

1955 Central Park Ave. Suite #200, Yonkers, New York 10710 Phone: 914-668-4673 Fax: 914-668-1831 E-mail: tom@tomabillama.com

Attention: Mr. Christopher Carthy, Chairman of the Planning Board

Residential Project review Committee

Town of North Castle, NY.

Project: Proposed single family dwelling expansion,

Chris Kalian

99 Byram Road

Zoning District: R-1A Tax ID: 101.01-1-13

Application No.: 2020-3241

Date: March 10, 2021

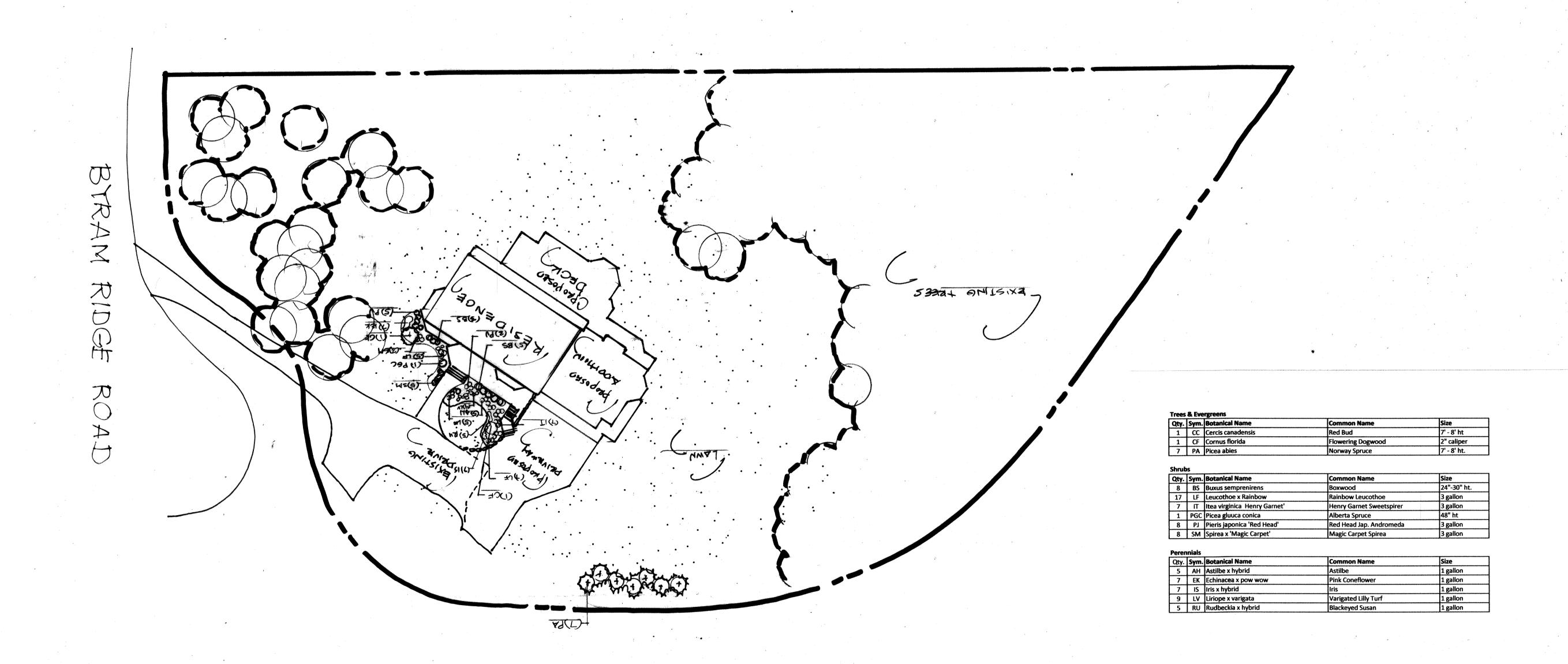
Dear Mr. Carthy:

This letter is in response to your Planning Board comments regarding the aforementioned premises. We appreciate your comments and would like to note the following:

- 1-We have provided the Board schematic cross sections which illustrate the relationship of the house to the street as well as to the to the adjacent homes. We believe by doing so we have demonstrated that the impact of the proposed house is minimal and that it positively affects the relationship to the neighboring houses.
- 2- It is important to note that in the proposed design we utilize the existing curb cut and the driveway, the utilities as well as the existing foundation in order to minimize the costs. We believe that the design as proposed fits positively within the neighborhood. The front of the house faces the front of the house situated to the north of the property and the rear of the house is shielded from the house to the south by deep and forested rear yard.
- 3- A robust planting plan is also attached as prepared by a landscape architect, Mr. Zaino.
- 4- In addition, a Septic system design is being proposed before the Health Department. We, therefore believe that the proposed design, by maintaining the existing orientation, is the best use for the property.

Best regards,

Tom F. Abillama, AIA.



PLANTING PLAN
99 BYRAM RIDGE ROAD
NORTH CASTLE, NEW YORK

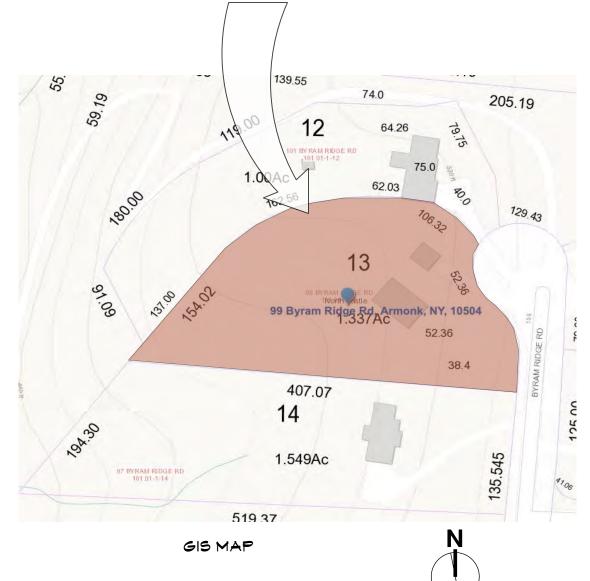
SCALE: 1" = 20' - 0" MARCH 8, 2021

SHEET L-2

AZ ASSOCIATES LTD. DESIGN & HORTICULTURAL CONSULTANT
ANTHONY ZAINO
LANDSCAPE ARCHITECT
7 SOUTH RIDGE ROAD
BROOKFIELD, CT 06804

# PROPOSED RENOVATION OF

# The Kalian Residence

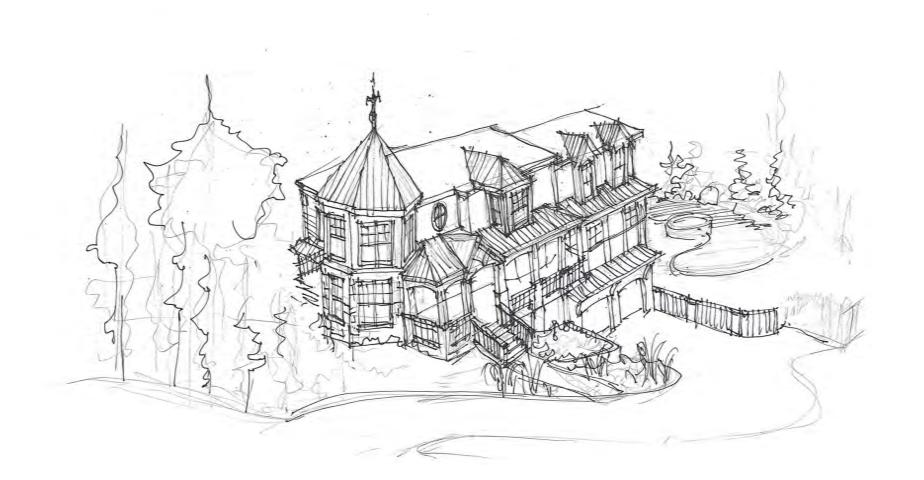


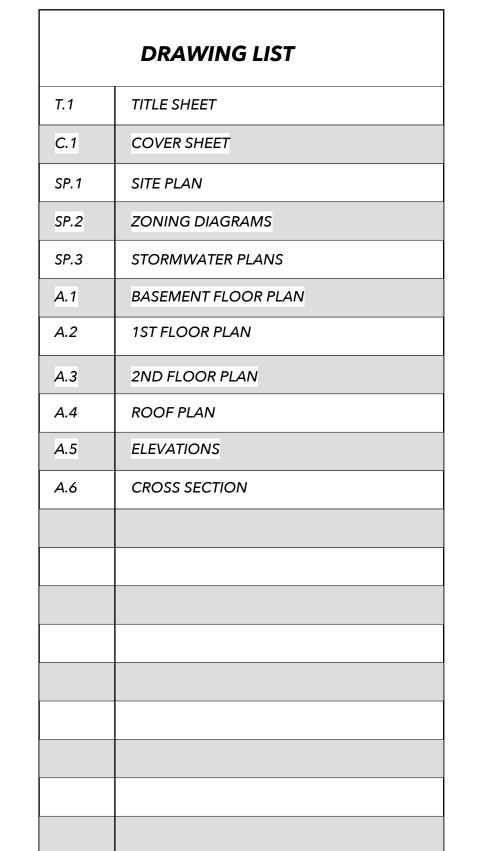
99 Byram Ridge Road, Armonk, NY

OWNER: Mr. & Mrs. Christopher Kalian

Contractor: Ridge Partners

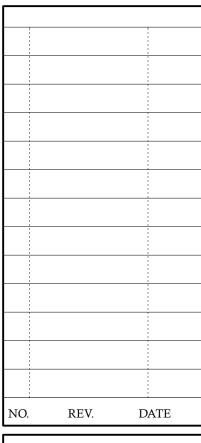
Architect: Tom F. Abillama, AIA







EXISTING HOUSE

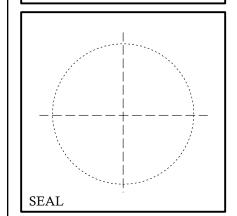


OWNER:

MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE YONKERS, NEW YORK PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



KEY PLAN

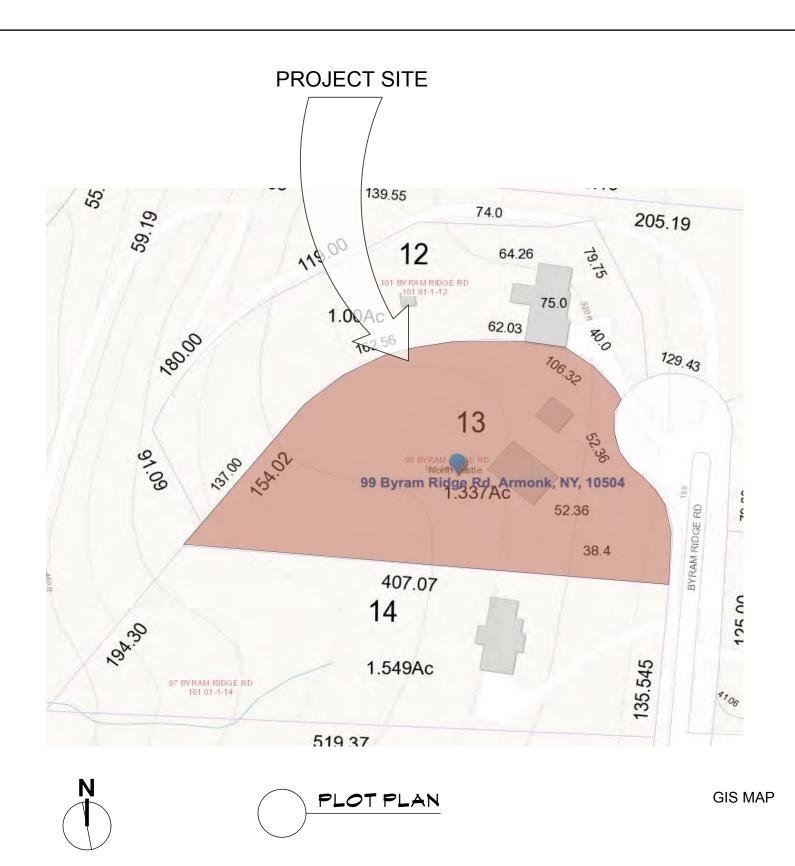
PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, N.Y

TITLE SHEET

Project ID / DATE : 2048/ 10.15.2020
Sheet Scale:

Drawn By: AM Checked By: TFA



### ELECTRICAL NOTES

work related to these documents shall include furnishing and instalation of of every kind of wire/conduit required to make the electric light and power distribution system complete, i.e. providing and connecting service entrance equipment, lighting panels, power panels, switches, outlets, receptacles, back boxes, related components required by the local utility company of all fixtures complete with lamps, clamps, hangers, supports, etc.

- all electric work shall comply with the requirements of the national electric code, latest edition. should a conflict arise, the code or more stringent requirements shall prevail.
- all wiring shall be copper, #12 awg minimum size #8 and smaller to be solid, #6 and larger to be stranded. insulation to be nec 600 volt type, rated @ 75 degrees c and be properly phase color coded for 120/208 v. 3 phase 4-wire service.

unless noted otherwise, minimum size conduit shall be 1/2" and number of cross marks indicate number of #12 conductors in conduit. type of conduit used shall be in strict accordance with code provisions concerning same. all conduit runs are to be concealed in floors, walls, and ceilings, except where noted otherwise.

electrical installation shall be tested for shorts, grounds, operation of low voltage circuitry, night light wiring, stand-by generator and connections to same, etc. defects shall be remedied at once and the tests re-run as many times as may be required to prove correctness. balance all phase loading of all panelboards.

the circuits shall be distinctly numbered and identified on the schedule of circuits typewritten to the panelboard. affix permanent identifying nameplates to all electrical switches,pilot devices, selector switches, etc. submit samples and list of titles for approval prior to purchase and installation.

### PLUMBING NOTES

STEEL NOTES

installation of all work herein specified shall conform to the requirements of the ny state plumbing code, rules and regulations of the North Castle building department, and all other local authorities having jurisdiction, including federal o.s.h.a. specifications.

all materials used shall be new, best of their respective brands and conform to the requirements of all state and local authorities having jurisdiction. pipework installed under this contract shall be in accordance with the following schedule:

material

soil and waste lines[within building]above grade-extra heavy cast iron pipe or dwv copper pipe with sweat solder connections;

below grade- extra heavy cast iron pipe. soil and waste lines [outside building] extra heavy cast iron pipe. vent pipingstandard weight galvanized pipe or type dwv copper pipe with sweat solder joints. cold and hot water pipingunderground-typek with flare fittings.

above grade [within building] type I copper tube with lead free sweat solder connections

set clevis hangers for the support of copper piping not more than 10 ft on center. set hangers for cast iron pipe not more than 5 ft apart; use 3/8" rod for pipe up to 2" and 1/2" rod for pipes, 2 1/2" and larger. cover all cold water and hot water lines with 1" thick o-c fiberglass light density one piece pipe insulation having frk universal type vapor barrier outer jacket. install as per manufacturer's specifications. cover all valves and fittings with zeston premoulded insulating shapes.

1- All Structural Steel Shall Conform With Aisc Specifications For Structural Steel For Buildings, And Shall Be Based On

3- All Welding Shall Be Done By Licensed Welders And Shall Be Inspected By Approved Welding Agency.

### 02060 REMOVALS

### I. WORK INCLUDED

- 1. SEE ARCHITECTURAL DEMOLITION DRAWING SEE ALSO MECHANICAL AND ELECTRICAL DRAWINGS.
- 2. GENERAL REMOVALS AND RELOCATIONS:
- 1. REMOVE AND RELOCATE ALL EXISTING MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES INCLUDING BUT NOT LIMITED TO: FIRE ALARM, PULLS STATIONS, POWER OUTLETS, LIGHT SMITCHES, THERMOSTATS AND TELEPHONE OUTLETS AS REQUIRED FOR THE INSTALLATION OF NEW YORK.
- 2. REMOVE ALL ITEMS, MATERIALS AND FINISHES REQUIRED FOR THE INSTALLATION OF NEW WORK, OR THE RELOCATION OF EXISTING, AS DESCRIBED IN PERTINENT SECTIONS OF THESE SPECIFICATIONS AND / OR SHOWN ON THE DRAWINGS INCLUDING STRUCTURAL, MECHANICAL END ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- 3. EXISTING WIRING, PIPING OR OTHER LINES WITHIN WALLS OR CEILINGS TO BE REMOVED - VERIFY THAT THESE ARE ABANDONED PRIOR TO REMOVAL. RE-ROUTE ANY LINES THAT ARE STILL IN USE TO MAINTAIN ALL EXISTING SERVICES.
- II. MATERIALS (NA) III. EXECUTION
- 1. ALL REMOVALS AND DEMOLITION SHALL BE IN COMPLIANCE WITH OF NYS BUILDING CODE, AND ALL APPLICABLE FEDERAL SAFETY REGULATIONS.
- 2. ALL MATERIALS AND ITEMS THAT ARE TO BE REUSED AND RELOCATED IN CONJUNCTION MITH THE NEW MORK SHALL BE CAREFULLY CUT AWAY FROM THE EXISTING ABUTTING MORK TRUE TO LINE AT THE NEAREST JOINT, SURFACE BREAK OR PATTERN LINE TO ENSURE NO NOTICEABLE DIFFERANCE BETWEEN NEW AND EXISTING TO REMAIN. REMOVALS SHALL BE KEPT TO A MINIMUM MATERIALS TO BE REUSED AND RELOCATED SHALL BE PROPERLY HANDLED, TAGGED AND PROPERLY STORED TO PREVENT DAMAGING AND BREAKING.
- 3. CAREFULLY COORDINATE ALL TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE OF THE WORK.
- 4. WHEN WORK IS STOPPED, PROVIDE AND MAINTAIN IN PLACE SUITABLE COVERINGS AND BARRIERS FOR PROTECTION OF THE WORK AND SAFETY FOR ALL PERSONNEL AND BUILDING USERS, PROVIDE PROTECTED PATHS OF EGRESS, PER PHASING REQUIREMENTS, FOR CONTINUOUS PLUBLIC ACCESS TO STAIRS, ESCALATORS AND ENTRANCES/EXITS.
- 5. PROTECT ALL WORK, EXISTING AND NEW, FROM DAMAGE BY ANY CAUSE THROUGHOUT THE DEMOLITION OPERATIONS PROTECTIVE COVERINGS OR BARRIERS SHALL NOT MAR, STAIN OR PENETRATE THE FINISHED WORK.
- 6. COORDINATE ALL ELECTRICAL WORK FOR THE PROPER DISCONNECTIONS. PROTECTIONS AND CAPPINGS: SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- 7. UNDERTAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVENT EXCESSIVE DUST DURING DEMOLITION.
- 8. REMOVE ALL PORTIONS OF THE WORK IN A SAFE MANNER WITH CARE
- TO PREVENT DAMAGE TO ADJACENT AND REMAINING STRUCTURE, FINISHES OR ANY OTHER ITEMS OF PROPERTY.
- 9. ALL MATERIALS UNLESS NOTED TO BE REUSED OR TO BE SALVAGED
- SHALL BE REMOVED OFF THE PROPERTY TO AN AVAILABLE DUMP
- SITE OF THE CONTRACTOR'S OWN CHOOSING AND ARE TO BE PROPERLY AND RESPONSIBLY DISPOSED OF. NO BURNING OR ON-SITE DISPONSAL IS PERMITTED
- 10. VERIFY SALVAGE REQUIREMENTS FOR ALL MATERIALS NOTED TO BE
- REMOVED WITH SAFE HORIZON. MATERIALS NOTED TO BE
- SALVAGED SHALL BE PROPERLY STORED IN LOCATION PER SAFE HORIZON, INC. DIRECTIONS.
- 1 1. ALL SPACES ARE TO BE BROOM CLEANED DAILY.
- 12. ALL REMOVALS SHALL LEAVE THE EXISTING SURFACES AND
- FREE AND CLEAN FOR THE PROPER PATCHING AND PREPARATION REQUIRED FOR THE SPECIFIED NEW MATERIALS AND FINISHES.

NOTES:

STEEL COL'S SHALL REST ON 12" X 12" 3/4" T. ST. BASE PLATE OVER LEVELLING PLATE OVER NON-SHRINK GROUT W/(4)3/4" Ф 12" LONG ANCHOR BOLTS OVER 3'-0" X 3'-0" X 18 " CONC. FOOTINGS W/(3) # 4'S EA. WAY-BOTTOM.

ALL BEAMS OVER 2 MEMBERS SHALL BE BOLTED TOGETHER M/3/4" THRU-BOLTS @ 18" O.C. STAGGERED.

ALL FLUSH BEAMS SHALL RECEIVE JOIST HANGERS BY SIMPSON OR EQ.

ALL DOORS, WINDOWS SHALL RECEIVE (2) 2X10 HEADERS (TYP.) UNLESS OTHERWISE NOTED ON PLANS.

ALLFOUNDATION WALLS SHALL BE WATERPROOFED W/ 2-COATS OF BITUM. COATING AND BACKFILLED M/GRAVEL

CONSTRUCTION TO BE "V b" SINGLE FAMILY RESIDENTIAL LIVE LOADS = 40 PSF GROUND SNOW LOAD = 30 PSF SNOW LOAD = 30 PSF DEAD LOAD = 15 PSF MIND LOADS = 115 MPH

SEISMIC DESIGN: B

PROVIDE 2 STORY ADDITION AND RENOVATION TO EXISTING ONE AND HALF STORY STRUCTURE. WORK TO INCLUDE NEW INGROUND POOL UNDER SEPARATE PERMIT. PROVIDE FOR NEW DRIVEWAY, DECK AND GAZEBO.

REMOVE EXISTING TREES UNDER SEPARATE PERMIT

### SEPARATE APPLICATIONS

- PLUMBING PERMIT
- TREE REMOVAL

### GENERAL NOTES

1- ALL STRUCTURAL STEEL SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL

FOR BUILDINGS, AND SHALL BE BASED ON ASTM-A36 WITH MINIMUM YIELD POINT OF

D) OPEN HOLES SHALL BE 13/16" DIAMETER, UNLESS OTHERWISE INDICATED.

4- PROVISIONS SHALL BE MADE FOR CONNECTIONS OF OTHER TRADES PRIOR TO

3- ALL WELDING SHALL BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY

1- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. BEARING

1- ALL CONCRETE SHALL BE STONE AGGREGAGATE CONCRETE WITH AN

3- ALL STEEL REINFORCEMENT SHALL BE DEFORMED ACCORDING TO

1- CONCRETE BLOCK SHALL CONFORM TO ASTM C-145, GRADE N-1.

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE

CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE

ARCHITECT/ENGINEER OF ANY SICREPENCIES OR CHANGES ON THE

NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS

CONSTRUCTION OF THIS PROJECT IS TO E PERFORMED BY CAPABLE

DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS

LARGE SCALE DRAWINGS TAKE PREFERENCE OVER SMALLER SCALE

NO WORK IS TO BE STARTED UNTIL THE PLANS ARE APPROVED BY THE

NEW YORK CITY DEPT. OF BUILDING AND A WORK PERMIT IS OBTAINED.

THESE NOTES ARE PART OF THE CONSTRUCTION DOCUMENTS ADNO

SPECIFICATIONS AND ARE TO FULLY COMPLIED WITH IN ALL RESPECT.

HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING

THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT

FOUNDATION AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED

BASED ON CONTROLLED INSPECIONS OF SUBSOIL CONDITIONS AND MAY

VERIFY EXACT LOCATIONS OF THEIR UTILITY LINES, SERVICE AND OTHER

CONTRACTOR IS RESPONSIBLE TO NOTIFYING UTILITY COMPANIES TO

THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF

PRIOR TO COMMENCMENT OF WORK THE ADJACENT PROPERTY

CERTIFIED MAIL, WHERE ADJACENT PROPERTY IS AFFECTED BY

AND ACCURATE AND COMPLETED SURVEY, MADE A LISCENCED

RECORD AGTER COMPLETION OF WORK SHOWING THE LOCATION AND

FINISHED FLOOR ELEVATION, GRADE ELEVATIONS AND SHALL COMPLY

BORINGS AND/OR YEST PITS AS FURNISHED BY THE OWNER, EXACT

FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE

VARY FROM THOSE INDICATED ON THESE DRAWINGS.

OWNERS SHALL BE GIVEN 5 DAYS WRITTEN NOTICE BY

FOUNDATIONS, GRADING EARTH WORK OR DEMO WORK.

SURVEYOR, SHALL BE SUBMITTED TO THE APPLICANT OF

ELEVATIONS OF ANY NEW BUILDING OR EXTENSION,

TO THE MINIMUM STANDARDS OF THE NYSSPLS.

AND REPUTABLE CONTRACTORS, LICSENCED IN THE STATE OF NEW

SUPERVISION OF WORK & IT REMAINS INCUMBENT ON THE

SECURED AS REQUIRED BY THE GOVERNING AGENCIES.

REPORT ANDY DISCREPANCIES TO THE ATTENTION OF THE

ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE

ARE TO BE FOLLOWED FOR CONSTRUCTION PUROSES.

PRIOR TO THE COMMENCEMENT OF WORK & SHALL

ARCHITECT/ENGINEER BEFORE PROCEEDING.

YORK & AS REQUIRED BY LOCAL AGENCIES.

ON THE INFORMATION CONTAINED WITHIN THE

2- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "M".

2- WELDED WIRE FABRIC SHALL HAVE AN ULTIMATE STRENGTH OF 70,000 PSI.

3- NO VINYLDINE CHLORIDE OR ANY UNAPPROVED CURING ADMIXTURE SHALL BE

4- PROVIDE GALV. HORIZONTAL REINFORCEMENTS AT EVERY COURSE JOINT.

2- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 VERTICAL

2- ALL CONNECTION MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS:

36,000PSI.

A) HIGH STRENGTH BOLTS : A325.

APPROVED WELDING AGENCY

C) BOLTS SHALL BE 3/4" DIAMETER.

CAPACITY OF 2 TONS PER SQ. FT.

TO 2 HORIZONTAL SLOPE WITH

3000# PSI AFTER 28 DAYS.

B) WELDING ELECTRODES: AWS-A5.1, E70 SERIES.

5- ALL STEEL MEMBERS SHALL HAVE SHOP COAT OF PRIMER. 6-LOOSE LINTELS SHALL HAVE 6" BEARING EACH END.

RESPECT TO ANY OTHER ADJACENT FOOTINGS.

ULTIMATE COMPRESSIVE STRENGTH OF

HAVE A YIELD POINT OF 40,000 PSI.

ASTM-A615, GRADE 60 AND SHALL

ALLOWED IN MORTAR MIXTURE.

ADMINISTRATIVE

APPROVED PLANS.

DRAWINGS.

CONSTRUCTION.

POSSIBLE EQUIPMENT.

THE BUILDING SITE.

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING. THE ELEVATIONS AND UTILITITIES, SEMER, MATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR

TO SUBMISSION OF BID. CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL PITS, SLAB DEPRESSIONS, SLEEVES

IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC. CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHENCE DAMAGE SHOULD RESULT FROM SUCH WORK. THE

CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO

ADEQUATELY PROTECT AGAINST ANY FAILURES. CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENCES, CERTIFICATES, FEES, ETC., REQUIRED BY THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL

REGULATIONS MUST ALSO BE ADHERED TO]. ALL ELECTRIC WORK MUST CONFORM TO NATIONAL ELECTRIC CODE

OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION. ALL MORK MUST CONFORM TO THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. [O.S.H.A.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDIANTION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, [STANDARD FORM OF A.I.A. LATEST EDITION A201], ARE PART OF THE CONTRACT DOCUMENTS.

MORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS

AND SHALL BE FIRST CLASS IN ALL RESPECTS. SUBCONTRACTORS SHALL GUARRANTEE, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO

MORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

CONTRACTOR SHALL APPLY TAPING COMPOUND IN 3 COATS TO ALL JOINTS OF ALL SHEETROCK, SHALL PROVIDE TWO COAT HIGH GLOSS PAINT IN THE KITCHEN AREA AND A SATIN FINISH COAT AT ALL OTHER AREAS. INCLUDING CEILINGS. CONTRACTOR TO PROVIDE NEW CERAMIC TILE THROUGHOUT KITCHEN, BATHROOMS, LAUNDRY ROOMS AND ALL OTHER WET FLOOR AREAS. COLORS AS SELECTED BY OWNER. SUBCONTRACTOR IS TO PROVIDE ALL FINISH HARDWARE AS REQUIRED BY THE OWNER FOR ALL NEW DOORS.

SCOPE OF WORK PERTAINS TO THE RENOVATION/ADDITION TO EXISTING ONE FAMILY DWELLING. THESE PLANS ARE BASED ON THE 2020 RCNYS, (APPENDIX J. ALTERATION LEVEL 2-CHAPTER 6), THE TOWN OF NORTH CASTLEMUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

I, TOM F. ABILLAMA R.A., HEREBY STATE THAT I HAVE PREPARED THESE PLANS AND SPECIFICATIONS. TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, IN COMPLIANCE WITH THE 2020 ENERGY CODE OF NEW YORK STATE-R 105.2.2 -ZONE 4A

TOM F. ABILLAMA, R.A. ARCHITECT

ENERGY CODE REQUIREMENTS: PRESCRIPTIVE METHOD ZONE 4A CRITERIA (RCNY,2020- N1 102.1.2): 1-UFACTOR @ GLAZING:.32 2-UFACTOR @ SKYLIGHT: .55 3-UFACTOR @ SHGC:.40 4-R VALUE @ ROOF: R-49 5-R-VALUE @ WD FRAME WALL: R-21 6-R-VALUE @ MASS WALL: R-13 7- R-VALUE @ FLOOR: R-25 8-R-VALUE @ BASEMENT WALL: R-13 9- R-VALUE @ SLAB: R-10, 2 FT PERIM.

10-R-VALUE @ CRAWL SPACE WALL: R-19 1 1 - MAX INFILTR.@ WDWS,SKLTS: 0.3 CFM/SF 12- MAX INFILTR.@ SMING. DRS : 0.5 CFM/SF 13- MIN.75% -HIGH EFFICACY LAMPS 14- TESTING PER N1 102-.4.1.2

### ROUGH CARPENTRY

- 1. Framing and structural lumber: Douglas Fir # 1. Fb=1050 psi, E=1,600,000 Fv=95 psi. All joists and rafters to have diagonal bridging, 8'-0" o.c. maximum. Solid blocking under ceramic tile. Members of built—up girders, headers or lintels shall be spiked or bolted together to act as one unit.
- 2. Cross bridging of joists 1- 1/4" x 3" max, 8'-0" o.c. Collar ties at cathedral ceilings, 2-2 x 6 @ 4'-0" o.c. max. Exterior carpentry at porches shall be c.c.a. treated
- as indicated on drawings. Ornamental posts shall be of a nominal size 6"x6" pine. 3. Wood deck, 5/4" thick T & G Redwood decking. Deck shall pitch slightly for water runoff.
- 4. Plywood shall meet the requirements of APA requirements and specifications:
- 5. Wall and roof sheathing: 5/8" thick, C-D—Ext-Apa, Exterior glue 6. Subflooring: 5/8" thick, C-D-Ext-Apa, exterior glue
- Underlaument: 3/8" thick—
- 7. Underlayment INT-APA Exterior glue
- 8. All wood beams to have a minimum bearing of 4". Double all joists under all partitions
- 9. All details of construction; lintels, headers, posts, beams,
- framing, nailing, etc. shall comply
- with all minimum standards of New York State Code.
- 10. Contractor to do all necessary firestopping of stud partitions and pipe chases, as required by N.Y. State Code whether specifically shown or not. 11. Lumber schedule: Miscellaneous lumber, furring, bridging, blocking
- to be grade #2 of any species ample in strength to meet the requirements thereof.
- 12. Mooden trimmers, headers, and tail joists over six feet in length, unless supported on walls or girders, shall be hung in approved metal stirrups, or hangers.
- 13. Every six feet, at least one beam or joist which rests on masonry walls, shall be secured to such walls by approved metal anchors attached in a manner at or near bottom to be self releasing.
- 14. The ends of wooden beams and joists resting on masonry walls shall be cut to a bevel of three inches in their depth. All girders to bear minimum of 8" on masonry. 15. Provide shelf and coat pole in all closets with five shelves in linen closet. 16. Finish woodwork
- shall be dressed and sanded, free from machine and tool marks, abrasions raised grain or other defects on surfaces exposed to view in the finished work. 17. Mood finish shall be set straight, plumb and level in true alignment, closely fitted and rigidly secure
- in place. Nail heads of exposed nailing shall be countersunk. All work shall be left clean, free from warp, twist, open joints and other defects. 18. Interior miscellaneous finish carpentry and woodwork to be "C" select of white pine, oak,
- or yellow poplar. 19. Interior doors to be clear birch, stain grade.
- 20. Caulk at all doors and window frames, joints and other surfaces which require the closing of
- a joint between any two surfaces not of the same material. Caulking compound shall be silicone equal to Thiokol sealant by Toch Brothers. 21. Contractor to do all flashing required whether specifically shown or not. Tape and apply taping
- compound in 3 coats to all joints of all sheetrock.
- Ground Subject To Damage From: | Winter | Ice Shield Mind Design

Snow Load Design Underlayment Flood Special Wind Born Design Hazards Freezing Required Temp. Meathering Depth Decay Topographic region Debris (psf) Category Index zone FIRM map 15*00* 36119003 or 30 115 Mph Moderate No 52.2º F Yes 3'-6" to Heavy

Mean

2007

less

Project ID / DATE : 2048/ 10.15.2020

REV.

MR. & MRS.

**CHRISTOPHER** 

KALIAN

Abillama

955 CENTRAL PARK AVENUE

YONKERS, NEW YORK

PHONE: 914 6684673

EMAIL: FILES@TFARA.COM

FAX: 914 668 1831

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PROPOSED

ONE FAMILY

**DWELLING** 

**EXPANSION** 

99 BYRAM RIDGE RD.,

ARMONK, N.Y

SBL: // ZONE:

MAP /

NOTES

SEAL

KEY PLAN

Architects

OWNER:

DATE

Sheet Scale:

Drawn By: AM Checked By: TFA

OCT.15.2020

5- All Steel Members Shall Have Shop Coat Of Primer. 6- Loose Lintels Shall Have 6" Bearing Each End.

Astm-a36 With Minimum Yield Point Of 36,000psi.

B) Welding Electrodes : Aws-a5.1, E70 Series.

A) High Strength Bolts: A325.

C) Bolts Shall Be 3/4" Diameter.

2- All Connection Material Shall Conform To Astm Requirements:

D) Open Holes Shall Be 13/16" Diameter, Unless Otherwise Indicated.

4- Provisions Shall Be Made For Connections Of Other Trades Prior To Fabrication.

### MOOD NOTES

1 - All Exterior Wood Framing Members Shall Be Structural Grade With Min. Fiber

Of 1400, And Shall Be Pressure Treated For Exterior Exposure.

2- Contractor To Provide All Steel Connections Required For Fastening Members To Others.

Beam Hangers As Well As Hold Downs And Post Caps Etc...

SCOPE OF WORK:

- SEPTIC DESIGN

- ELECTRICAL PERMIT - INGROUND POOL 3- Contractor To Refer To "simpson-strong Tie" Manual For Post Plates, Joist /

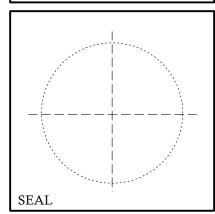


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DWELLING
EXPANSION

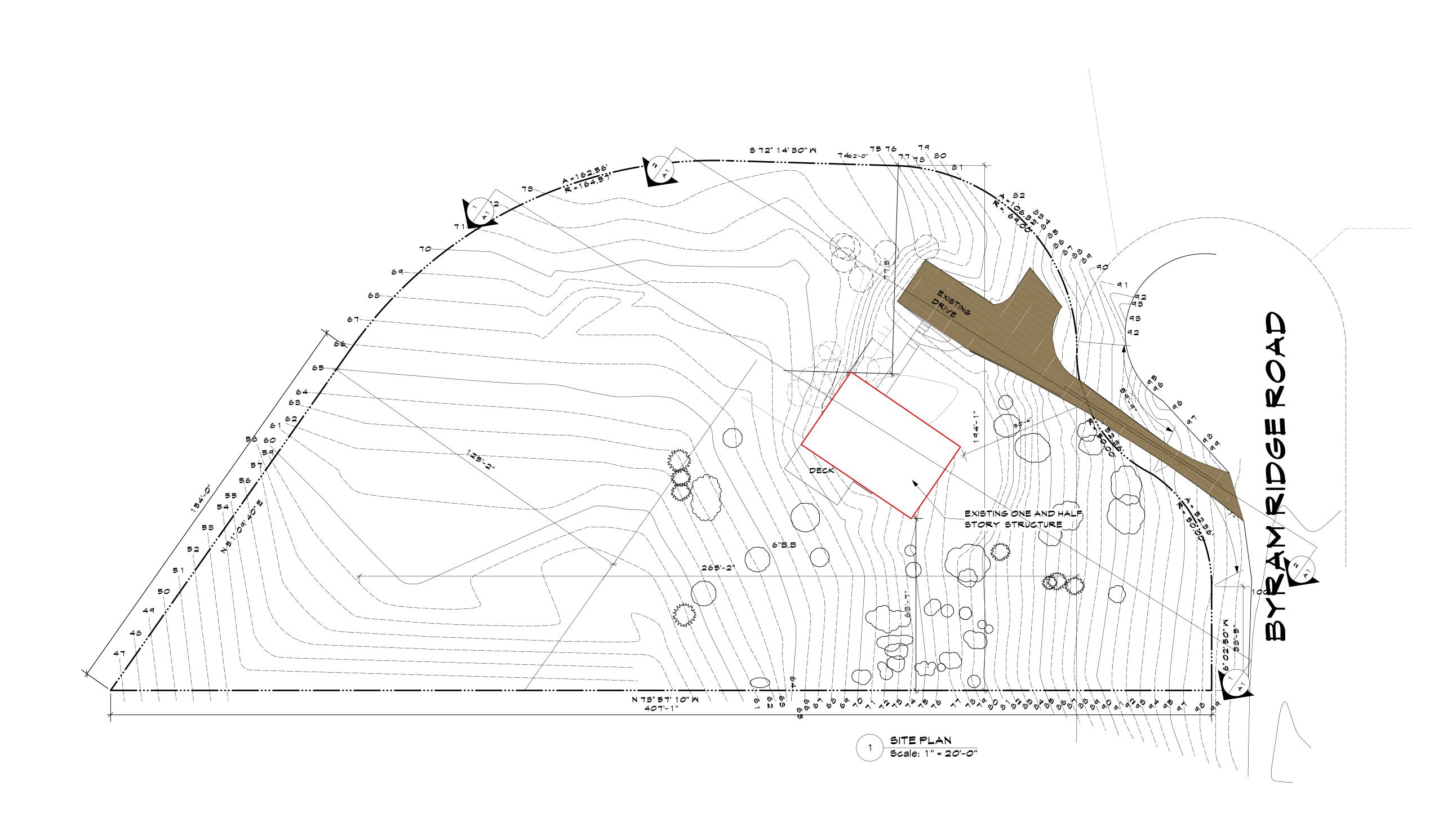
99 BYRAM RIDGE RD., ARMONK, N.Y

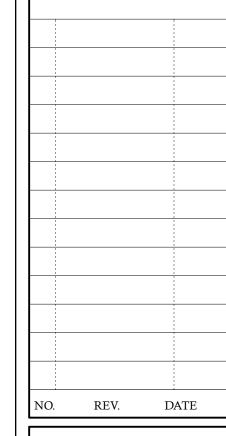
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3D RENDERINGS

Project ID / DATE : 2048/ 10.15.2020
Sheet Scale:

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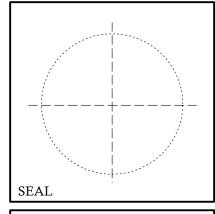




MR. & MRS. CHRISTOPHER KALIAN



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KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y

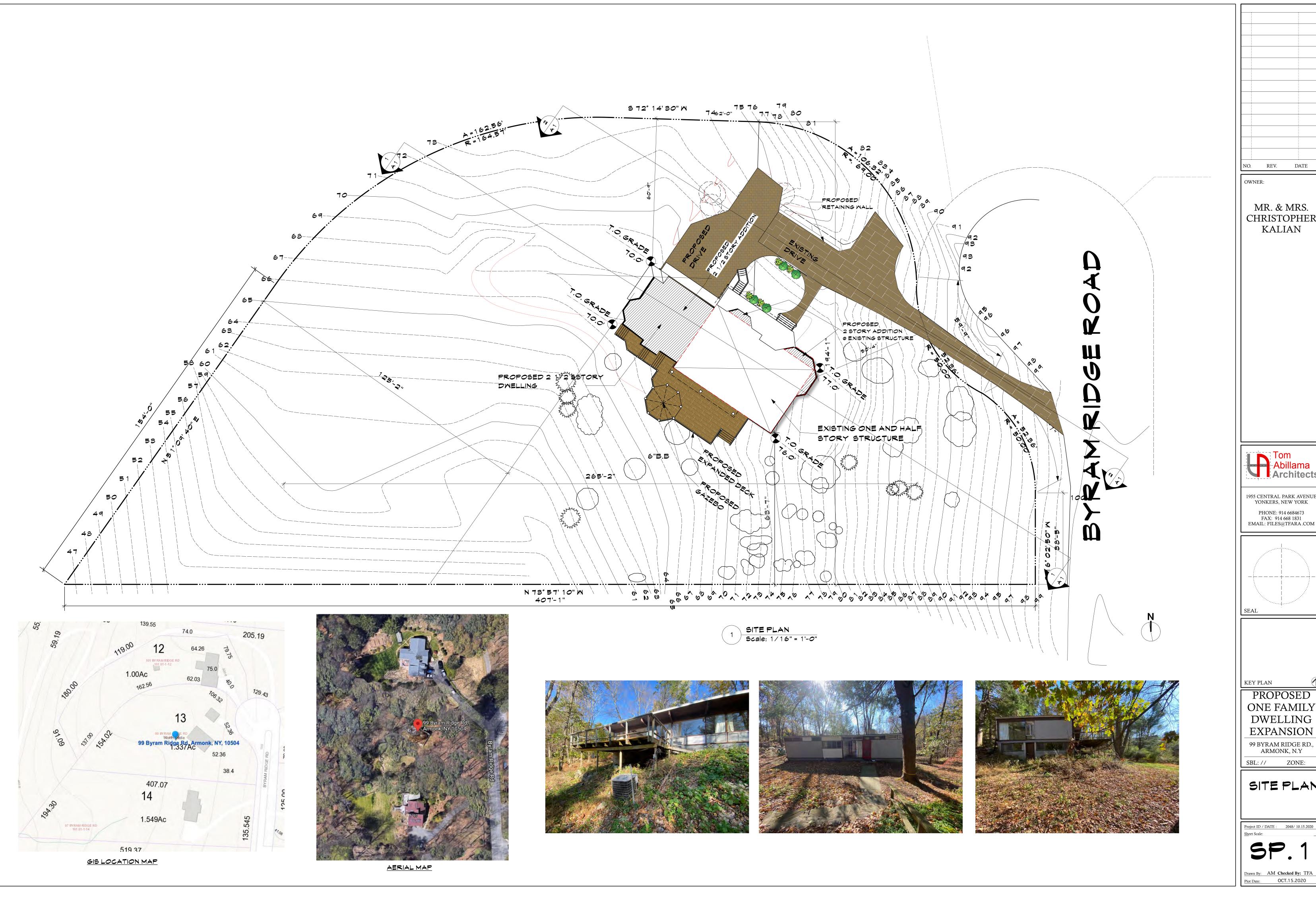
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AS-BUILT SITE SURVEY

Project ID / DATE : 2048/ 10.15.2020

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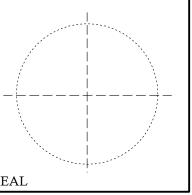




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99 BYRAM RIDGE RD., ARMONK, N.Y

SITE PLAN

Project ID / DATE : 2048/ 10.15.2020

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-EXISTING DRIVEWAY

PROVIDE

TRACKING PAD

(11) 280 HD

RECHARGERS

CRUSHED STONE

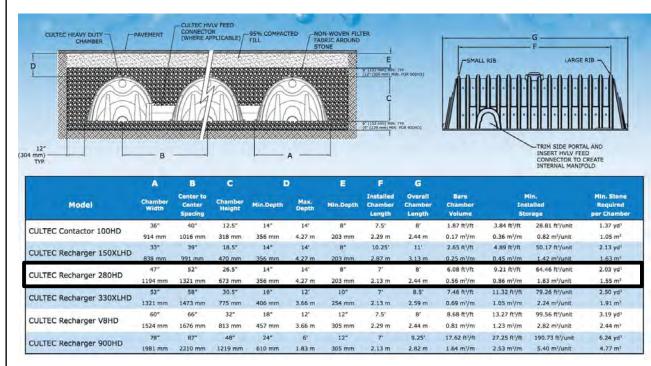
& PROPERTY LINE

SURROUNDED BY 12-INCHES OF

BOTTOM IMPRMEABLE LINER

MIN 10 FT FROM STRUCTURE

### CULTEC RECHARGER 280HD



### Storm Water Design.

Storm Design based on a 9inch storm in 24 hours (Using 280XLHD shallow galley rechargers)

The existing lot involves 1 family dwelling, driveway, pool, deck.

The existing lot area is 58239 ft2. The total proposed impermeable surfaces (house and paved areas) add up to 5,454 ft2.

The following is a stormwater analysis for the above conditions.

Curve number for pre-developement: 75, Run off coeficient: 4.33 1. Obtain approved borrow soil materials off-site when satisfactory soil materials are not available Curve number for post-developement: 98, Run off coeficient: 6.96 PART 3-EXECUTION Delta in run off coeficient: 6.96-4.33 = 2.63 <u>Calculate volume:</u>

Area X Delta / 12 = Volume (ft3) 5454 x 2.63 / 12 = 1195 ft3

### <u>Percolation Capacity</u>

of 20 minutes per inch)

(Perc test yielded a high of 6 minutes per inch we will use a conservation rate

Area of Perc----2.23 ft2 Volume of Perc----0.196 ft3

Soil Perc Rate (SR) = Volume/Area/Time = 0.196/3.01/60 minutes layer to a density equal to adjacent original ground.

 $= 0.0010852 \times 60 \times 24$ Sr = 1.562 or 1.11715 with 25% clogging

280HD: VOLUME PER UNIT: Chamber 64.46C.F.

Total PERCOLATION PER CULTEC:

5' X 9' X 1.11715 = 50.27 C.F.

Volume: 64.46 + 50.27 = 114.73 Cf Total Volume 1195 / 114.73 = 10.5 OR USE 11 CHAMBERS

Proposed 11-280 Hd Rechargers.

### CULTEC RECHARGER 280HD

**Maintenance Guidelines** The following guidelines shall be adhered to for the operation and maintenance of the CULTEC stormwater

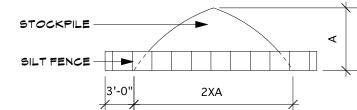
**A.** The owner shall keep a maintenance log which shall include details of any events which would

have an effect on the system's operational capacity

The operation and maintenance procedure shall be reviewed periodically and changed to meet site

Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.

**D.** Debris removed from the stormwater management system shall be disposed of in accordance with



STOCKPILE PROTECTION INSTALLATION NOTES

1. SEE PLAN VIEW FOR: LOCATION OF STOCKPILES. -TYPE OF STOCKPILE PROTECTION

. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS T FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPERVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN

OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS. 3 STABILIZE THE STOCKPILE SUBFACE WITH SUBFACE ROUGHENING TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE

THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS

4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).

E. No trees to be planted above cultec tanks and 15' away, ground planting and flower w/ shallow roots allowed

STOCKPILE PROTECTION DETAIL SP.2 NOT TO SCALE

-SITE CLEARING PART 1 - GENERAL

1.1 RELATED DOCUMENTS A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY A. This Section includes the following:

. Removing trees and other vegetation.

2. Clearing and grubbing. 3. Topsoil stripping.

 Removing above-grade site improvements. B. Related Sections include the following:

1. Division 1 Section "Construction Facilities and Temporary Controls" for temporary security and

protection facilities, and environmental protection measures during site operations. 2. Division 2 Section "Earthwork" for soil materials, excavating, backfilling, and site grading operations. 3. Division 2 Section "Landscaping" for finish grading placing and preparing topsoil for lawns and

A. Topsoil: Natural or cultivated surface-soil layer containing organic matter and sand, silt, and clay

friable, pervious, and black or a darker shade of brown, gray, or red than underlying subsoil; reasonably

subsoil, clay lumps, gravel, and other objects more than 2 inches (50 mm) in diameter; and free of weeds, 1.4 MATERIALS OWNERSHIP A. Except for materials indicated to be stockpiled or to remain Owner's property, cleared materials shall

Contractor's property and shall be removed from the site.

1.5 SUBMITTALS A. Photographs or videotape, sufficiently detailed, of existing conditions of trees and planting, adjoining construction, and site improvements that might be mis-constructed as damage caused by site clearing.

B. Record drawings according to Division 1 Section "Contract Closeout." 1. Identify and accurately locate capped utilities and other subsurface structural, electrical, and mechanical conditions.

A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or

facilities during site-clearing operations. 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without

from Owner and authorities having jurisdiction. 2. Provide alternate routes around closed or obstructed traffic ways if required by authorities having

B. Improvements on Adjoining Property: Authority for performing indicated removal and alteration work

property adjoining Owner's property will be obtained by Owner before award of Contract. C. Notify utility locator service for area where Project is located before site clearing. PART 2 - PRODUCTS (Not Applicable)

A. Satisfactory Soil Materials: Requirements for satisfactory soil materials are specified in Division 2 "Earthwork."

2.1 SOIL MATERIALS

1.6 PROJECT CONDITIONS

A. Protect and maintain benchmarks and survey control points from disturbance during construction. B. Provide erosion-control measures to prevent soil erosion and discharge of soil-bearing water runoff

airborne dust to adjacent properties and walkways. C. Locate and clearly flag trees and vegetation to remain or to be relocated.

D. Protect existing site improvements to remain from damage during construction. 1. Restore damaged improvements to their original condition, as acceptable to Owner.

3.2 CLEARING AND GRUBBING A. Remove obstructions, trees, shrubs, grass, and other vegetation to permit installation of new construction.

Removal includes digging out stumps and obstructions and grubbing roots. 1. Do not remove trees, shrubs, and other vegetation indicated to remain or to be relocated. 2. Cut minor roots and branches of trees indicated to remain in a lean and careful manner where such roots and branches obstruct installation of new construction.

3. Completely remove stumps, roots, obstructions, and debris extending to a depth of 18 inches below exposed subgrade.

4. Use only hand methods for grubbing within drip line of remaining trees. B. Fill depressions caused by clearing and grubbing operations with satisfactory soil materials, unless

excavation or earthwork is indicated.

1. Place fill material in horizontal layers not exceeding 8-inch (200 mm) loose depth, and compact each

3.3 TOP SOIL

A. Remove sod and grass before stripping topsoil.

B. Strip topsoil to whatever depths are encountered in a manner to prevent intermixing with underlying other waste materials

C. Stockpile topsoil materials away from edge of excavations without intermixing with subsoil. Grade stockpiles to drain surface water. Cover to prevent windblown dust.

1. Limit height of topsoil stockpiles to 72 inches (1800 mm).

2. Do not stockpile topsoil within drip line of remaining trees. Dispose of excess topsoil as specified waste material disposal.

3. Stockpile surplus topsoil and allow for re-spreading deeper topsoil. 3.4 SITE IMPROVEMENTS A. Remove existing above- and below-grade improvements as indicated and as necessary to facilitate

construction. B. Remove slabs, paving, curbs, gutters, and aggregate base as indicated.

A. Disposal: Remove surplus soil material, unsuitable topsoil, obstructions, demolished materials, and

materials, including trash and debris, and legally dispose of them off Owner's property. END OF SECTION 02230

SECTION 02300 - EARTHWORK PART 1 - GENERAL 1.1 RELATED DOCUMENTS

Division 1 Specification Sections, apply to this Section.

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and 1.2 SUMMARY A. This Section includes the following:

1. Preparing sub-grades for slabs-on-grade, walks, pavements, lawns, and plantings. 2. Excavating and backfilling for buildings and structures.

3. Drainage course for slabs-on-grade. 4. Sub-base course for concrete walks and pavements.

5. Base course for asphalt paving. 6. Subsurface drainage backfill for walls and trenches.

7. Excavating and backfilling trenches within building lines

8. Excavating and backfilling trenches for buried mechanical and electrical utilities and pits for buried

B. Related Sections include the following: 1. Division 1 Section "Construction Facilities and Temporary Controls." 2. Division 2 Section "Site Clearing" for site stripping, grubbing, removing topsoil, and protecting trees

3. Division 2 Section "Landscaping" for finish grading, including placing and preparing topsoil for lawns and plantings. 4. Division 3 Section "Cast-in-Place Concrete" for granular course over vapor retarder. 5. Division 15 through 16 Sections for excavating and backfilling buried mechanical and electrical utilities and buried utility structures.

1.3 DEFINITIONS A. Backfill: Soil materials used to fill an excavation.

CONTRACTOR'S EXPENSE

1. Initial Backfill: Backfill placed beside and over pipe in a trench, including haunches to support sides

2. Final Backfill: Backfill placed over initial backfill to fill a trench. B. Base Course: Layer placed between the sub base course and asphalt paving. C. Bedding Course: Layer placed over the excavated subgrade in a trench before laying pipe.

D. Borrow: Satisfactory soil imported from off-site for use as fill or backfill. E. Drainage Course: Layer supporting slab-on-grade used to minimize capillary flow of pore water. F. Excavation: Removal of material encountered above subgrade elevations.

1 - CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION

OF WORK SHOWN ON DRAWINGS. 2- HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT

3- HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS

1. Additional Excavation: Excavation below subgrade elevations as directed by Architect. Additional the Work 2. Bulk Excavation: Excavations more than 10 feet (3 m) in width and pits more than 30 feet (9 m) in either length or width.

EXTENT OF SOIL EROSION

CONTROL STRIP

SILT FENCE

3. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated dimensions without direction by Architect. Unauthorized excavation, as well as remedial work directed by Architect, shall be without additional compensation. G. Fill: Soil materials used to raise existing grades. H. Structures: Buildings, footings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical

appurtenances, or other man-made stationary features constructed above or below the round surface. I. Sub base Course: Layer placed between the subgrade and base course for asphalt paving, or layer placed between the subgrade and a concrete pavement or walk. J. Subgrade: Surface or elevation remaining after completing excavation, or top surface of a fill or backfill

immediately below sub base, drainage fill, or topsoil materials. K. Utilities include on-site underground pipes, conduits, ducts, and cables, as well as underground services within

1.4 SUBMITTALS A. Product Data: For the following: 1. Each type of plastic warning tape.

2. Drainage fabric. 3. Separation fabric. B. Samples: For the following:

1. 30-lb (14-kg) samples sealed in airtight containers, of each proposed soil material from on-site or borrow sources.

2. 12-by-12-inch (300-by-300-mm) sample of drainage fabric. 3. 12-by-12-inch (300-by-300-mm) sample of separation fabric.

C. Material Test Reports: From a qualified testing agency indicating and interpreting test results for compliance of the following with requirements indicated: 1. Classification according to ASTM D 2487 of each on-site or borrow soil material proposed for fill and

2. Laboratory compaction curve according to ASTM D 698 for each on-site or borrow soil material proposed for fill and backfill. D. Seismic survey agency report, for record purposes.

1.5 QUALITY ASSURANCE A. Geotechnical testing Agency Qualifications: An independent testing agency qualified according to ASTM E 329 to conduct soil materials and rock-definition testing, as documented according to ASTM D 3740 and ASTME 548.

SOIL EROSION NOTES:

1. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY, TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.

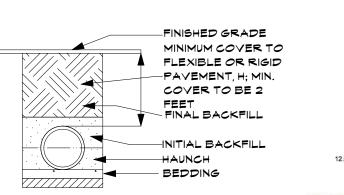
2. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.

3. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.

4. CONTRACTOR SHALL ALLOW TO A MINIMUM POSSIBLE THE SEDIMENTATION DEBRIS TO THE PUBLIC AND PRIVATE ADJOINING AREAS AND SHALL ASSUME RESPONSIBILITY FOR SUCH CONDITIONS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS.

5. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAM BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12". LOOSE STONE AND ROCK SHALL REMOVED FROM SITE, COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.

6. UNLESS OTHERWISE AGREED BY SEPARATE CONTRACT, THIS ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF



S PIPE TRENCH DETAIL

AREA SEE DET

SILT FENCE DETAIL

LET STRUCTURE

2'-6" 12.0" [300 mm] SDR-35 / SCH. 40 PVC COLLAR FIELD PLACED CLASS "C" CONCRETE MAINTAIN 6.0" [152 mm] CLEARANCE BETWEEN HEAVY DUTY LID AND PVC CLEAN-OUT CAP R-5900-A (OR EQUAL) HEAVY 4.0" [100 mm] SDR-35 / SCH. 40 PVC ENDCAP CLEAN-OUT ADAPTER W/ SCREW-IN CAP DUTY FRAME AND LIL 4.0" [100 mm] SDR-35 / SCH. 40 PVC RISER

SP.3/ Scale: 1/2" = 1'-0' - 4.0" [100 mm] SDR-35 / SCH. 40 PVC COUPLING PLAN VIEW TRIM CHAMBER INSPECTION PORT KNOCK-OUT TO MATCH O.D. OF 4.0" [100 mm] INSPECTION PORT PIPE 4.0" [100 mm] SDR-35 / SCH 40 PVC (INSERTED 8.0" [203 mm] INTO CHAMBER 2" X 2" X 36" MIN. HEIGHT CONCRETE TO FILTER CLOTH (STABI-LINKA T140N BY MIRAFI) HARDWOOD FENCE POST @ 10'-0" OC MAX. TO BE FASTENED SECURELY TO POSTS @ TOP POSTS TO BE DRIVEN 16" MIN. INTO GROUND. AND MID SECTIONS AND EMBEDDED MIN. 6" MIN. INTO GROUND. OVERLAPS TO BE MIN. 6" 6" PVC INLET PIPE \_ FROM INFILTRATORS UNDISTURBED GROND

Scale: 1" = 20'-0'

ELEVATION SP.3 NOT TO SCALE **OUTLET CONTROL STRUCTURE (OCS)** - COPING UNIT PROPOSED GRADE -SEGMENTED RETAINING WALL (BY LIBERTY STONE) 12" GRAVEL FILL: T.O. DRIVE CONCRETE LEVELING PAD -FOUNDATION SOIL DEMOLITION NOTE: CONTRACTOR TO REMOVE ALL STRUCTURES AND PAVEMENTS AS INDICATED WITHOUT UNDERMINING THE STRUCTURAL

TO REMOVE ALL FOUNDATIONS AND FOOTINGS AS REQUIRED. CONTRACTOR TO ABIDE BY ALL ENVIRONMENTAL REQUIREMENTS, SUCH AS NOISE, DUST CONTROL, ASBESTOS ABATEMENT, RODENT CONTROL, ETC. ALL MATERIALS TO BE REMOVED SHALL BE DISPENSED OF IN PROPPER MANNER AND AS PER REQUIREMENTS OF THE VILLAGE OF LARCHMONT AND THE COUNTY OF WESTCHESTER. CONTRACTOR TO MAKE OWNER/ARCHITECT AWARE OF

INTEGRITY OF THE ADJACENT NEIGHBORING PROPERTIES.

ANY STRUCTURAL DAMAGE PRIOR TO DEMOLITION. SHORING AND BRACING: 1- CONTRACTOR SHALL PROTECT SITE FROM CAVING AND SOIL MOVEMENT.HE SHALL LOCATE SYSTEMS TO CLEAR PERMANENT CONSTRUCTION AND TO PERMIT FORMING AND FINISHING OF CONCRETE SURFACES.

2- CONTRACTOR SHALL LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. INSTALL NEW BRACE PRIOR TO REMOVING OLD BRACE.

SP.3 Scale: 1/2" = 1'-0' 2" BITUMINOUS CONC. BINDER COURSE 4" PREMIXED BITUMINOUS 6" ROLLED GRAVEL COMPACTED SUBGRADE S PAVEMENT DETAIL SP.3 Scale: 1/2" = 1'-0"

3 DETAIL @ SEGMENTED RETAINING WALL

TRACKING PAD DIAGRAM

Abillama Architects 955 CENTRAL PARK AVENUE

REV.

MR. & MRS.

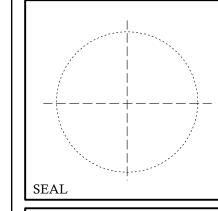
**CHRISTOPHER** 

KALIAN

OWNER:

DATE

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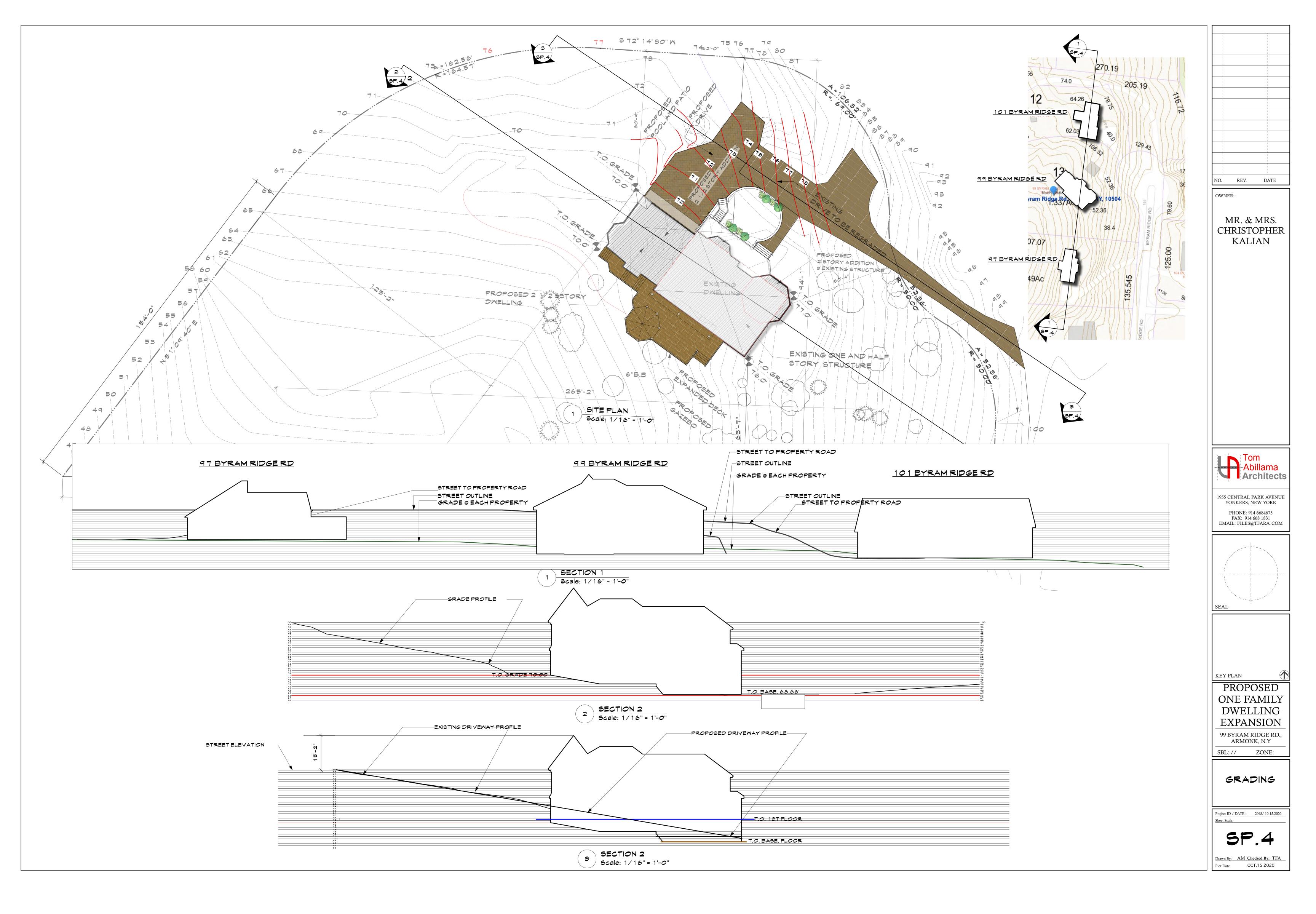
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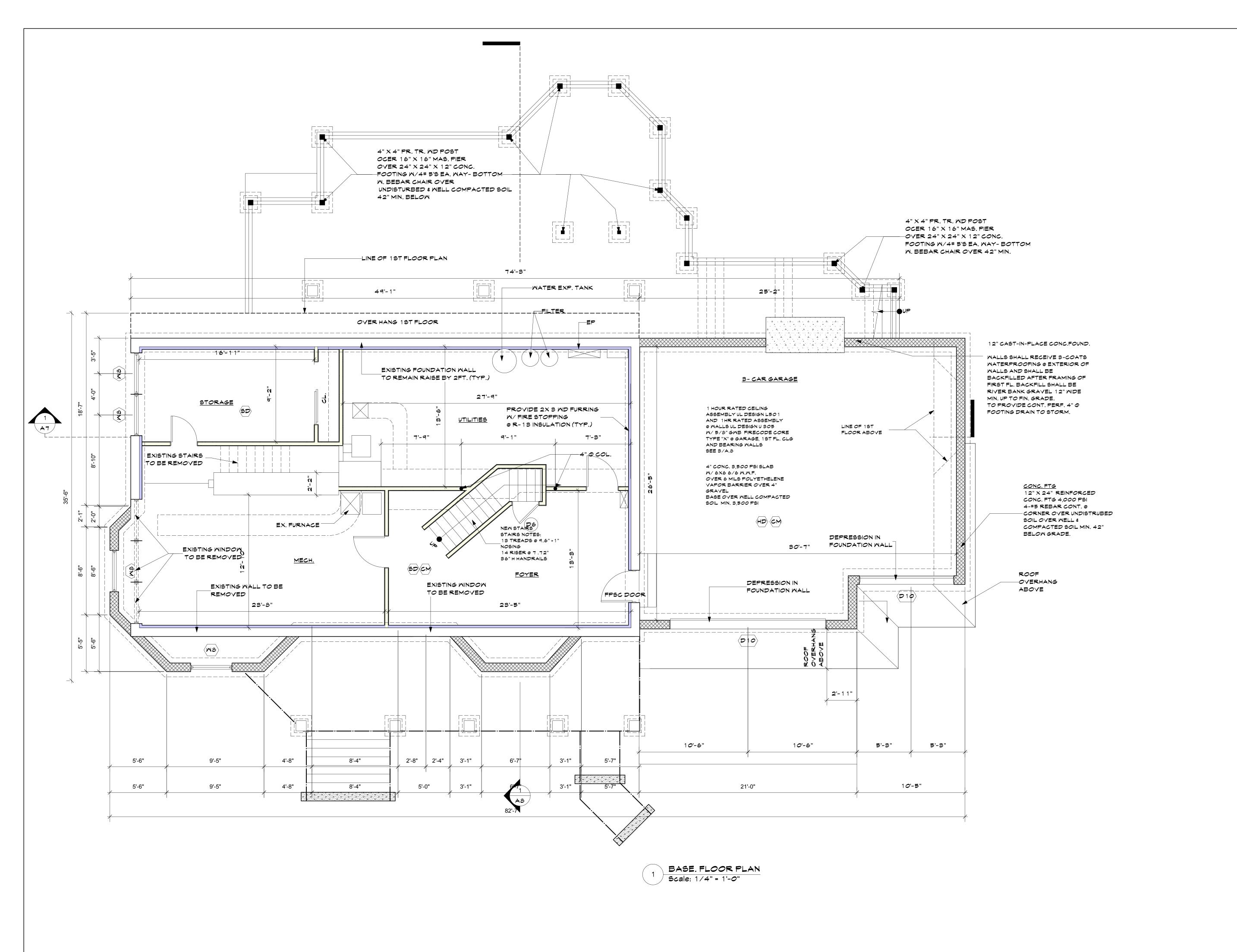
ONE FAMILY **DWELLING EXPANSION** 99 BYRAM RIDGE RD., ARMONK, N.Y

STORMWATER CALCULATIONS AND DESIGN

Project ID / DATE : 2048/ 10.15.2020 Sheet Scale:

Drawn By: AM Checked By: TFA OCT.15.2020





OWNER:

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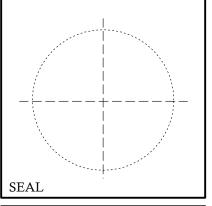
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KEY PLAN

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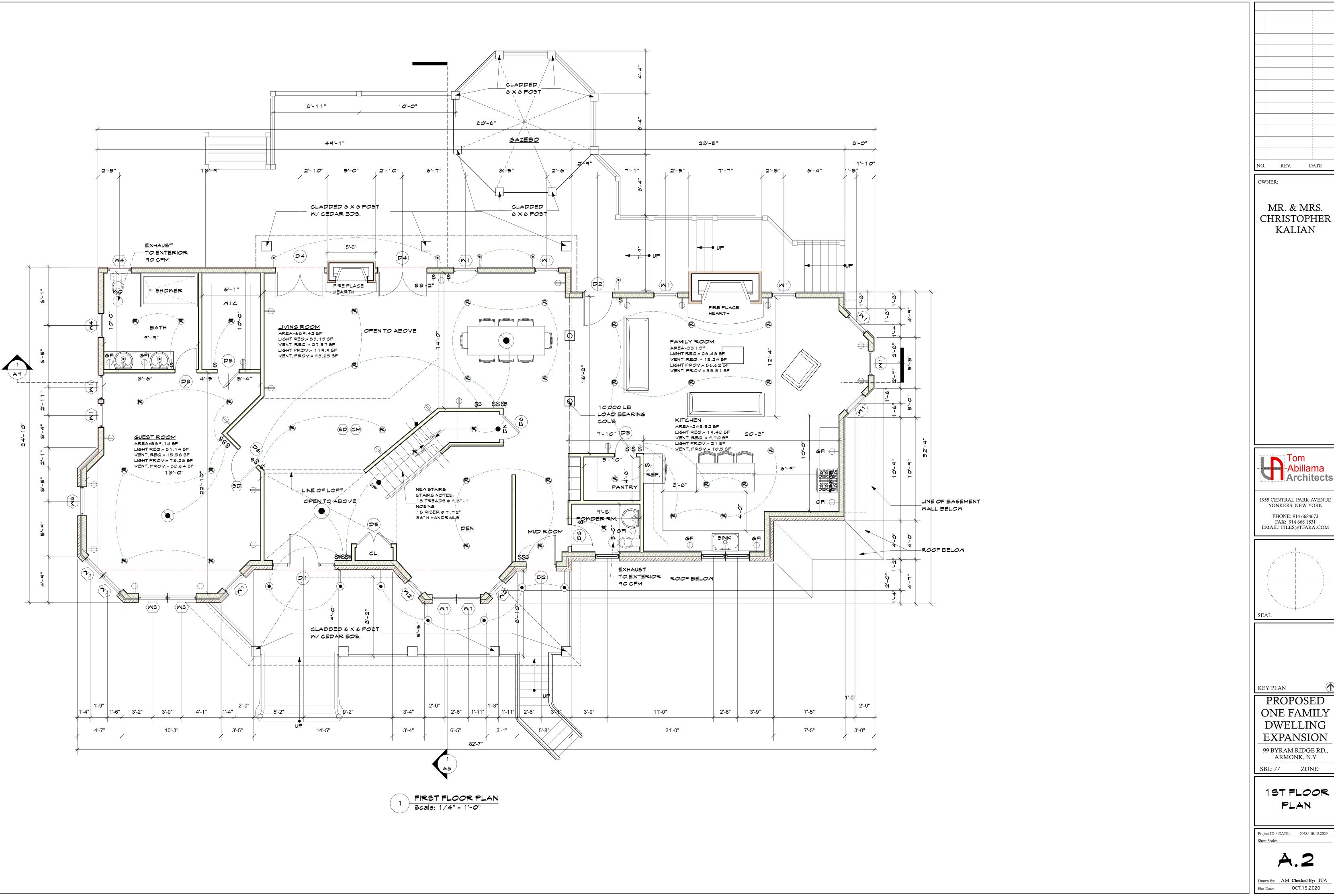
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> BASMENT FLOOR

PLAN

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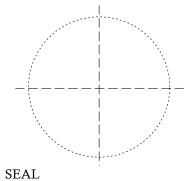
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PROPOSED ONE FAMILY **DWELLING EXPANSION** 

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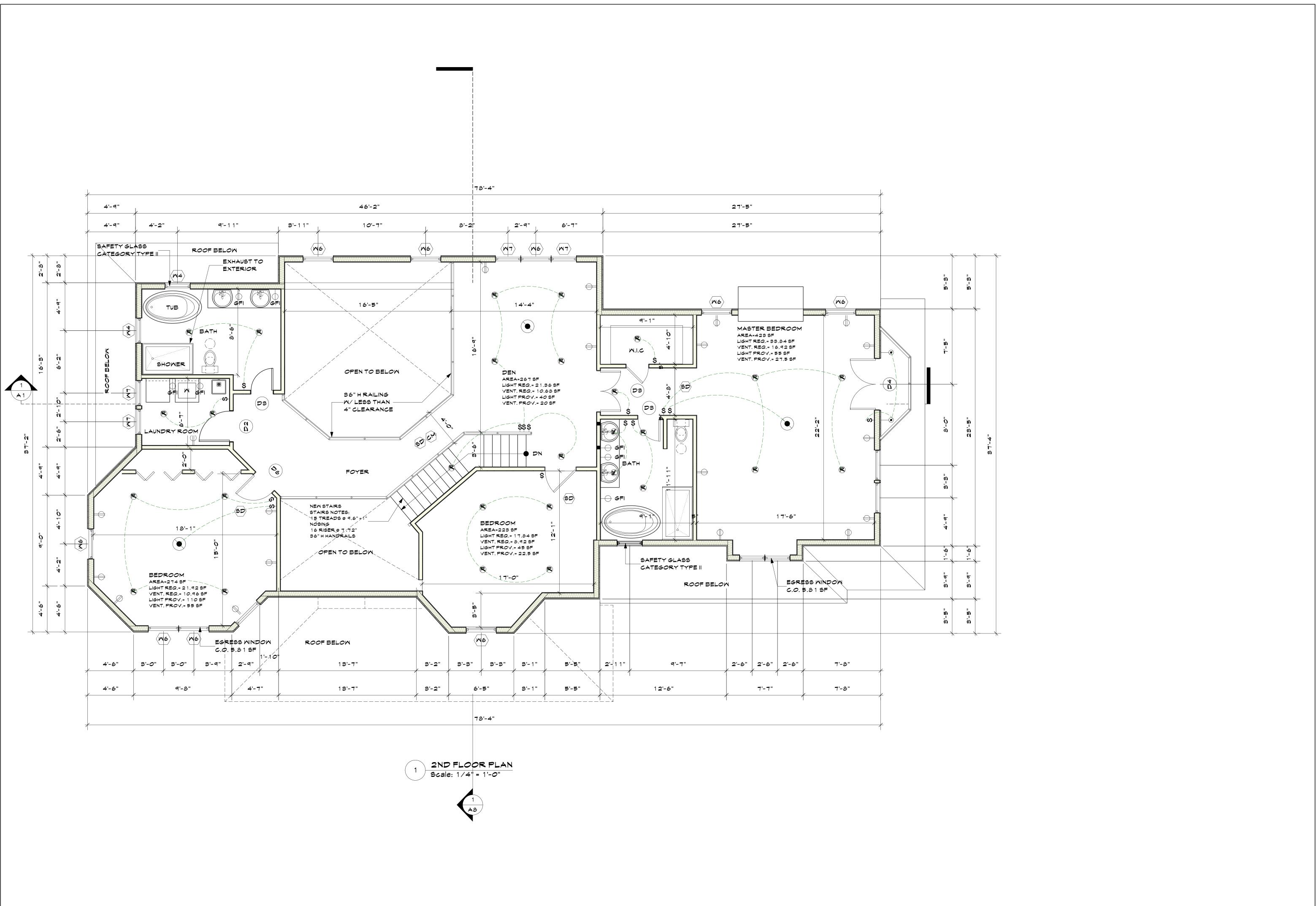
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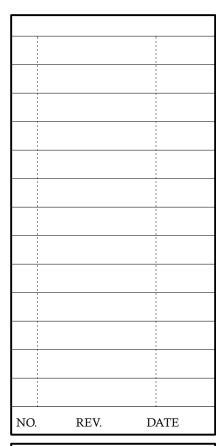
1ST FLOOR PLAN

Project ID / DATE : 2048/ 10.15.2020



Drawn By: AM Checked By: TFA

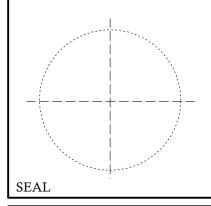




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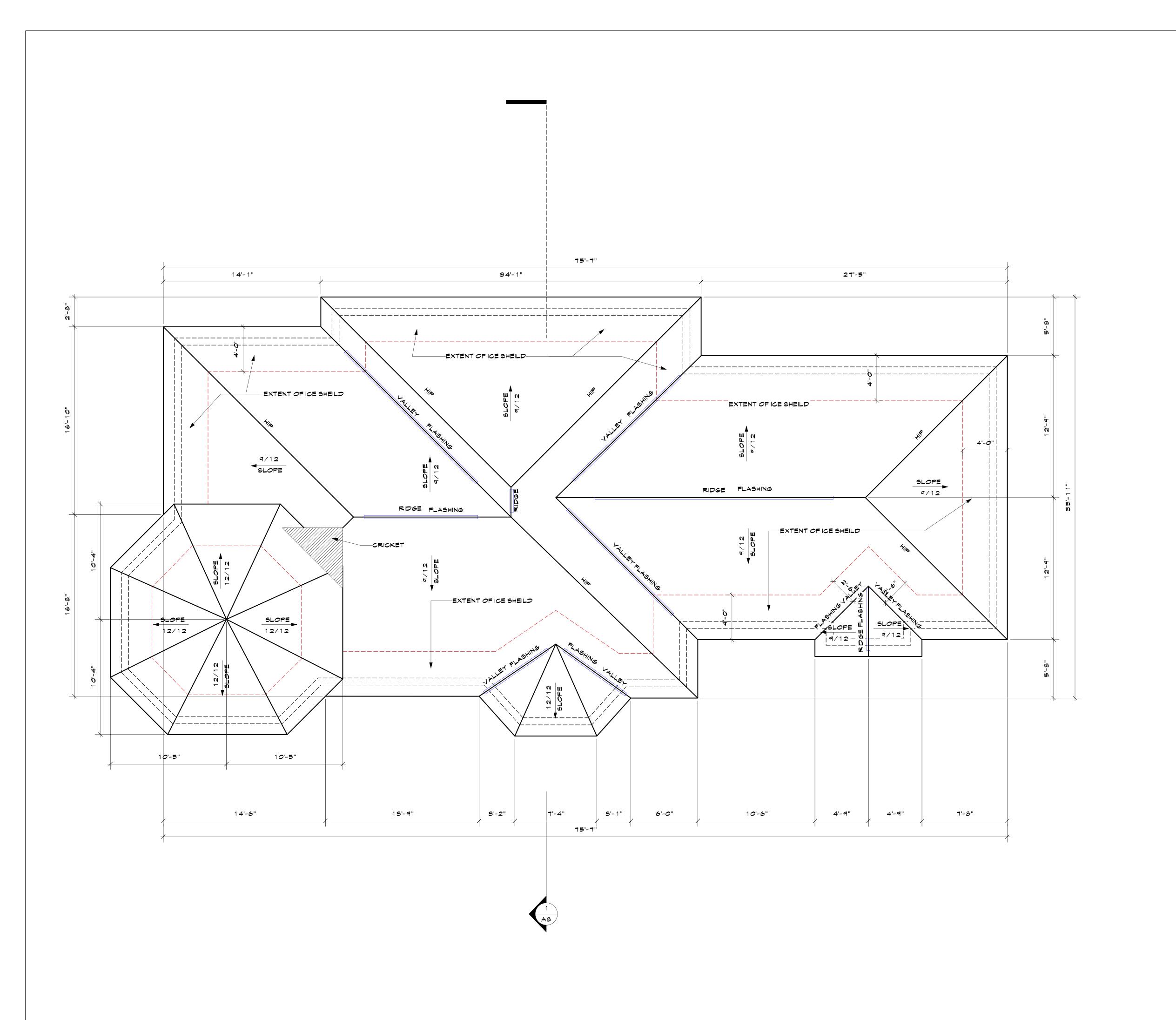
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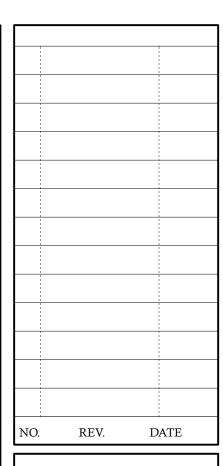
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2ND FLOOR PLAN

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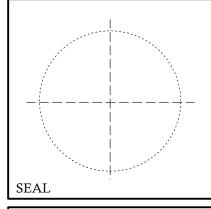




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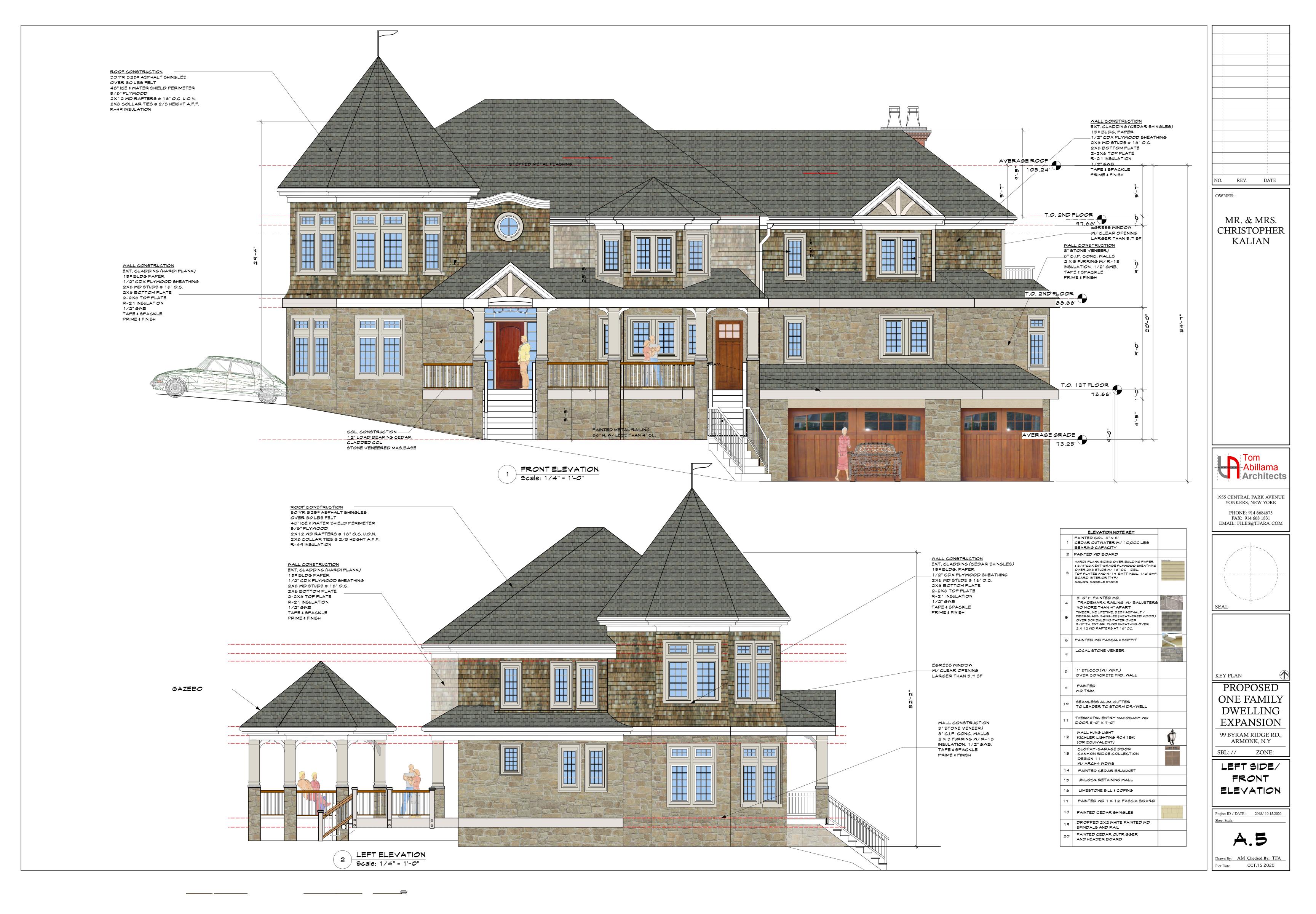
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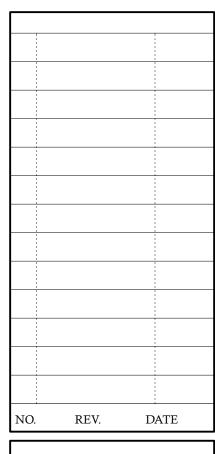
ROOF PLAN

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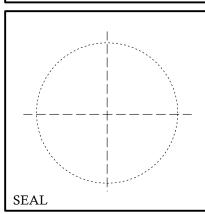




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KEY PLAN

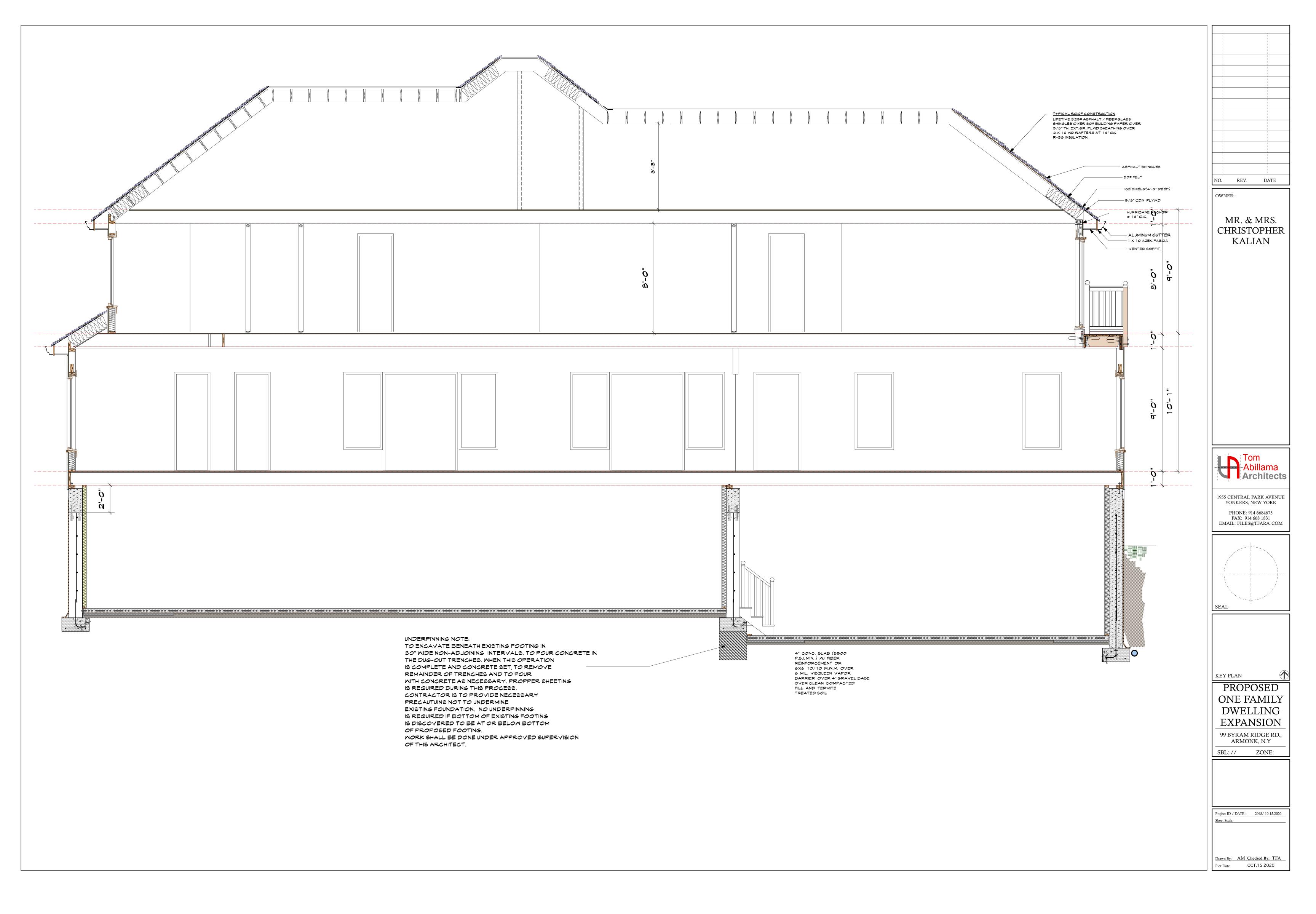
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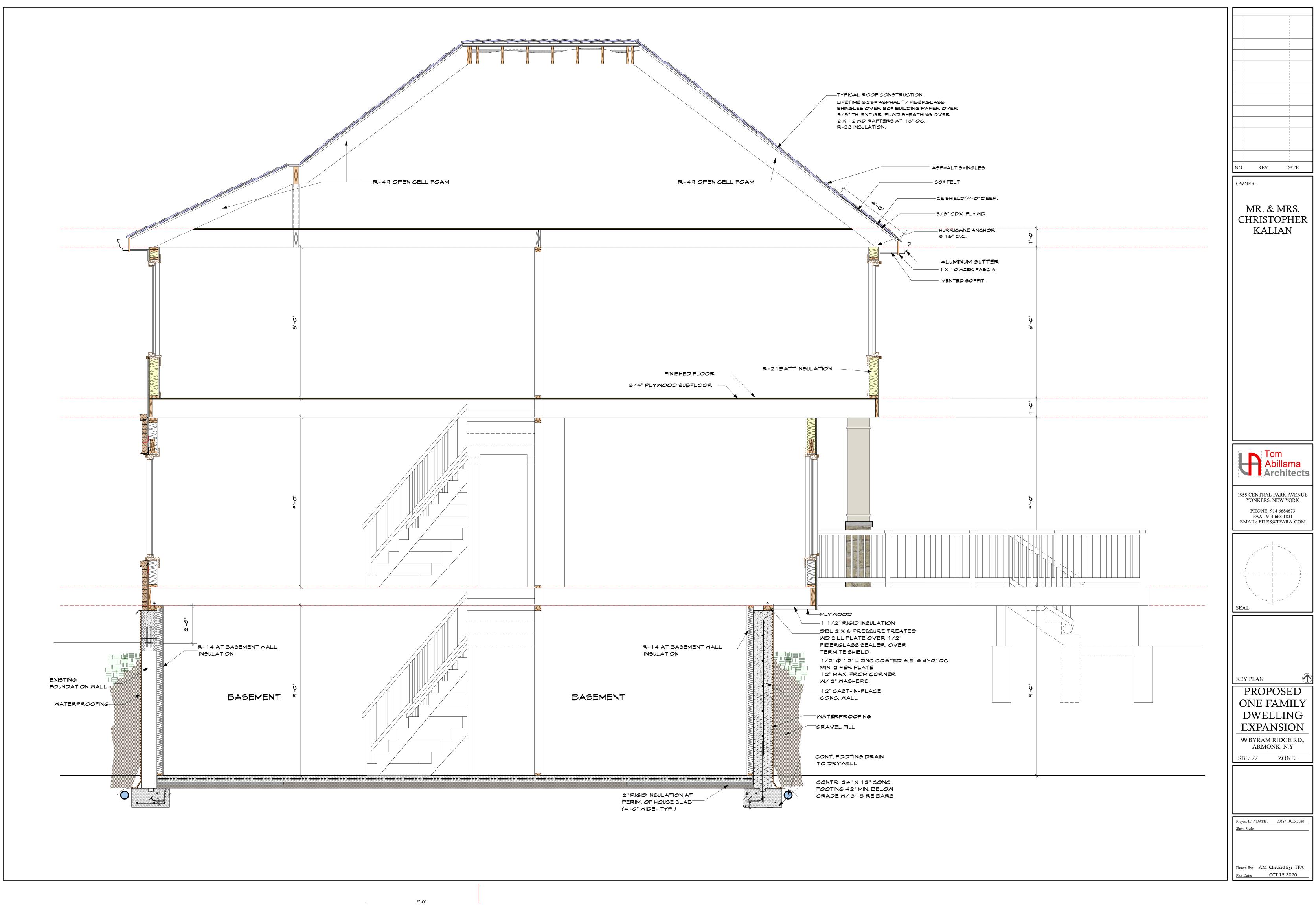
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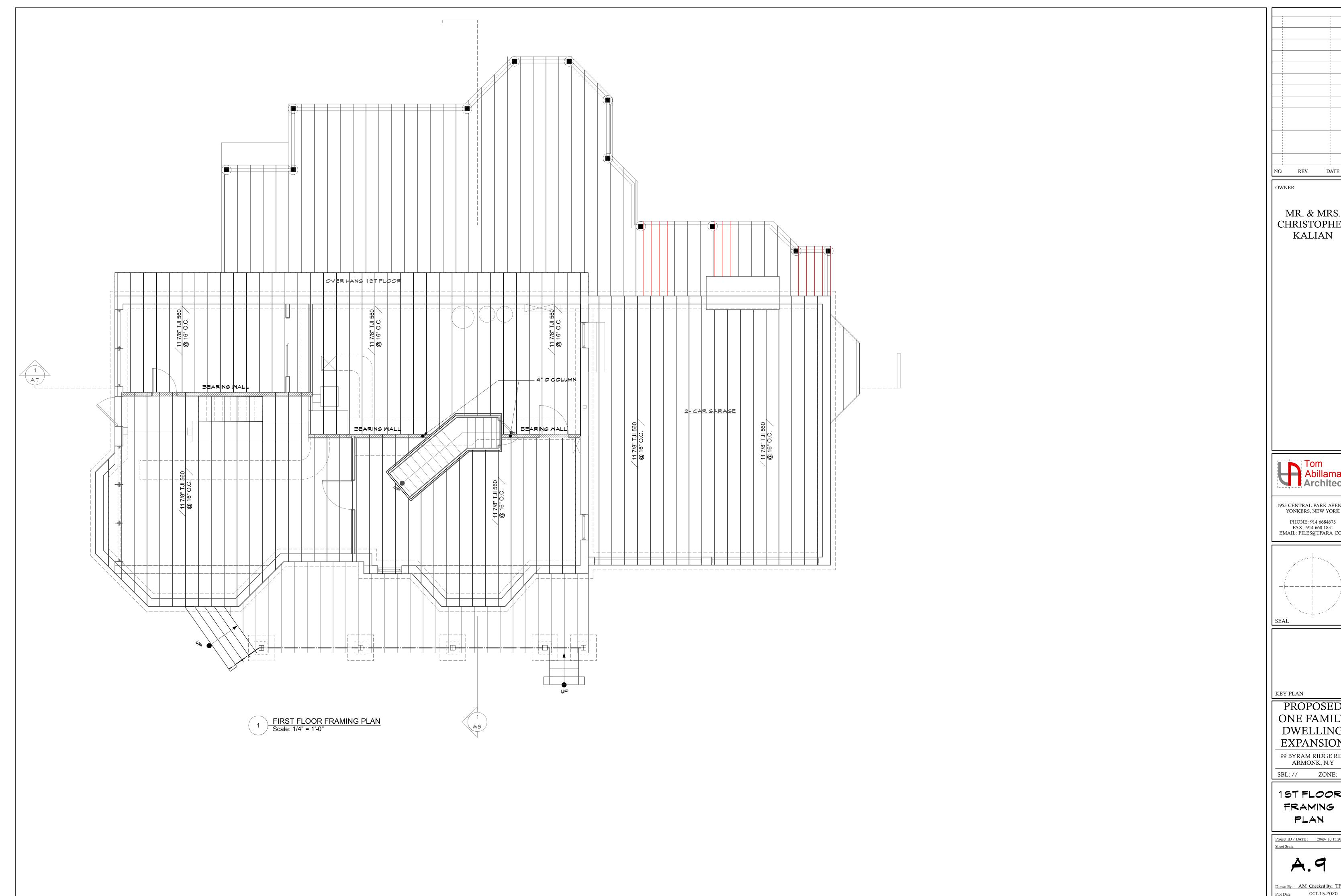
RIGHT SIDE, REAR

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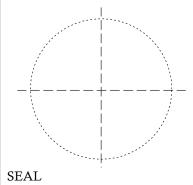




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1955 CENTRAL PARK AVENUE YONKERS, NEW YORK PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



PROPOSED ONE FAMILY **DWELLING EXPANSION** 

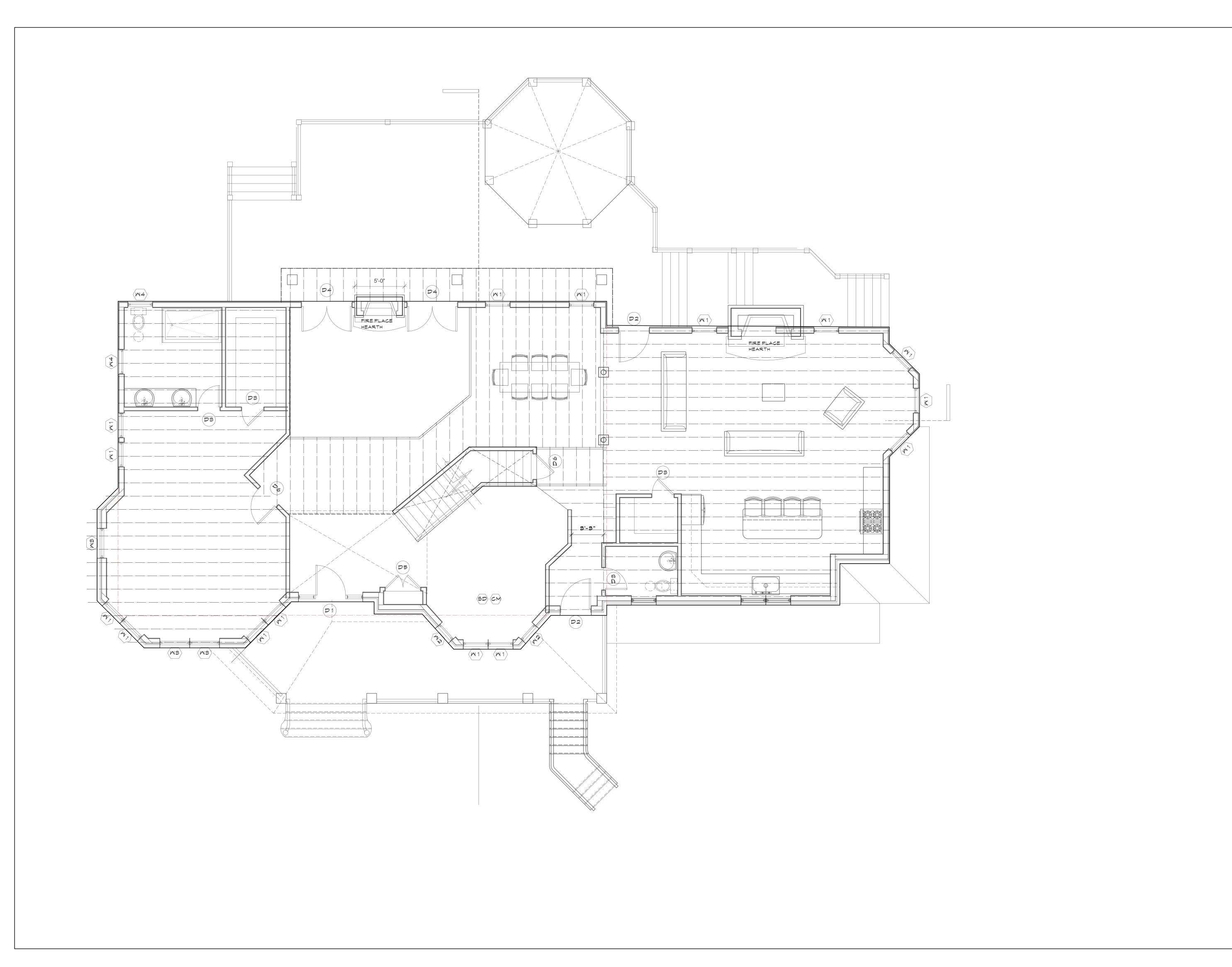
99 BYRAM RIDGE RD., ARMONK, N.Y

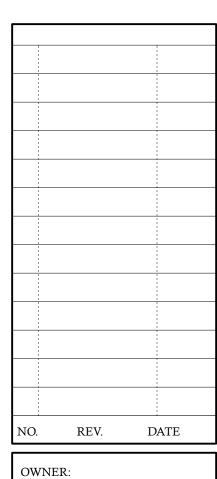
1ST FLOOR FRAMING PLAN

Project ID / DATE : 2048/ 10.15.2020



Drawn By: AM Checked By: TFA Plot Date: OCT.15.2020

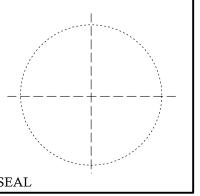




MR. & MRS. CHRISTOPHER KALIAN



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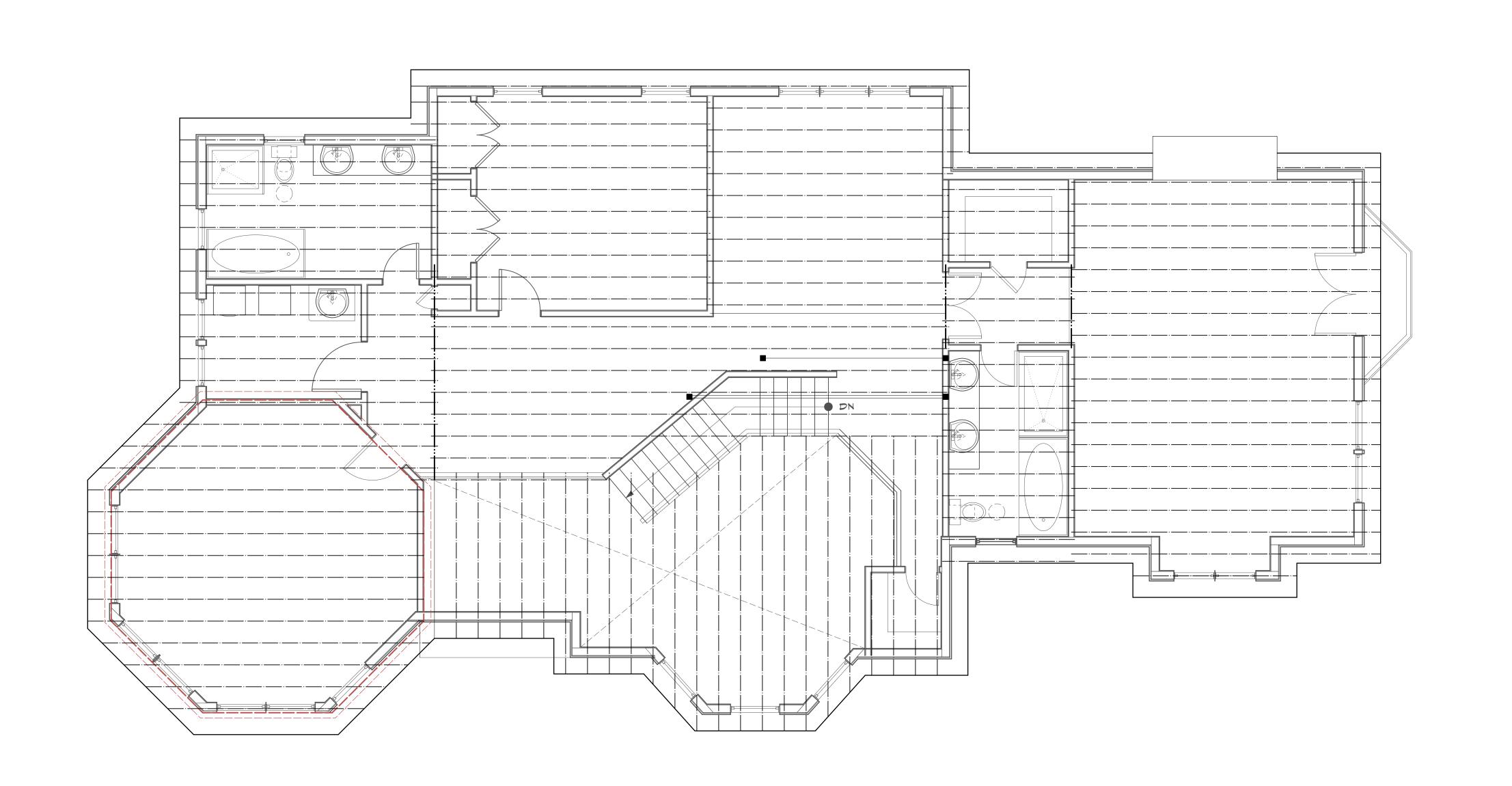
KEY PLAN

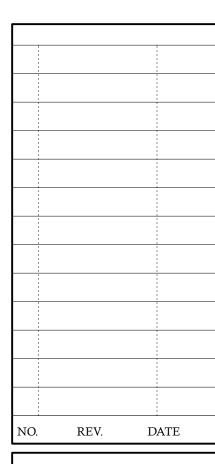
PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y

SBL: // ZONE:

Project ID / DATE : 2048/ 10.15.2020 Sheet Scale:

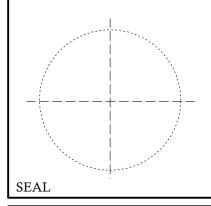




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KEY PLAN

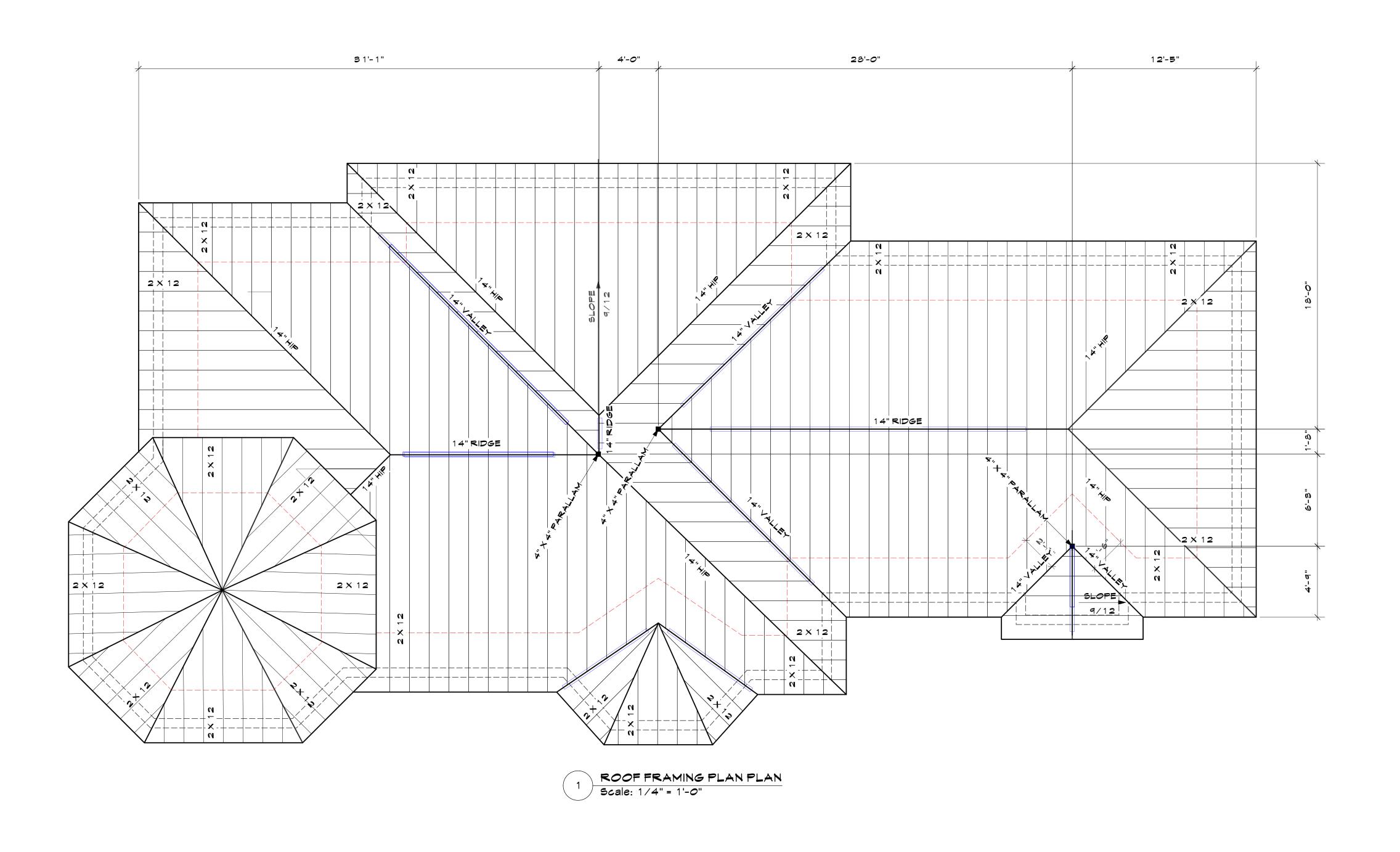
PROPOSED ONE FAMILY DWELLING

EXPANSION

99 BYRAM RIDGE RD., ARMONK, N.Y SBL: // ZONE:

Project ID / DATE : 2048/ 10.15.2020

Sheet Scale:





TO PROVIDE PLASTIC STICKER
(8 1/2" X 11") W/ RED COLOR CREST AT
ELECT. METER INDICATING USE OF
ENGINEERED WOOD STRUCTURAL
MEMBERS.
LOCATION IS SUBJECT TO APPROVAL BY
FIRE DEPARTMENT.

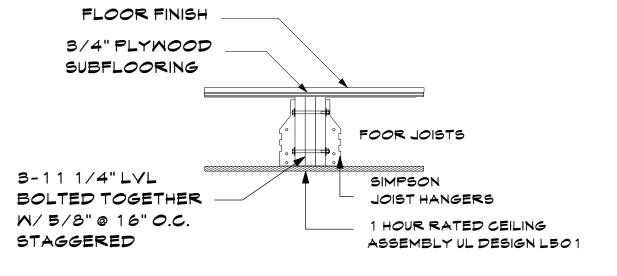
PART# TRUSS NY 10
BLDG. CONSTRUCTION TYPE V
ROOF CONSTRUCTION
ENGINEERED FRAMING
AT FLOORS AND BEAMS
AS PER 1265 OF TITLE 19

FOR MORE INFORMATION LOG IN TO THE FOLLOWING LINK:

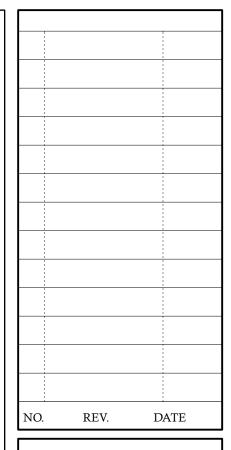
https://www.safetysign.com/products/7010/ny-type-v-floor-roof-truss-sign

(d) Signs identifying the existence of truss construction shall consist of a circle 6 inches (152.4 mm) in diameter, with a stroke width of ½ inch (12.7 mm). The sign background shall be reflective white in color. The circle and contents shall be reflective red in color, conforming to Pantone matching system (PMS) #187. Where a sign is directly applied to a door or sidelight, it may be a permanent non-fading sticker or decal. Signs not directly applied to doors or sidelights shall be of sturdy, non-fading, weather resistant material.





SECTION DETAIL @ LVL Scale: 3/4" = 1'-0"

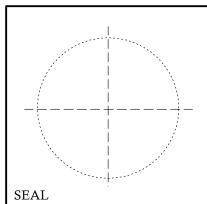


OWNER:

MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE YONKERS, NEW YORK PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM



KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

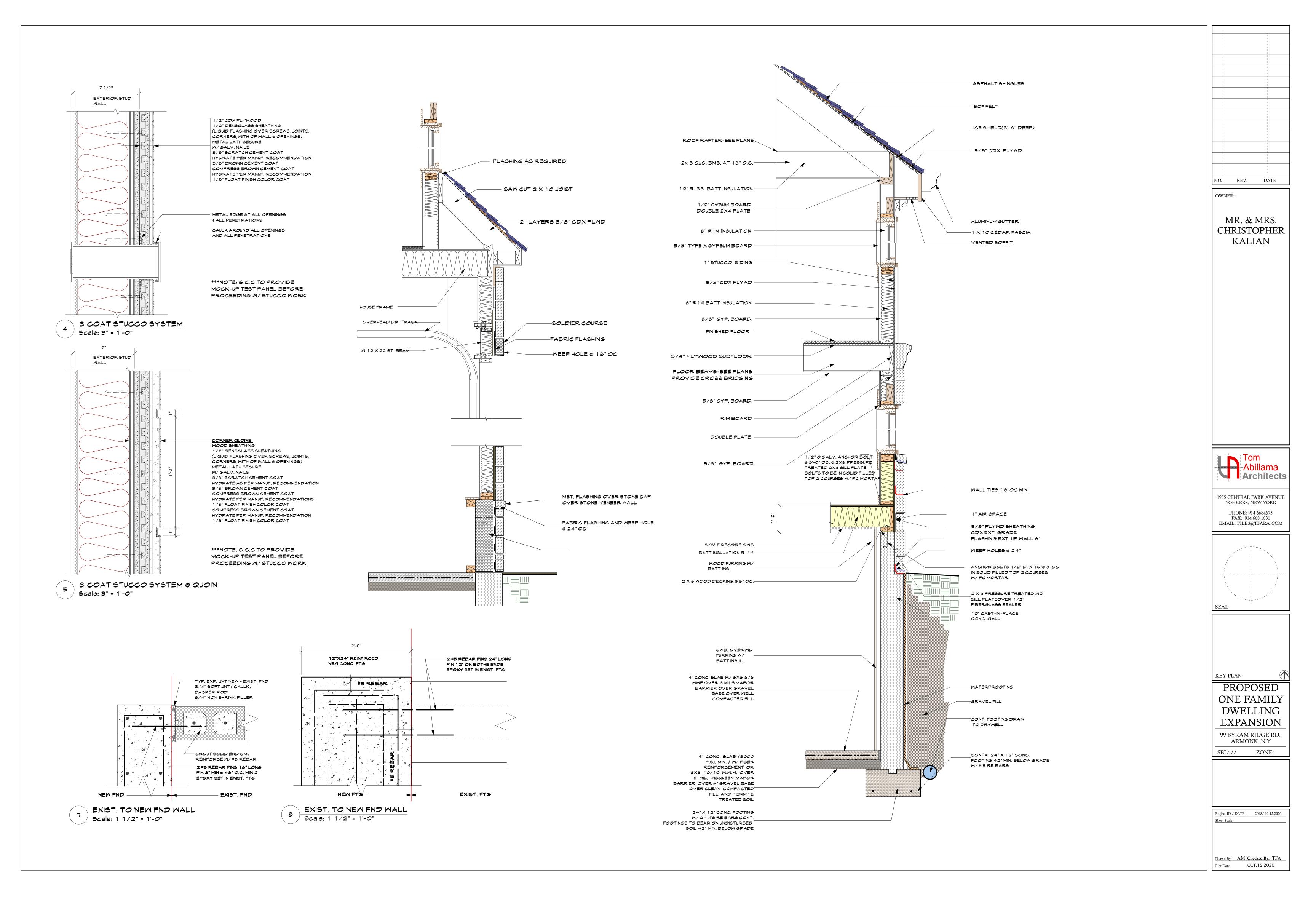
99 BYRAM RIDGE RD., ARMONK, N.Y

SBL: // ZONE:

ROOF FRAMING PLAN

Project ID / DATE : 2048/ 10.15.2020





# **OWTS NOTES** THE PLAN.

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.

THERE ARE NO OWTS WITHIN 200 FEET OF THE WELL UNLESS OTHERWISE SHOWN ON

THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET IF THE PROPOSED WELL.

. THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLAN. THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY

EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER LOT AREA: ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE

IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CANNOT BE FOLLOWED, A TAX MAP REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY WCDH.

THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.

WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL SCHOOL DISTRICT: MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN DRAINAGE BASIN: WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.

NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.

.0. AFTER BACKFILLING THE OWTS, THE AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEEDED AND MULCHED.

1. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND PROPOSED DEVELOPMENT SINGLE FAMILY, REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.

12. ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF BOX.

13. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED DEPTH TO BEDROCK N/A SEPTIC CONTRACTOR.

14. PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962.

15. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM TOTAL LENGTH ABSORPTION TRENCH REQUIRED/PROVIDED = 720 LF THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE

OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.

.6. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET

OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN. .7. THERE ARE NO NYSDEC WETLANDS OR WATERCOURSES WITHIN 200 FEET OF THE

PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN. 18. STORMTECH SC-740 CHAMBERS ARE NOT A PART OF THE OWTS.

19. THE PROPOSED FILL FOR THE OWTS AREA IS TO BE RUN OF BANK SAND AND GRAVEL

PROPOSED 4" PVC SDR35

BETWEEN JUNCTION BOXES

N 73° 57' 10" W

SEPTIC PRIMARY AREA -

WIDE GRAVEL TRENCH

SEPTIC RESERVE AREA - 1

±5,000 SF

TOTAL TRENCH LENGTH: 720 LF

±4,694 SF

TOTAL TRENCH LENGTH: 720 LF

PERFORATED PVC PIPE IN 24"

TRENCH SLOPE: MAX  $\frac{1}{16}$ "/1' TYP.

20. ESTIMATED TIME OF CONSTRUCTION: MAY-JUNE 2021

### MISCELLANEOUS DATA

99 BYRAM LLC 5 W MAIN ST

ELMSFORD, NY 10523 EDWARD T. GANNON, PLS CHERRY HILL ROAD

BLOOMING GROVE, NY 10914 TOWN OF NORTH CASTLE

1.34 AC FIRE DISTRICT: ARMONK FD 101.01-1-13 WATER DISTRICT: ONSITE WELL SEWER DISTRICT: ONSITE SSDS BYRAM HILLS

BYRAM RIVER BASIN INLAND LONG ISLAND SOUND BASIN WATERSHED:

OWTS DESIGN SUMMARY

5 BEDROOM HOME

DESIGN FLOW: 200 GPD/BEDROOM = 1,000 GPD

DEPTH TO GROUNDWATER N/A

EXISTING ZONING DISTRICT: R-1A

SOIL PERCOLATION RATE = 16-20 MIN/IN

TOPOGRAPHY/SLOPE 11%

NYSDEC MAPPER AND ARE APPROXIMATE

S 72° 14' 30" W

PROPOSED 2-STORY

1500 GAL -

SEPTIC TANK -

DOSING CHAMBER

360 LF OF TRENCH

EACH OUTLET TO FEED

--- 40 LF JB-1 0+00 40 LF

7' OC 42 LF /JB-2 42 LF

60 LF JB-6 63 60 LF

TYP 46 LF JB-3 46 LF

PROPOSED ASPHALT

EXISTING

DWELLING

WELL SETBACK

DRIVEWAY EXPANSION

PROP. STORMTECH

SC-740 CHAMBERS

REMOVE TREES WITHIN

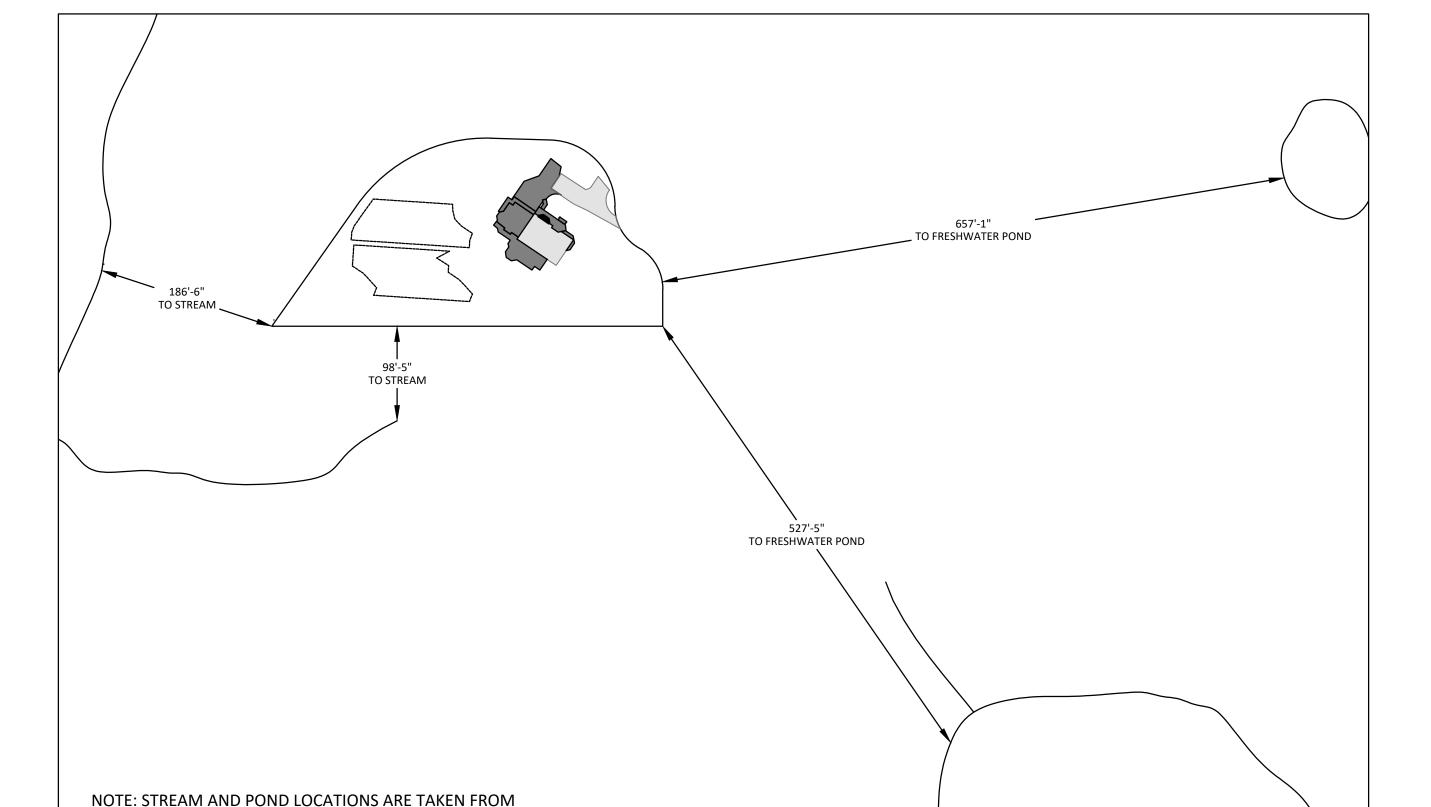
10' OF PROPOSED FIELDS

THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED

SOIL CLASSIFICATION: ChB & RhD

12" MIN OF 4" SOLID PVC -

FROM JB TO PERF PIPE (TYP)

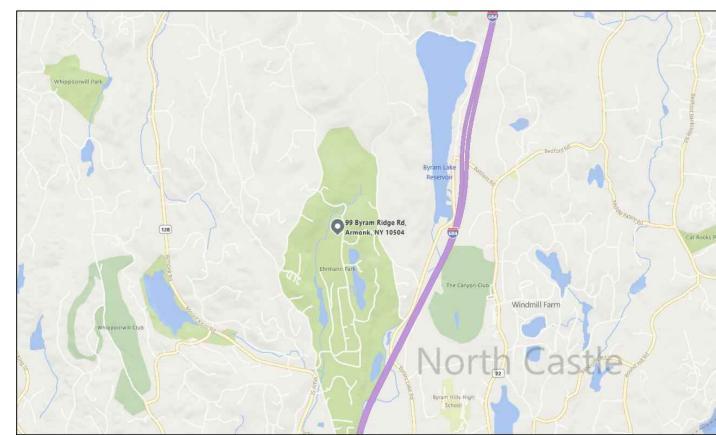


STREAMS AND WATERBODIES 1" = 100'-0"

APPROX. LOCATION

OF EXISTING WELL

**LOCATION MAP** 



PAUL A. BERTE, P.E 100 EXECUTIVE BLVD. SUITE 204

OSSINING, NY 10562

100 EXECUTIVE BLVD. SUITE 204

OSSINING, NY 10562

PHONE: (914) 944-3377

FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A. LICENSE NUMBER: 030424-1

CERTIFICATE NUMBER: 0973256

REVISIONS	DATE	BY

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS VIOLATION OF TITLE VIII, ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.

DRAWING TITLE: OWTS SITE PLAN

99 BYRAM, LLC OWTS PLAN

ARMONK, NY 10580

PROJECT ADDRESS: 99 BYRAM RIDGE ROAD

WCDOH SIGNATURE:

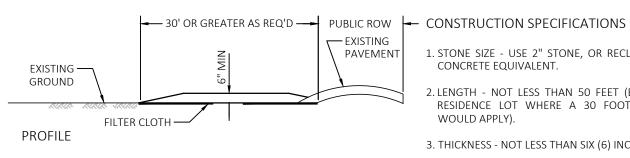
1"x1" HARDWOOD, 36" MIN. —

¬ LENGTH FENCE POSTS DRIVEN MIN. 16" INTO GROUND SILT FENCE — 1"x1" HARDWOOD, 36" MIN. — LENGTH FENCE POSTS \_\_ 10' MAX O.C. \_\_\_\_ SILT FENCE — FLOW COMPACTED SOIL — EMBED FILTER CLOTH A -MIN. OF 6" IN GROUND SECTION VIEW

### CONSTRUCTION SPECIFICATIONS:

- 1. SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"X1" HARDWOOD, OR APPROVED EQUAL.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USCF MISF180, MIRAFI 100X OR APPROVED EQUIVALENT.
- 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS

# SILT FENCE INSTALLATION DETAIL



1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.

2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).

3. THICKNESS - NOT LESS THAN SIX (6) INCHES.

PERSPECTIVE VIEW

4. WIDTH - TWELVE (12) FOOT MINIMUM. BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO

5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.

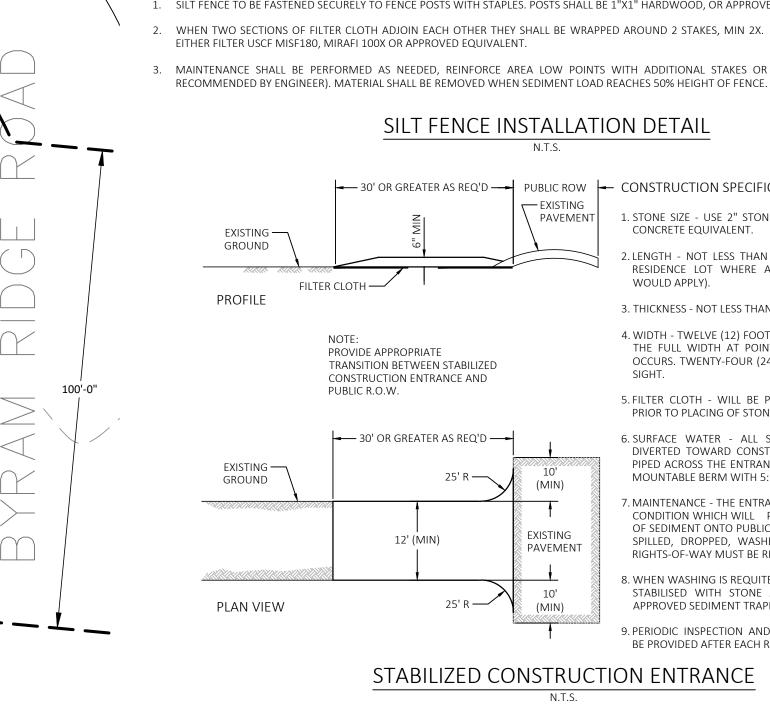
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL. A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT **EXISTING** 12' (MIN) SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC PAVEMENT

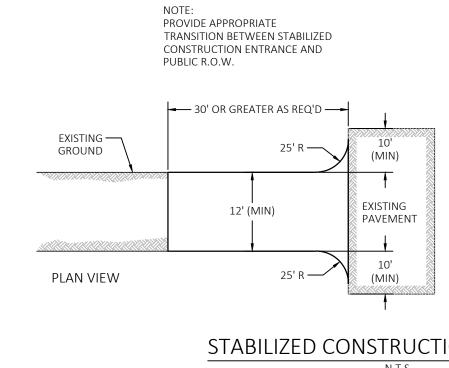
RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. 8. WHEN WASHING IS REQUITED, IT SHALL BE DONE ON A AREA STABILISED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

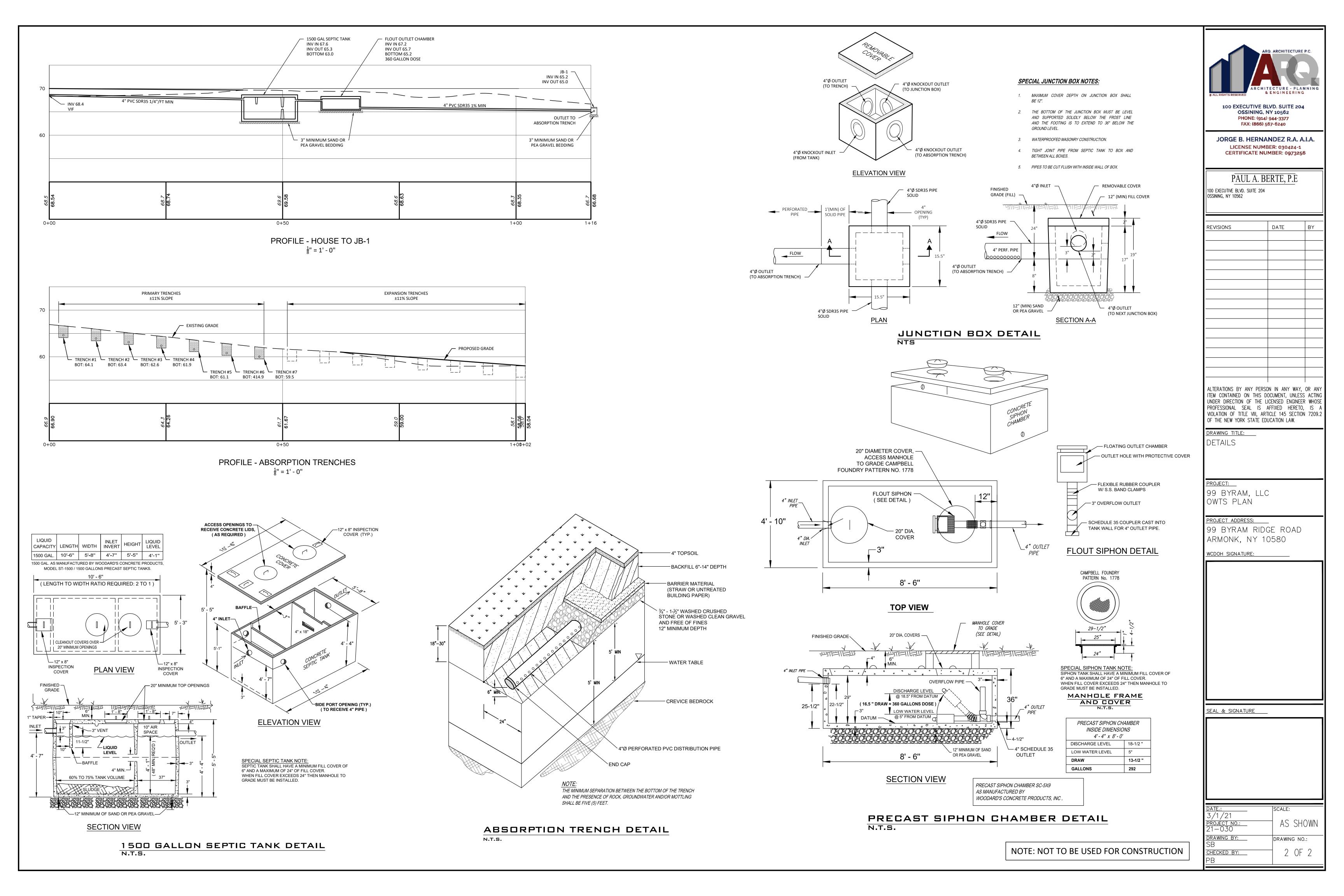
NOTE: NOT TO BE USED FOR CONSTRUCTION





EAL & SIGNATURE

" = 20' - 0DRAWING BY: DRAWING NO.: 1 OF 2 CHECKED BY:



### **OWTS NOTES**

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- 15. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM TOTAL LENGTH ABSORPTION TRENCH REQUIRED/PROVIDED = 720 LF THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE

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19. THE PROPOSED FILL FOR THE OWTS AREA IS TO BE RUN OF BANK SAND AND GRAVEL

PROPOSED 4" PVC SDR35

BETWEEN JUNCTION BOXES

N 73° 57' 10" W

SEPTIC PRIMARY AREA -

±4,694 SF

TOTAL TRENCH LENGTH: 720 LF

PERFORATED PVC PIPE IN 24" WIDE GRAVEL TRENCH

TRENCH SLOPE: MAX  $\frac{1}{16}$ "/1' TYP.

SEPTIC RESERVE AREA - 1

±5,000 SF

TOTAL TRENCH LENGTH: 720 LF

20. ESTIMATED TIME OF CONSTRUCTION: MAY-JUNE 2021

### MISCELLANEOUS DATA

99 BYRAM LLC 5 W MAIN ST ELMSFORD, NY 10523

EDWARD T. GANNON, PLS CHERRY HILL ROAD BLOOMING GROVE, NY 10914

TOWN OF NORTH CASTLE

1.34 AC FIRE DISTRICT: ARMONK FD 101.01-1-13 WATER DISTRICT: ONSITE WELL

SEWER DISTRICT: ONSITE SSDS BYRAM HILLS BYRAM RIVER BASIN

INLAND LONG ISLAND SOUND BASIN WATERSHED:

EXISTING ZONING DISTRICT: R-1A

### OWTS DESIGN SUMMARY

5 BEDROOM HOME

DESIGN FLOW: 200 GPD/BEDROOM = 1,000 GPD

DEPTH TO GROUNDWATER N/A

SOIL PERCOLATION RATE = 16-20 MIN/IN

TOPOGRAPHY/SLOPE 11%

THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED

SOIL CLASSIFICATION: ChB & RhD

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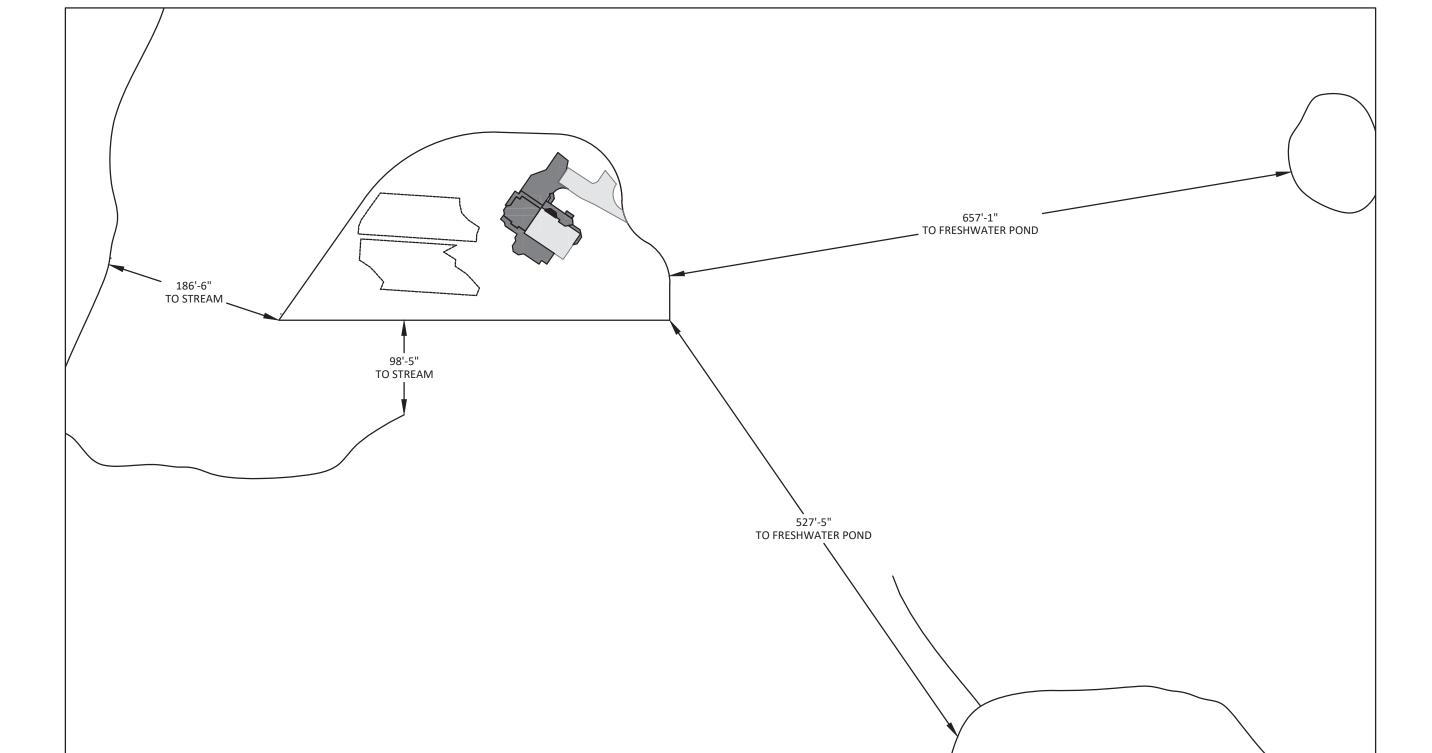
40 LF JB-1

7' OC 42 LF JB-2 42 LF

TYP 46 LF JB-3 46 LF

60 LF JB-6 63 60 LF

FROM JB TO PERF PIPE (TYP)



STREAMS AND WATERBODIES

APPROX. LOCATION

OF EXISTING WELL

1" = 100'-0"

NOTE: STREAM AND POND LOCATIONS ARE TAKEN FROM

PROPOSED ASPHALT

EXISTING

DWELLING

DRIVEWAY EXPANSION

PROP. STORMTECH

SC-740 CHAMBERS

REMOVE TREES WITHIN

10' OF PROPOSED FIELDS

NYSDEC MAPPER AND ARE APPROXIMATE

S 72° 14′ 30″ W

PROPOSED 2-STORY

1500 GAL

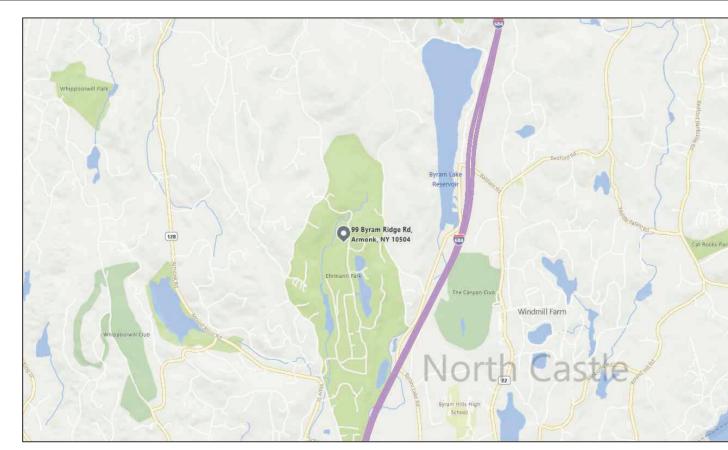
SEPTIC TANK -

DOSING CHAMBER -

360 LF OF TRENCH

8-1 ----+-----

EACH OUTLET TO FEED



**LOCATION MAP** 



CERTIFICATE NUMBER: 0973256

# PAUL A. BERTE, P.E

100 EXECUTIVE BLVD. SUITE 204 OSSINING, NY 10562

REVISIONS	DATE	BY

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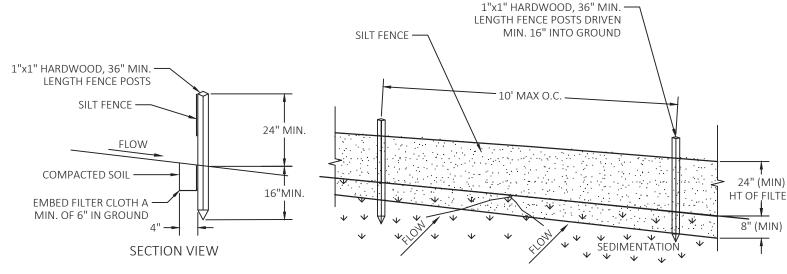
DRAWING TITLE: OWTS SITE PLAN

99 BYRAM, LLC OWTS PLAN

PROJECT ADDRESS: 99 BYRAM RIDGE ROAD

ARMONK, NY 10580

WCDOH SIGNATURE:



### CONSTRUCTION SPECIFICATIONS:

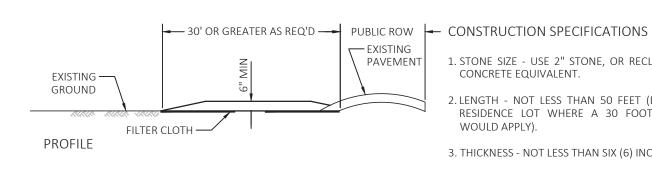
EXISTING —

PLAN VIEW

GROUND

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- 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

## SILT FENCE INSTALLATION DETAIL



PROVIDE APPROPRIATE

TRANSITION BETWEEN STABILIZED

EITHER FILTER USCF MISF180, MIRAFI 100X OR APPROVED EQUIVALENT.

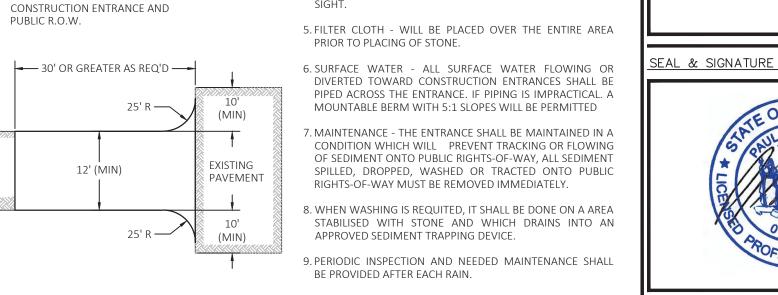
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NOTE: NOT TO BE USED FOR CONSTRUCTION



PERSPECTIVE VIEW

# STABILIZED CONSTRUCTION ENTRANCE

" = 20' - 0DRAWING BY: DRAWING NO.: 1 OF 2 CHECKED BY:

