



1955 Central Park Ave. Suite #200, Yonkers, New York 10710
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Attention: Mr. Christopher Carthy, Chairman of the Planning Board
Residential Project review Committee
Town of North Castle, NY.

Project: Proposed single family dwelling expansion,
Chris Kalian

99 Byram Road
Zoning District: R-1A Tax ID: 101.01-1-13
Application No.: 2020-3241

Date: March 10, 2021

Dear Mr. Carthy:

This letter is in response to your Planning Board comments regarding the aforementioned premises. We appreciate your comments and would like to note the following:

1- We have provided the Board schematic cross sections which illustrate the relationship of the house to the street as well as to the adjacent homes. We believe by doing so we have demonstrated that the impact of the proposed house is minimal and that it positively affects the relationship to the neighboring houses.

2- It is important to note that in the proposed design we utilize the existing curb cut and the driveway, the utilities as well as the existing foundation in order to minimize the costs. We believe that the design as proposed fits positively within the neighborhood. The front of the house faces the front of the house situated to the north of the property and the rear of the house is shielded from the house to the south by deep and forested rear yard.

3- A robust planting plan is also attached as prepared by a landscape architect, Mr. Zaino.

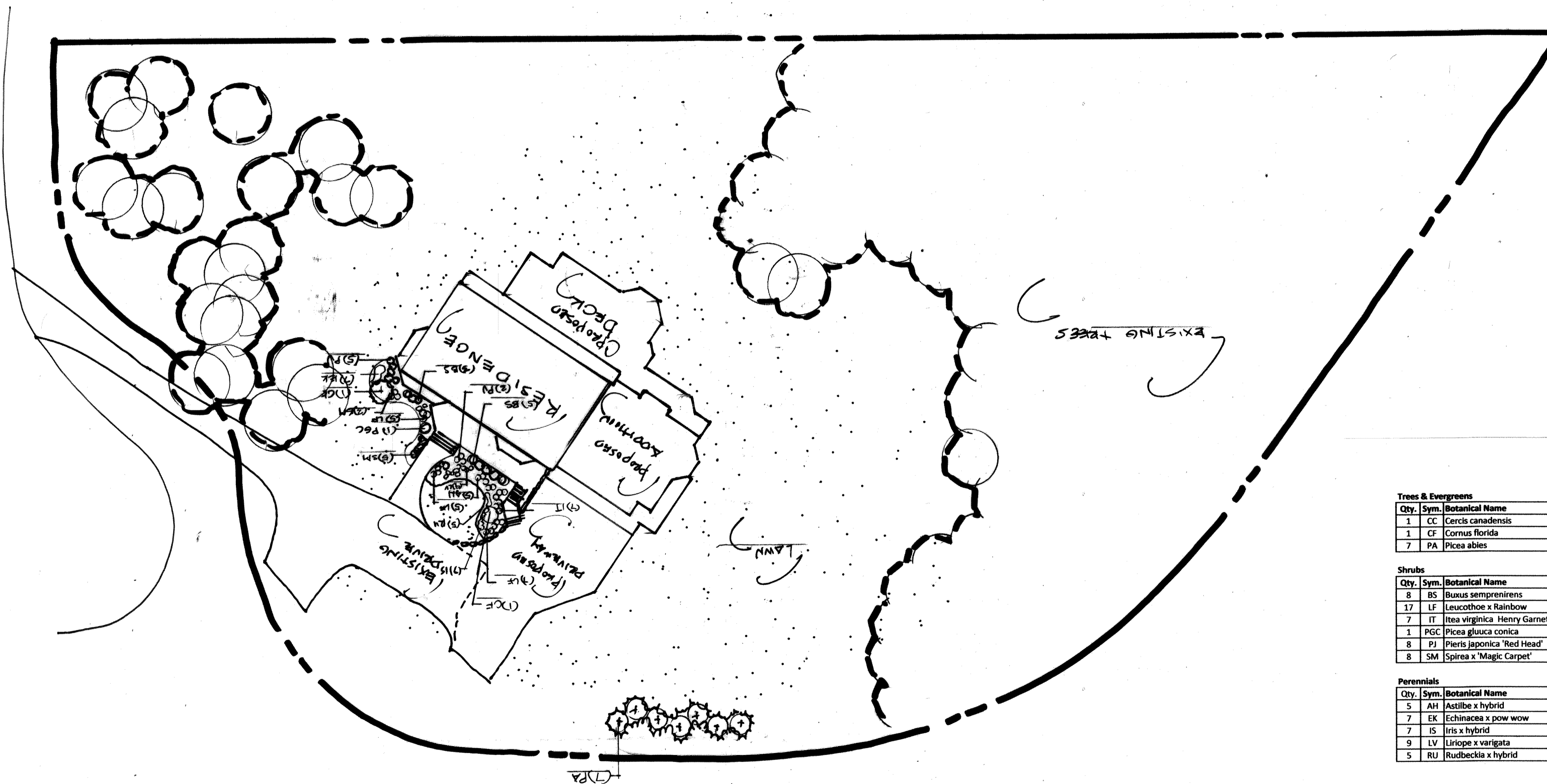
4- In addition, a Septic system design is being proposed before the Health Department.

We, therefore believe that the proposed design, by maintaining the existing orientation, is the best use for the property.

Best regards,

Tom F. Abillama, AIA.

BYRAM RIDGE ROAD



Trees & Evergreens

Qty.	Sym.	Botanical Name	Common Name	Size
1	CC	Cercis canadensis	Red Bud	7'-8' ht.
1	CF	Cornus florida	Flowering Dogwood	2" caliper
7	PA	Picea abies	Norway Spruce	7'-8' ht.

Shrubs

Qty.	Sym.	Botanical Name	Common Name	Size
8	BS	Buxus semprenirens	Bowwood	24" 30" ht.
17	LF	Leucothoe x Rainbow	Rainbow Leucothoe	3 gallon
7	IT	Itea virginica 'Henry Garnet'	Henry Garnet Sweetspirer	3 gallon
1	PGC	Picea glauca conica	Alberta Spruce	48" ht.
8	PJ	Pieris japonica 'Red Head'	Red Head Jap. Andromeda	3 gallon
8	SM	Spiraea x 'Magic Carpet'	Magic Carpet Spiraea	3 gallon

Perennials

Qty.	Sym.	Botanical Name	Common Name	Size
5	AH	Astilbe x hybrid	Astilbe	1 gallon
7	EK	Echinacea x pow wow	Pink Coneflower	1 gallon
7	IS	Iris x hybrid	Iris	1 gallon
9	LV	Liriope x variegata	Variegated Lilly Turf	1 gallon
5	RU	Rudbeckia x hybrid	Blackeyed Susan	1 gallon

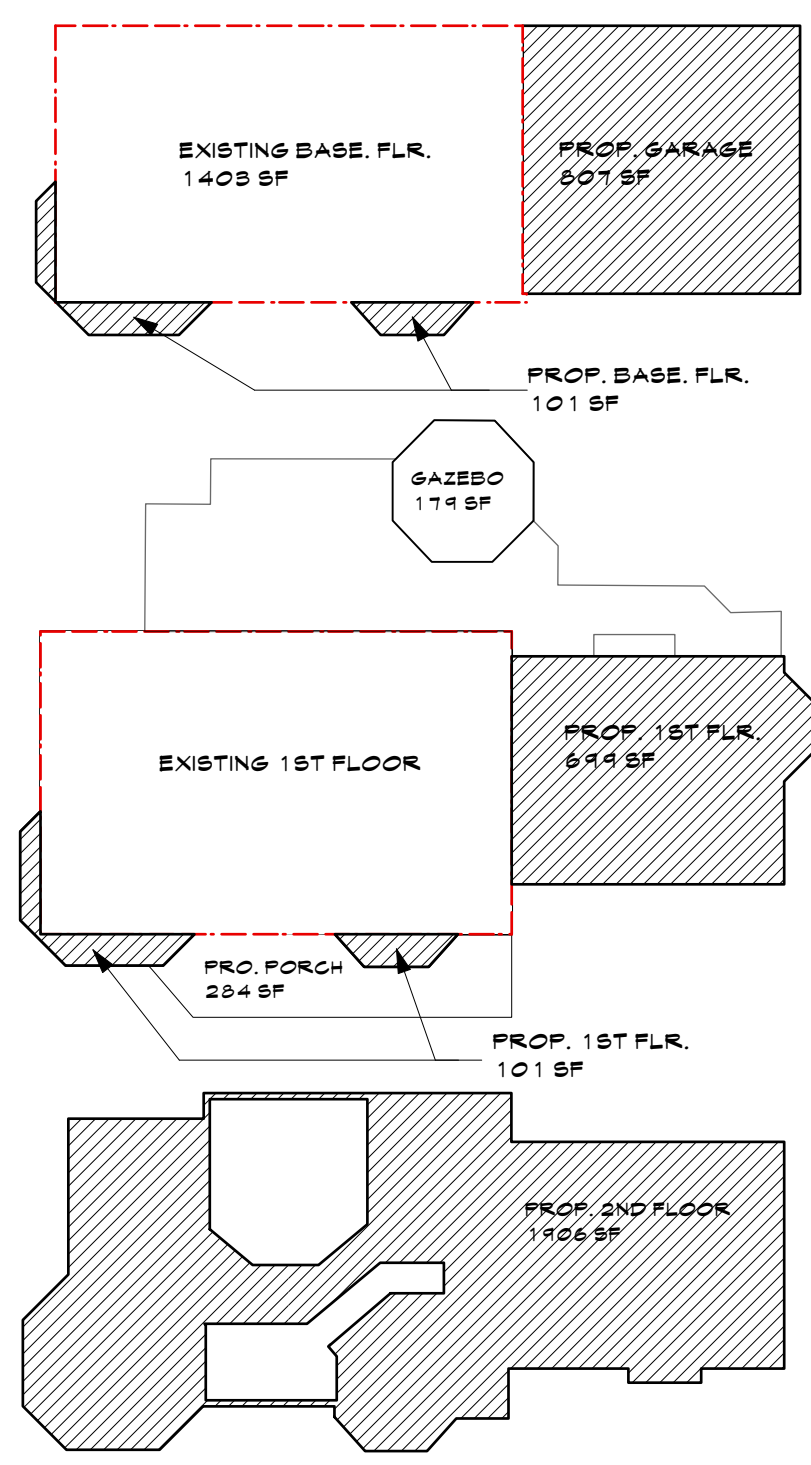
PLANTING PLAN

99 BYRAM RIDGE ROAD
NORTH CASTLE, NEW YORK

SCALE: 1" = 20' - 0" MARCH 8, 2021

SHEET L - 2

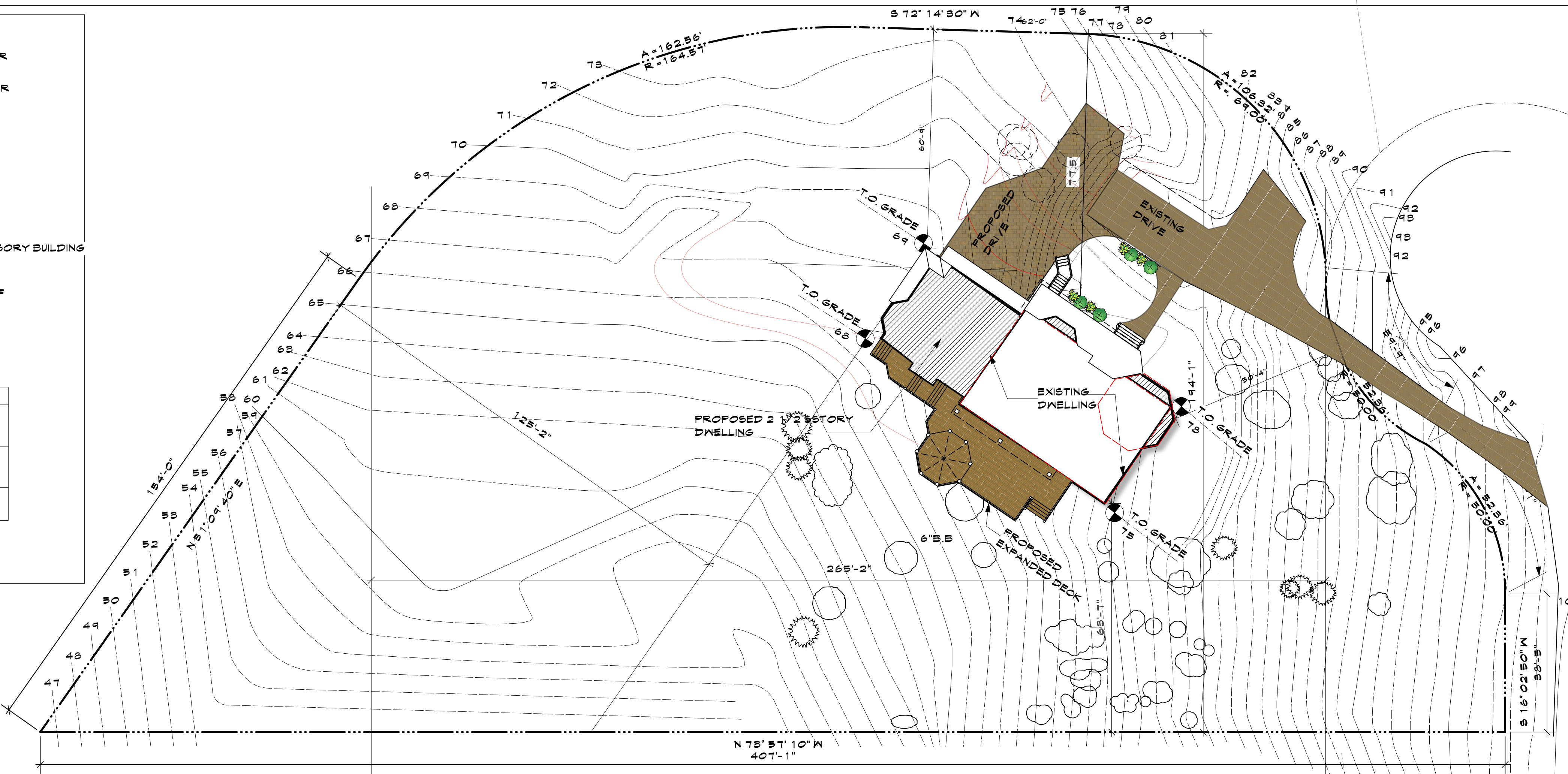
AZ ASSOCIATES LTD.
DESIGN & HORTICULTURAL CONSULTANT
ANTHONY ZAINO
LANDSCAPE ARCHITECT
7 SOUTH RIDGE ROAD
BROOKFIELD, CT 06804



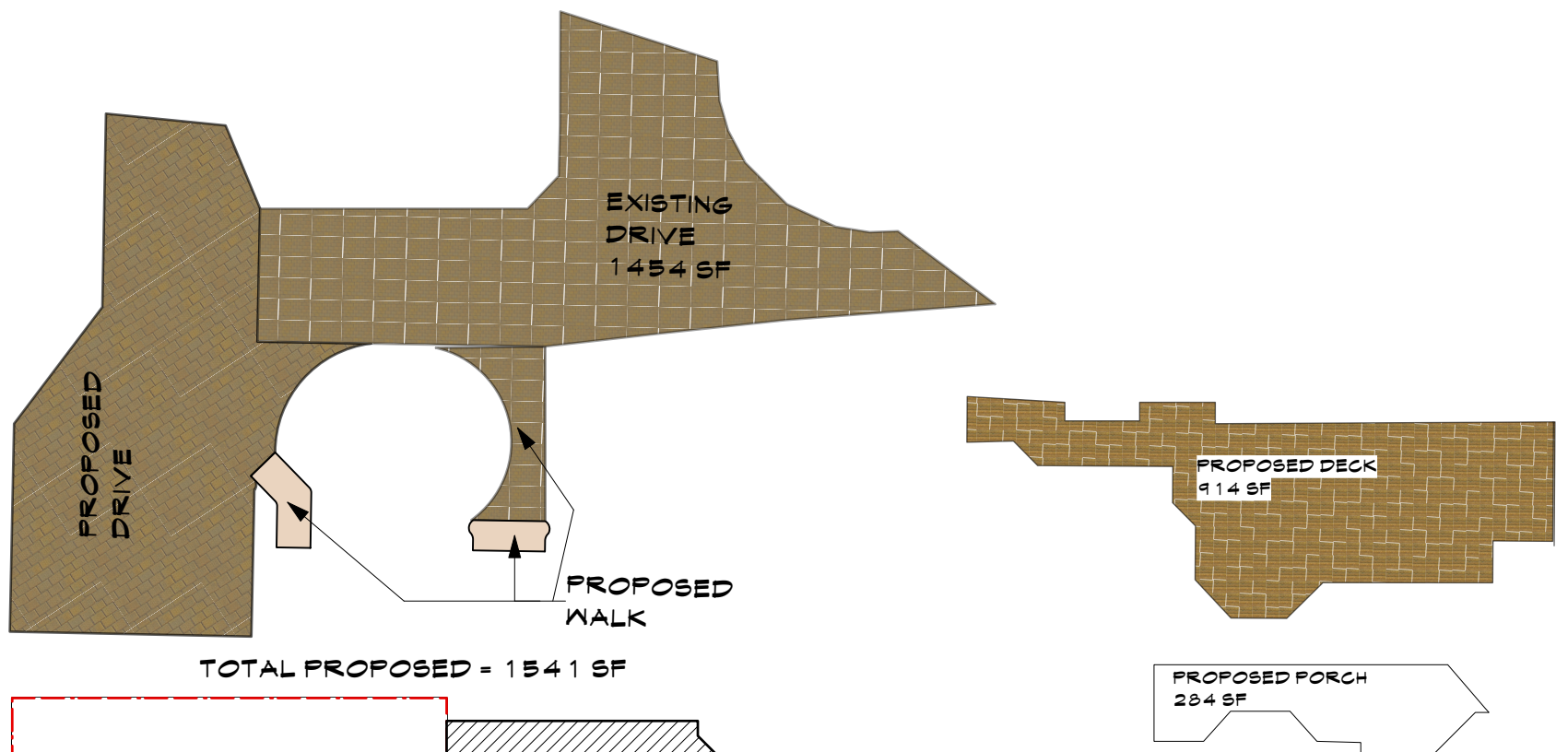
- FLOOR AREA CALCULATION**
1. AMOUNT OF FLOOR AREA CONTAINED WITHIN 1ST FLOOR
EXISTING (1548 SF) + PROPOSED(800 SF) = 2348 SF
 2. AMOUNT OF FLOOR AREA CONTAINED WITHIN 2ND FLOOR
EXISTING (0) + PROPOSED (1906 SF) = 1906 SF
 3. AMOUNT OF FLOOR AREA CONTAINED WITHIN GARAGE
EXISTING (0) + PROPOSED (807 SF) = 807 SF
 4. AMOUNT OF FLOOR AREA CONTAINED WITHIN PORCH
EXISTING (0) + PROPOSED (463 SF) = 463 SF
 5. AMOUNT OF FLOOR AREA CONTAINED WITHIN BASEMENT
EXISTING (1408) + PROPOSED (101 SF) = 1504 SF
 6. AMOUNT OF FLOOR AREA CONTAINED WITHIN ATTIC
EXISTING (0) + PROPOSED (0) = 0 SF
 7. AMOUNT OF FLOOR AREA CONTAINED WITHIN ALL ACCESSORY BUILDING
EXISTING (0) + PROPOSED (0) = 0 SF
- TOTAL FLOOR AREA**
= 2348 SF + 1906 SF + 807 SF + 463 SF + 1504 SF
= 7028 SF

TREE LEGEND

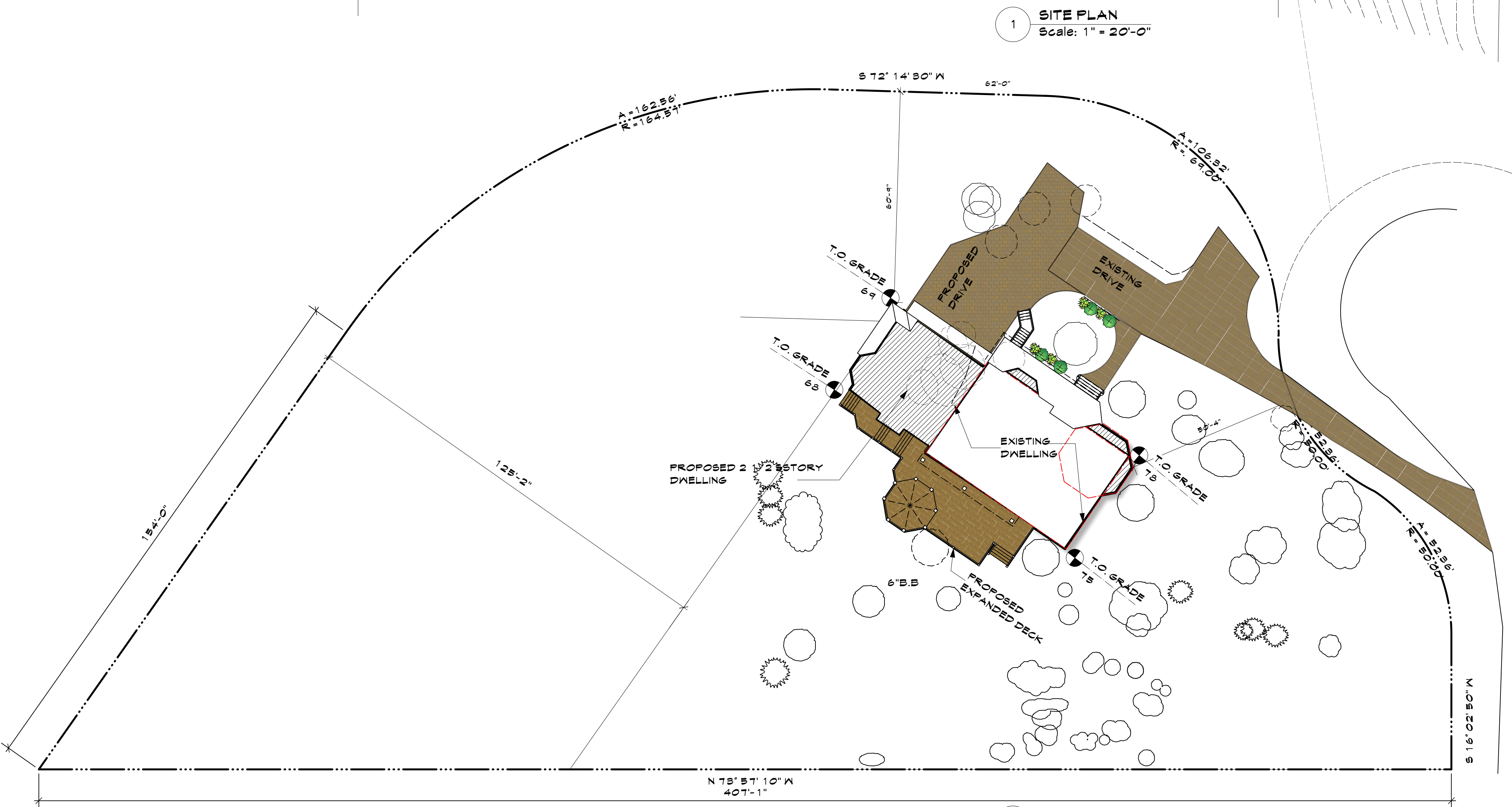
	EXISTING TREE TO BE REMOVED
	EXISTING TREE
	NEW PROPOSED TREE



1 SITE PLAN
Scale: 1" = 20'-0"



- GROSS LAND COVERAGE**
1. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING
EXISTING (1548 SF) + PROPOSED(800 SF) = 2348 SF
 2. AMOUNT OF LOT AREA COVERED BY ACCESSORY BUILDING
EXISTING (0) + PROPOSED(0) = 0 SF
 3. AMOUNT OF LOT AREA COVERED BY DECK
EXISTING (243 SF) + PROPOSED (571 SF) = 814 SF
 4. AMOUNT OF LOT AREA COVERED BY PORCH
EXISTING (0) + PROPOSED (284 SF) = 284 SF
 5. AMOUNT OF LOT AREA COVERED BY DRIVENWAY, PARKING AREA, AND WALKWAY
EXISTING (1454 SF) + PROPOSED (1541 SF) = 3014 SF
 6. AMOUNT OF LOT AREA COVERED BY TERRACE
EXISTING (0) + PROPOSED (0) = 0 SF
 7. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL AND MECHANICAL EQUIP.
EXISTING (0) + PROPOSED (0) = 0 SF
 8. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUCTURE
EXISTING (0) + PROPOSED (0) = 0 SF
- TOTAL LAND COVERAGE**
= 2348 SF + 814 SF + 284 SF + 3014 SF
= 6560 SF
- TOTAL LAND DISTURBANCE:**
TOTAL COVERAGE - EXISTING COVERAGE = 3652 SF.



2 TREE REMOVAL
Scale: 1" = 20'-0"

ZONING COMPLIANCE CHART

ZONING DISTRICT	R-1A, ONE FAMILY RESIDENCE DISTRICT	REQUIRED OR ALLOWED	PROPOSED	REMARK
MIN. LOT AREA	1 acres	1.33 acres	PERMITTED	
MIN. LOT FRONTAGE	125 FT	147'-8"	PERMITTED	
MIN. LOT WIDTH	125 FT	194'-1"	PERMITTED	
MIN. LOT DEPTH	150 FT	265'-2"	PERMITTED	
MIN. FRONT YARD	50 FT	50'-4"	PERMITTED	
MIN. SIDE YARD	25 FT	125'-2" FT	PERMITTED	
MIN. REAR YARD	40 FT	63'-7" FT	PERMITTED	
HEIGHT	30'-0"	30'-0" FT	PERMITTED	
BLDG. COVER%	9350 SF + 9% OF LOT AREA IN ACCESS OF 1.0 AC = 10644 SF	10004 SF	PERMITTED	
MAXIMUM PERMITTED GROSS FLOOR AREA	7727 SF + 6% OF LOT AREA IN ACCESS OF 1.0 AC = 9021 SF	7028 SF	PERMITTED	

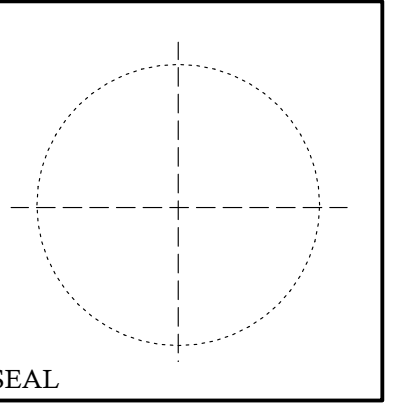
BYRAM RIDGE ROAD

BYRAM RIDGE ROAD

NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



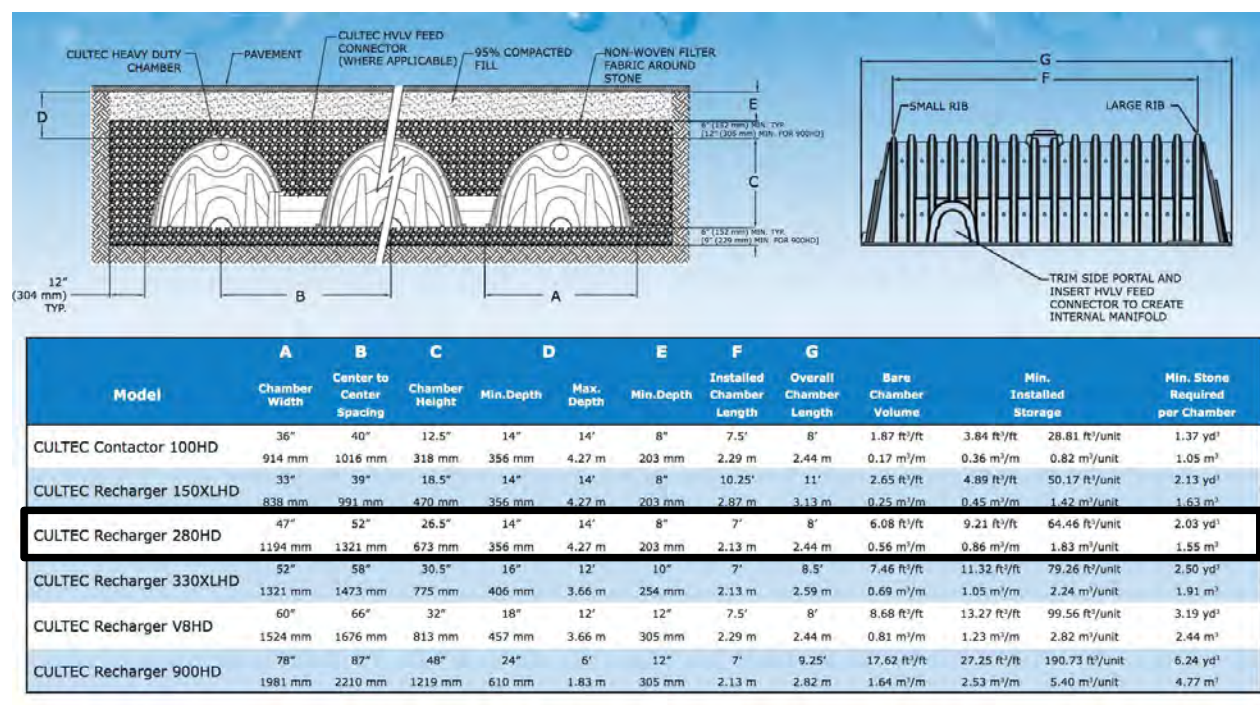
KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y
SBL: // ZONE:

SITE DIAGRAMS & ZONING

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
SP.2
Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020

CULTEC RECHARGER 280HD



Storm Water Design.

Storm Design based on a 9 inch storm in 24 hours (Using 280XLHD shallow galley rechargers)

The existing lot involves 1 family dwelling, driveway, pool, deck.

The existing lot area is 5329 sq ft. The total proposed impermeable surfaces (house and paved areas) add up to 5,454 sq ft. The following is a stormwater analysis for the above conditions.

Curve number for pre-development : 75, Run off coefficient: 4.33
 Curve number for post-development : 93, Run off coefficient: 6.96
 Delta in run off coefficient : 6.96 - 4.33 = 2.63
 Calculate volume :

Area X Delta / 12 = Volume (ft³)
 5454 x 2.63 / 12 = 1195 ft³

Percolation Capacity
 (Perc test yielded a high of 6 minutes per inch we will use a conservation rate of 20 minutes per inch)

Area of Perc-----2.23 ft²
 Volume of Perc-----0.196 ft³

Soil Perc Rate (SR)= Volume/Area/Time = 0.196/3.01/60 minutes = 0.0010352 x 60 x 24
 Sr = 1.562 or 1.11715 with 25% clogging

280HD; VOLUME PER UNIT: Chamber 64.46C.F.

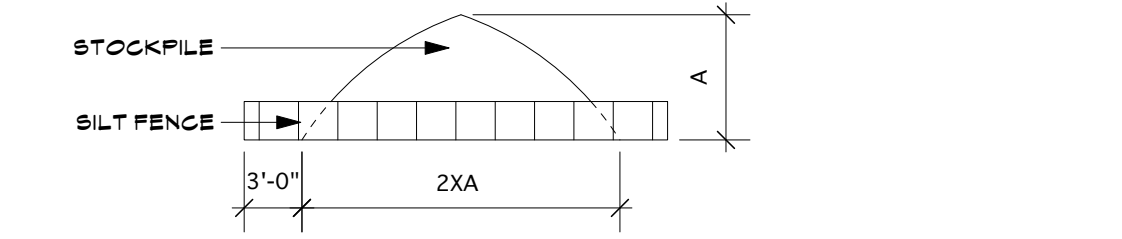
Total PERCOLATION PER CULTEC : 5'X 9'X 1.11715 = 50.27 C.F.

Volume: 64.46 + 50.27 = 114.73 C.F.
 Total Volume 1195 / 114.73 = 10.5 OR USE 11 CHAMBERS

Proposed 11-280 Hd Rechargers.

CULTEC RECHARGER 280HD

Maintenance Guidelines
 The following guidelines shall be adhered to for the operation and maintenance of the CULTEC stormwater management system:
 A. The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
 B. The operation and maintenance procedure shall be reviewed periodically and changed to meet site conditions.
 C. Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
 D. Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.



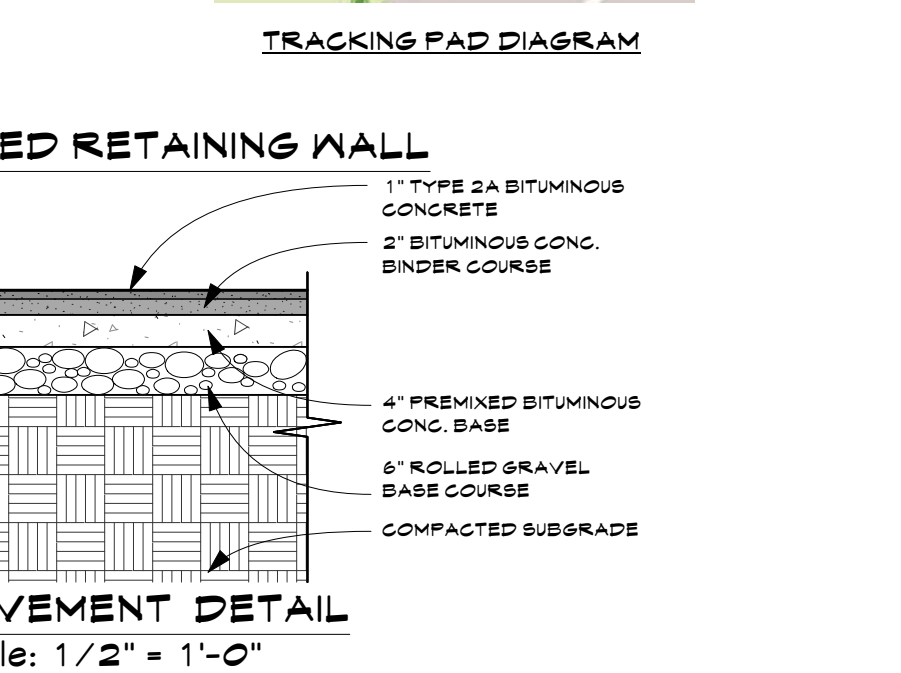
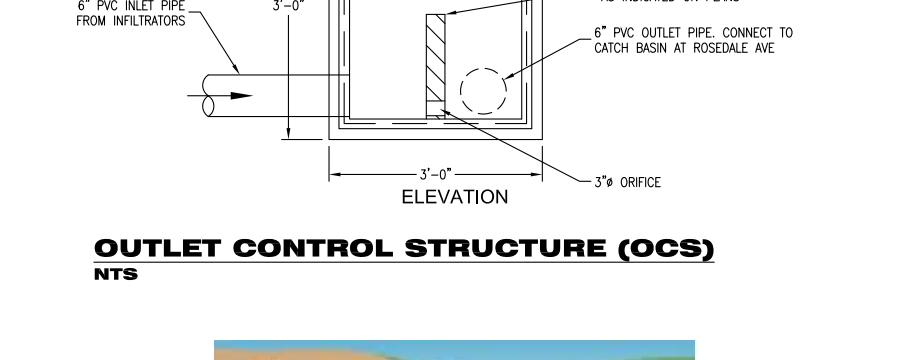
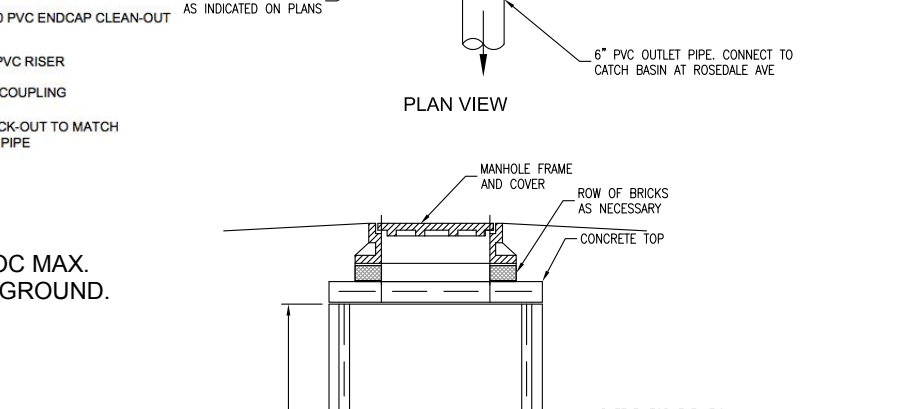
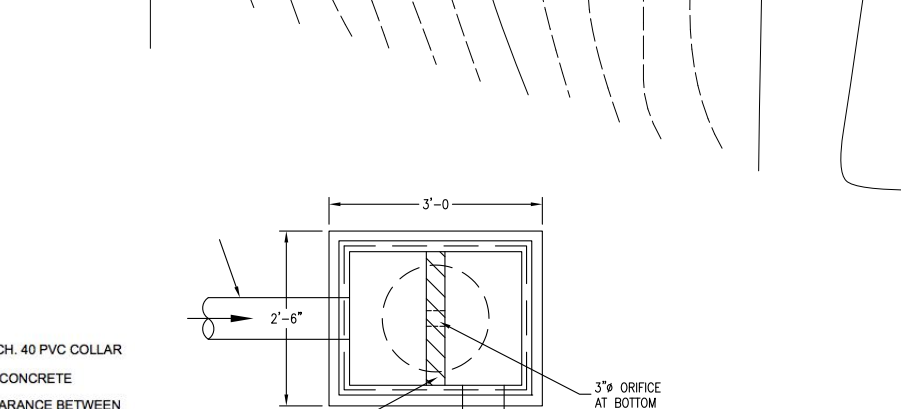
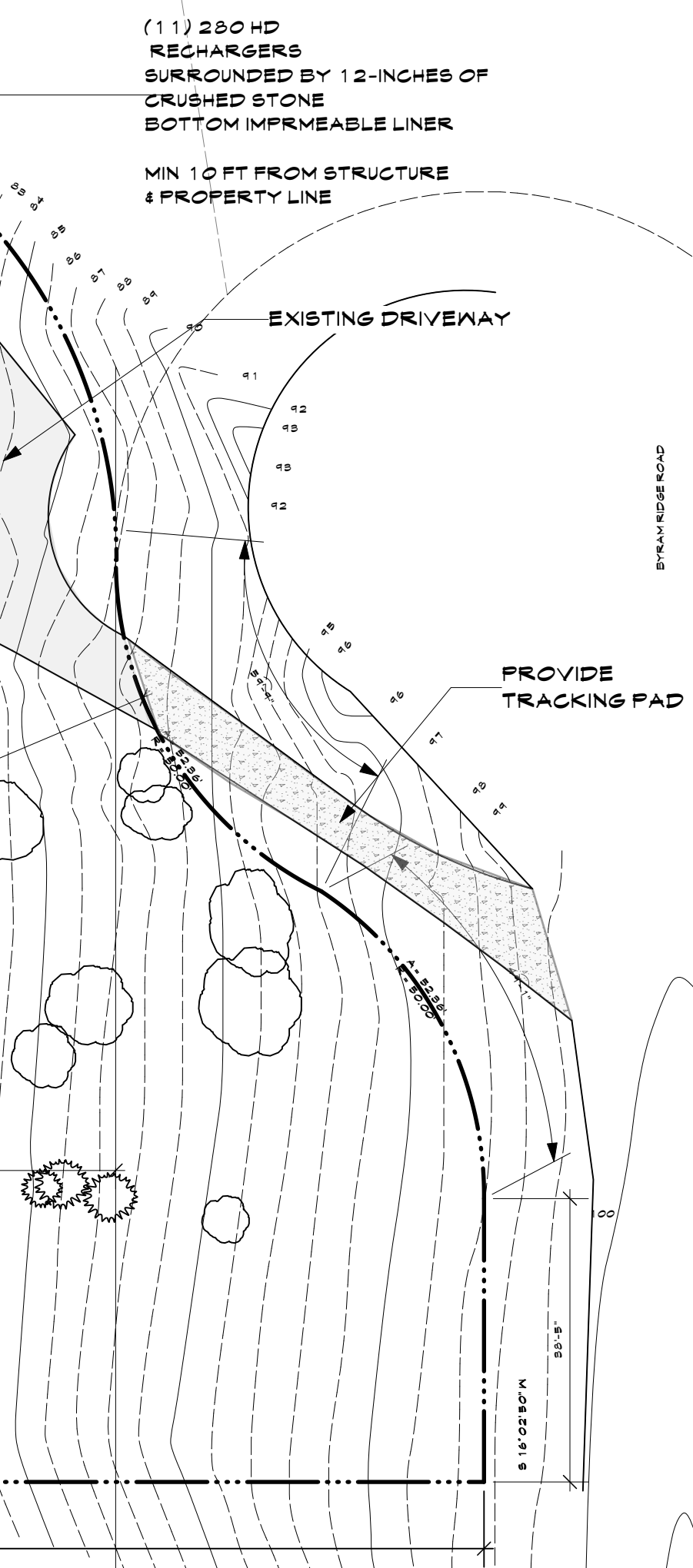
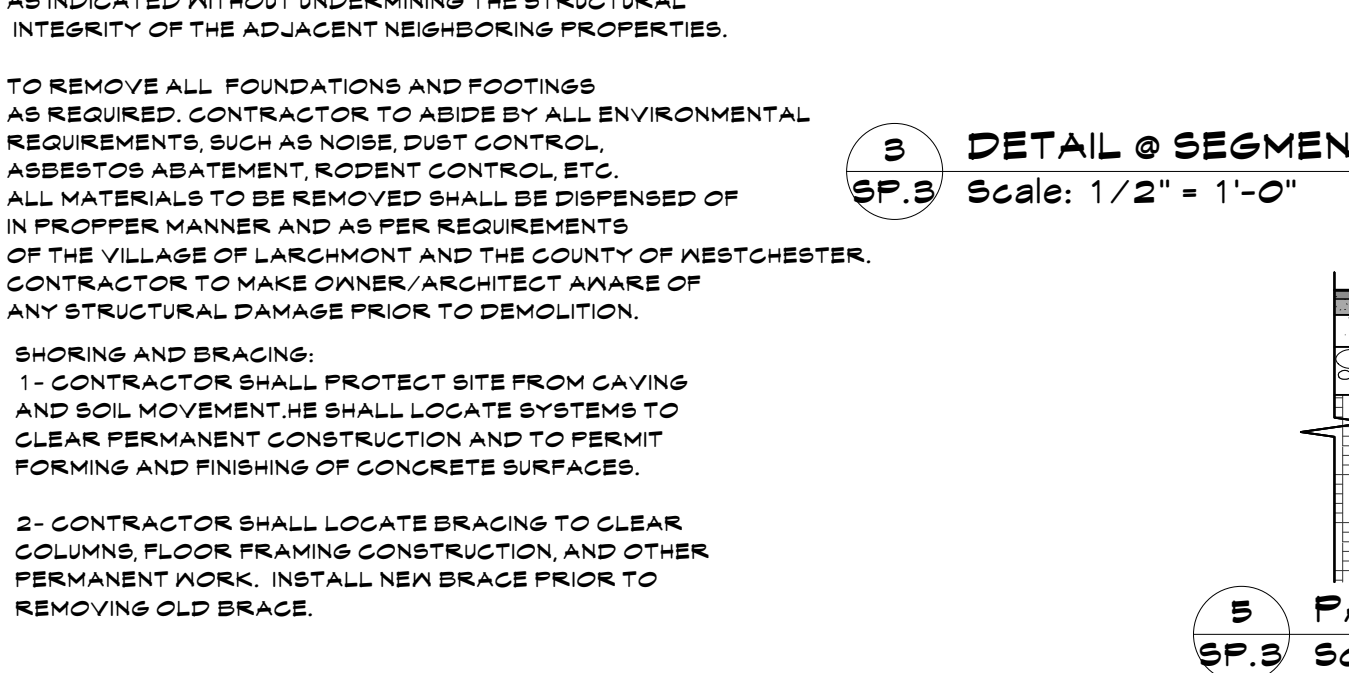
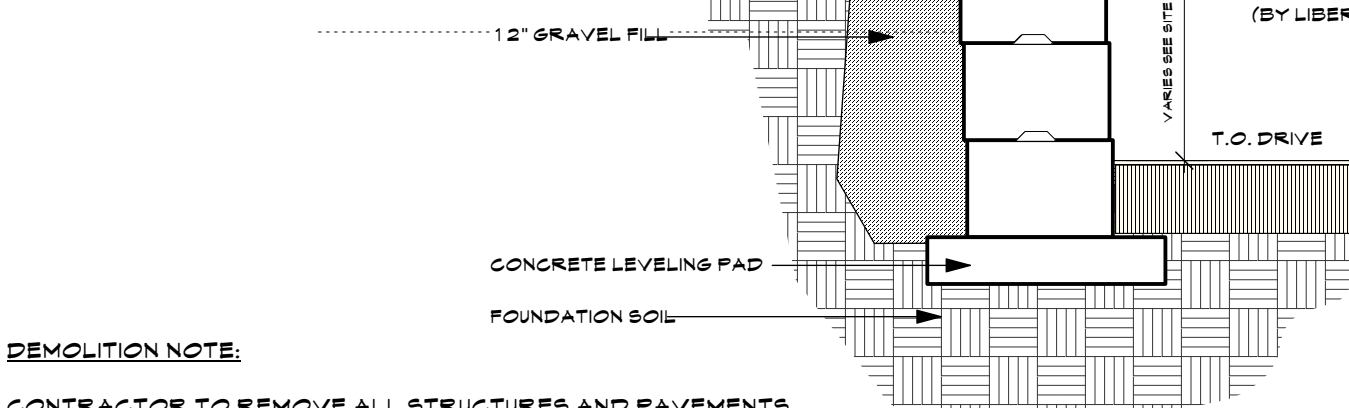
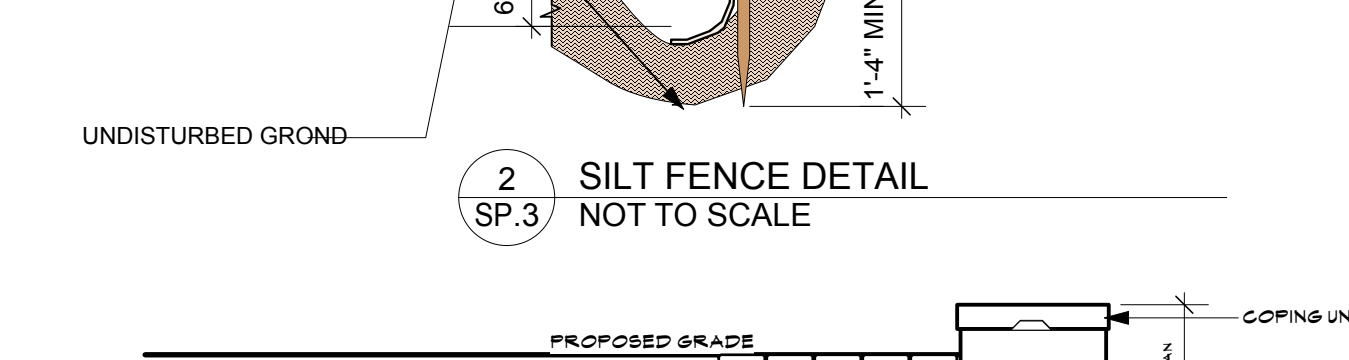
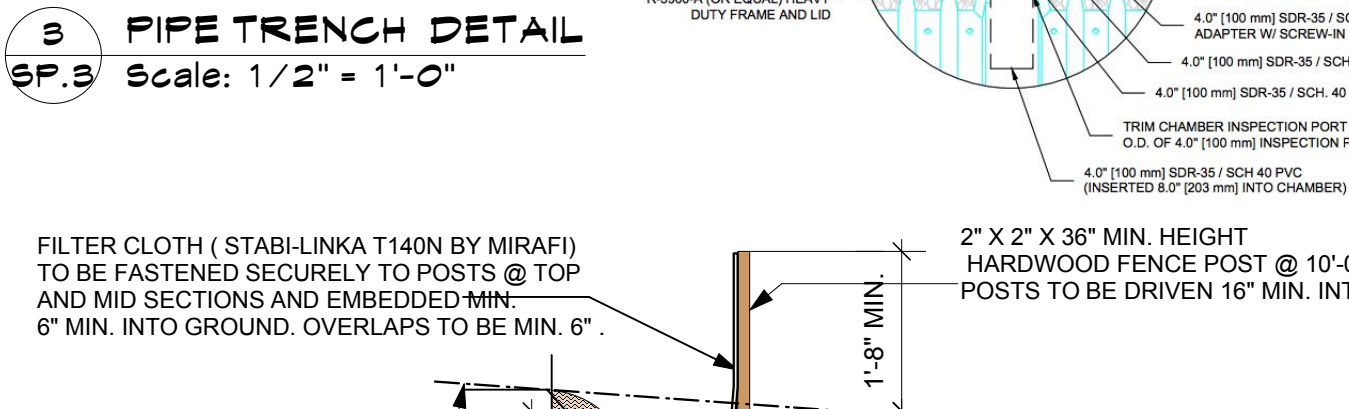
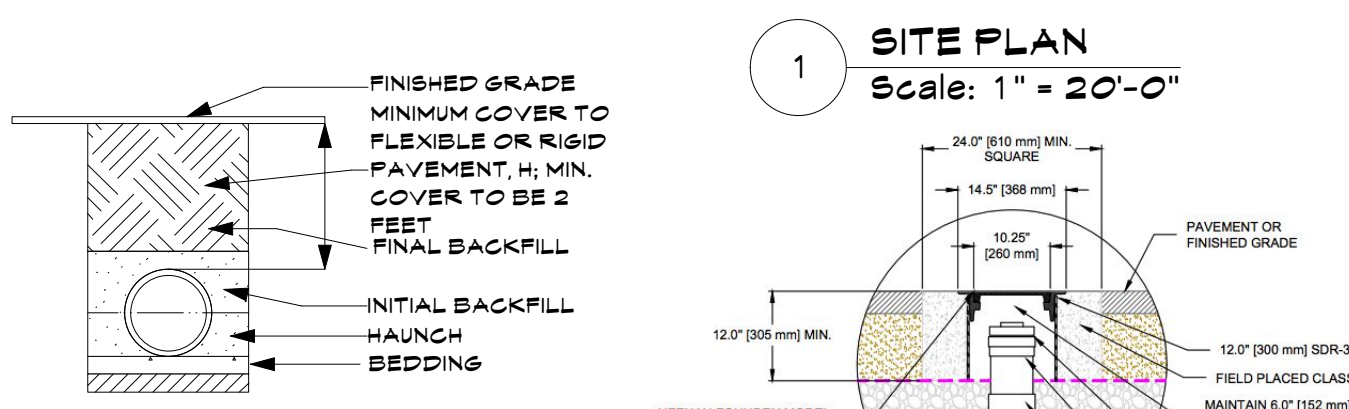
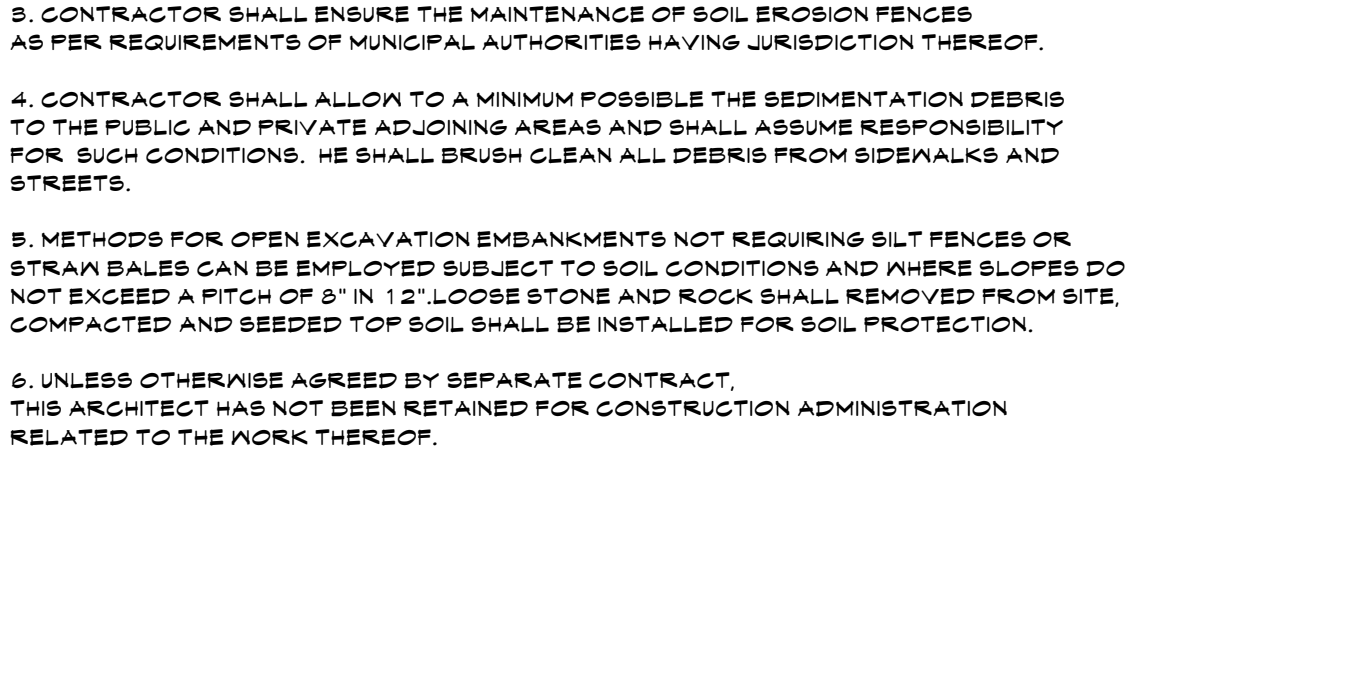
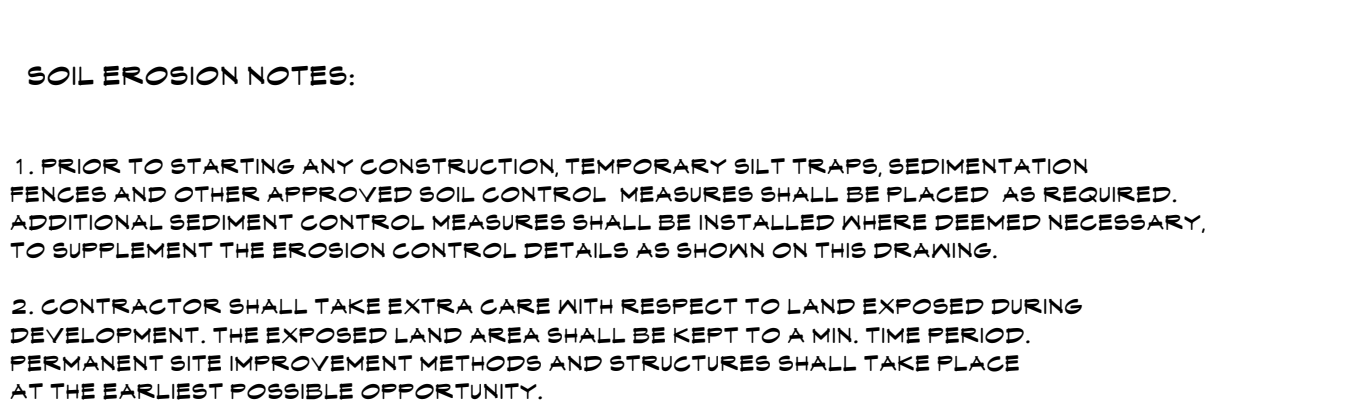
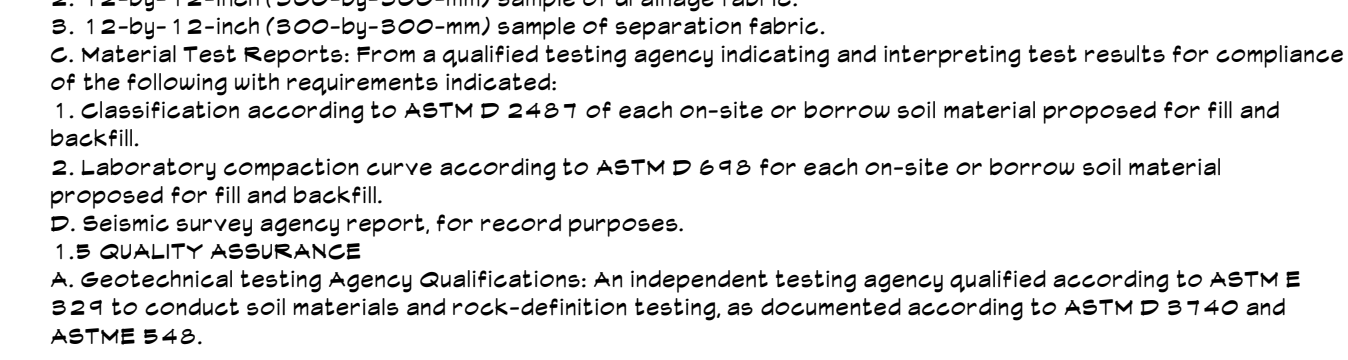
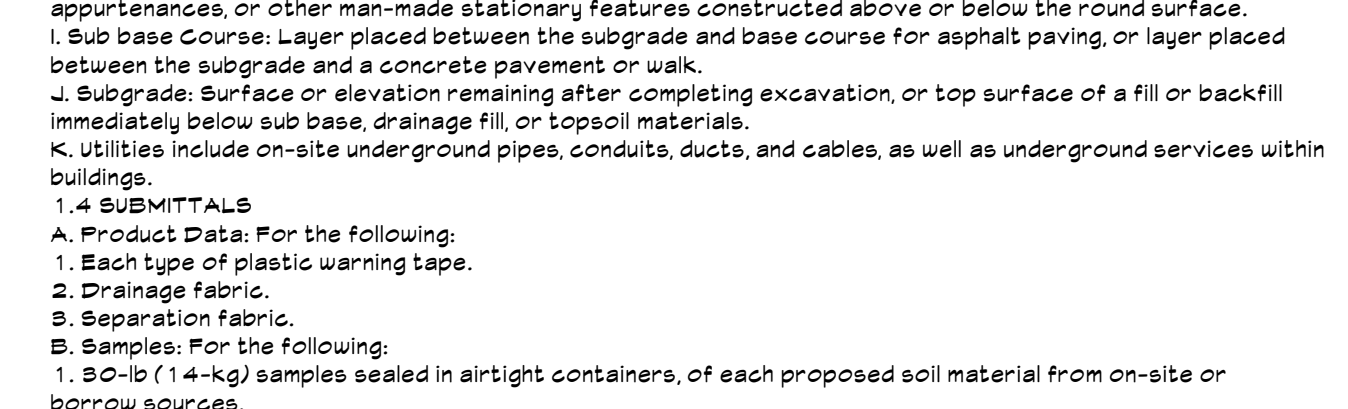
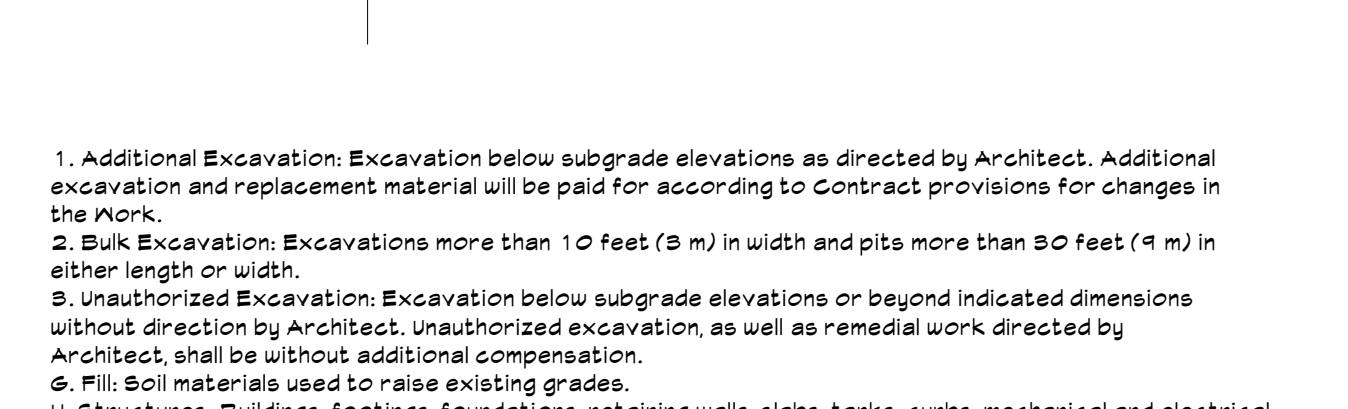
STOCKPILE PROTECTION INSTALLATION NOTES
 1. SEE PLAN VIEW FOR: LOCATION OF STOCKPILES; TYPE OF STOCKPILE PROTECTION.
 2. INSTALL PERMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKS MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERMETER CONTROL FOR A STOCKPILE INCLUDE WHETHER THE STOCKPILE IS LOCATED ON A PERVIOUS OR IMPVIOUS SURFACE, THE RELATIVE HEIGHTS OF THE PERMETER CONTROL AND STOCKPILE, THE ABILITY OF THE PERMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERMETER AND OTHER FACTORS.
 3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDED AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
 4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNSTREAM CONTROLS, INCLUDING PERMETER CONTROL, ARE IN PLACE, STOCKPILE PERMETER CONTROLS MAY NOT BE REQUIRED.
 E. No trees to be planted above culvert tanks and 15' away, ground planting and flower w/ shallow roots allowed

STOCKPILE PROTECTION DETAIL (SP.2) NOT TO SCALE

-SITE CLEARING
PART 1 - GENERAL
 1.1 RELATED DOCUMENTS
 A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
 1.2 SUMMARY
 A. This Section includes the following:
 1. Removing trees and other vegetation.
 2. Clearing and grubbing.
 3. Topsoil stripping.
 4. Removing above-grade site improvements.
 B. Related Sections include the following:
 1. Division 1 Section "Construction Facilities and Temporary Controls" for temporary security and protection facilities, and environmental protection measures during site operations.
 2. Division 2 Section "Earthwork" for soil materials, excavating, backfilling, and site grading operations.
 3. Division 2 Section "Landscaping" for finish grading, including placing and preparing topsoil for lawns and plantings.
 1.3 DEFINITIONS
 A. Topsoil: Natural or cultivated surface soil layer containing organic matter and sand, silt, and clay particles, friable, pervious, and black or a darker shade of brown, gray, or red than underlying subsoil; reasonably free subsoil, clay lumps, gravel, and other objects more than 2 inches (50 mm) in diameter; and free of weeds, roots, and other deleterious materials.
 1.4 MATERIALS OWNERSHIP
 A. Except for materials indicated to be stockpiled or to remain Owner's property, cleared materials shall become Contractor's property and shall be removed from the site.
 1.5 SUBMITTALS
 A. Photographs or videotape, sufficiently detailed, of existing conditions of trees and planting, adjoining construction, and site improvements that might be mis-constructed as damage caused by site clearing.
 B. Record drawings according to Division 1 Section "Contract Closeout."
 1.6 PROJECT CONDITIONS
 A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during site-clearing operations.
 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction.
 2. Provide alternate routes around closed or obstructed traffic ways if required by authorities having jurisdiction.
 B. Improvements on Adjoining Property: Authority for performing indicated removal and alteration work on property adjoining Owner's property will be obtained by Owner before award of Contract.
 C. Notify utility locator service for area where Project is located before site clearing.
PART 2 - PRODUCTS (Not Applicable)
2.1 SOIL MATERIALS
 A. Satisfactory Soil Materials: Requirements for satisfactory soil materials are specified in Division 2 Section "Earthwork."
 1. Obtain approved borrow soil materials off-site when satisfactory soil materials are not available on-site.
PART 3 - EXECUTION
 3.1 PREPARATION
 A. Protect and maintain benchmarks and survey control points from disturbance during construction.
 B. Provide erosion-control measures to prevent soil erosion and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
 C. Locate and clearly flag trees and vegetation to remain or to be relocated.
 D. Protect existing site improvements to remain from damage during construction.
 E. Restore damaged improvements to their original condition, as acceptable to Owner.
3.2 CLEARING AND GRUBBING
 A. Remove obstructions, trees, shrubs, grass, and other vegetation to permit installation of new construction.
 Removal includes digging out stumps and obstructions and grubbing roots.
 1. Do not remove trees, shrubs, and other vegetation indicated to remain or to be relocated.
 2. Cut minor roots and branches of trees indicated to remain in a lean and careful manner where such roots and branches obstruct installation of new construction.
 3. Completely remove stumps, roots, obstructions, and debris extending to a depth of 18 inches (450mm) below exposed subgrade.
 4. Use only hand methods for grubbing within drip line of remaining trees.
 5. Fill depressions caused by clearing and grubbing operations with satisfactory soil materials, unless further excavation or earthwork is indicated.
 1. Place fill material in horizontal layers not exceeding 8-inch (200 mm) loose depth, and compact each layer to a density equal to adjacent original ground.
3.3 TOP SOIL
 A. Remove sod and grass before stripping topsoil.
 B. Strip topsoil to whatever depths are encountered in a manner to prevent intermixing with underlying subsoil or other waste materials.
 C. Stockpile topsoil materials away from edge of excavations without intermixing with subsoil. Grade and shape stockpiles to drain surface water. Cover to prevent windblown dust.
 1. Limit height of stockpiles to 12 inches (1,900 mm).
 2. Do not stockpile topsoil within drip line of remaining trees. Dispose of excess topsoil as specified for waste material disposal.
 3. Stockpile surplus topsoil and allow for re-spreading deeper topsoil.
3.4 SITE IMPROVEMENTS
 A. Remove existing above- and below-grade improvements as indicated and as necessary to facilitate new construction.
 B. Remove slabs, paving curbs, gutters, and aggregate base as indicated.
3.5 DISPOSAL
 A. Disposal: Remove surplus soil material, unsuitable topsoil, obstructions, demolished materials, and waste materials, including trash and debris, and legally dispose of them off Owner's property.
 END OF SECTION 02280

SECTION 02280 - EARTHWORK
PART 1 - GENERAL
 1.1 RELATED DOCUMENTS
 A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
 1.2 SUMMARY
 A. This Section includes the following:
 1. Preparing sub-grades for slabs-on-grade, walks, pavements, lawns, and plantings.
 2. Excavating and backfilling for buildings and structures.
 3. Drainage course for slabs-on-grade.
 4. Sub-base course for concrete walks and pavements.
 5. Base course for asphalt paving.
 6. Subsurface drainage backfill for walls and trenches.
 7. Excavating and backfilling trenches within building lines.
 8. Excavating and backfilling trenches for buried mechanical and electrical utilities and pits for buried utility structures.
 B. Related Sections include the following:
 1. Division 1 Section "Construction Facilities and Temporary Controls."
 2. Division 2 Section "Site Clearing" for site stripping, grubbing, removing topsoil, and protecting trees to remain.
 3. Division 2 Section "Landscaping" for finish grading, including placing and preparing topsoil for lawns and plantings.
 4. Division 2 Section "Cast-in-Place Concrete" for granular course over vapor retarder.
 5. Division 15 through 16 Sections for excavating and backfilling buried mechanical and electrical utilities and buried utility structures.
 1.3 DEFINITIONS
 A. Backfill: Soil materials used to fill an excavation.
 1. Initial Backfill: Backfill placed beside and over pipe in a trench, including haunches to support sides of pipe.
 2. Final Backfill: Backfill placed over initial backfill to fill a trench.
 B. Bedding Course: Layer placed between the sub base course and asphalt paving.
 C. Bedding Course: Layer placed over the excavated subgrade in a trench before laying pipe.
 D. Borrow: Satisfactory soil imported from off-site for use as fill or backfill.
 E. Drainage Course: Layer supporting slab-on-grade used to minimize capillary flow of pore water.
 F. Excavation: Removal of material encountered above subgrade elevations.
DEMOLITION:
 1- CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION OF WORK SHOWN ON DRAWINGS.
 2- HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE.
 3- HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS REQUIRED.

SOIL EROSION NOTES:
 1. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY, TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.
 2. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.
 3. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.
 4. CONTRACTOR SHALL ALLOW TO A MINIMUM POSSIBLE THE SEDIMENTATION DEBRIS TO THE PUBLIC AND PRIVATE ADJOINING AREAS AND SHALL ASSUME RESPONSIBILITY FOR SUCH CONDITIONS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS.
 5. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAIN BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 8" IN 12". LOOSE STONE AND ROCK SHALL REMOVED FROM SITE, COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.
 6. UNLESS OTHERWISE AGREED BY SEPARATE CONTRACT, THIS ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF.



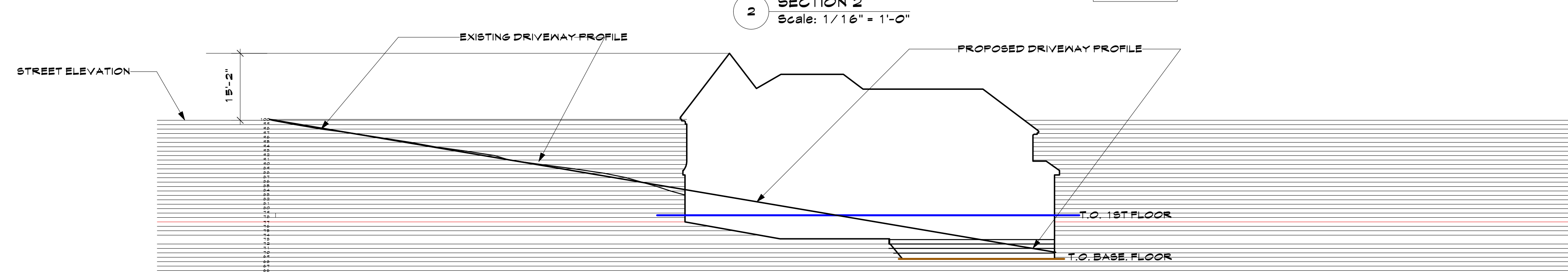
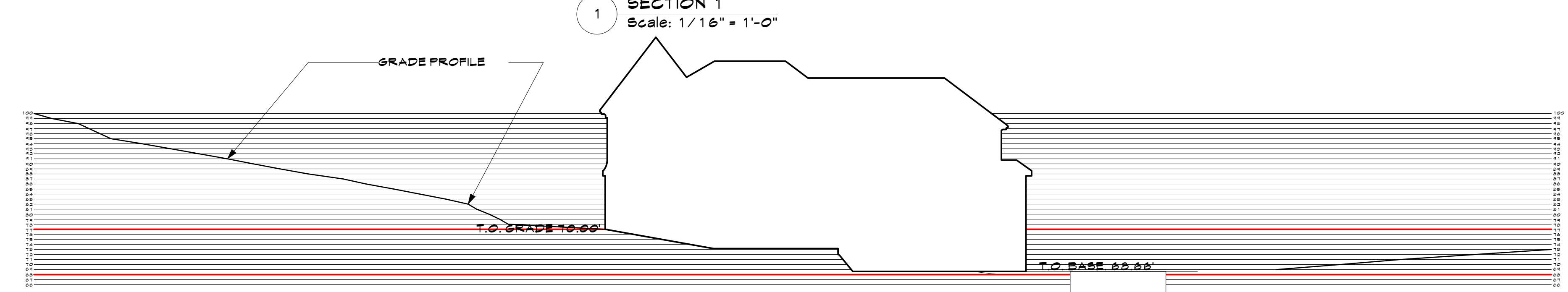
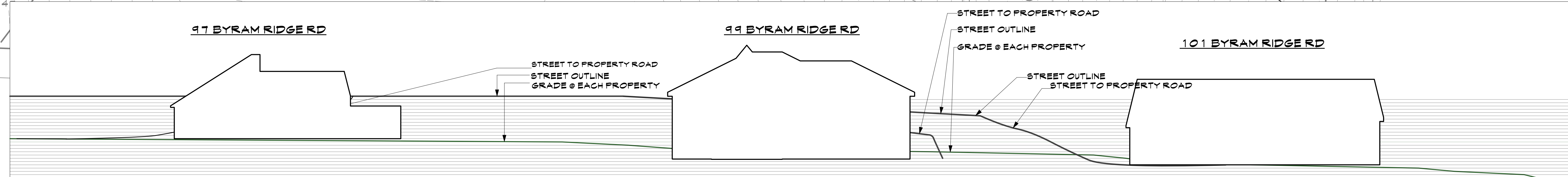
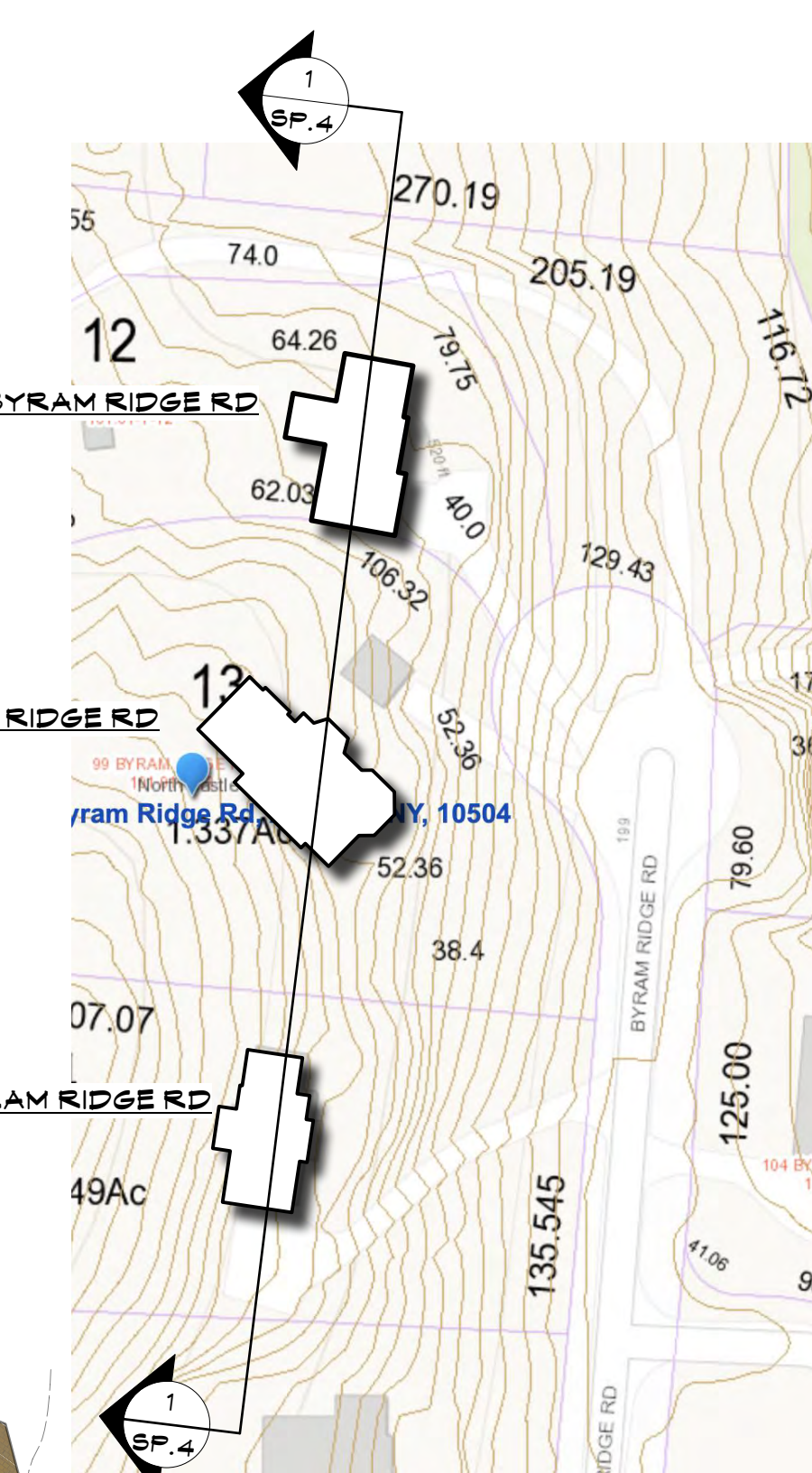
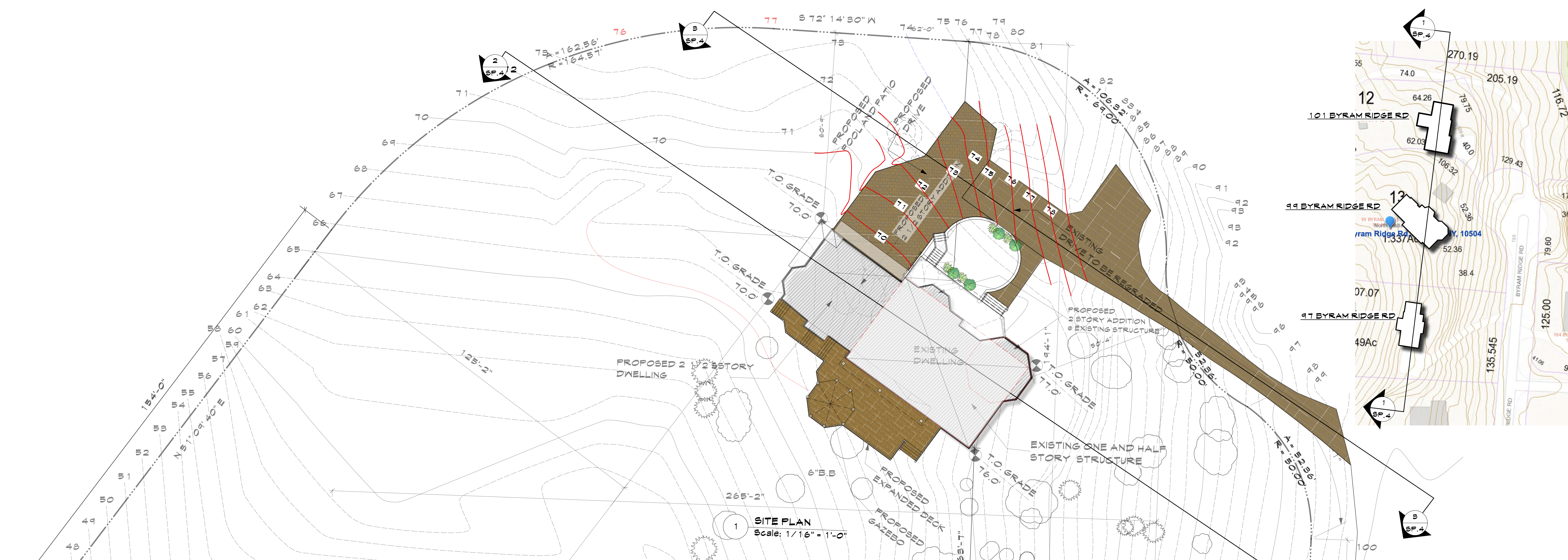
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
 1955 CENTRAL PARK AVENUE
 YONKERS, NEW YORK
 PHONE: 914 6684673
 FAX: 914 668 1831
 EMAIL: FILES@TFARA.COM

KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, N.Y.
 SBL: // ZONE:

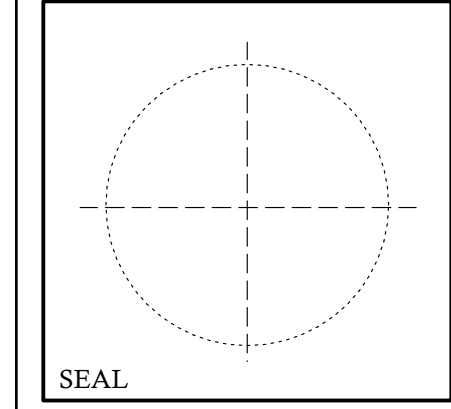
STORMWATER CALCULATIONS AND DESIGN
 Project ID / DATE: 2048 / 10.15.2020
 Sheet Scale:
SP.3
 Drawn By: AM Checked By: TFA
 Plot Date: OCT.15.2020



NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
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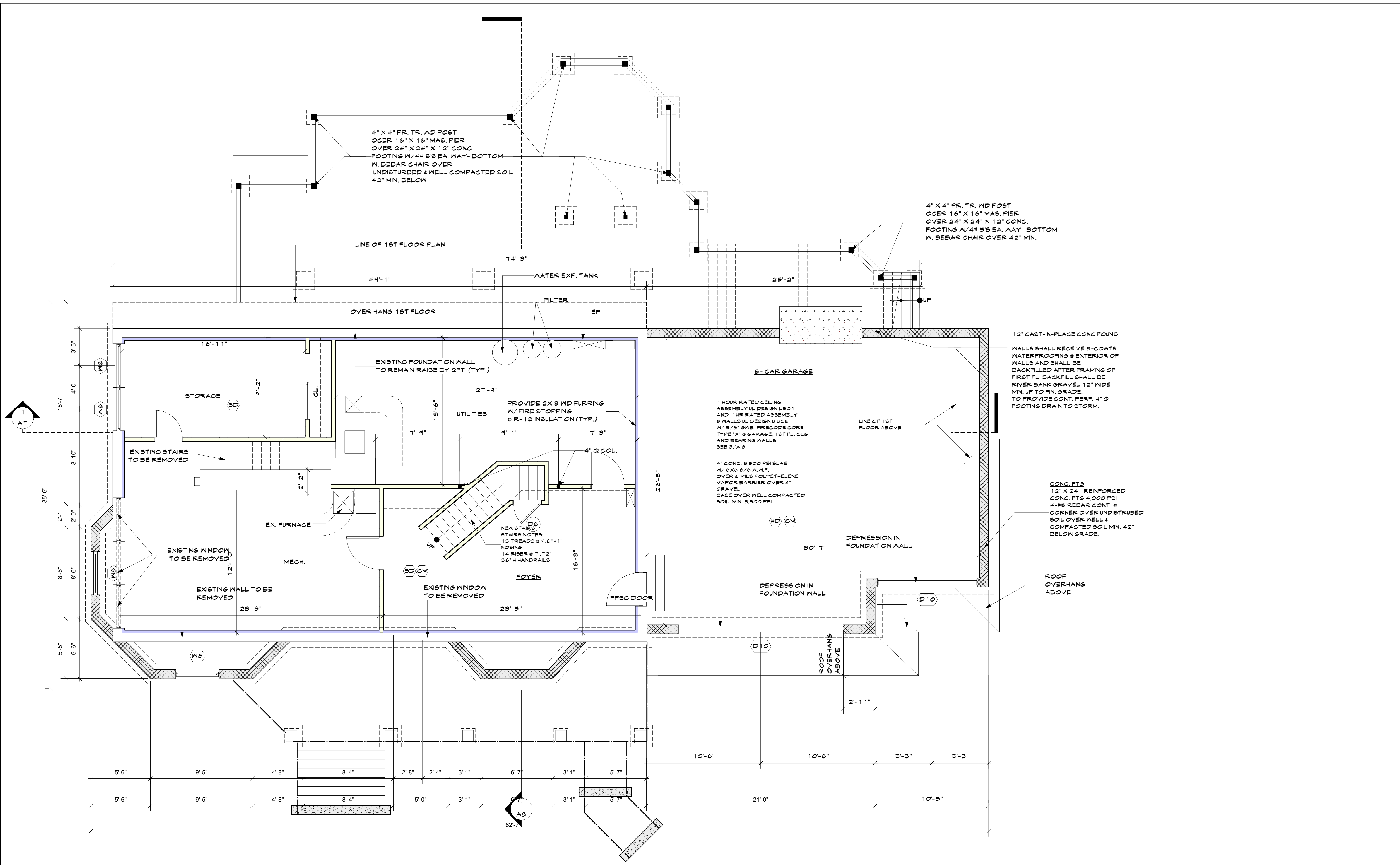


KEY PLAN

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99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL. // ZONE:

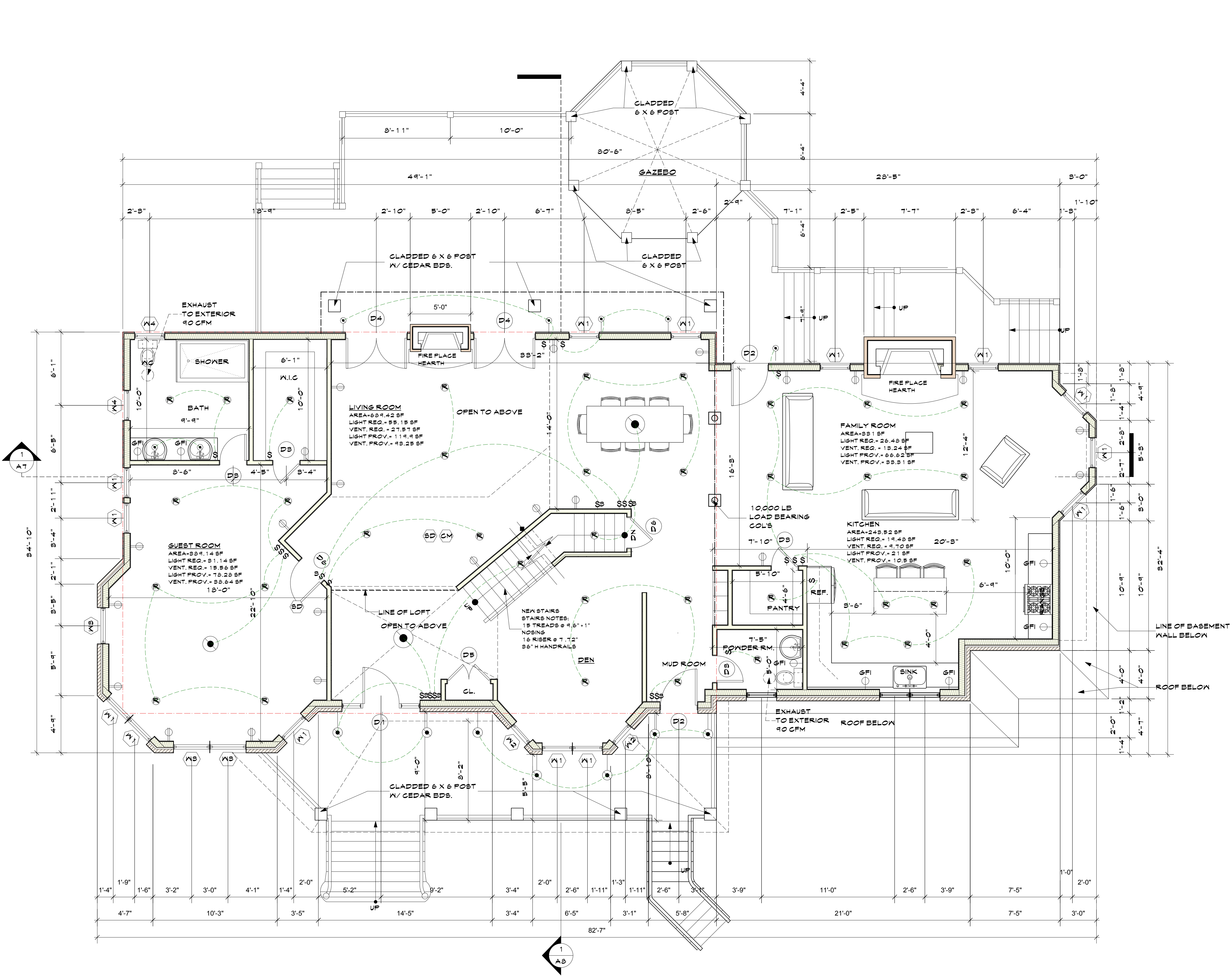
GRADING

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
SP.4
Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



1 BASE FLOOR PLAN
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
OWNER:		
MR. & MRS. CHRISTOPHER KALIAN		
1955 CENTRAL PARK AVENUE YONKERS, NEW YORK		
PHONE: 914 6684673 FAX: 914 668 1831 EMAIL: FILES@TFARA.COM		
SEAL		
KEY PLAN		
PROPOSED ONE FAMILY DWELLING EXPANSION		
99 BYRAM RIDGE RD. ARMONK, N.Y		
SBL: // ZONE:		
BASMENT FLOOR PLAN		
Project ID / DATE: 2048 / 10.15.2020		
Sheet Scale:		
Drawn By: AM Checked By: TFA		
Plot Date: OCT.15.2020		



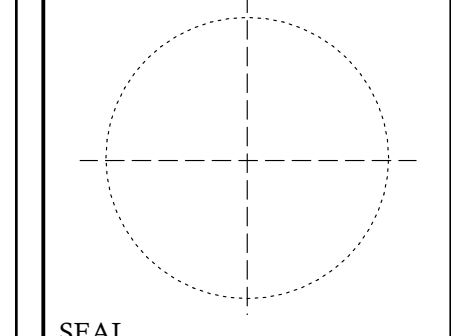
1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

NO.	REV.	DATE

OWNER:
**MR. & MRS.
CHRISTOPHER
KALIAN**



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
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SEAL

KEY PLAN

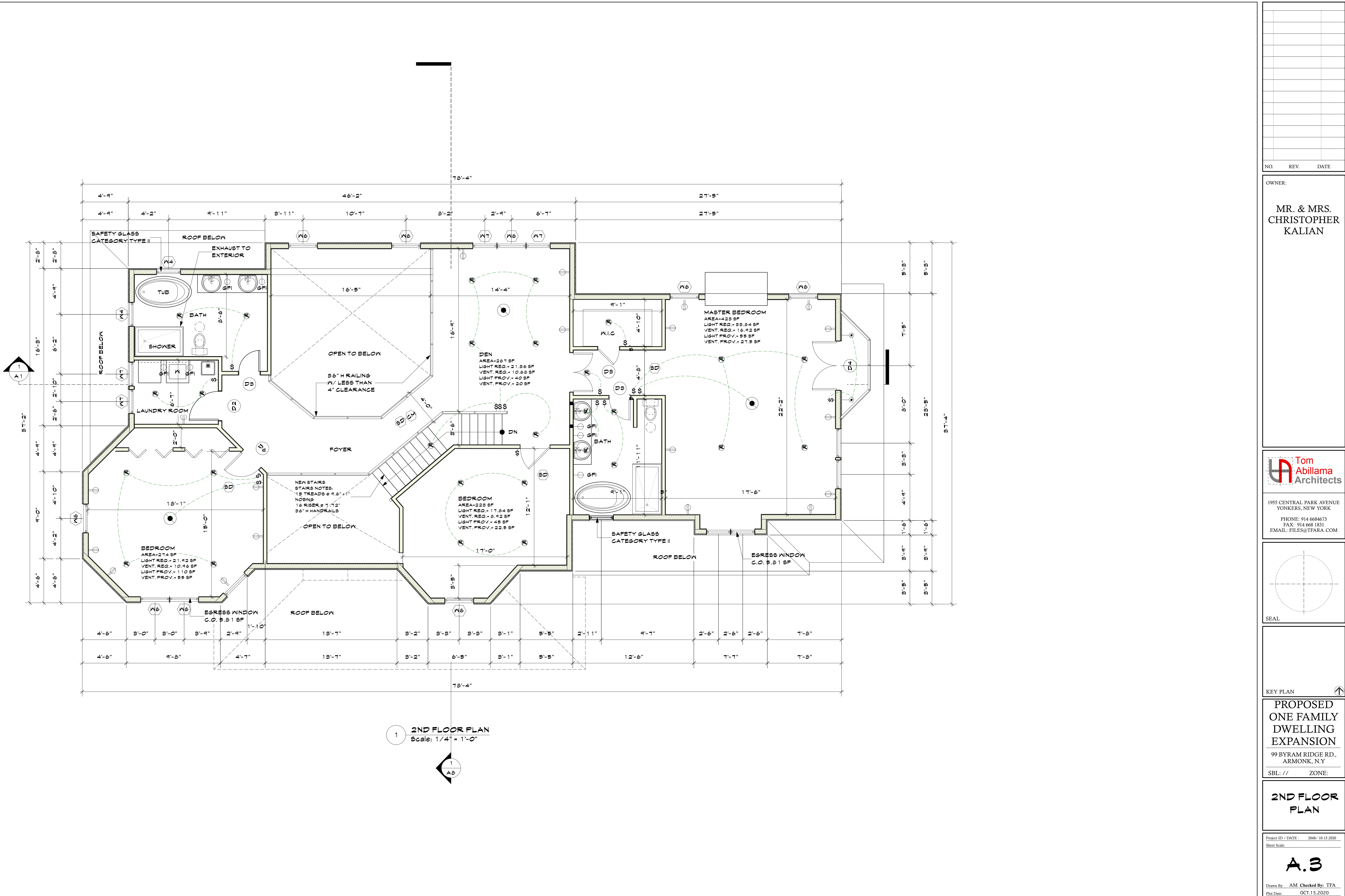
**PROPOSED
ONE FAMILY
DWELLING
EXPANSION**
99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL. // ZONE:

**1ST FLOOR
PLAN**

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

A.2

Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



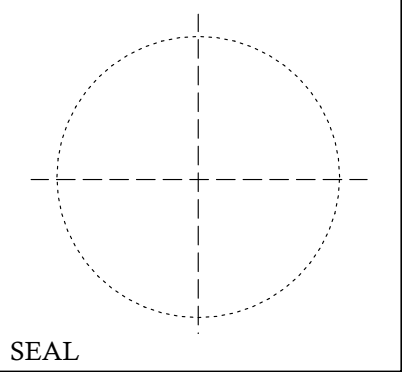
1 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

NO. REV. DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN



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YONKERS, NEW YORK
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KEY PLAN ↑

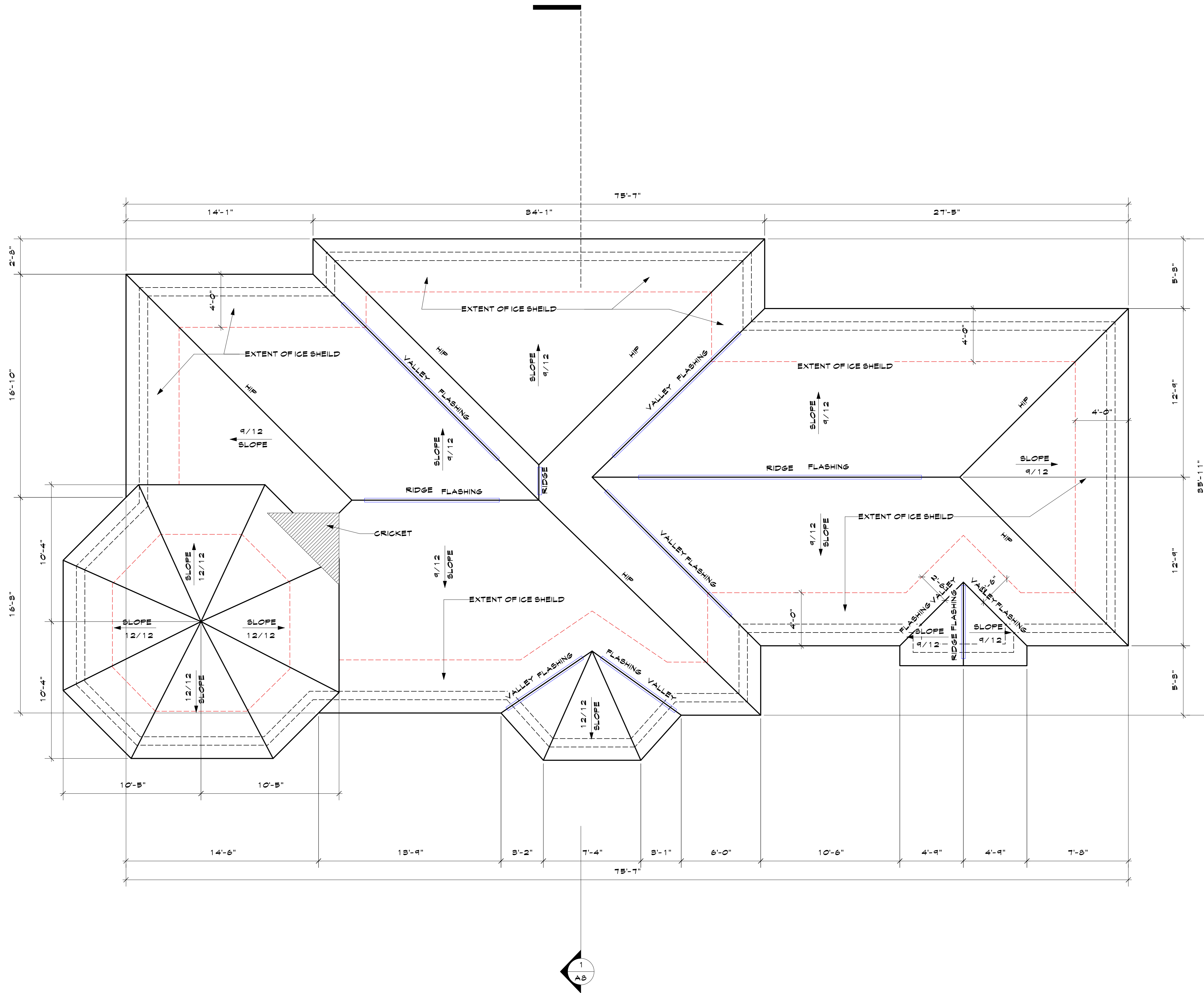
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: // ZONE:

2ND FLOOR PLAN

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

A.3

Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



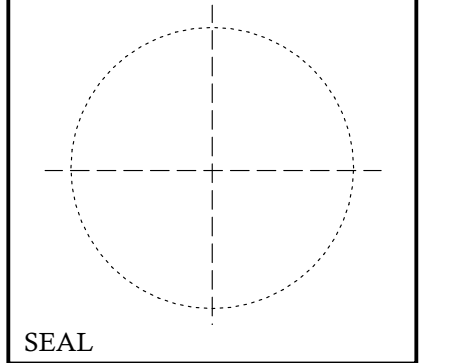
NO. REV. DATE

OWNER:

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KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION
99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL. // ZONE:

ROOF PLAN

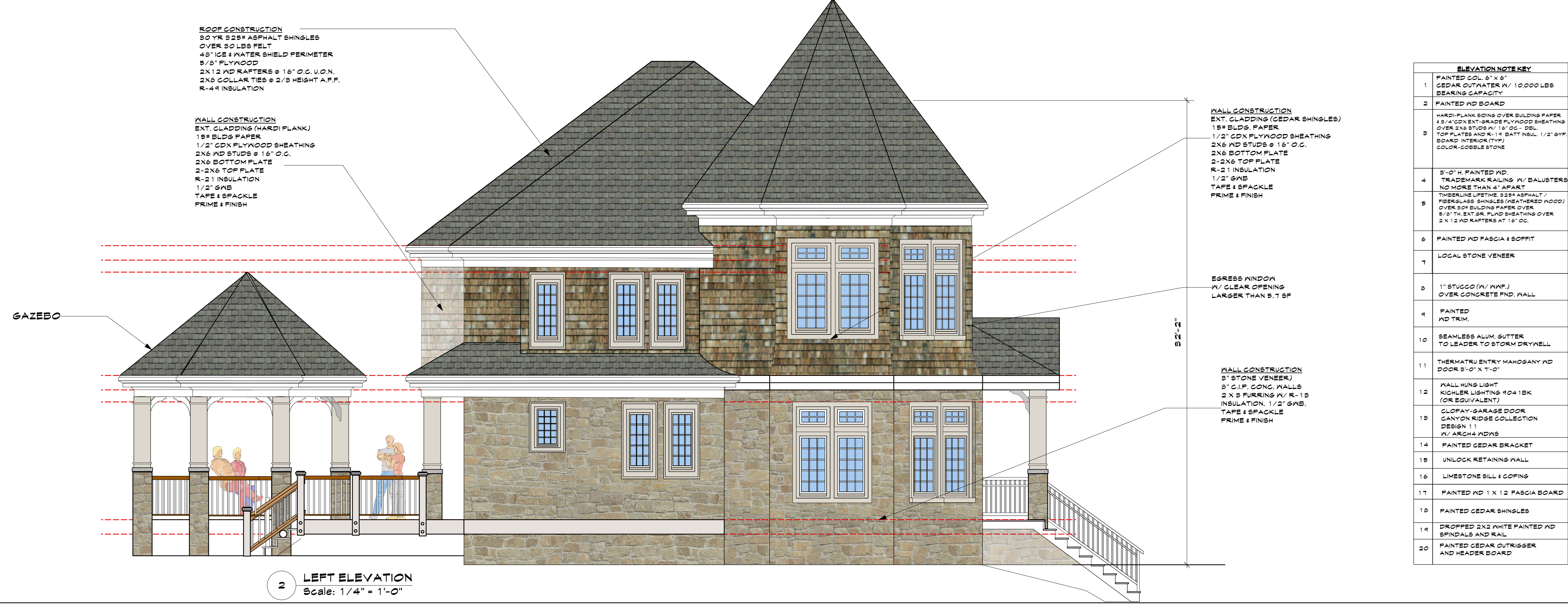
Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

A.4

Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 LEFT ELEVATION
Scale: 1/4" = 1'-0"

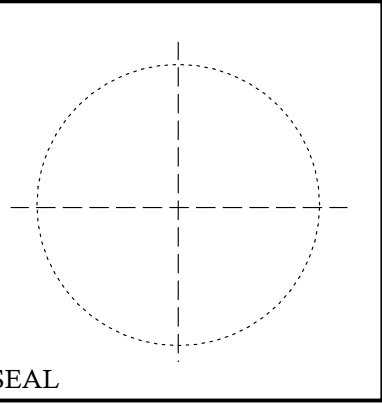
ELEVATION NOTE KEY	
1	PAINTED COL. 6" X 6" CEDAR OUTWATER W/ 10000 LBS BEARING CAPACITY
2	PAINTED MD BOARD
3	HARD-PANK SIDING OVER BUILDING PAPER 1/2" CDX EXT-GRADE PLYWOOD SHEATHING OVER 2X6 STUDS @ 16" O.C. DEL. TOP PLATES AND R-11 BATT INSUL. 1/2" GYP BOARD INTERLATCH TYPE) COLOR-COBBLE STONE
4	3'-0" H. PAINTED MD TRADEMARK RAILING W/ BALUSTERS NO MORE THAN 4" APART
5	THERMAL BREAK SHEATHING / FIBERGLASS SHINGLES (WEATHERED WOOD) OVER 30# BUILDING PAPER OVER 5/8" TH. EXT. GR. FLND SHEATHING OVER 2 X 12 MD RAFTERS AT 16" O.C.
6	PAINTED MD FASCIA 1 BOFFIT
7	LOCAL STONE VENER
8	1" STUCCO (W/ WWP) OVER CONCRETE FND. WALL
9	PAINTED MD TRIM
10	SEAMLESS ALUM. GUTTER TO LEADER TO STORM DRYWELL
11	THERMATR. ENTRY MAHOGANY MD DOOR 8'-0" X 7'-0"
12	WALL HUNG LIGHT HIGH-LEARNING #041BK (OR EQUIVALENT)
13	GLOFAY-GARAGE DOOR GANYON RIDGE COLLECTION DESIGN 11
14	PAINTED CEDAR BRACKET
15	LIMESTONE BILL 1 COPING
16	PAINTED MD 1 X 12 FASCIA BOARD
17	PAINTED CEDAR SHINGLES
18	DROPPED 2X2 WHITE PAINTED MD SPINDALS AND RAIL
19	PAINTED CEDAR OUTRIGGER AND HEADER BOARD
20	

NO.	REV.	DATE

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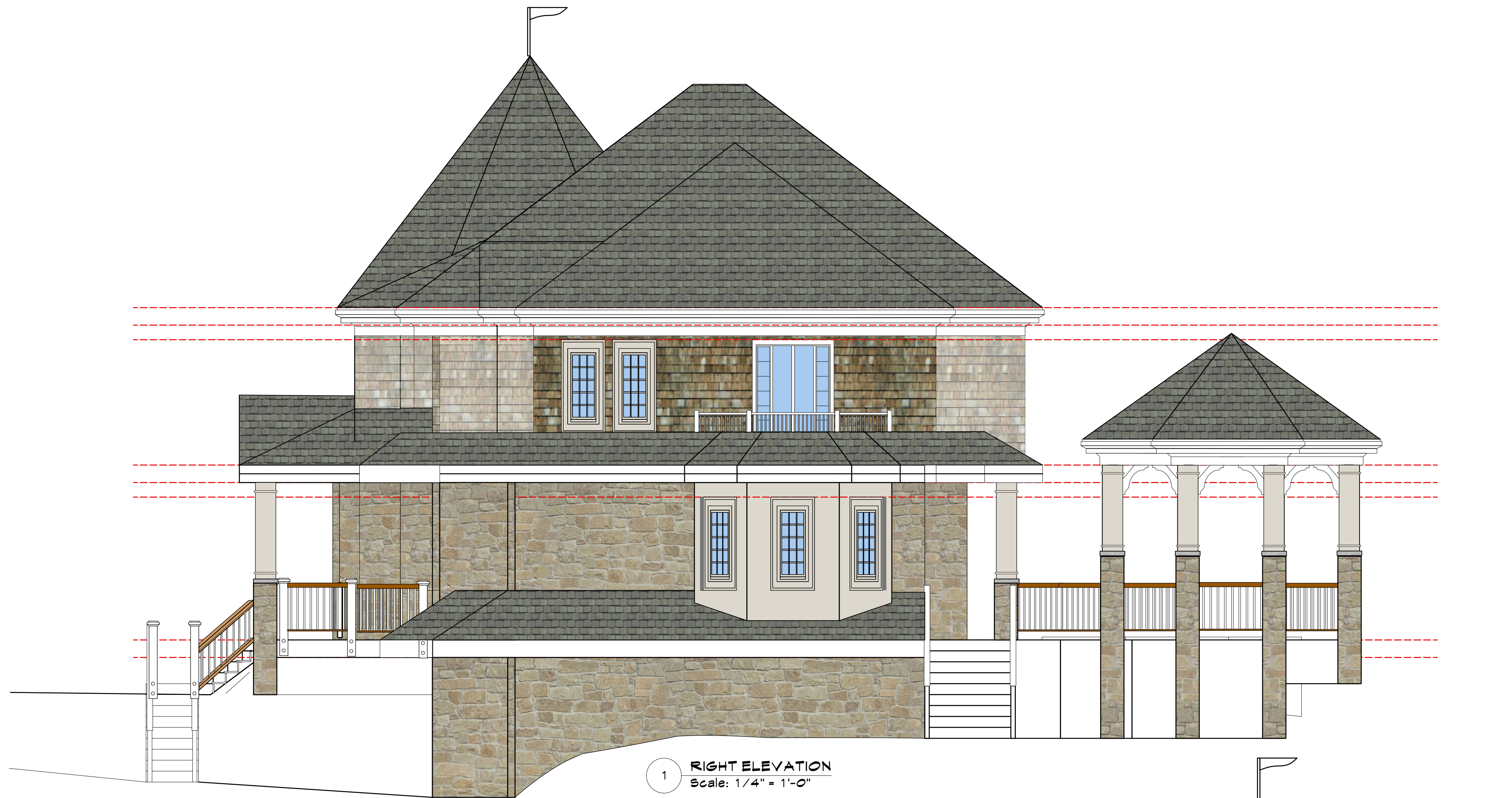


KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y
SBL: // ZONE:

LEFT SIDE/ FRONT ELEVATION

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A.5
Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



1 RIGHT ELEVATION
Scale: 1/4" = 1'-0"



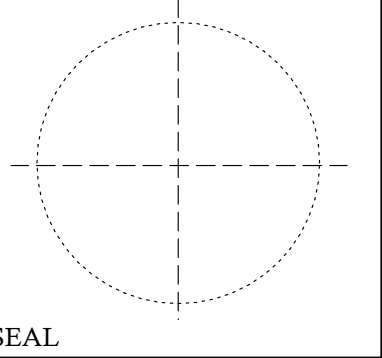
2 REAR ELEVATION
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
-----	------	------

OWNER:
MR. & MRS.
CHRISTOPHER
KALIAN

Tom
Abillama
Architects

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YONKERS, NEW YORK
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SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, N.Y

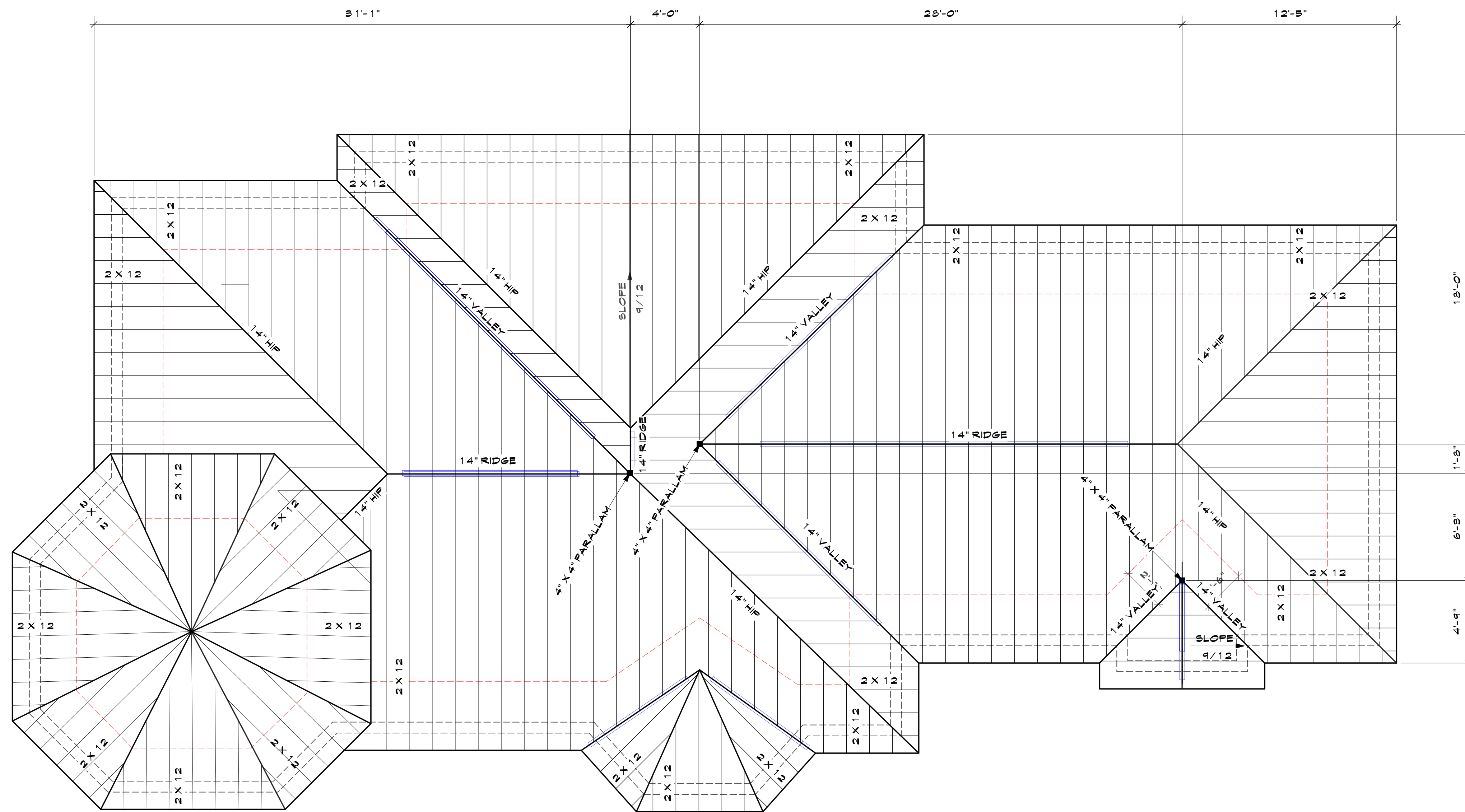
SBL. // ZONE:

RIGHT SIDE,
REAR
ELEVATIONS

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

A.6

Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020



1 ROOF FRAMING PLAN PLAN
Scale: 1/4" = 1'-0"



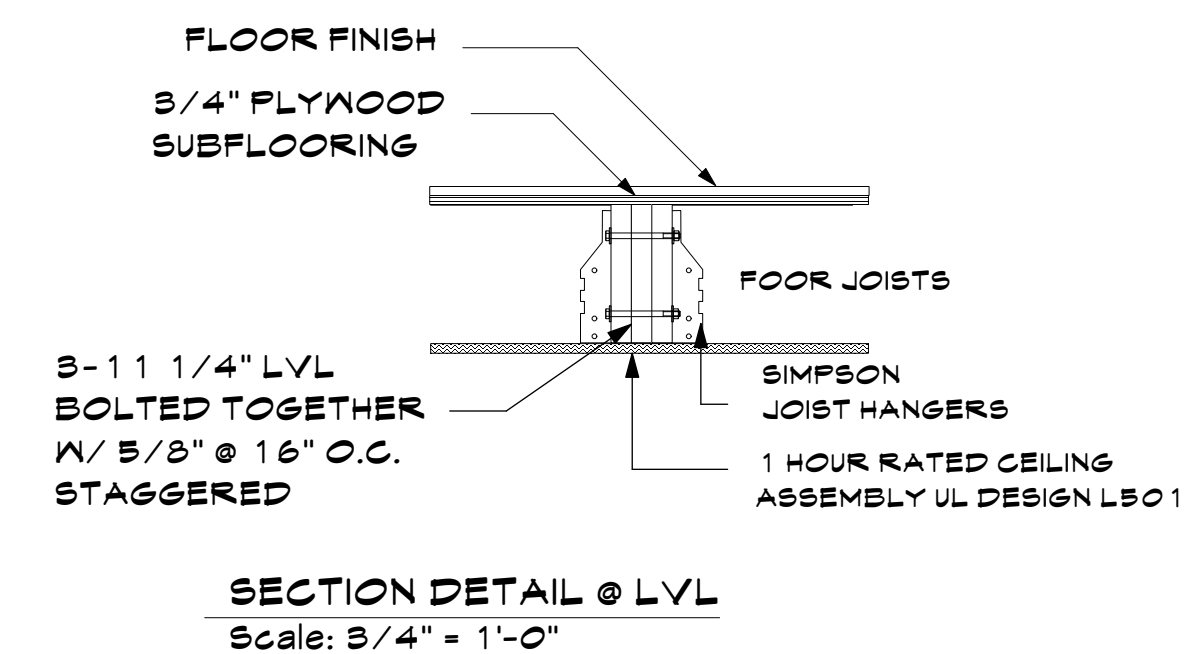
TO PROVIDE PLASTIC STICKER
1/8" 1/2" X 1 1/2" W/ RED COLOR CREST AT
ELECT. METER INDICATING USE OF
ENGINEERED ROOF STRUCTURAL
MEMBERS.
LOCATION IS SUBJECT TO APPROVAL BY
FIRE DEPARTMENT.

PARTS TRUSS NY 10
BLDG. CONSTRUCTION TYPE V
ROOF CONSTRUCTION
ENGINEERED FRAMING
AT FLOORS AND BEAMS
AS PER 1205 OF TITLE 14

FOR MORE INFORMATION LOG IN TO THE FOLLOWING LINK:
<https://www.safetysign.com/products/TO10/ny-type-v-floor-roof-truss-sign>

(d) Signs identifying the existence of truss construction shall consist of a circle 6 inches (152.4 mm) in diameter, with a stroke width of 1/4 inch (12.7 mm). The sign background shall be reflective white in color. The circle and contents shall be reflective red in color, conforming to Pantone matching system (PMS) #187. Where a sign is directly applied to a door or sidelight, it may be a permanent non-fading sticker or decal. Signs not directly applied to doors or sidelights shall be of sturdy, non-fading, weather resistant material.

SIMPSON TIES	ITS / MIT / HIT HANGER FOR I-JOISTS	LUC/LU/HU/HUG STAND. JOIST HANGER 2X6/2X8/2X10/2X12	HUTF / HUSTF HANGER HEAVY DUTY X2 / X8 MEMBERS	H112 HURRICANE STRONG TIE
	Supports 1 1/2" to 1 1/2" stick hangers			



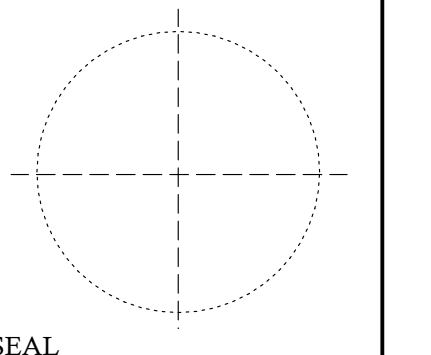
NO. REV. DATE

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KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION
99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL. // ZONE:

ROOF
FRAMING
PLAN

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

A.6

Drawn By: AM Checked By: TFA
Plot Date: OCT.15.2020

OWTS NOTES

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.
2. THERE ARE NO OWTS WITHIN 200 FEET OF THE WELL UNLESS OTHERWISE SHOWN ON THE PLAN.
3. THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET IF THE PROPOSED WELL.
4. THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLAN.
5. THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
6. IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CANNOT BE FOLLOWED, A REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY WCDH.
7. THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
8. WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.
9. NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
10. AFTER BACKFILLING THE OWTS, THE AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEEDING AND MULCHED.
11. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
12. ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF BOX.
13. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
14. PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7952.
15. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
16. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
17. THERE ARE NO NYSDEC WETLANDS OR WATERCOURSES WITHIN 200 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
18. STORMTECH SC-740 CHAMBERS ARE NOT A PART OF THE OWTS.
19. THE PROPOSED FILL FOR THE OWTS AREA IS TO BE RUN OF BANK SAND AND GRAVEL ONLY.
20. ESTIMATED TIME OF CONSTRUCTION: MAY-JUNE 2021

MISCELLANEOUS DATA

OWNER/APPLICANT: 99 BYRAM LLC
5 W MAIN ST
ELMSFORD, NY 10523

SURVEYOR: EDWARD T. GANNON, PLS
CHERRY HILL ROAD
BLOOMING GROVE, NY 10914

MUNICIPALITY: TOWN OF NORTH CASTLE

LOT AREA: 1.34 AC

FIRE DISTRICT: ARMONK FD

TAX MAP: 101.01-1-13

WATER DISTRICT: ONSITE WELL

SEWER DISTRICT: ONSITE SDDS

SCHOOL DISTRICT: BYRAM HILLS

DRAINAGE BASIN: BYRAM RIVER BASIN

WATERSHED: INLAND LONG ISLAND SOUND BASIN

EXISTING ZONING DISTRICT: R-1A

OWTS DESIGN SUMMARY

PROPOSED DEVELOPMENT: SINGLE FAMILY, 5 BEDROOM HOME

DESIGN FLOW: 200 GPD/BEDROOM = 1,000 GPD

DEPTH TO GROUNDWATER: N/A

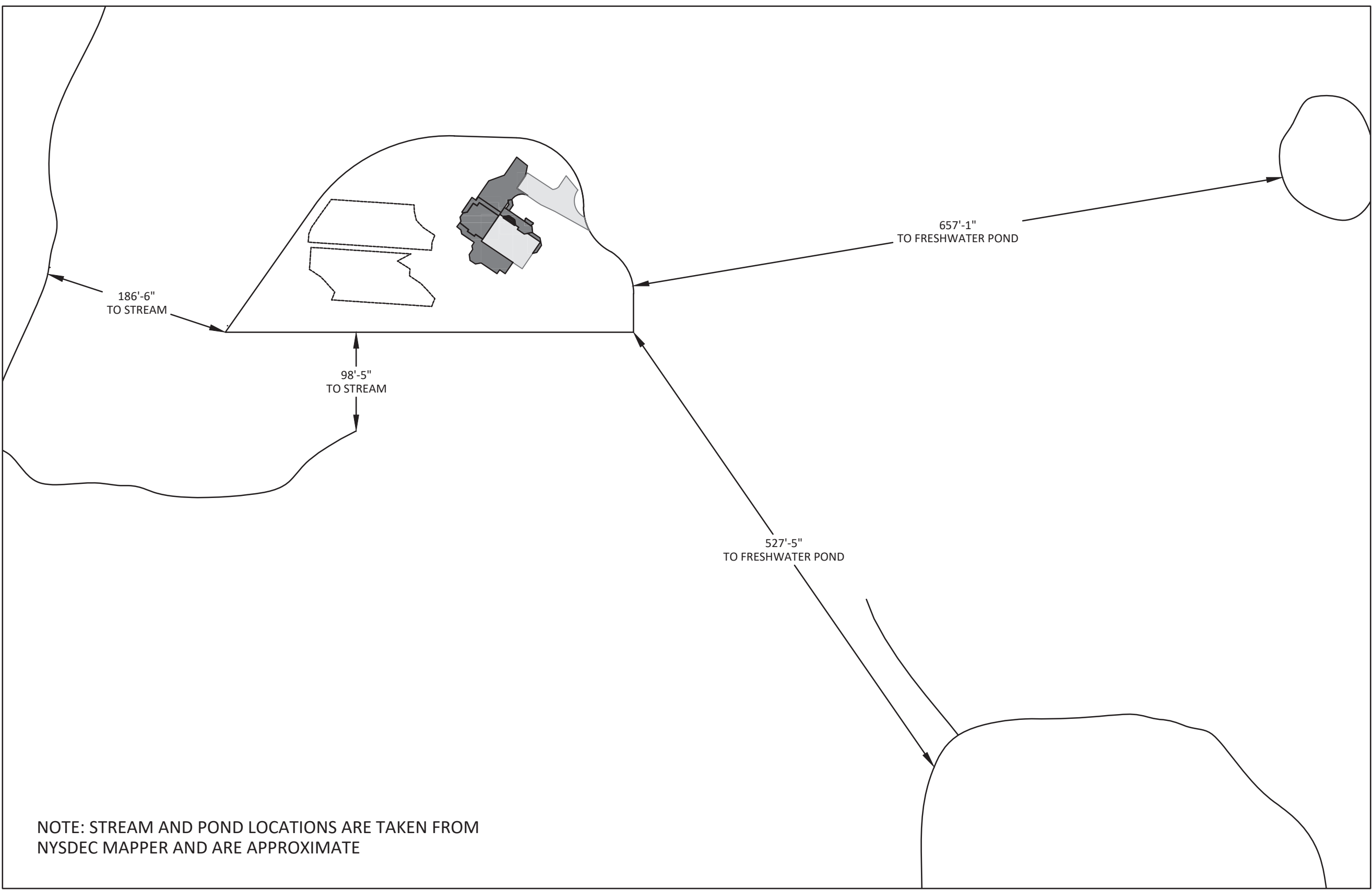
DEPTH TO BEDROCK: N/A

SOIL PERCOLATION RATE: 16-20 MIN/IN

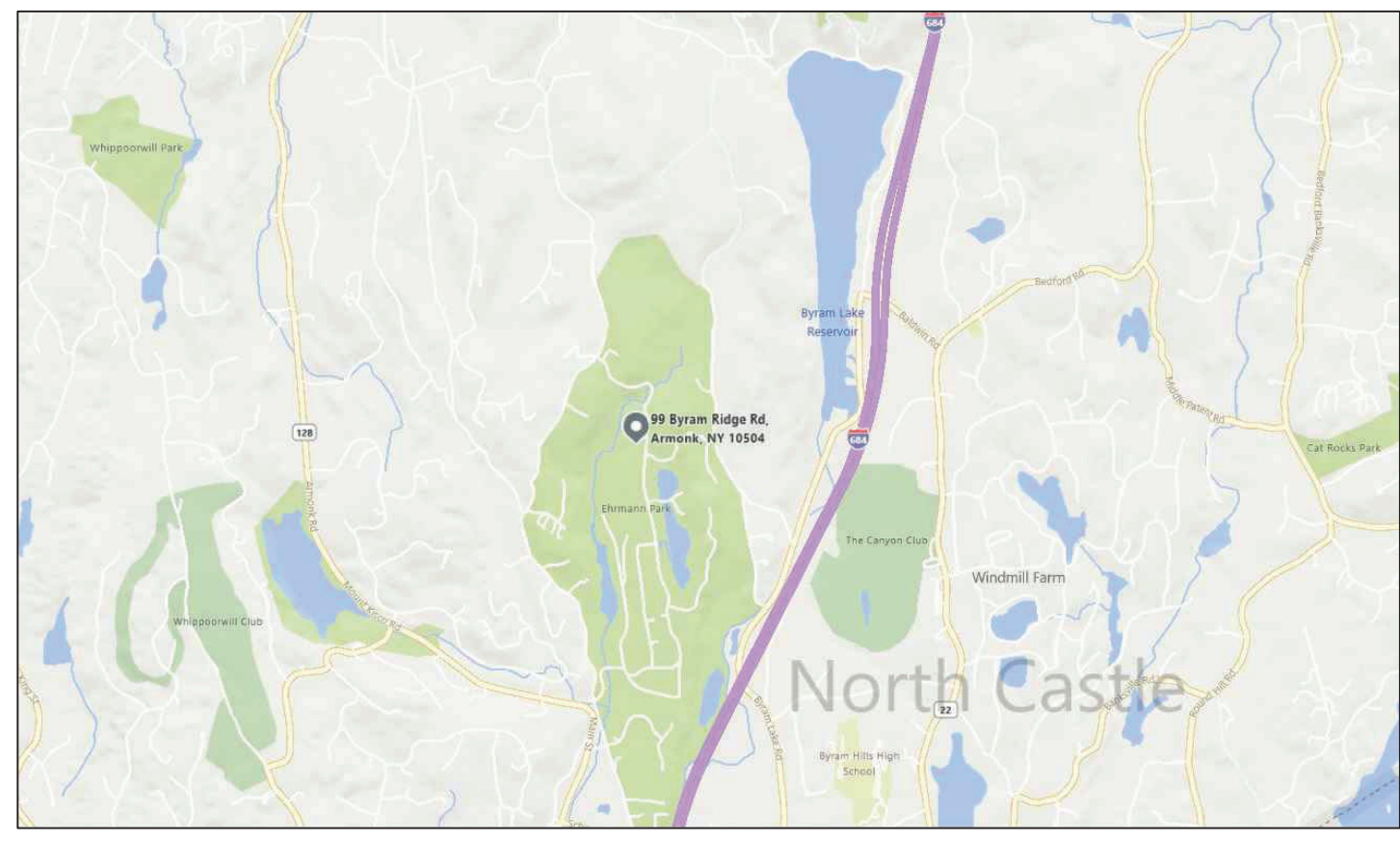
TOPOGRAPHY/SLOPE: 11%

TOTAL LENGTH ABSORPTION TRENCH REQUIRED/PROVIDED = 720 LF

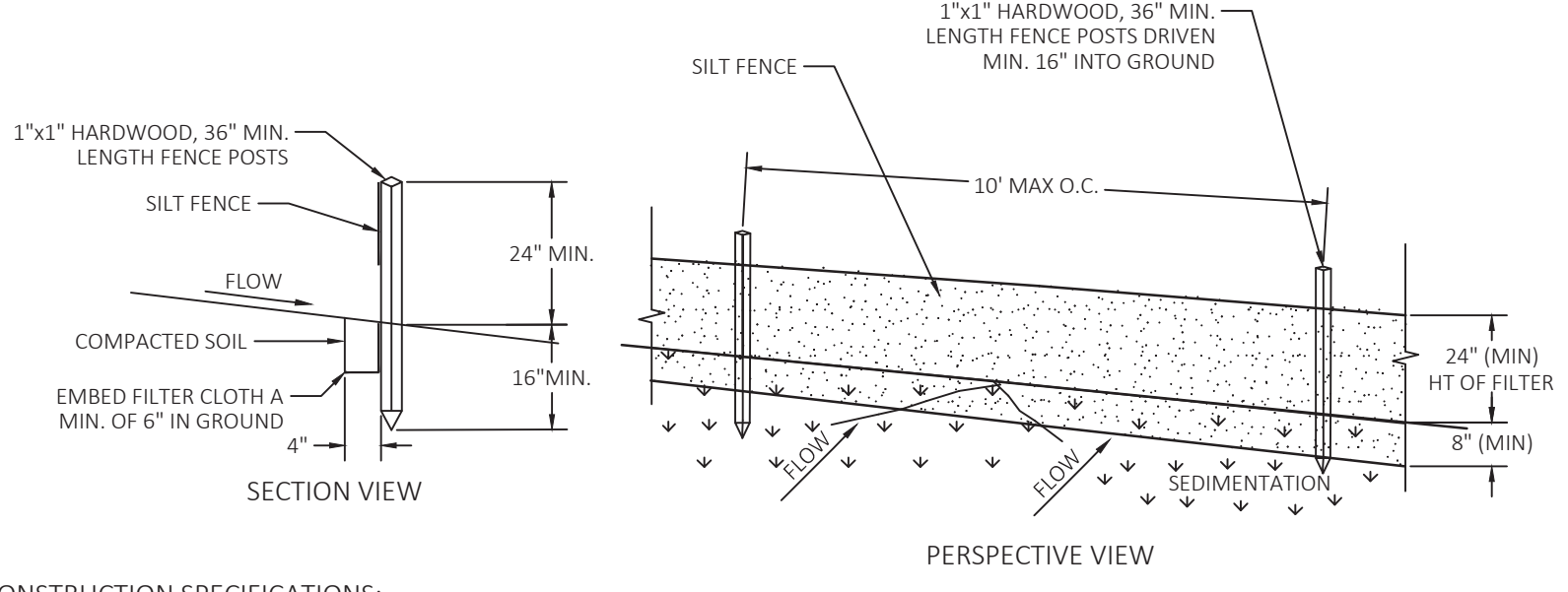
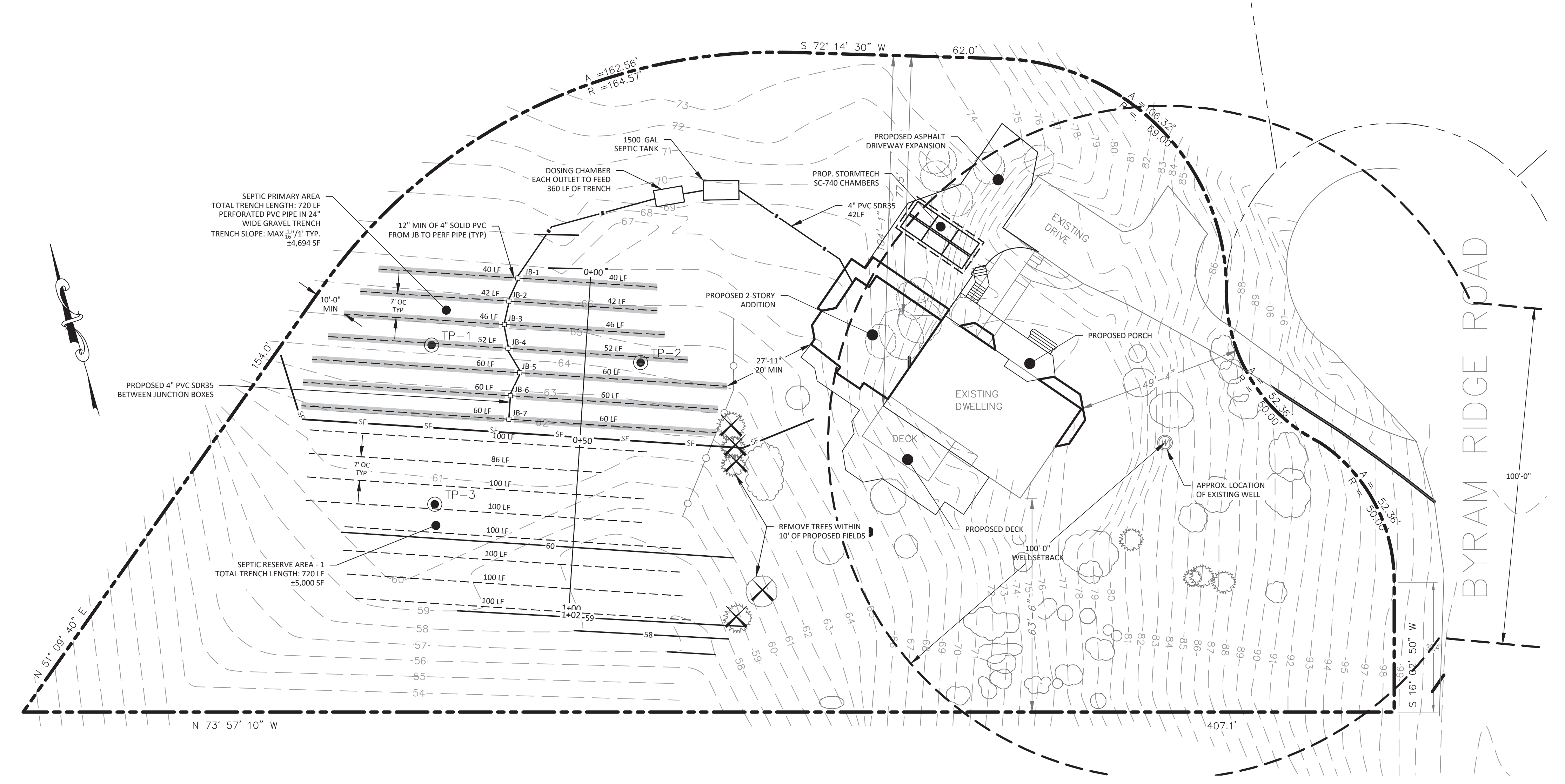
SOIL CLASSIFICATION: ChB & RhD



STREAMS AND WATERBODIES
1" = 100'-0"



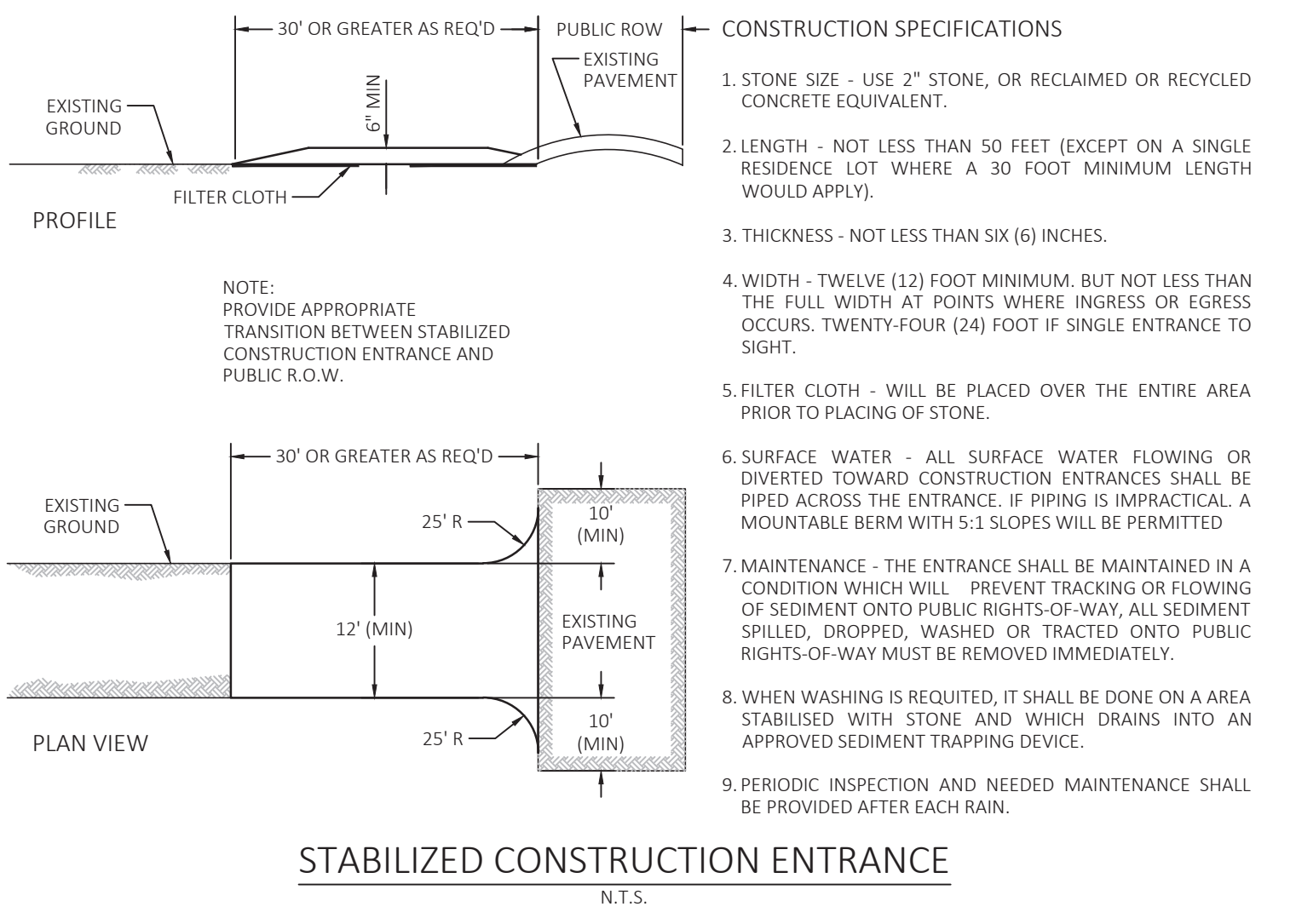
LOCATION MAP
N.T.S.



CONSTRUCTION SPECIFICATIONS:

1. SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USCF MISS180, MIRAF1 100X OR APPROVED EQUIVALENT.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

SILT FENCE INSTALLATION DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

NOTE: NOT TO BE USED FOR CONSTRUCTION

ARQ ARCHITECTURE - PLANNING & ENGINEERING
100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

PAUL A. BERTE, P.E.
100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562

REVISIONS	DATE	BY

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VIII, ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.

DRAWING TITLE:
OWTS SITE PLAN

PROJECT:
**99 BYRAM, LLC
OWTS PLAN**

PROJECT ADDRESS:
**99 BYRAM RIDGE ROAD
ARMONK, NY 10580**

WCDH SIGNATURE:

DATE: 3/1/21
PROJECT NO: 21-030
DRAWING BY: SB
CHECKED BY: PB

SCALE: 1" = 20'-0"
DRAWING NO: 1 OF 2

