

# SITE PLAN APPROVAL DRAWINGS

# PROPOSED WAREHOUSE

**TAX MAP SECTION 108.03 | BLOCK 1 | LOT 51**  
**WESTCHESTER COUNTY**  
**100 BUSINESS PARK DRIVE**  
**TOWN OF NORTH CASTLE, NEW YORK**

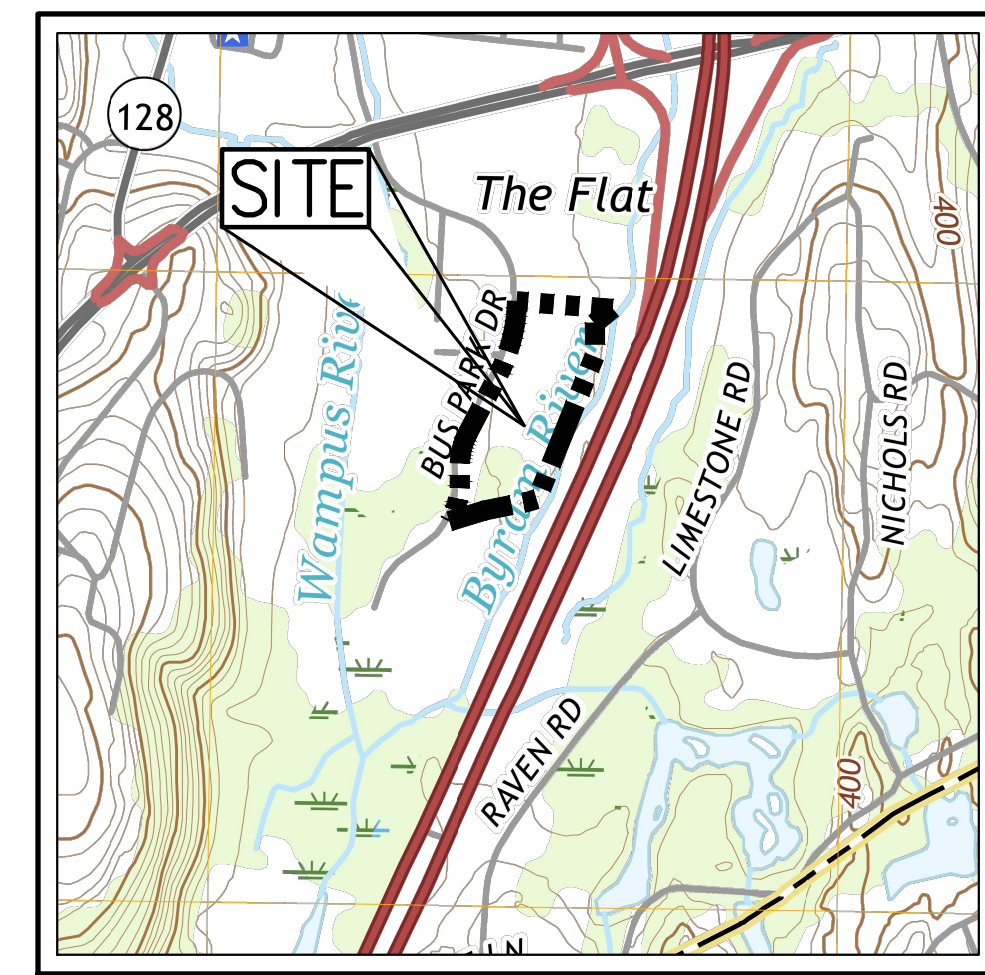
**Applicant/Owner:**  
**A & R REAL ESTATE HOLDINGS, LLC**  
 100 BUSINESS PARK DRIVE  
 ARMONK, NY 10504  
 (718) 655-5450

**Architect:**  
**J GROUP DESIGNS, LLC**  
 63 EAST MAIN STREET  
 PAWLING, NY 12564  
 (845) 493-0235

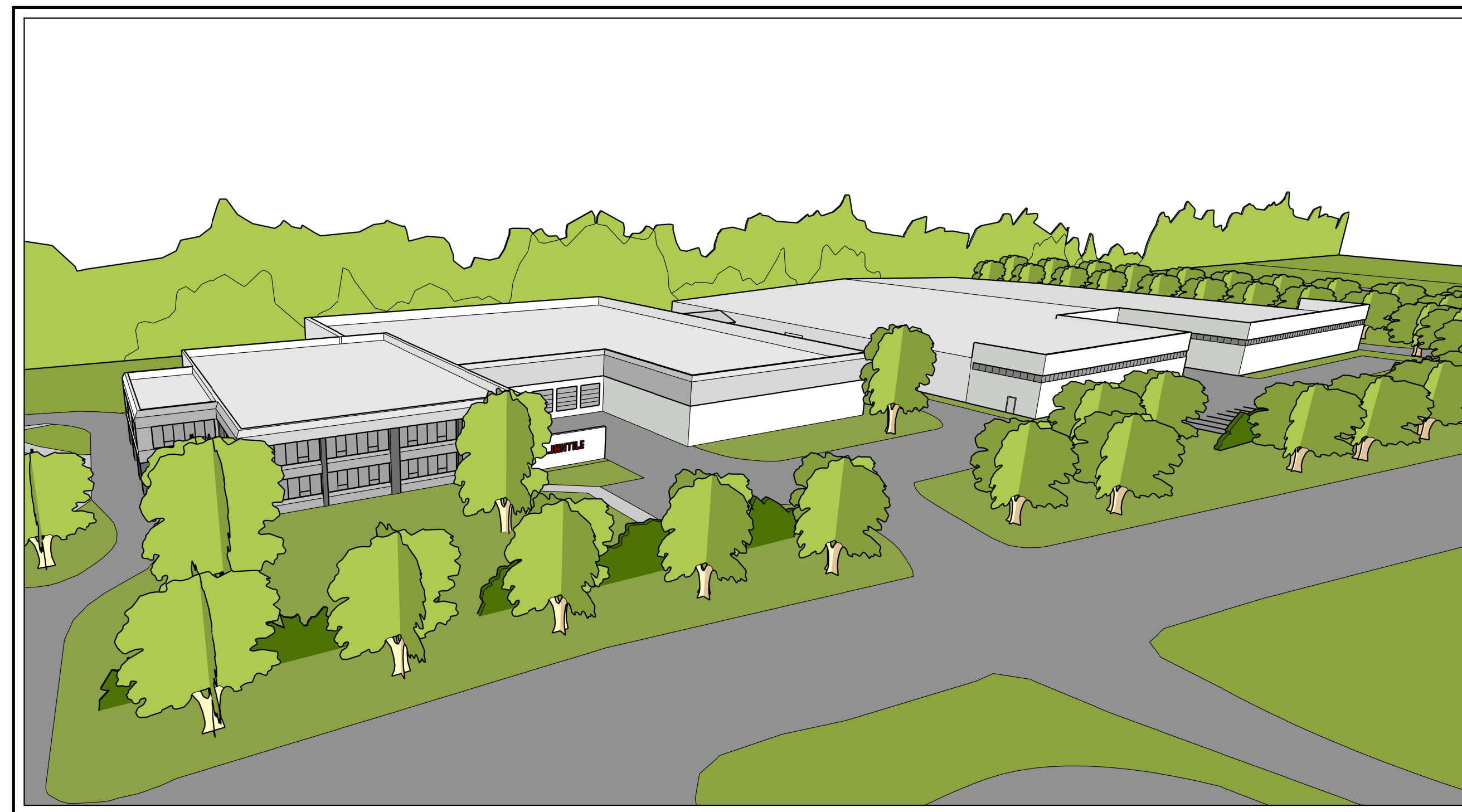
**Wetland Consultant:**  
**Ecological Solutions, LLC**  
 1248 Southford Road  
 Southbury, CT 06488  
 (203) 910-4716

**JMC** **Site Planner, Civil & Traffic Engineer,  
 Surveyor and Landscape Architect:**  
 120 BEDFORD ROAD  
 ARMONK, NY 10504  
 (914) 273-5225

**Attorney:**  
**OCHS & GOLDBERG, LLP**  
 60 EAST 42ND STREET, SUITE 4600  
 NEW YORK, NY 10165  
 (212) 983-1221



**VICINITY MAP**  
 SCALE: 1" = 1000'  
 SOURCE: USGS/2018



**PERSPECTIVE RENDERING**  
 SCALE: N.T.S.

**JMC Drawing List:**

- C-000 COVER SHEET
- C-010 OVERALL SITE EXISTING CONDITIONS MAP
- C-011 SITE EXISTING CONDITIONS MAP
- C-020 SITE DEMOLITION & TREE REMOVAL PLAN
- C-100 SITE LAYOUT PLAN
- C-110 TRUCK TURNING ANALYSES
- C-120 FIRE APPARATUS TURNING ANALYSIS
- C-200 SITE GRADING PLAN
- C-300 SITE UTILITIES PLAN
- C-400 SITE EROSION & SEDIMENT CONTROL PLAN
- C-500 SITE LANDSCAPING & WETLAND MITIGATION PLAN
- C-600 SITE LIGHTING PLAN
- C-800 EXISTING INTERIOR LANDSCAPE AREA CALCULATIONS PLAN
- C-810 PROPOSED INTERIOR LANDSCAPE AREA CALCULATIONS PLAN
- C-900 CONSTRUCTION DETAILS
- C-901 CONSTRUCTION DETAILS
- C-902 CONSTRUCTION DETAILS
- C-903 CONSTRUCTION DETAILS
- C-904 CONSTRUCTION DETAILS
- C-905 CONSTRUCTION DETAILS

**J GROUP DESIGNS, LLC Drawing List:**

- A1 SCHEMATIC PLAN & ELEVATIONS
- A2 SCHEMATIC EXTERIOR VIEWS

ZONING COMPLIANCE CHART				
TAX PARCEL: 108.03-1-51				
ZONE DISTRICT: PLI - PLANNED LIGHT INDUSTRY				
PROPOSED USE: WAREHOUSE				
DESCRIPTION	REQUIREMENT	EXISTING	PROPOSED	
MINIMUM LOT AREA (ACRES)	4	11.26	11.26	
NET LOT AREA <sup>(1)</sup> (ACRES)	-	10.81	10.81	
MINIMUM LOT FRONTAGE (FEET)	300	1,215	1,215	
MINIMUM LOT DEPTH (FEET)	300	409	409	
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	3/35	2/-	1/25	
MAXIMUM BUILDING COVERAGE (%)	30	10.29	26.20	
FLOOR AREA RATIO	0.30	0.10	0.26	
MINIMUM INTERIOR LANDSCAPED AREA (%)	10	13.7	11.9	
MINIMUM BUILDING SETBACKS				
FRONT YARD (FEET)	100	100.6	57 <sup>(2)</sup>	
SIDE YARD (FEET)	50	305.3	63	
REAR YARD (FEET)	100	118	117	
PARKING SPACES				
STANDARD PARKING SPACES (SPACES)	(SEE TABLE)	46	212	
ACCESSIBLE PARKING SPACES (SPACES)	(SEE TABLE)	6	8	
TOTAL PARKING SPACES (SPACES)	(SEE TABLE)	152	220	

**NOTES:**

- VARIANCE REQUIRED.
  - THE "LOT AREA" USED FOR MEASUREMENT PURPOSES IS TO BE "NET LOT AREA," WHICH IS DEFINED AS FOLLOWS: "NET LOT AREA IS THE LOT AREA MINUS 75% OF THE AREA OF ANY WETLANDS, WATERBODIES AND WATERCOURSES BUT EXCLUDING ANY ADJACENT AREAS, AND THE AREA OF ANY STEEP SLOPES, EXCEPT THAT IN THE CASE OF ONE-FAMILY LOTS, DEDUCTION FOR STEEP SLOPES IS TO BE ONLY 50%."
- NET LOT AREA = GROSS LOT AREA - AREA OF STEEP SLOPES - 75% OF AREA OF WETLANDS  
 NET LOT AREA = 490,485.6 S.F. - 19,556 S.F. - 0 S.F. = 470,929.6 S.F. (10.81 AC.)

PARKING CALCULATION SUMMARY				
DESCRIPTION	AREA (SF)	REQUIREMENT	PARKING REQUIRED	PARKING PROVIDED
EXISTING OFFICE	14,555	1 SPACE / 250 SF	58	-
EXISTING WAREHOUSE	36,625	1 SPACE / 1,200 SF + 1 SPACE FOR EACH COMMERCIAL VEHICLE PARKED ON THE SITE	31	-
PROPOSED WAREHOUSE	74,850		63	
EXISTING RECREATION CENTER AREA:		1 SPACE / 200 SF + 3 SPACES FOR THE DANCE STUDIO EMPLOYEES AT THE LARGEST SHIFT + 2 SPACES FOR THE WRESTLING STUDIO EMPLOYEES AT THE LARGEST SHIFT		
-DANCE - RECREATION CENTER				
-WRESTLING - RECREATION CENTER	11,602		63	
TOTAL	137,632		215	220*

\*INCLUDING 8 ADA ACCESSIBLE PARKING SPACES

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7862) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARK-OUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.
- THE TOWN OF NORTH CASTLE IS PURSUING THE OWNERSHIP OF AN EXISTING WATER SUPPLY WELL LOCATED AT 125 BUSINESS PARK DRIVE IN THE EFFORT TO TRANSITION THE WELL TO SERVE THE PUBLIC WATER SUPPLY. WELLS SERVING PUBLIC WATER SYSTEMS SHALL BE LOCATED SUCH THAT THE OWNER OF THE WATER SYSTEM POSSESSES LEGAL TITLE TO LANDS WITHIN 100' OF THE WELL AND THE OWNER CONTROLS BY OWNERSHIP, LEASE, EASEMENT OR OTHER LEGALLY ENFORCEABLE ARRANGEMENT THE LAND USE ACTIVITIES WITHIN 200' OF THE WELL. HYDROGEOLOGIC EVALUATIONS AND SOURCE WATER ASSESSMENTS SHOULD BE USED TO DETERMINE APPROPRIATE SEPARATION FROM POTENTIAL CONTAMINANT SOURCES.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	01/25/2021	PD
2.	REVISED PER TOWN COMMENTS	04/12/2021	PD

Previous Editions Obsolete

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Drawn: NC Approved: DL  
 Scale: NOT TO SCALE  
 Date: 03/23/2020  
 Project No: 19124  
 1924-SITE COVER COVER.dwg  
 Drawing No: **C-000**

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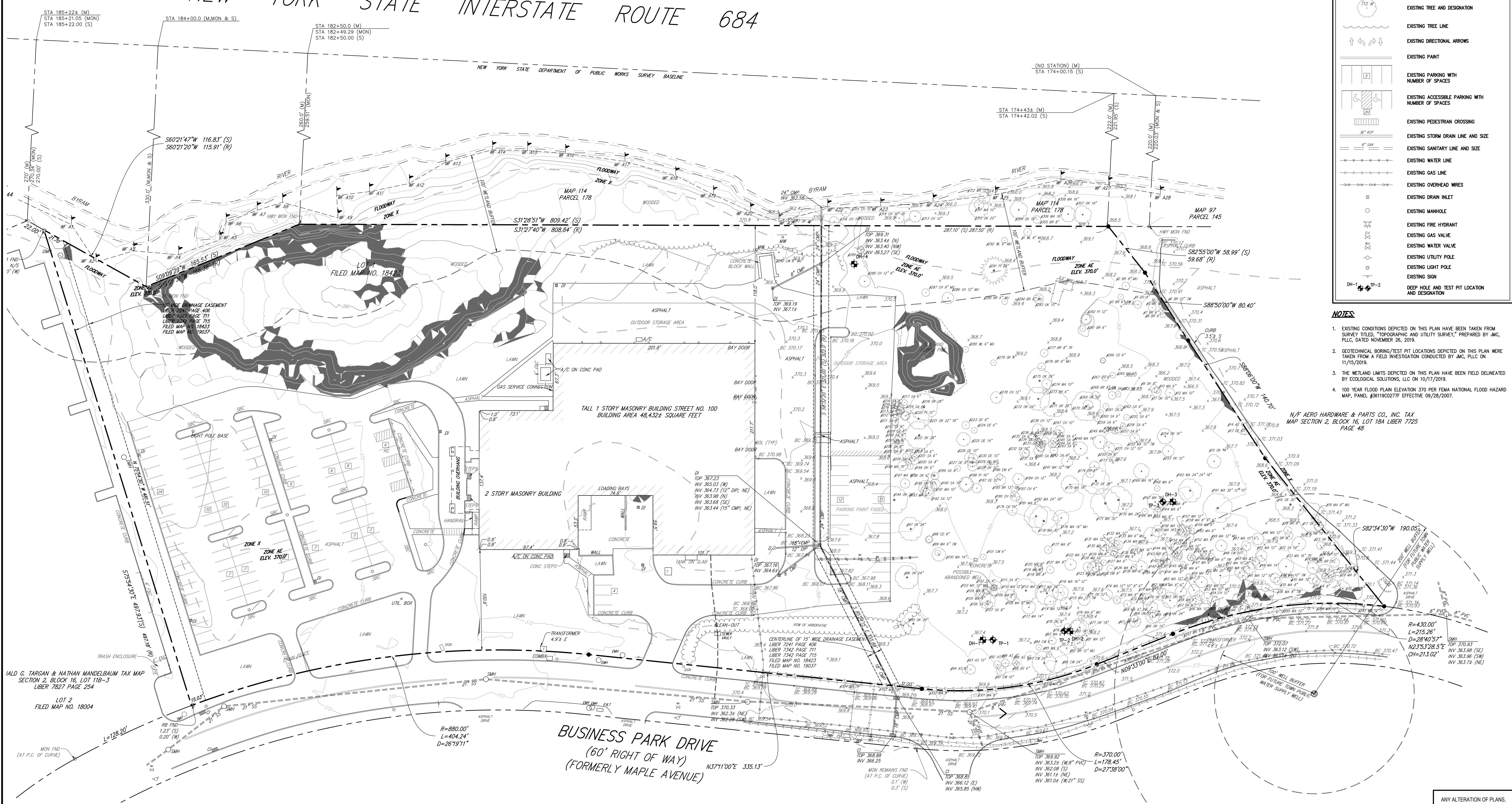
DEEP HOLE TEST SUMMARY TABLE			
TEST LOCATION	EXISTING GROUND ELEVATION	DEPTH TO GROUNDWATER	GROUNDWATER ELEVATION
DH-1/TP-1	367.40	3.5'	363.90
DH-2/TP-2	367.35	3.5'	363.85
DH-3/TP-3	367.00	5.5'	361.50
DH-4	367.00	6.5'	360.50

STEEP SLOPES TABLE				
CATEGORY	MINIMUM SLOPE	MAXIMUM SLOPE	AREA (S.F.)	COLOR
1	25.00%	Vertical	19,556	█

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	DEEP HOLE AND TEST PIT LOCATION AND DESIGNATION

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC, PLLC, DATED NOVEMBER 06, 2018.
  - GEOLOGICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM A FIELD INVESTIGATION CONDUCTED BY JMC, PLLC ON 11/15/2019.
  - THE WETLAND LIMITS DEPICTED ON THIS PLAN HAVE BEEN FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 10/17/2019.
  - 100 YEAR FLOOD PLAIN ELEVATION 370 PER FEMA NATIONAL FLOOD HAZARD MAP, PANEL #361902277F EFFECTIVE 09/28/2007.

# NEW YORK STATE INTERSTATE ROUTE 684



No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	07/25/2021
2.	REVISED PER TOWN COMMENTS	04/12/2021

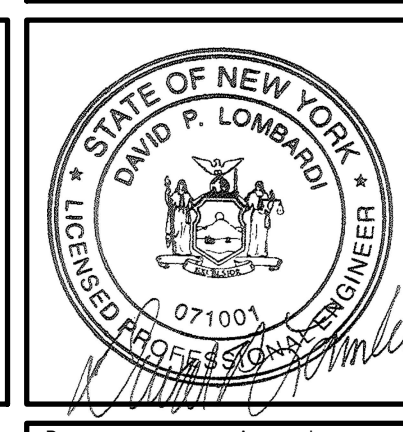
APPLICANT/OWNER:  
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ARCHITECT:  
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OVERALL SITE EXISTING CONDITIONS MAP  
PROPOSED WAREHOUSE  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK



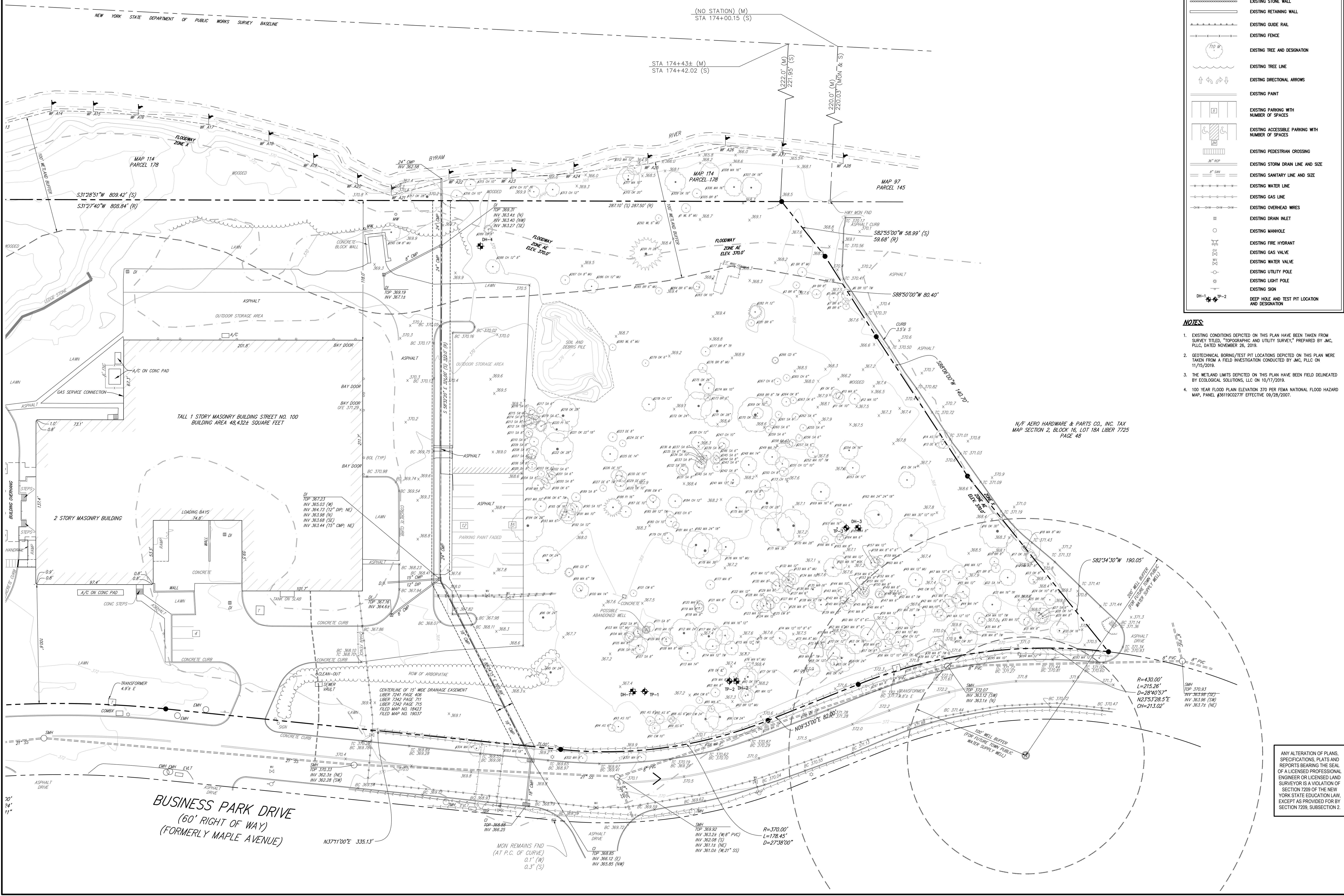
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Date:	03/23/2020		
Project No.:	19124		
Sheet No.:	EX15-01	EX15-02	EX15-03
Drawing No.:	<b>C-010</b>		

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# INTERSTATE ROUTE 684

DEEP HOLE TEST SUMMARY TABLE			
TEST LOCATION	EXISTING GROUND ELEVATION	DEPTH TO GROUNDWATER	GROUNDWATER ELEVATION
DH-1/TP-1	367.40	3.5'	363.90
DH-2/TP-2	367.35	3.5'	363.85
DH-3/TP-3	367.00	5.5'	361.50
DH-4	367.00	6.5'	360.50

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
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	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
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	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	DEEP HOLE AND TEST PIT LOCATION AND DESIGNATION



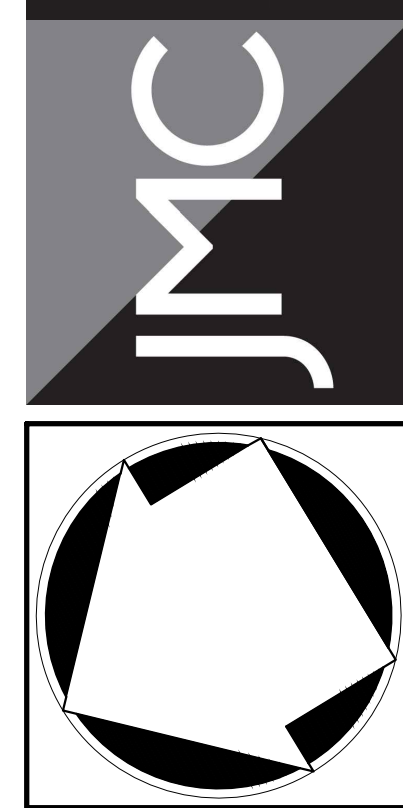
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC, PLLC, DATED NOVEMBER 26, 2018.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM A FIELD INVESTIGATION CONDUCTED BY JMC, PLLC ON 11/15/2019.
  - THE WETLAND LIMITS DEPICTED ON THIS PLAN HAVE BEEN FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 10/17/2019.
  - 100 YEAR FLOOD PLAN ELEVATION 370 PER FEMA NATIONAL FLOOD HAZARD MAP, PANEL #36190227F, EFFECTIVE 09/28/2007.

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	07/25/2021
2.	REVISED PER TOWN COMMENTS	04/12/2021

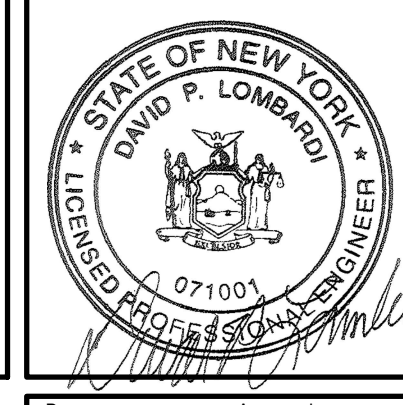
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ARCHITECT:  
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**SITE EXISTING CONDITIONS MAP**  
**PROPOSED WAREHOUSE**  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK



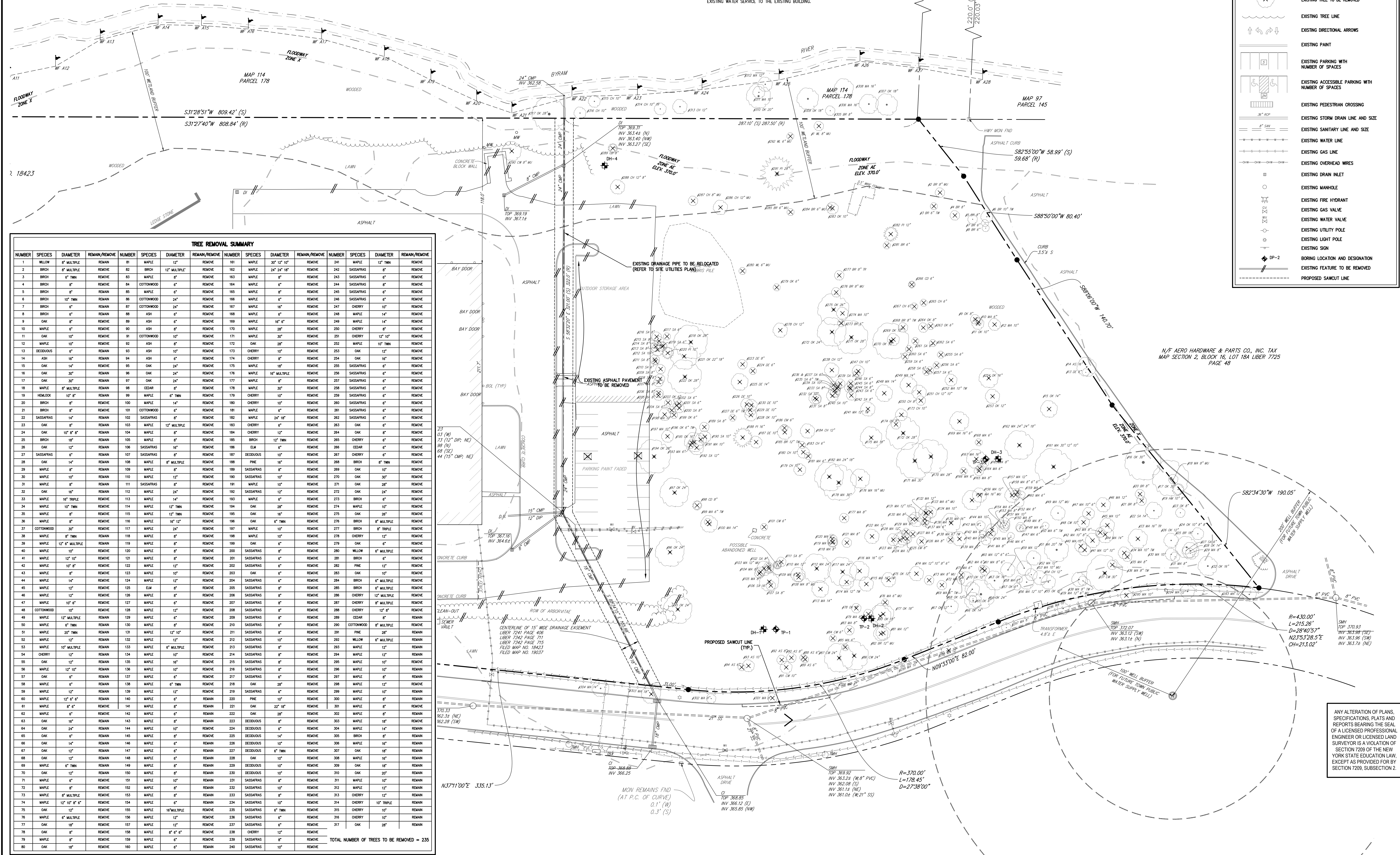
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Scale:	1" = 30'		
Date:	03/23/2020		
Project No.:	19124		
Sheet No.:	EXIST	EXIST	EXIST
Drawing No.:	<b>C-011</b>		

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NOTES

- 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, 'TOPOGRAPHIC AND UTILITY SURVEY,' PREPARED BY JMC, P.L.L.C. DATED NOVEMBER 06, 2018.
2. GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM A FIELD INVESTIGATION CONDUCTED BY JMC, P.L.L.C. ON 11/15/2019.
3. THE WETLAND LIMITS DEPICTED ON THIS PLAN HAVE BEEN FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 10/17/2019.
4. 100 YEAR FLOOD PLAIN ELEVATION 370 PER FEMA NATIONAL FLOOD HAZARD MAP, PANEL #8191922777 EFFECTIVE 09/28/2002.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
6. PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE TOWN OF NORTH CASTLE AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE TOWN.
7. THE CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES WITH THE UTILITY COMPANY HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. CONFIRMATION OF DISCONNECTED UTILITIES SHALL BE PROVIDED TO THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT IN ACCORDANCE WITH THEIR REQUIREMENTS. LETTERS FROM THE APPROPRIATE UTILITIES STATING THAT GAS AND ELECTRIC HAVE BEEN CUT OFF SHALL BE PROVIDED TO THE TOWN.
8. IF APPLICABLE, THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY TO THE TOWN, A SEWER PLUG PERMIT INDICATING THAT A LICENSED PLUMBER HAS PLUGGED ALL EXISTING SEWER LINES TO THE EXISTING BUILDING. THE CONTRACTOR SHALL OBTAIN AND PROVIDE A COPY TO THE TOWN, A WATER USE PERMIT INDICATING THAT A LICENSED PLUMBER HAS CUT AND SEALED ALL EXISTING WATER SERVICE TO THE EXISTING BUILDING.
9. ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED. ALL REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
10. ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING STREETS AND SIDEWALKS, SHALL BE PERFORMED IN ACCORDANCE WITH TOWN REQUIREMENTS.
11. ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
12. EXISTING CONCRETE MAY BE STORED ON SITE, AND RECYCLED FOR USE AS COMPACTED FILL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
13. PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS, AS REQUIRED AND/OR DIRECTED BY THE TOWN OF NORTH CASTLE OR JMC.
14. EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
15. ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
16. ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
17. THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE. INFORMATION AND COORDINATION ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
18. IF APPLICABLE, THE OWNER SHALL RETAIN A LICENSED AND QUALIFIED PROFESSIONAL, CERTIFIED BY THE STATE, TO INSPECT FOR THE PRESENCE OF ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS WITHIN DEMOLITION AREAS PRIOR TO THE COMMENCEMENT OF DEMOLITION. IF REMEDIATION IS REQUIRED, THE OWNER SHALL DO SO IN ACCORDANCE WITH THE NYS ASBESTOS RULES AND REGULATIONS AND/OR ANY AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DOCUMENTATION TO THE STATE PRIOR TO OBTAINING A DEMOLITION PERMIT.
19. THE CONTRACTOR SHALL EXTERMINATE RODENTS AS REQUIRED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND MENTAL HYGIENE. A LETTER FROM THE HEALTH DEPARTMENT CERTIFYING THAT A LICENSED EXTERMINATOR HAS TREATED THE EXISTING BUILDING SHALL BE PROVIDED TO THE TOWN OF NORTH CASTLE BUILDING DEPARTMENT.
20. PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE TOWN.

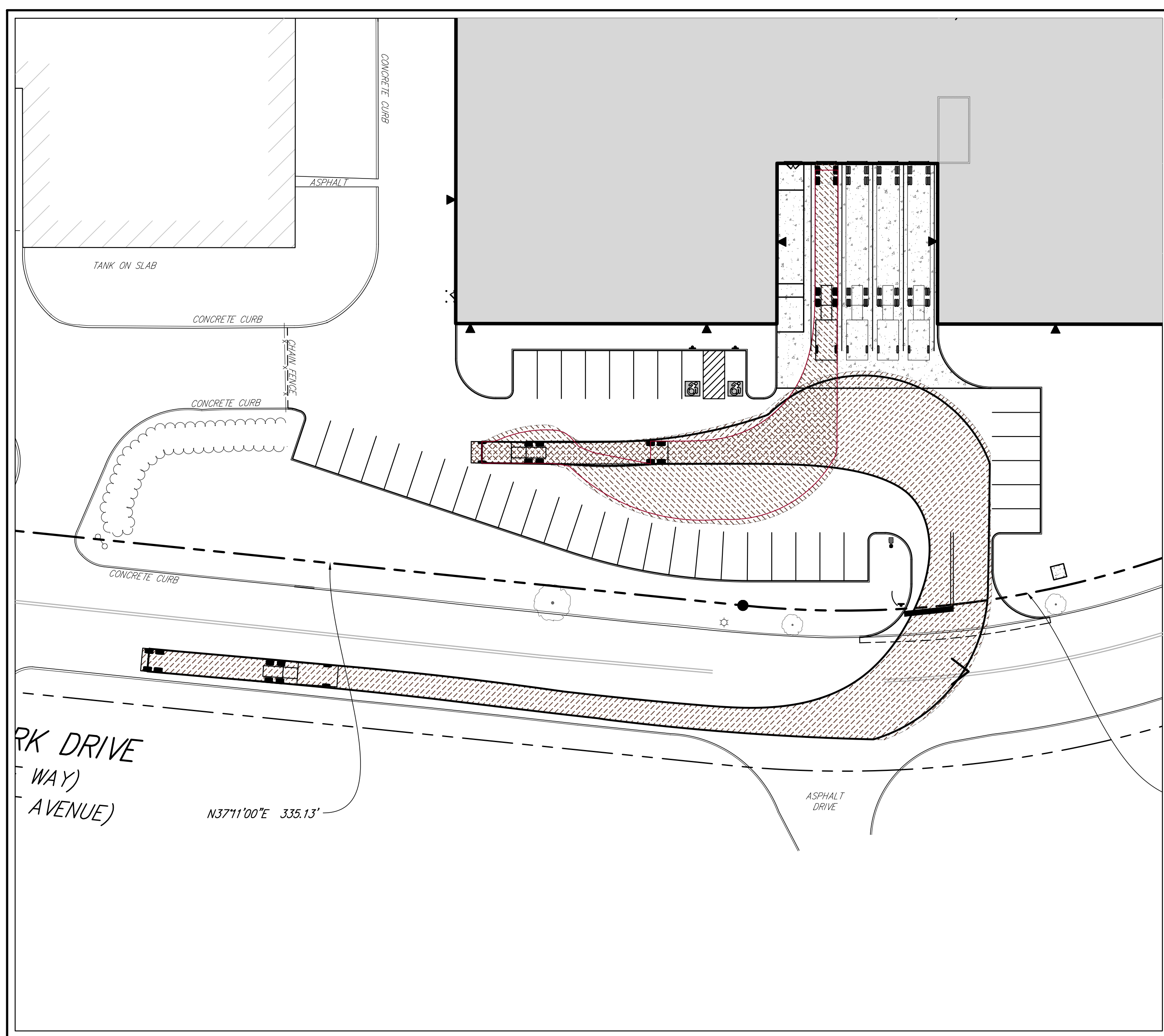
LEGEND table with symbols for: EXISTING PROPERTY LINE, ADJACENT PROPERTY LINE, EXISTING EASEMENT LINE, EXISTING WETLAND LINE AND DELINEATION, EXISTING BUILDING OVERHANG, EXISTING PAVING EDGE, EXISTING CURB LINE, EXISTING CONTOUR, EXISTING INDEX CONTOUR, EXISTING STONE WALL, EXISTING RETAINING WALL, EXISTING GUDE RAIL, EXISTING FENCE, EXISTING TREE AND DESIGNATION, EXISTING TREE TO BE REMOVED, EXISTING TREE LINE, EXISTING DIRECTIONAL ARROWS, EXISTING PAINT, EXISTING PARKING WITH NUMBER OF SPACES, EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES, EXISTING PEDESTRIAN CROSSING, EXISTING STORM DRAIN LINE AND SIZE, EXISTING SANITARY LINE AND SIZE, EXISTING WATER LINE, EXISTING GAS LINE, EXISTING OVERHEAD WIRES, EXISTING DRAIN INLET, EXISTING MANHOLE, EXISTING FIRE HYDRANT, EXISTING GAS VALVE, EXISTING WATER VALVE, EXISTING UTILITY POLE, EXISTING LIGHT POLE, EXISTING SIGN, EXISTING FEATURE AND DESIGNATION, BORING LOCATION TO BE REMOVED, PROPOSED SAWCUT LINE.



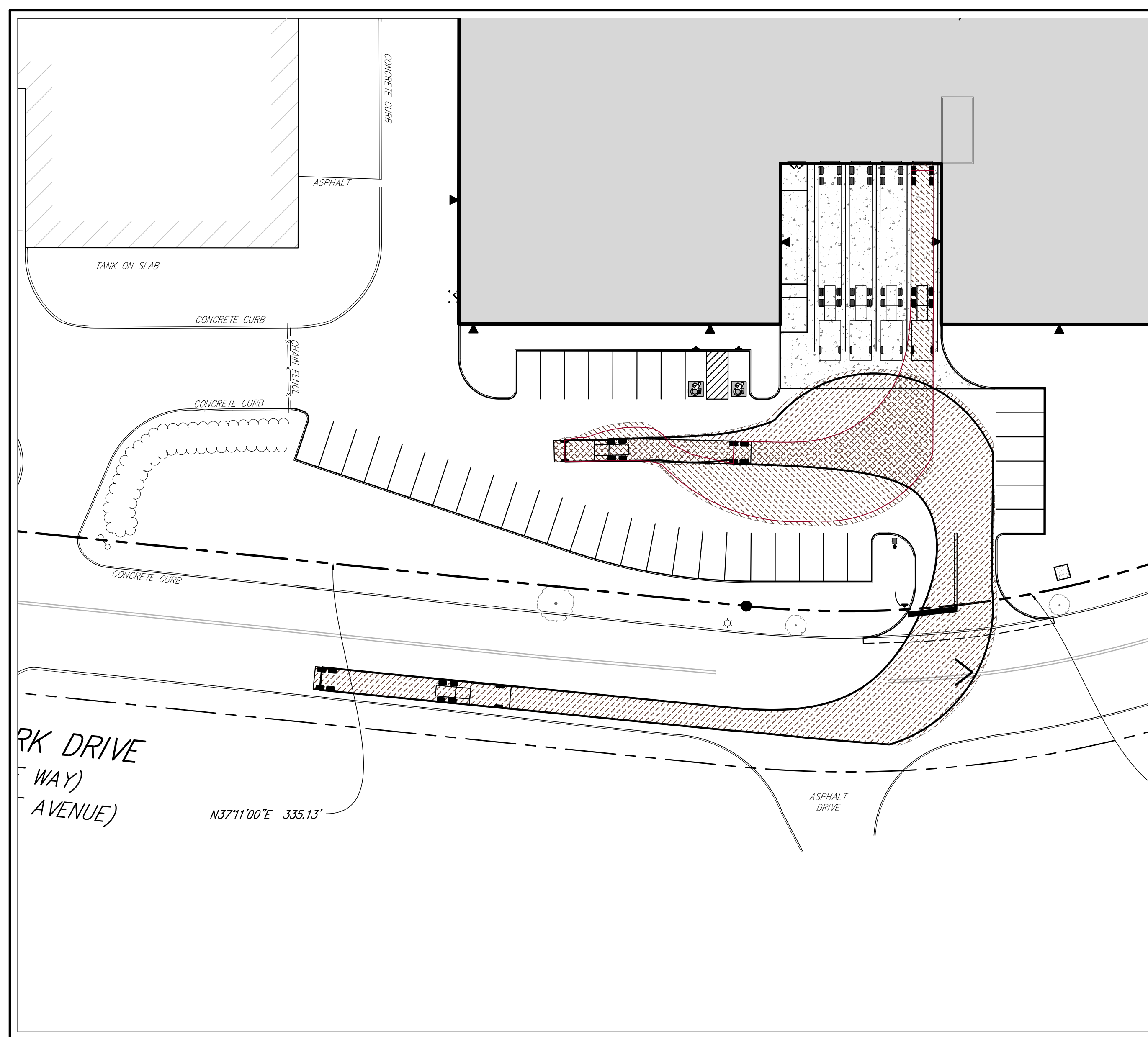
TREE REMOVAL SUMMARY table with columns: NUMBER, SPECIES, DIAMETER, REMAIN/REMOVE, NUMBER, SPECIES, DIAMETER, REMAIN/REMOVE, NUMBER, SPECIES, DIAMETER, REMAIN/REMOVE, NUMBER, SPECIES, DIAMETER, REMAIN/REMOVE. Includes a total at the bottom: TOTAL NUMBER OF TREES TO BE REMOVED = 235.

Project information including: Date (07/25/2021), Revision (REVISED PER TOWN COMMENTS), Application/Owner (A & R REAL ESTATE HOLDINGS, LLC), Architect (J GROUP DESIGNS, LLC), JMC logo, and State of New York Professional Engineer seal for David P. Lombardi, No. 071010.

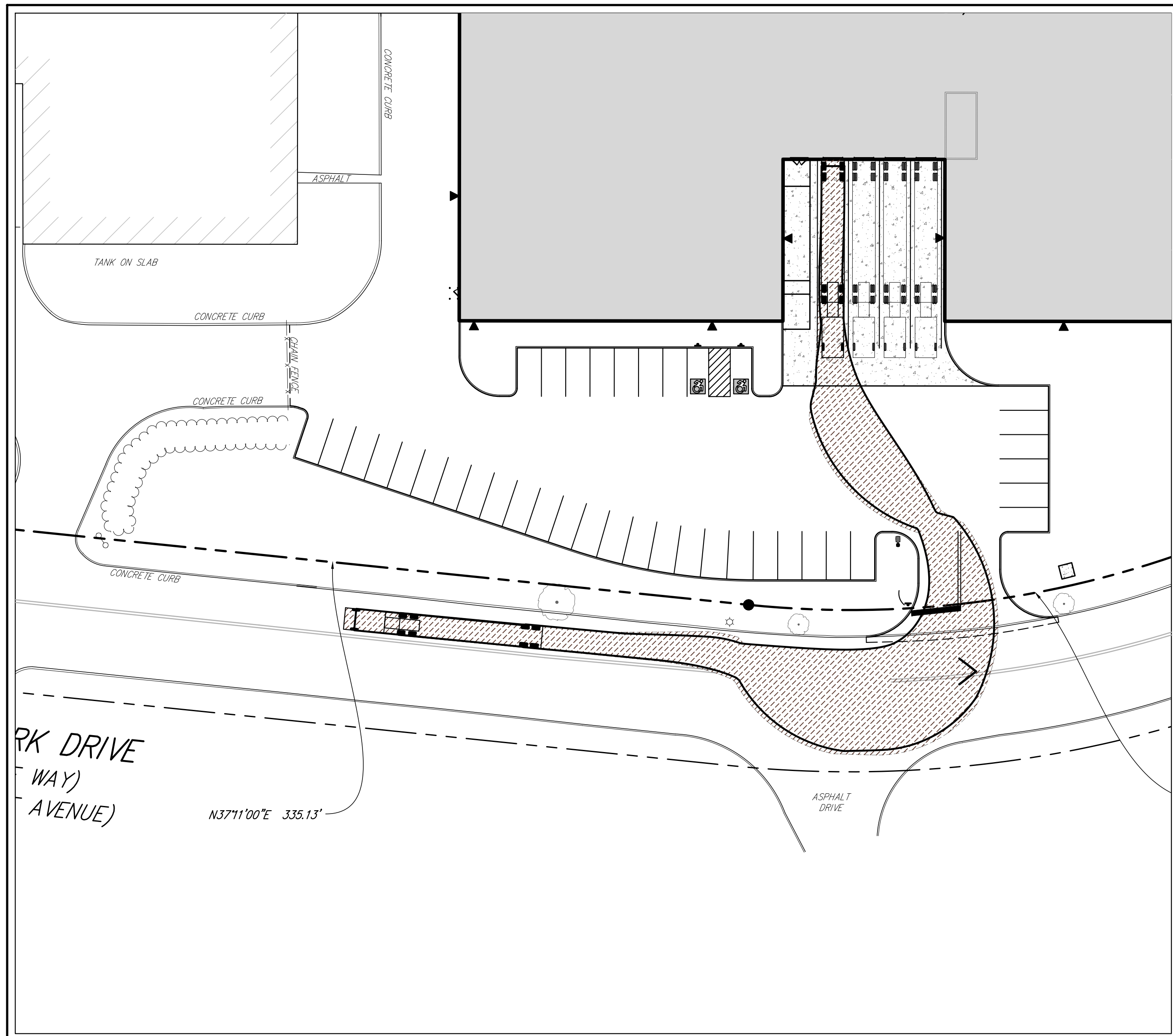




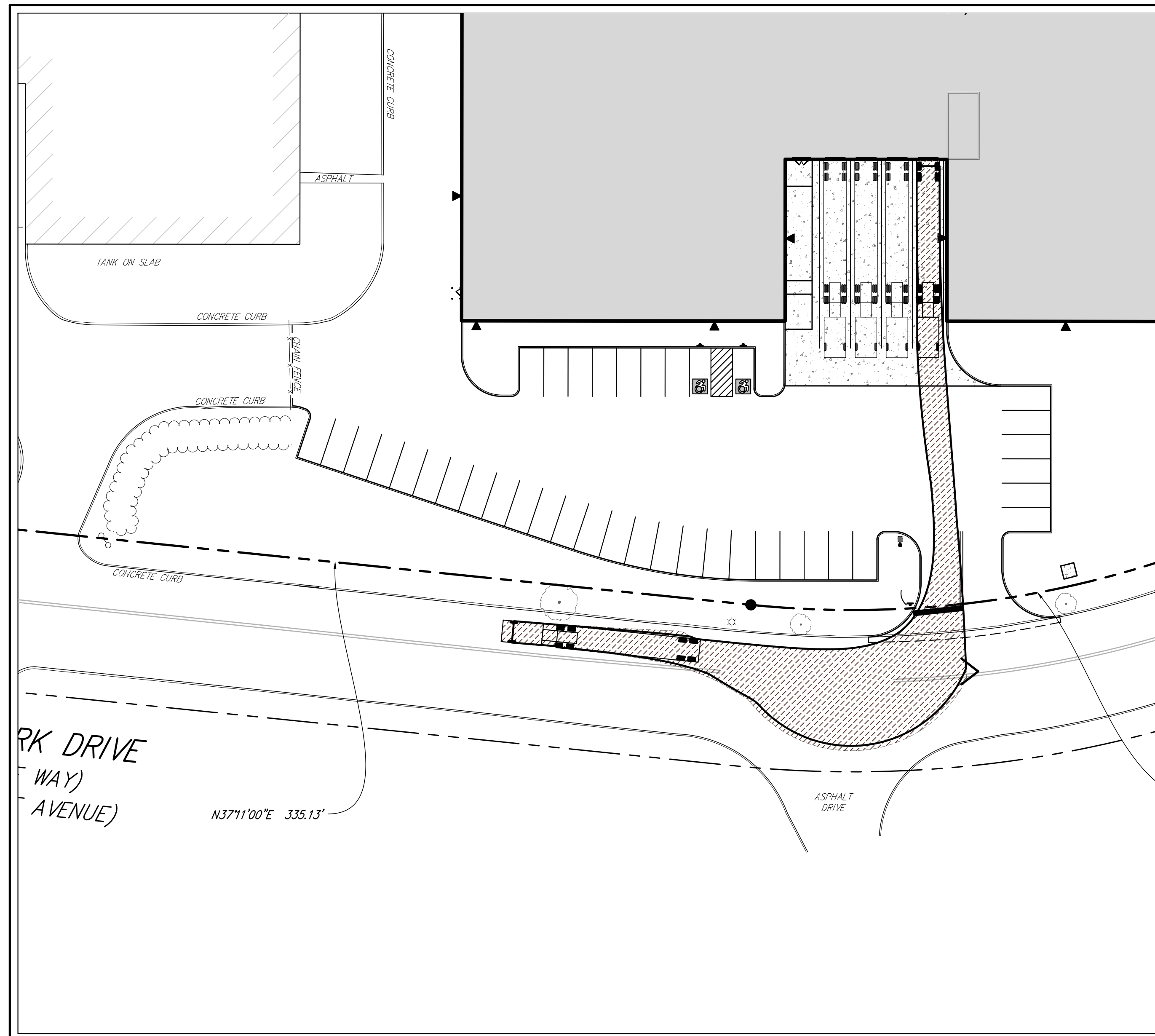
**NORTHERNMOST LOADING DOCK  
WB-67 ENTERING MOVEMENT**



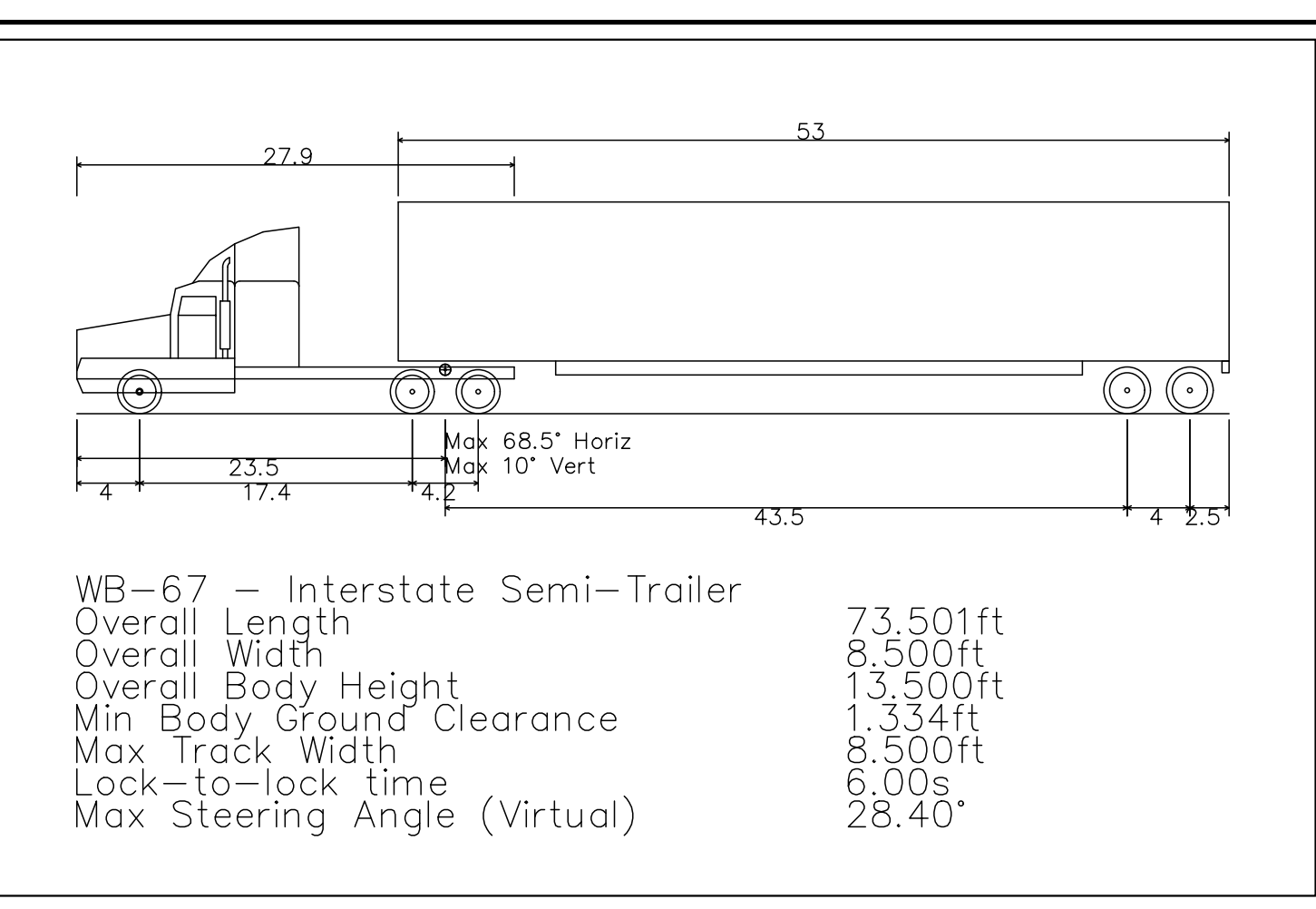
**SOUTHERNMOST LOADING DOCK  
WB-67 ENTERING MOVEMENT**



**NORTHERNMOST LOADING DOCK  
WB-67 EXITING MOVEMENT**



**SOUTHERNMOST LOADING DOCK  
WB-67 EXITING MOVEMENT**



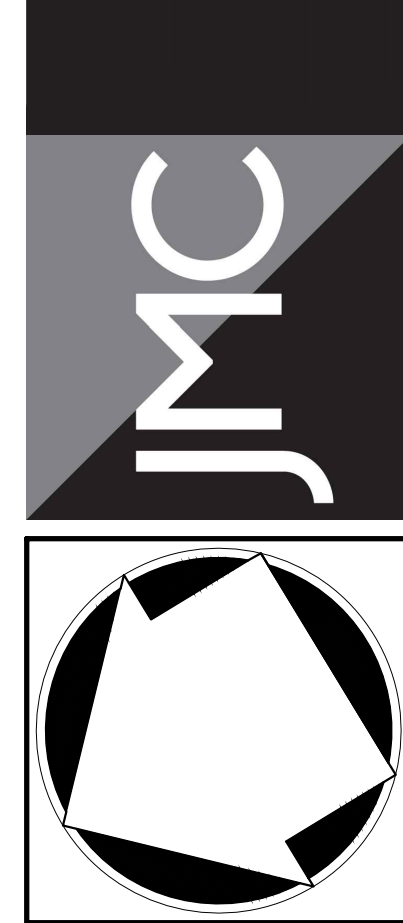
**WB-67 PROFILE  
SCALE: N.T.S.**

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	04/12/2021	PD

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
100 BUSINESS PARK DRIVE  
ARMONK, NY 10504

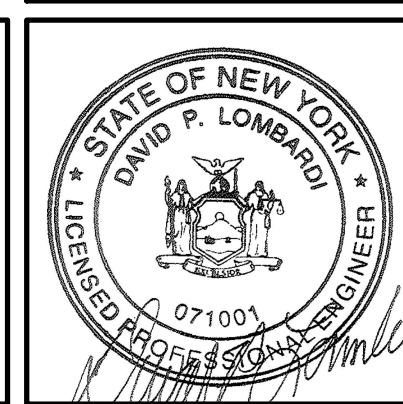
ARCHITECT:  
**J GROUP DESIGNS, LLC**  
63 EAST MAIN STREET  
PAWLING, NY 12564

JMC Planning, Engineering, Landscape  
Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.6225 • fax 914.273.2102  
[www.jmcpllc.com](http://www.jmcpllc.com)



**TRUCK TURNING ANALYSES**  
**PROPOSED WAREHOUSE**  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK

ANY ALTERATION OF PLANS,  
SPECIFICATIONS, PLATS AND  
REPORTS BEARING THE SEAL  
OF A LICENSED PROFESSIONAL  
ENGINEER OR LICENSED LAND  
SURVEYOR IS A VIOLATION OF  
SECTION 2209 OF THE NEW  
YORK STATE EDUCATION LAW,  
EXCEPT AS PROVIDED FOR BY  
SECTION 2209, SUBSECTION 2.

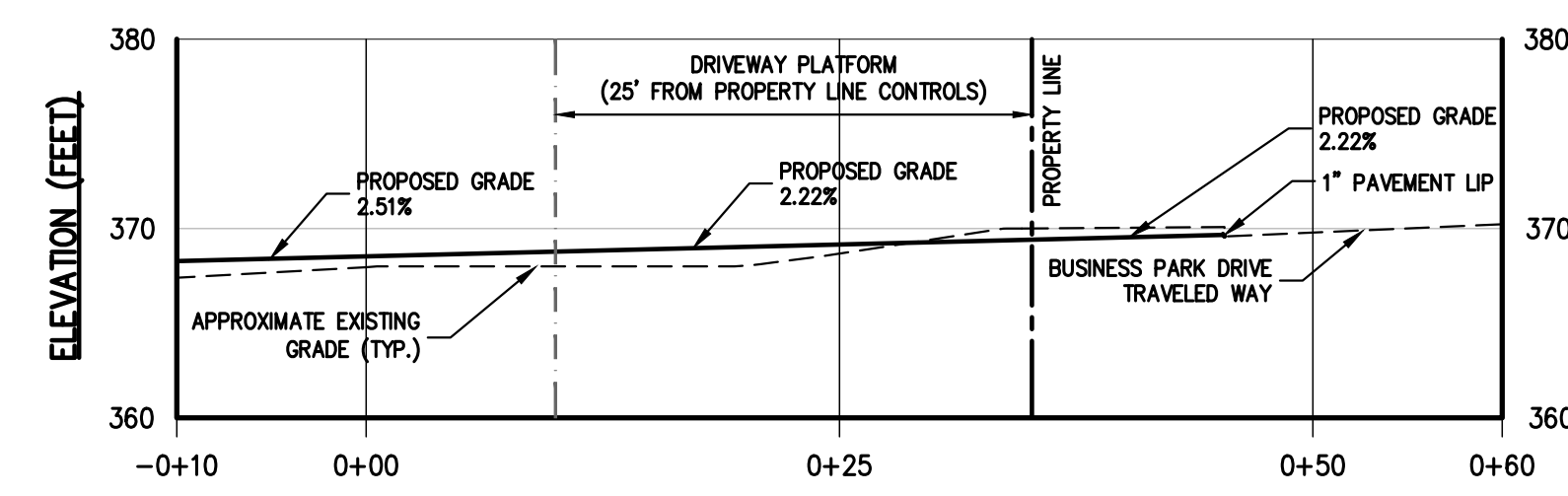


Drawn:	NC	Approved:	DL
Scale:	1" = 30'		
Date:	01/25/2021		
Project No:	19124		
1924-SIE	TRUCK	LAT.spr	
Drawing No:	<b>C-110</b>		

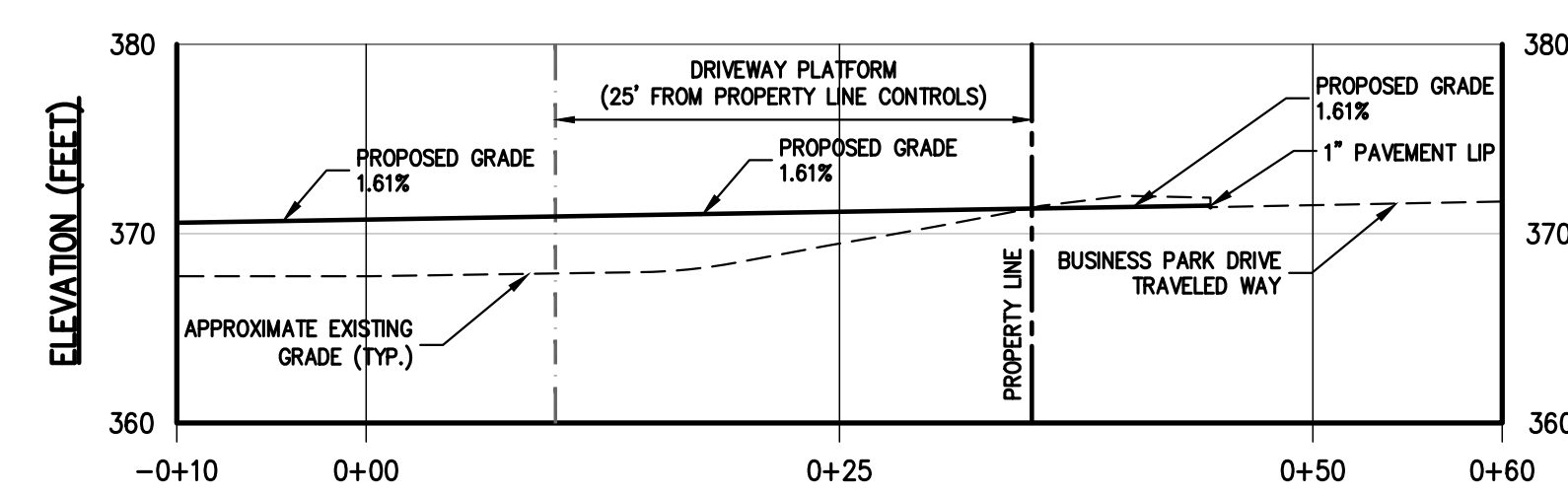
NOT FOR CONSTRUCTION



# INTERSTATE ROUTE 684



DRIVEWAY SECTION 'A'  
SCALE: 1" = 10' HORIZ. 1" = 10' VERT.



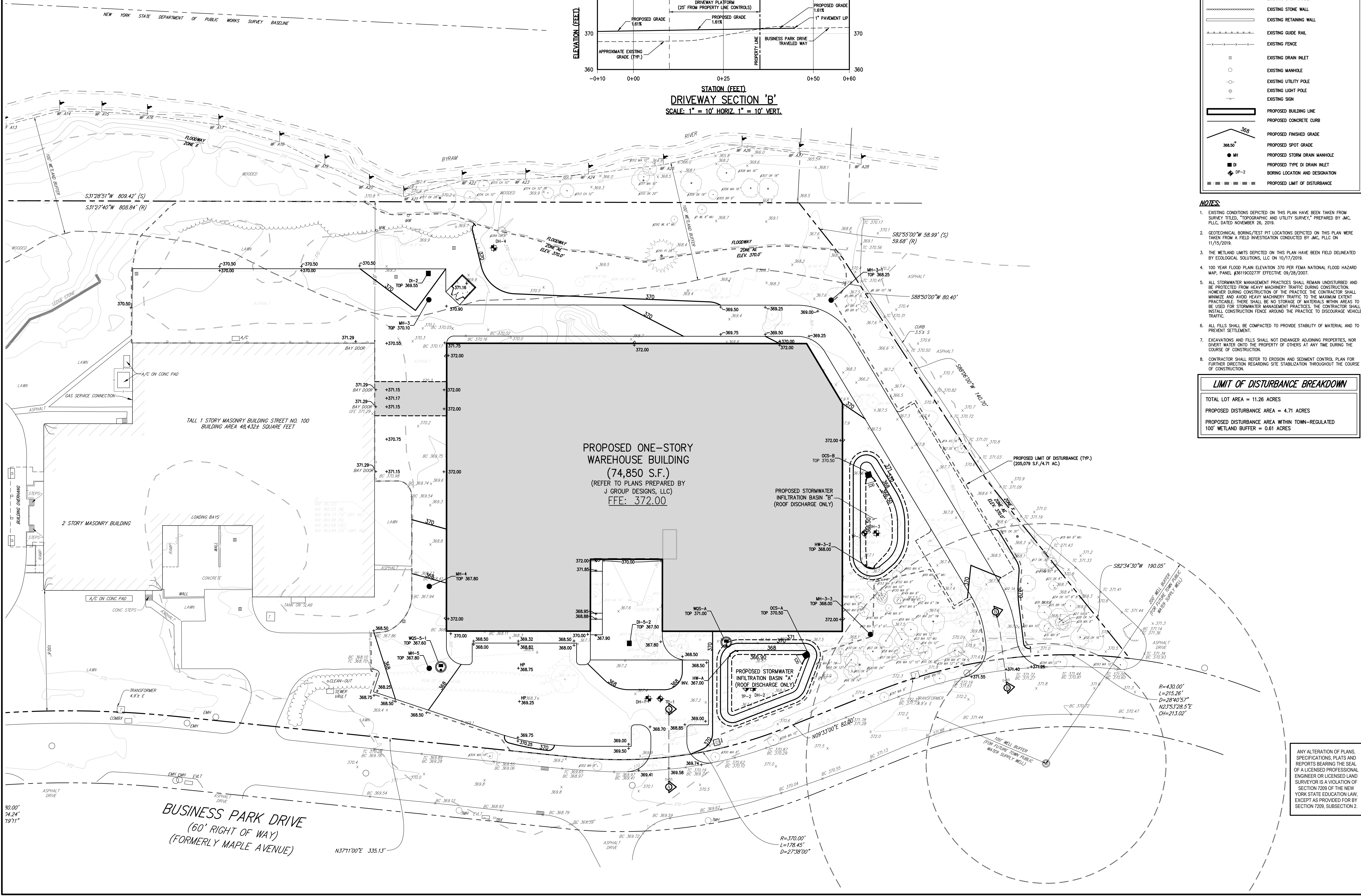
DRIVEWAY SECTION 'B'  
SCALE: 1" = 10' HORIZ. 1" = 10' VERT.

DEEP HOLE TEST SUMMARY TABLE			
TEST LOCATION	EXISTING GROUND ELEVATION	DEPTH TO GROUNDWATER	GROUNDWATER ELEVATION
DH-1/TP-1	367.40	3.5'	363.90
DH-2/TP-2	367.35	3.5'	363.85
DH-3/TP-3	367.00	5.5'	361.50
DH-4	367.00	6.5'	360.50

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING WETLAND BUFFER
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING SPOT GRADE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING FENCE RAIL
	EXISTING GUIDE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE II DRAIN INLET
	BORING LOCATION AND DESIGNATION
	PROPOSED LIMIT OF DISTURBANCE

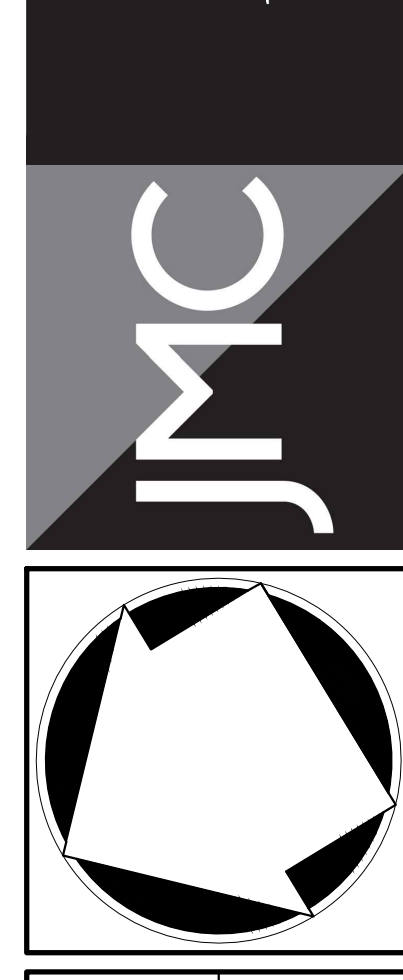
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC, PLLC, DATED NOVEMBER 26, 2019.
  - GEOLOGICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM A FIELD INVESTIGATION CONDUCTED BY JMC, PLLC ON 11/15/2019.
  - THE WETLAND LIMITS DEPICTED ON THIS PLAN HAVE BEEN FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 10/17/2019.
  - 100 YEAR FLOOD PLAIN ELEVATION 370 PER FEMA NATIONAL FLOOD HAZARD MAP, PANEL #5811500277E EFFECTIVE 02/28/2007.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
  - EXCAVATIONS AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS AT ANY TIME DURING THE COURSE OF CONSTRUCTION.
  - CONTRACTOR SHALL REFER TO EROSION AND SEDIMENT CONTROL PLAN FOR FURTHER DIRECTION REGARDING SITE STABILIZATION THROUGHOUT THE COURSE OF CONSTRUCTION.

LIMIT OF DISTURBANCE BREAKDOWN	
TOTAL LOT AREA	= 11.26 ACRES
PROPOSED DISTURBANCE AREA	= 4.71 ACRES
PROPOSED DISTURBANCE AREA WITHIN TOWN-REGULATED 100' WETLAND BUFFER	= 0.61 ACRES



APPLICANT/OWNER	
A & R REAL ESTATE HOLDINGS, LLC	100 BUSINESS PARK DRIVE ARMONK, NY 10504
ARCHITECT:	
J GROUP DESIGNS, LLC	63 EAST MAIN STREET PAWLING, NY 12564

APPLICANT/OWNER	
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC	JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.	
120 BEDFORD ROAD • ARMONK, NY 10504	
voice 914.273.5225 • fax 914.273.2102	
www.jmcpllc.com	



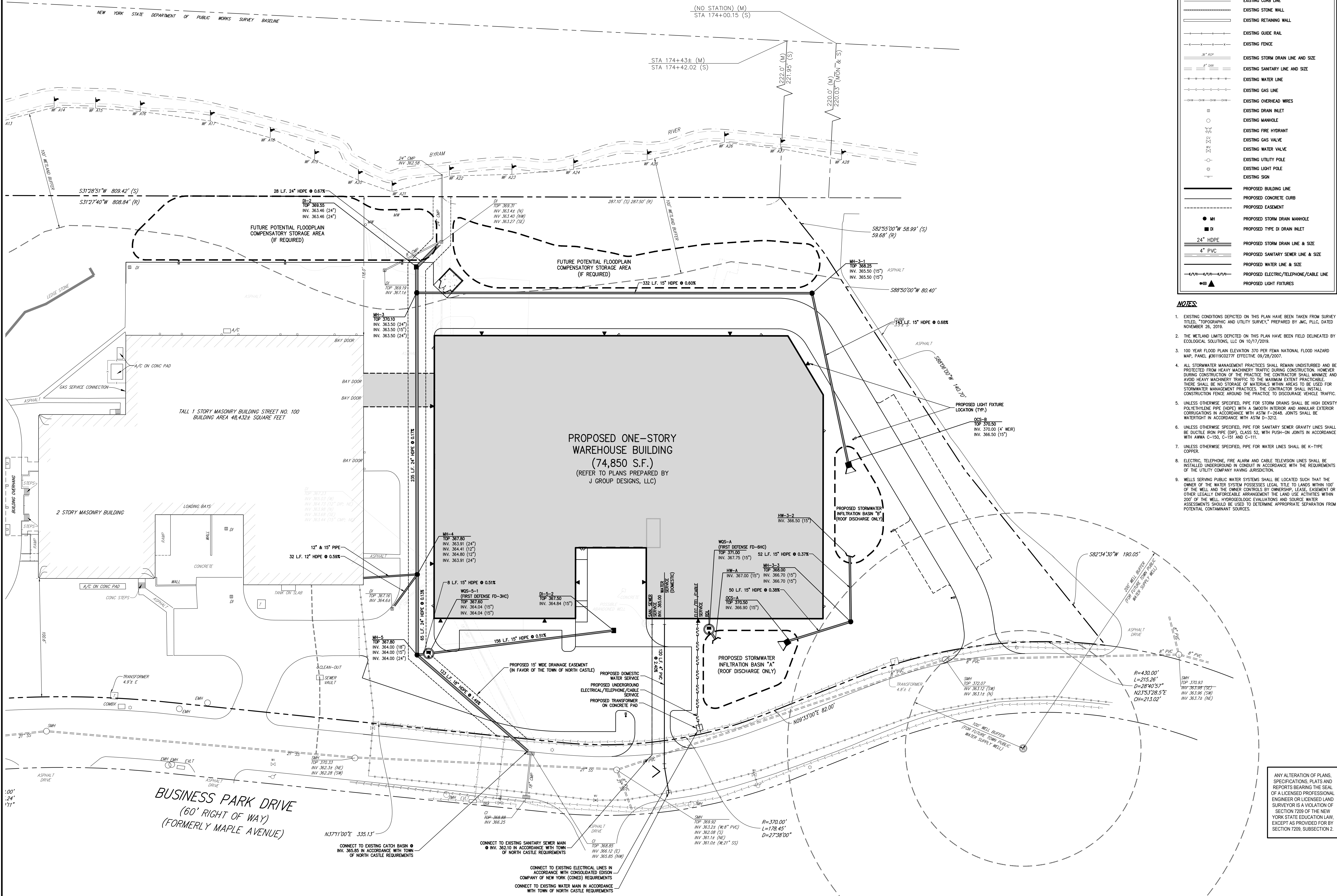
**SITE GRADING PLAN**  
**PROPOSED WAREHOUSE**  
 100 BUSINESS PARK DRIVE  
 TOWN OF NORTH CASTLE, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.	
Drawn:	NC
Scale:	1" = 30'
Date:	03/23/2020
Project No.:	19124
Sheet No.:	GRAD
Drawing No.:	GRAD.001
<b>C-200</b>	

NOT FOR CONSTRUCTION



# INTERSTATE ROUTE 684



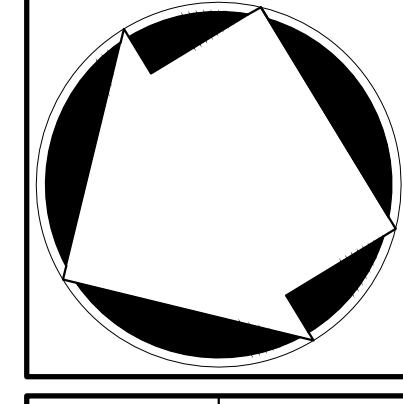
LEGEND	
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[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING EASEMENT LINE
[Symbol]	EXISTING WETLAND LINE AND DELINEATION
[Symbol]	EXISTING WETLAND BUFFER
[Symbol]	EXISTING BUILDING OVERHANG
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING RETAINING WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING STORM DRAIN LINE AND SIZE
[Symbol]	EXISTING SANITARY LINE AND SIZE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING DRAIN INLET
[Symbol]	EXISTING MANHOLE
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING GAS VALVE
[Symbol]	EXISTING WATER VALVE
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[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING SIGN
[Symbol]	PROPOSED BUILDING LINE
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[Symbol]	PROPOSED EASEMENT
[Symbol]	PROPOSED STORM DRAIN MANHOLE
[Symbol]	PROPOSED TYPE DI DRAIN INLET
[Symbol]	PROPOSED SANITARY SEWER LINE & SIZE
[Symbol]	PROPOSED STORM DRAIN LINE & SIZE
[Symbol]	PROPOSED WATER LINE & SIZE
[Symbol]	PROPOSED ELECTRIC/TELEPHONE/CABLE LINE
[Symbol]	PROPOSED LIGHT FIXTURES

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED "TOPOGRAPHIC AND UTILITY SURVEY" PREPARED BY JMC, PLLC, DATED NOVEMBER 26, 2019.
  - THE WETLAND LIMITS DEPICTED ON THIS PLAN HAVE BEEN FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 10/17/2019.
  - 100 YEAR FLOOD PLAIN ELEVATION 370 PER FEMA NATIONAL FLOOD HAZARD MAP, PANEL #3819C0277 EFFECTIVE 09/28/2007.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151 AND C-111.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE K-TYPE COPPER.
  - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
  - WELLS SERVING PUBLIC WATER SYSTEMS SHALL BE LOCATED SUCH THAT THE OWNER OF THE WATER SYSTEM POSSESSES LEGAL TITLE TO LANDS WITHIN 100' OF THE WELL AND THE OWNER CONTROLS BY CONVEYANCE, LEASE, EASEMENT OR OTHER LEGALLY ENFORCEABLE ARRANGEMENT THE LAND USE ACTIVITIES WITHIN 200' OF THE WELL. HYDROGEOLOGIC EVALUATIONS AND SOURCE WATER ASSESSMENTS SHOULD BE USED TO DETERMINE APPROPRIATE SEPARATION FROM POTENTIAL CONTAMINANT SOURCES.

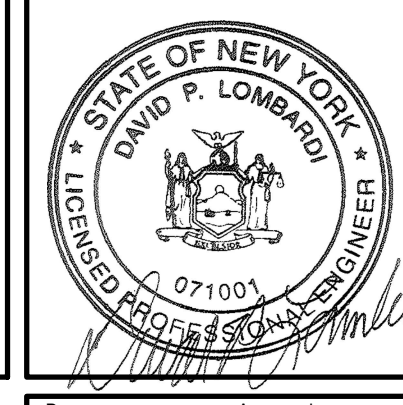
Date	By	Revision
07/25/2021	PD	1. REVISED PER TOWN COMMENTS
04/12/2021	PD	2. REVISED PER TOWN COMMENTS

APPLICANT/OWNER: **A & R REAL ESTATE HOLDINGS, LLC**  
 100 BUSINESS PARK DRIVE  
 ARMONK, NY 10504  
 ARCHITECT: **J GROUP DESIGNS, LLC**  
 63 EAST MAIN STREET  
 PAWLING, NY 12564

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Mayer Consulting, Inc.  
 120 BEDFORD ROAD • ARMONK, NY 10504  
 voice 914.273.6225 • fax 914.273.2192  
[www.jmcpllc.com](http://www.jmcpllc.com)



**SITE UTILITIES PLAN**  
**PROPOSED WAREHOUSE**  
 100 BUSINESS PARK DRIVE  
 TOWN OF NORTH CASTLE, NEW YORK

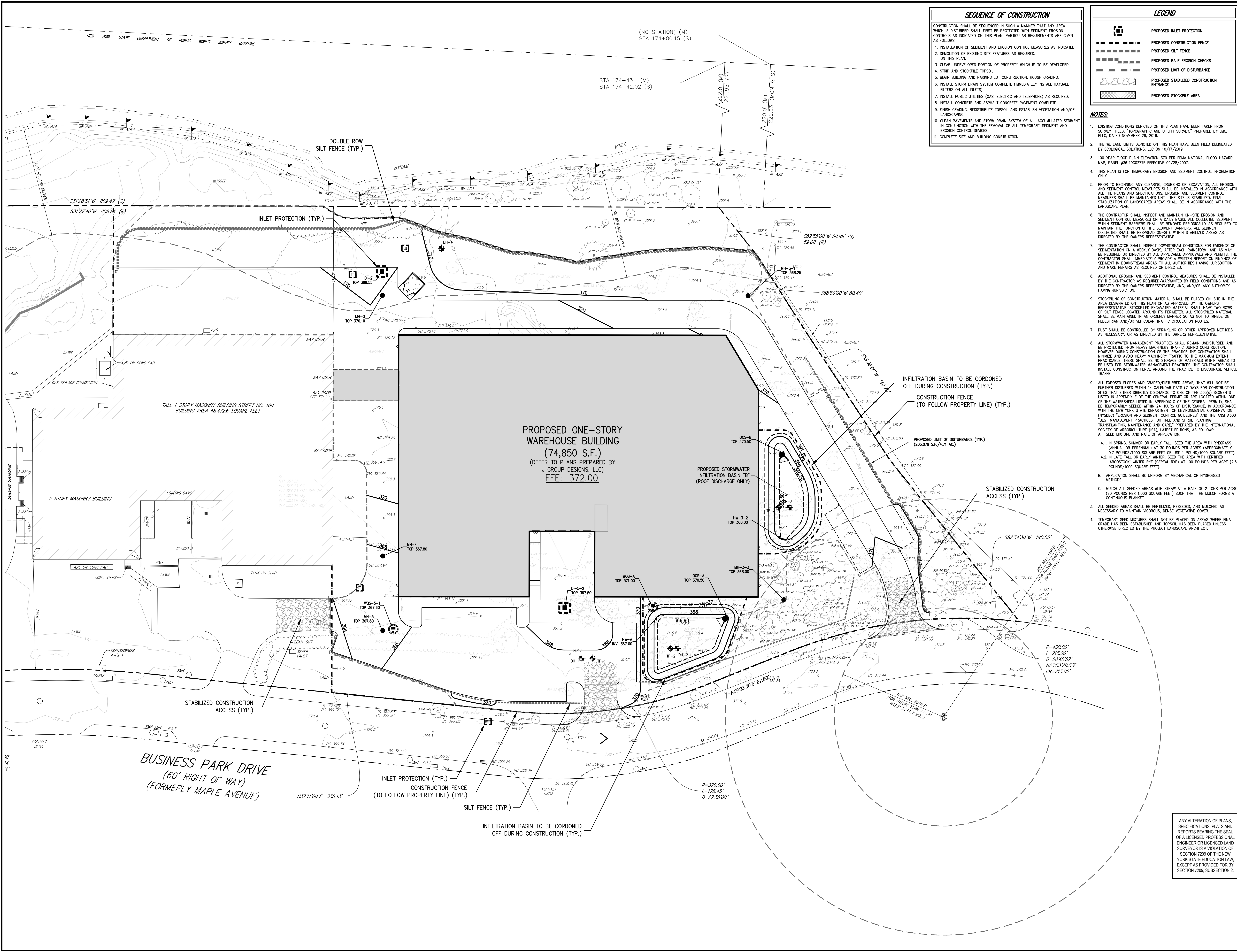


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Drawn:	NC	Approved:	DL
Scale:	1" = 30'	Date:	03/23/2020
Project No.:	19124	Sheet No.:	UTIL
Drawing No.:	C-300	Util. No.:	

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



- SEQUENCE OF CONSTRUCTION**
1. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
  2. DEMOLITION OF EXISTING SITE FEATURES AS REQUIRED ON THIS PLAN.
  3. CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
  4. STRIP AND STOCKPILE TOPSOIL.
  5. BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
  6. INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
  7. INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
  8. INSTALL CONCRETE AND ASPHALT PAVEMENT COMPLETE.
  9. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
  10. CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
  11. COMPLETE SITE AND BUILDING CONSTRUCTION.

- LEGEND**
- PROPOSED INLET PROTECTION
  - PROPOSED CONSTRUCTION FENCE
  - PROPOSED SILT FENCE
  - PROPOSED BALE EROSION CHECKS
  - PROPOSED LIMIT OF DISTURBANCE
  - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
  - PROPOSED STOCKPILE AREA

- NOTES:**
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC, PLLC, DATED NOVEMBER 26, 2019.
  2. THE WETLAND LIMITS DEPICTED ON THIS PLAN HAVE BEEN FIELD DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 10/17/2019.
  3. 100 YEAR FLOOD PLAIN ELEVATION 370 PER FEMA NATIONAL FLOOD HAZARD MAP, PANEL #81910277E EFFECTIVE 09/28/2007.
  4. THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
  5. PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL. MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  6. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  7. THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINSTORM, AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE APPROVALS AND PERMITS. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON EVIDENCE OF SEDIMENT IN DOWNSTREAM AREAS TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
  8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
  9. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNER'S REPRESENTATIVE. STOCKPILED EXCAVATED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPEDE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
  10. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  11. ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  12. ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE CROSSLINKS LISTED IN APPENDIX C OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
    - A.1. IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
    - A.2. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "ARIDSTOCK" WINTER RYE (CERIAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
  13. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
  14. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
  15. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO MAINTAIN VIGOROUS, DENSE VEGETATIVE COVER.
  16. TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.

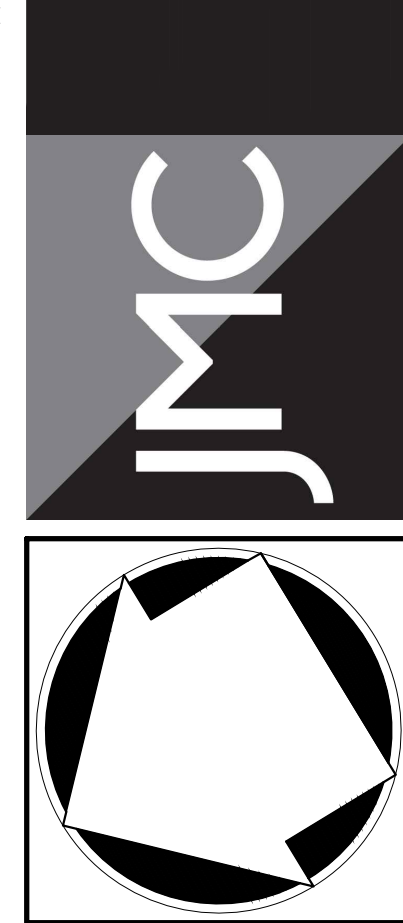
By	Date
PD	07/25/2021
PD	04/12/2021
PD	
Revision	
1.	REVISED PER TOWN COMMENTS
2.	REVISED PER TOWN COMMENTS

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
100 BUSINESS PARK DRIVE  
ARMONK, NY 10504

ARCHITECT:  
**J GROUP DESIGNS, LLC**  
63 EAST MAIN STREET  
PAWLING, NY 12564

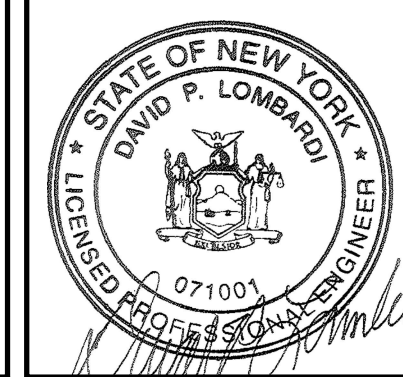
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.

120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.473.6225 • fax 914.473.2102  
www.jmcplic.com



**SITE EROSION & SEDIMENT CONTROL PLAN**

**PROPOSED WAREHOUSE**  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK



Drawn: NC Approved: DL  
Scale: 1" = 30'  
Date: 03/23/2020  
Project No: 19124  
Sheet: SE of SE set  
Drawing No: **C-400**

# INTERSTATE ROUTE 684

NEW YORK STATE DEPARTMENT OF PUBLIC WORKS SURVEY BASELINE

100' WETLAND BUFFER

LODGE STONE

ASPHALT

CONCRETE CURB

LAWN

CONCRETE

WALL

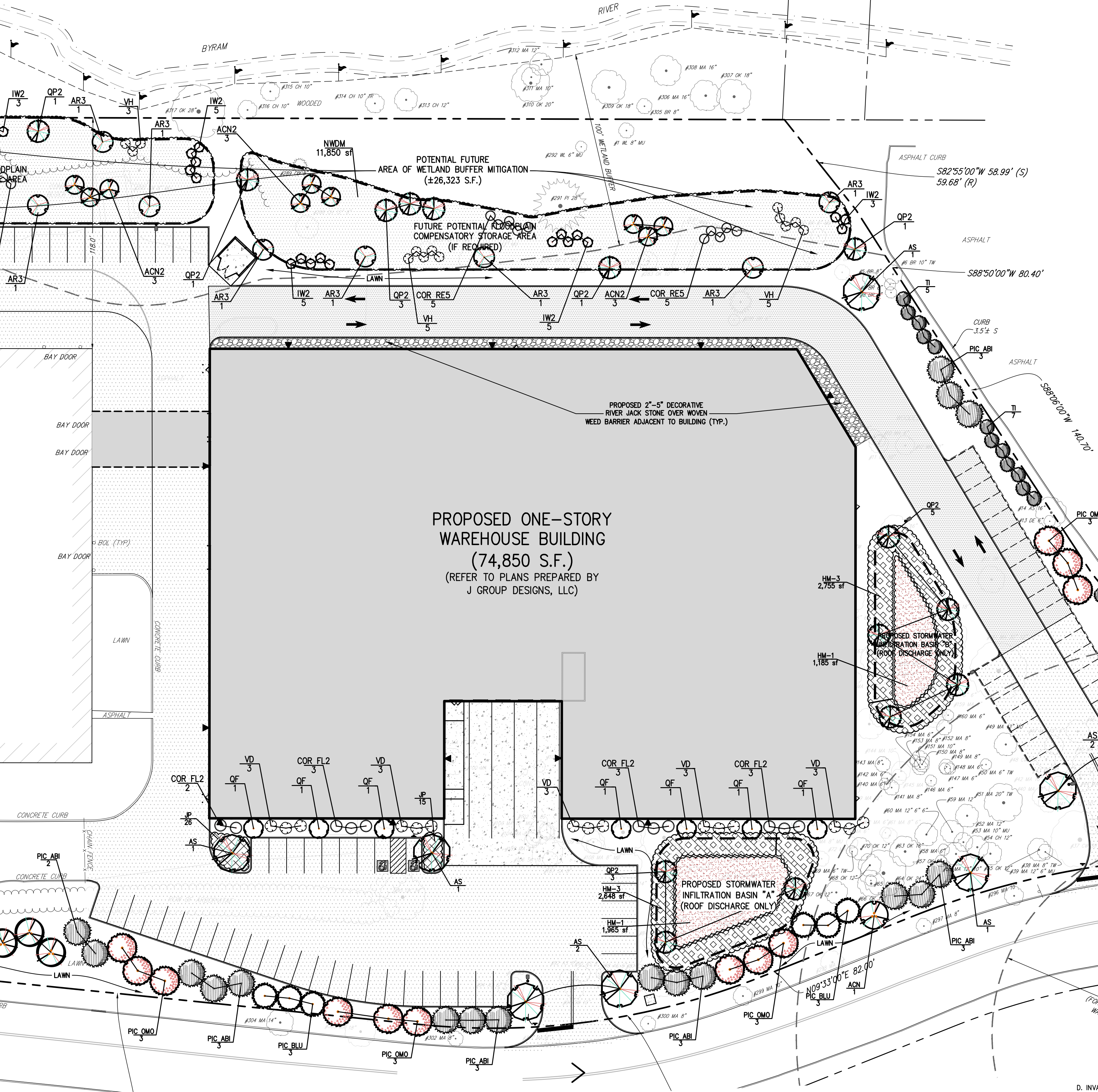
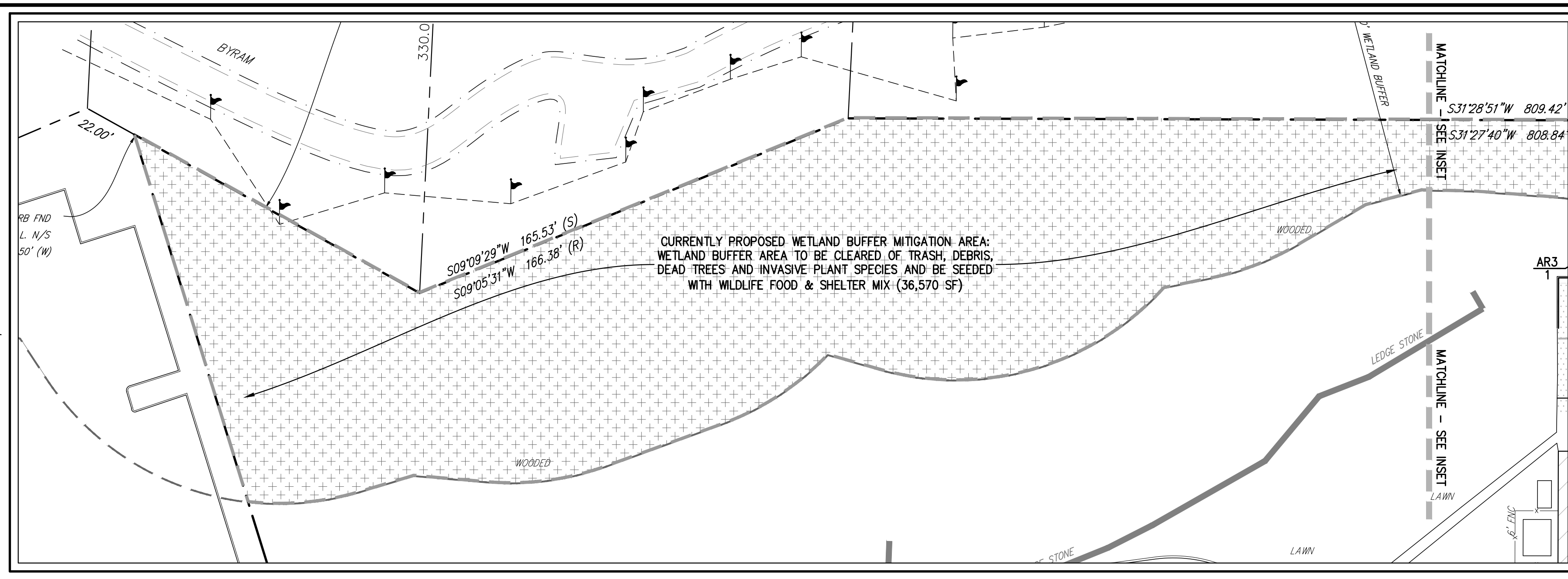
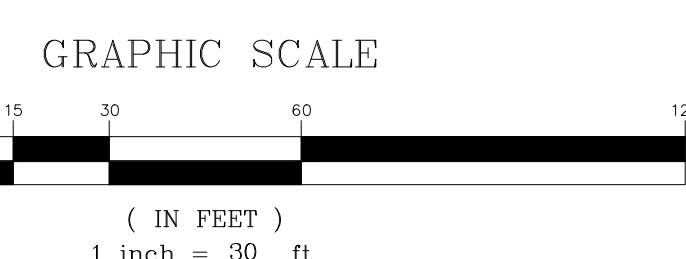
CONC STEPS

TRANSFORMER 4.9' E

ASPHALT DRIVE

ASPHALT DRIVE

**BUSINESS PARK DRIVE**  
(60' RIGHT OF WAY)  
(FORMERLY MAPLE AVENUE)



**PROPOSED ONE-STORY WAREHOUSE BUILDING**  
(74,850 S.F.)  
(REFER TO PLANS PREPARED BY J GROUP DESIGNS, LLC)

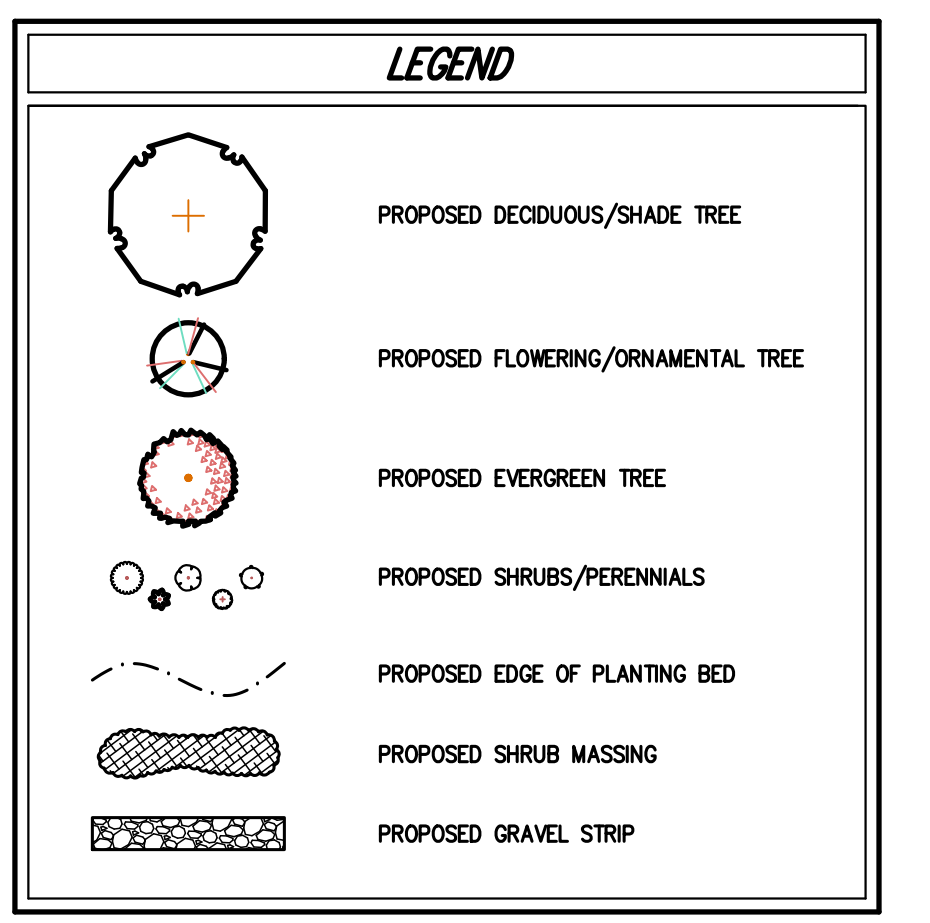
TALL 1 STORY MASONRY BUILDING STREET NO. 100  
BUILDING AREA 48,432± SQUARE FEET

2 STORY MASONRY BUILDING

CURRENTLY PROPOSED DISTURBANCE		POTENTIAL FUTURE DISTURBANCE (INCLUDING COMPENSATORY STORAGE BASINS)	
DISTURBANCE WITHIN WETLAND:	0 S.F. (0.000 AC)	DISTURBANCE WITHIN WETLAND:	0 S.F. (0.0 AC)
DISTURBANCE WITHIN BUFFER:	5,000 S.F. (0.114 AC)	DISTURBANCE WITHIN BUFFER:	27,000 S.F. (0.619 AC)
PROPOSED MITIGATION AREA WITHIN WETLAND BUFFER:	36,570 S.F. (0.839 AC)	PROPOSED MITIGATION AREA WITHIN WETLAND BUFFER:	58,842 S.F. (1.350 AC)
PROPOSED MITIGATION AREA OUTSIDE OF WETLAND BUFFER:	0 S.F. (0.000 AC)	PROPOSED MITIGATION AREA OUTSIDE OF WETLAND BUFFER:	4,051 S.F. (0.093 AC)
TOTAL MITIGATION AREA:	36,570 S.F. (0.839 AC)	TOTAL MITIGATION AREA:	62,893 S.F. (1.443 AC)
MITIGATION RATIO:	36,570 S.F. / 5,000 S.F. = 7.314	MITIGATION RATIO:	62,893 S.F. / 27,000 S.F. = 2.329

### DISTURBANCE SUMMARY

- ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS AND SHALL AFTER HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS, DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WILL ESTABLISHED IN REMOVAL CONTAINERS, INTERNAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED.
- PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- ALL LAWN AREAS (SOD OR SEEDS) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOD OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
- ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTORS WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONSTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
- CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
- ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
- ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.



- ### NOTES
- ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (ANSI Z60.1)", LATEST EDITION.
  - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
  - ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOXIC FREE, ORGANIC MATERIAL, CONSISTING OF SHREDDED HARDWOOD, ROOT MULCH SHREDDED CEDAR, OR BARK CHIPS, AS APPROVED BY THE OWNER'S FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
  - PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  - ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTINGS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
  - ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.

PLANT SCHEDULE CURRENTLY PROPOSED LANDSCAPING					
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
PIC ABI	17	Picea abies / Norway Spruce	8' - 10' HT.	B & B	
PIC OMO	12	Picea omorika / Serbian Spruce	8' - 10' HT.	B & B	
PIC BLU	6	Picea pungens glauca / Colorado Blue Spruce	8' - 10' HT.	B & B	
TI	16	Thuja x 'Green Giant' / Green Giant Arborvitae	8' - 10' HT.	B & B	

PLANT SCHEDULE POTENTIAL FUTURE WETLAND BUFFER MITIGATION					
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
AS	8	Acer Saccharum 'Green Mountain' / Sugar Maple	3' - 3 1/2' Cal	B & B	
ACN	1	Amelanchier Canadensis / Shadblow Serviceberry	12' - 14' HT.	B & B	
BNT	3	Betula Nigra 'Heritage' / Heritage River Birch	8' - 10' HT.	B & B	
QP2	9	Quercus Palustris / Pin Oak	3' - 4' HT.	#5 CONT.	
QF	7	Quercus robur fastigiata / Pyramidal English Oak	3' - 3 1/2' CAL.	B & B	

PLANT SCHEDULE POTENTIAL FUTURE WETLAND BUFFER MITIGATION					
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
AR3	12	Acer Rubrum 'Red Sunset' / Red Maple	4'-5' HT.	#5 CONT.	
ACN2	12	Amelanchier Canadensis / Shadblow Serviceberry	3' - 4' HT.	#5 CONT.	
QP2	9	Quercus Palustris / Pin Oak	3' - 4' HT.	#5 CONT.	

### GENERAL MAINTENANCE SCHEDULE FOR PLANTING OF MITIGATION AREA:

- PERIODICALLY INSPECT PLANTING AREAS TO SELECTIVELY REMOVE, BY HAND, UNWANTED INVASIVE PLANTS (WEEDS).
- SELECTIVELY WEED-WACK REMAINING LAWN AREA WITHIN PLANTING MITIGATION AREAS AS NEEDED, SO AS TO REMOVE ANY UNWANTED WEED GROWTH (WEEDS) OVER PERIOD OF NEXT 2-3 YEARS. THIS SHOULD BE PERFORMED BIANNUALLY SO THAT LAWN DOES NOT GROW HIGHER THAN 10 INCHES.
- REMOVAL OF LEAF LITTER SHOULD BE LIMITED TO HAND CLEARING OF SEEDS

### PROPOSED MONITORING PROGRAM FOR PLANTING OF MITIGATION AREA:

- PROPERTY OWNER WILL ENGAGE, AT THEIR EXPENSE, AN ENVIRONMENTAL CONSULTANT APPROVED BY THE TOWN OF NORTH CASTLE AND THE PROPERTY OWNER, TO CONDUCT TWO (2) FIELD INSPECTIONS AND PREPARE AN ANNUAL MONITORING REPORT, WITH PHOTO-DOCUMENTATION OF THE PLANTING MITIGATION AREA FOR THE FIRST TWO (2) YEARS.
- FURTHERMORE, AT THE FIVE YEAR PERIOD SHOULD LESS THAN 85% OF PLANTING INSTALLED REMAIN, THE PROPERTY OWNER IS TO REPLACE DEAD PLANTING IN KIND TO ACHIEVE A MINIMUM OF 85% PLANT STOCK.

### PLANTING NOTES:

- SEED MIXTURE: SUPPLEMENTAL WETLAND SEED MIX IS TO BE APPLIED TO THE FLOODPLAIN STORAGE, BASINS AT 20-40 LBS/ACRE OR 1 LB PER 1,000 SF OF SEED PER ACRE AND CONSIST OF FOLLOWING:

NORTHEAST WETLAND DIVERSITY SEED MIX		
% BY WT.	SPECIES	VARIETY
26.86%	EUPATORIUM PERFOOLIATUM	BONSETT
20.83%	VERBENA HASTATA	BLUE VERVAIN
19.75%	PANICUM DICHTOMIFLORUM	SMOOTH PANIC-GRASS
8.89%	SOLIDAGO	WINKLER'S GOLDENROD
8.74%	EUPATORIUM MACULATUM	JOE PYE WEED
6.89%	EUPATORIUM GRANIFOLIUM	SMARTWEED
4.92%	POLYGONUM PENNSYLVANICUM	PENNSYLVANIA SMARTWEED
2.90%	ASTER NOVAE-ANGIAE	NEW ENGLAND ASTER
0.79%	BIDENS CERNUA	NODDING BEGGAR'S TICK
0.21%	SCISPELMA INCANARATA	SWAMP MILKWEED
0.12%	IRIS VERSICOLOR	BLUE FLAG

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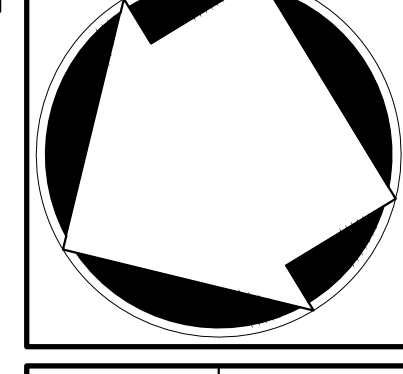
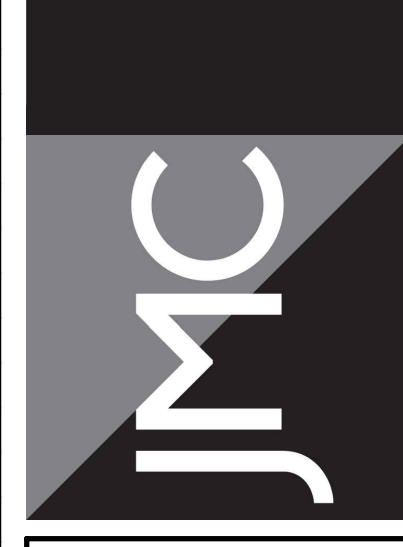
No.	Revision	Date
1.	REVISED PER CONSERVATION BOARD COMMENTS	06/02/2020
2.	REVISED PER TOWN COMMENTS	01/25/2021
3.	REVISED PER TOWN COMMENTS	04/17/2021

**A & R REAL ESTATE HOLDINGS, LLC**  
100 BUSINESS PARK DRIVE  
ARMONK, NY 10504

**J GROUP DESIGNS, LLC**  
63 EAST MAIN STREET  
PAWLING, NY 12564

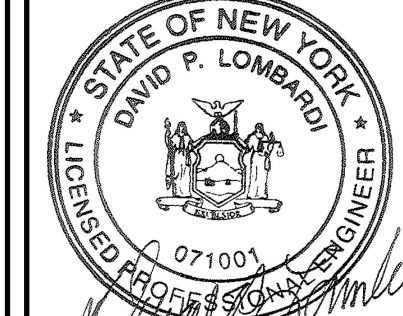
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.

120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
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**SITE LANDSCAPING & WETLAND MITIGATION PLAN**

**PROPOSED WAREHOUSE**  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK



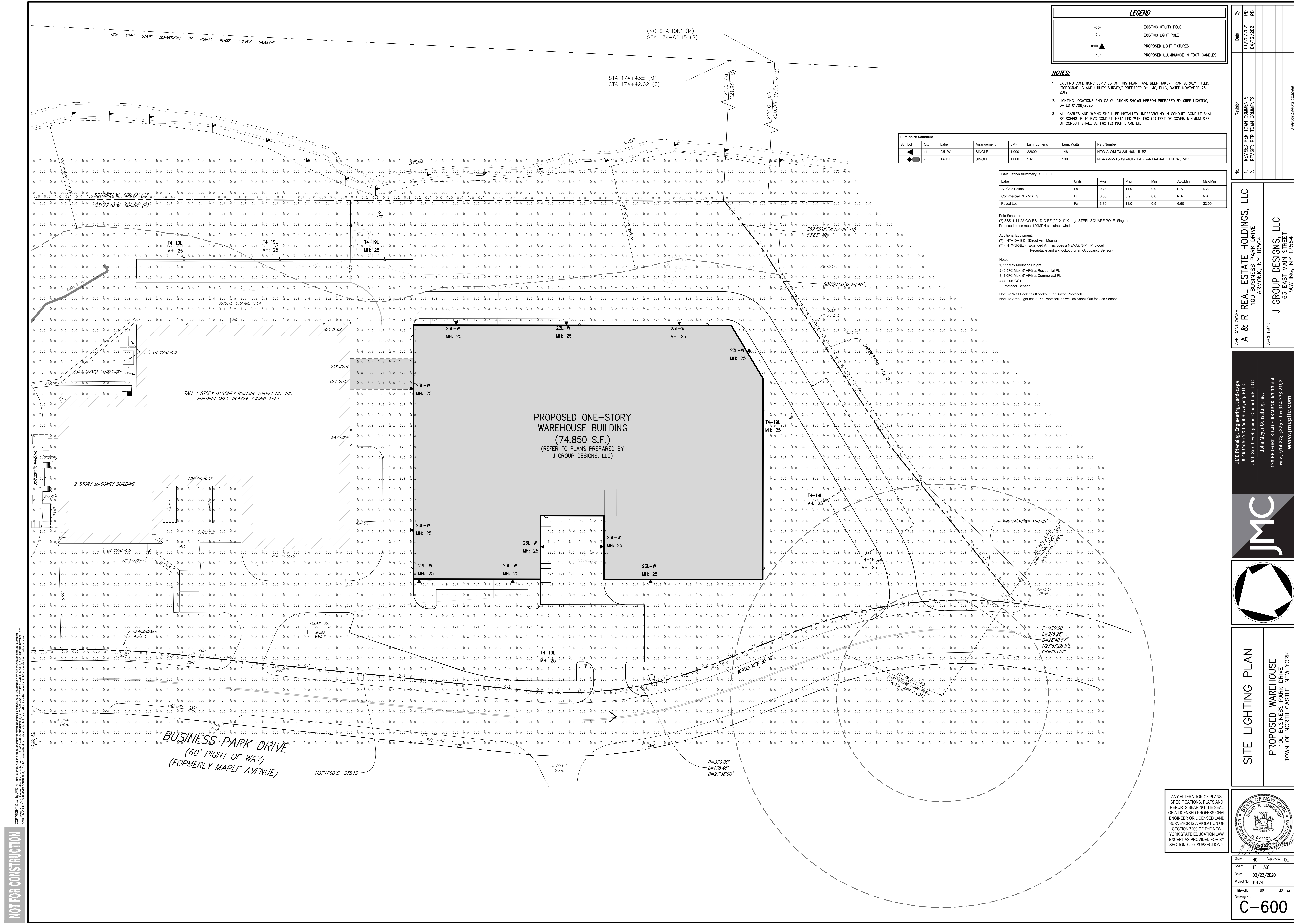
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Date: 03/23/2020

Project No: 19124

Sheet No: LND

Drawing No: C-500



**LEGEND**

	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	PROPOSED LIGHT FIXTURES
	PROPOSED ILLUMINATION IN FOOT-CANDELS

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC AND UTILITY SURVEY," PREPARED BY JMC, PLLC, DATED NOVEMBER 26, 2019.
  - LIGHTING LOCATIONS AND CALCULATIONS SHOWN HEREON PREPARED BY GREE LIGHTING, DATED 01/08/2020.
  - ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.

**Luminaire Schedule**

Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Fixture Number
	11	23L-W	SINGLE	1,000	22000	148	NTW-A-WM-T3-23L-40K-UL-BZ
	7	T4-19L	SINGLE	1,000	19200	130	NTA-A-NM-T3-19L-40K-UL-BZ w/NTA-DA-BZ + NTK-3R-BZ

**Calculation Summary: 1.00 LLF**

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.74	11.0	0.0	N.A.	N.A.
Commercial PL - 5' AFG	Fc	0.08	0.9	0.0	N.A.	N.A.
Paved Lot	Fc	3.30	11.0	0.5	6.60	22.00

**Pole Schedule**  
 (7) SSS-4-11-22-CW-BS-1D-C-BZ (22" X 4" X 11ga STEEL SQUARE POLE, Single)  
 Proposed poles meet 120MPH sustained winds.

**Additional Equipment:**  
 (7) - NTA-DA-BZ - (Direct Arm Mount)  
 (7) - NTK-3R-BZ - (Extended Arm includes a NEMA6 3-Pin Photocell Receptacle and a knockout for an Occupancy Sensor)

**Notes:**  
 1) 25' Max Mounting Height  
 2) 5'0" SFC Max, 5' AFG at Residential PL  
 3) 10'0" SFC Max, 5' AFG at Commercial PL  
 4) 4-wire CCT  
 5) Photocell Sensor  
 Noctura Wall Pack has Knockout For Button Photocell  
 Noctura Area Light has 3-Pin Photocell, as well as Knock Out for Occ Sensor

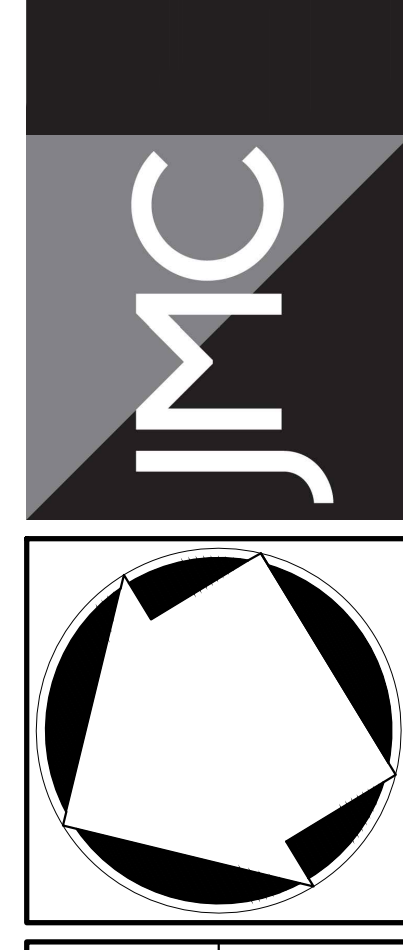
**Revision**

No.	Date	Description
1.	07/25/2021	REVISED PER TOWN COMMENTS
2.	04/12/2021	REVISED PER TOWN COMMENTS

**APPLICANT/OWNER:**  
**A & R REAL ESTATE HOLDINGS, LLC**  
 100 BUSINESS PARK DRIVE  
 ARMONK, NY 10504

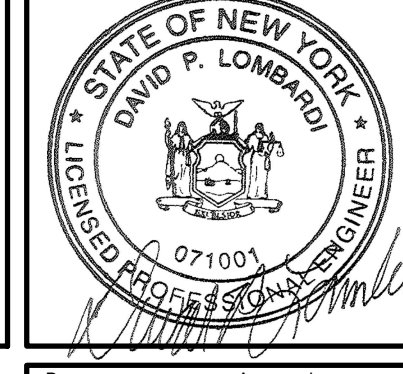
**ARCHITECT:**  
**J GROUP DESIGNS, LLC**  
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**SITE LIGHTING PLAN**

**PROPOSED WAREHOUSE**  
 100 BUSINESS PARK DRIVE  
 TOWN OF NORTH CASTLE, NEW YORK



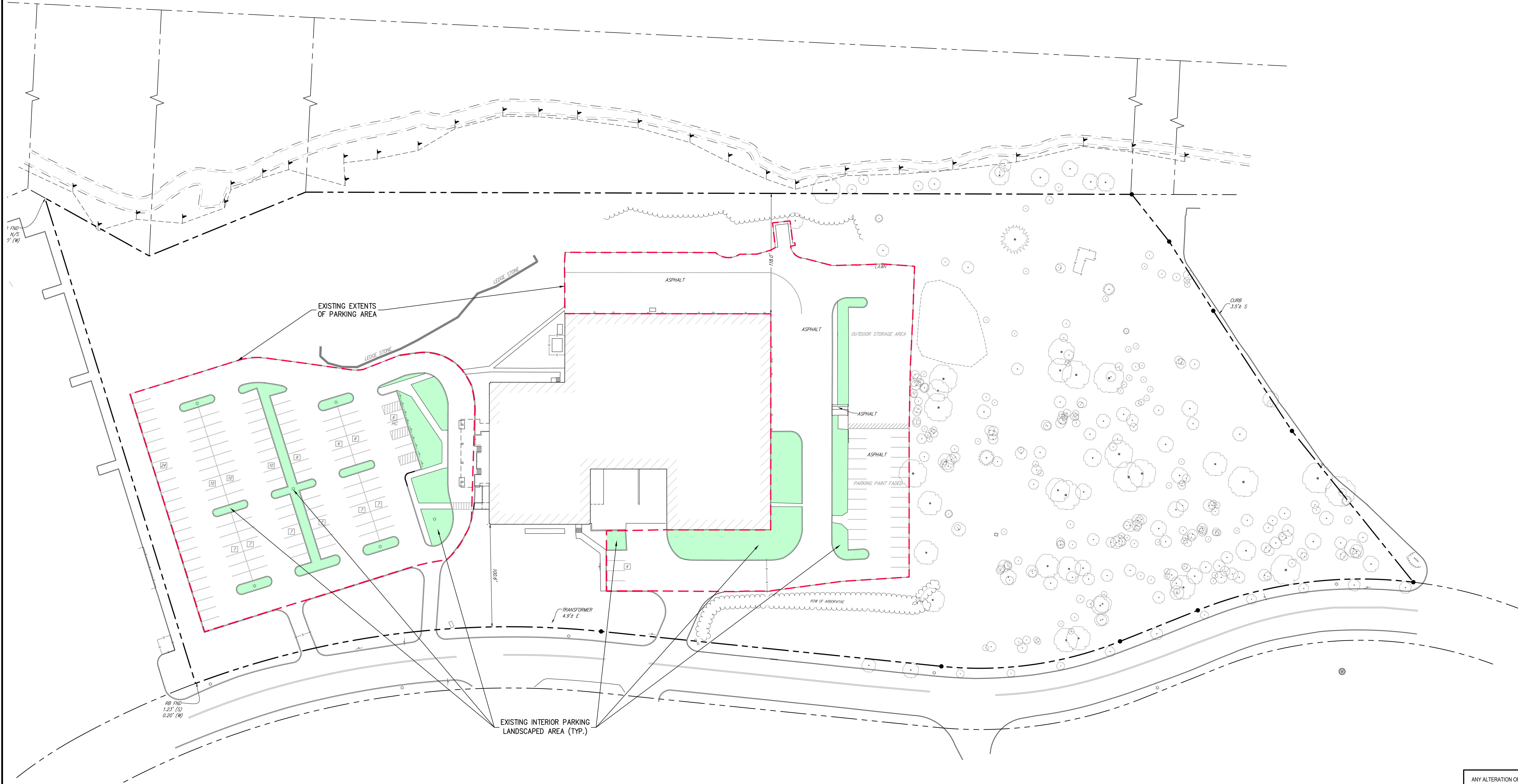
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Scale:	1" = 30'		
Date:	03/23/2020		
Project No:	19124		
Sheet No:	LIGHT		
Drawing No:	C-600		

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**LEGEND**

	EXISTING PARKING AREA (132,926± S.F.)
	EXISTING INTERIOR PARKING LANDSCAPED AREA (18,235± S.F.)

**EXISTING INTERIOR PARKING LANDSCAPED AREA CALCULATION:**

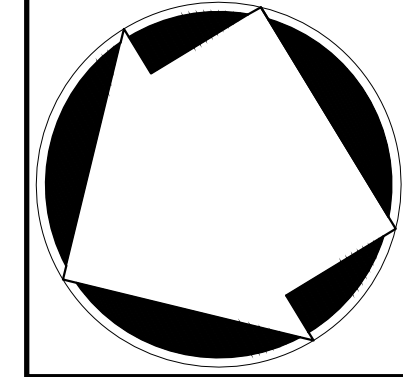
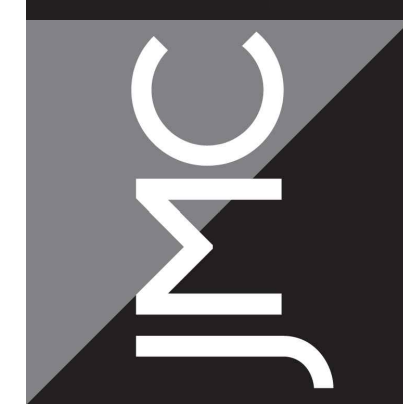
TOTAL EXISTING INTERIOR PARKING LANDSCAPED AREA → 18,235 S.F. X 100 = ±13.7%

TOTAL EXISTING PARKING AREA → 132,926 S.F.

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
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ARMONK, NY 10504

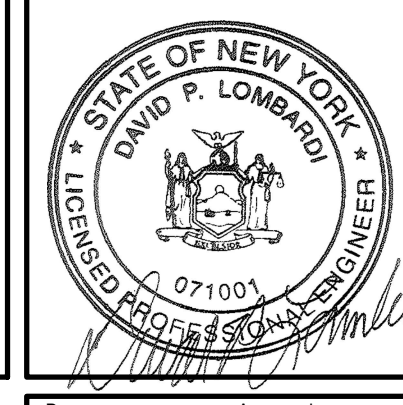
ARCHITECT:  
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**EXISTING INTERIOR LANDSCAPED  
AREA CALCULATIONS PLAN**

**PROPOSED WAREHOUSE**  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK



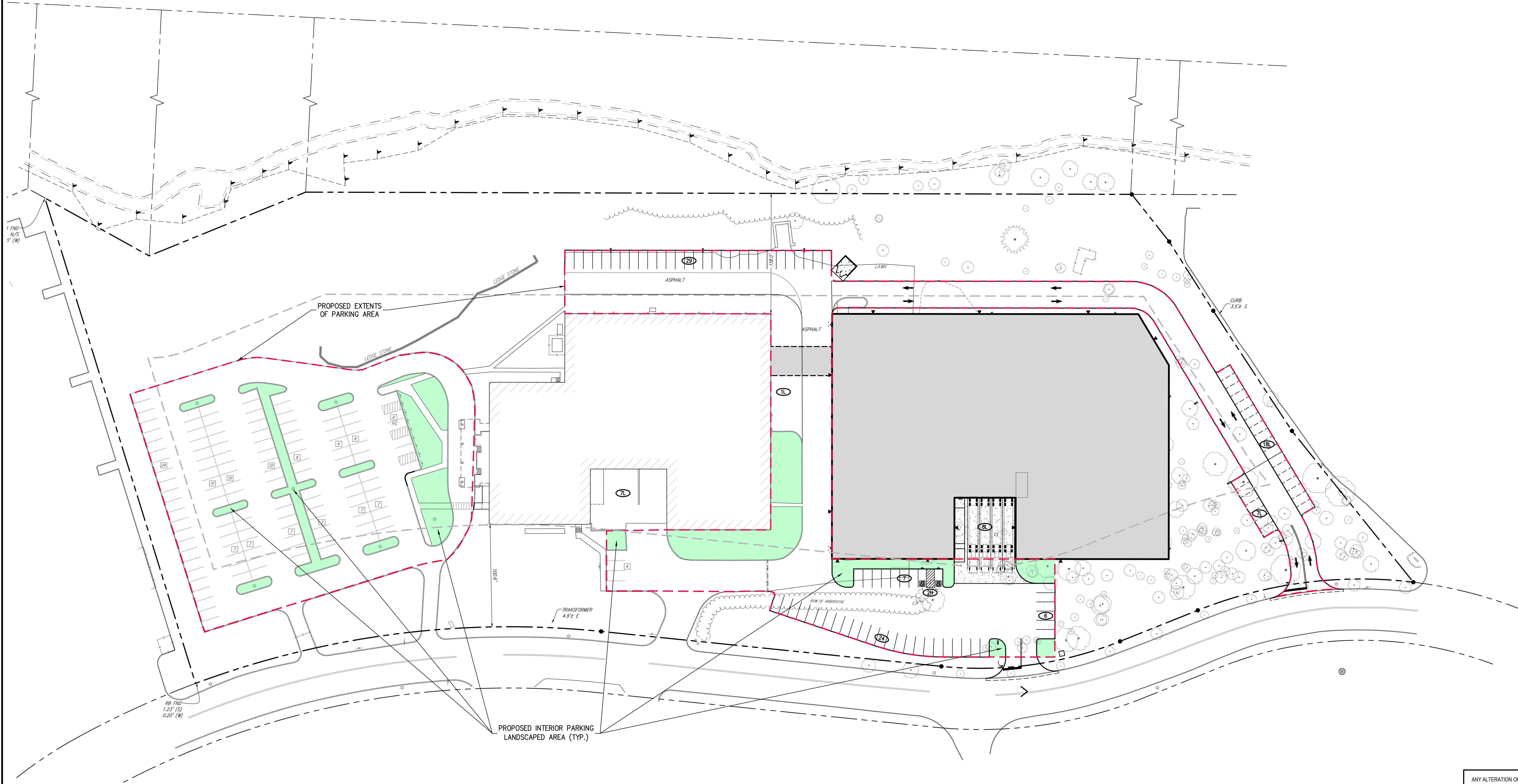
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Drawn:	NC	Approved:	DL
Scale:	1" = 40'		
Date:	04/12/2021		
Project No:	19124		
Drawing No:	EX-LS-AREA	EX-LS-AREA	EX-LS-AREA
<b>C-800</b>			

No.	Revision	Date	By

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**LEGEND**

	PROPOSED PARKING AREA (152,071± S.F.)
	PROPOSED INTERIOR PARKING LANDSCAPED AREA (18,204± S.F.)

**PROPOSED INTERIOR PARKING LANDSCAPED AREA CALCULATION:**  
 TOTAL PROPOSED INTERIOR PARKING LANDSCAPED AREA → 18,204 S.F. X 100 = ±11.9%  
 TOTAL PROPOSED PARKING AREA → 152,071 S.F.

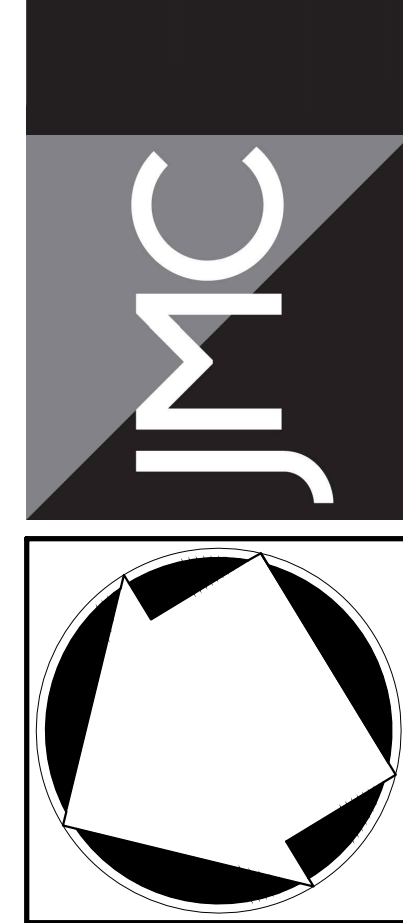
No.	Revision	Date	By

APPLICANT/OWNER:  
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 100 BUSINESS PARK DRIVE  
 ARMONK, NY 10504

ARCHITECT:  
**J GROUP DESIGNS, LLC**  
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 PAWLING, NY 12564

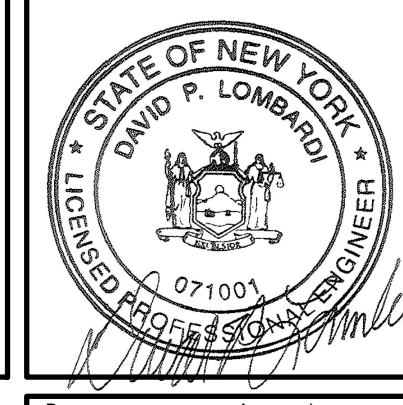
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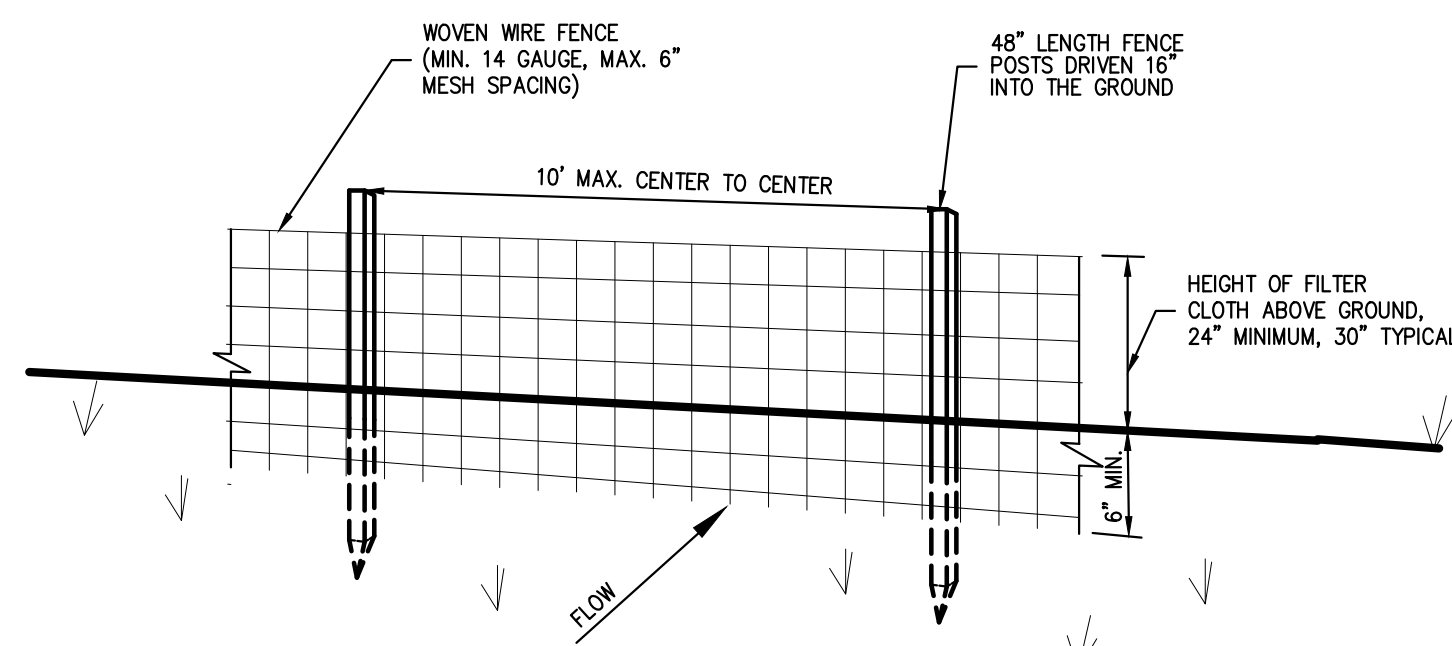
**PROPOSED INTERIOR LANDSCAPED  
 AREA CALCULATIONS PLAN**

**PROPOSED WAREHOUSE**  
 100 BUSINESS PARK DRIVE  
 TOWN OF NORTH CASTLE, NEW YORK

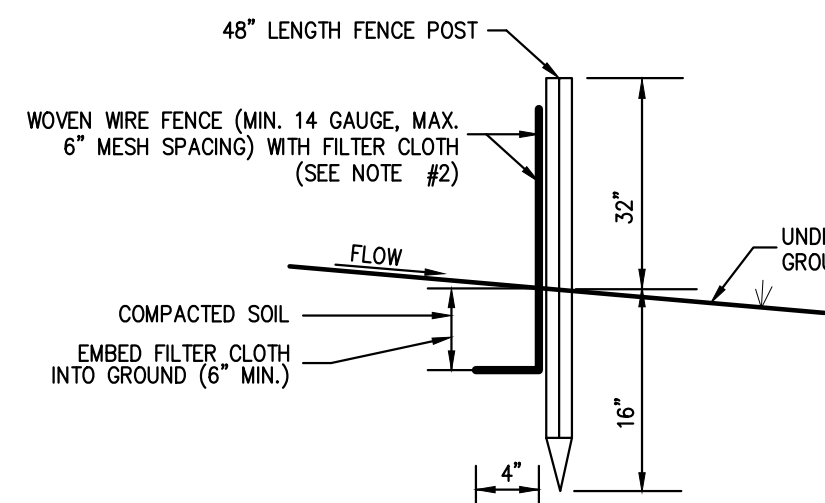


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Drawn:	NC	Approved:	DL
Scale:	1" = 40'		
Date:	04/12/2021		
Project No.:	19124		
100% - SITE	PROP LS AREA	EXIST LOR	
Drawing No.:	<b>C-810</b>		



PERSPECTIVE VIEW



SECTION

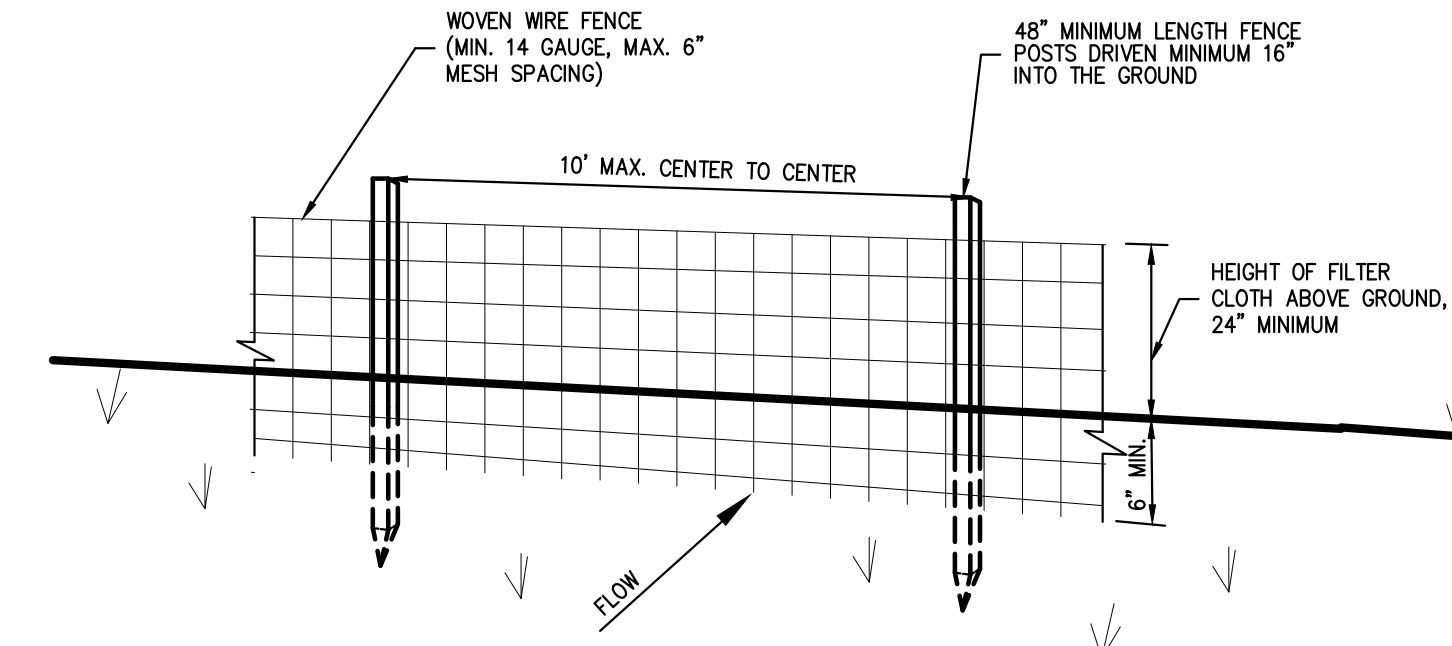
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2-10%	50:1 TO 10:1	250/2000
10-20%	10:1 TO 5:1	150/1000
20-33%	5:1 TO 3:1	80/750
33-50%	3:1 TO 2:1	70/250
	3:05:1	30/75

\*ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE, BUT AT LEAST 10 FEET FROM THE TOE OF A SLOPE STEEPER THAN 3H:1V, TO ALLOW FOR MAINTENANCE AND ROLL DOWN THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.

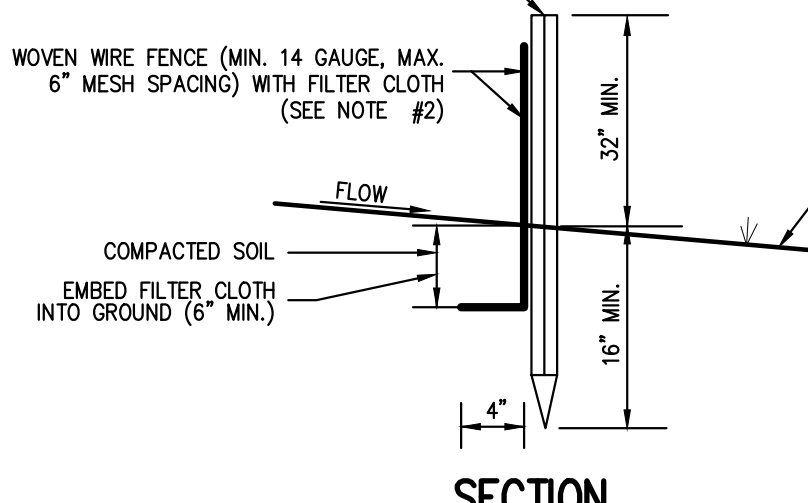
- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH SPACING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA THIN, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

1



PERSPECTIVE VIEW

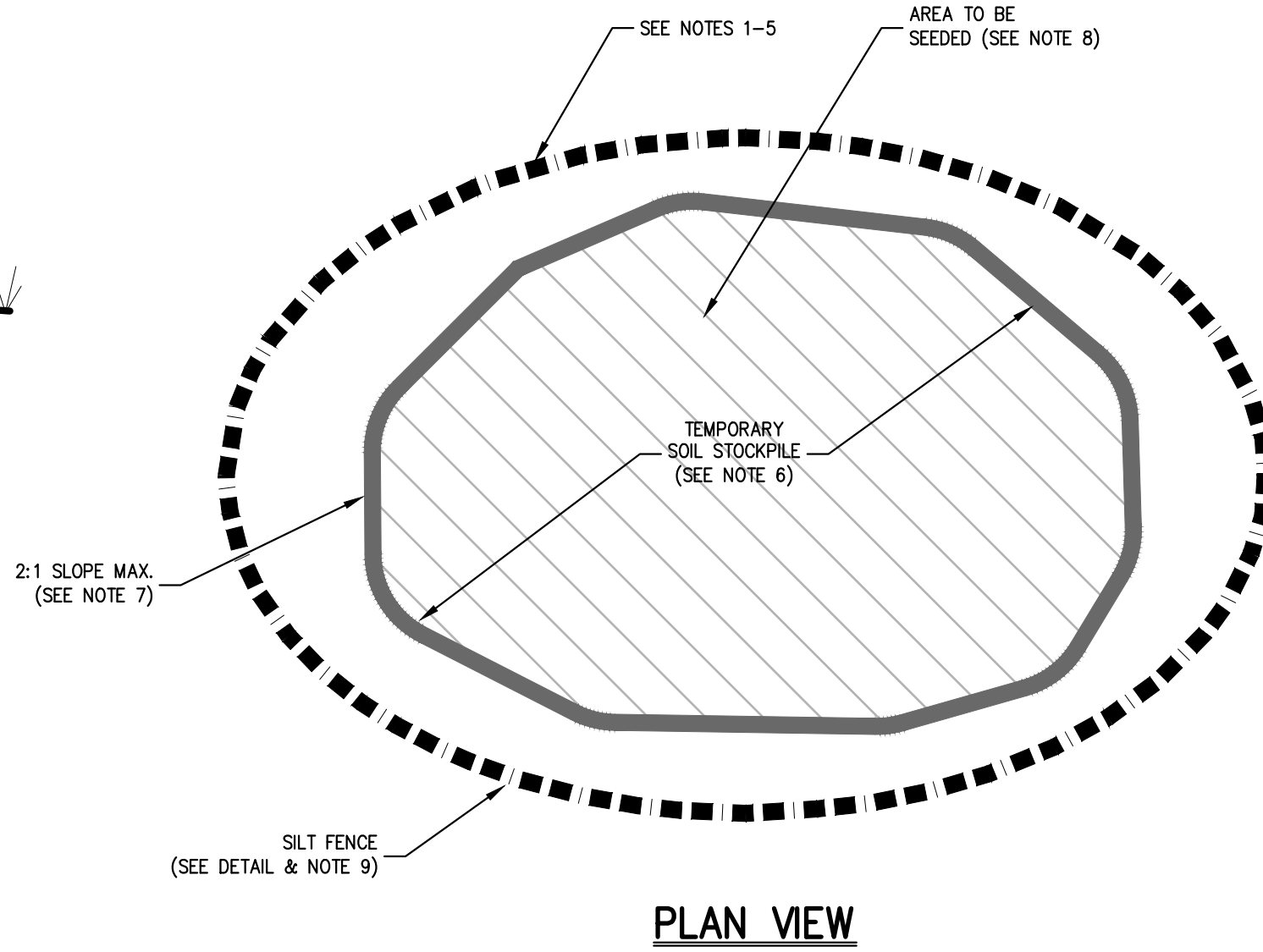


SECTION

- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
  - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH SPACING.
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  - PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

2

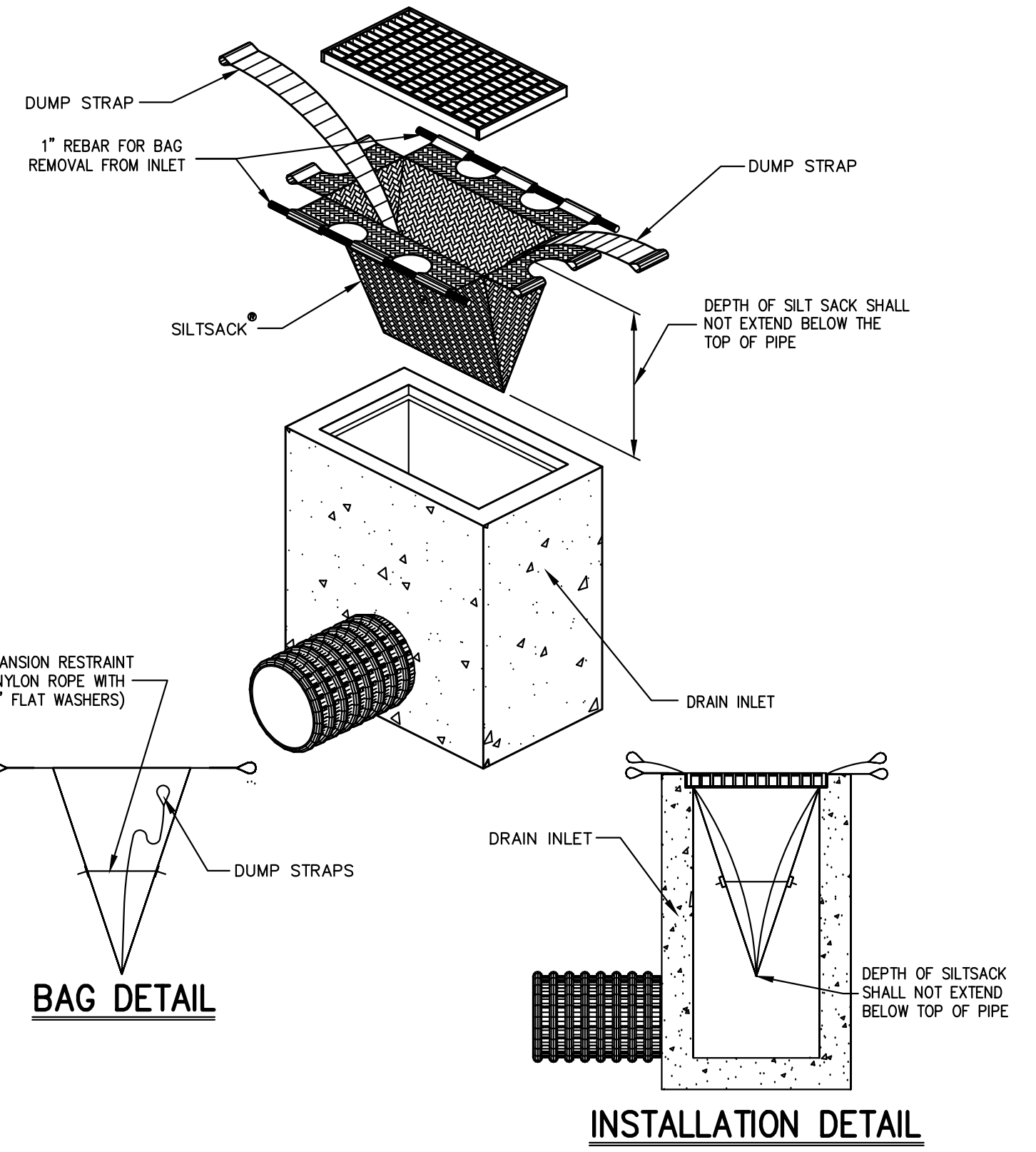


PLAN VIEW

- THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
- ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
- ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.

TEMPORARY SOIL STOCKPILE WITH SILT FENCE

2



BAG DETAIL

INSTALLATION DETAIL

HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL<sup>®</sup>

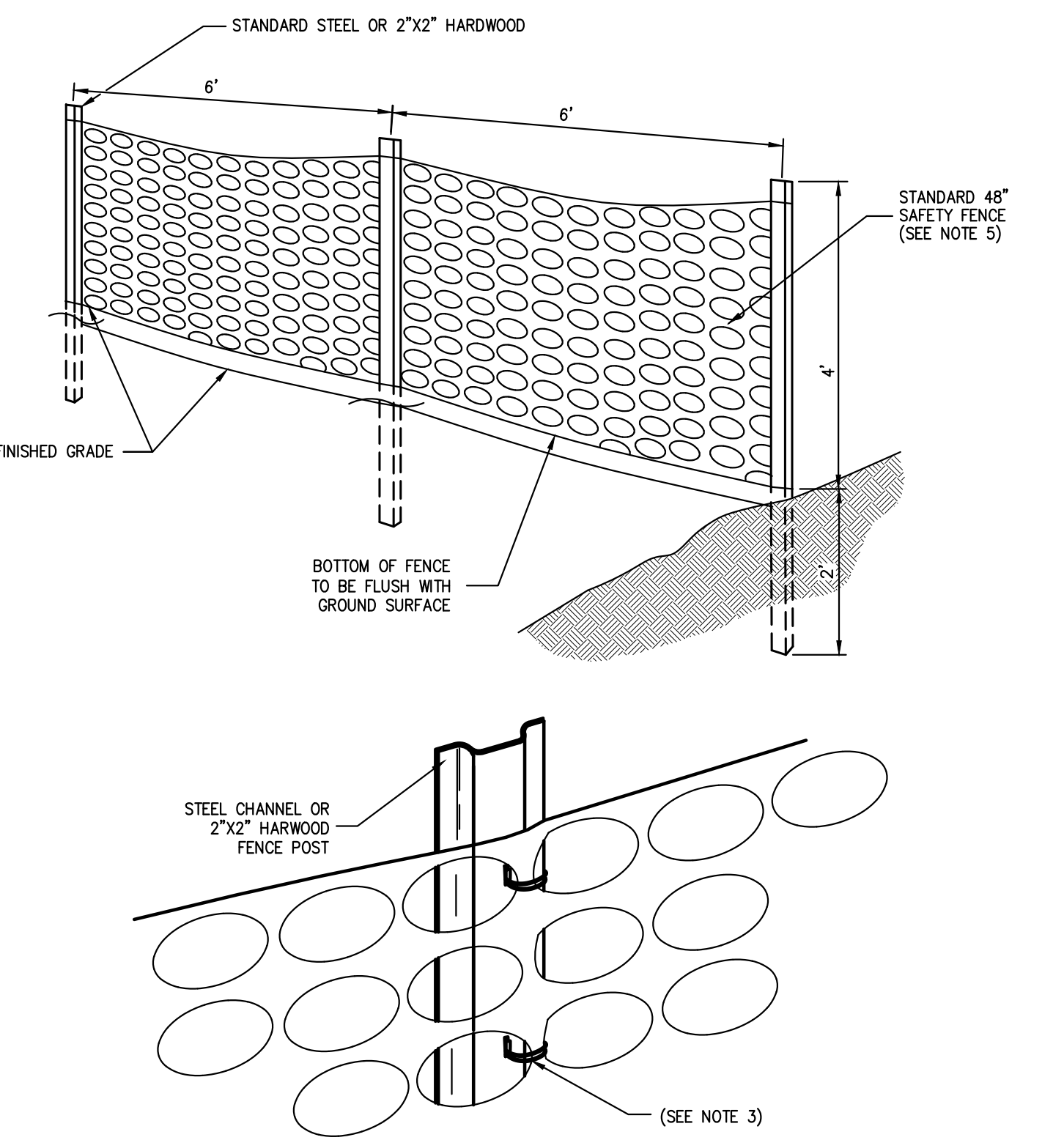
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLIN BURST	ASTM D-3786	420 PSF
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPROXIMATE OPENING SIZE	ASTM D-4751	20 US SEIVE
FLOW RATE PERMITIVITY	ASTM D-4491	200 GAL/MIN/SQ FT 1.5 SEC -1

**NOTE:**  
CURB INLETS SHALL BE TYPE B WITH CURB DEFLECTOR.

SILT SACK

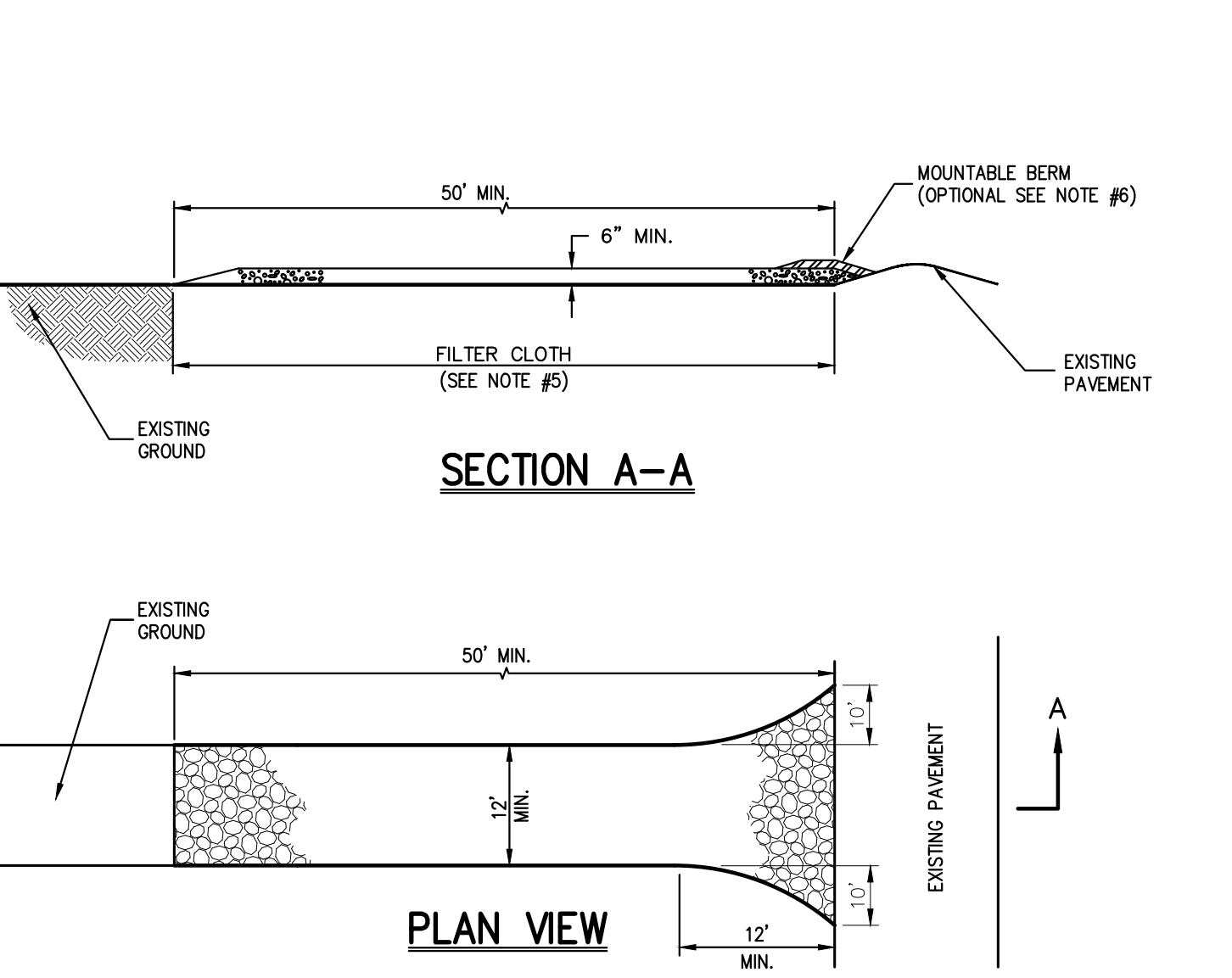
3



- NOTES:**
- SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
  - DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
  - FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
  - PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
  - PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADRI ENTERPRISES, INC. OR APPROVED EQUAL.
  - REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

CONSTRUCTION FENCE

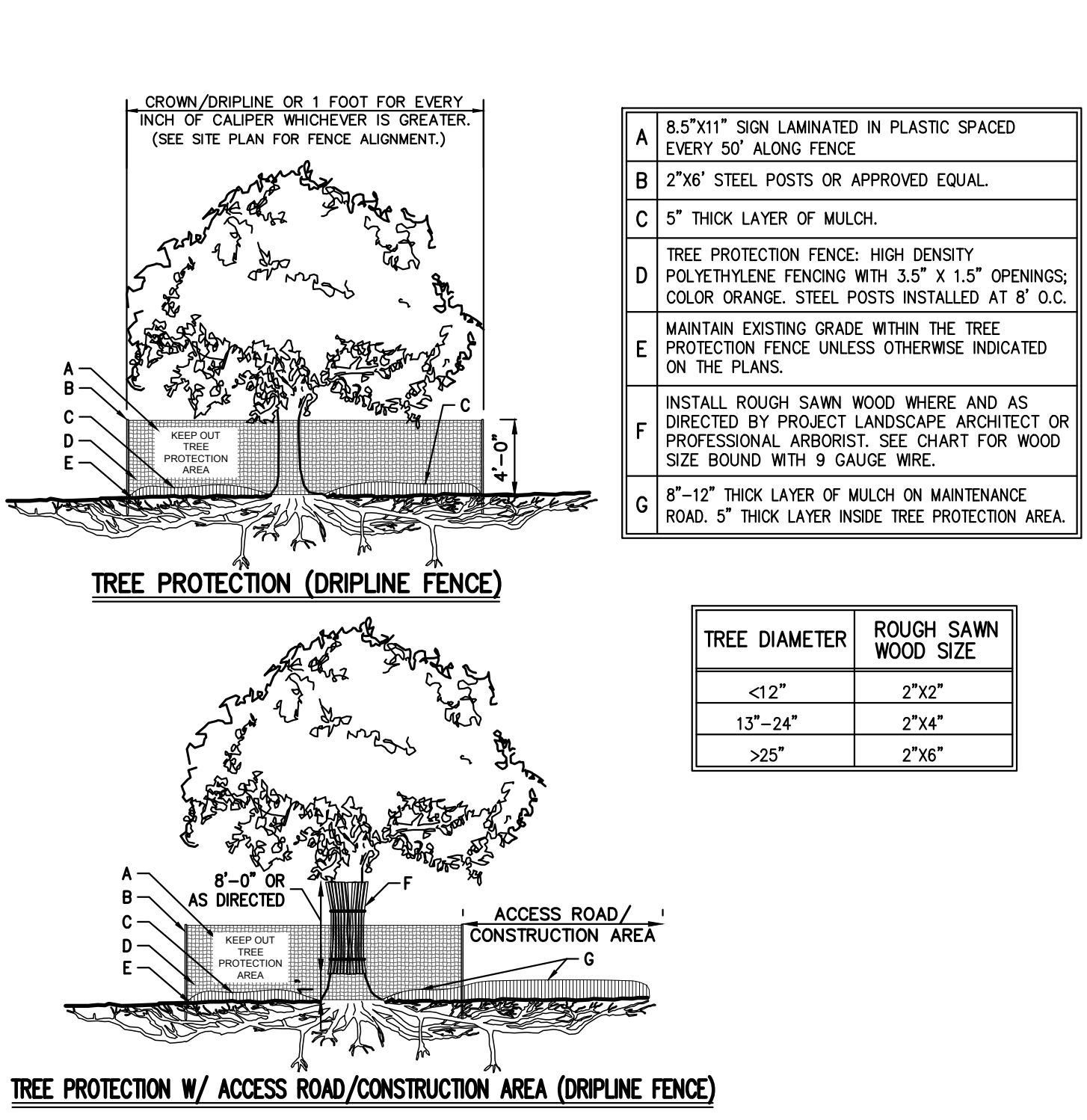
4



- NOTES:**
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF SINGLE ENTRANCE TO SITE.
  - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

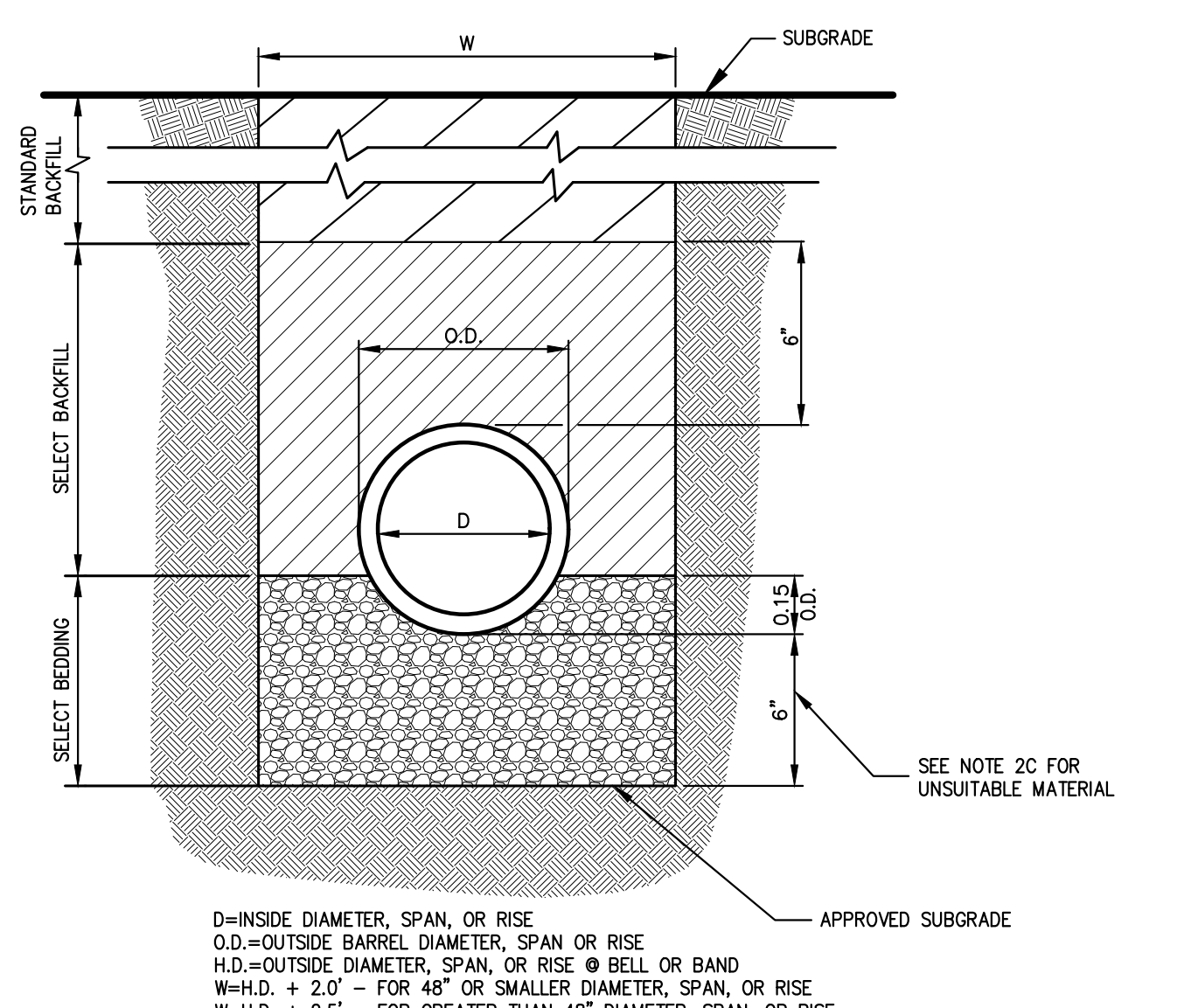
5



- NOTES:**
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
  - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
  - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
  - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE, MAY BE REQUIRED.
  - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

6



- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
    - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
    - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
  - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
    - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
    - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
    - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 4" MINIMUM.
  - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
  - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 92% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

7

NOT FOR CONSTRUCTION

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	07/25/2021
2.	REVISED PER TOWN COMMENTS	04/12/2021

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
100 BUSINESS PARK DRIVE  
ARMONK, NY 10504

ARCHITECT:  
**J GROUP DESIGNS, LLC**  
63 EAST MAIN STREET  
PAWLING, NY 12564

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Mayer Consulting, Inc.

120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.6225 • fax 914.273.2102  
www.jmcpic.com

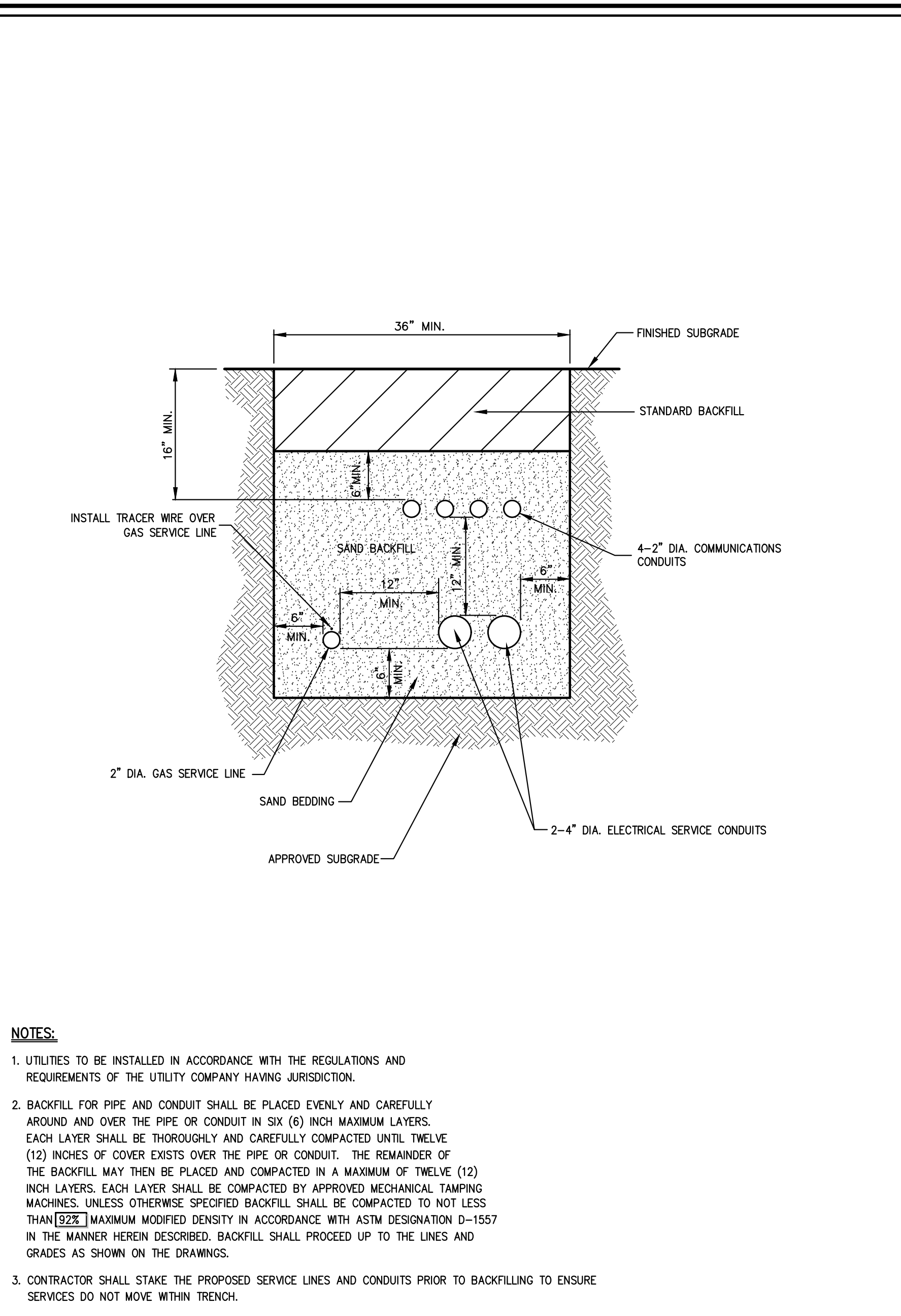
**JMC**

CONSTRUCTION DETAILS

PROPOSED WAREHOUSE  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK

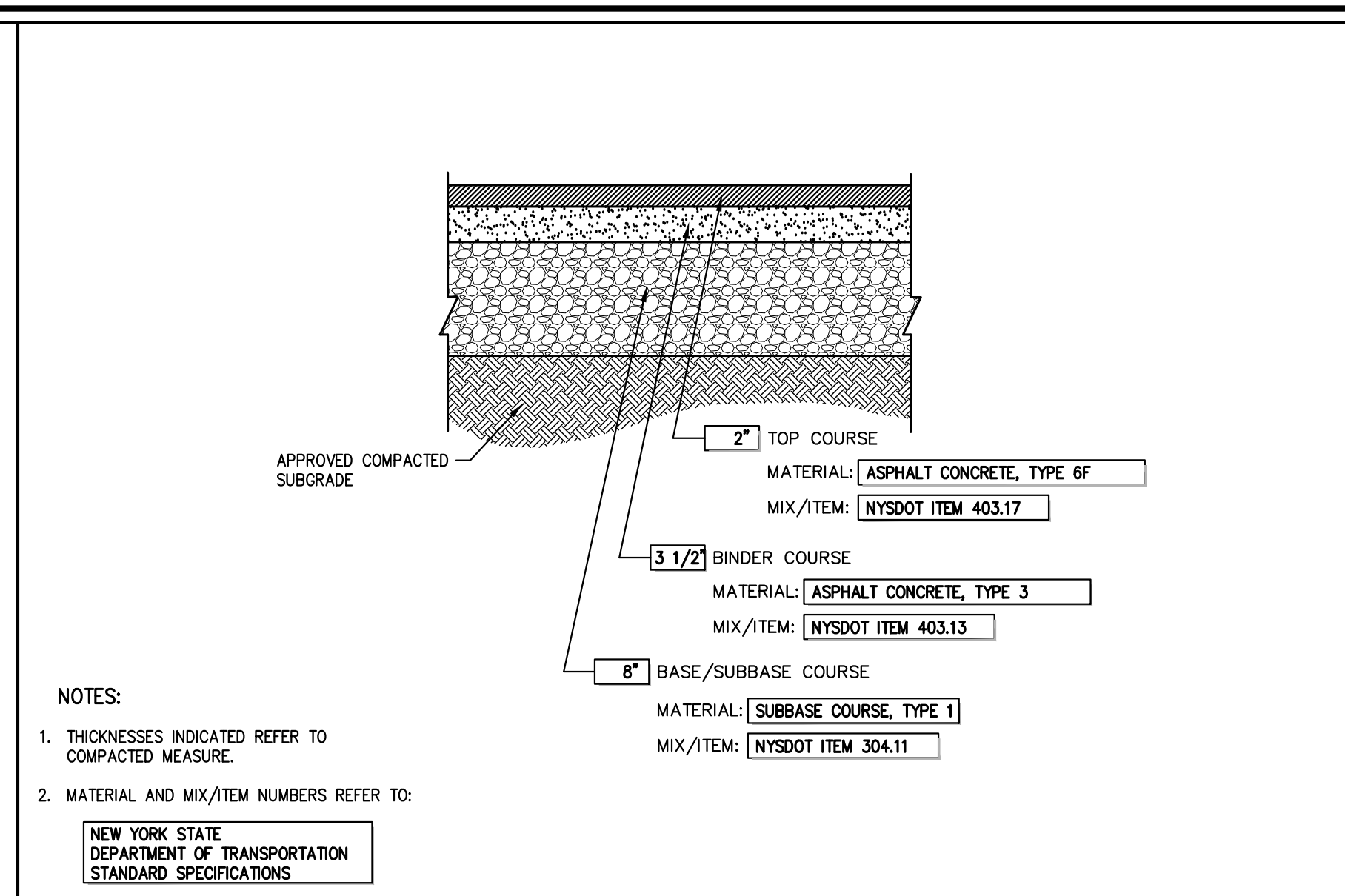
ANY ALTERATION OF PLANS, SPECIFICATIONS, DETAILS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Scale: NOT TO SCALE  
Date: 03/23/2020  
Project No: 19124  
Sheet No: DET-1  
Drawing No: C-900



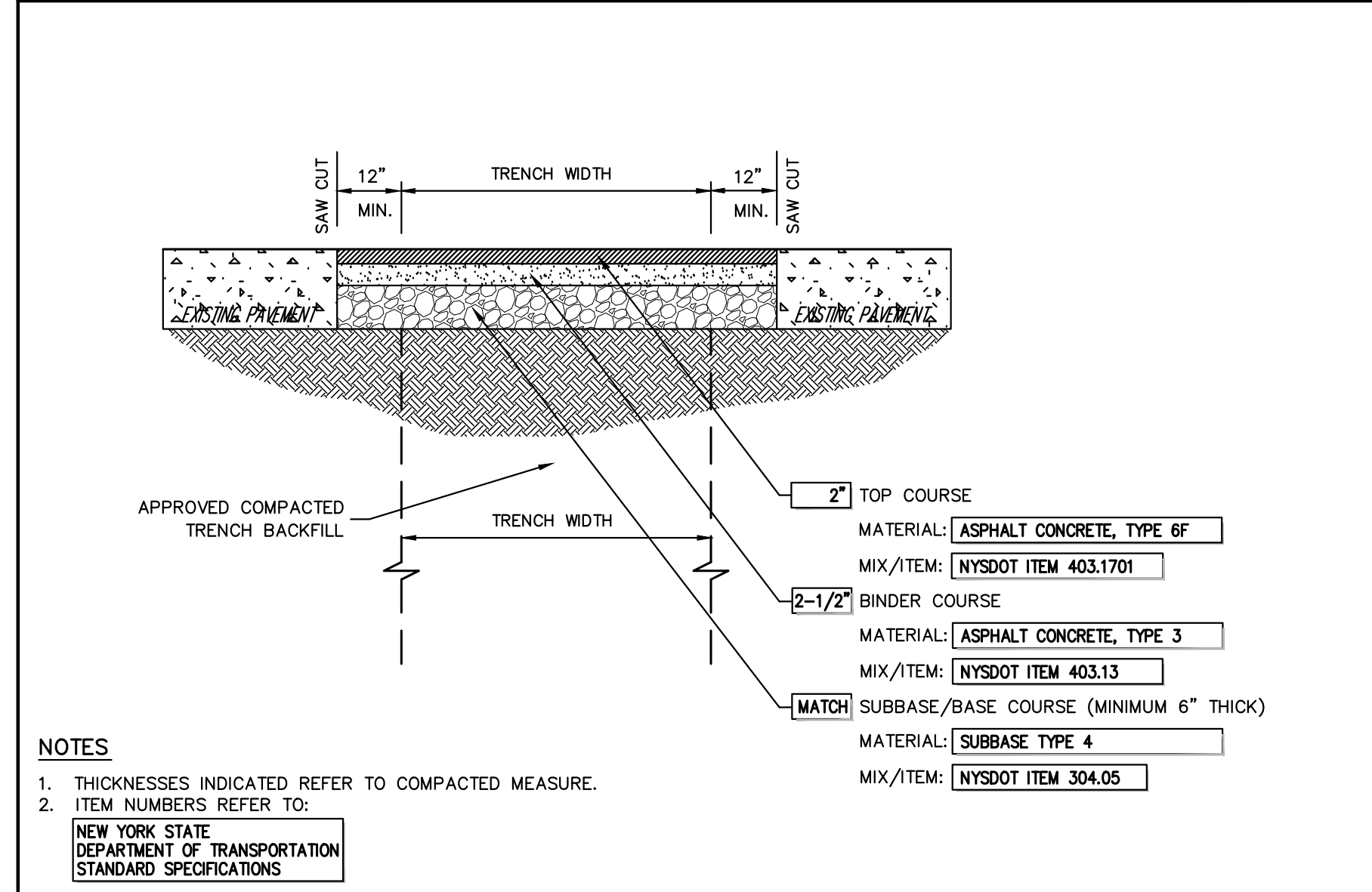
**NOTES:**

- UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
- BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 95% MAXIMUM MOISTURE DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL STAKE THE PROPOSED SERVICE LINES AND CONDUITS PRIOR TO BACKFILLING TO ENSURE SERVICES DO NOT MOVE WITHIN TRENCH.



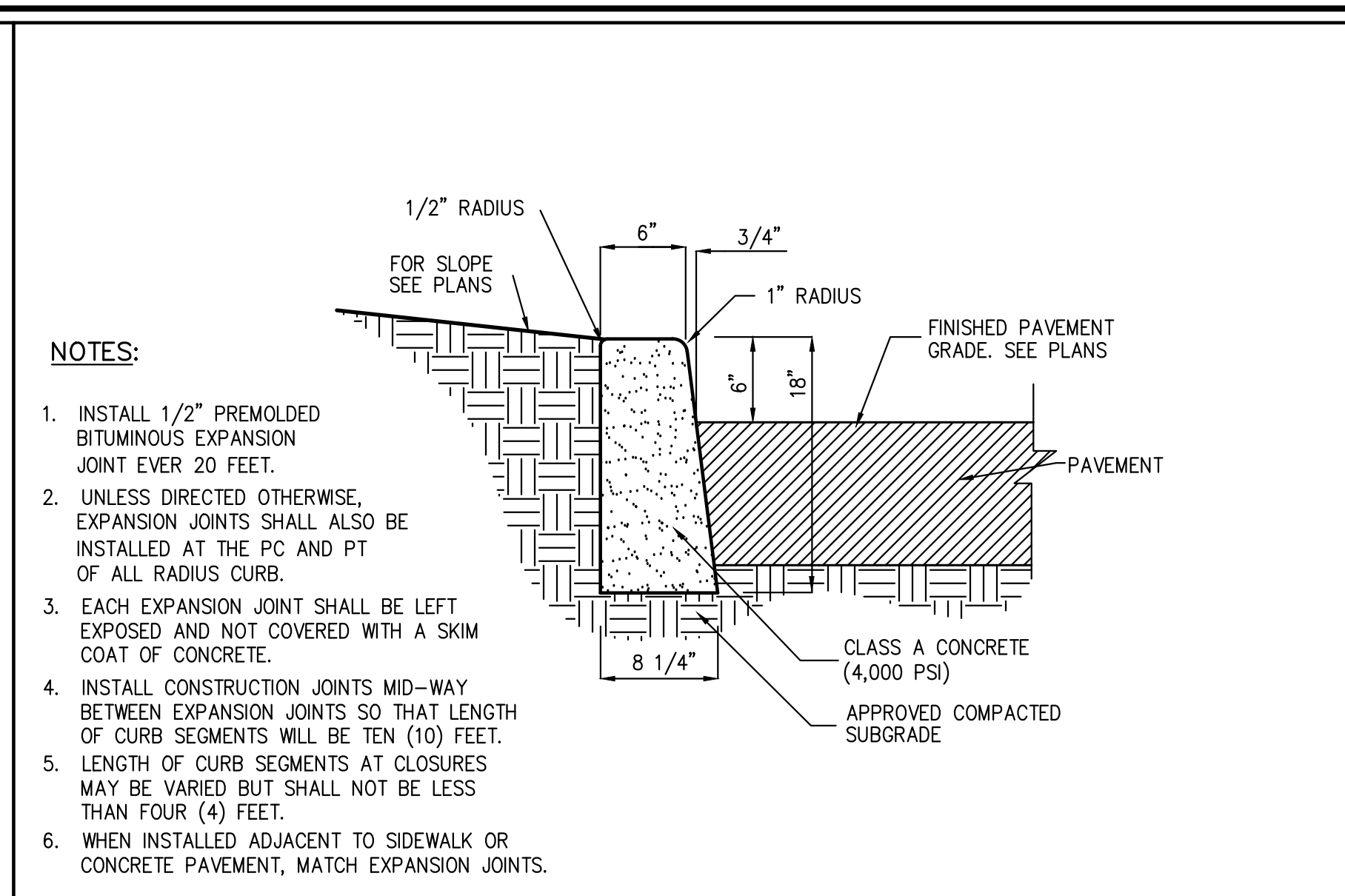
**NOTES:**

- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
- MATERIAL AND MIX/ITEM NUMBERS REFER TO:
  - NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS



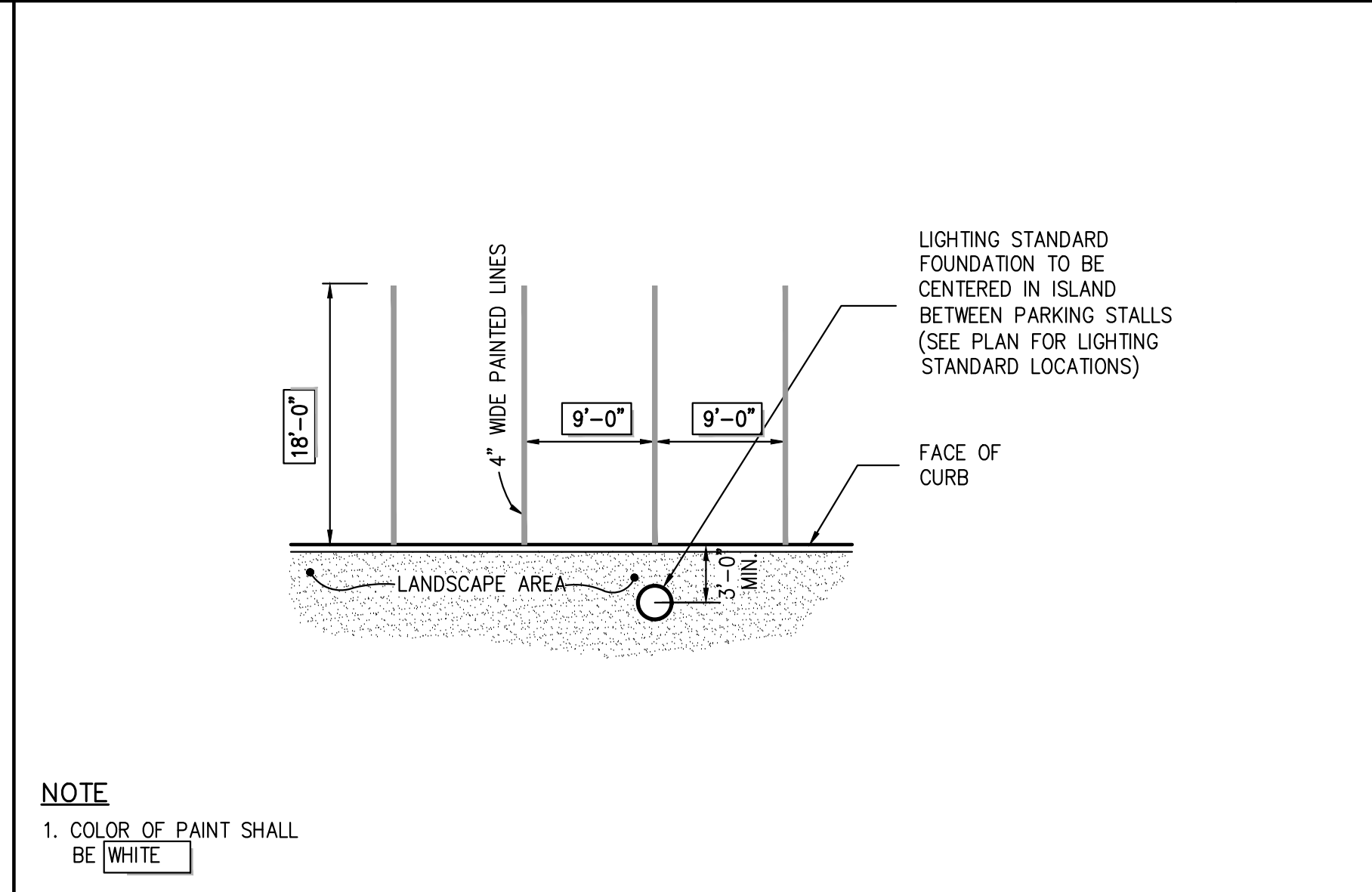
**NOTES:**

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- ITEM NUMBERS REFER TO:
  - NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS



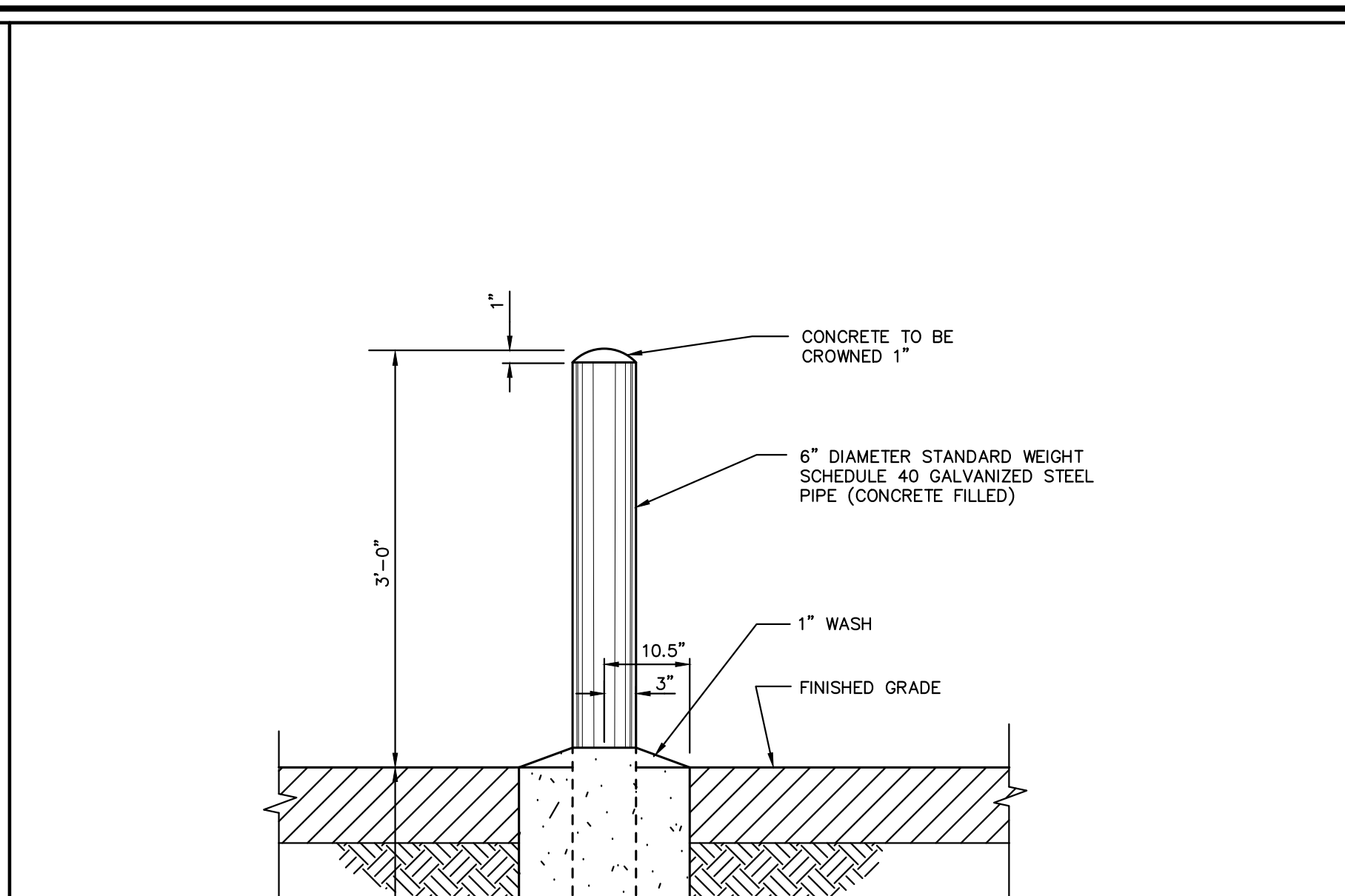
**NOTES:**

- INSTALL 1/2\"/>



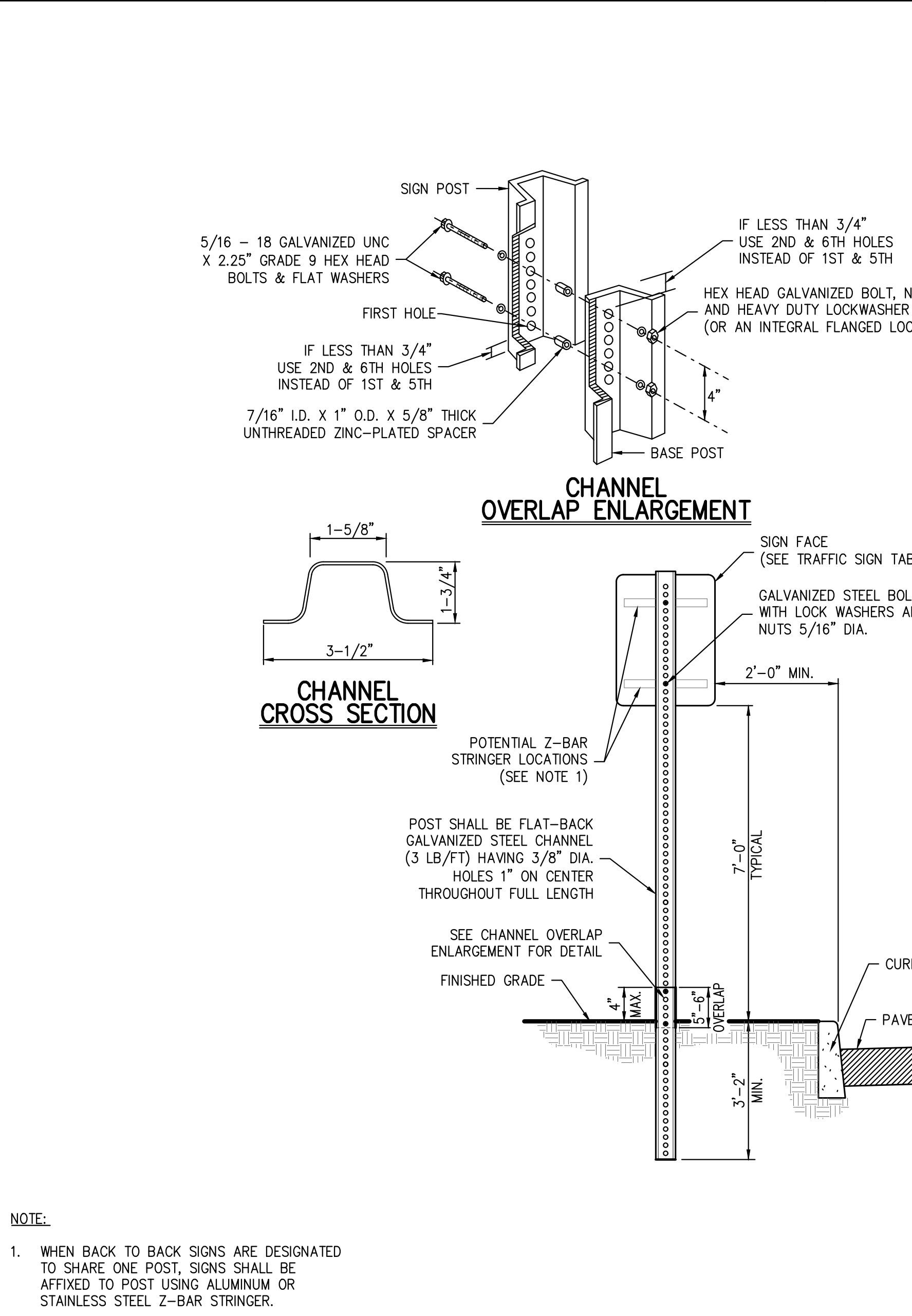
**NOTE:**

- COLOR OF PAINT SHALL BE WHITE



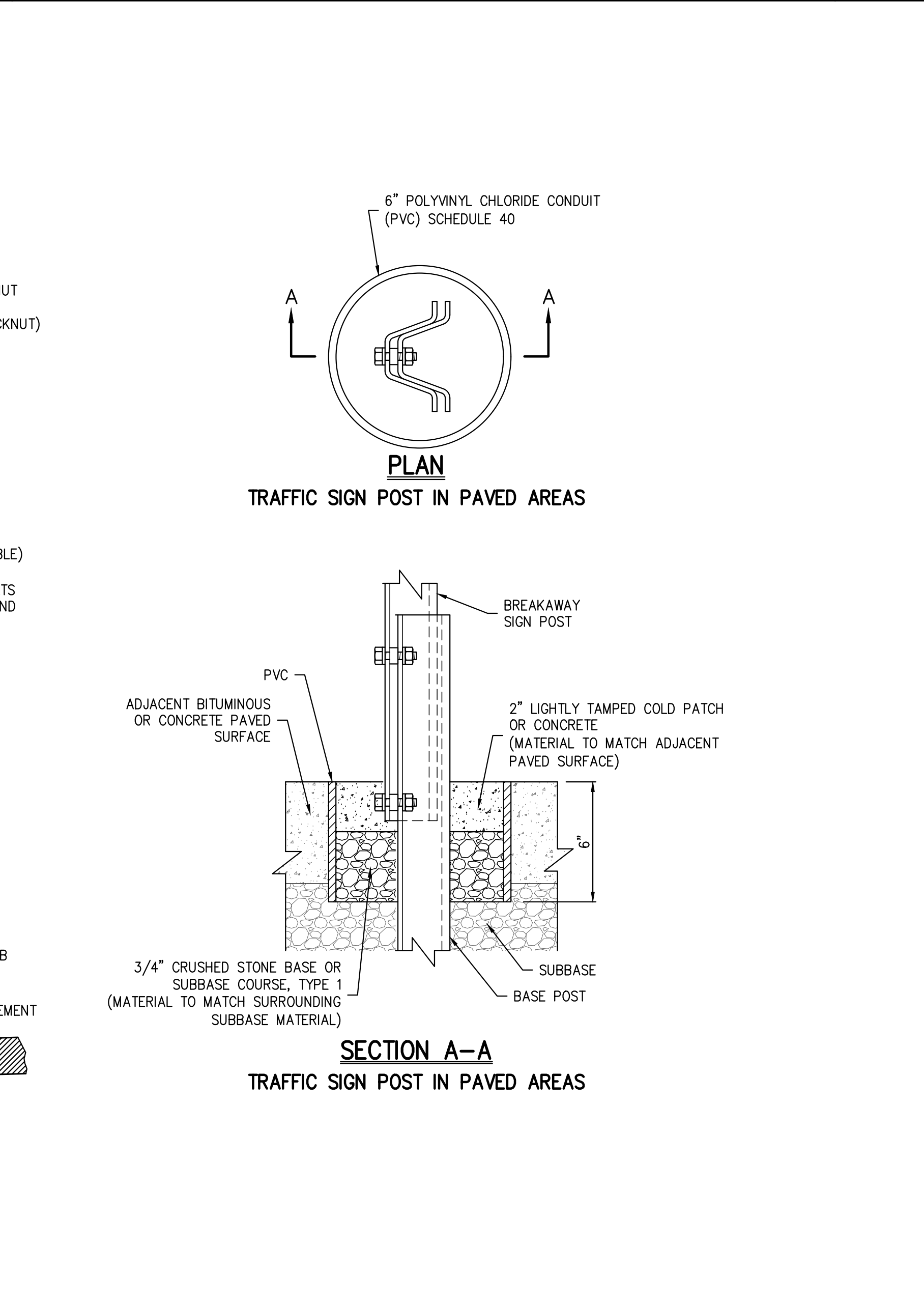
**NOTES:**

- WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POSTS SHALL BE EMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.
- POST FOR HANDICAP PARKING STALLS SHALL BE PAINTED BLUE AS FOLLOWS:
  - A. SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
  - B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.
  - C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.



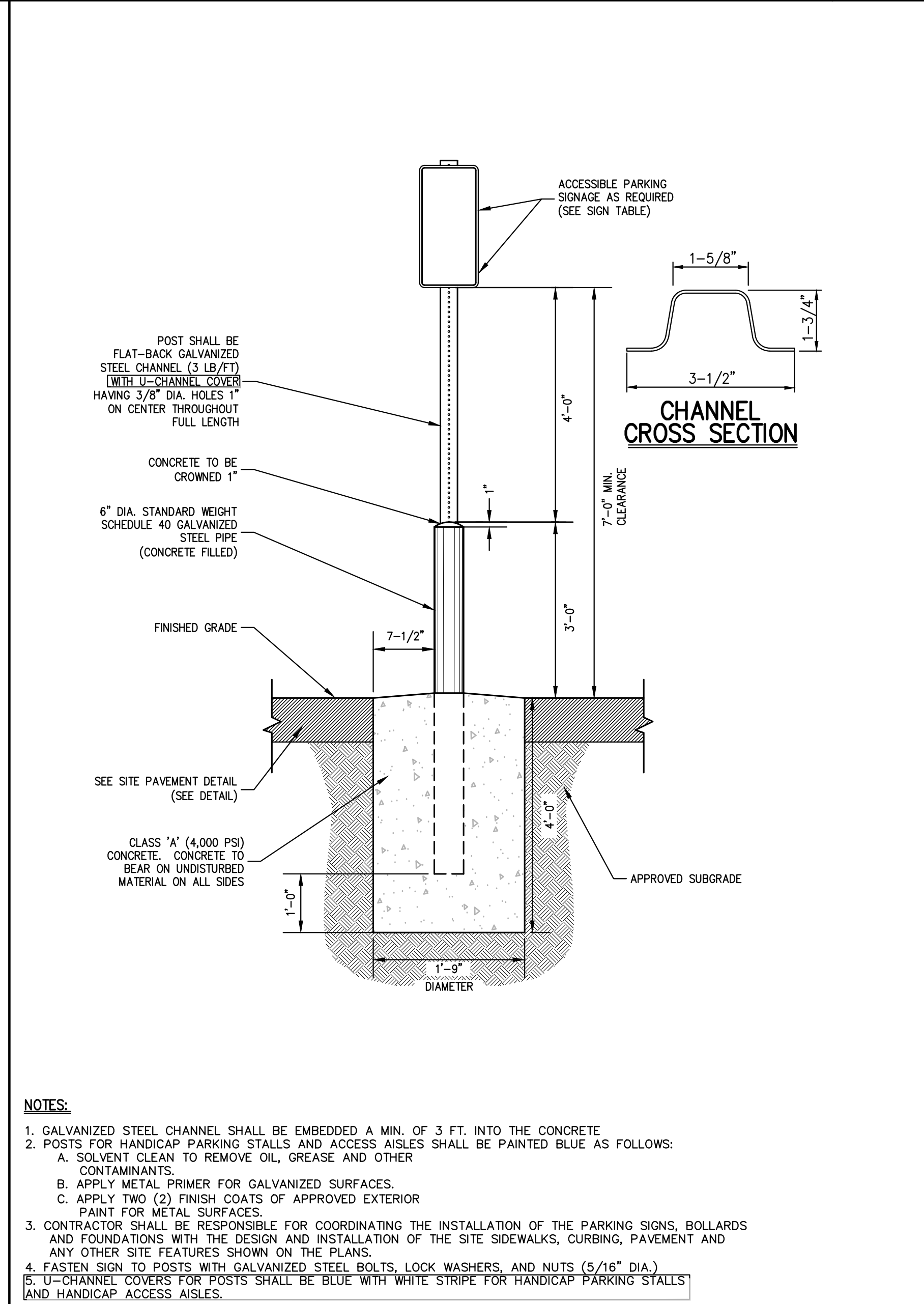
**NOTE:**

- WHEN BACK TO BACK SIGNS ARE DESIGNATED TO SHARE ONE POST, SIGNS SHALL BE AFFIXED TO POST USING ALUMINUM OR STAINLESS STEEL Z-BAR STRINGER.



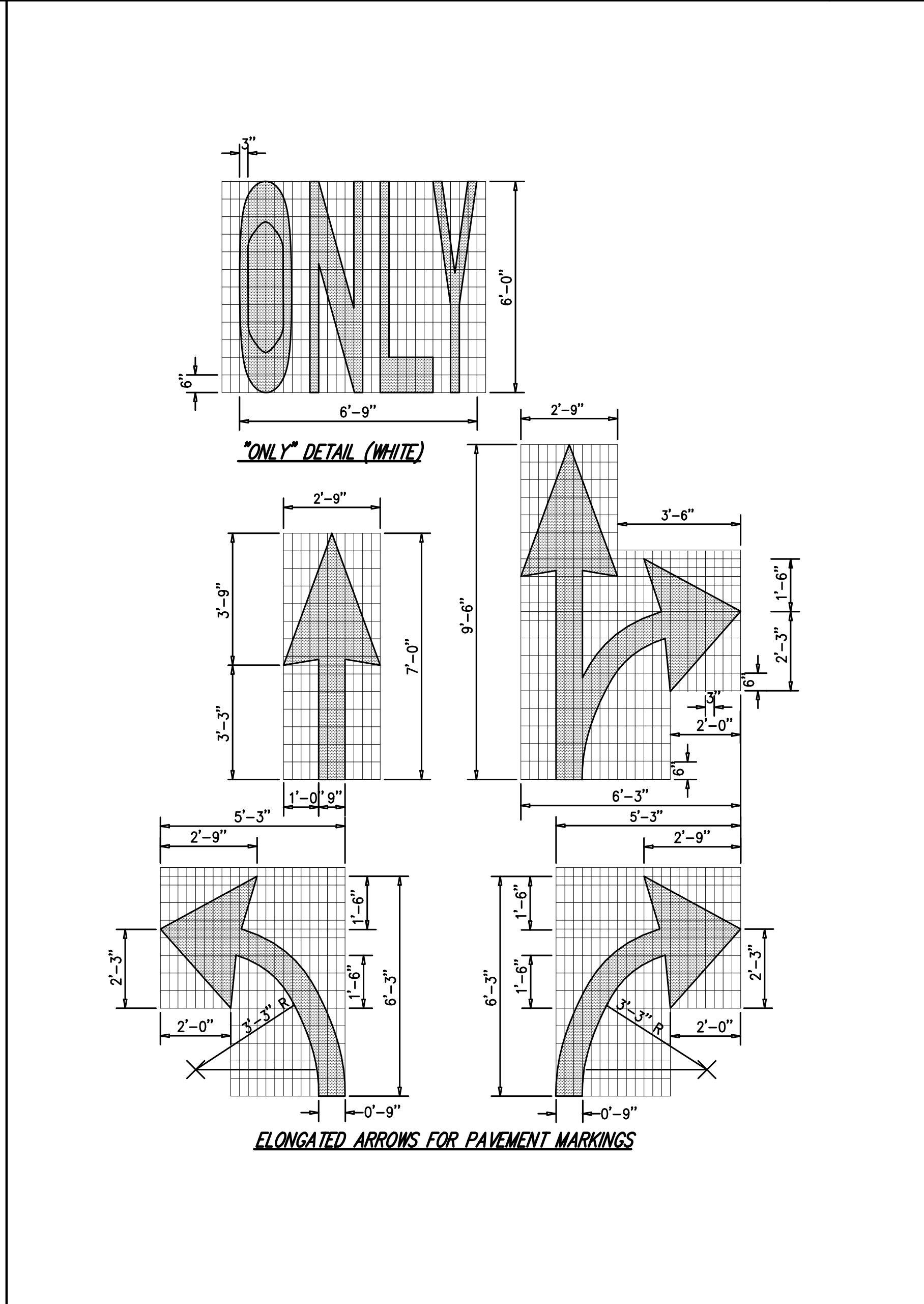
**NOTES:**

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**NOTES:**

- GALVANIZED STEEL CHANNEL SHALL BE EMBEDDED A MIN. OF 3 FT. INTO THE CONCRETE
- POSTS FOR HANDICAP PARKING STALLS AND ACCESS AISLES SHALL BE PAINTED BLUE AS FOLLOWS:
  - A. SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
  - B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.
  - C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PARKING SIGNS, BOLLARDS AND FOUNDATIONS WITH THE DESIGN AND INSTALLATION OF THE SITE SIDEWALKS, CURBS, PAVEMENT AND ANY OTHER SITE FEATURES SHOWN ON THE PLANS.
- FASTEN SIGN TO POSTS WITH GALVANIZED STEEL BOLTS, LOCK WASHERS, AND NUTS (5/16\"/>



**NOTES:**

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  - B. APPLY METAL PRIMER FOR GALVANIZED SURFACES.
  - C. APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.

NOT FOR CONSTRUCTION

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1.	REVISED PER TOWN COMMENTS	07/25/2021
2.	REVISED PER TOWN COMMENTS	04/12/2021

APPLICANT/OWNER:  
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63 EAST MAIN STREET  
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**JMC**

**CONSTRUCTION DETAILS**

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100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK

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Drawn: **NC** Approved: **DL**

Scale: **NOT TO SCALE**

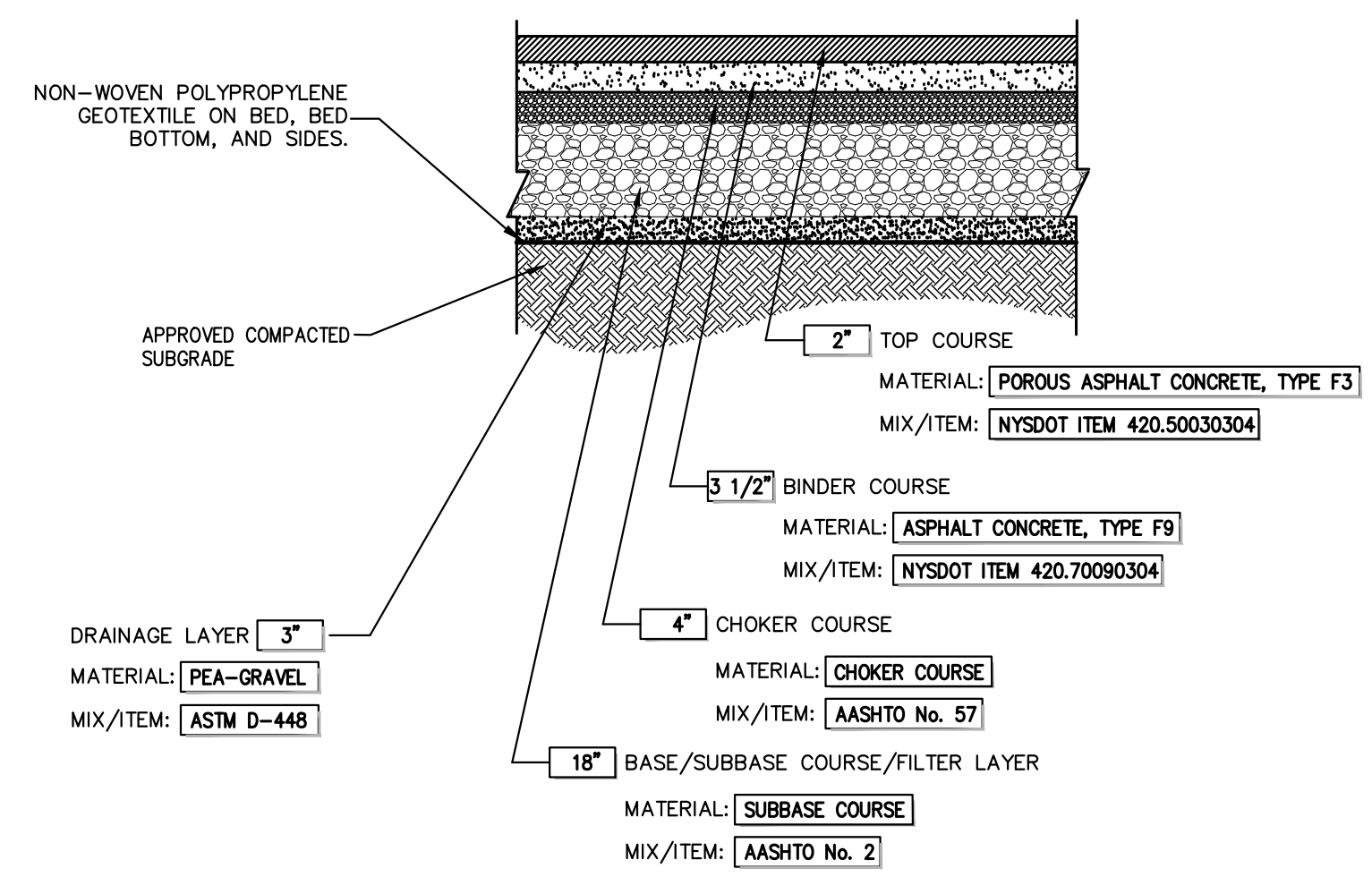
Date: **03/23/2020**

Project No: **19124**

Sheet No: **DET-2**

Drawing No: **C-901**

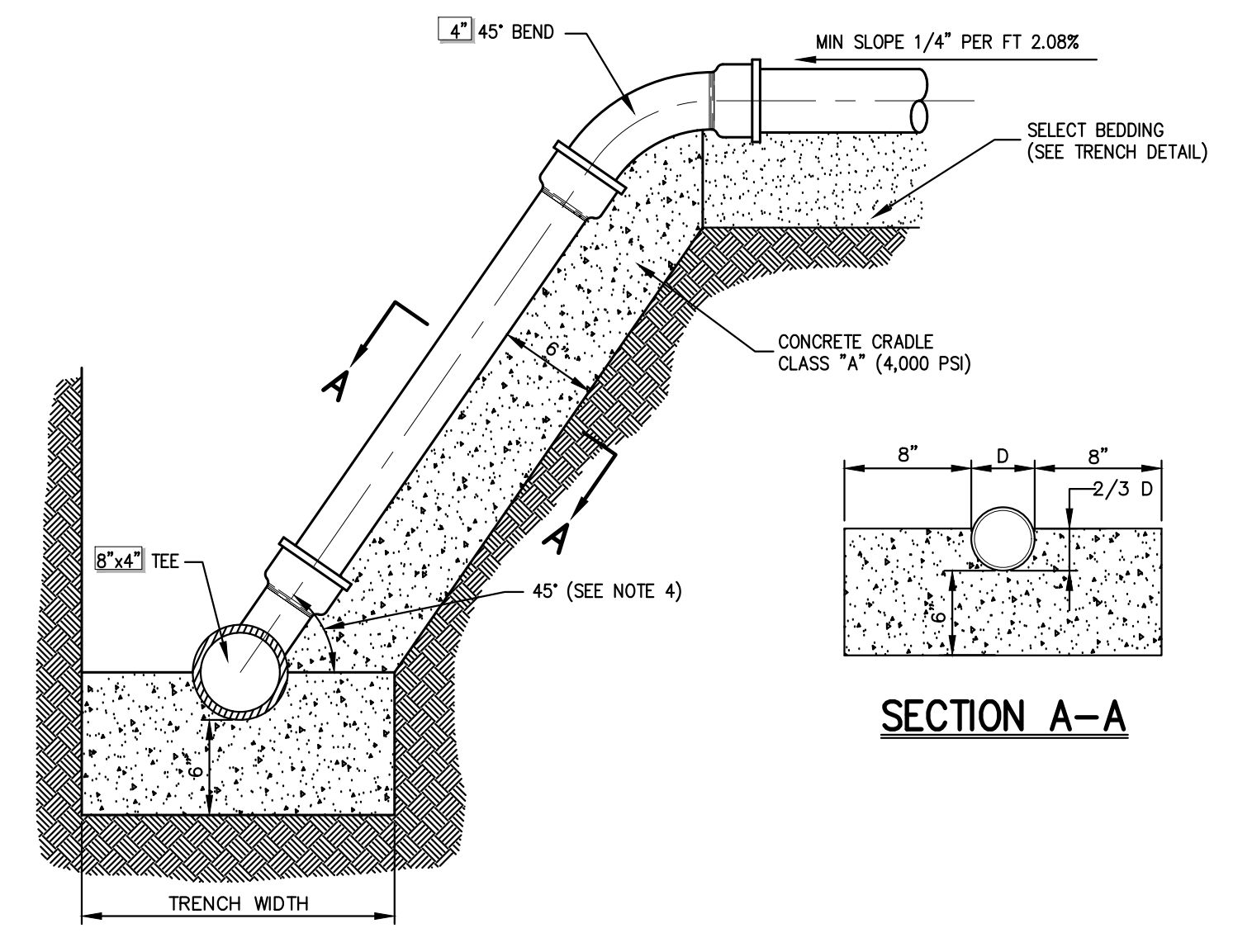




- NOTES:**
- THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
  - MATERIAL AND MIX/ITEM NUMBERS REFER TO NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO), AND AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)

**POROUS ASPHALT PAVEMENT**

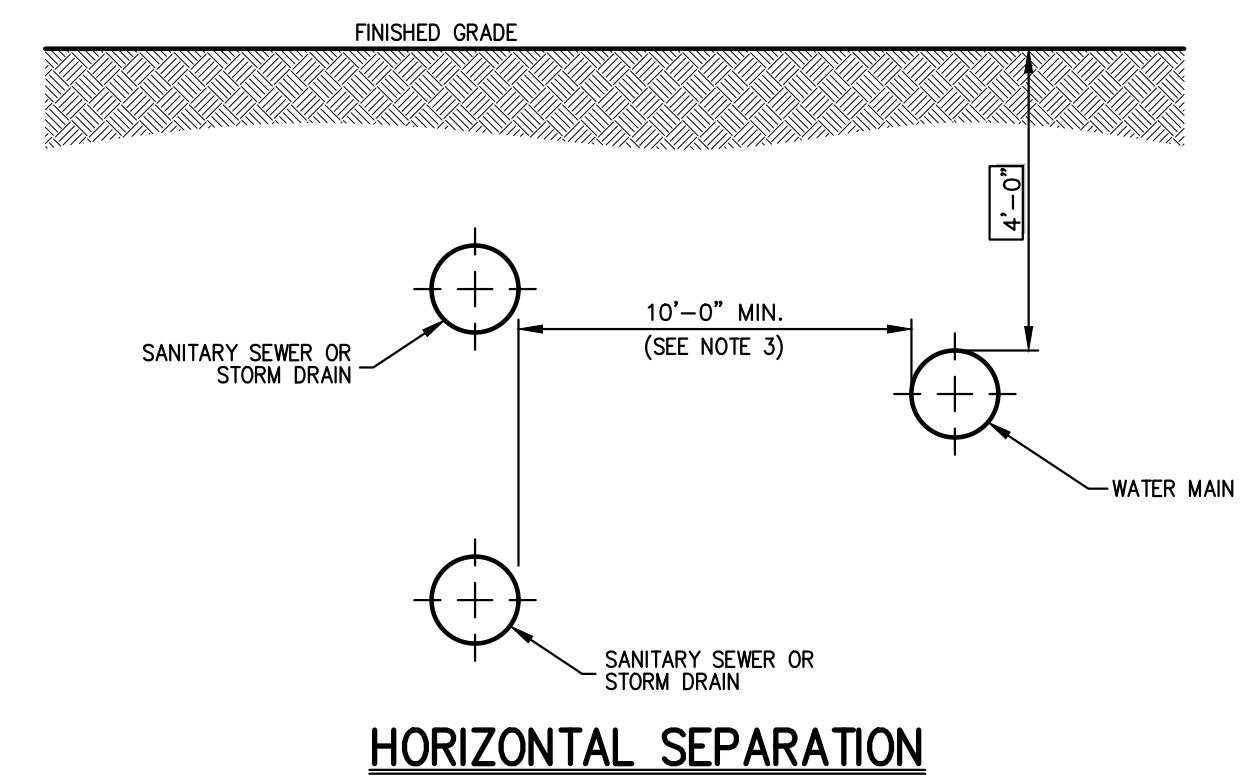
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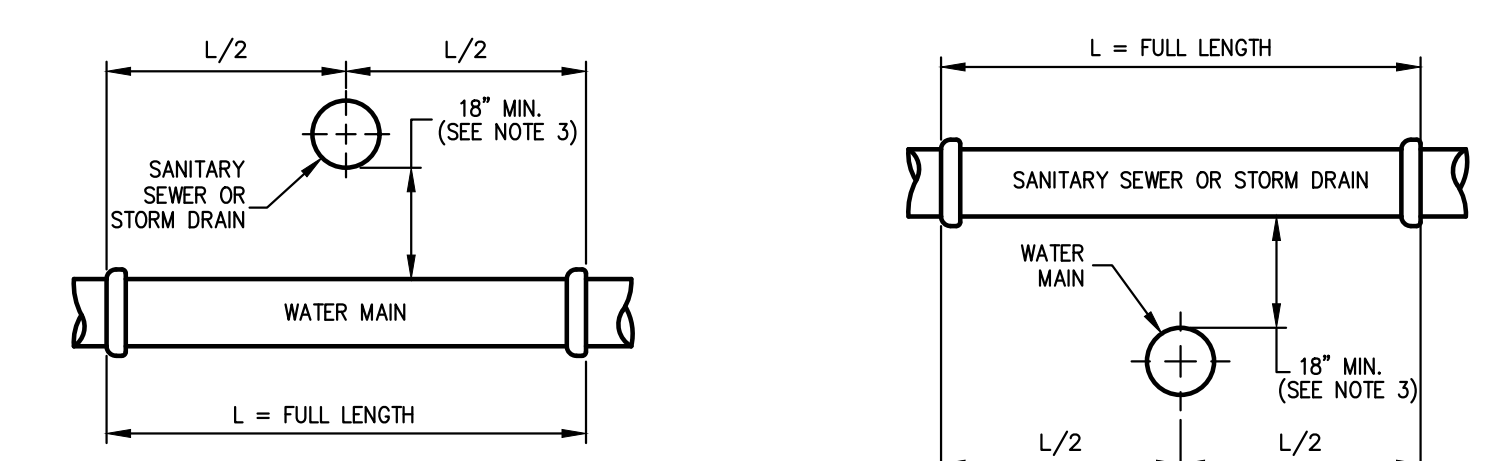
- NOTES:**
- ALL SERVICE LINES SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.
  - SERVICE LINE LOCATION, GRADE AND ALIGNMENT SHALL BE AS SHOWN ON DRAWINGS OR AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
  - WHERE SERVICE LINES ARE TO BE DEAD-ENDED, CONTRACTOR SHALL INSTALL APPROVED WATER-TIGHT AND PRESSURE-TIGHT PLUGS.
  - IF MINIMUM COVER CANNOT BE ATTAINED WHILE MAINTAINING MINIMUM SLOPE, THE ANGLE OF CONNECTION MAY BE REDUCED TO 22.5°, IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE AND COVERING BODY WITH JURISDICTION.
  - SANITARY SEWER SERVICE LINE INCLUDING FITTINGS SHALL BE DEP. CLASS 52

**SANITARY SEWER SERVICE CONNECTION**

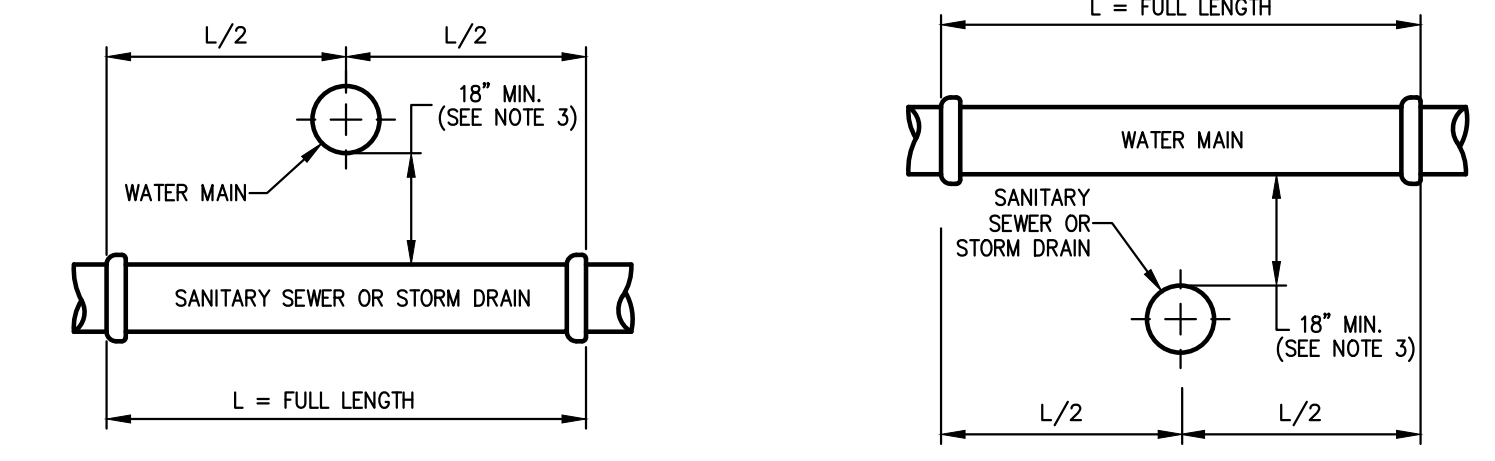
18



**HORIZONTAL SEPARATION**



**SANITARY SEWER OR STORM DRAIN OVER WATER MAIN**



**WATER MAIN OVER SANITARY SEWER OR STORM DRAIN**

**VERTICAL SEPARATION**

- NOTES:**
- NORMAL CONDITIONS:**
    - WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
    - FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
  - WATER MAIN CROSSING UNDER SANITARY SEWERS:**
    - VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
    - ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
  - IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JOHN MEYER CONSULTING OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH PRIOR TO INSTALLATION.

**SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES**

19

**NOTES PERTAINING TO DRAIN INLETS**

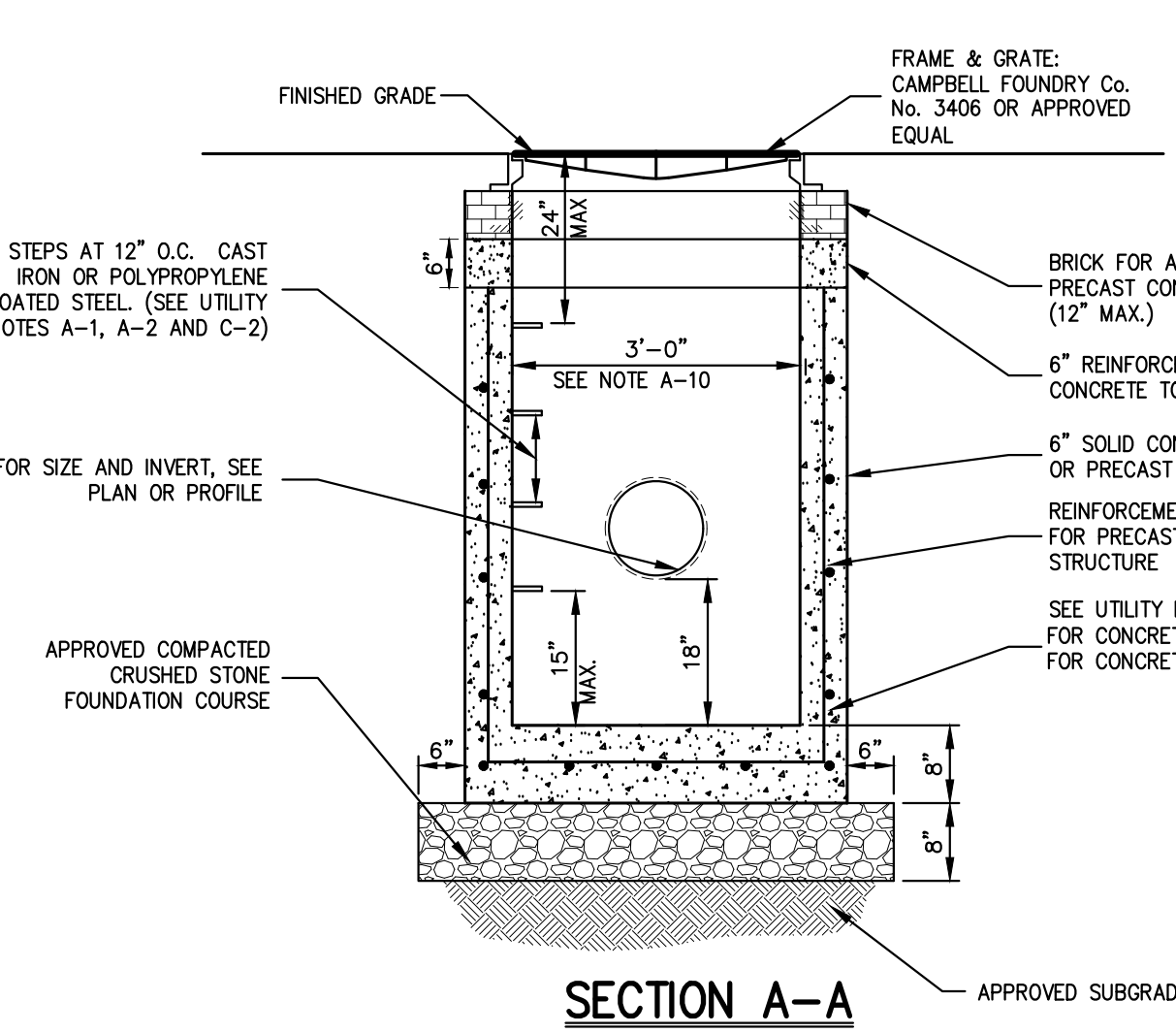
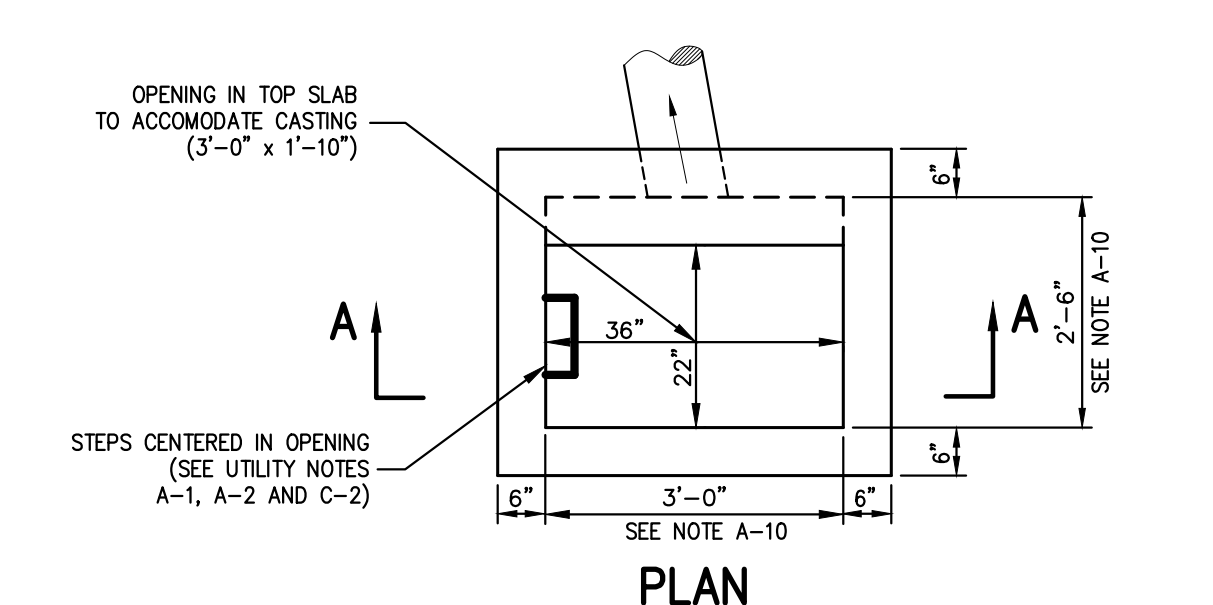
- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A" (4,000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING COBALT MORTAR GROUT, APPROVED EQUAL TO Sika-SET AS MANUFACTURED BY THE Sika CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

**NOTES PERTAINING TO MANHOLES**

- PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

**NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**

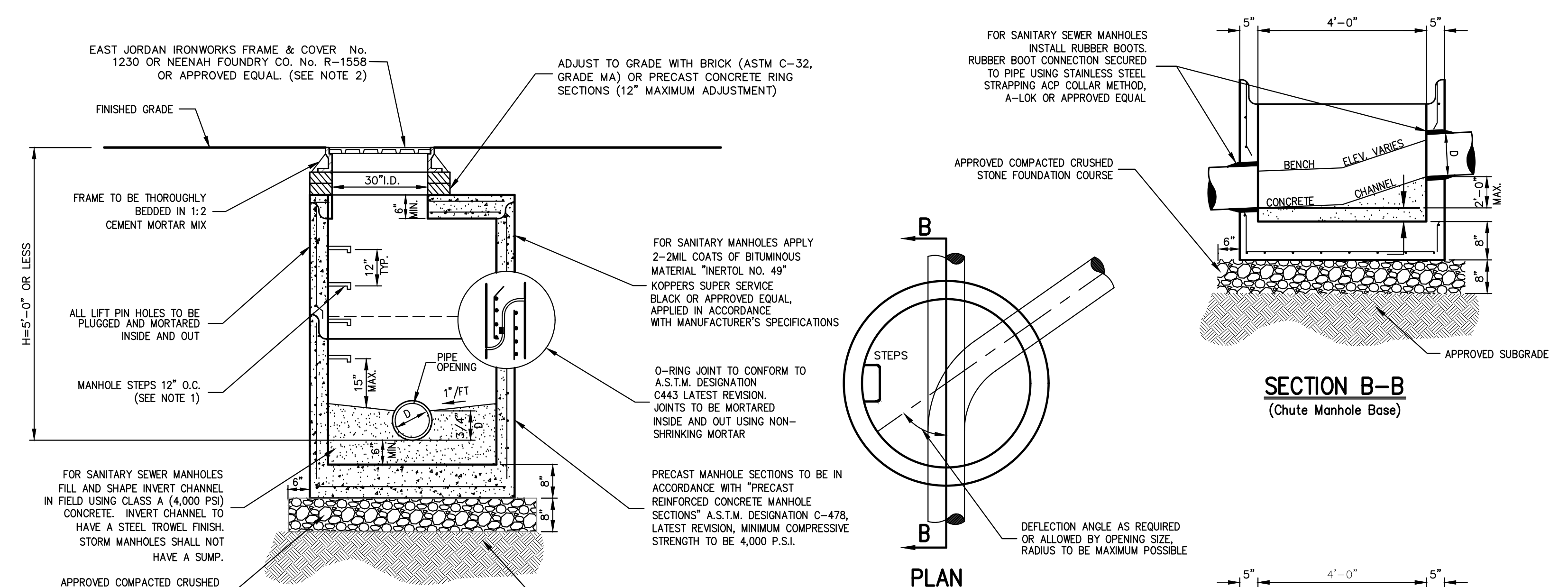
- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.



- NOTE:**
- REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
  - SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING C-902

**DRAIN INLET (TYPE DI)**  
(with sump-w/o finger underdrains)

21



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
  - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS SHALL HAVE VENT HOLES.
  - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
  - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING C-902

**MANHOLE (TYPE A)**  
(H < 5'-0")

22

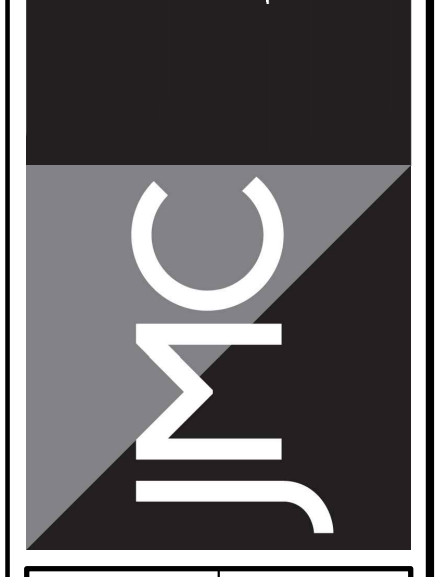
NOT FOR CONSTRUCTION

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	07/25/2021
2.	REVISED PER TOWN COMMENTS	04/12/2021

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
100 BUSINESS PARK DRIVE  
ARMONK, NY 10504

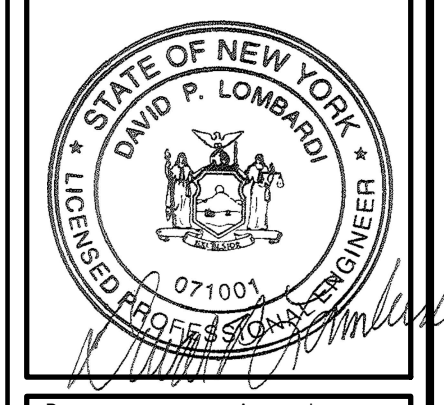
ARCHITECT:  
**J GROUP DESIGNS, LLC**  
63 EAST MAIN STREET  
PAWLING, NY 12564

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.473.6225 • fax 914.473.2102  
www.jmcpllc.com

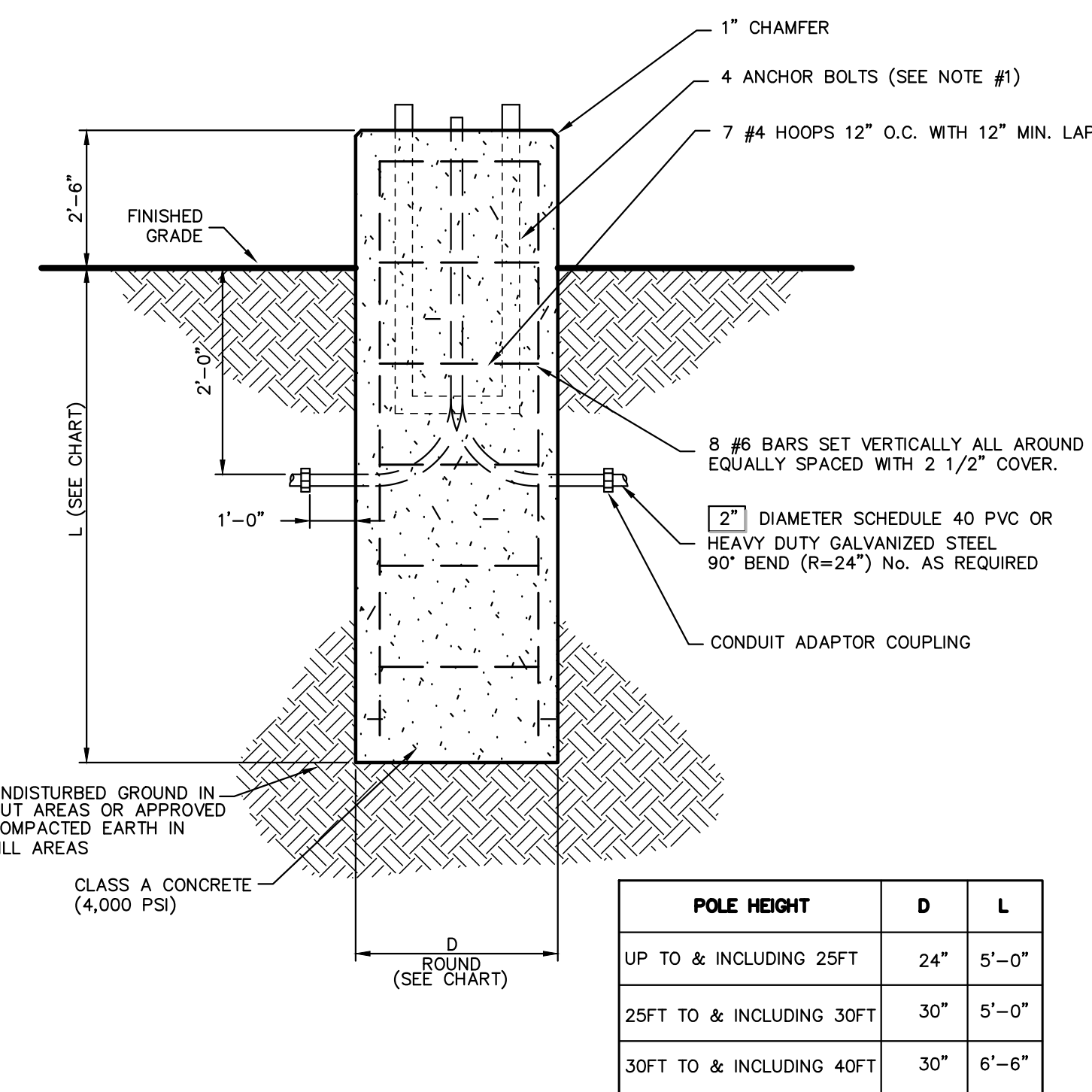


**CONSTRUCTION DETAILS**  
PROPOSED WAREHOUSE  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



Client:	NC	Approval:	DL
Scale:	NOT TO SCALE		
Date:	03/23/2020		
Project No.:	19124		
REV-DRAW:	DET-3		
Drawing No.:	C-902		



### Noctura Series

**Product Description**  
The Noctura™ LED Area Luminaire minimizes cost of ownership with easy installation, high performance and quality backed by a Cree Lighting 5-year limited warranty. The Noctura Series has a coordinated style across area, flood and wall mount luminaires to provide a consistent daytime appearance across a building site or campus. Versatile mounting configurations offer installation flexibility and ease of application for direct pole, fence or vertical face surface mounting.

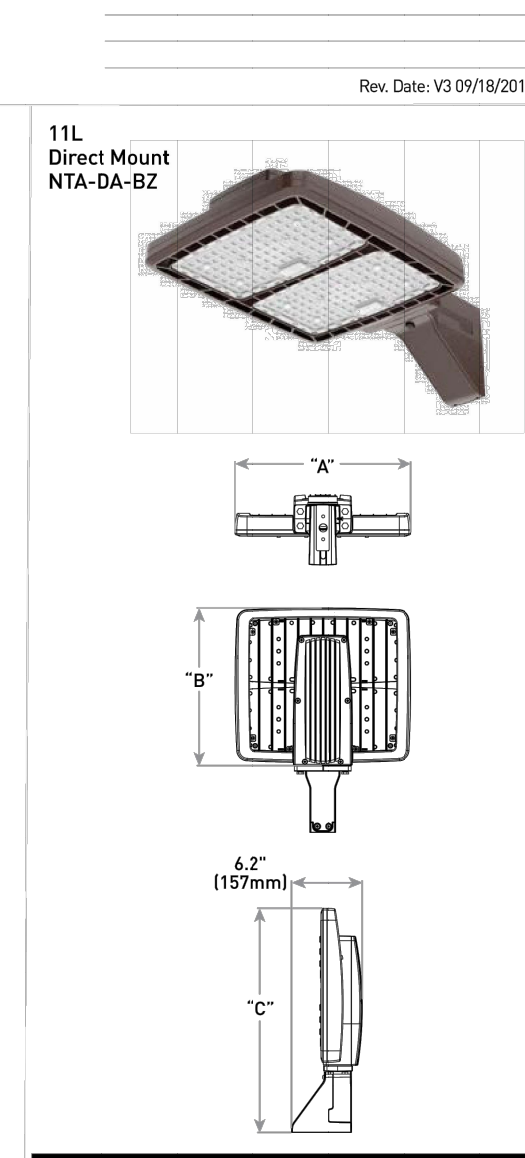
**Performance Summary**  
Lumen Output: Up to 35,600 lumens  
Efficacy: Up to 150 LPW  
CRI: Minimum 70 CRI  
CCT: 4000K, 5000K  
Limited Warranty: 5 years on luminaires

**Accessories**

Field Installed	Field Install	Field Install
Baseplate Mount	Direct Pole Mount	Adjustable Arm Mount
For use with 1L, only	For use with 1L, only	For use with 1L, only
For use with 1L, only	For use with 1L, only	For use with 1L, only
For use with 1L, only	For use with 1L, only	For use with 1L, only

**Ordering Information**  
Fully assembled luminaire is composed of two components that must be ordered separately. Example: **NTA-DA-1L-30FT** = Luminaire, **NTA-DA-1L-30FT-UL-30** = Pole

Product	Version	Mounting	Optic	Lumen Package*	CCT	Voltage	Color Options
NTA	A	NM	Type II Medium	11L	5000K	UL	Black
				11L	4000K	UL	Black
				11L	5000K	UL	Black
				11L	5000K	UL	Black



Lumen Package	Weight	Dim "A"	Dim "B"	Dim "C"	Dim "D"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"

### Noctura Series

**Product Description**  
The Noctura™ LED Wall Mount Luminaire minimizes cost of ownership with easy installation, high performance and quality backed by a Cree Lighting 5-year limited warranty. The Noctura Series has a coordinated style across area, flood and wall mount luminaires to provide a consistent daytime appearance across a building site or campus. Versatile mounting configurations offer installation flexibility and ease of application for direct pole, fence or vertical face surface mounting.

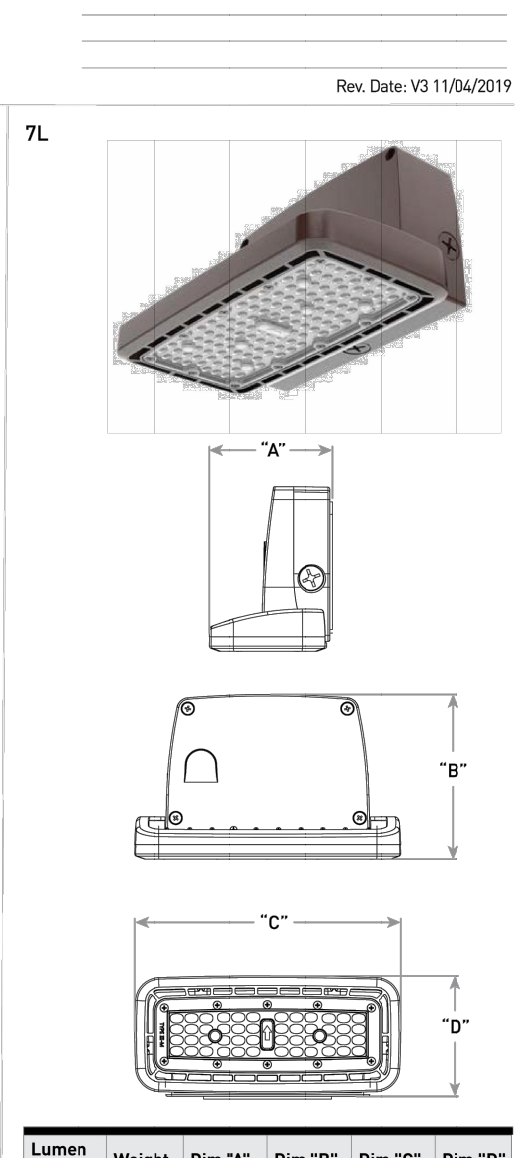
**Performance Summary**  
Lumen Output: Up to 22,600 lumens  
Efficacy: Up to 154 LPW  
CRI: Minimum 70 CRI  
CCT: 4000K, 5000K  
Limited Warranty: 5 years on luminaires

**Accessories**

Field Installed	Field Install	Field Install
Baseplate Mount	Direct Pole Mount	Adjustable Arm Mount
For use with 1L, only	For use with 1L, only	For use with 1L, only
For use with 1L, only	For use with 1L, only	For use with 1L, only
For use with 1L, only	For use with 1L, only	For use with 1L, only

**Ordering Information**  
Fully assembled luminaire is composed of two components that must be ordered separately. Example: **NTA-DA-1L-30FT** = Luminaire, **NTA-DA-1L-30FT-UL-30** = Pole

Product	Version	Mounting	Optic	Lumen Package*	CCT	Voltage	Color Options
NTA	A	NM	Type II Medium	11L	5000K	UL	Black
				11L	4000K	UL	Black
				11L	5000K	UL	Black
				11L	5000K	UL	Black



Lumen Package	Weight	Dim "A"	Dim "B"	Dim "C"	Dim "D"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"

### SSS Series

**Product Description**  
The SSS Series proprietary Crown-Weld® pole base crown weld configuration was designed to minimize stress on areas most vulnerable to failure. Provide superior strength and higher wind load ratings, than poles of similar height and cross-section. Both premium pole design and extended life finish combine for a 7-year limited warranty for a reduced total cost of ownership.

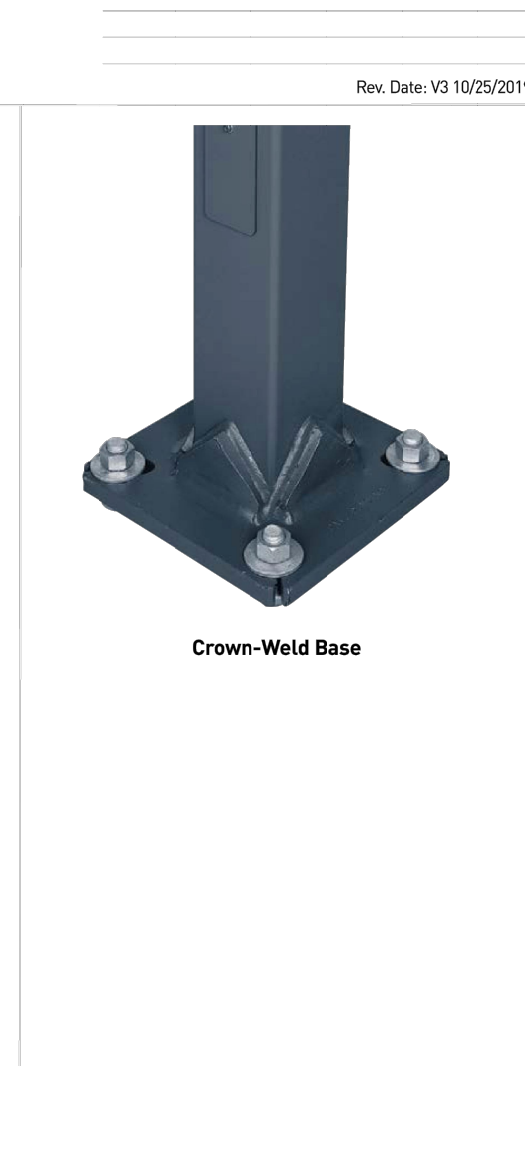
**Performance Summary**  
Lumen Output: Up to 22,600 lumens  
Efficacy: Up to 154 LPW  
CRI: Minimum 70 CRI  
CCT: 4000K, 5000K  
Limited Warranty: 5 years on luminaires

**Accessories**

Field Installed	Field Install	Field Install
Baseplate Mount	Direct Pole Mount	Adjustable Arm Mount
For use with 1L, only	For use with 1L, only	For use with 1L, only
For use with 1L, only	For use with 1L, only	For use with 1L, only
For use with 1L, only	For use with 1L, only	For use with 1L, only

**Ordering Information**  
Fully assembled luminaire is composed of two components that must be ordered separately. Example: **NTA-DA-1L-30FT** = Luminaire, **NTA-DA-1L-30FT-UL-30** = Pole

Product	Version	Mounting	Optic	Lumen Package*	CCT	Voltage	Color Options
NTA	A	NM	Type II Medium	11L	5000K	UL	Black
				11L	4000K	UL	Black
				11L	5000K	UL	Black
				11L	5000K	UL	Black



Lumen Package	Weight	Dim "A"	Dim "B"	Dim "C"	Dim "D"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"
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11L	22.3 lbs (10.1 kg)	18.0"	12.0"	18.0"	3.0"

- NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE LIGHTING STANDARD PRIOR TO INSTALLATION OF THE FOUNDATIONS.
  - CHAMFER EXPOSED EDGES OF ALL FOUNDATIONS.
  - PROVIDE INSULATED GROUNDING BUSHING ON EXPOSED ENDS (IN BASE OF POLE) OF ALL GALVANIZED STEEL BENDS.
  - POLES AND LUMINAIRES WILL BE FURNISHED AND INSTALLED BY OTHERS.

**CREE LIGHTING**

US: [cree.com](http://cree.com) 800.234.4800  
Canada: [cree.com/canada](http://cree.com/canada) 800.473.1234

**CREE LIGHTING**

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Canada: [cree.com/canada](http://cree.com/canada) 800.473.1234

**CREE LIGHTING**

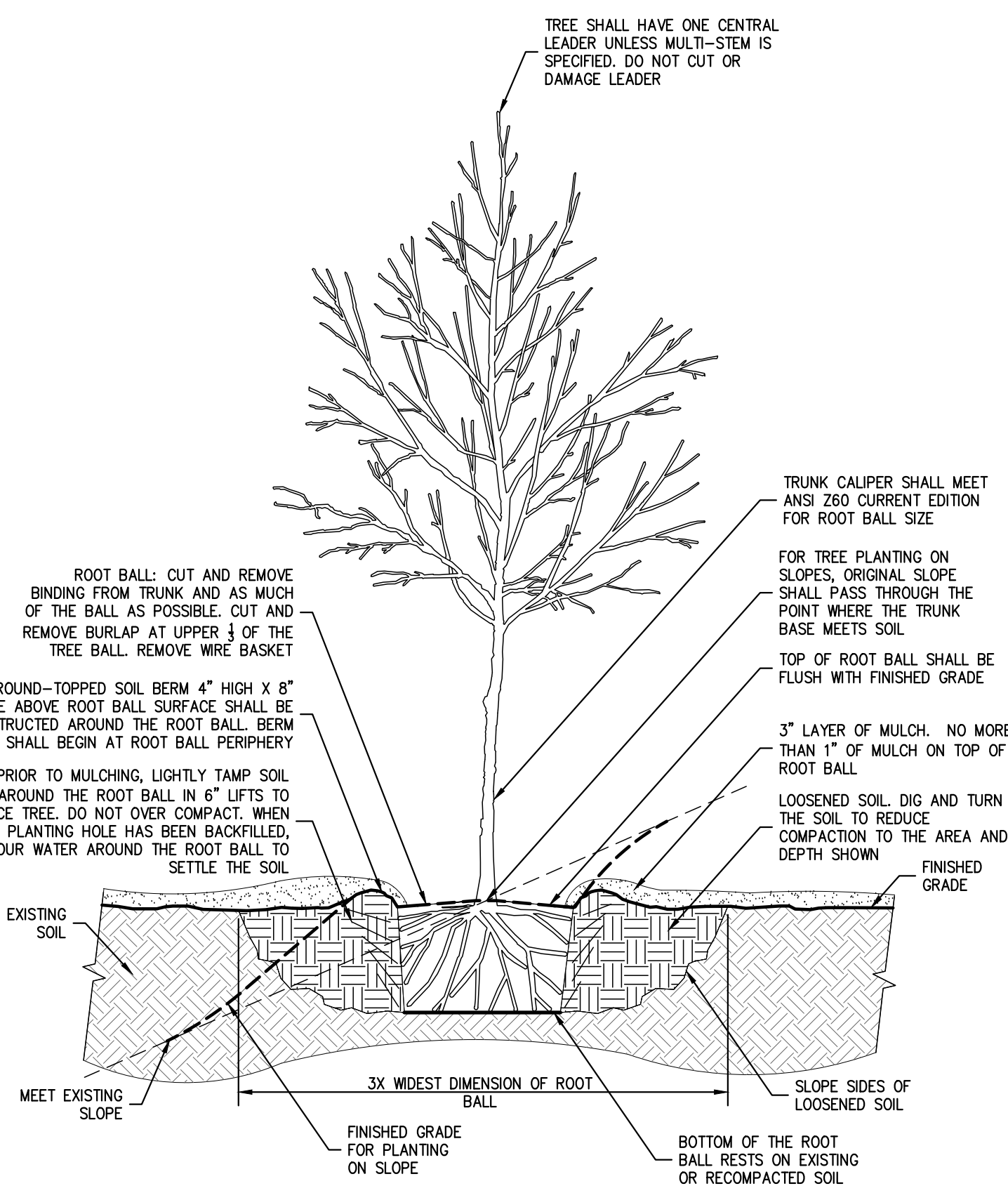
US: [cree.com](http://cree.com) 800.234.4800  
Canada: [cree.com/canada](http://cree.com/canada) 800.473.1234

## LIGHTING STANDARD FOUNDATION (ROUND)

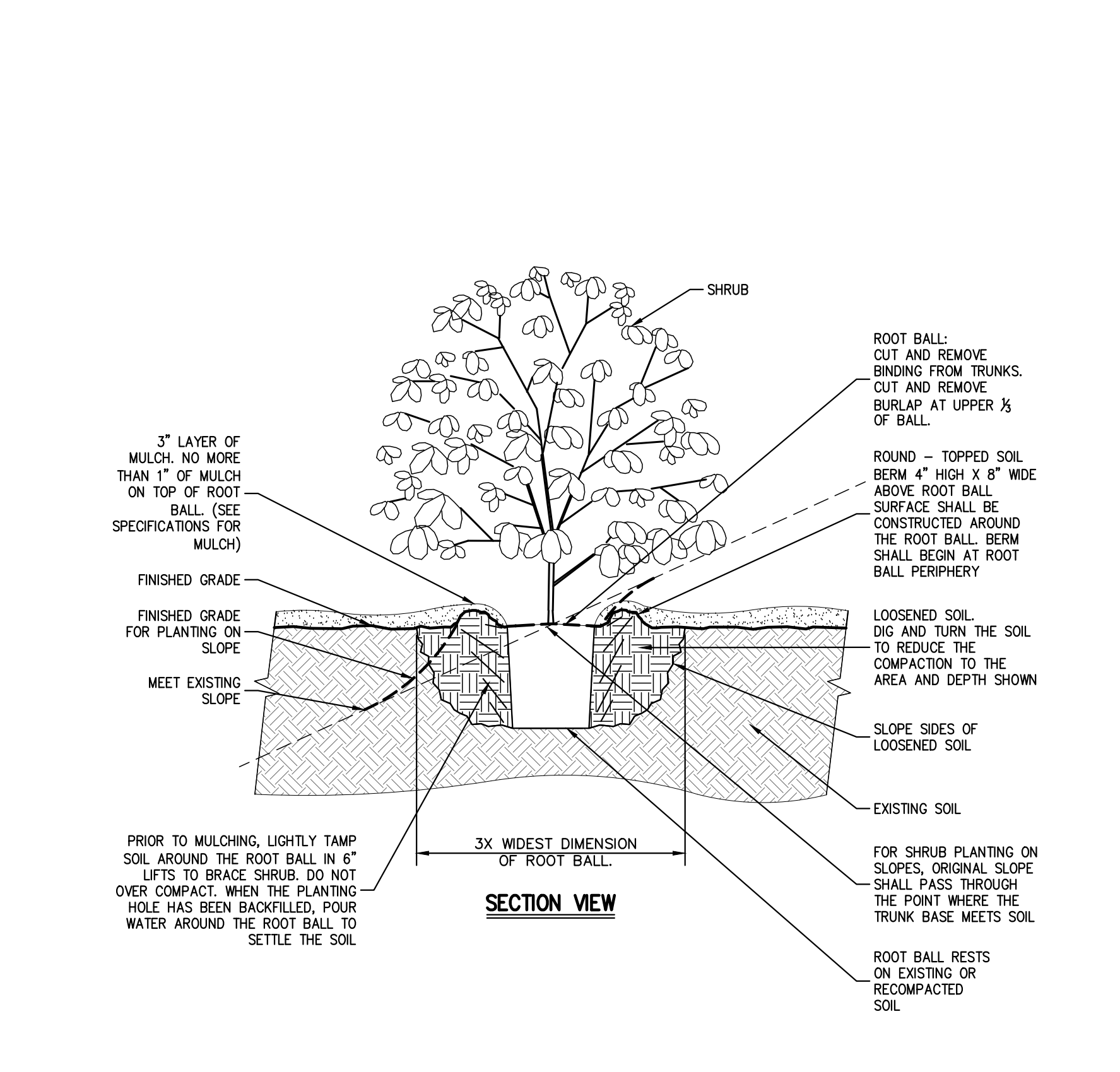
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## LIGHT FIXTURES AND POLES

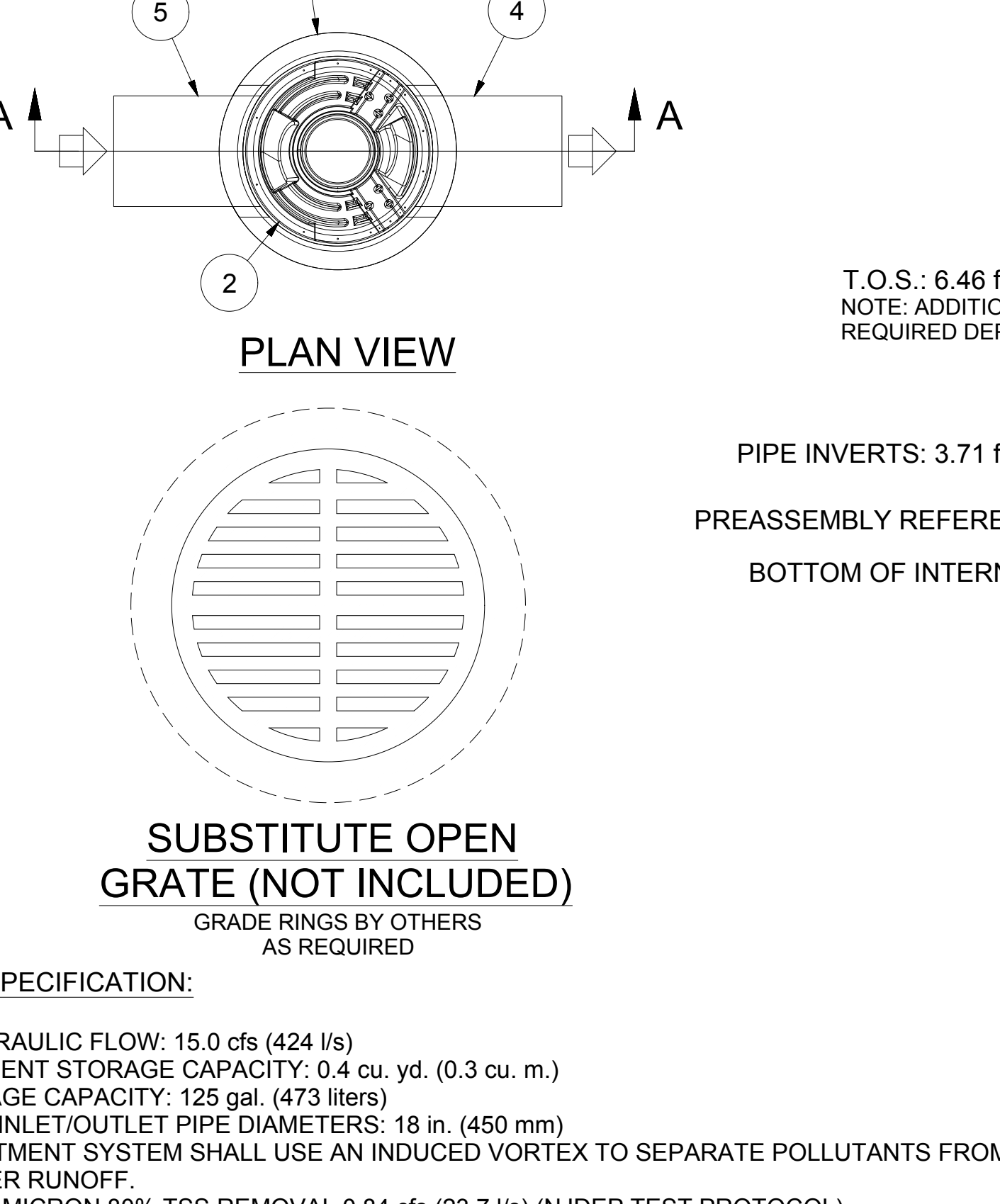
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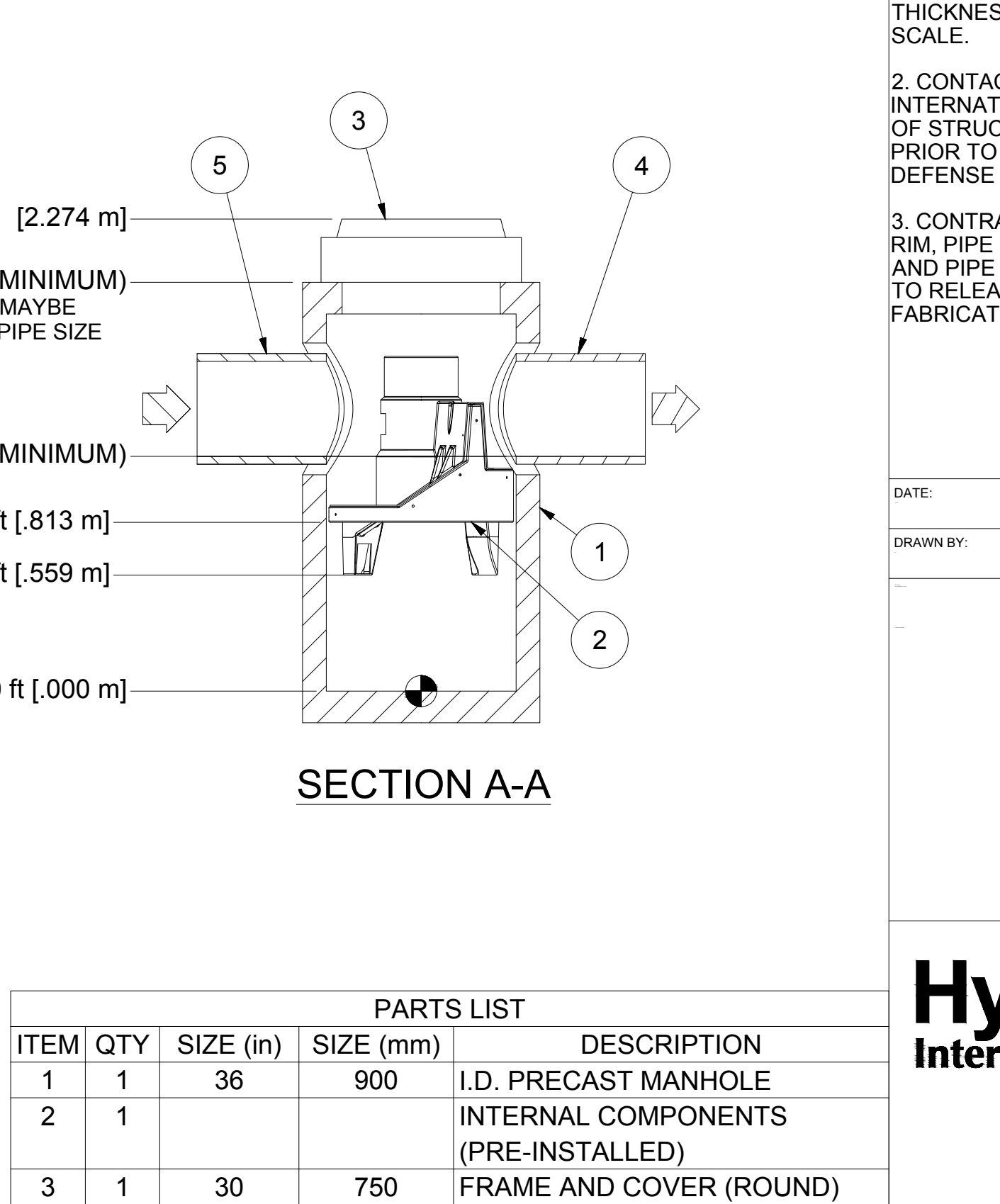
25



26



**FIRST DEFENSE HYDRODYNAMIC SEPARATOR**



**Hydro International**

DATE: 03/23/2020  
SCALE: NOT TO SCALE  
PROJECT NO: 19124  
SHEET NO: 19124-4

## CONSTRUCTION DETAILS

**JMC**

PROPOSED WAREHOUSE  
100 BUSINESS PARK DRIVE  
TOWN OF NORTH CASTLE, NEW YORK

**Hydro International**

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DATE: 03/23/2020  
SCALE: NOT TO SCALE  
PROJECT NO: 19124  
SHEET NO: 19124-4

27

C-903

**ABBREVIATIONS**

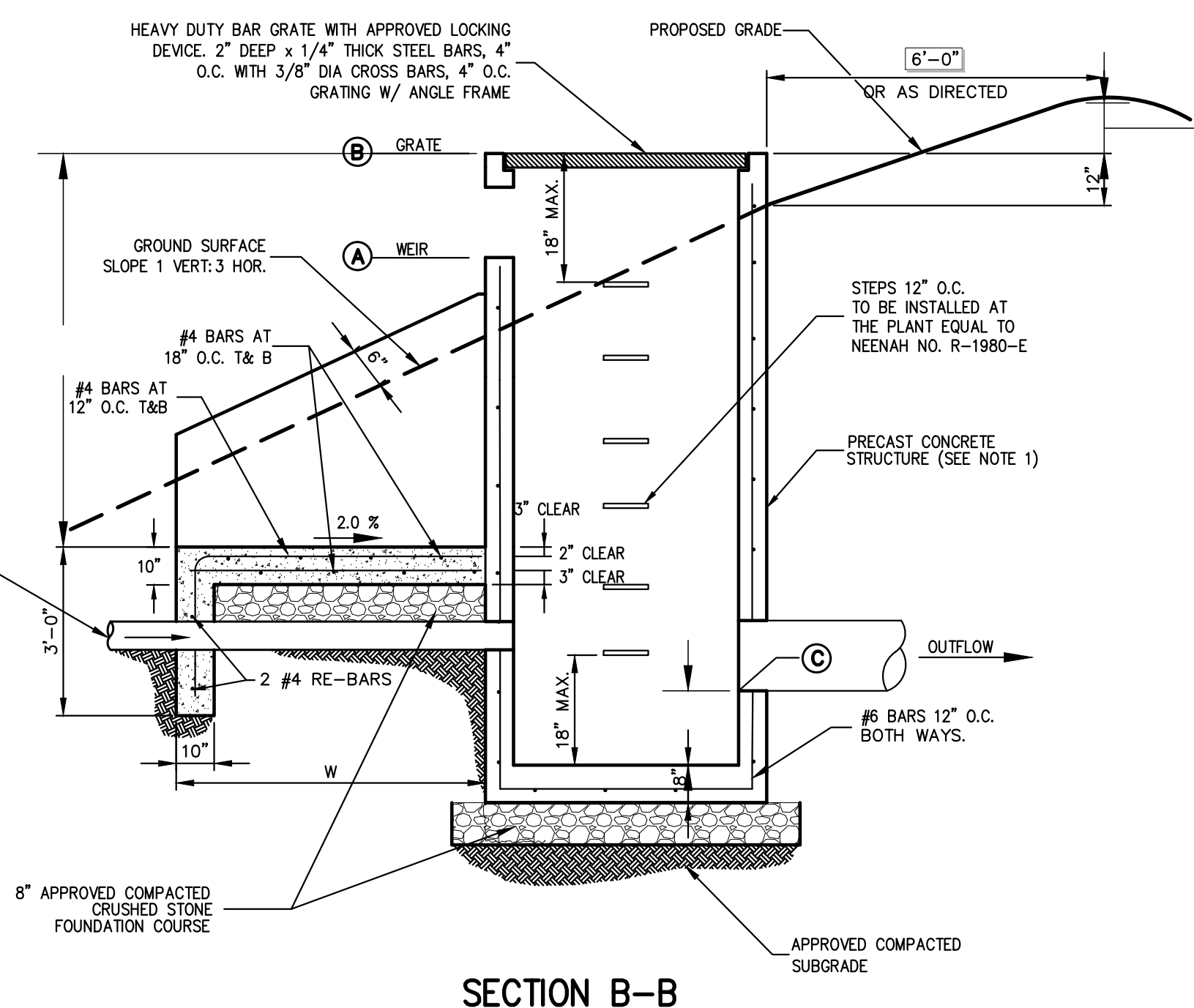
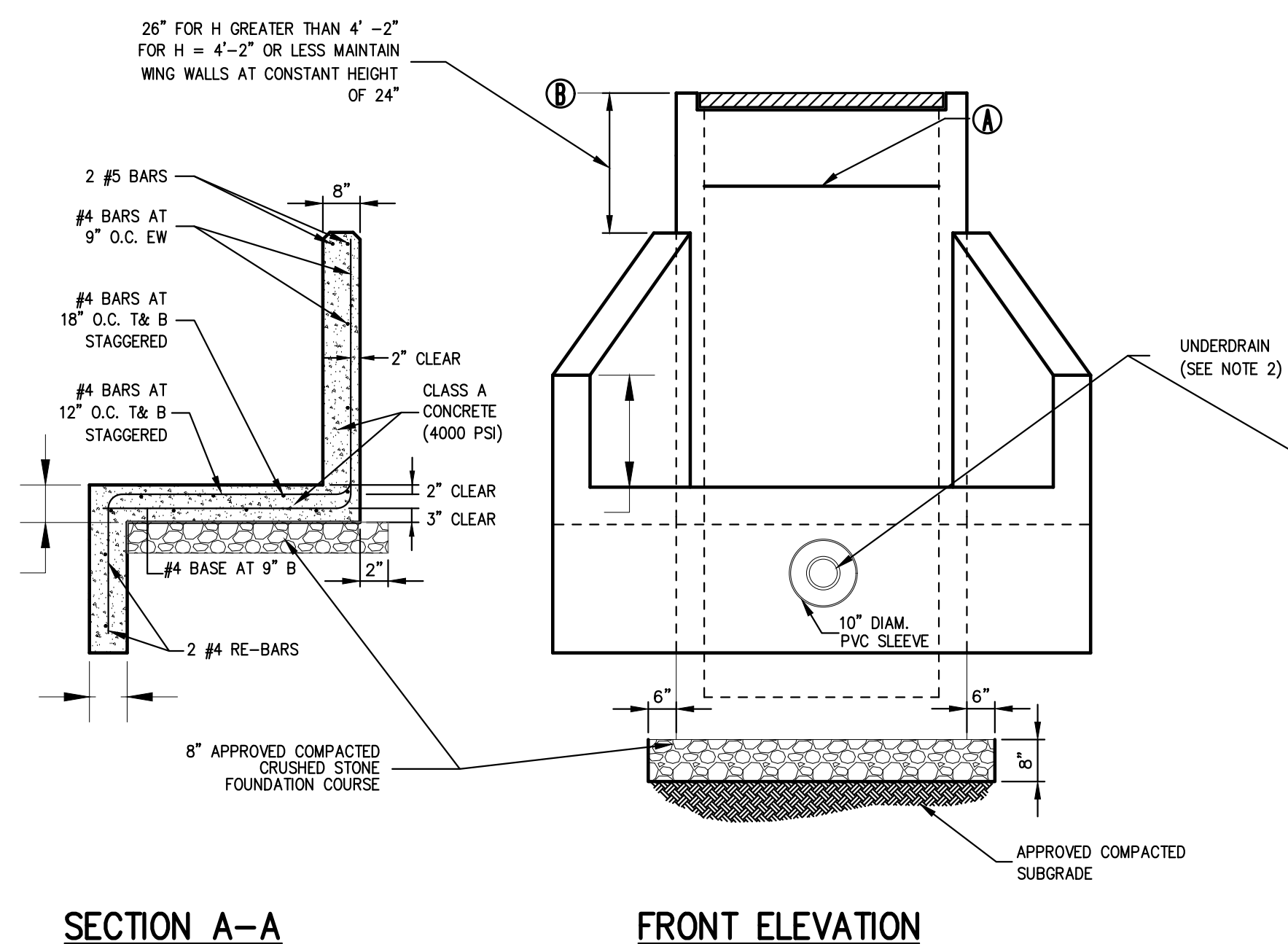
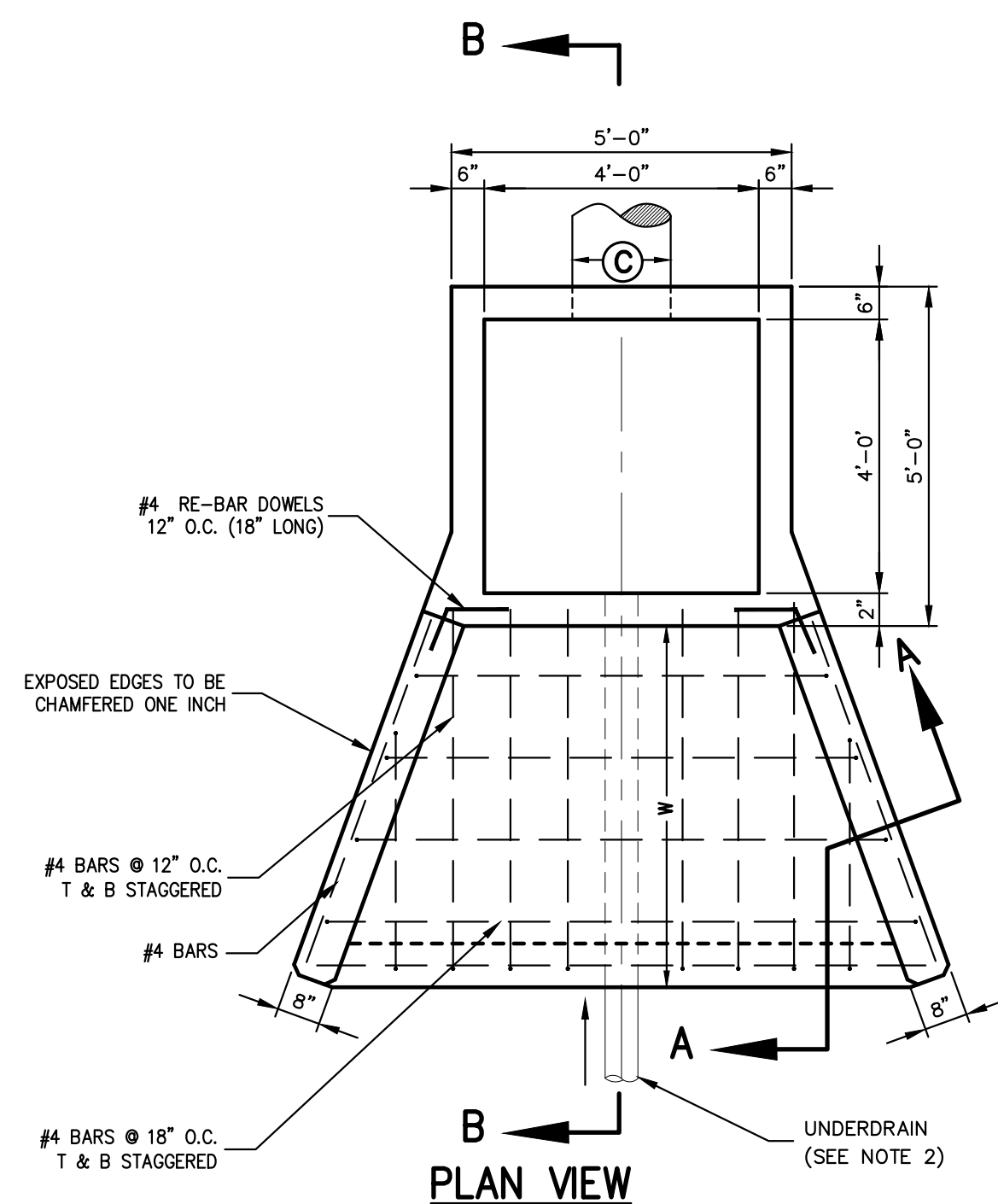
OCS OUTLET CONTROL STRUCTURE  
 ELEV. ELEVATION  
 IF INFLOW  
 OF OUTFLOW  
 NA NOT APPLICABLE  
 O.C. ON CENTER  
 T&B TOP AND BOTTOM  
 EW EACH WAY

**NOTES:**

1. PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD
2. UNDERDRAINS SHALL BE INSTALLED IN BASIN A AND B.
3. SEE UTILITY NOTES A-4 TO A-7

**STRUCTURE CHART**

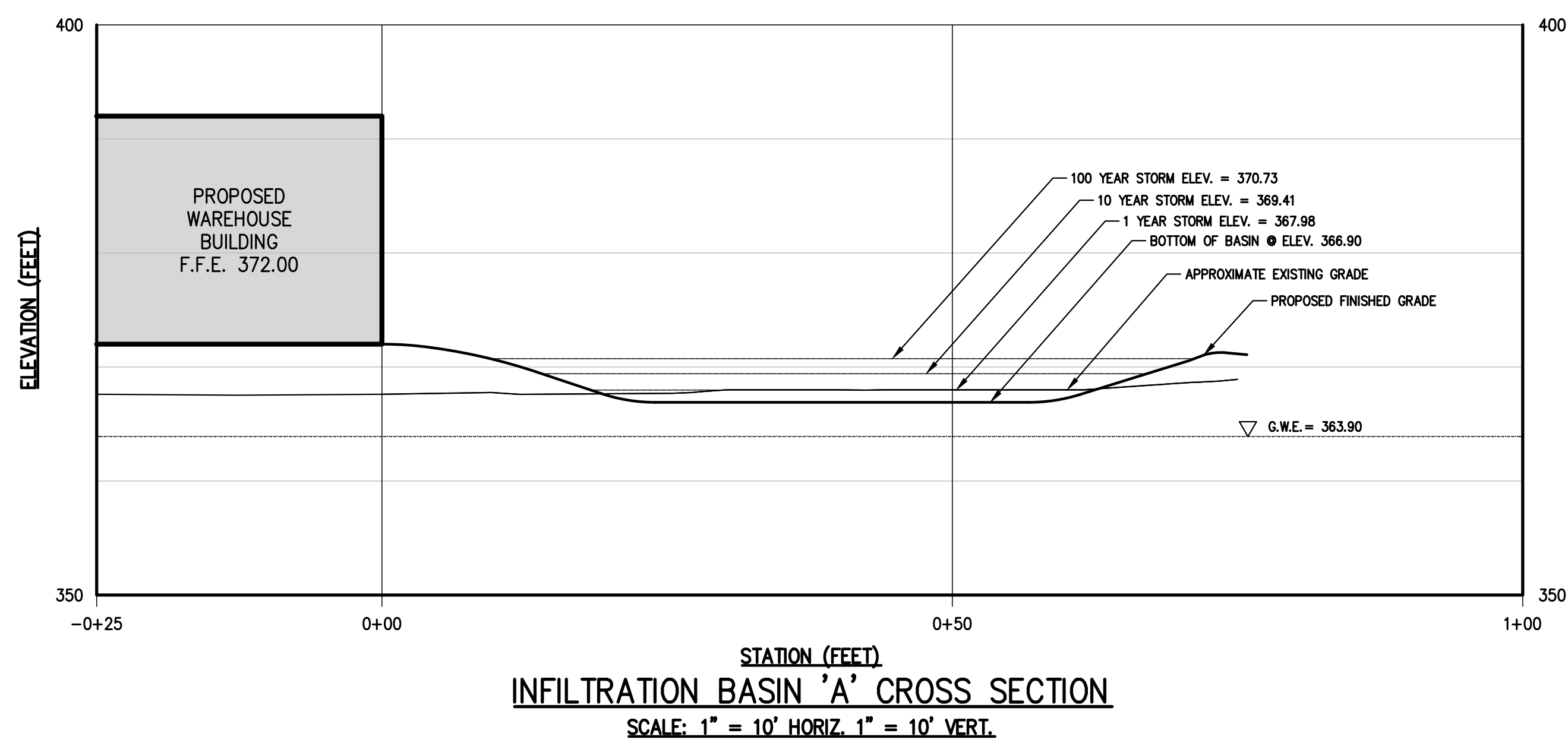
BASIN No.	STRUCTURE No.	PIPE/ORIFICE INVERT AND GRATE ELEVATIONS		
		WEIR (A)	GRATE (B)	PIPE OUT (C)
A	OCS-A	-	370.50	24" @ 366.90
B	OCS-B	4' @ 370.00	370.50	15" @ 365.00



**OUTLET CONTROL STRUCTURE**

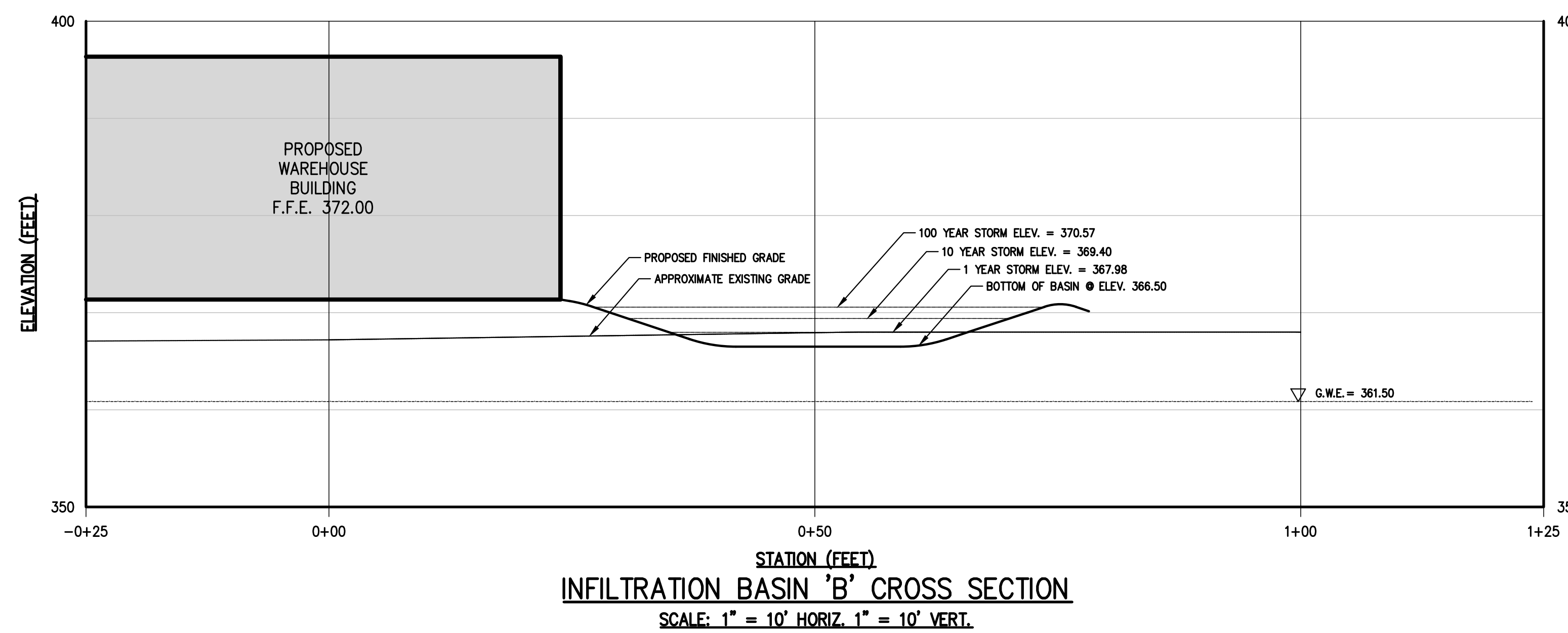
28

X



**INFILTRATION BASIN 'A' CROSS SECTION**

29



**INFILTRATION BASIN 'B' CROSS SECTION**

30

NOT FOR CONSTRUCTION

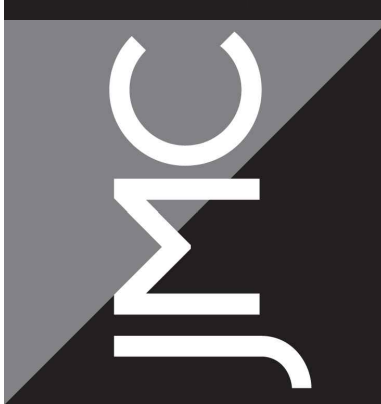
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No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	04/12/2021	PD

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
 100 BUSINESS PARK DRIVE  
 ARMONK, NY 10504

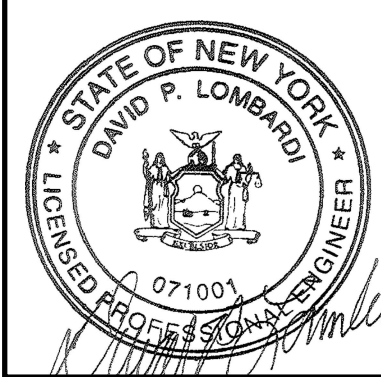
ARCHITECT:  
**J GROUP DESIGNS, LLC**  
 63 EAST MAIN STREET  
 PAWLING, NY 12564

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Mayer Consulting, Inc.  
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[www.jmcpic.com](http://www.jmcpic.com)



**CONSTRUCTION DETAILS**  
 PROPOSED WAREHOUSE  
 100 BUSINESS PARK DRIVE  
 TOWN OF NORTH CASTLE, NEW YORK

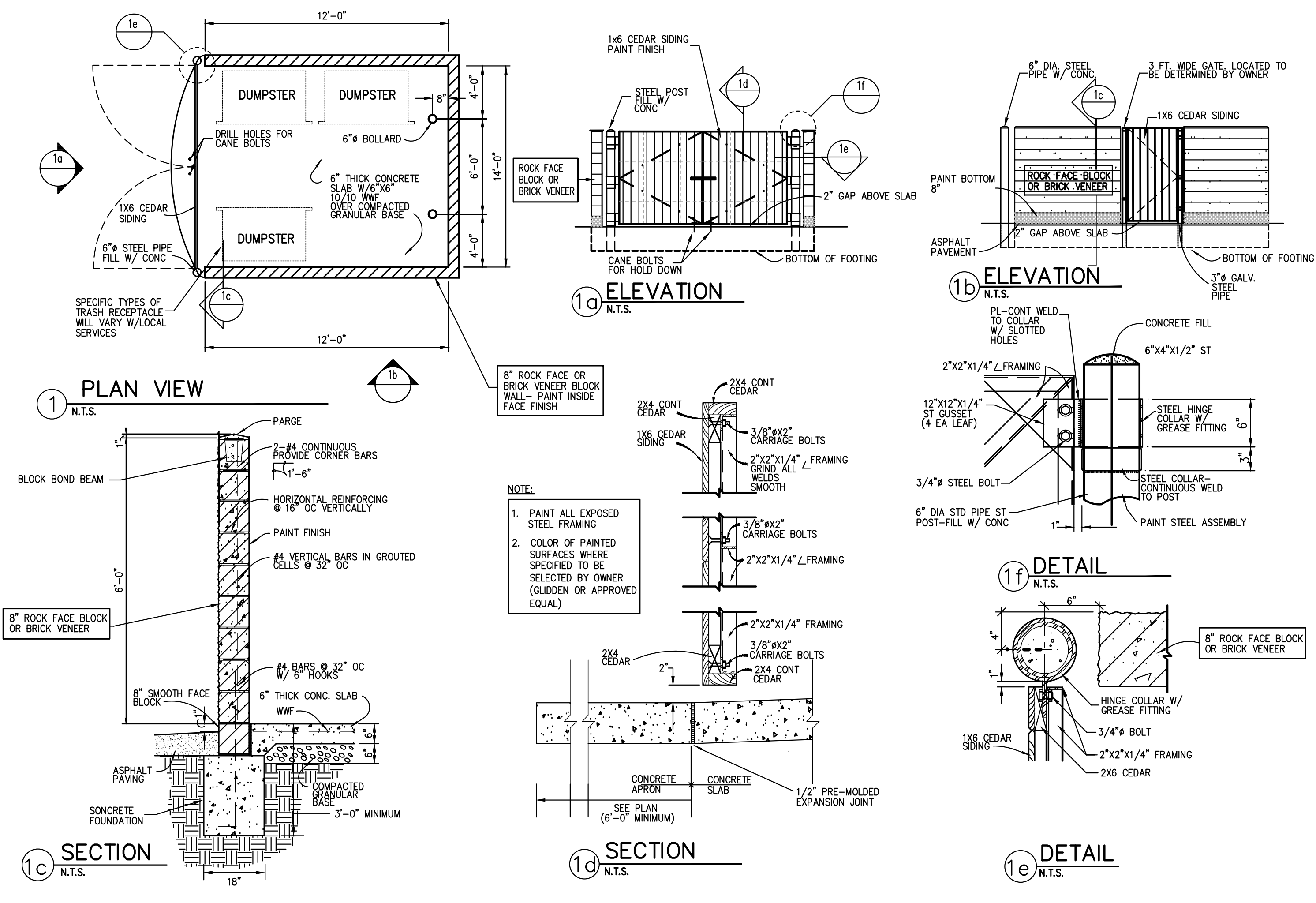
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Drawn: NC Approval: DL  
 Scale: NOT TO SCALE  
 Date: 01/25/2021  
 Project No: 19124  
 SHEET: DET-5  
 Drawing No: C-904

NOT FOR CONSTRUCTION

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TRASH ENCLOSURE ON CONCRETE PAD

31

X

X

X

X

X

X

No.	Revision	Date	By
1.	REVISED PER TOWN COMMENTS	04/12/2021	PD

APPLICANT/OWNER:  
**A & R REAL ESTATE HOLDINGS, LLC**  
 100 BUSINESS PARK DRIVE  
 ARMONK, NY 10504

ARCHITECT:  
**J GROUP DESIGNS, LLC**  
 63 EAST MAIN STREET  
 PAWLING, NY 12564

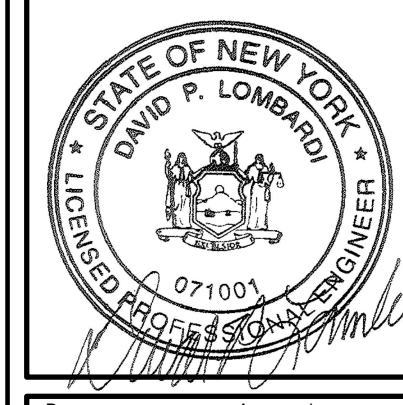
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
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 voice 914.273.6225 • fax 914.273.2102  
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**CONSTRUCTION DETAILS**

**PROPOSED WAREHOUSE**  
 100 BUSINESS PARK DRIVE  
 TOWN OF NORTH CASTLE, NEW YORK

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Drawn: NC Approval: DL  
 Scale: NOT TO SCALE  
 Date: 01/25/2021  
 Project No: 19124  
 1914-0215 DET-6  
 Drawing No: C-905



Site Planning	Environmental Studies
Civil Engineering	Entitlements
Landscape Architecture	Construction Services
Land Surveying	3D Visualization
Transportation Engineering	Laser Scanning

April 12, 2021

Mr. Christopher Carthy, Chairman  
and Members of the Planning Board  
Town of North Castle  
17 Bedford Road  
Armonk, NY 10504

RE: JMC Project 19124  
#100-Building 2  
100 Business Park Drive  
Town of North Castle, NY

**Response to Town Comments Submission**

Dear Chairman Carthy and Members of the Planning Board:

On behalf of the owner and applicant, A & R Real Estate Holdings LLC, we are pleased to submit the following documents for your continued review of the Amended Site Plan Application of a new warehouse building at 100 Business Park Drive:

I. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
C-000	“Cover Sheet”	2 04/12/2021
C-010	“Overall Existing Conditions Map”	2 04/12/2021
C-011	“Existing Conditions Map”	2 04/12/2021
C-020	“Site Demolition & Tree Removal Plan”	2 04/12/2021
C-100	“Site Layout Plan”	2 04/12/2021
C-110	“Truck Turning Analysis”	1 04/12/2021
C-120	“Sire Apparatus Turning Analysis”	1 04/12/2021
C-200	“Site Grading Plan”	2 04/12/2021
C-300	“Site Utilities Plan”	2 04/12/2021
C-400	“Site Erosion & Sediment Control Plan”	2 04/12/2021
C-500	“Site Landscaping & Wetland Mitigation Plan”	3 04/12/2021
C-600	“Site Lighting Plan”	2 04/12/2021
C-800	“Existing Interior Landscape Area Calculations Plan”	04/12/2021
C-810	“Proposed Interior Landscape Area Calculations Plan”	04/12/2021
C-900	“Construction Details”	2 04/12/2021
C-901	“Construction Details”	2 04/12/2021
C-902	“Construction Details”	2 04/12/2021
C-903	“Construction Details”	2 04/12/2021

C-904	“Construction Details”	I	04/12/2021
C-905	“Construction Details”	I	04/12/2021

Since our last appearance before the Planning Board on 02/08/2021, the applicant processed a separate application with the Zoning Board of Appeals (ZBA) requesting an area variance from the front yard building setback requirement of the Town Code. Unanimous approval for a 43 foot front yard variance (where a 100 foot minimum front yard setback is required) was obtained from the Zoning Board of Appeals on 04/01/2021.

The revisions depicted on the above noted plans reflect responses to comments outlined in the Town of North Castle Planning Department memorandum, dated January 29, 2021, and outstanding comment #23 outlined in the Kellard Sessions Consulting, P.C. memorandum, dated April 9, 2020. For ease of review, we have repeated and enumerated the comments in italic print, followed by our responses:

**Town of North Castle Planning Department Memorandum, dated January 29, 2021**

General Comments

Comment No. 1

*The Planning Board at the April 13, 2020 meeting, discussed the appropriateness of loading in the front of building. The Planning Board directed the Applicant to explore other areas of the building or enclosing the loading area.*

Response No. 1

As discussed with the Planning Board, the proposed building has been designed to mirror the loading of the existing building to better sync daily operations of the facility. In an effort to address comments received from the Board and demonstrate compliance with Section 355-30.D(3), we have shifted the proposed loading entrance drive to the south approximately 30’ to create an off-set with the loading dock to limit visual impacts. As a result of the shifted driveway and proposed landscape plantings, the Planning Board decided (at the 02/08/2021 meeting) that the loading in the front of the proposed building was appropriate.

Comment No. 2

*The proposed design of the warehouse building provides for loading at the front of the building. The site plan should be revised to depict how trucks would access the loading area without having to backup onto Business Park Drive. Additionally, as proposed, the loading in the front of the property is not permitted pursuant to Section 355-40.D(3) of the Town Code. It is strongly recommended that the loading area be relocated to the rear of the building in an effort to limit visual impacts of loading trucks fronting on Business Park Drive.*

Response No. 2

The site plans have been revised to depict truck (WVB-67) turning movements accessing the loading

area without having to back up onto Business Park Drive. Refer to Response #1 above.

Comment No. 3

*The proposed warehouse building does not meet the 100 foot minimum front yard setback. The Applicant will need to secure a 43 foot front yard variance from the Zoning Board of Appeals.*

Response No. 3

A 43 foot front yard variance (where a 100 foot minimum front yard setback is required) was obtained from the Zoning Board of Appeals on 04/01/2021.

Comment No. 4

*The Zoning Conformance Table has been revised to utilize net lot area when calculating development density pursuant to Section 355-30.H of the Town Code; however, the calculations used to derive net lot area should also be included on the chart (or as a note).*

Response No. 4

The development density calculation (utilizing net lot area) for the Zoning Compliance Chart has been revised accordingly.

Comment No. 5

*The Applicant will need to submit written guaranties, satisfactory to the Town Attorney, for the eventual improvement of any such spaces which may have been waived. Such spaces must be constructed within six months of the date of written notice to the property owner by the Planning Board that such spaces have been determined as necessary.*

Response No. 5

The off-street parking summary has been revised to include the proposed land banked parking spaces. A note has been added to the plans indicating that *'In all cases, it shall be expressly demonstrated on the site plan that sufficient space remains for the provision of the total amount of off-street parking required, and the site plan shall bear such designation. All such undeveloped parking space shall be used and maintained as additional landscaped grounds until required for parking. In the event that construction of the land banked spaces is deemed necessary by the Town, the applicant shall guarantee the eventual improvement of any such spaces which may have been waived. Such spaces must be constructed within six months of the date of written notice to the property owner by the Planning Board that such spaces have been determined as necessary.'*

Comment No. 6

*The Byram River is located at the rear of the property. The site plan depicts 5,000 square feet of Town-regulated wetland buffer disturbance (if compensatory storage is not required). The Applicant is proposing a 36,570 square foot mitigation area.*

Response No. 6

The comment is so noted.

Comment No. 7

*The site plan depicts the removal of 235 Town-regulated trees.*

Response No. 7

The comment is so noted.

Comment No. 8

*Pursuant to Section 355-30.D(1) of the Town Code, a ten-foot-deep landscaped foundation planting shall be provided along all building walls, except at access points, in interior courts, or where waived by the Planning Board. A sidewalk not exceeding four feet in width may be located in such required foundation parking area.*

Response No. 8

The comment is so noted.

Comment No. 9

*Pursuant to Section 355-56.H(2) of the Town Code, the site plan should demonstrate that at least 10% of the interior of the parking area shall be curbed and landscaped with trees, shrubs and other plant material.*

Response No. 9

Calculations demonstrating that at least 10% of the interior of the parking area is curbed and landscaped with trees, shrubs and other plants material have been prepared. Please refer to JMC drawings C-800 "Existing Interior Landscape Area Calculations Plan", dated 04/12/2021 and C-810 "Proposed Interior Landscape Area Calculations Plan", dated 04/12/2021.

Comment No. 10

*Pursuant to Section 355-58.C(3) of the Town Code, the site plan should be revised to depict one 40'x14' loading space for each establishment, and one additional space for each 10,000 square feet of gross floor area or major portion thereof in excess of 4,000 square feet of gross floor area.*

Response No. 10

The site plans have been revised to depict the required number of off-street loading spaces. Sixteen total loading spaces are required for the 137,632 sf of building area (62,782 sf existing building and 74,850 sf proposed building).



Comment No. 11

*The garbage enclosure detail should be revised to reduce the height of the enclosure from 8 feet to six feet in height.*

Response No. 11

The trash enclosure detail has been revised accordingly.

Comment No. 12

*The Applicant should confirm that the proposed new site plan for the property would supersede the previous outdoor storage site plan and that all outdoor storage on the site would be eliminated and transferred to the new warehouse.*

Response No. 12

As discussed with the Planning Board, the majority of the existing outdoor storage would be relocated within the proposed building, however, there will still be the need to stage materials outside from deliveries. There is a precise system in place to make sure delivered materials for each project stay together. The extents of the proposed outdoor storage areas located at the rear and side of the existing building are depicted on the site plans which limit views from Business Park Drive.

**Kellard Sessions Consulting, P.C. Memorandum, dated April 9, 2020**

**(Refer to JMC resubmission letter, dated 01/25/2021 for previous responses)**

General Comments

Comment No. 23

*The plan shall include proposed driveway profiles to demonstrate compliance with Section 355-59, Driveways of the Town Code.*

Response No. 23

Profiles of the proposed driveways have been prepared and included in this submission. Please refer to JMC drawing C-200 "Site Grading Plan", last revised 04/12/2021.

We trust the attached documents and above responses are sufficient for your review and look forward to being placed on the next available Planning Board agenda, at which point we respectfully request that the Public Hearing for the project be scheduled. Thank you for your consideration.

If you have any questions or require additional information, please do not hesitate to contact our office at (914) 273-5225.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC



Paul R. Sysak, RLA  
Project Manager



Paul J. Dumont, PE  
Senior Designer II

cc: Mr. Robert Troccoli  
Mr. Curt M. Johnson, R.A.

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