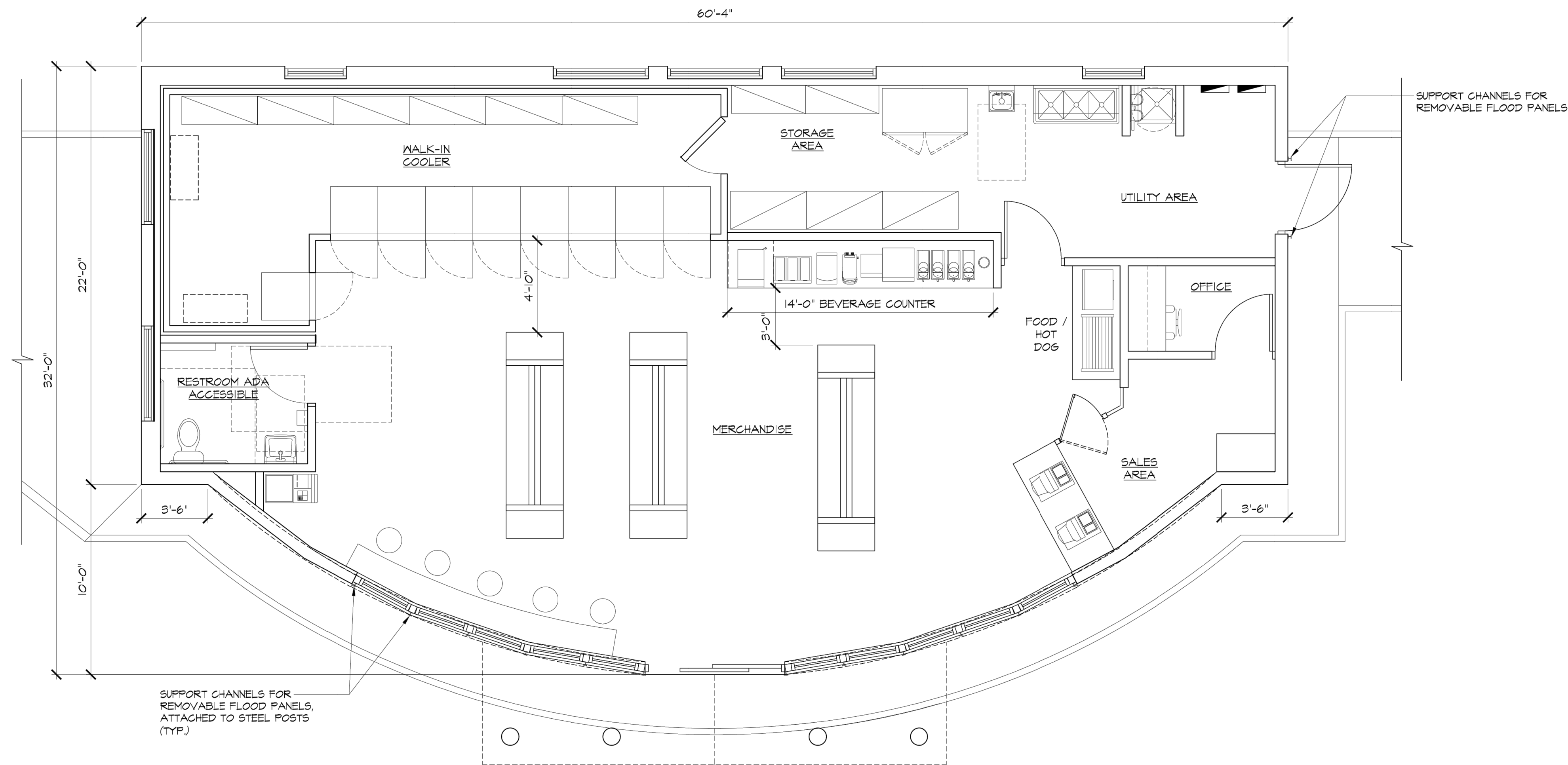
SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED FUEL TRUCK PATH PLAN**

PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:  
**C-007.00**  
SHEET NO:  
**7 OF 15**

B-SCAN





PROPOSED BUILDING FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**BRONZINO ENGINEERING, P.C.**  
100-3 SOUTH JERSEY AVE.  
EAST SETAUKET, NY 11733  
631-751-8299

CLIENT  
**NY DEALER STATIONS**  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

PROJECT NO.: 190906  
DRAWING NO.: C-008.00  
SHEET NO.: 8 OF 15

No.	DESCRIPTION	DATE
3	REVISED AS PER TOWN COMMENTS	2/10/21
2	REVISED AS PER TOWN COMMENTS	1/25/21
1	REVISED FOR TOWN FILING	9/11/20

**ROBERT W. BRONZINO**  
STATE OF NEW YORK  
REGISTERED PROFESSIONAL ENGINEER  
No. 077045  
EXPIRATION DATE 12/31/2024  
NEW YORK COUNTY OF SUFFOLK 077015

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW. COPIES OF THIS PLAN NOT BEARING THE PROFESSIONAL ENGINEER'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. THESE PLANS AND SPECIFICATIONS HEREIN ARE INTENDED FOR THE SUBJECT PROJECT ONLY AND AS A RESULT OF CONTRACT BETWEEN BRONZINO ENGINEERING, P.C. AND THEIR CLIENT. THESE PLANS SHALL NOT BE REVISED OR REUSED BY ANYONE WITHOUT THE WRITTEN CONSENT OF BRONZINO ENGINEERING, P.C.

DOB APPROVAL:

PROJECT:  
**PROPOSED SITE IMPROVEMENTS TO SHELL GAS STATION**  
375 MAIN STREET  
ARMONK, NY

SECTION:	2	BLOCK:	11
LOT:	6.6	FIRE DIST:	2

DRAWING TITLE:  
**PROPOSED BUILDING FLOOR PLAN**

PROJECT #: 190906  
SCALE: AS NOTED  
DATE: 5/11/20  
DRAWING NO:  
**C-008.00**  
SHEET NO:  
**8 OF 15**

B-SCAN





--

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

DRAWING TITLE:

PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20
DRAWING NO:	

SHEET NO: 9 OF 15

B-SCAN



SCALE: 1/4" = 1'-0"



SCALE:  $1/4" = 1'-0"$





--

The image shows a professional engineer's seal for Robert W. Bronzino, State of New York, License No. 077045. The seal is circular with the text "STATE OF NEW YORK" at the top, "ROBERT W. BRONZINO" around the inner circle, and "LICENSED PROFESSIONAL ENGINEER" at the bottom. The number "077045" is in the center. To the right of the seal is a document titled "SPECIFICATION" with the following text:

NO ADDITIONAL ALTERATION OR  
 AUTHORIZATION TO THIS PLAN IS A VIOLATION  
 OF SECTION 7209 OF THE  
 EDUCATION LAW. COPIES OF THIS PLAN  
 NOT BEARING THE PROFESSIONAL  
 ENGINEER'S SIGNED SEAL OR EXEMPTED  
 SEAL, SHALL NOT BE CONSIDERED TO  
 BE A VALID TRUE COPY. THESE  
 PLANS AND SPECIFICATIONS HEREBY  
 ARE SUBMITTED FOR THE SUBJECT  
 PROJECT ONLY AND AS A RESULT OF  
 CONTRACT BETWEEN BRONZINO  
 ENGINEERING, P.C. AND THEIR CLIENT.  
 THESE PLANS SHALL NOT BE REVISED OR  
 WRITTEN BY ANYONE WITHOUT THE  
 REVISED OR BY THE BRONZINO  
 ENGINEERING, P.C.

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

DRAWING TITLE:

PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20

SHEET NO:

10 OF 15

Architectural elevation drawing of a building facade, showing a gabled roof with a cupola, a central entrance with a pediment, and a stone veneer section on the right. The drawing includes numerous annotations for materials, dimensions, and structural details.

**Annotations (Left Side):**

- DECORATIVE GABLE VENT
- FASCIA AND RAKE BOARDS, TYP.
- 4" TRIM BOARD
- 1.25" JAMES HARDIE CEDARMILL COLORPLUS FIBER CEMENT SIDING (6" EXPOSURE) COLOR: PEARL GRAY
- ROOF GUTTER & LEADER
- TRIM BOARD, TYP.
- SPANDREL GLAZED ELEMENT
- 1.25" JAMES HARDIE CEDARMILL COLORPLUS FIBER CEMENT SIDING (6" EXPOSURE) COLOR: GRAY SLATE
- STONE VENEER MANUFACTURER-ELDORADO STONE PRODUCT-CLIFFSTONE PANELS COLOR-WHITEBARK
- 2" PRE-CAST CONCRETE OR LIMESTONE SILL
- PROVIDE GLEANOUT AT BASE OF RAIN LEADER (TYP.)
- FOUNDATION AND FOOTINGS BELOW

**Annotations (Right Side):**

- WEATHERVANE
- CUPOLA
- TOP OF CUPOLA +25'-3"
- T.O. RIDGE +18'-4"
- T.O. RIDGE +14'-4"
- T.O. PARAPET 13'-6"
- T.O. FASCIA +12'-6"
- FASCIA TO BE PAINTED WHITE, TYP.
- LINE OF FLAT ROOF
- SCUPPER CONNECTED TO ADJACENT LEADER, TYP.
- FINISH FLOOR 0'-6"
- GRADE 0'-0"

**Dimensions and Notes:**

- 9'-0" (Gable height)
- 12'-6" (Main roof span)
- 13'-6" (Parapet height)
- 12'-6" (Fascia height)
- 0'-6" (Finish floor)
- 0'-0" (Grade)

Architectural elevation drawing of a building facade, showing a gabled roof, a central cupola, and a service door. The drawing includes numerous annotations for materials, dimensions, and construction details.

**Annotations (Left Side):**

- TOP OF CUPOLA  
+ 25'-3"
- T.O. RIDGE  
+ 19'-4"
- T.O. RIDGE  
+ 19'-4"
- T.O. PARAPET  
13'-6"
- T.O. FASCIA  
+ 12'-6"
- FASCIA TO BE PAINTED WHITE, TYP.
- LINE OF FLAT ROOF
- SCUPPER CONNECTED TO ADJACENT LEADER, TYP.
- FINISH FLOOR  
0'-6"
- GRADE  
0'-0"

**Annotations (Right Side):**

- FASCIA AND RAKE BOARDS, TYP.
- DECORATIVE GABLE VENT
- 4" TRIM BOARD
- 1.25" JAMES HARDIE CEDARMILL COLORPLUS FIBER CEMENT SIDING (6" EXPOSURE) COLOR: PEARL GRAY
- 8" AZEK TRIM BOARD, (TYP.)
- 1.25" JAMES HARDIE CEDARMILL COLORPLUS FIBER CEMENT SIDING (6" EXPOSURE) COLOR: GRAY SLATE
- ROOF GUTTER & LEADER, TYP.
- SERVICE DOOR TO BE PAINTED SHERWIN WILLIAMS "CITYSCAPE" T-067
- SUPPORT CHANNELS FOR REMOVABLE FLOOD PANELS (TYP.)
- STONE VENEER MANUFACTURER-ELDORADO STONE PRODUCT-CLIFFSTONE PANELS COLOR-WHITEBARK
- 2" PRE-CAST CONCRETE OR LIMESTONE SILL
- PROVIDE CLEANOUT AT BASE OF RAIN LEADER (TYP.)
- FOUNDATION AND FOOTING BELOW

**Other Annotations:**

- WEATHERVANE
- CUPOLA
- 6/12

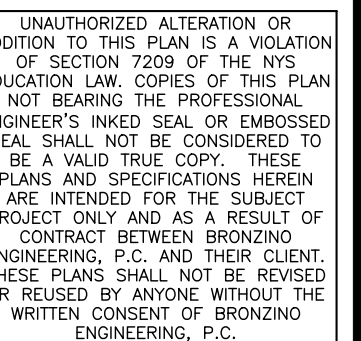
B-SCAN





CLIENT  
NY DEALER STATIONS  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

3	REVISED AS PER TOWN COMMENTS	2/10/21
2	REVISED AS PER TOWN COMMENTS	1/25/21
1	REVISED FOR TOWN FILING	9/11/20
No.	D E S C R I P T I O N	D A T E



DOB APPROVAL:

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

SECTION: 2	BLOCK: 11
LOT: 6.6	FIRE DIST: 2

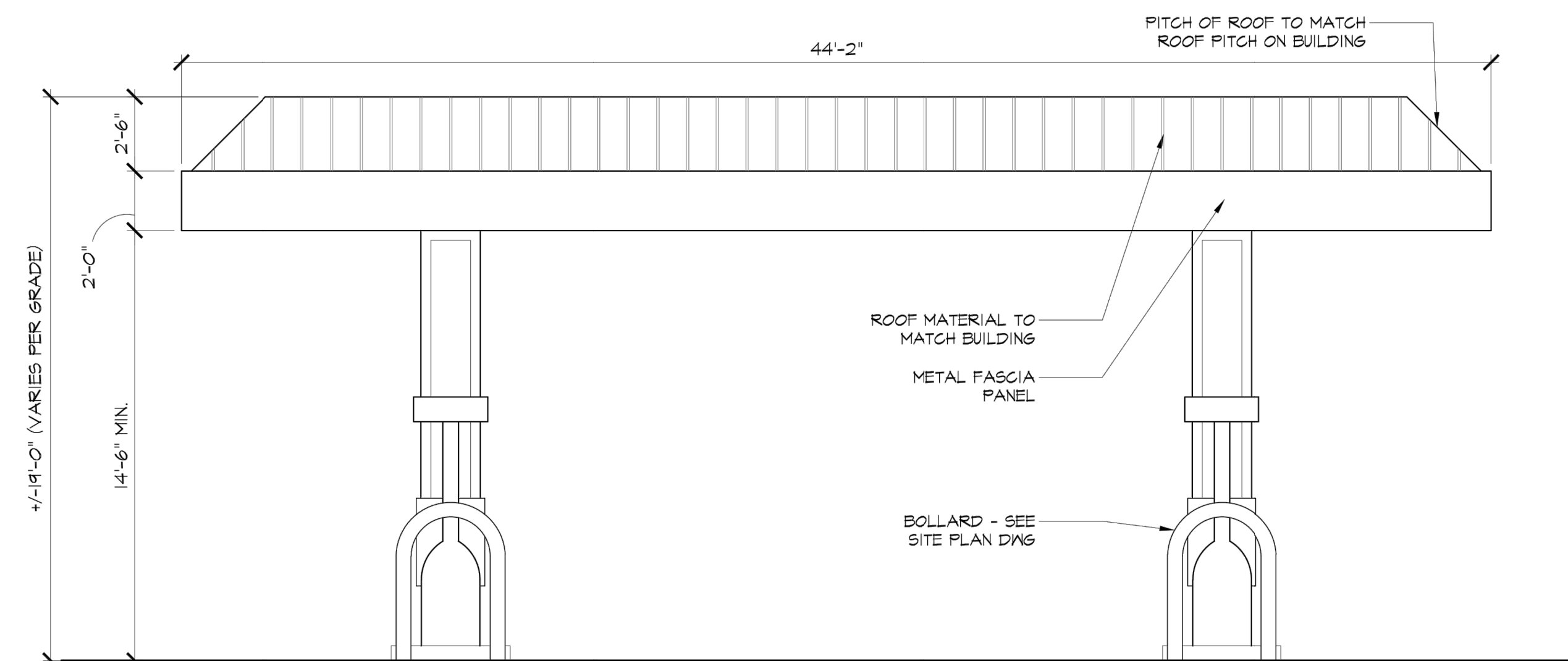
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## PROPOSED CANOPY ELEVATIONS AND SIGNAGE DETAILS

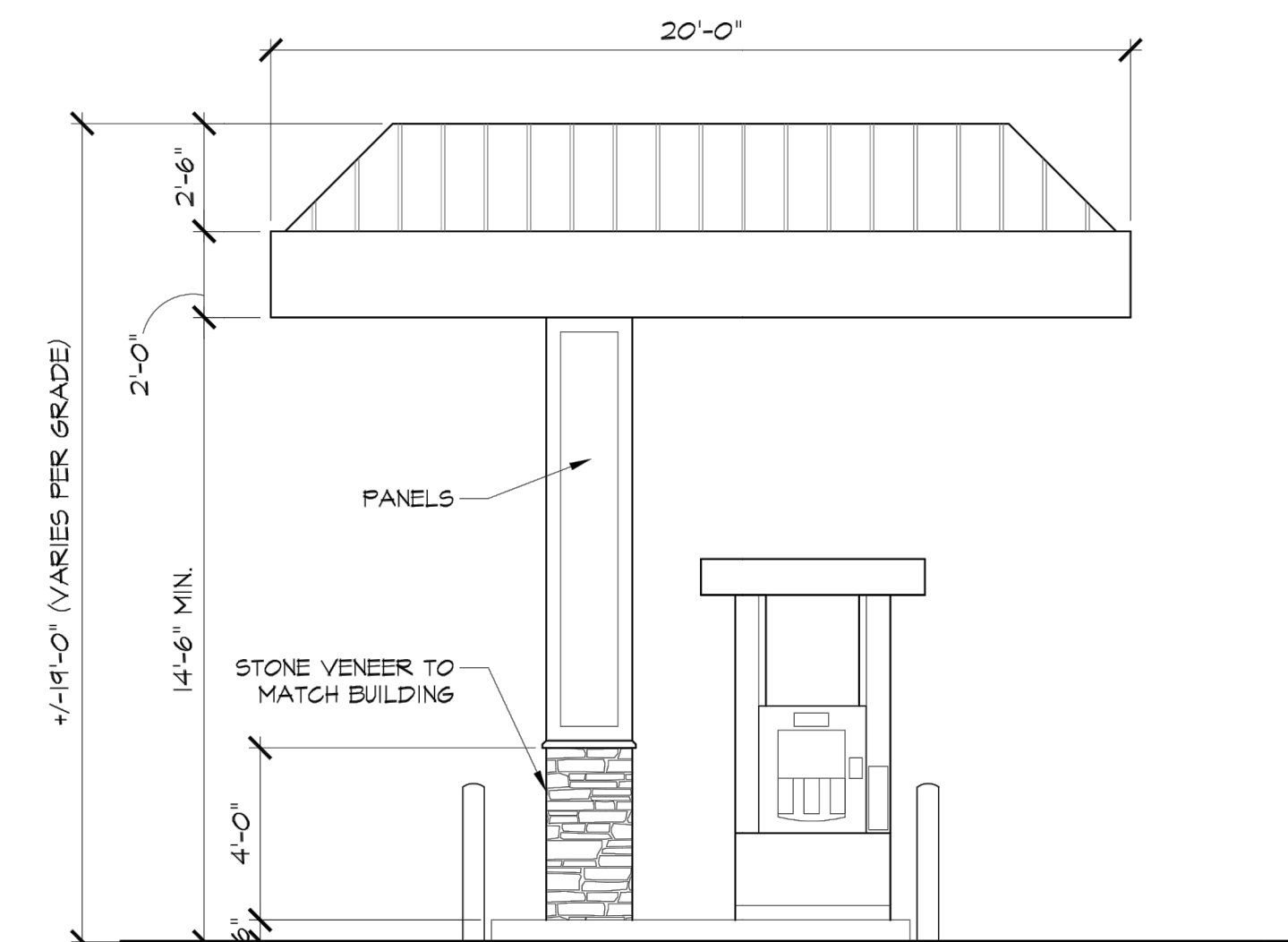
PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20
DRAWING NO:	

C-011.00  
SHEET NO:  
11 OF 15

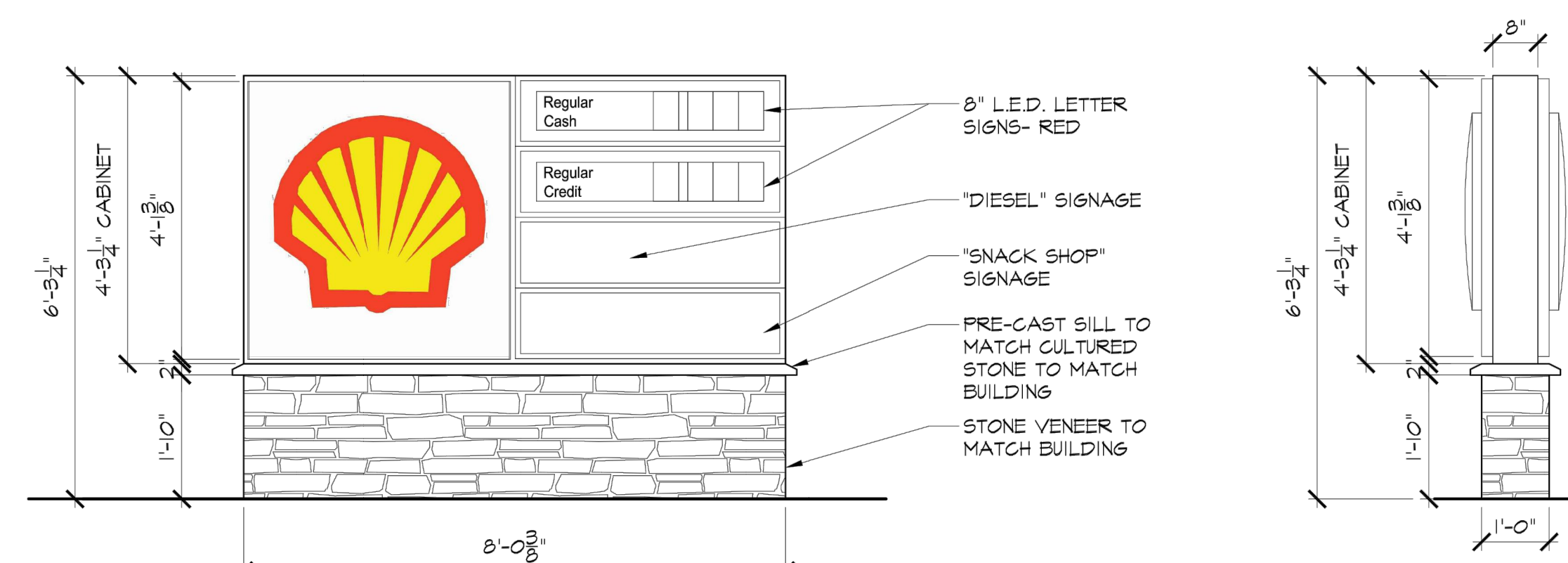
B-SCAN



PROPOSED CANOPY NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

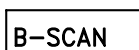
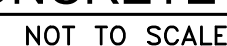
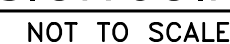
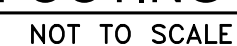
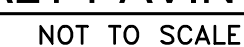
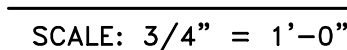
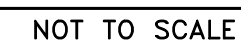
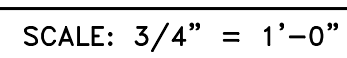
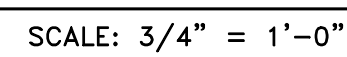


PROPOSED CANOPY EAST ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED ID SIGN ELEVATIONS (34.29 sf)  
SCALE: 1/2" = 1'-0"









ROBERT W. BRONZINO  
SECTION 2209 OF THE  
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ARE INTENDED FOR THE SUBJECT  
PROJECT ONLY AND AS A RESULT OF  
THE CONTRACT BETWEEN BRONZINO  
ENGINEERING, P.C. AND THEIR CLIENT,  
THESE PLANS SHALL NOT BE REVISED  
OR REUSED BY ANYONE WITHOUT THE  
WRITTEN CONSENT OF BRONZINO  
ENGINEERING, P.C.

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

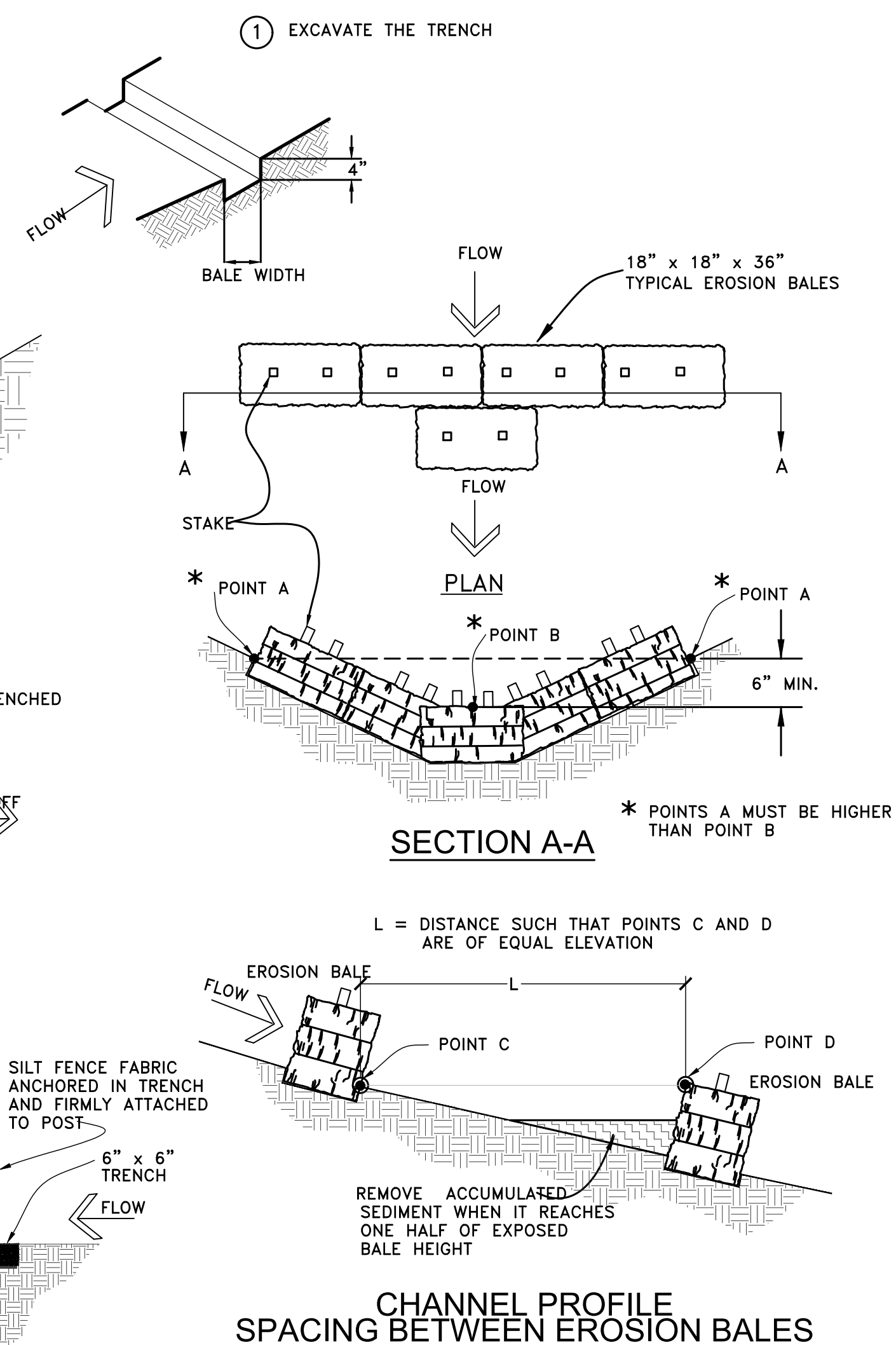
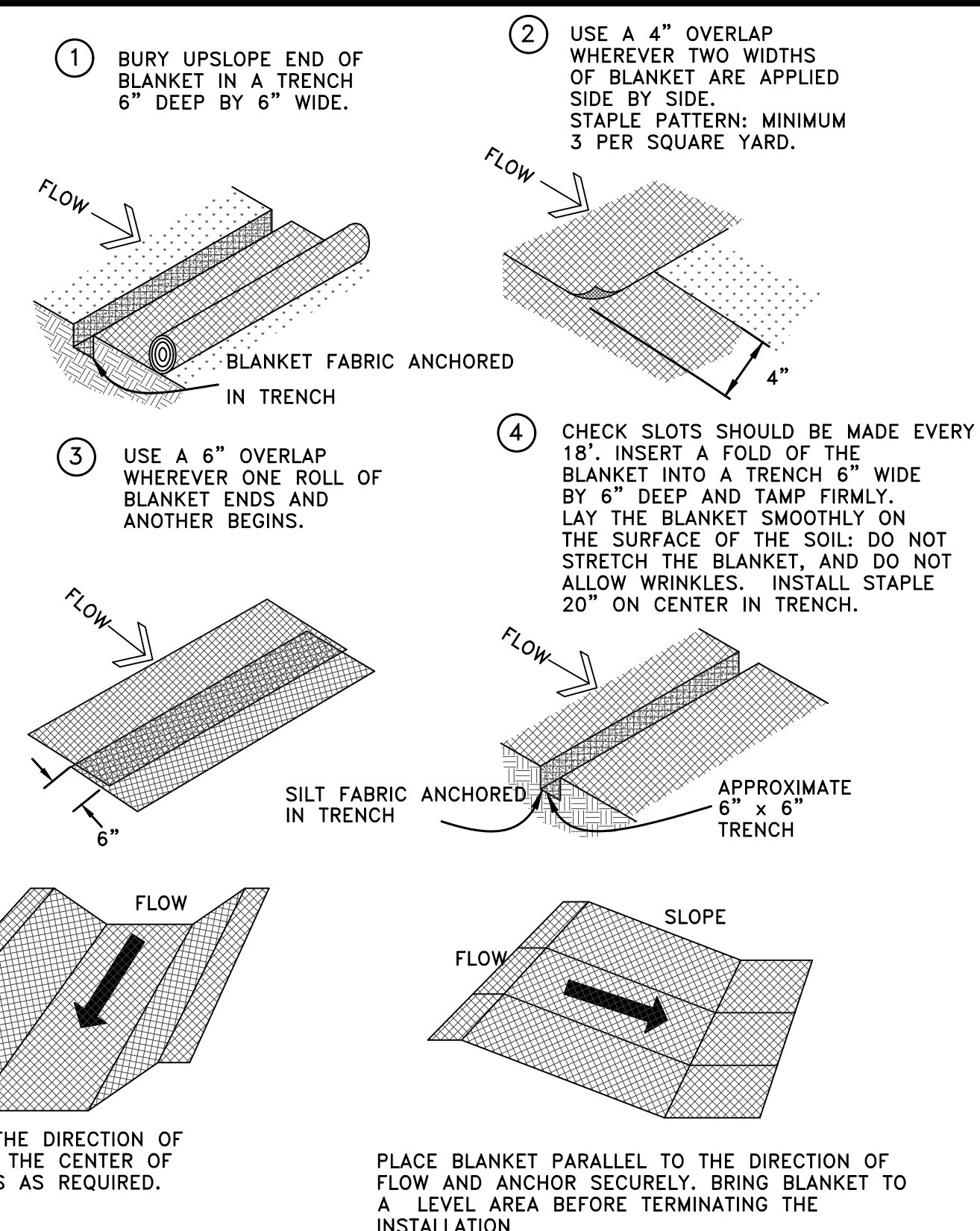
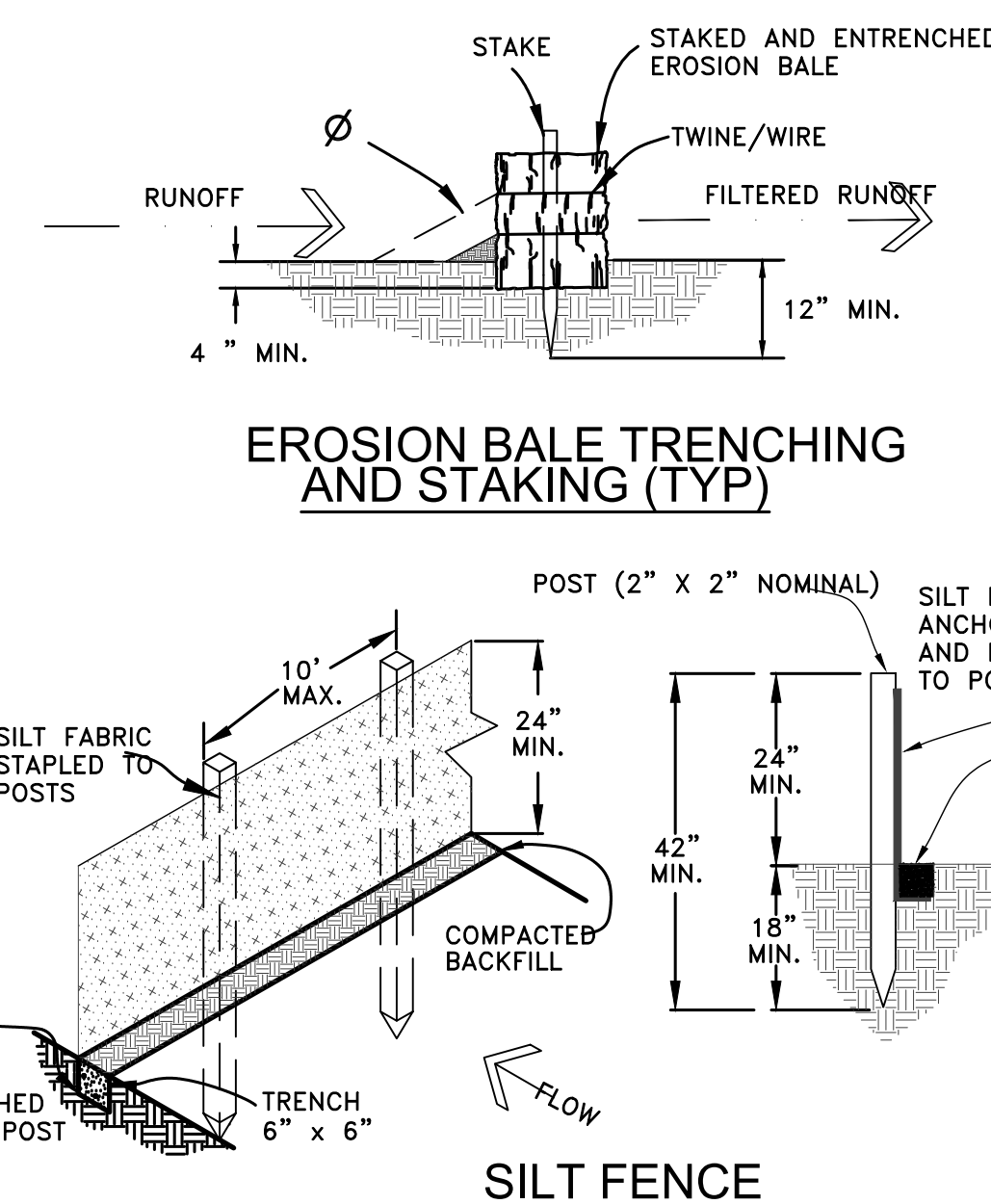
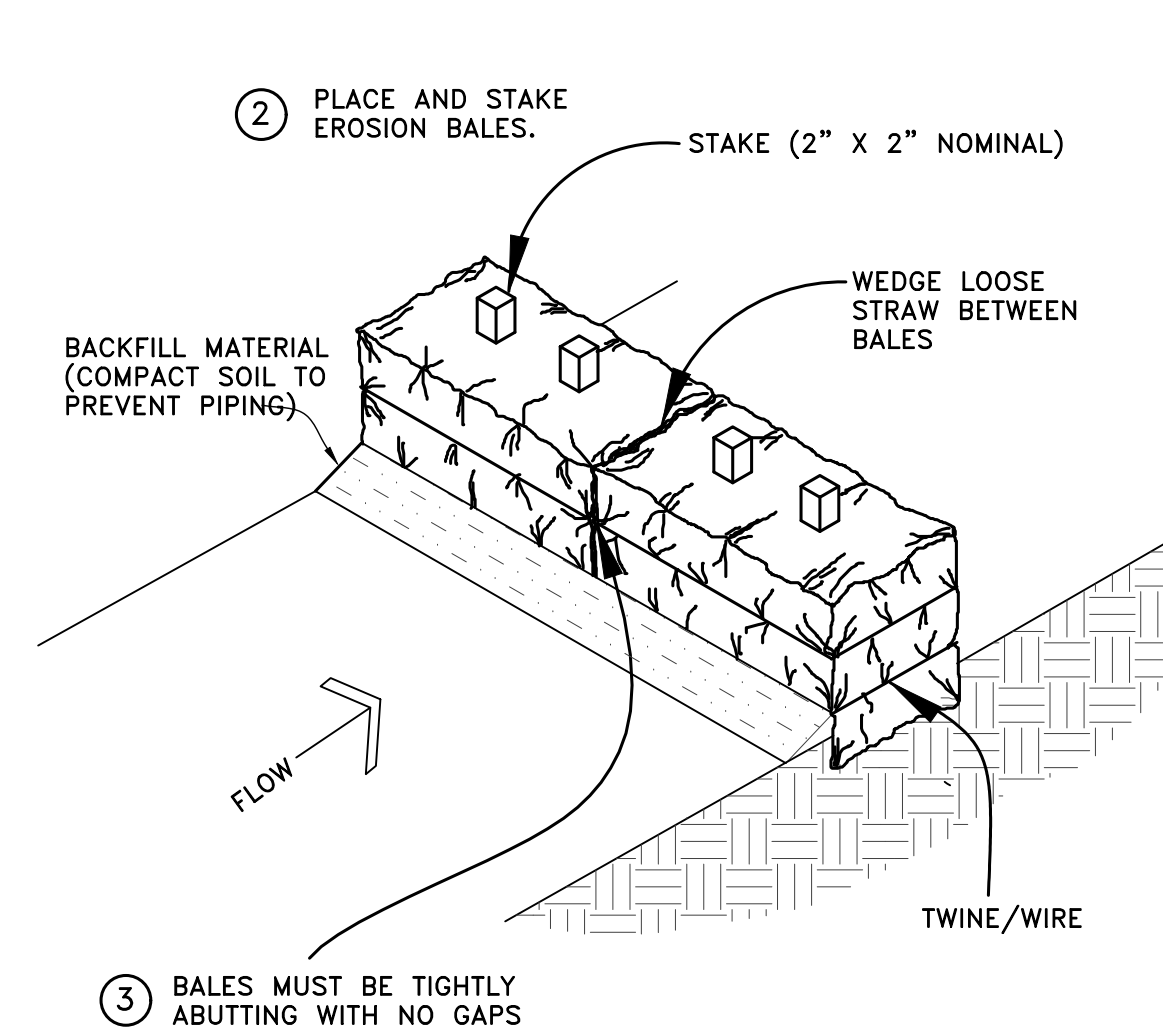
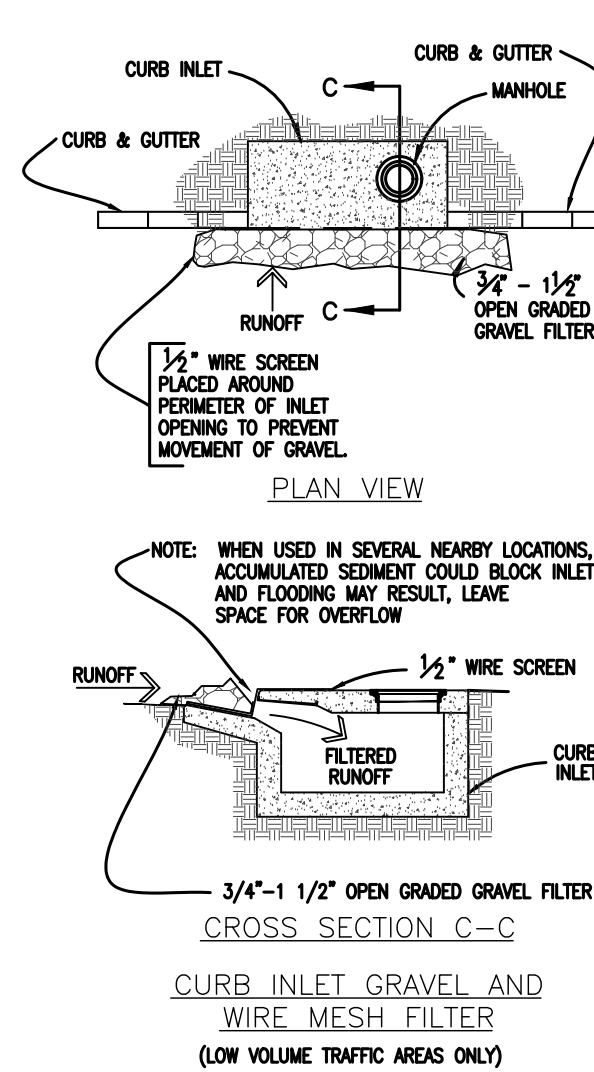
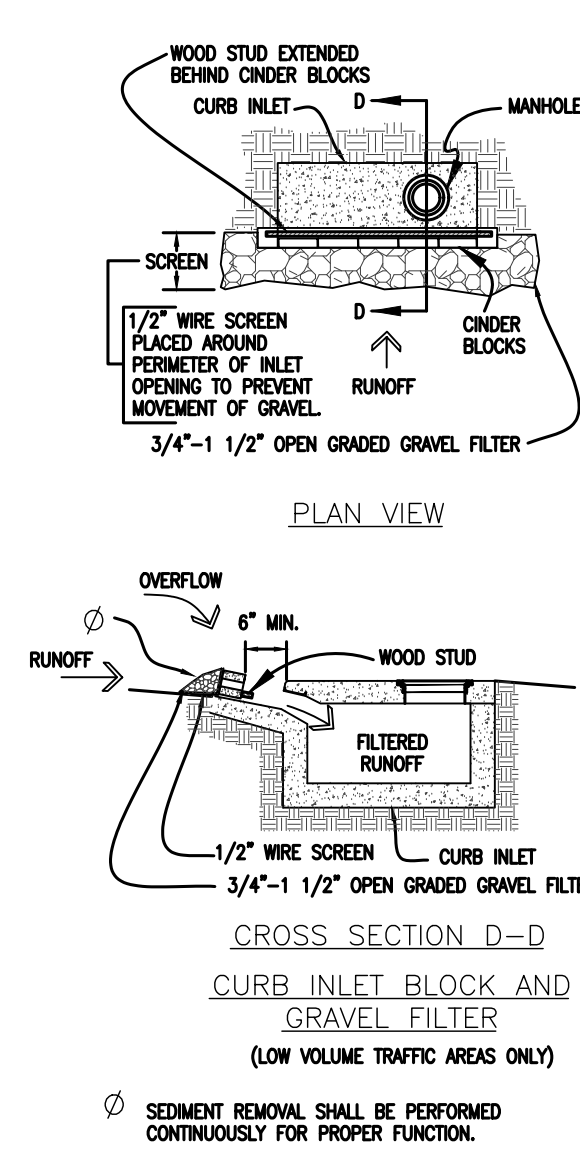
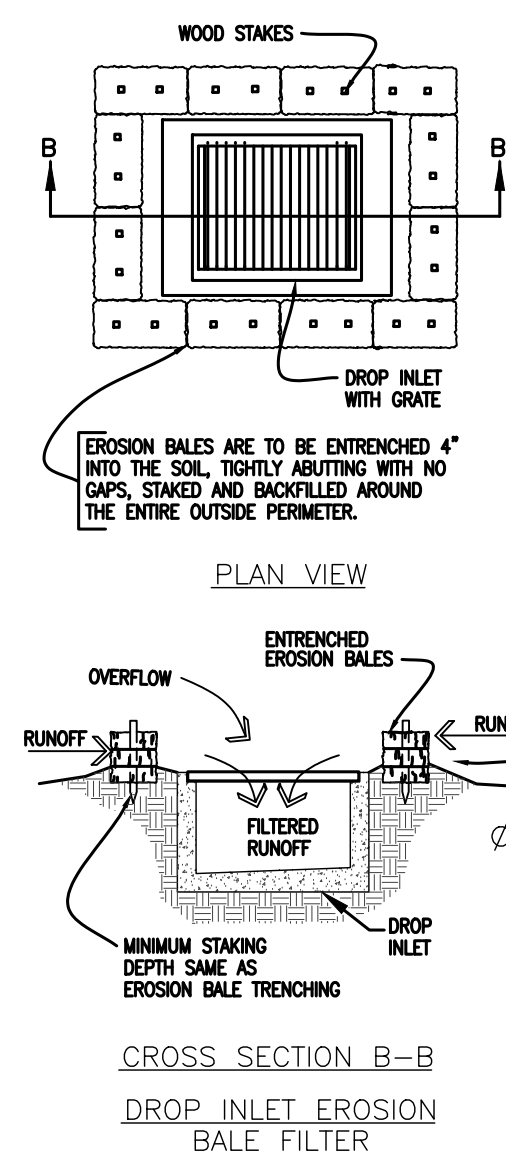
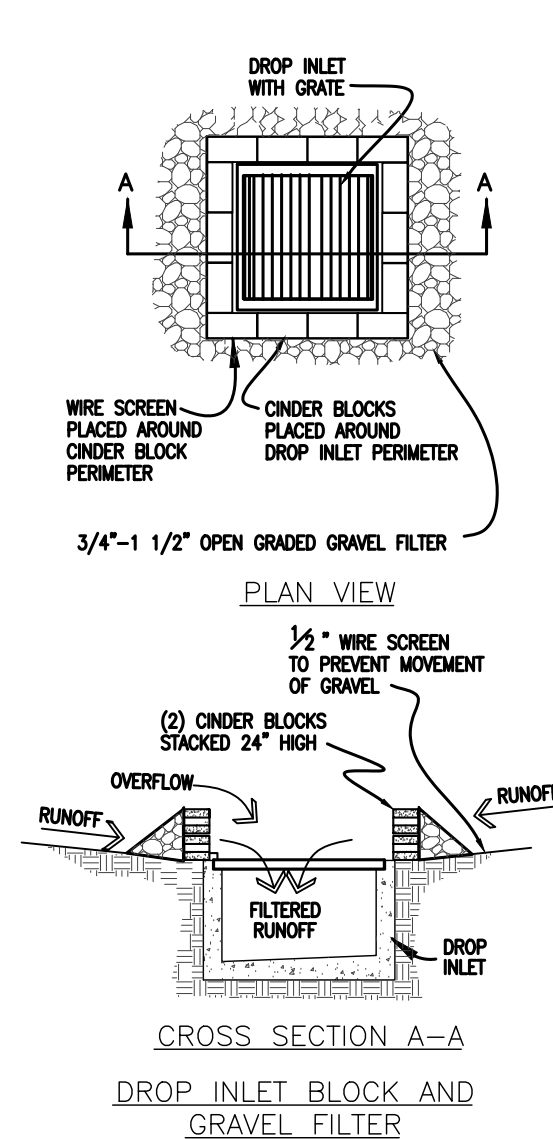
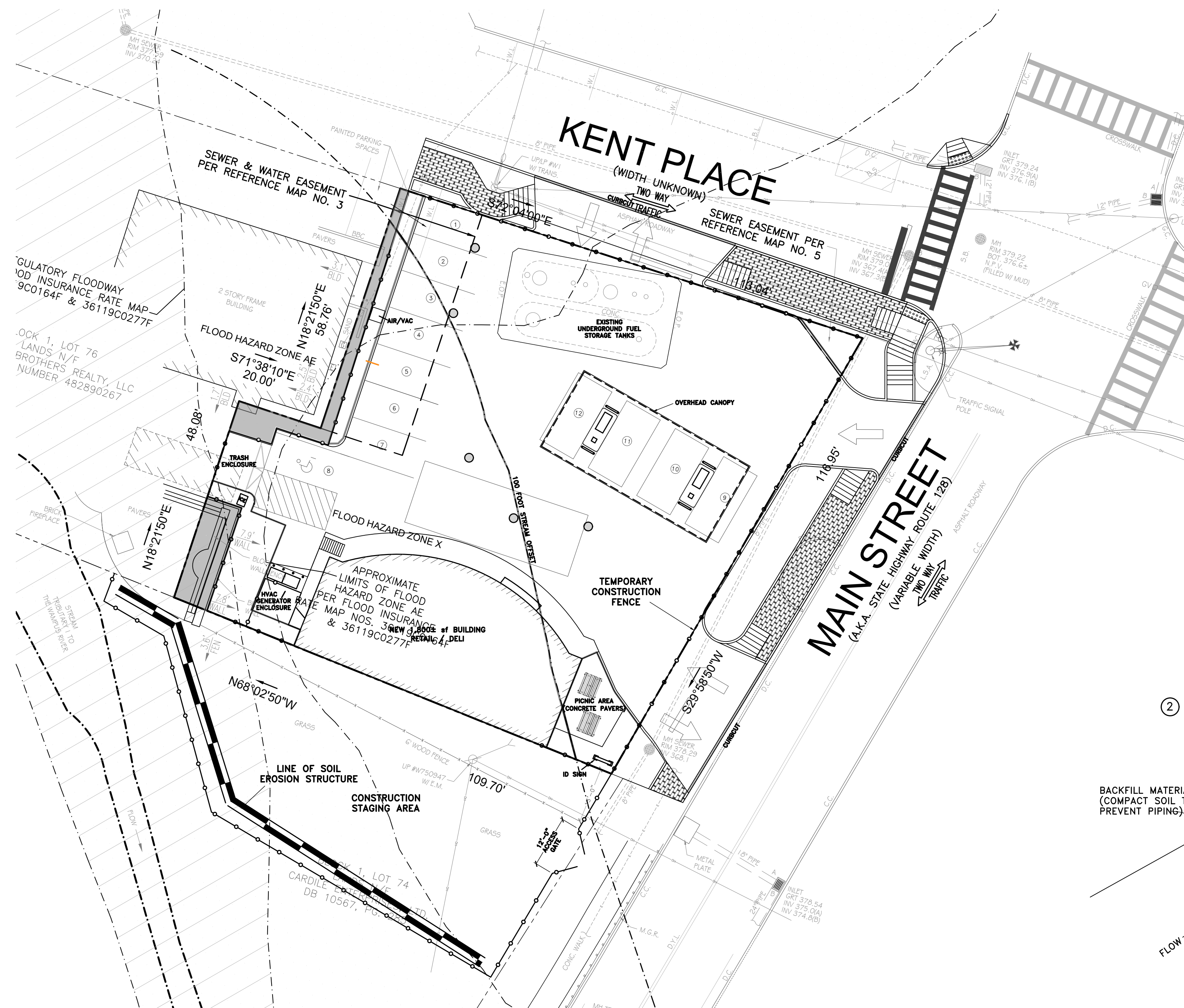
DRAWING TITLE:

PROPOSED SITE  
DETAILS II

C-013.00  
SHEET NO:  
13 OF 15

**TYPICAL SIGN MOUNTING DETAIL**  
NOT TO SCALE





Ø SEDIMENT REMOVAL SHALL BE PERFORMED CONTINUOUSLY FOR PROPER FUNCTION.

CLIENT  
NY DEALER STATIONS  
235 MAMARONECK AVE.  
WHITE PLAINS, NY 10605

3	REVISED AS PER TOWN COMMENTS	2/10/21
2	REVISED AS PER TOWN COMMENTS	1/25/21
1	REVISED FOR TOWN FILING	9/11/20
No.	D E S C R I P T I O N	D A T E

The image shows the official seal of the State of New York Professional Engineers. The seal is circular with the text "STATE OF NEW YORK" at the top and "PROFESSIONAL ENGINEERS" at the bottom. In the center is a figure of a person standing on a globe, holding a staff with a snake coiled around it. The number "077015" is stamped across the seal. To the right of the seal is a rectangular stamp with a black border. The text in the stamp reads: "UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209 OF THE NYS EDUCATION LAW. COPIES OF THIS PLAN NOT BEARING THE PROFESSIONAL ENGINEER'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID TRUE COPIES. THESE PLANS AND SPECIFICATIONS HEREIN ARE INTENDED FOR THE SUBJECT PROJECT ONLY AND AS A RESULT OF CONTRACT BETWEEN BRONZINO ENGINEERING, P.C. AND THEIR CLIENT, THESE PLANS SHALL NOT BE COPIED OR REUSED BY ANYONE WITHOUT THE WRITTEN CONSENT OF BRONZINO ENGINEERING." The name "ROBERT W. BRONZINO" is printed in large, bold, black letters above the seal.

DOB APPROVAL:

PROJECT:

PROPOSED SITE  
IMPROVEMENTS TO  
SHELL GAS STATION  
375 MAIN STREET  
ARMONK, NY

SECTION: 2	BLOCK: 11
LOT: 6.6	FIRE DIST: 2

DRAWING TITLE:

PROPOSED SITE  
DETAILS III

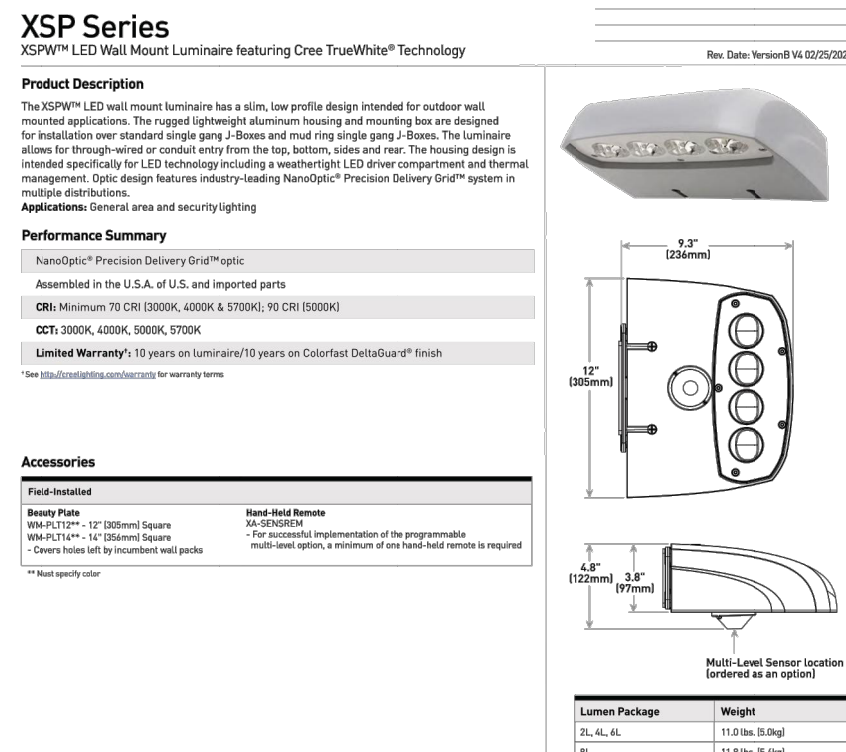
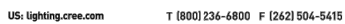
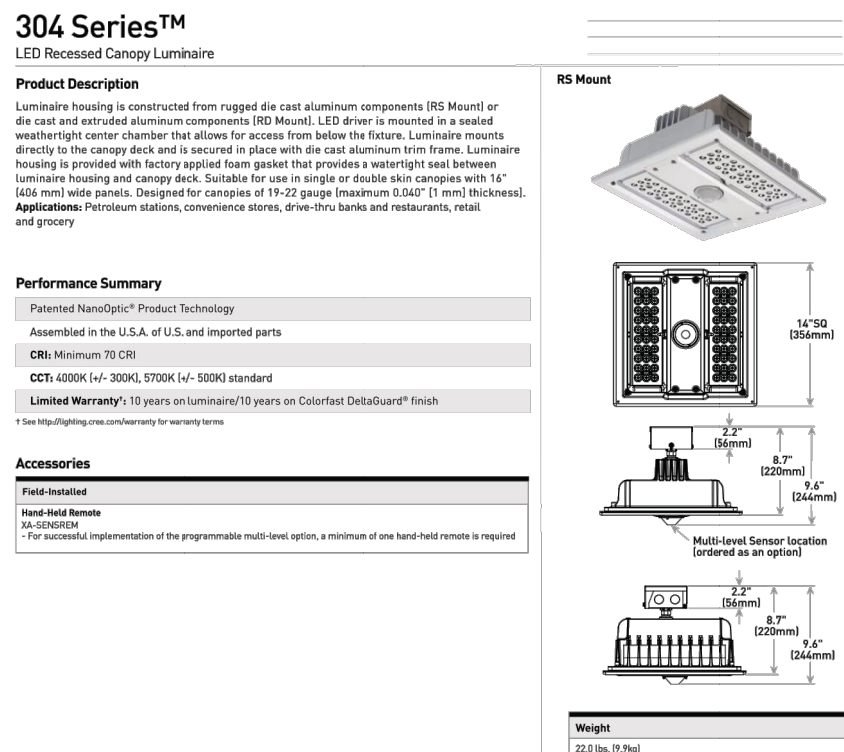
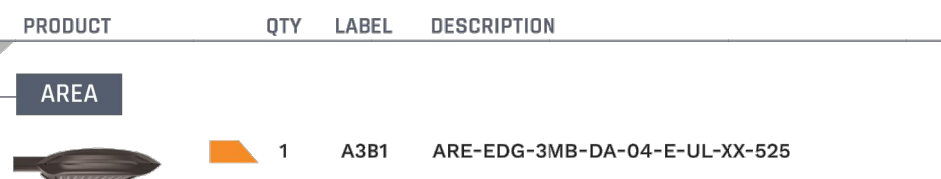
PROJECT #:	190906
SCALE:	AS NOTED
DATE:	5/11/20

DRAWING NO:  
C-014.00

SHEET NO:  
14 OF 15

B-SCAN





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**NY FUELS**  
375 MAIN ST  
ARMONK, NY  
**RL-6732-S1-R1**