

PROPOSED RENOVATION OF

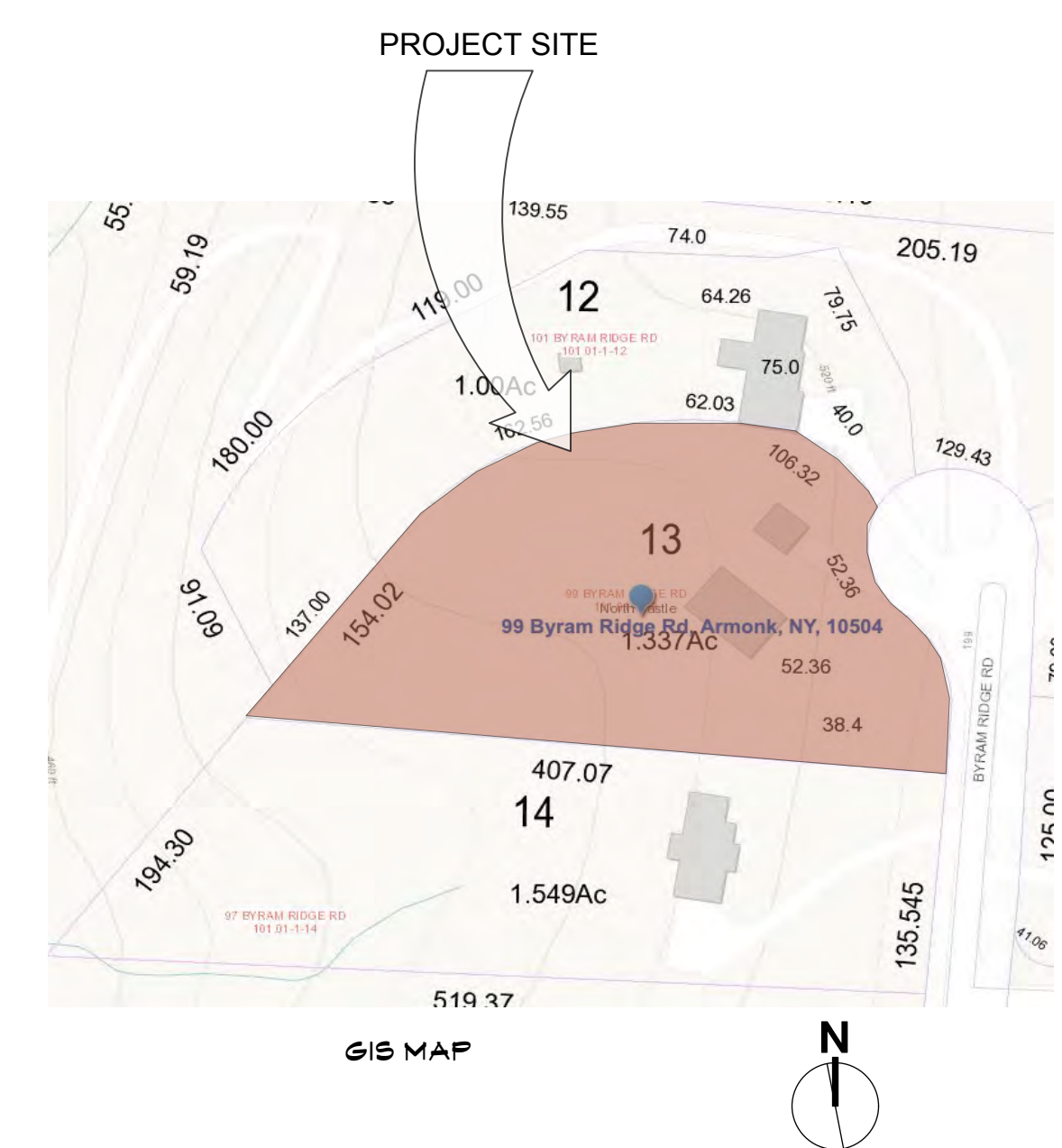
The Kalian Residence

99 Byram Ridge Road,
Armonk, NY

OWNER : Mr. & Mrs. Christopher Kalian

Contractor : Ridge Partners

Architect: Tom F. Abillama, AIA



DRAWING LIST	
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2	Planning Bd	4.14.21
1	Planning Bd	9.10.21

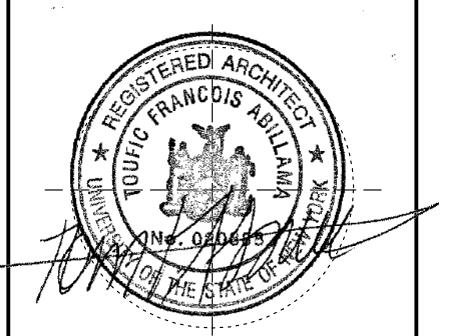
NO. REV. DATE

OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

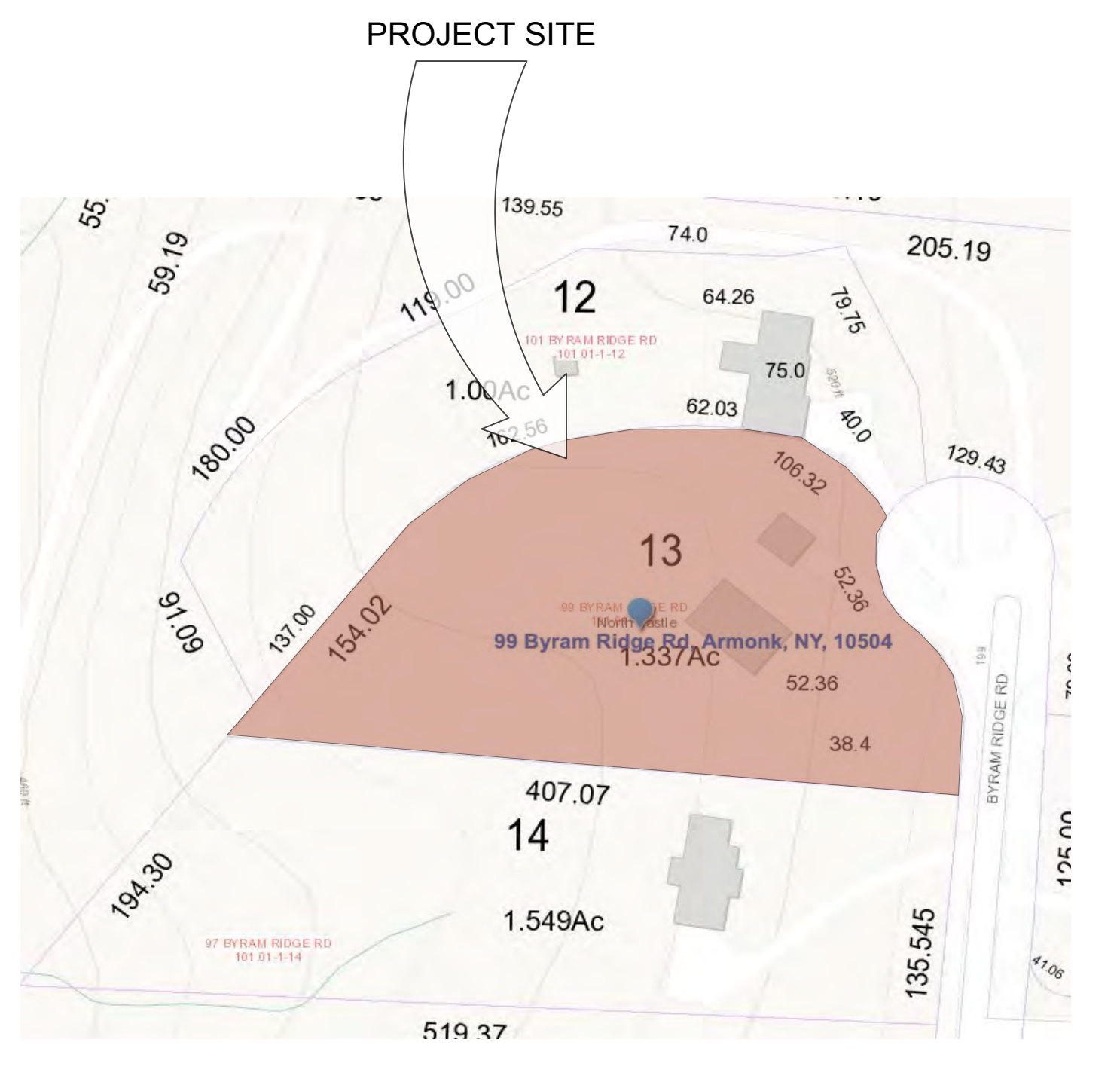
TITLE SHEET

Project ID / DATE : 2048 / 10.15.2020

Sheet Scale:

T.1

Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



ELECTRICAL NOTES

Work related to these documents shall include furnishing and installation of every kind of wire/conduit required to make the electric light and power distribution system complete, i.e. providing and connecting service entrance equipment, lighting panels, power panels, switches, outlets, receptacles, back boxes, related components required by the local utility company of all fixtures complete with lamps, clamps, hangers, supports, etc.

All electrical work shall comply with the requirements of the national electric code, latest edition. Should a conflict arise, the code or more stringent requirements shall prevail.

All wiring shall be copper, # 12 awg minimum size - #8 and smaller to be solid, #6 and larger to be stranded. Insulation to be NEC 600 volt type, rated @ 75 degrees C and be properly phase color coded for 120/208 V. 3 phase 4-wire service.

Unless noted otherwise, minimum size conduit shall be 1/2" and number of cross marks indicate number of # 12 conductors in conduit. Type of conduit used shall be in strict accordance with code provisions concerning same. All conduit runs are to be concealed in floors, walls, and ceilings, except where noted otherwise.

Electrical installation shall be tested for shorts, grounds, operation of low voltage circuitry, night light wiring, stand-by generator and connections to same, etc. Defects shall be remedied at once and the tests re-run as many times as may be required to prove correctness. Balance all phase loading of all panelboards.

The circuits shall be distinctly numbered and identified on the schedule of circuits typewritten to the panelboard. Affix permanent identifying nameplates to all electrical switches, pilot devices, selector switches, etc. Submit samples and list of titles for approval prior to purchase and installation.

PLUMBING NOTES

Installation of all work herein specified shall conform to the requirements of the NY State Plumbing Code, rules and regulations of the North Castle building department, and all other local authorities having jurisdiction, including federal O.B.H.A. specifications.

All materials used shall be new, best of their respective brands and conform to the requirements of all state and local authorities having jurisdiction. Pipework installed under this contract shall be in accordance with the following schedule:

Material
Soil and waste lines [within building] above grade - extra heavy cast iron pipe or dwv copper pipe with sweat solder connections;
Below grade - extra heavy cast iron pipe. soil and waste lines [outside building] extra heavy cast iron pipe. vent piping standard weight galvanized pipe or type dwv copper pipe with sweat solder joints. cold and hot water piping underground-typek with flare fittings.

Above grade [within building] type 1 copper tube with lead free sweat solder connections

Set clevis hangers for the support of copper piping not more than 10 ft on center. set hangers for cast iron pipe not more than 5 ft apart, use 3/8" rod for pipe up to 2" and 1/2" rod for pipes, 2 1/2" and larger. cover all cold water and hot water lines with 1" thick o-c fiberglass light density one piece pipe insulation having frk universal type vapor barrier outer jacket. install as per manufacturer's specifications. cover all valves and fittings with zeston premoulded insulating shapes.

STEEL NOTES

1- All Structural Steel Shall Conform With Aisc Specifications For Structural Steel For Buildings, And Shall Be Based On Astm-A36 With Minimum Yield Point Of 36,000psi.

2- All Connection Material Shall Conform To ASTM Requirements:
A) High Strength Bolts : A325
B) Welding Electrodes : Aws-A5, 1, E70 Series.
C) Bolts Shall Be 3/4" Diameter.
D) Open Holes Shall Be 1 3/16" Diameter, Unless Otherwise Indicated.

3- All Welding Shall Be Done By Licensed Welders And Shall Be Inspected By Approved Welding Agency.

4- Provisions Shall Be Made For Connections Of Other Trades Prior To Fabrication.

5- All Steel Members Shall Have Shop Coat Of Primer.

6- Loose Lintels Shall Have 6" Bearing Each End.

02060 REMOVALS

I. WORK INCLUDED

1. SEE ARCHITECTURAL DEMOLITION DRAWING
SEE ALSO MECHANICAL AND ELECTRICAL DRAWINGS.

2. GENERAL REMOVALS AND RELOCATIONS:

1. REMOVE AND RELOCATE ALL EXISTING MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES INCLUDING BUT NOT LIMITED TO: FIRE ALARM, PULLS STATIONS, POWER OUTLETS, LIGHT SWITCHES, THERMOSTATS AND TELEPHONE OUTLETS AS REQUIRED FOR THE INSTALLATION OF NEW WORK.
2. REMOVE ALL ITEMS, MATERIALS AND FINISHES REQUIRED FOR THE INSTALLATION OF NEW WORK, OR THE RELOCATION OF EXISTING, AS DESCRIBED IN PERTINENT SECTIONS OF THESE SPECIFICATIONS AND / OR SHOWN ON THE DRAWINGS INCLUDING STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
3. EXISTING WIRING, PIPING OR OTHER LINES WITHIN WALLS OR CEILINGS TO BE REMOVED - VERIFY THAT THESE ARE ABANDONED PRIOR TO REMOVAL. RE-ROUTE ANY LINES THAT ARE STILL IN USE TO MAINTAIN ALL EXISTING SERVICES.

II. MATERIALS - (NA)

III. EXECUTION

1. ALL REMOVALS AND DEMOLITION SHALL BE IN COMPLIANCE WITH NYS BUILDING CODE, AND ALL APPLICABLE FEDERAL SAFETY REGULATIONS.

2. ALL MATERIALS AND ITEMS THAT ARE TO BE REUSED AND RELOCATED IN CONNECTION WITH THE NEW WORK SHALL BE CAREFULLY CUT AWAY FROM THE EXISTING ADJUTING WORK TRUE TO LINE AT THE NEAREST JOINT, SURFACE BREAK OR PATTERN LINE TO ENSURE NO NOTICEABLE DIFFERENCE BETWEEN NEW AND EXISTING TO REMAIN. REMOVALS SHALL BE KEPT TO A MINIMUM MATERIALS TO BE REUSED AND RELOCATED SHALL BE PROPERLY HANDLED, TAGGED AND PROPERLY STORED TO PREVENT DAMAGING AND BREAKING.

3. CAREFULLY COORDINATE ALL TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE OF THE WORK.

4. WHEN WORK IS STOPPED, PROVIDE AND MAINTAIN IN PLACE SUITABLE COVERINGS AND BARRIERS FOR PROTECTION OF THE WORK AND SAFETY FOR ALL PERSONNEL AND BUILDING USERS, PROVIDE PROTECTED PATHS OF EGRESS, PER PHASING REQUIREMENTS, FOR CONTINUOUS PUBLIC ACCESS TO STAIRS, ESCALATORS AND ENTRANCES/EXITS.

5. PROTECT ALL WORK, EXISTING AND NEW, FROM DAMAGE BY ANY CAUSE THROUGHOUT THE DEMOLITION OPERATIONS PROTECTIVE COVERINGS OR BARRIERS SHALL NOT MAR, STAIN OR PENETRATE THE FINISHED WORK.

6. COORDINATE ALL ELECTRICAL WORK FOR THE PROPER DISCONNECTIONS, PROTECTIONS AND CAPPING; SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.

7. UNDERTAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVENT EXCESSIVE DUST DURING DEMOLITION.

8. REMOVE ALL PORTIONS OF THE WORK IN A SAFE MANNER WITH CARE TO PREVENT DAMAGE TO ADJACENT AND REMAINING STRUCTURE, FINISHES OR ANY OTHER ITEMS OF PROPERTY.

9. ALL MATERIALS UNLESS NOTED TO BE REUSED OR TO BE SALVAGED SHALL BE REMOVED OFF THE PROPERTY TO AN AVAILABLE DUMP OR SITE OF THE CONTRACTOR'S OWN CHOOSING AND ARE TO BE PROPERLY AND RESPONSIBLY DISPOSED OF. NO BURNING OR ON-SITE DISPOSAL IS PERMITTED.

10. VERIFY SALVAGE REQUIREMENTS FOR ALL MATERIALS NOTED TO BE REMOVED WITH SAFE HORIZON. MATERIALS NOTED TO BE SALVAGED SHALL BE PROPERLY STORED IN LOCATION PER SAFE HORIZON, INC. DIRECTIONS.

11. ALL SPACES ARE TO BE BROOM CLEANED DAILY.

12. ALL REMOVALS SHALL LEAVE THE EXISTING SURFACES AND SUBSTRATES FREE AND CLEAN FOR THE PROPER PATCHING AND PREPARATION REQUIRED FOR THE SPECIFIED NEW MATERIALS AND FINISHES.

NOTES:
STEEL COLS SHALL REST ON 12" X 12" 3/4" T, 5T. BASE PLATE OVER LEVELLING PLATE OVER NON-SHRINK GROUT N/ (4) 3/4" @ 12" LONG ANCHOR BOLTS OVER 3'-0" X 3'-0" X 18" CONC. FOOTINGS N/ (8) @ 4'S EA. MAY-BOTTOM.

ALL BEAMS OVER 2 MEMBERS SHALL BE BOLTED TOGETHER N/ 3/4" THRU-BOLTS @ 18" O.C. STAGGERED.

ALL FLUSH BEAMS SHALL RECEIVE JOIST HANGERS BY SIMPSON OR EQ.

ALL DOORS, WINDOWS SHALL RECEIVE (2) 2X10 HEADERS (TYP.) UNLESS OTHERWISE NOTED ON PLANS.

CONSTRUCTION TO BE "V b" SINGLE FAMILY RESIDENTIAL LIVE LOADS = 40 PSF GROUND SNOW LOAD = 30 PSF SNOW LOAD = 30 PSF DEAD LOAD = 15 PSF WIND LOADS = 115 MPH SEISMIC DESIGN: B

WOOD NOTES

1- All Exterior Wood Framing Members Shall Be Structural Grade With Min. Fiber Stress Strength Of 1400, And Shall Be Pressure Treated For Exterior Exposure.

2- Contractor To Provide All Steel Connections Required For Fastening Members To Others.

3- Contractor To Refer To "simpson-strong Tie" Manual For Post Plates, Joist / Beam Hangers As Well As Hold Downs And Post Caps Etc...

1- ALL STRUCTURAL STEEL SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS, AND SHALL BE BASED ON ASTM-A36 WITH MINIMUM YIELD POINT OF 36,000 PSI.

2- ALL CONNECTION MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS:
A) HIGH STRENGTH BOLTS : A325
B) WELDING ELECTRODES : AWS-A5, 1, E70 SERIES.
C) BOLTS SHALL BE 3/4" DIAMETER.
D) OPEN HOLES SHALL BE 1 3/16" DIAMETER, UNLESS OTHERWISE INDICATED.

3- ALL WELDING SHALL BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY APPROVED WELDING AGENCY.

4- PROVISIONS SHALL BE MADE FOR CONNECTIONS OF OTHER TRADES PRIOR TO FABRICATION.

5- ALL STEEL MEMBERS SHALL HAVE SHOP COAT OF PRIMER.

6- LOOSE LINTELS SHALL HAVE 6" BEARING EACH END.

FOUNDATIONS:

1- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2 TONS PER SQ. FT.

2- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 FOOTING TO 2 HORIZONTAL SLOPE WITH RESPECT TO ANY OTHER ADJACENT FOOTINGS.

CONCRETE:

1- ALL CONCRETE SHALL BE STONE AGGREGATE CONCRETE WITH AN ULTIMATE COMPRESSIVE STRENGTH OF 5000# PSI AFTER 28 DAYS.

2- WELDED WIRE FABRIC SHALL HAVE AN ULTIMATE STRENGTH OF 10,000 PSI.

3- ALL STEEL REINFORCEMENT SHALL BE DEFORMED ACCORDING TO ASTM-A615, GRADE 60 AND SHALL HAVE A YIELD POINT OF 40,000 PSI.

MASONRY:

1- CONCRETE BLOCK SHALL CONFORM TO ASTM C-145, GRADE N-1.

2- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "N".

3- NO VINYLIDENE CHLORIDE OR ANY UNAPPROVED CURING ADMIXTURE SHALL BE ALLOPED IN MORTAR MIXTURE.

4- PROVIDE GALV. HORIZONTAL REINFORCEMENTS AT EVERY COURSE JOINT.

ADMINISTRATIVE

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE SUPERVISION OF WORK. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CHANGES ON THE APPROVED PLANS.

NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE GOVERNING AGENCIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & SHALL REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK & AS REQUIRED BY LOCAL AGENCIES.

DO NOT SCALE DIMENSIONS FROM DRAWINGS, WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES. LARGE SCALE DRAWINGS TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS.

NO WORK IS TO BE STARTED UNTIL THE PLANS ARE APPROVED BY THE NEW YORK CITY DEPT. OF BUILDING AND A WORK PERMIT IS OBTAINED.

THESE NOTES ARE PART OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ARE TO BE FULLY COMPLIED WITH IN ALL RESPECTS. THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING CONSTRUCTION.

FOUNDATION AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED ON THE INFORMATION CONTAINED WITHIN THE BORINGS AND/OR TEST PITS AS FURNISHED BY THE OWNER. EXACT FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON CONTROLLED INSPECTIONS OF SUBSOIL CONDITIONS AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES TO VERIFY EXACT LOCATIONS OF THEIR UTILITY LINES, SERVICE AND OTHER POSSIBLE EQUIPMENT.

THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING SITE.

PRIOR TO COMMENCEMENT OF WORK THE ADJACENT PROPERTY OWNERS SHALL BE GIVEN 3 DAYS WRITTEN NOTICE BY CERTIFIED MAIL, WHERE ADJACENT PROPERTY IS AFFECTED BY FOUNDATIONS, GRADING EARTH WORK OR DEMO WORK.

AN ACCURATE AND COMPLETED SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED TO THE APPLICANT OF RECORD AFTER COMPLETION OF WORK SHOWING THE LOCATION AND ELEVATIONS OF ANY NEW BUILDING OR EXTENSION, FINISHED FLOOR ELEVATION, GRADE ELEVATIONS AND SHALL COMPLY TO THE MINIMUM STANDARDS OF THE NYS SPSS.

SCOPE OF WORK:

PROVIDE 2 STORY ADDITION AND RENOVATION TO EXISTING ONE AND HALF STORY STRUCTURE. PROVIDE FOR NEW DRIVENAY, DECK AND GAZEBO. REMOVE EXISTING TREES UNDER SEPARATE PERMIT.

SEPARATE APPLICATIONS

- PLUMBING PERMIT
- ELECTRICAL PERMIT
- TREE REMOVAL
- SEPTIC DESIGN

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITIES, SEWER, WATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.

CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL FITS, SLAB DEPRESSIONS, SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.

CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, PREVENT DAMAGE SHOULD RESULT FROM SUCH WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACIS FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.

CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENSES, CERTIFICATES, FEES, ETC., REQUIRED BY THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.

ALL WORK MUST CONFORM TO THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT, (O.B.H.A. REGULATIONS MUST ALSO BE ADHERED TO). ALL ELECTRICAL WORK MUST CONFORM TO NATIONAL ELECTRIC CODE.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, (STANDARD FORM OF A.I.A. LATEST EDITION A201), ARE PART OF THE CONTRACT DOCUMENTS.

WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS.

SUBCONTRACTORS SHALL WARRANT, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

CONTRACTOR SHALL APPLY TAPING COMPOUND IN 3 COATS TO ALL JOINTS OF ALL SHEETROCK. SHALL PROVIDE TWO COAT HIGH GLOSS PAINT IN THE KITCHEN AREA AND A SATIN FINISH COAT AT ALL OTHER AREAS, INCLUDING CEILINGS. CONTRACTOR TO PROVIDE NEW CERAMIC TILE THROUGHOUT KITCHEN, BATHROOM, LAUNDRY ROOMS AND ALL OTHER WET FLOOR AREAS. COLORS AS SELECTED BY OWNER. SUBCONTRACTOR IS TO PROVIDE ALL FINISH HARDWARE AS REQUIRED BY THE OWNER FOR ALL NEW DOORS.

SCOPE OF WORK PERTAINS TO THE RENOVATION/ADDITION TO EXISTING ONE FAMILY DWELLING. THESE PLANS ARE BASED ON THE 2020 RCNYS (APPENDIX J, ALTERATION LEVEL 2-CHAPTER 6). THE TOWN OF NORTH CASTLE MUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

ENERGY CODE REQUIREMENTS:
PRESCRIPTIVE METHOD
ZONE 4A CRITERIA (RCNY, 2020- N 1102.1.2):
1- U FACTOR @ GLAZING : .82
2- U FACTOR @ SKYLIGHT : .85
3- U FACTOR @ SHGC : .40
4- R-VALUE @ ROOF: R-48
5- R-VALUE @ WD FRAME WALL: R-21
6- R-VALUE @ MASS WALL: R-13
7- R-VALUE @ FLOOR: R-25
8- R-VALUE @ BASEMENT WALL: R-13
9- R-VALUE @ SLAB: R-10.2 FT PERM.
10- R-VALUE @ GRANUL SPACE WALL: R-11.9
11- MAX INFILTR. @ WDN'S SKLTS : 0.8 CFM/SF
12- MAX INFILTR. @ SWINS. DRS : 0.8 CFM/SF
13- MIN. 75% HIGH EFFICACY LAMPS
14- TESTING PER N 1102-4.1.2

TOM F. ABILLAMA, R.A. ARCHITECT

ROUGH CARPENTRY:

1. Framing and structural lumber: Douglas Fir #1, (F=1 050 Psi), E=1,600,000. Fv=95 psi. All joists and rafters to have diagonal bridging, 3"-0" o.c. maximum. Solid blocking under ceramic tile. Members of built-up girders, headers or lintels shall be spiked or bolted together to act as one unit.

2. Cross bridging of joists 1- 1/4" x 3" max. 3'-0" o.c. Collar ties at cathedral ceilings, 2-2 x 6 @ 4'-0" o.c. max. Exterior carpentry at porches shall be c.c.a. treated as indicated on drawings. Ornamental posts shall be of a nominal size 6"x6" - pine.

3. Wood deck, 5/4" thick T & G Redwood decking. Deck shall pitch slightly for water runoff.

4. Plywood shall meet the requirements of APA requirements and specifications:

5. Wall and roof sheathing: 5/8" thick, C-D-Ext-Apa, Exterior glue

6. Subflooring: 3/8" thick, C-D-Ext-Apa, exterior glue underlayment: 3/8" thick

7. Underlayment INT-Apa Exterior glue

8. All wood beams to have a minimum bearing of 4".

9. All details of construction; lintels, headers, posts, beams, framing, nailing etc. shall comply with all minimum standards of New York State Code.

10. Contractor to do all necessary firestopping of stud partitions and pipe chases, as required by N.Y. State Code whether specifically shown or not.

11. Lumber schedule: Miscellaneous lumber, furring, bridging, blocking to be grade #2 of any species ample in strength to meet the requirements thereof.

12. Wooden trimmers, headers, and tall joists over six feet in length unless supported on walls or girders, shall be hung in approved metal stirrups, or hangers.

13. Every six feet, at least one beam or joist which rests on masonry walls, shall be secured to such walls by approved metal anchors attached in a manner at or near bottom to be self releasing.

14. The ends of wooden beams and joists resting on masonry walls shall be cut to a bevel of three inches in their depth. All girders to bear minimum of 3" on masonry.

15. Provide shelf and coat pots in all closets with five shelves in linen closet. 1.6. Finish woodwork shall be dressed and sanded free from machine and tool marks, abrasions raised grain or other defects on surfaces exposed to view in the finished work.

17. Wood finish shall be set straight, plumb and level in true alignment, closely fitted and rigidly secure in place. Nail heads of exposed nailing shall be countersunk. All work shall be left clean, free from warp, twist, open joints and other defects.

18. Interior miscellaneous finish carpentry and woodwork to be "C" select of white pine, oak, or yellow poplar.

19. Interior doors to be clear birch, stain grade.

20. Caulk at all doors and window frames, joints and other surfaces which require the closing of a joint between any two surfaces not of the same material. Caulking compound shall be silicone equal to Thiokol sealant by Torch Brothers.

21. Contractor to do all flashing required whether specifically shown or not. Tape and apply taping compound in 3 coats to all joints of all sheetrock.

Ground Snow Load (psf)	Wind Design				Seismic Design Category	Subject To Damage From:		Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp	
	Speed	Topographic Effects	Special region winds	Wind Born Debris		Weathering	Frost Depth						
50	115 Mph	No	No	No	B	Severe	3'-6"	Moderate to heavy	7#	Yes	IRMM map 36114303 41# 2007	1800 or less	52.2# F

2	Planning Bd	4.14.21
1	Planning Bd	9.10.21
NO.	REV.	DATE

OWNER:

MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

COVER SHEET/MAP NOTES

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
C.01
Drawn By: KM Checked By: TFA
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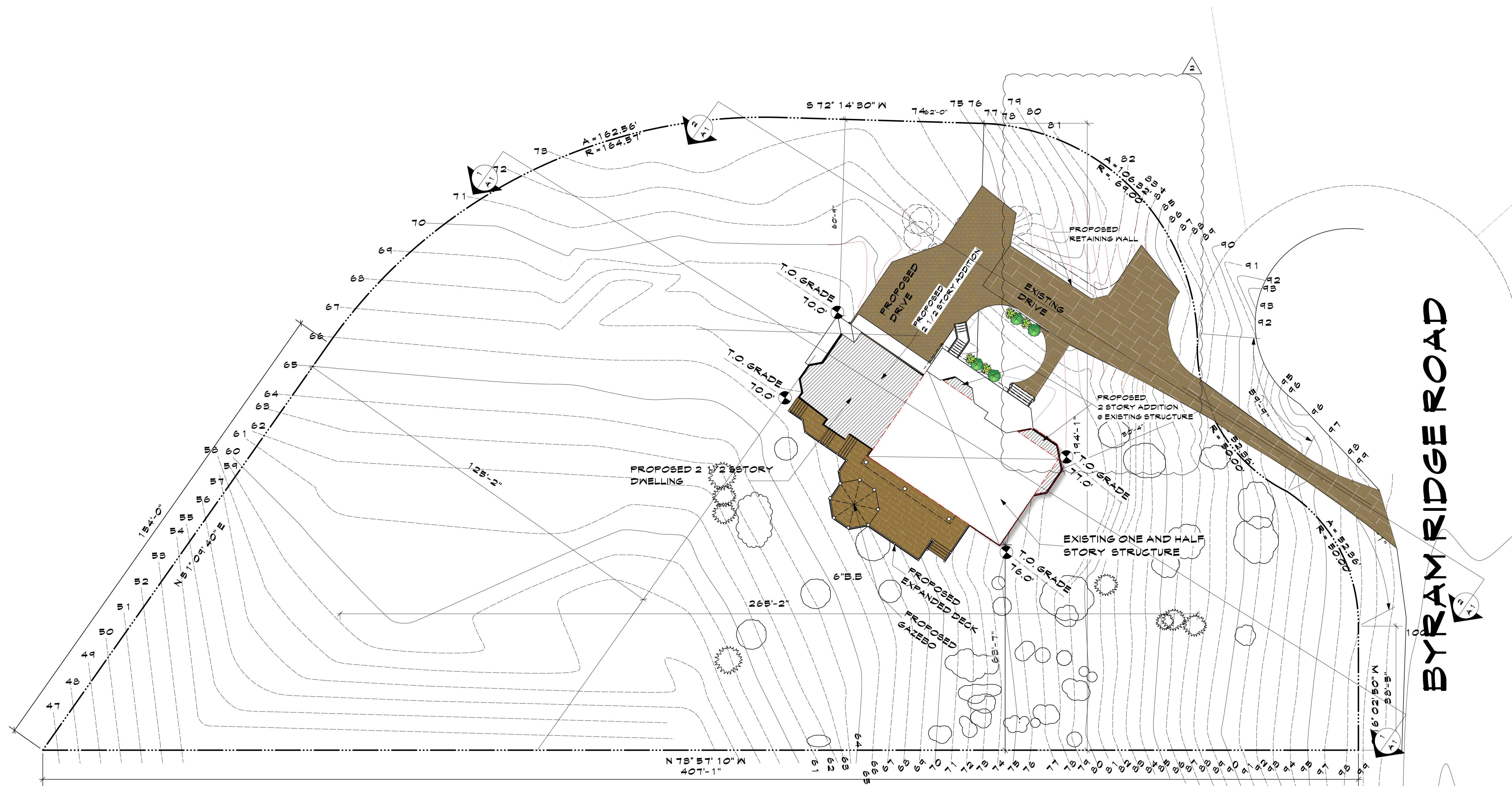
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**3D
 RENDERINGS**

Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:

C.02

Drawn By: KM Checked By: TFA
 Plot Date: APR.14.2021



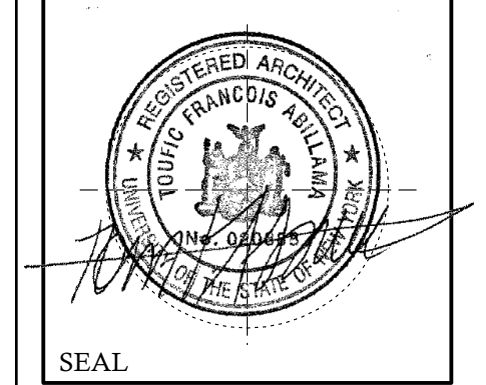
1 SITE PLAN
Scale: 1/16" = 1'-0"



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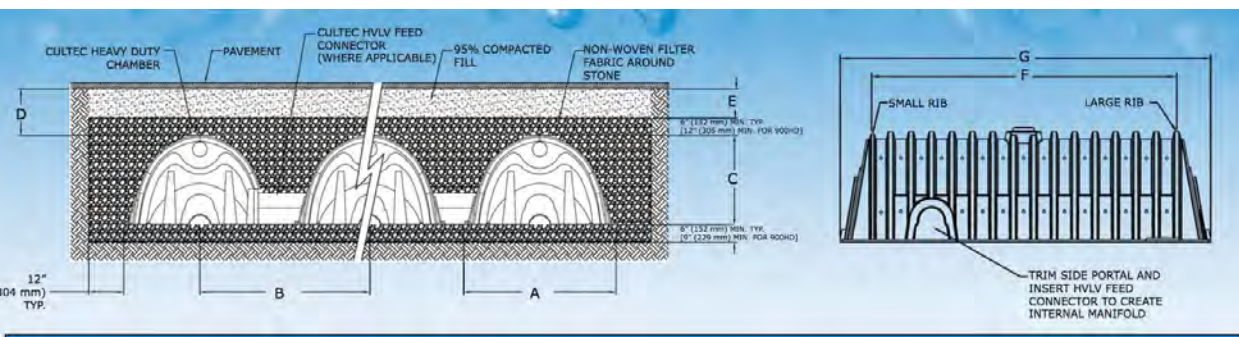
Tom Abillama Architects
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KEY PLAN
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99 BYRAM RIDGE RD.,
ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

SITE PLAN
Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
SP. 1
Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021

CULTEC RECHARGER 280HD



Model	Chamber width	Chamber length	Chamber height	Min. depth	Max. depth	Total Chamber Volume	Chamber Volume	Back Volume	Min. Storage Volume	Max. Storage Volume
CULTEC Recharger 100HD	9.5"	10.5"	14"	14"	14"	18.9 cu ft	18.9 cu ft	3.8 cu ft	22.7 cu ft	22.7 cu ft
CULTEC Recharger 150XLHD	30"	30"	14"	14"	14"	120 cu ft	120 cu ft	24 cu ft	144 cu ft	144 cu ft
CULTEC Recharger 280HD	30"	30"	28.5"	14"	14"	378 cu ft	378 cu ft	75.6 cu ft	453.6 cu ft	453.6 cu ft
CULTEC Recharger 330XLHD	30"	30"	33"	14"	14"	429 cu ft	429 cu ft	85.8 cu ft	514.8 cu ft	514.8 cu ft
CULTEC Recharger VHD	30"	30"	33"	14"	14"	429 cu ft	429 cu ft	85.8 cu ft	514.8 cu ft	514.8 cu ft
CULTEC Recharger 900HD	90"	90"	33"	14"	14"	2700 cu ft	2700 cu ft	540 cu ft	3240 cu ft	3240 cu ft

Storm Water Design

Storm Design based on a 9 inch storm in 24 hours (Using 280XLHD shallow galley rechargers)

The existing lot involves 1 family dwelling, driveway, pool, deck.

The existing lot area is 5829 sq ft. The total proposed impermeable surfaces (house and paved areas) add up to 5,454 sq ft.

The following is a stormwater analysis for the above conditions.

Curve number for pre-development : 75, Run off coefficient: 4.33
 Curve number for post-development : 93, Run off coefficient: 6.96
 Delta in run off coefficient : 6.96 - 4.33 = 2.63
 Calculate volume :

Area X Delta / 12 = Volume (ft³)
 5454 x 2.63 / 12 = 1195 ft³

Percolation Capacity
 (Perc test yielded a high of 6 minutes per inch we will use a conservation rate of 20 minutes per inch)

Area of Perc-----2.23 ft²
 Volume of Perc-----0.196 ft³

Soil Perc Rate (SR)= Volume/Area/Time = 0.196/3.01/60 minutes
 = 0.0010852 x 60 x 24
 Sr = 1.562 or 1.11715 with 25% clogging

280HD; VOLUME PER UNIT: Chamber 64.46C.F.

Total PERCOLATION PER CULTEC :
 5'X 9'X 1.11715 = 50.27 C.F.

Volume: 64.46 + 50.27 = 114.73 C.F.
 Total Volume 1195 / 114.73 = 10.5 OR
 USE 11 CHAMBERS

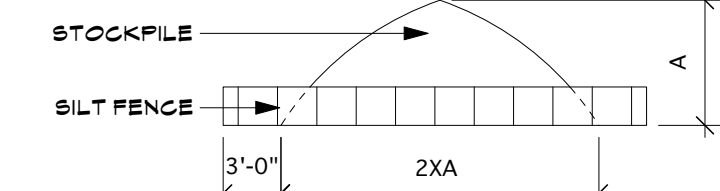
Proposed 11-280 Hd Rechargers.

CULTEC RECHARGER 280HD

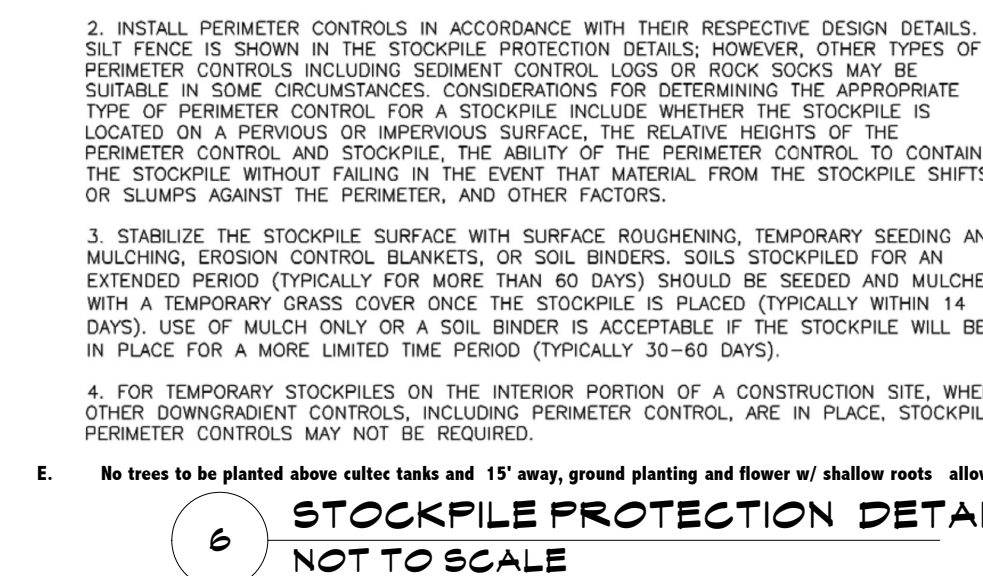
Maintenance Guidelines

The following guidelines shall be adhered to for the operation and maintenance of the Cultec stormwater management system:

- The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
- The operation and maintenance procedure shall be reviewed periodically and changed to meet site conditions.
- Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
- Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.



STOCKPILE PROTECTION INSTALLATION NOTES
 1. SEE PLAN VIEW FOR LOCATION OF STOCKPILES.
 -TYPE OF STOCKPILE PROTECTION.
 2. INSTALL PERIMETER CONTROLS IN ACCORDANCE WITH THEIR RESPECTIVE DESIGN DETAILS. SILT FENCE IS SHOWN IN THE STOCKPILE PROTECTION DETAILS; HOWEVER, OTHER TYPES OF PERIMETER CONTROLS INCLUDING SEDIMENT CONTROL LOGS OR ROCK SOCKLES MAY BE SUITABLE IN SOME CIRCUMSTANCES. CONSIDERATIONS FOR DETERMINING THE APPROPRIATE TYPE OF PERIMETER CONTROL FOR A STOCKPILE INCLUDE: THE RELATIVE HEIGHTS OF THE PERIMETER CONTROL, AND STOCKPILE, THE ABILITY OF THE PERIMETER CONTROL TO CONTAIN THE STOCKPILE WITHOUT FAILING IN THE EVENT THAT MATERIAL FROM THE STOCKPILE SHIFTS OR SLUMPS AGAINST THE PERIMETER, AND OTHER FACTORS.
 3. STABILIZE THE STOCKPILE SURFACE WITH SURFACE ROUGHENING, TEMPORARY SEEDING AND MULCHING, EROSION CONTROL BLANKETS, OR SOIL BINDERS. SOILS STOCKPILED FOR AN EXTENDED PERIOD (TYPICALLY FOR MORE THAN 60 DAYS) SHOULD BE SEEDING AND MULCHED WITH A TEMPORARY GRASS COVER ONCE THE STOCKPILE IS PLACED (TYPICALLY WITHIN 14 DAYS). USE OF MULCH ONLY OR A SOIL BINDER IS ACCEPTABLE IF THE STOCKPILE WILL BE IN PLACE FOR A MORE LIMITED TIME PERIOD (TYPICALLY 30-60 DAYS).
 4. FOR TEMPORARY STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS, INCLUDING PERIMETER CONTROL, ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.
 5. No trees to be planted above culvert tanks and 15' away, ground planting and flower w/ shallow roots allowed

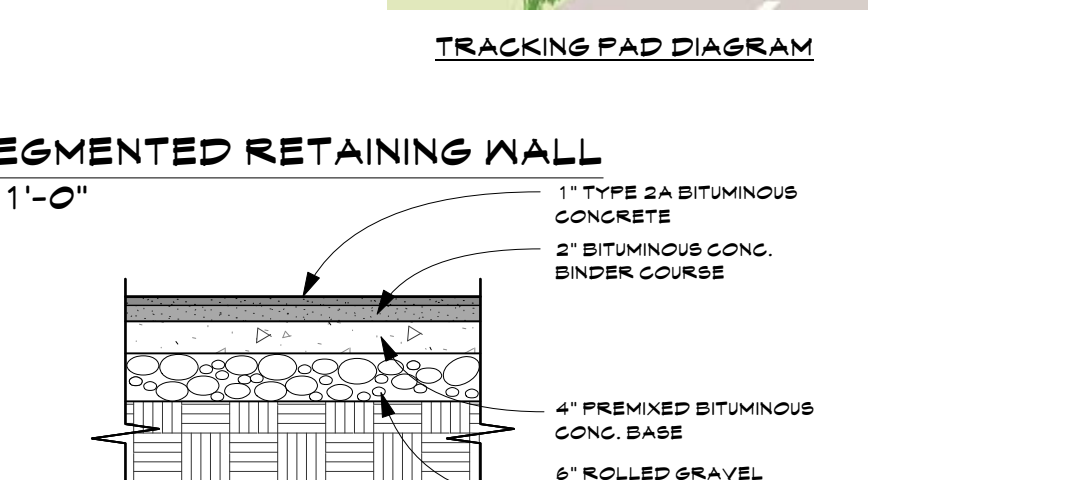
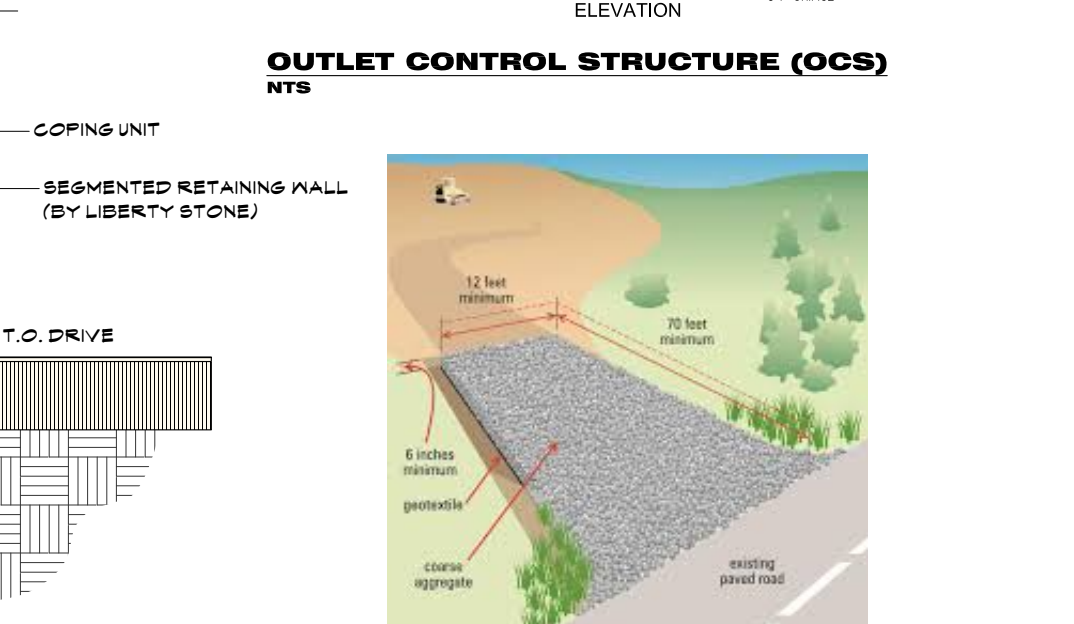
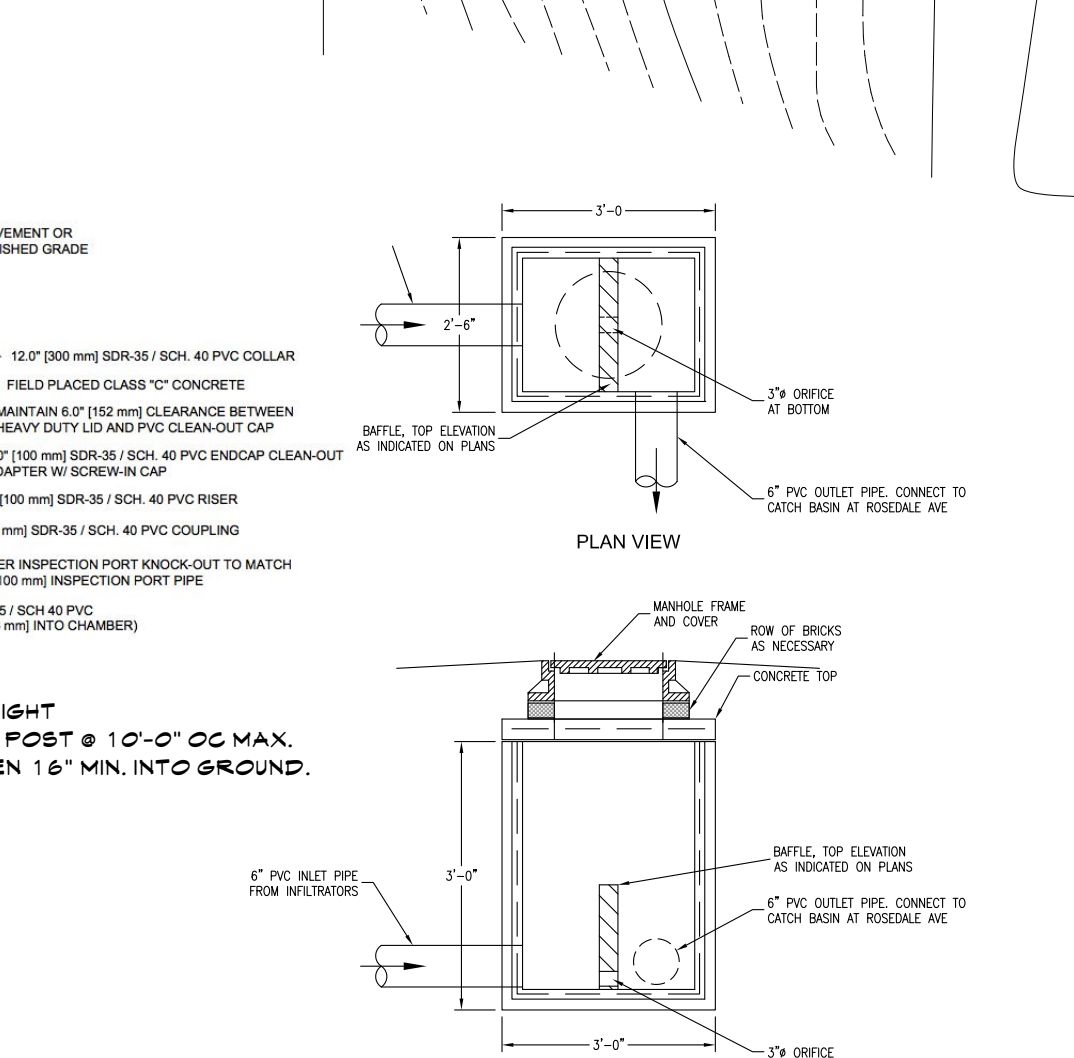
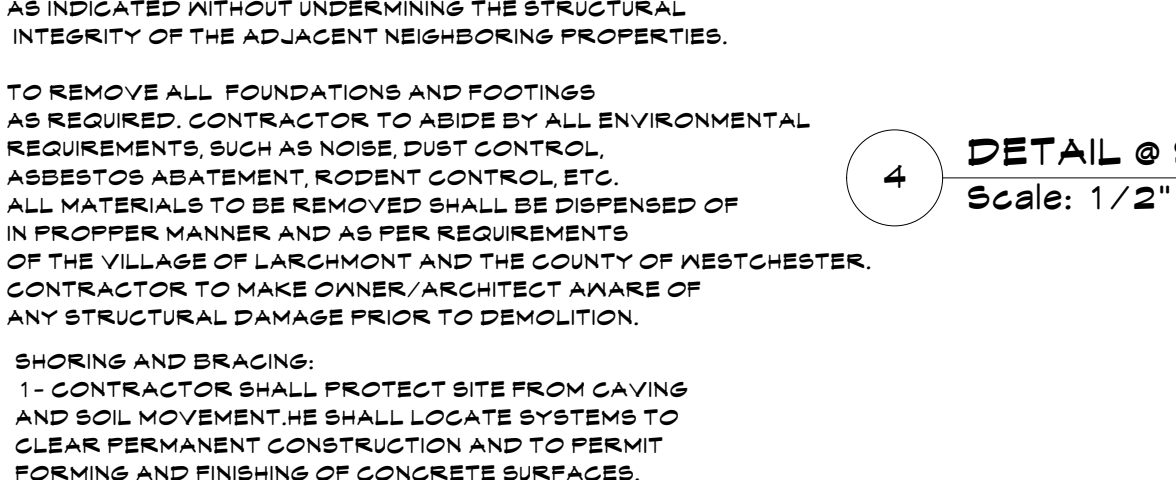
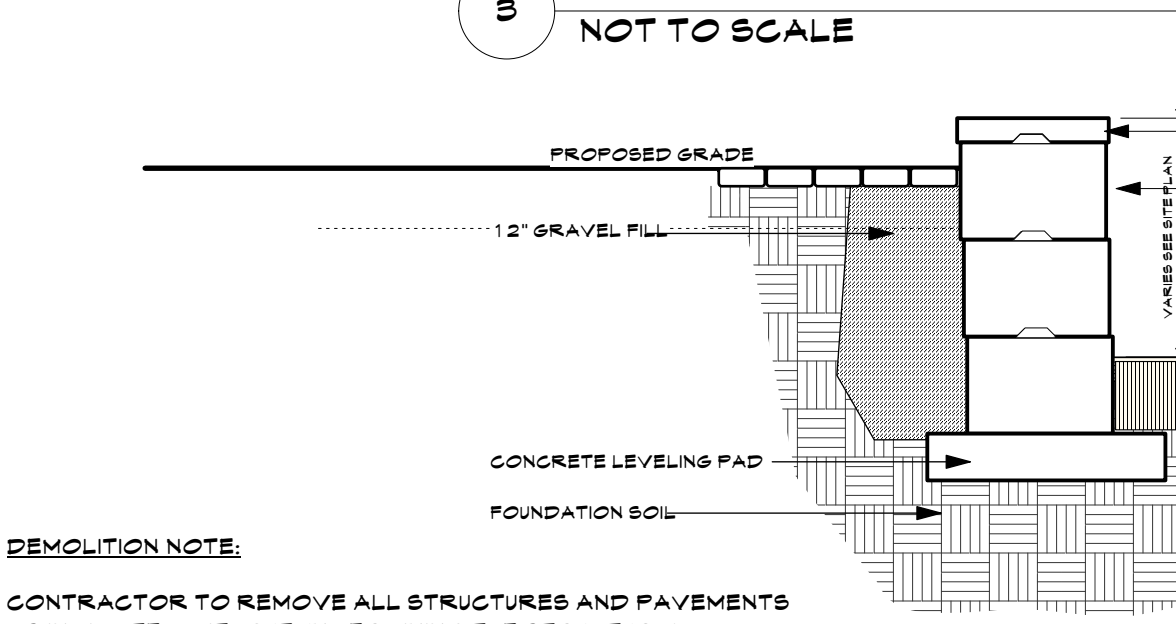
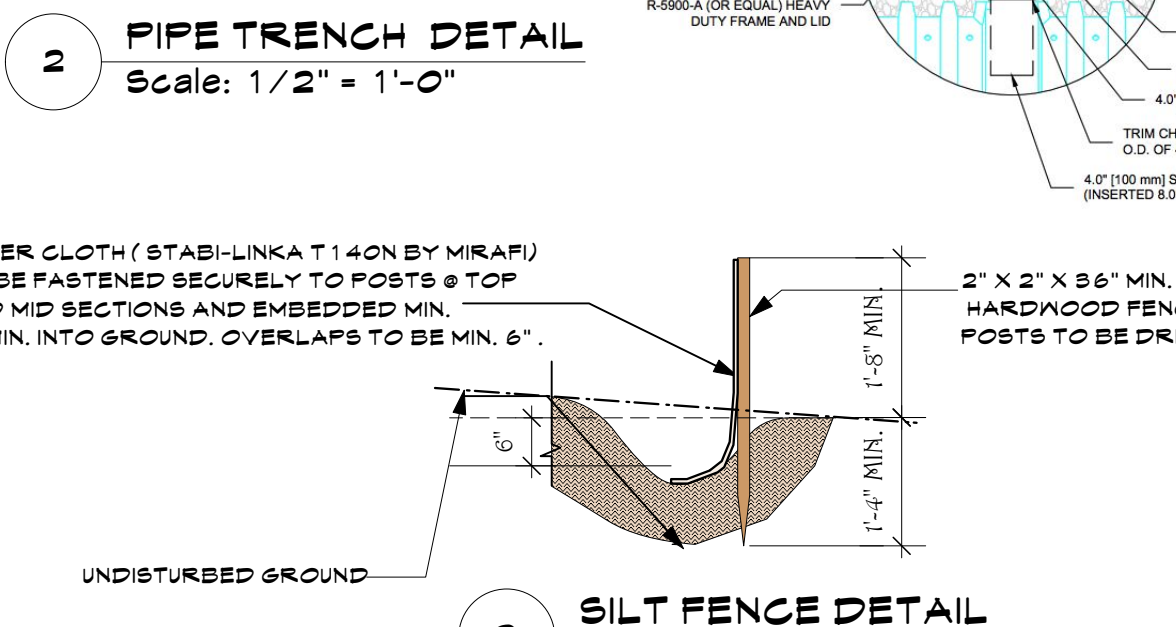
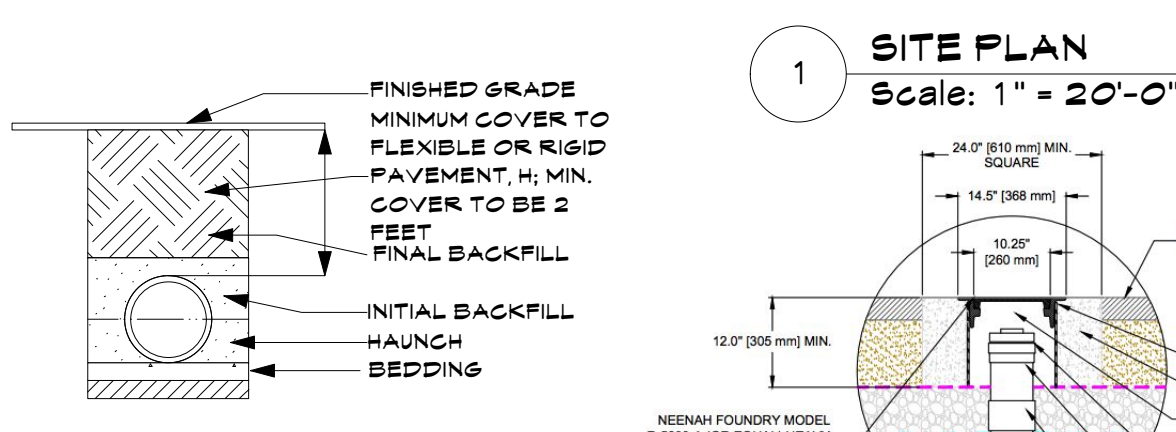


6 STOCKPILE PROTECTION DETAIL NOT TO SCALE

- SITE CLEARING**
PART 1 - GENERAL
 1.1 RELATED DOCUMENTS
 A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
 2. SUMMARY
 A. This Section includes the following:
 1. Removing trees and other vegetation.
 2. Clearing and grubbing.
 3. Topsoil stripping.
 4. Removing above-grade site improvements.
 B. Related Sections include the following:
 1. Division 1 Section "Construction Facilities and Temporary Controls" for temporary security and protection facilities, and environmental protection measures during site operations.
 2. Division 2 Section "Earthwork" for soil materials, excavating, backfilling, and site grading operations.
 3. Division 2 Section "Landscaping" for finish grading, placing and preparing topsoil for lawns and planting.
 1.3 DEFINITIONS
 A. Topsoil: Natural or cultivated surface-soil layer containing organic matter and sand, silt, and clay particles; friable, pervious, and black or a darker shade of brown, gray, or red than underlying subsoil; reasonably free of subsoil, clay lumps, gravel, and other objects more than 2 inches (50 mm) in diameter, and free of weeds, roots, and other deleterious materials.
 1.4 MATERIALS OWNERSHIP
 A. Except for materials indicated to be stockpiled or to remain Owner's property, cleared materials shall become Contractor's property and shall be removed from the site.
 1.5 SUBMITTALS
 A. Photographs or videotape, sufficiently detailed, of existing conditions of trees and planting, adjoining construction, and site improvements that might be mis-constructed as damage caused by site clearing.
 B. Record drawings according to Division 1 Section "Contract Closeout".
 1. Identify and accurately locate capped utilities and other subsurface structural, electrical, and mechanical conditions.
 1.6 PROJECT CONDITIONS
 A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during site-clearing operations.
 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction.
 2. Provide alternate routes around closed or obstructed traffic ways if required by authorities having jurisdiction.
 B. Improvements on Adjoining Property: Authority for performing indicated removal and alteration work on property adjoining Owner's property will be obtained by Owner before award of Contract.
 C. Notify utility locator service for area where Project is located before site clearing.
PART 2 - PRODUCTS (Not Applicable)
2.1 SOIL MATERIALS
 A. Satisfactory Soil Materials: Requirements for satisfactory soil materials are specified in Division 2 Section "Earthwork".
 1. Obtain approved borrow soil materials off-site when satisfactory soil materials are not available on-site.
PART 3 - EXECUTION
 3.1 PREPARATION
 A. Protect and maintain benchmarks and survey control points from disturbance during construction.
 B. Provide erosion-control measures to prevent soil erosion and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
 C. Locate and clearly flag trees and vegetation to remain or to be relocated.
 D. Protect existing site improvements to remain from damage during construction.
 1. Restore damaged improvements to their original condition, as acceptable to Owner.
3.2 CLEARING AND GRUBBING
 A. Remove obstructions, trees, shrubs, grass, and other vegetation to permit installation of new construction.
 Removal includes digging out stumps and obstructions and grubbing roots.
 1. Do not remove trees, shrubs, and other vegetation indicated to remain or to be relocated.
 2. Cut minor roots and branches of trees indicated to remain in a lean and careful manner where such roots and branches obstruct installation of new construction.
 3. Completely remove stumps, roots, obstructions, and debris extending to a depth of 18 inches (450mm) below exposed subgrade.
 4. Use only hand methods for grubbing within drip line of remaining trees.
 5. Fill depressions caused by clearing and grubbing operations with satisfactory soil materials, unless further excavation or earthwork is indicated.
 1. Place fill material in horizontal layers not exceeding 8-inch (200 mm) loose depth, and compact each layer to a density equal to adjacent original ground.
3.3 TOP SOIL
 A. Remove sod and grass before stripping topsoil.
 B. Strip topsoil to whatever depths are encountered in a manner to prevent intermixing with underlying subsoil or other waste materials.
 C. Stockpile topsoil materials away from edge of excavations without intermixing with subsoil. Grade and shape stockpiles to drain surface water. Cover to prevent windblown dust.
 1. Limit height of topsoil stockpiles to 12 inches (1,000 mm).
 2. Do not stockpile topsoil within drip line of remaining trees. Dispose of excess topsoil as specified for waste material disposal.
 B. Stockpile surplus topsoil and allow for re-spreading deeper topsoil.
3.4 SITE IMPROVEMENTS
 A. Remove existing above- and below-grade improvements as indicated and as necessary to facilitate new construction.
 B. Remove slabs, paving, curbs, gutters, and aggregate base as indicated.
3.5 DISPOSAL
 A. Disposal: Remove surplus soil material, unsuitable topsoil, obstructions, demolished materials, and waste materials, including trash and debris, and legally dispose of them off Owner's property.
END OF SECTION 02800

1. Additional Excavation: Excavation below subgrade elevations as directed by Architect. Additional excavation and replacement material will be paid for according to Contract provisions for changes in the work.
 2. Bulk Excavation: Excavations more than 10 feet (3 m) in width and pits more than 50 feet (15 m) in either length or width.
 3. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated dimensions without direction by Architect. Unauthorized excavation, as well as remedial work directed by Architect, shall be without additional compensation.
 G. Fill: Soil materials used to raise existing grades.
 H. Structures: Buildings, footings, foundations, retaining walls, slabs, tanks, curbs, mechanical and electrical appearances, or other man-made stationary features constructed above or below the ground surface.
 I. Sub base Course: Layer placed between the subgrade and base course for asphalt paving, or layer placed between the subgrade and a concrete pavement or walk.
 J. Subgrade: Surface or elevation remaining after completing excavation, or top surface of a fill or backfill immediately below sub base, drainage fill, or topsoil material.
 K. Utilities include on-site underground pipes, conduits, ducts, and cables, as well as underground services within buildings.
1.4 SUBMITTALS
 A. Product Data: For the following:
 1. Each type of plastic warning tape.
 2. Drainage fabric.
 3. Separation fabric.
 B. Samples: For the following:
 1. 30-lb (14-kg) samples sealed in airtight containers, of each proposed soil material from on-site or borrow sources.
 1. 12-by-12-inch (300-by-300-mm) sample of drainage fabric.
 2. 12-by-12-inch (300-by-300-mm) sample of separation fabric.
 C. Material Test Reports: From a qualified testing agency indicating and interpreting test results for compliance of the following with requirements indicated:
 1. Classification according to ASTM D 2487 of each on-site or borrow soil material proposed for fill and backfill.
 2. Laboratory compaction curve according to ASTM D 698 for each on-site or borrow soil material proposed for fill and backfill.
 D. Seismic survey agency report, for record purposes.
1.5 QUALITY ASSURANCE
 A. Geotechnical testing Agency Qualifications: An independent testing agency qualified according to ASTM E 824 to conduct soil materials and rock-definition testing, as documented according to ASTM D 3740 and ASTM E 849.

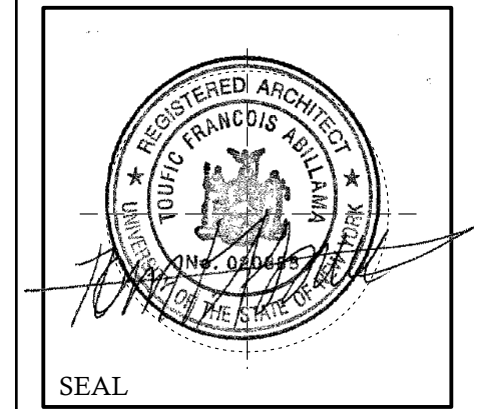
- SOIL EROSION NOTES:**
 1. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY, TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.
 2. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.
 3. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.
 4. CONTRACTOR SHALL ALLOW TO A MINIMUM POSSIBLE THE SEDIMENTATION DEBRIS TO THE PUBLIC AND PRIVATE ADJOINING AREAS AND SHALL ASSUME RESPONSIBILITY FOR SUCH CONDITIONS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS.
 5. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAM BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 3 IN 1. LOOSE STONE AND ROCK SHALL BE REMOVED FROM SITE, COMPACTED AND SEEDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.
 6. UNLESS OTHERWISE AGREED BY SEPARATE CONTRACT, THIS ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF.



2	Planning Bd	4.14.21
1	Planning Bd	9.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

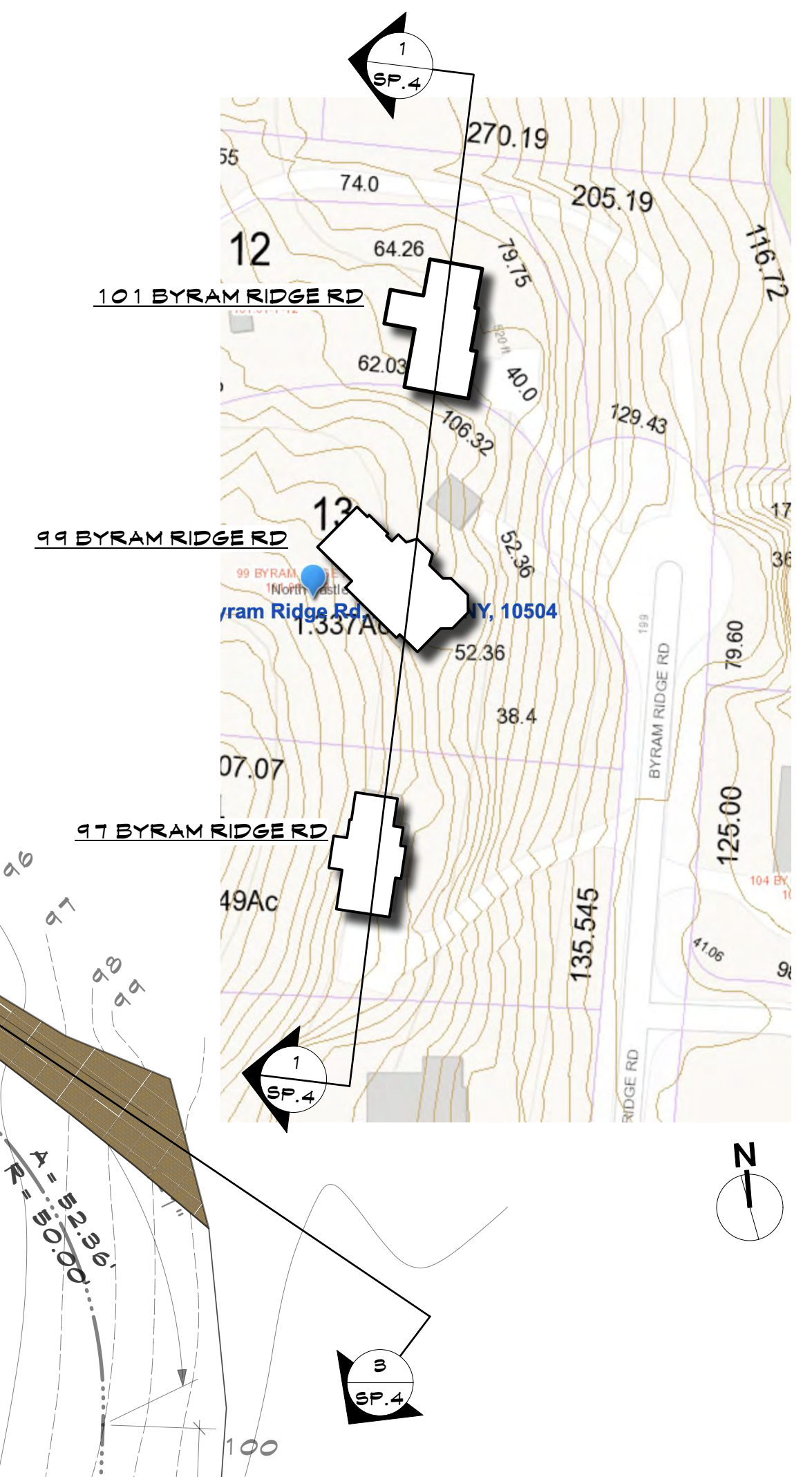
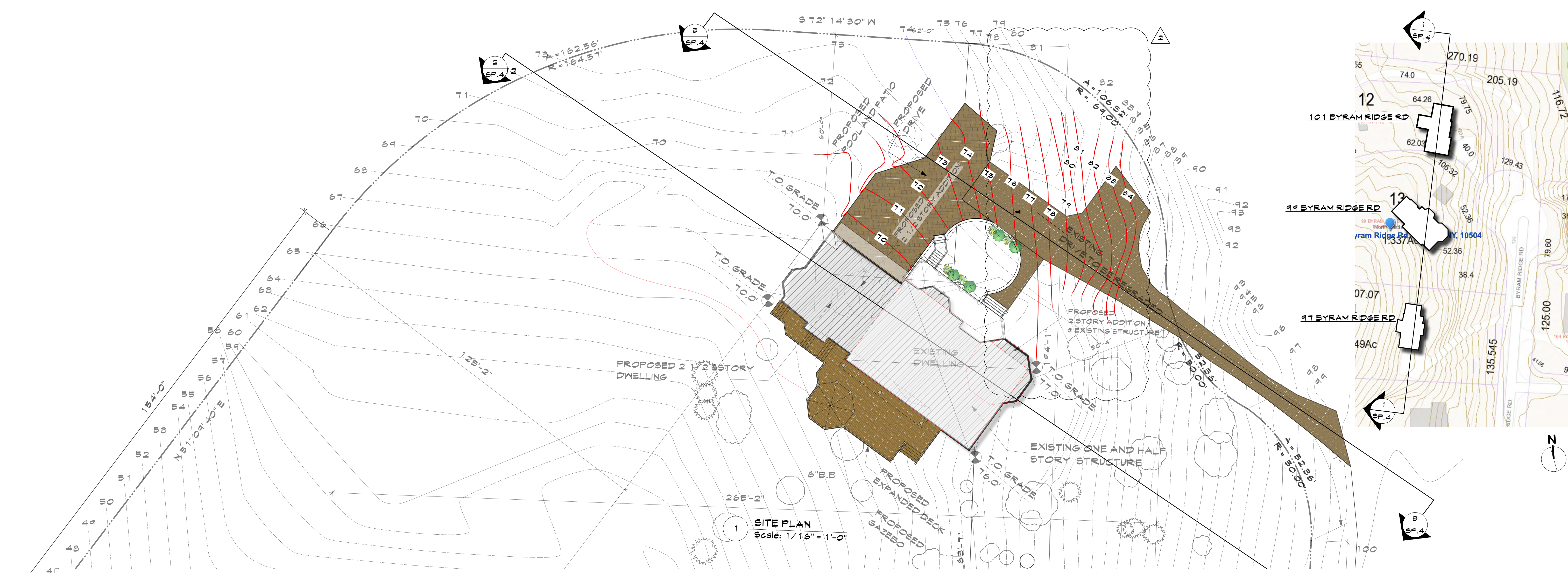
Tom Abillama Architects
 1955 CENTRAL PARK AVENUE
 YONKERS, NEW YORK
 PHONE: 914 6684673
 FAX: 914 668 1831
 EMAIL: FILES@TFARA.COM



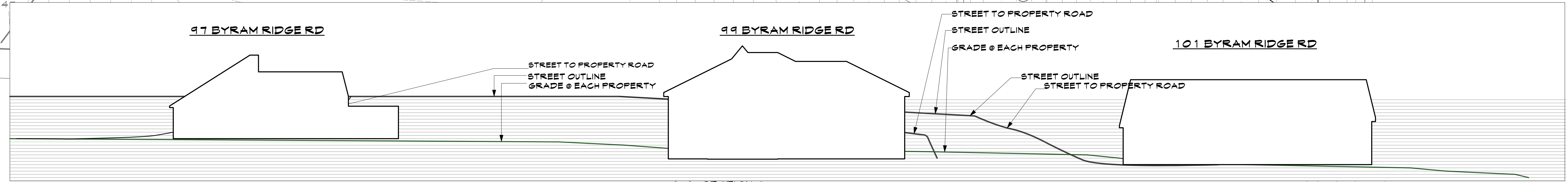
PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, NY
 SBL: 101.01/113 ZONE: R-1A

STORMWATER CALCULATIONS AND DESIGN
 Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:

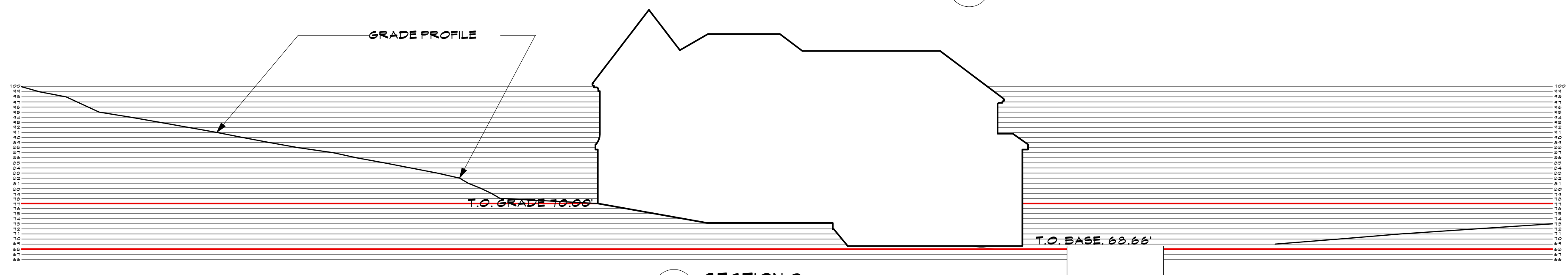
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 Drawn By: KM Checked By: TFA
 Plot Date: APR.14.2021



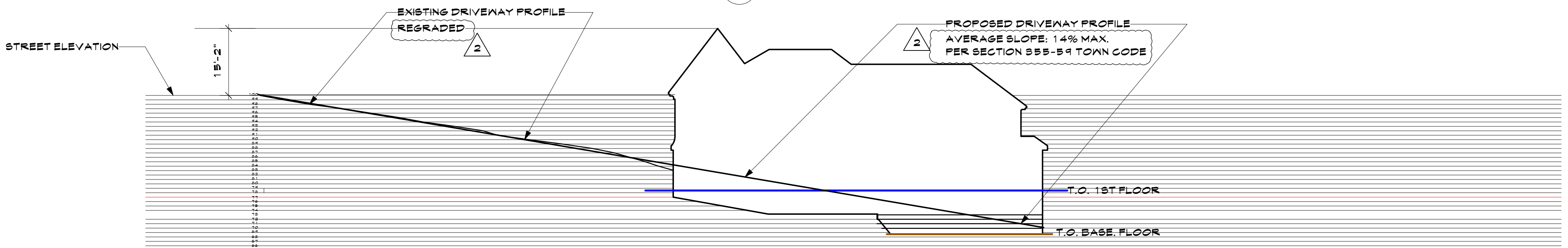
1 SITE PLAN
Scale: 1/16" = 1'-0"



1 SECTION 1
Scale: 1/16" = 1'-0"



2 SECTION 2
Scale: 1/16" = 1'-0"



3 SECTION 2
Scale: 1/16" = 1'-0"

TOWN CODE - SECTION 355-549 DRIVEWAYS

B. Driveway grades.

(1) The maximum grade for any new driveway accessory to a single-family dwelling, and connecting its off-street parking area to a street, shall be 14%, except that where it can be demonstrated to the satisfaction of the Town Engineer that, because of practical difficulty or unreasonable hardship affecting a particular property, the construction of a driveway grade of less than 14% is impractical, the construction of a steeper driveway shall be permitted, provided that the increase in driveway grade is the minimum increase required.

2	Planning Bd	4.14.21
1	Planning Bd	9.10.21
NO.	REV.	DATE

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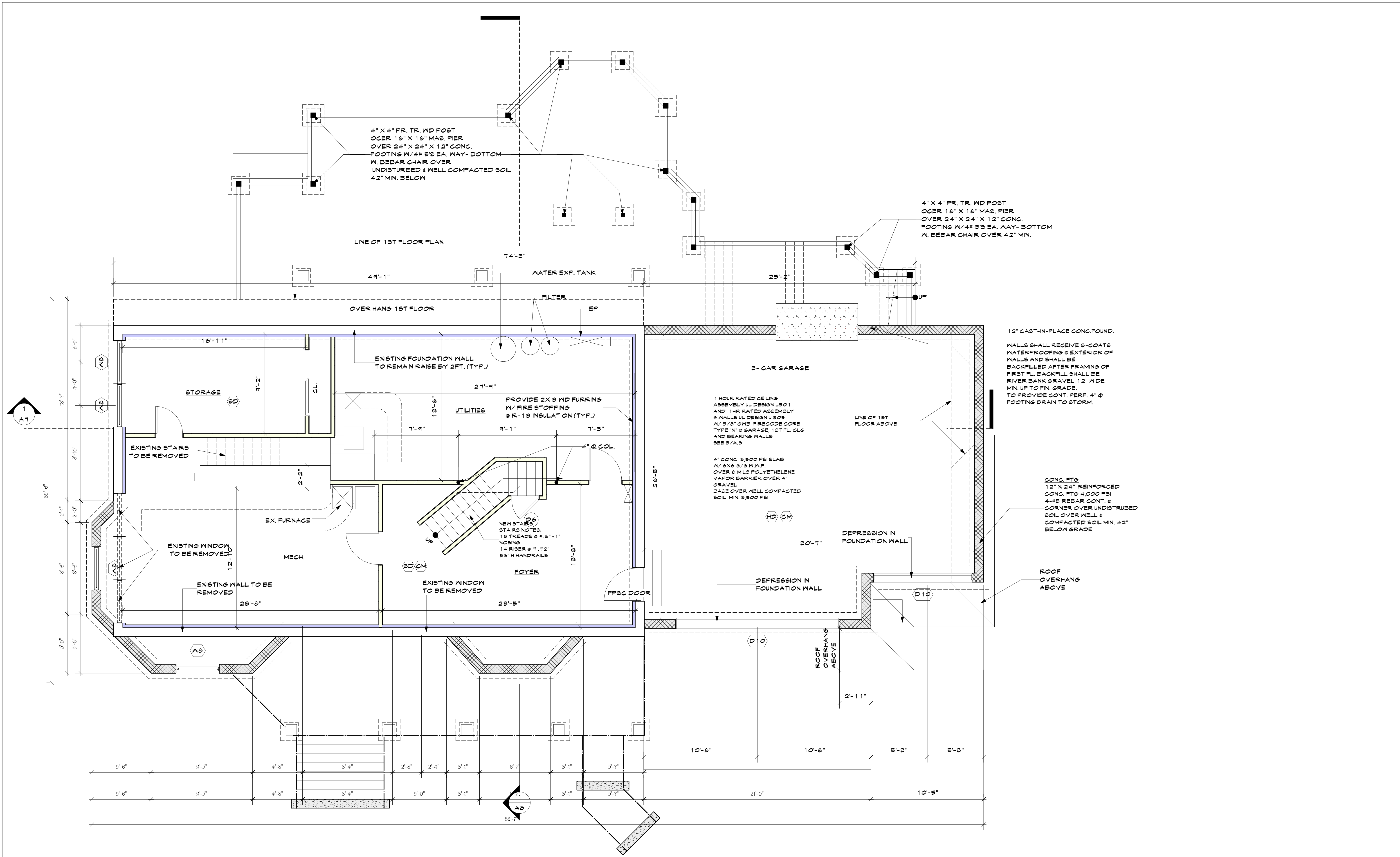


KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD.,
ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

SITE GRADING

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
SP.4
Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



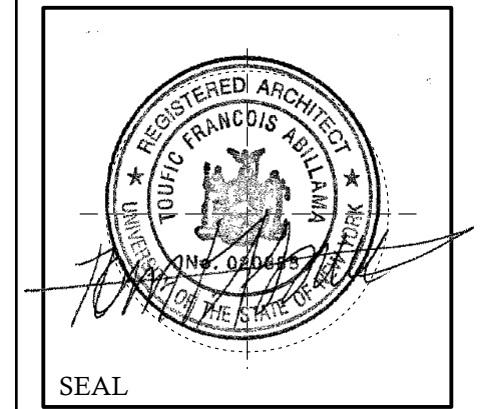
1 BASE FLOOR PLAN
Scale: 1/4" = 1'-0"

NO.	REV.	DATE
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

OWNER:
**MR. & MRS.
CHRISTOPHER
KALIAN**

**Tom
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Architects**

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KEY PLAN

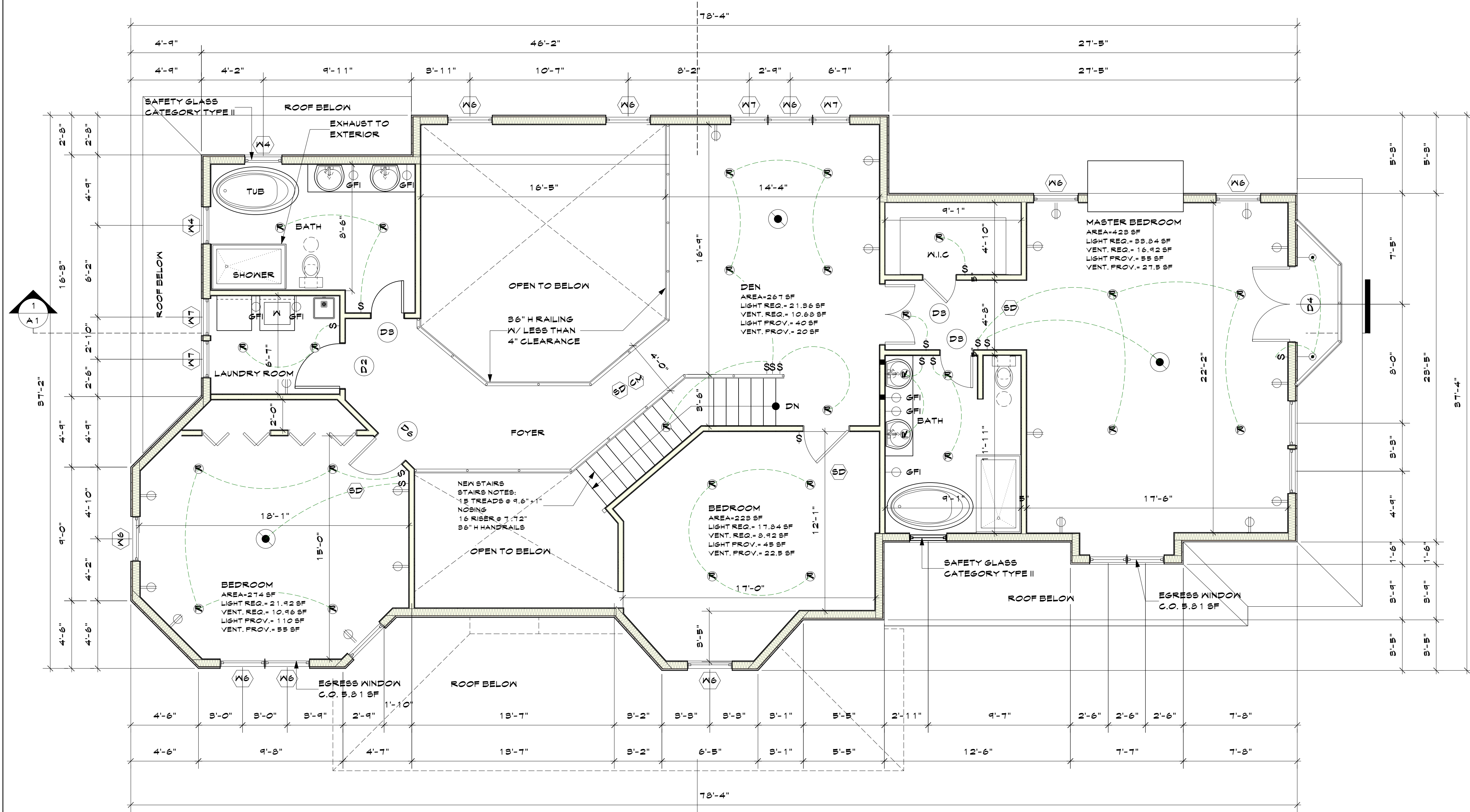
**PROPOSED
ONE FAMILY
DWELLING
EXPANSION**

99 BYRAM RIDGE RD.,
ARMONK, N.Y

SBL: 101.01/1/13 ZONE: R-1A

**BASMENT
FLOOR
PLAN**

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
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Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021

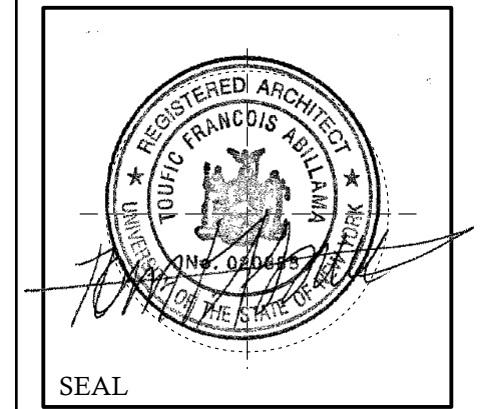


1 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

2	Planning Bd	4.14.21
1	Planning Bd	5.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

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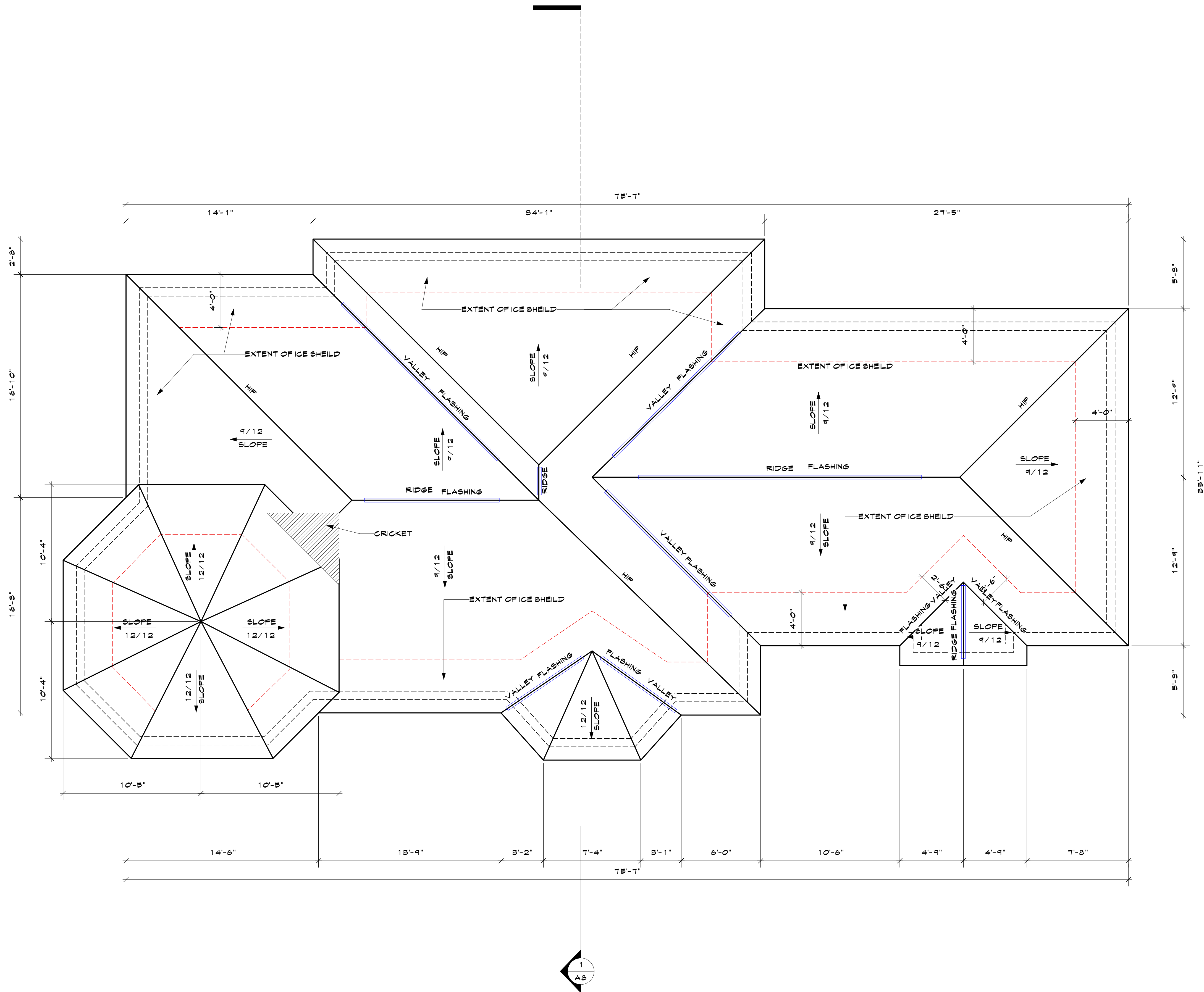


KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

2ND FLOOR PLAN

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
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Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

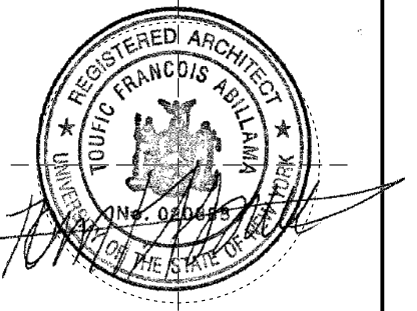
NO. REV. DATE

OWNER:

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KALIAN



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SEAL

KEY PLAN

**PROPOSED
ONE FAMILY
DWELLING
EXPANSION**

99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

ROOF PLAN

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:

A.4

Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021

ROOF CONSTRUCTION
 30 YR 325# ASPHALT SHINGLES
 OVER 30 LBS FELT
 48" ICE & WATER SHIELD PERIMETER
 5/8" PLYWOOD
 2X12 WD RAFTERS @ 16" O.C. U.O.N.
 2X8 COLLAR TIES @ 2/3 HEIGHT A.F.F.
 R-49 INSULATION

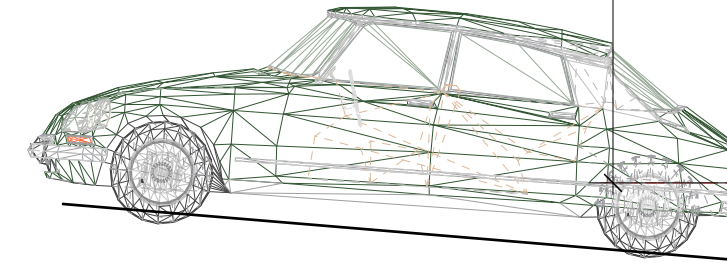
WALL CONSTRUCTION
 EXT. CLADDING (HARDI PLANK)
 15# BLDG. PAPER
 1/2" CDX PLYWOOD SHEATHING
 2X6 WD STUDS @ 16" O.C.
 2X6 BOTTOM PLATE
 2-2X6 TOP PLATE
 R-21 INSULATION
 1/2" GNB
 TAPE & SPACKLE
 PRIME & FINISH

COL. CONSTRUCTION
 12" LOAD BEARING CEDAR
 CLAPPED COL.
 STONE VENERED MAS. BASE

PAINTED METAL RAILING
 36" H. W/ LESS THAN 4" CL.

WALL CONSTRUCTION
 EXT. CLADDING (CEDAR SHINGLES)
 15# BLDG. PAPER
 1/2" CDX PLYWOOD SHEATHING
 2X6 WD STUDS @ 16" O.C.
 2X6 BOTTOM PLATE
 2-2X6 TOP PLATE
 R-21 INSULATION
 1/2" GNB
 TAPE & SPACKLE
 PRIME & FINISH

WALL CONSTRUCTION
 8" STONE VENERE
 8" C.I.F. CONG. WALLS
 2 X 8 FURRING W/ R-13
 INSULATION, 1/2" GNB
 TAPE & SPACKLE
 PRIME & FINISH



1 FRONT ELEVATION
 Scale: 1/4" = 1'-0"

ROOF CONSTRUCTION
 30 YR 325# ASPHALT SHINGLES
 OVER 30 LBS FELT
 48" ICE & WATER SHIELD PERIMETER
 5/8" PLYWOOD
 2X12 WD RAFTERS @ 16" O.C. U.O.N.
 2X8 COLLAR TIES @ 2/3 HEIGHT A.F.F.
 R-49 INSULATION

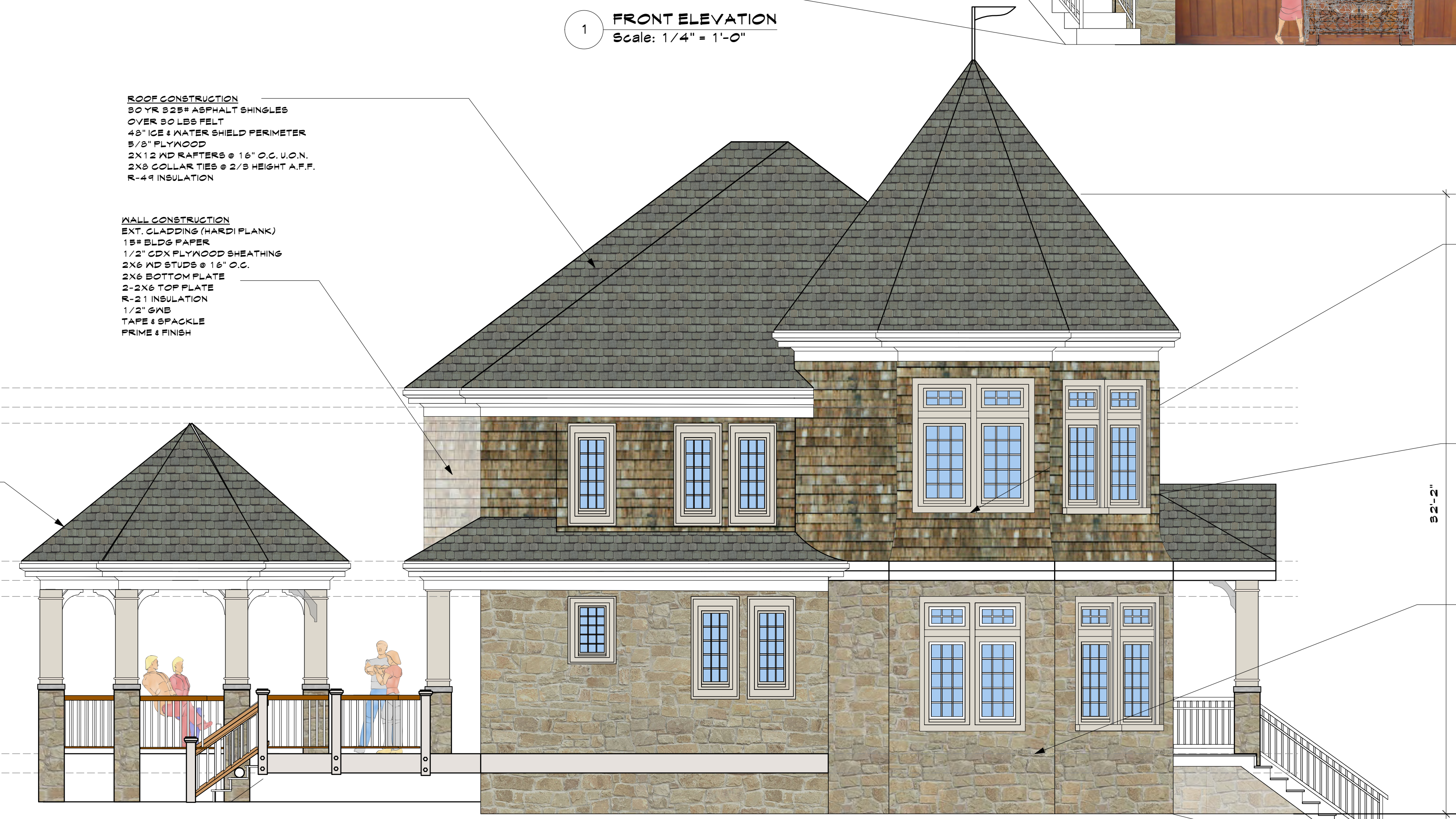
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 EXT. CLADDING (HARDI PLANK)
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 1/2" GNB
 TAPE & SPACKLE
 PRIME & FINISH

WALL CONSTRUCTION
 EXT. CLADDING (CEDAR SHINGLES)
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 2X6 WD STUDS @ 16" O.C.
 2X6 BOTTOM PLATE
 2-2X6 TOP PLATE
 R-21 INSULATION
 1/2" GNB
 TAPE & SPACKLE
 PRIME & FINISH

EGRESS WINDOW
 W/ CLEAR OPENING
 LARGER THAN 5.7 SF

WALL CONSTRUCTION
 8" STONE VENERE
 8" C.I.F. CONG. WALLS
 2 X 8 FURRING W/ R-13
 INSULATION, 1/2" GNB
 TAPE & SPACKLE
 PRIME & FINISH

GAZEBO



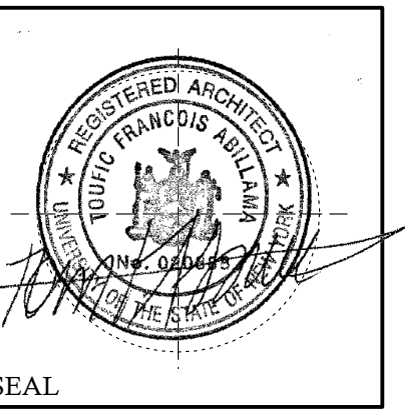
2 LEFT ELEVATION
 Scale: 1/4" = 1'-0"

ELEVATION NOTE KEY	
1	PAINTED COL. 6" X 6" CEDAR OUTRIGGER W/ 10,000 LBS BEARING CAPACITY
2	PAINTED WD BOARD
3	HARDI-PLANK SIDING OVER BUILDING PAPER 15/16" BLDG. PAPER 1/2" CDX PLYWOOD SHEATHING OVER 2X6 STUDS @ 16" O.C. 2X6 TOP PLATE AND R-13 BATT INSUL. 1/2" GYP BOARD INTERIOR (TYP.) COLOR-COBBLE STONE
4	5'-0" H. PAINTED WD. TRADEMARK RAILING W/ BALUSTERS NO MORE THAN 4" APART
5	THERMASEAL LETSHE 325# ASPHALT / FIBERGLASS SHINGLES (WEATHERED WOOD) OVER 30# BUILDING PAPER OVER 5/8" TH. EXT. GR. PLD SHEATHING OVER 2 X 12 WD RAFTERS AT 16" O.C.
6	PAINTED WD FASCIA & SOFFIT
7	LOCAL STONE VENERE
8	1" STUCCO (W/ ANF.) OVER CONCRETE FND. WALL
9	PAINTED WD TRIM
10	SEAMLESS ALUM. GUTTER TO LEADER TO STORM DRYWELL
11	THERMATREX ENTRY MAHOGANY WD DOOR 5'-0" X 7'-0"
12	WALL MOUNT LIGHT KILMER LIGHTING #1041BK (OR EQUIVALENT)
13	CLOPAY GARAGE DOOR CANYON RIDGE COLLECTION DESIGN 11 W/ ARCH & MOVS
14	PAINTED CEDAR BRACKET
15	UNLOCK RETAINING WALL
16	LIMESTONE SILL & COPING
17	PAINTED WD 1 X 12 FASCIA BOARD
18	PAINTED CEDAR SHINGLES
19	DROPPED 2X2 WHITE PAINTED WD SPINDALS AND RAIL
20	PAINTED CEDAR OUTRIGGER AND HEADER BOARD

2	Planning Bd	4.14.21
1	Planning Bd	9.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
 1955 CENTRAL PARK AVENUE
 YONKERS, NEW YORK
 PHONE: 914 6684673
 FAX: 914 668 1831
 EMAIL: FILES@TFARA.COM



KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, NY
 SBL: 101.01/1/13 ZONE: R-1A

LEFT SIDE/ FRONT ELEVATION

Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:
A.5
 Drawn By: KM Checked By: TFA
 Plot Date: APR.14.2021



1 RIGHT ELEVATION
Scale: 1/4" = 1'-0"



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

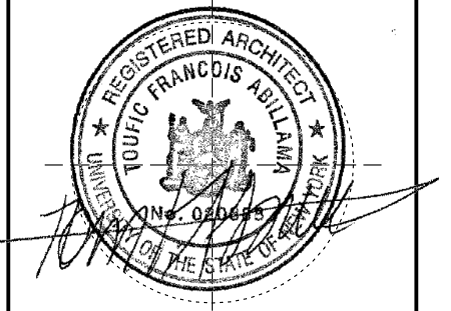
NO. REV. DATE

OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
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SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

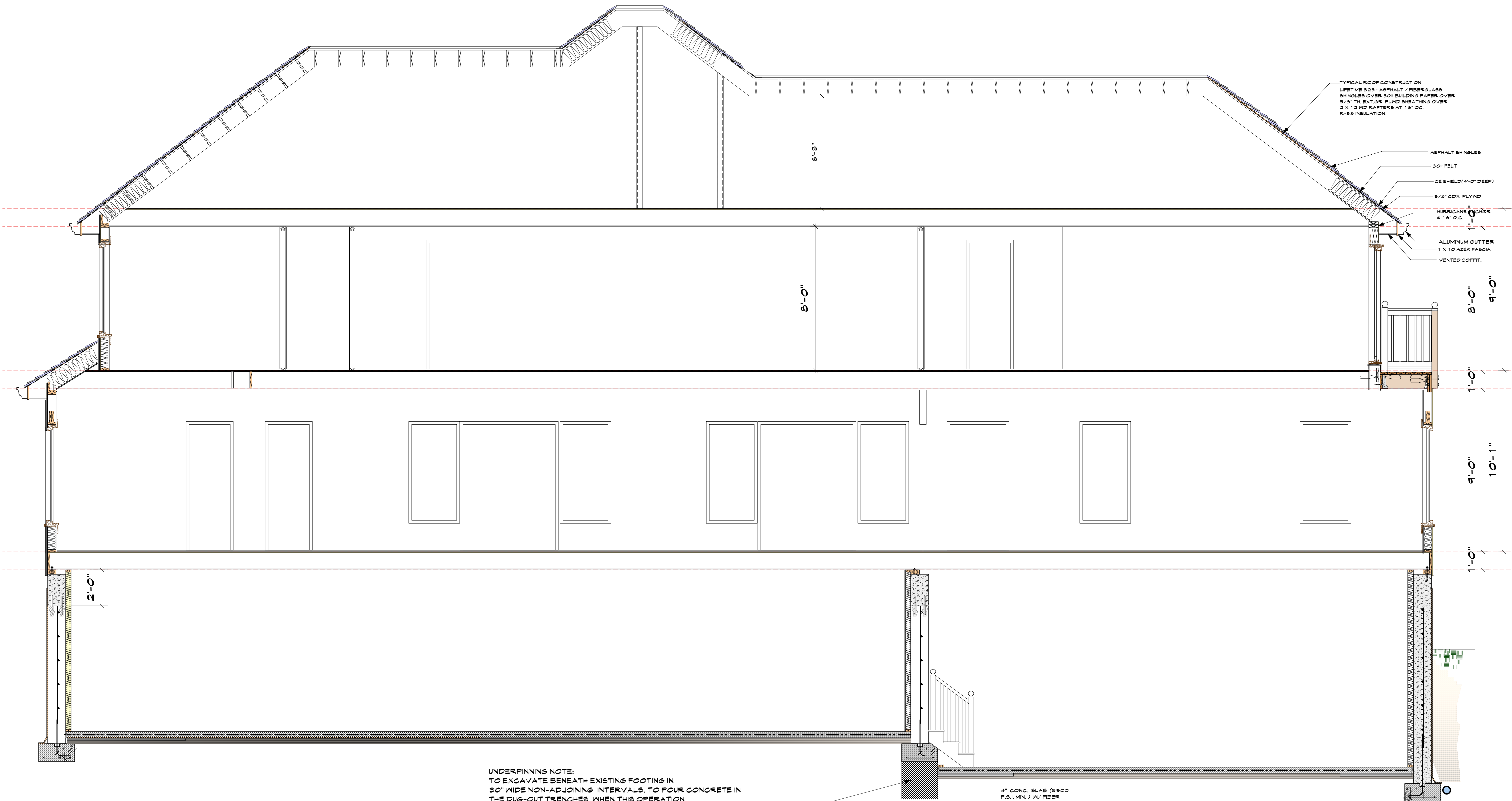
RIGHT SIDE,
REAR
ELEVATIONS

Project ID / DATE : 2048 / 10.15.2020

Sheet Scale:

A.6

Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



TYPICAL ROOF CONSTRUCTION
 LIFETIME 325# ASPHALT / FIBERGLASS
 SHINGLES OVER 30# BUILDING PAPER OVER
 5/8" TH. EXT. SR. FLUID SHEATHING OVER
 2 X 12 KD RAFTERS AT 16" OC.
 R-38 INSULATION.

ASPHALT SHINGLES
 30# FELT
 ICE SHIELD (4'-0" DEEP)
 5/8" CDX PLYWD
 HURRICANE ANCHOR
 @ 16" OC.
 ALUMINUM GUTTER
 1 X 10 AZEK FASCIA
 VENTED SOFFIT.

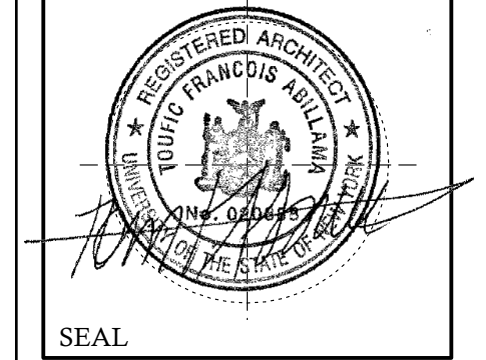
UNDERPINNING NOTE:
 TO EXCAVATE BENEATH EXISTING FOOTING IN
 30" WIDE NON-ADJOINING INTERVALS. TO POUR CONCRETE IN
 THE DUG-OUT TRENCHES. WHEN THIS OPERATION
 IS COMPLETE AND CONCRETE SET, TO REMOVE
 REMAINDER OF TRENCHES AND TO POUR
 WITH CONCRETE AS NECESSARY. PROPPER SHEETING
 IS REQUIRED DURING THIS PROCESS.
 CONTRACTOR IS TO PROVIDE NECESSARY
 PRECAUTIONS NOT TO UNDERMINE
 EXISTING FOUNDATION. NO UNDERPINNING
 IS REQUIRED IF BOTTOM OF EXISTING FOOTING
 IS DISCOVERED TO BE AT OR BELOW BOTTOM
 OF PROPOSED FOOTING.
 WORK SHALL BE DONE UNDER APPROVED SUPERVISION
 OF THIS ARCHITECT.

4" CONC. SLAB (3500
 P.S.I. MIN.) W/ FIBER
 REINFORCEMENT OR
 6X6 12/12 PLYWD. OVER
 6 MIL. VIBROEEN VAPOR
 BARRIER OVER 4" GRAVEL BASE
 OVER CLEAN COMPACTED
 FILL AND TERMITE
 TREATED SOIL

2	Planning Bd	4.14.21
1	Planning Bd	8.10.21
NO.	REV.	DATE

OWNER:
**MR. & MRS.
 CHRISTOPHER
 KALIAN**

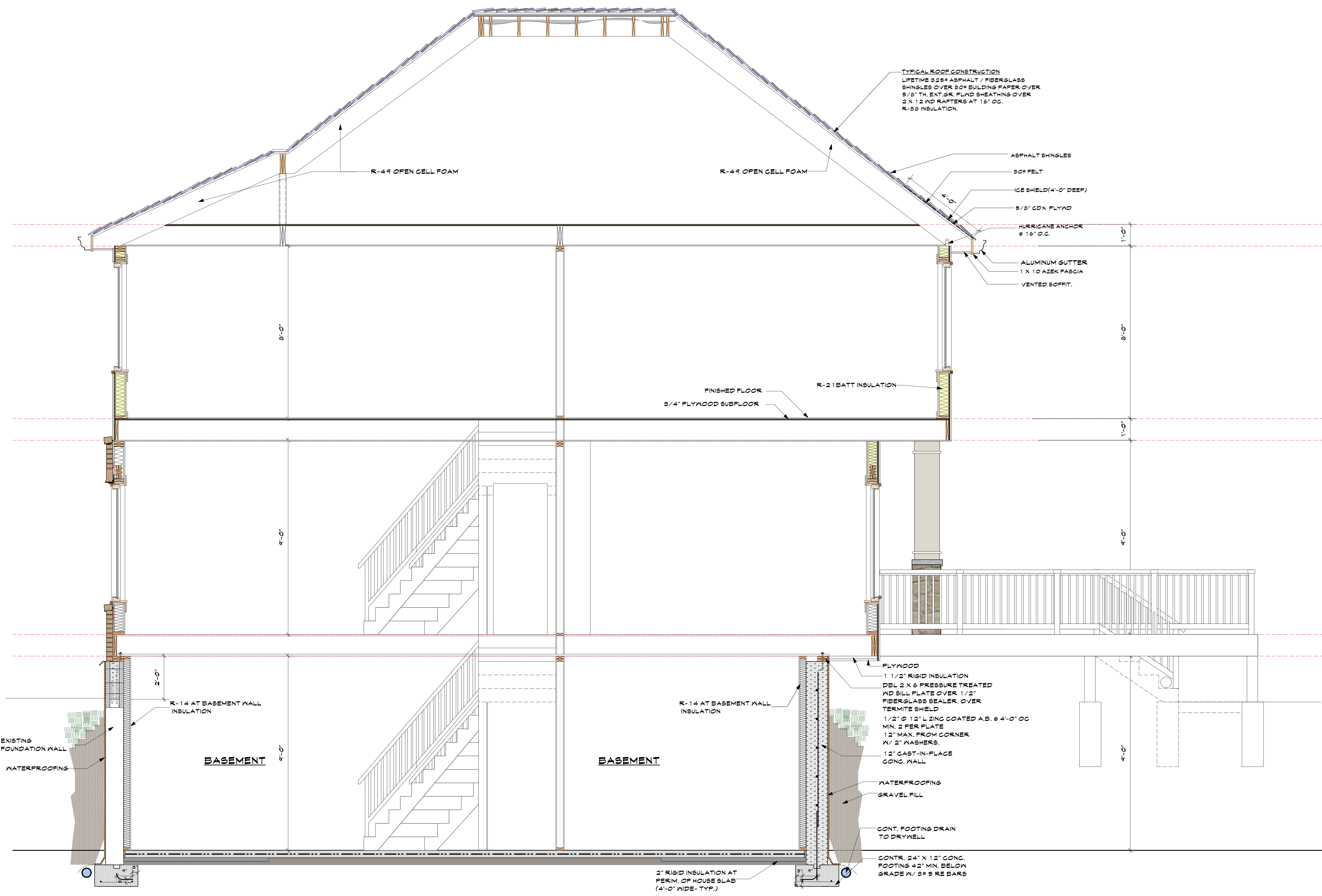
**Tom
 Abillama
 Architects**
 1955 CENTRAL PARK AVENUE
 YONKERS, NEW YORK
 PHONE: 914 6684673
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 EMAIL: FILES@TFARA.COM



KEY PLAN
**PROPOSED
 ONE FAMILY
 DWELLING
 EXPANSION**
 99 BYRAM RIDGE RD.,
 ARMONK, N.Y
 SBL: 101.01/1/13 ZONE: R-1A

**LONGITUDINAL
 SECTION**
 Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:
A.7
 Drawn By: KM Checked By: TFA
 Plot Date: APR.14.2021

1 **LONGITUDINAL SECTION**
 Scale: 3/8" = 1'-0"

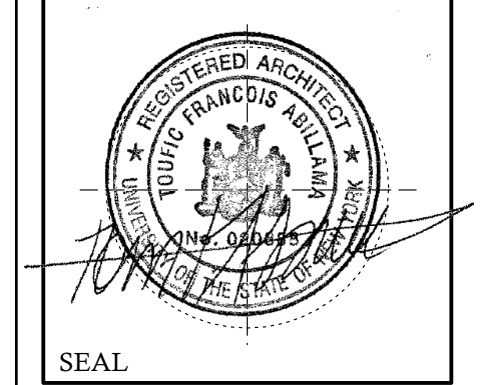


1 CROSS SECTION
Scale: 1/2" = 1'-0"

2	Planning Bd	4.14.21
1	Planning Bd	8.10.21
NO.	REV.	DATE

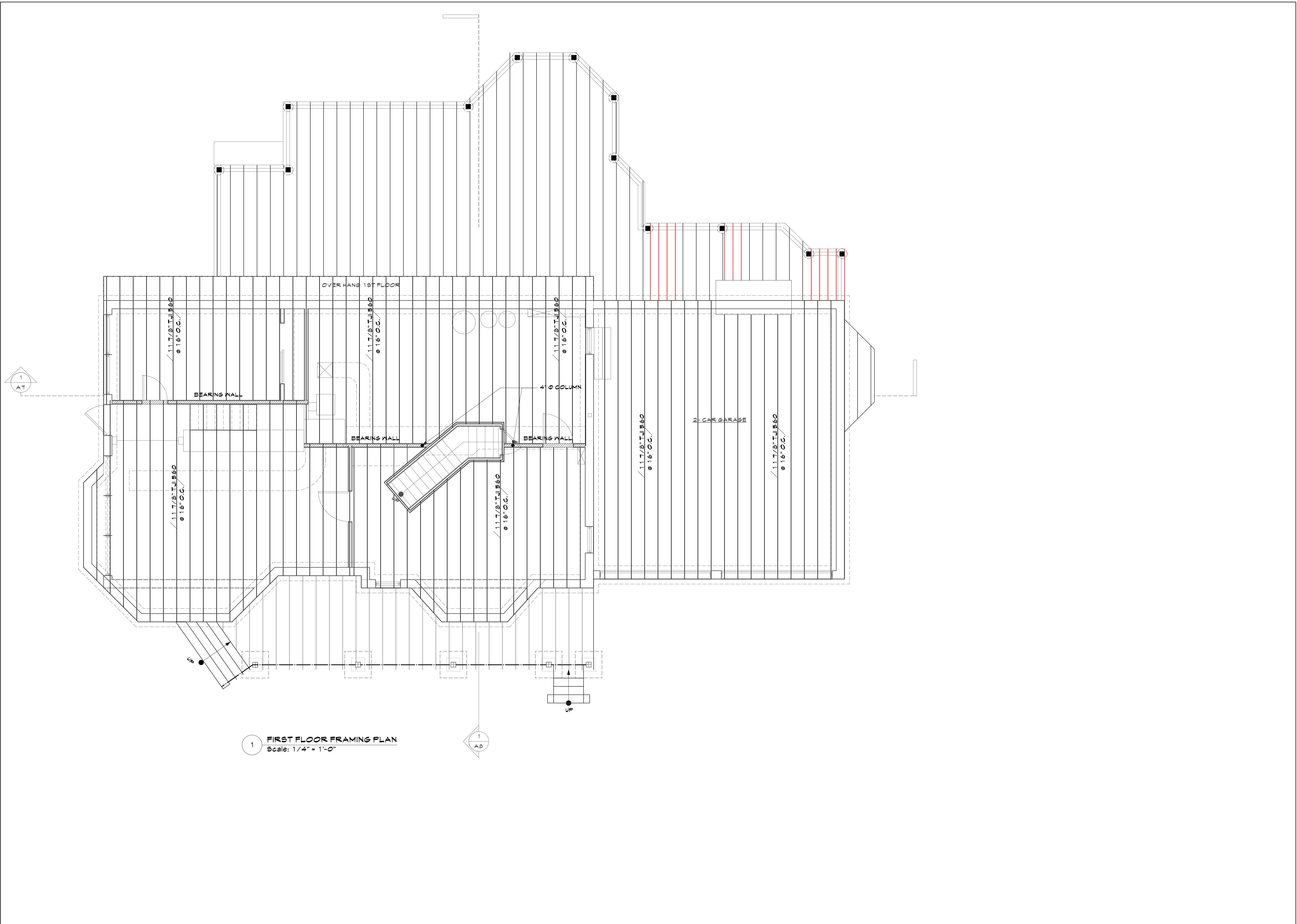
OWNER:
MR. & MRS. CHRISTOPHER KALIAN

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KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

CROSS SECTION
Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
A.B
Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021

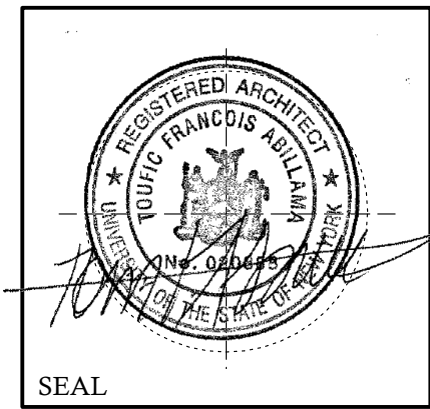


1 **FIRST FLOOR FRAMING PLAN**
Scale: 1/4" = 1'-0"

2	Planning Bd	4.14.21
1	Planning Bd	9.10.21
NO.	REV.	DATE

OWNER:
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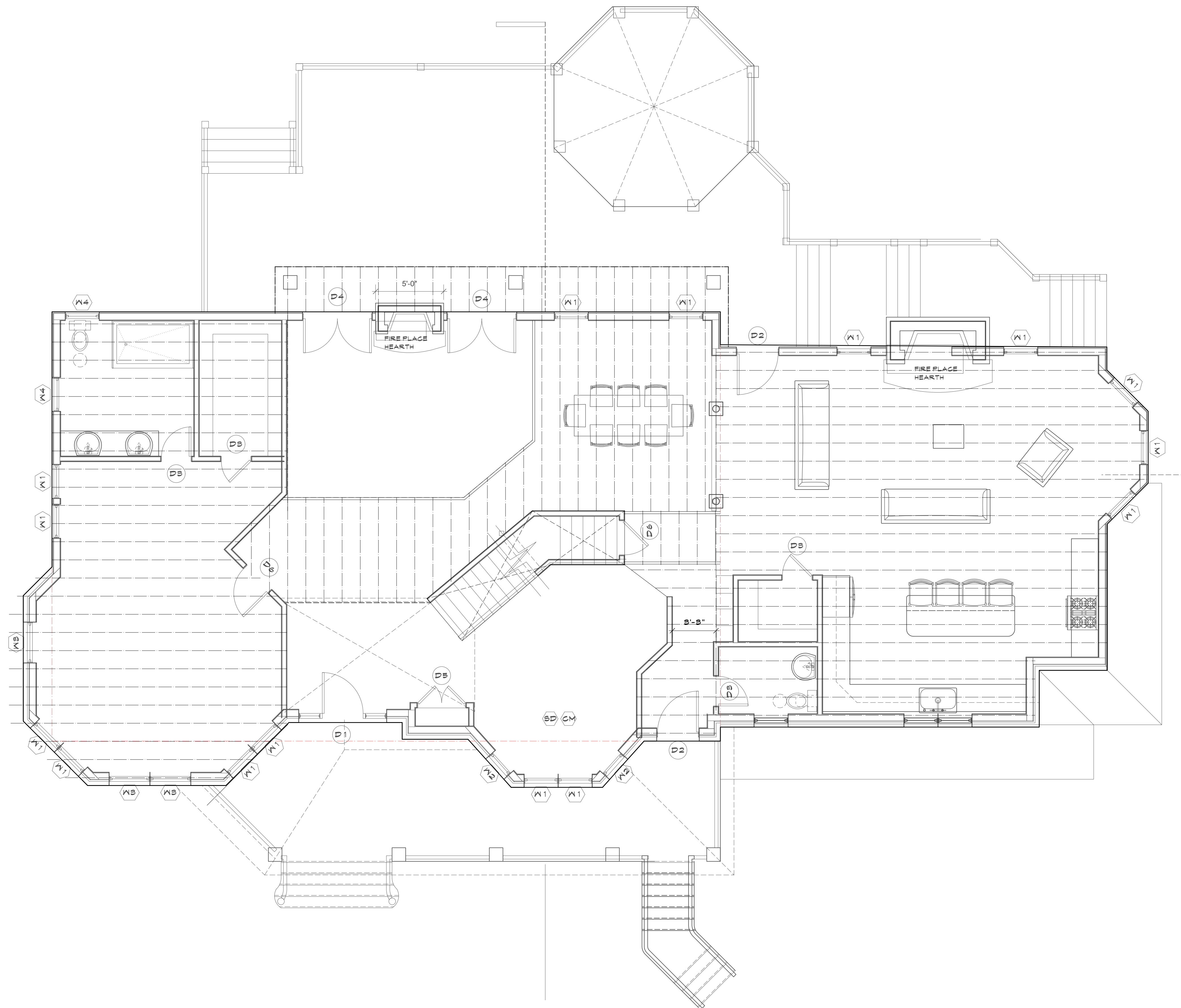


KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

1ST FLOOR FRAMING PLAN

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
A.9
Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



1 2ND FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"

2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

NO. REV. DATE

OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN



1955 CENTRAL PARK AVENUE
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SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

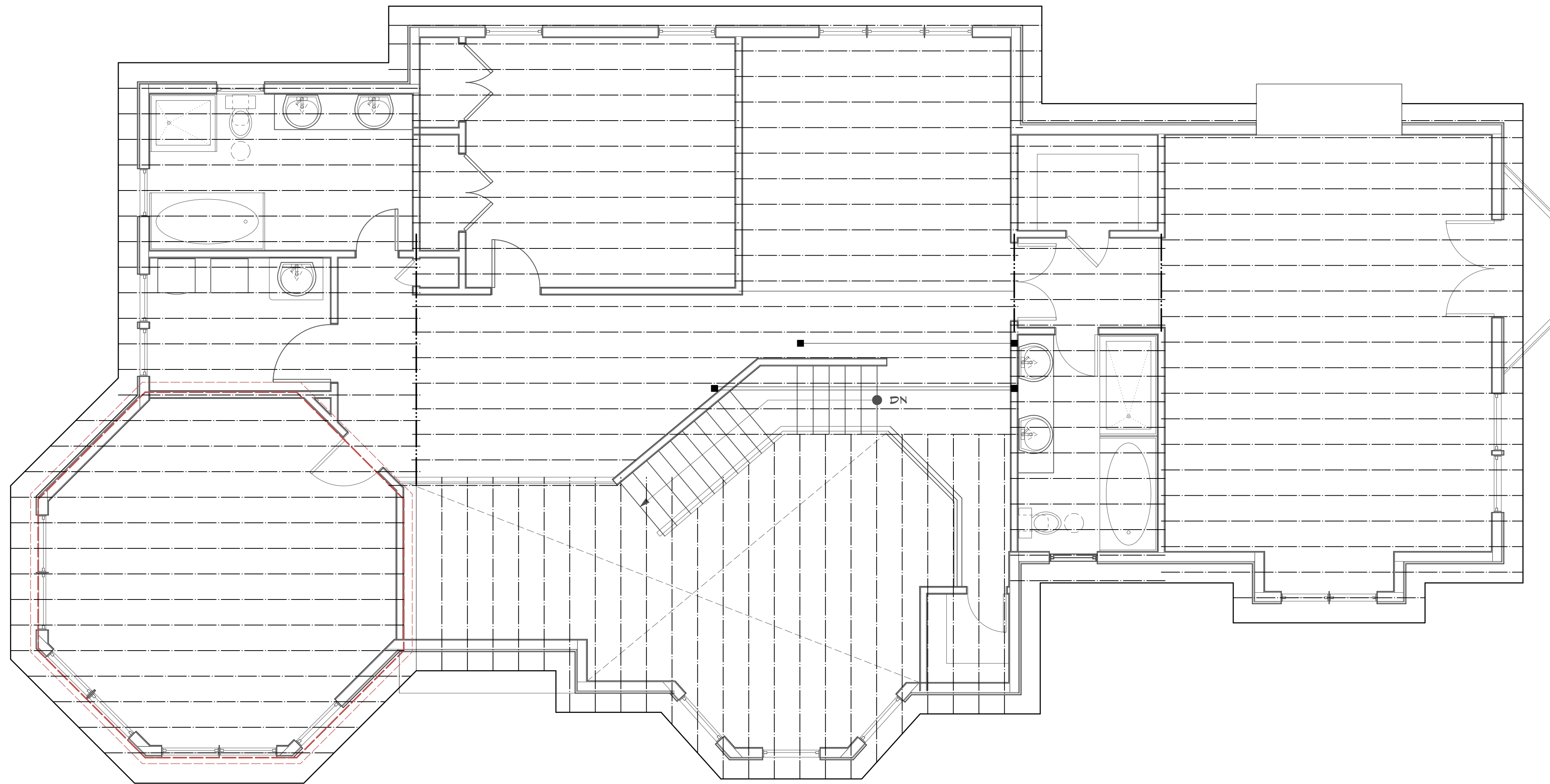
99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

2ND FLOOR
FRAMING
PLAN

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:

A.10

Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



1 ATTIC FRAMING PLAN
Scale: 1/4" = 1'-0"

2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

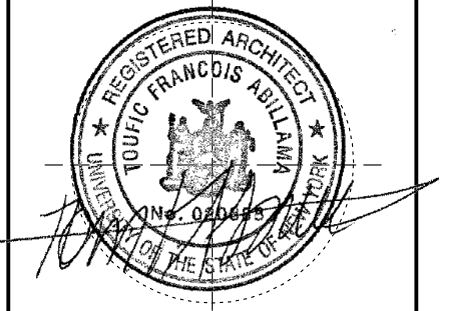
NO.	REV.	DATE
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OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
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SEAL

KEY PLAN

**PROPOSED
ONE FAMILY
DWELLING
EXPANSION**

99 BYRAM RIDGE RD.,
ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

**ATTIC
FRAMING
PLAN**

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:

A. 1 1

Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021

2	Planning Bd	4.14.21
1	Planning Bd	5.10.21
NO.	REV.	DATE

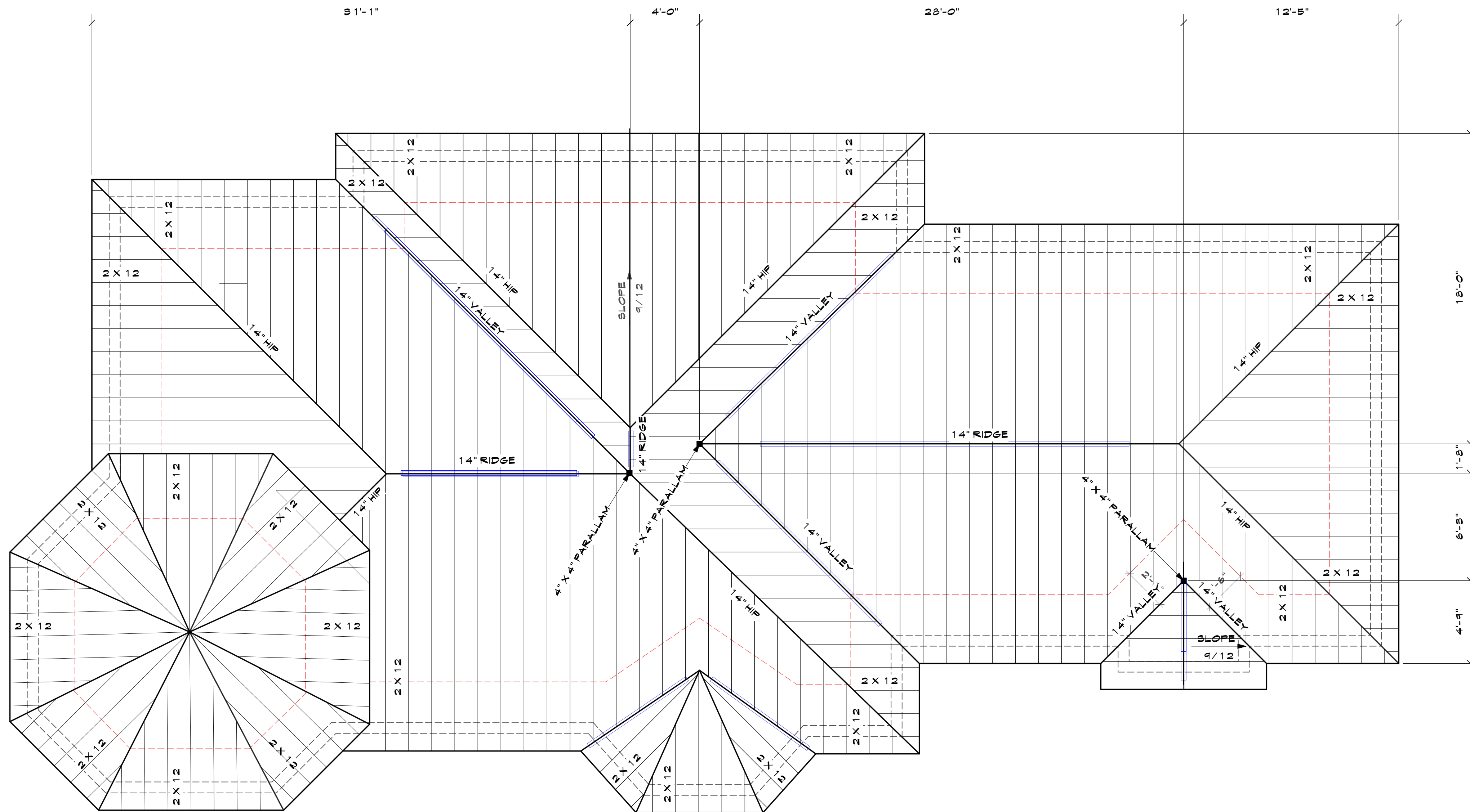
OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
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KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

ROOF FRAMING PLAN
Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A.12
Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021



1 ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

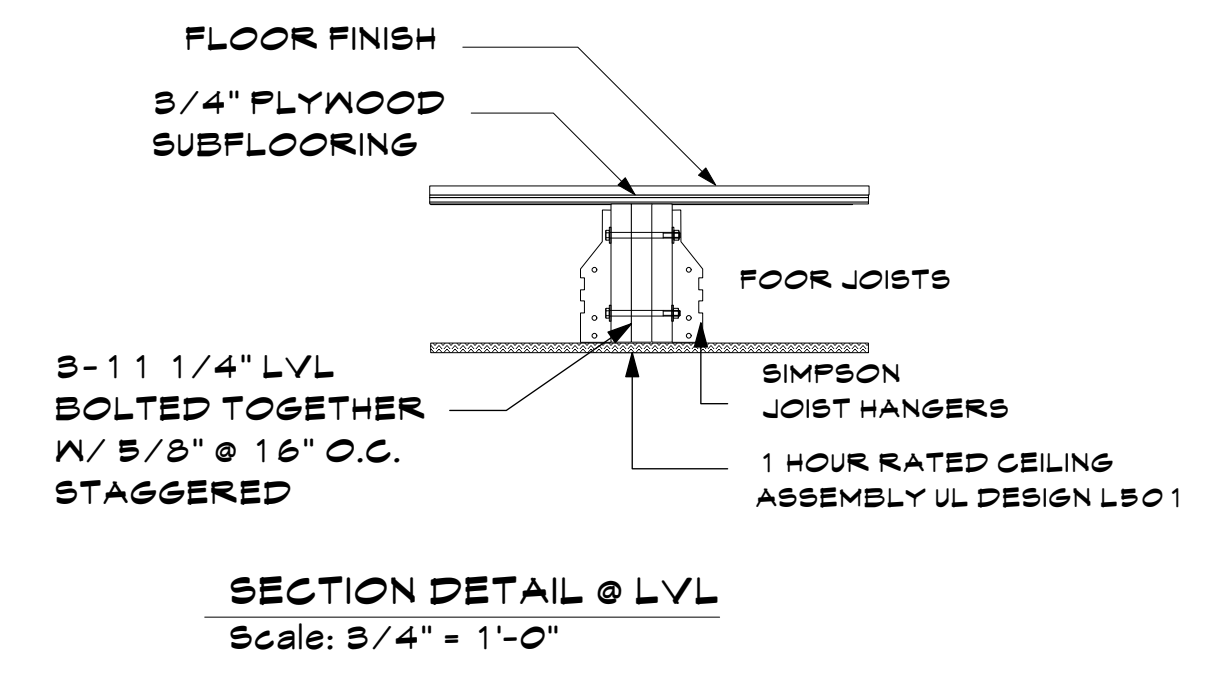
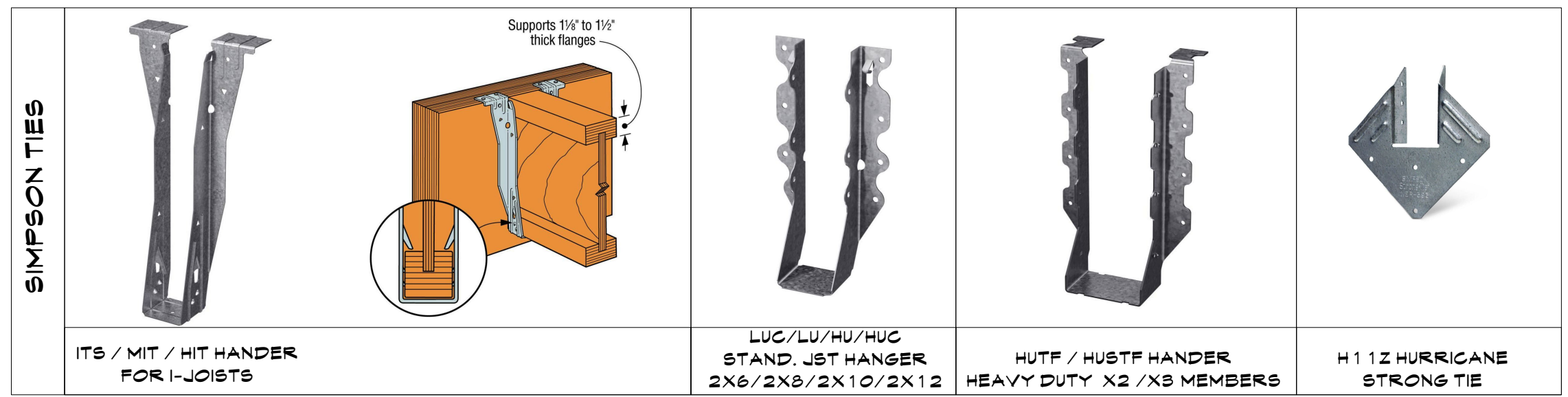


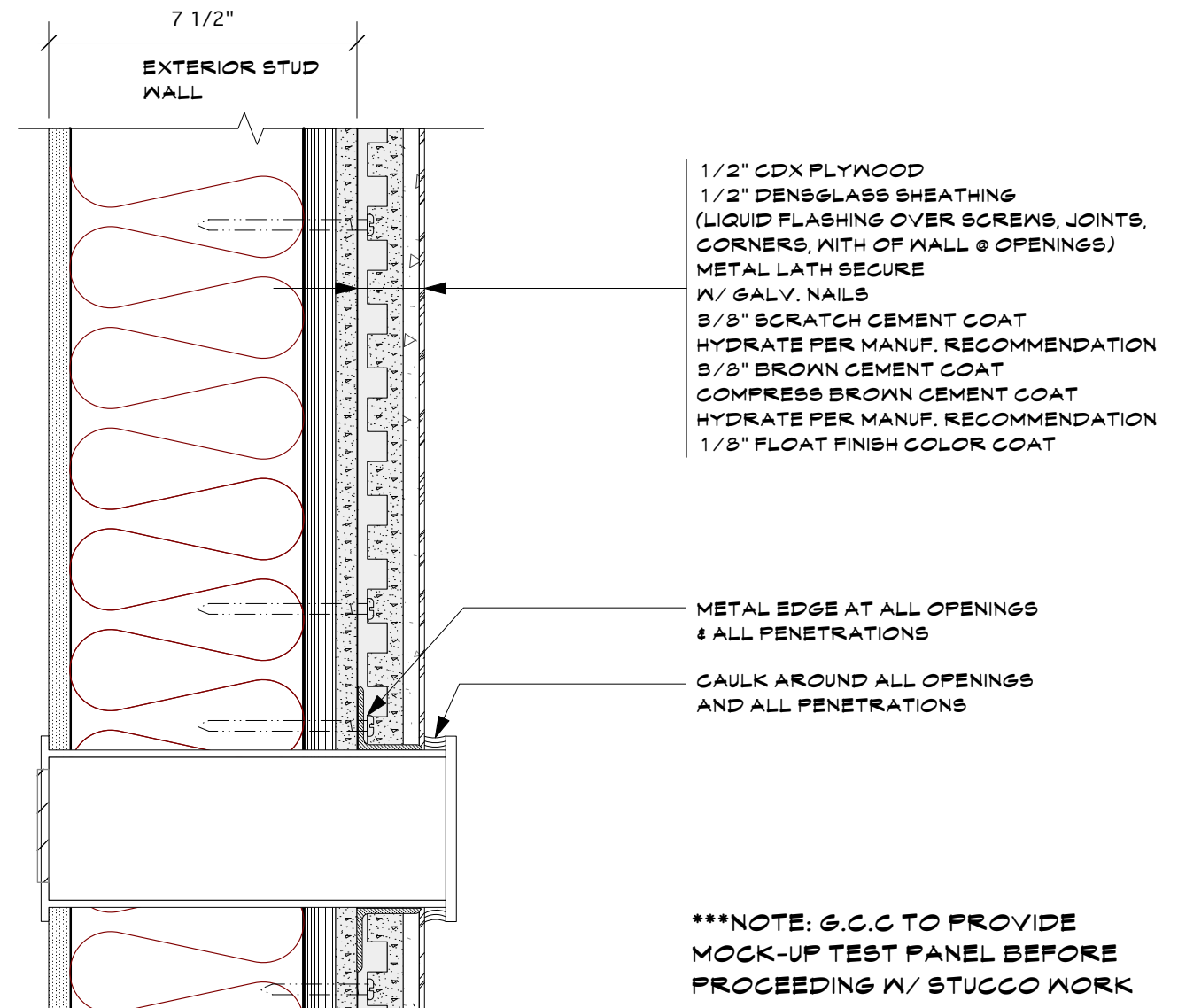
TO PROVIDE PLASTIC STICKER (3 1/2" X 1 1/4") W/ RED COLOR GREST AT ELECT. METER INDICATING USE OF ENGINEERED ROOF STRUCTURAL MEMBERS. LOCATION IS SUBJECT TO APPROVAL BY FIRE DEPARTMENT.

PARTS TRUSS NY 10 BLDG. CONSTRUCTION TYPE V ROOF CONSTRUCTION ENGINEERED FRAMING AT FLOORS AND BEAMS AS PER 1205 OF TITLE 19

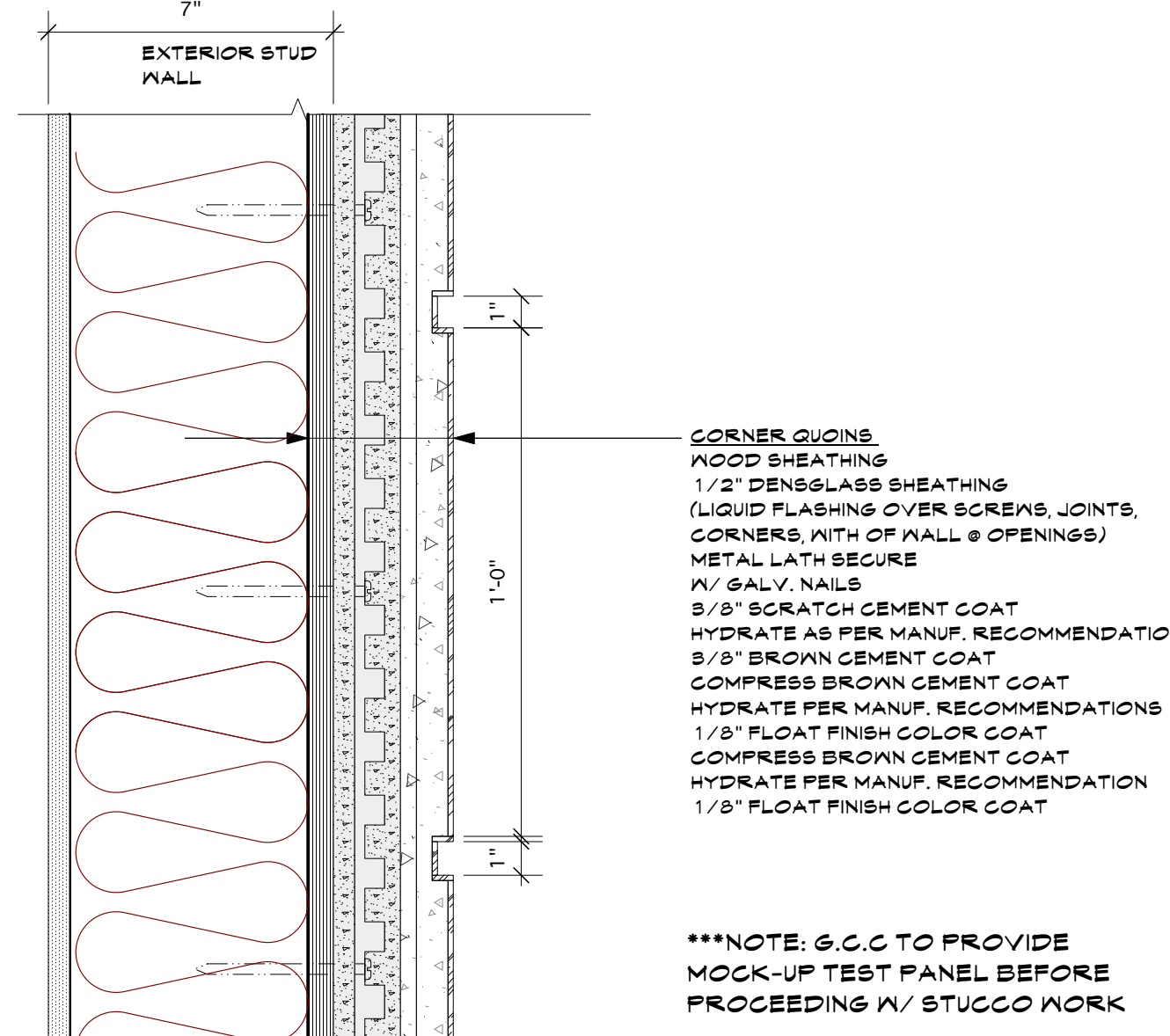
FOR MORE INFORMATION LOG IN TO THE FOLLOWING LINK:
<https://www.safetysign.com/products/1010/ny-type-v-floor-roof-truss-sign>

(d) Signs identifying the existence of truss construction shall consist of a circle 6 inches (152.4 mm) in diameter, with a stroke width of 1/4 inch (12.7 mm). The sign background shall be reflective white in color. The circle and contents shall be reflective red in color, conforming to Pantone matching system (PMS) #187. Where a sign is directly applied to a door or sidelight, it may be a permanent non-fading sticker or decal. Signs not directly applied to doors or sidelights shall be of sturdy, non-fading, weather resistant material.

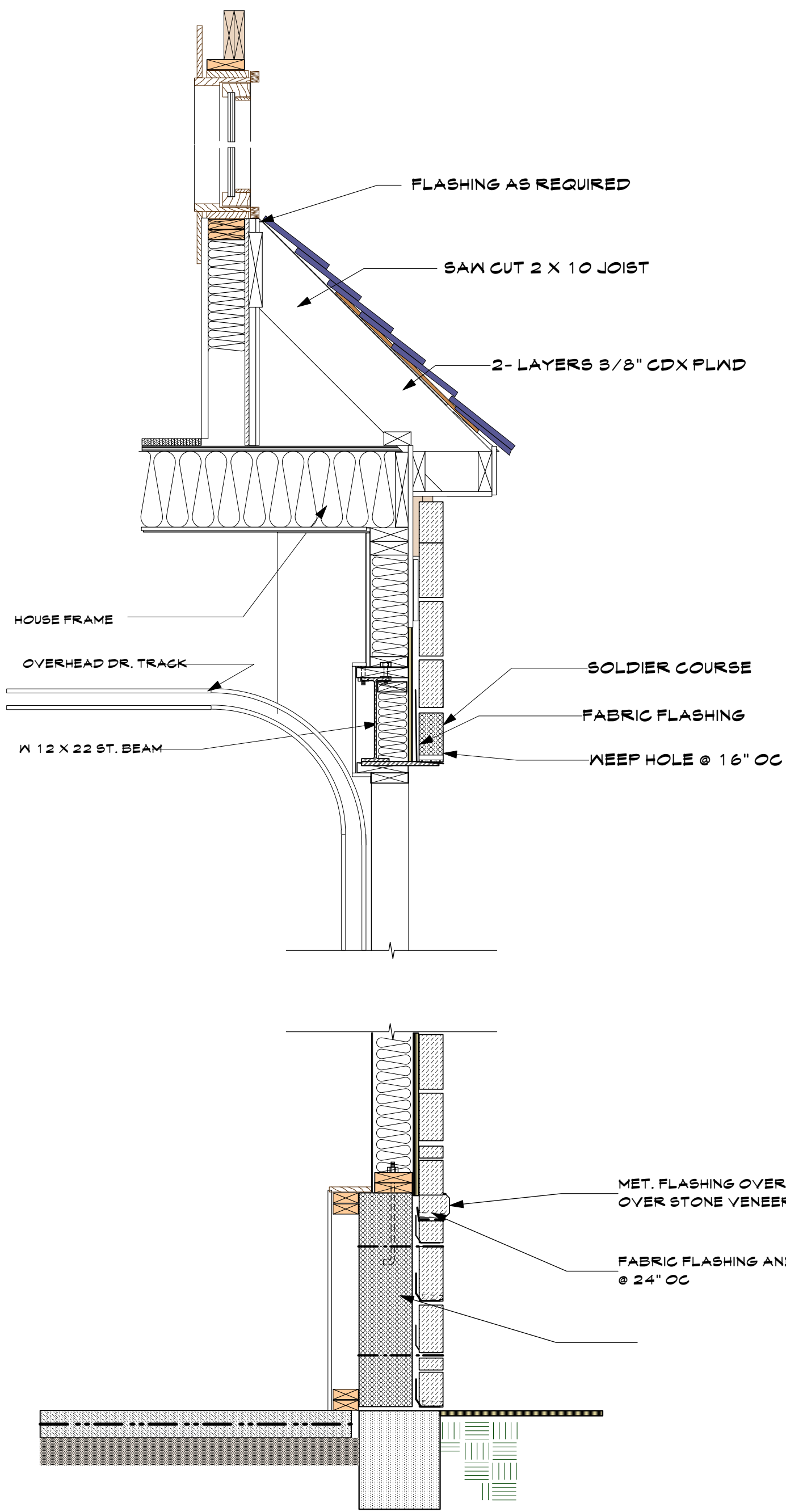




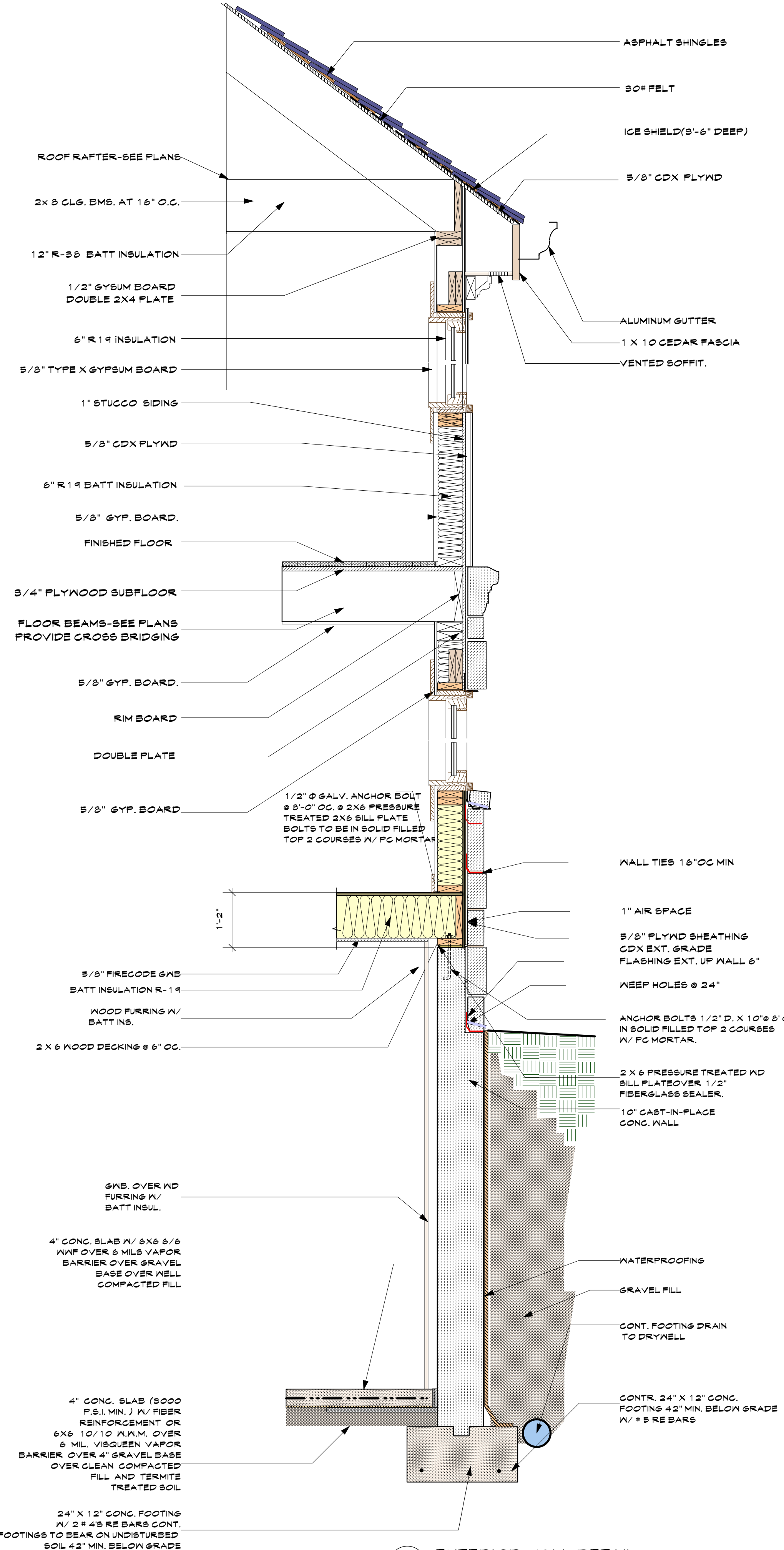
3 COAT STUCCO SYSTEM
Scale: 3/8" = 1'-0"



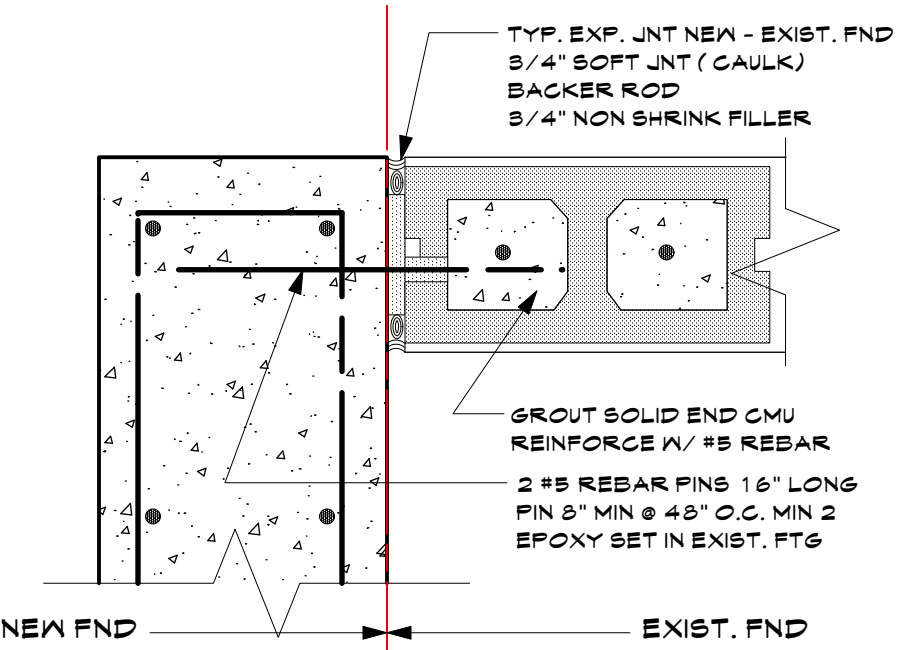
3 COAT STUCCO SYSTEM @ QUIN
Scale: 3/8" = 1'-0"



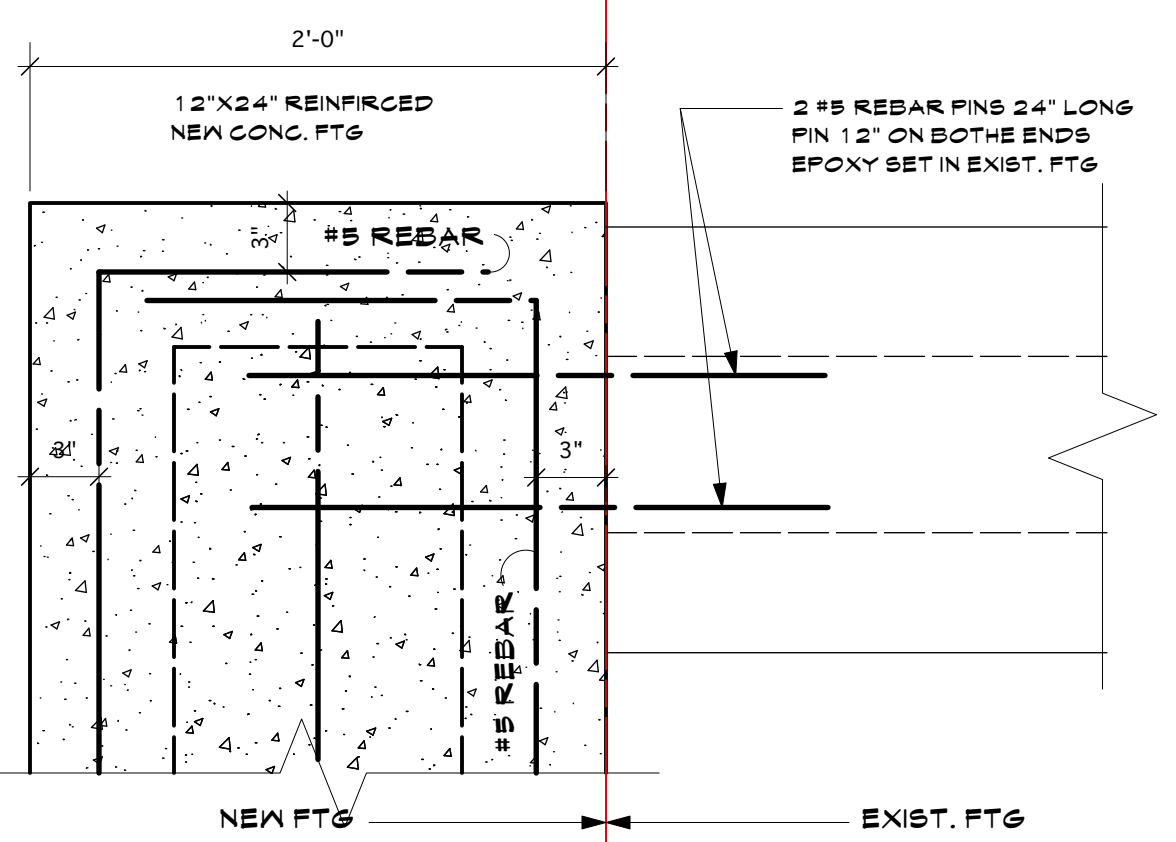
EXTERIOR WALL DETAIL
Scale: 3/4" = 1'-0"



EXTERIOR WALL DETAIL
Scale: 3/4" = 1'-0"



EXIST. TO NEW FND WALL
Scale: 1 1/2" = 1'-0"



EXIST. TO NEW FND WALL
Scale: 1 1/2" = 1'-0"

NO.	REV.	DATE
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
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KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

EXTERIOR WALL DETAILS

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A.13
Drawn By: KM Checked By: TFA
Plot Date: APR.14.2021

Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.

Any alteration or addition to this survey is a violation of SECTION 7209 of the NEW YORK STATE EDUCATION LAW, except as per SUBDIVISION 2. All certifications hereon are valid for this map and copies thereof only if said map or copies bear the inked or impressed seal of the surveyor whose original signature appears hereon.

Being part of lot 24 as shown on a Map Entitled "Property Map, George S. Groves, doing business as North Castle Estates, situated in the Town of North Castle, Westchester County, New York" on File in the Westchester County Clerk's Office as Map number 5794

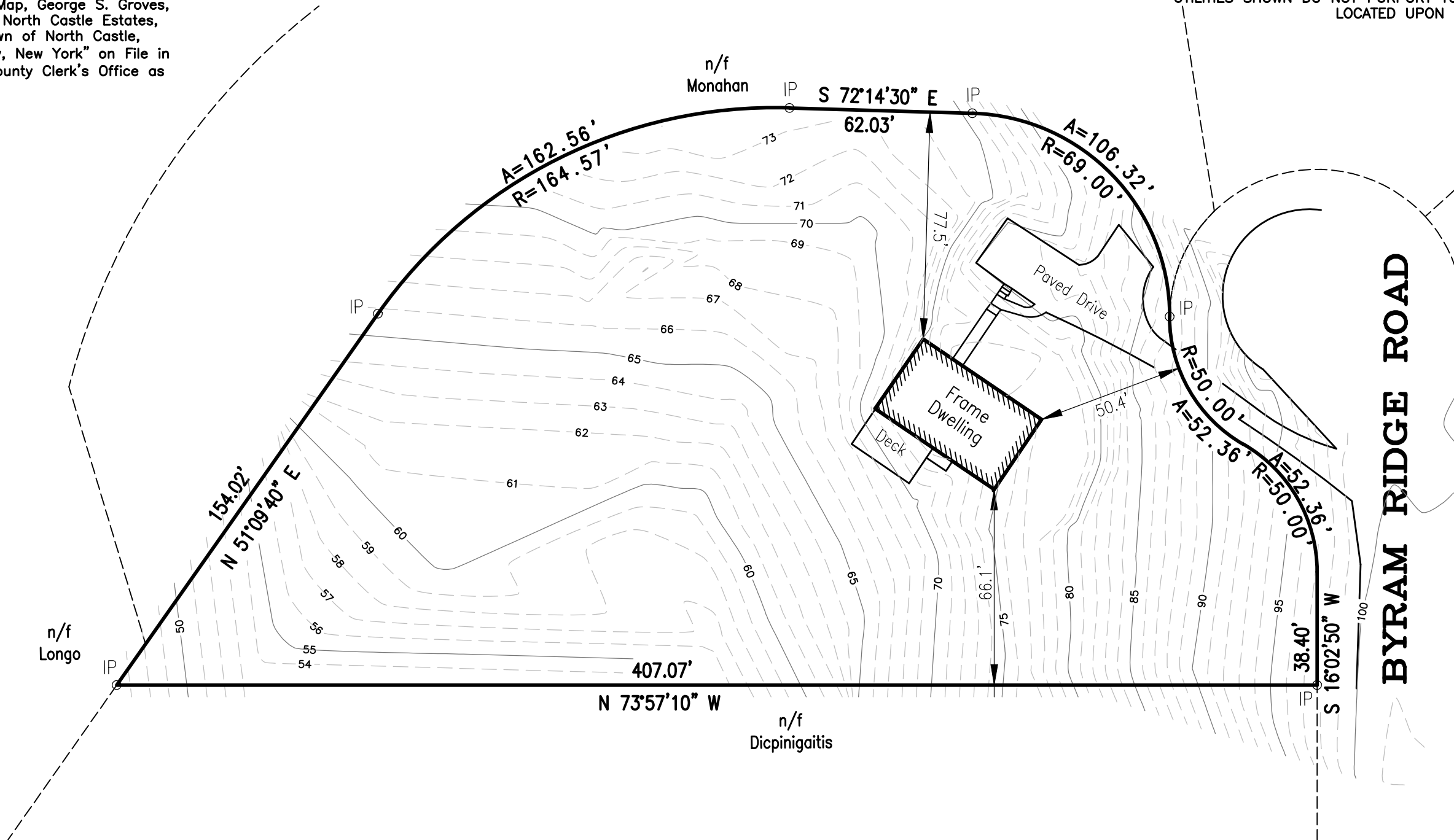
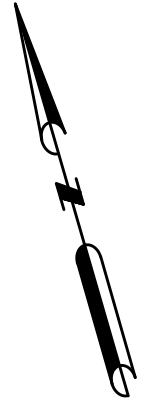
SUBJECT TO ANY EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD

UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION

UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES

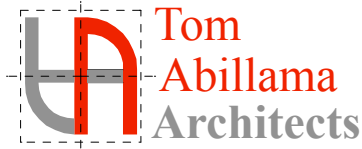
WETLANDS IF ANY ARE NOT SHOWN



#20325
EDWARD T. GANNON, P.L.S.
 CHERRY HILL ROAD ~ BLOOMING GROVE, NY 10914
 egannonsurveying@yahoo.com

CERTIFIED ONLY TO:
 Byram LLC
 World Wide Land Transfer
 Old Republic National Title Insurance Company

**SURVEY OF PROPERTY
 PREPARED FOR
 BYRAM LLC**
 TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, STATE OF NEW YORK
 TAX LOT: SECTION 101.01 - BLOCK 1 - LOT 13
 SCALE: 1" = 40'
 SURVEY DATE: SEPTEMBER 2, 2020
 AREA: 58,238.9 SQ.FT.



**Re: Chris Kalian
99 Byram Ridge Road
Section 101.01, Block 1, Lot 13**

Please see our responses below to General Comments from Kellard Sessions dated 4.9.21:

1. All references to the pool and associated improvements and calculations have been revised and updated on Sheet C.01.
2. On our proposal letter dated 3.10.21 to Mr. Christopher Carthy, Chairman of the Planning Board, we have stated the best use for the property (attached herewith).
3. The plans have been clarified and coordinated.
4. Minimum yard setbacks have been illustrated on Sheet SP.2.
5. Proposed grading shown on Sheet SP.4 and coordinated on SP.1, SP.2 & SP.3.
6. A note will be added on DOB submittal, prior to issuance of a building permit, "all walls, equal to or greater than four (4) feet in height, shall be designed by a NYS licensed R.A."
7. A note will be added on DOB submittal, prior to the issuance of a certificate of occupancy, "the construction of all walls, equal to or greater than four (4) feet in height, shall be certified by the Design Professional."
8. Sheet SP.4 shows existing and proposed driveway profile in compliance with Section 355-59, Driveways of the Town Code.
9. **See responses to comments #9 thru #14 from ARQ.**
15. **Sheet L-2 dated 3.8.21 from AZ Associates Ltd. shows proposed planting plan and will be coordinated with ARQ for tree removal.**
16. **See response from ARQ.**
17. All plans have been signed and sealed by the Design Professional.

18. Attaching Survey by Edward T. Gannon dated September 2, 2020.

location which may also provide for improved driveway access.

3. The applicant has provided site plan packages prepared by the Project Architect and Civil Engineer. The plans, however, must be coordinated as it relates to limits of removals of existing features, restoration and/or construction of the driveway, proposed grading and retaining walls, utilities, stormwater collection and mitigation system layout, tree removal and protection, temporary erosion and sediment control, etc. We will reserve detailed comment on these various improvements until the plans have been clarified and coordinated.
4. As previously requested, the plan shall illustrate and dimension all required minimum yard setbacks.
5. As previously requested, the plan shall illustrate any proposed grading, including spot grades, as appropriate and coordinate same between both plan sets.
6. As previously requested, the plan shall include a note clearly stating that “Prior to issuance of a Building Permit, all walls, equal to or greater than four (4) feet in height, shall be designed by a NYS Licensed Professional Engineer.” Provide construction details and specifications on the plan.
7. As previously requested, the plan shall clearly state that “Prior to the issuance of a Certificate of Occupancy, the construction of all walls, equal to or greater than four (4) feet in height, shall be certified by the Design Professional.”
8. The plan shall include a driveway profile demonstrating compliance with Section 355-59, Driveways of the Town Code. The profile shall include dimensions, grades and vertical curve data as needed. The plan shall also indicate a maximum curb cut width of 18 ft as required by the Town Highway Department. Any required restoration within the Town right of way shall be illustrated and detailed on the plan.
9. As previously requested, the applicant shall submit a Landscape Plan for consideration by the Planning Board. The plan shall include a table summarizing the trees to be removed and indicate the locations of proposed trees, specifying the size, quantity, and species of all proposed planting. In addition, the applicant should consider requesting a waiver from the Westchester County Department of Health to maintain the existing trees located within the area of the proposed septic expansion area.
10. The applicant has indicated that a plan has been submitted to the Westchester County Department of Health (WCHD) for review and approval of the proposed septic system. The applicant shall continue to update the Planning Board in this regard.

11. It appears that the minimum required separation distance from the proposed stormwater mitigation system to the existing drilled well, as required by the WCHD, has not been provided. We note that infiltration systems collecting stormwater runoff from paved surfaces, requires a separation distance of 100 feet. The plan shall be revised accordingly.
12. As previously requested, the plan shall illustrate the area of the proposed stormwater mitigation system and primary and expansion septic areas to be cordoned off during construction.
13. As previously requested, the plan shall clearly illustrate and quantify the proposed limits of disturbance of the overall project. The plan shall note that disturbance limits shall be staked in the field prior to construction. We note that disturbances over 5,000 s.f. will require preparation of a Stormwater Pollution Prevention Plan (SWPPP) in accordance with Chapter 173 - Stormwater Management of the Town Code.
14. As previously requested, the applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact this office to schedule the testing.
15. As previously requested, the applicant shall provide an updated tree survey for at least all trees within and 20 feet beyond the limit of disturbance. The plan shall illustrate all trees eight (8) inches dbh or greater located within and ten (10) feet beyond the proposed limit of disturbance to be removed and/or protected.
16. As previously requested, the plan shall illustrate the location of all required temporary erosion control measures, including, but not limited to, temporary construction access, silt fence, inlet protection, tree protection, erosion control blankets, construction sequence, etc. Provide details.
17. All plans shall be signed and sealed by the Design Professional.
18. The plans shall include a note indicating the source of the survey and topographic data, including the referenced datum, utilized for the development of the plan.

As additional information becomes available, we will continue our review. It is noted that an itemized response to all comments will facilitate completeness and efficiency of review.

PLANS REVIEWED, PREPARED BY ARQ, DATED MARCH 1, 2021:

- OWTS Site Plan (Sheet 1 of 2)
- Details (Sheet 2 of 2)

OWTS NOTES

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.
2. THERE ARE NO OWTS WITHIN 200 FEET OF THE WELL UNLESS OTHERWISE SHOWN ON THE PLAN.
3. THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET IF THE PROPOSED WELL.
4. THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLAN.
5. THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
6. IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CANNOT BE FOLLOWED, A REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY WCDH.
7. THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
8. WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.
9. NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
10. AFTER BACKFILLING THE OWTS, THE AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEEDING AND MULCHED.
11. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
12. ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF BOX.
13. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
14. PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7952.
15. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
16. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
17. THERE ARE NO NYSDEC WETLANDS OR WATERCOURSES WITHIN 200 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
18. STORMTECH SC-740 CHAMBERS ARE NOT A PART OF THE OWTS.
19. THE PROPOSED FILL FOR THE OWTS AREA IS TO BE RUN OF BANK SAND AND GRAVEL ONLY.
20. ESTIMATED TIME OF CONSTRUCTION: MAY-JUNE 2021

MISCELLANEOUS DATA

OWNER/APPLICANT: 99 BYRAM LLC
5 W MAIN ST
ELMSFORD, NY 10523

SURVEYOR: EDWARD T. GANNON, PLS
CHERRY HILL ROAD
BLOOMING GROVE, NY 10914
PREPARED 9/2/2020

MUNICIPALITY: TOWN OF NORTH CASTLE

LOT AREA: 1.34 AC

FIRE DISTRICT: ARMONK FD

TAX MAP: 101.01-1-13

WATER DISTRICT: ONSITE WELL

SEWER DISTRICT: ONSITE SDDS

SCHOOL DISTRICT: BYRAM HILLS

DRAINAGE BASIN: BYRAM RIVER BASIN

WATERSHED: INLAND LONG ISLAND SOUND BASIN

EXISTING ZONING DISTRICT: R-1A

OWTS DESIGN SUMMARY

PROPOSED DEVELOPMENT: SINGLE FAMILY,
5 BEDROOM HOME

DESIGN FLOW: 200 GPD/BEDROOM = 1,000 GPD

DEPTH TO GROUNDWATER: N/A

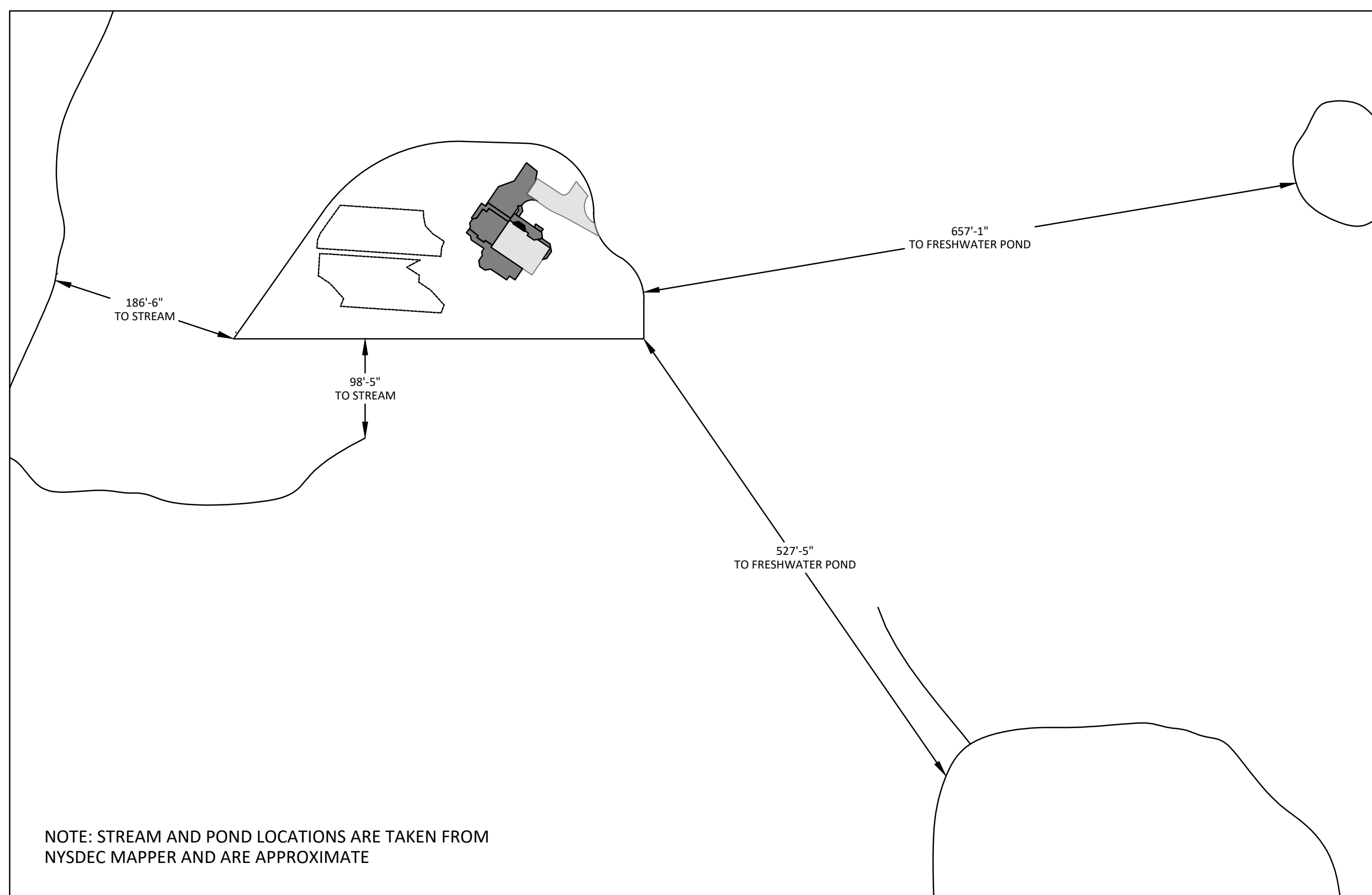
DEPTH TO BEDROCK: N/A

SOIL PERCOLATION RATE = 16-20 MIN/IN

TOPOGRAPHY/SLOPE: 11%

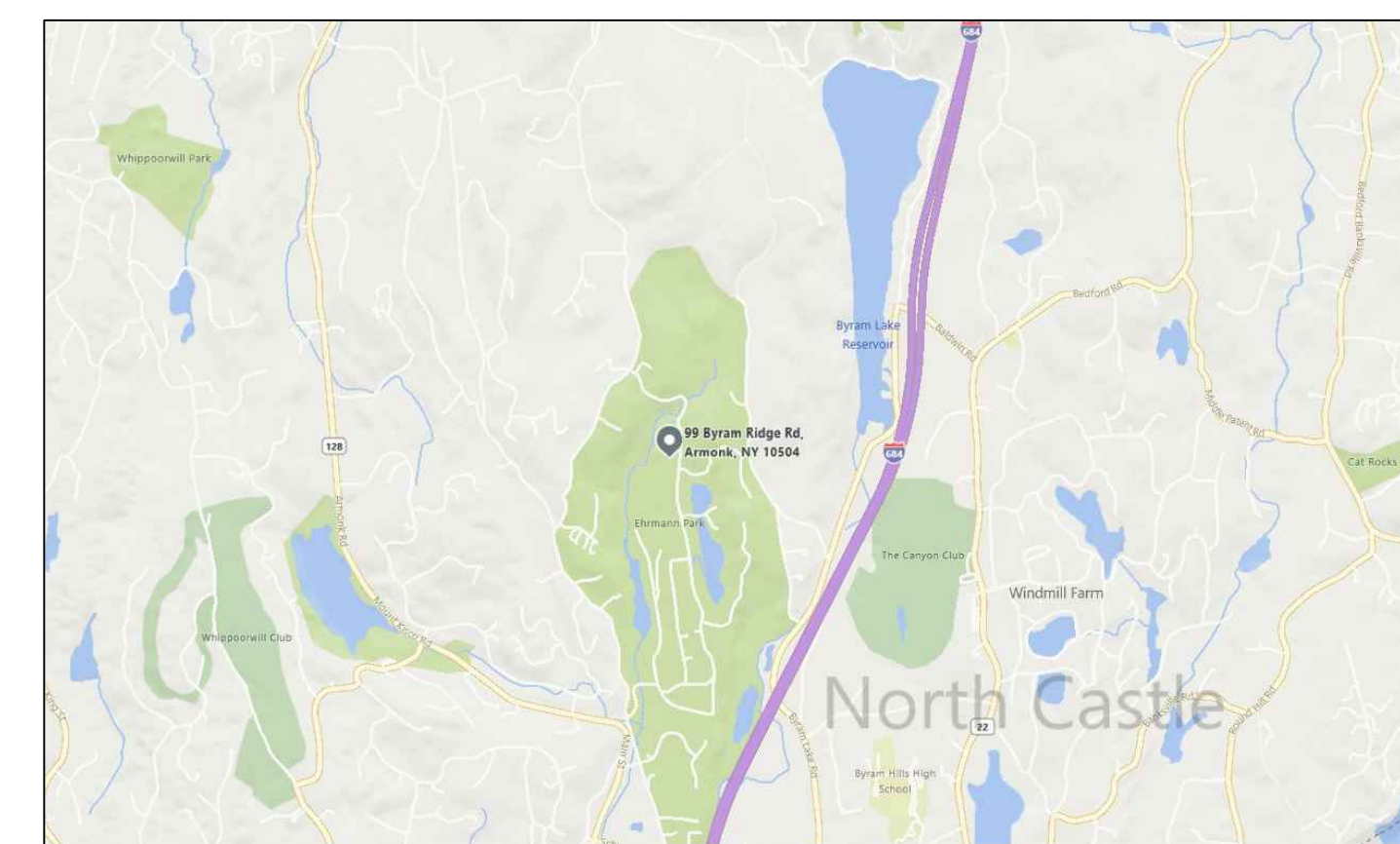
TOTAL LENGTH ABSORPTION TRENCH REQUIRED/PROVIDED = 720 LF

SOIL CLASSIFICATION: ChB & RhD



NOTE: STREAM AND POND LOCATIONS ARE TAKEN FROM NYSDEC MAPPER AND ARE APPROXIMATE

STREAMS AND WATERBODIES
1" = 100'-0"



LOCATION MAP
N.T.S.



100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

PAUL A. BERTE, P.E.

100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562

REVISIONS	DATE	BY
Revised per Town Comments	4/13/21	

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VIII, ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.

DRAWING TITLE:
OWTS SITE PLAN

PROJECT:
99 BYRAM, LLC
OWTS PLAN

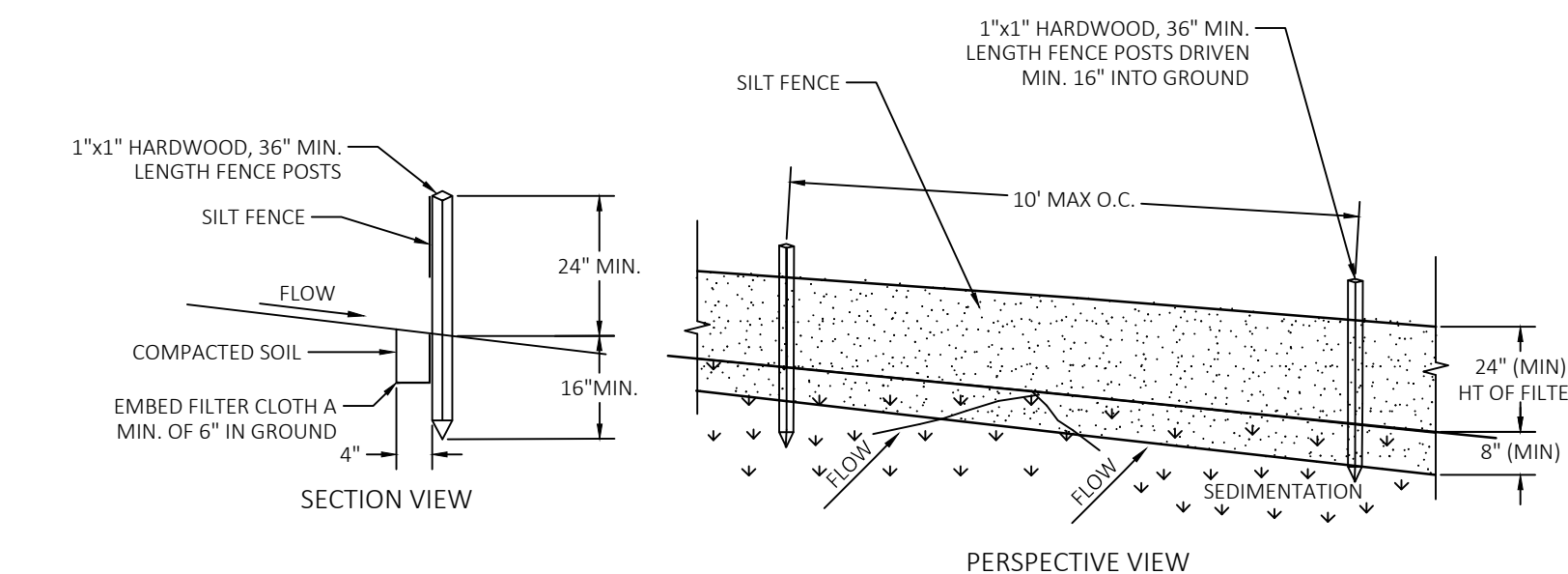
PROJECT ADDRESS:
99 BYRAM RIDGE ROAD
ARMONK, NY 10580

WCDH SIGNATURE:

SEAL & SIGNATURE

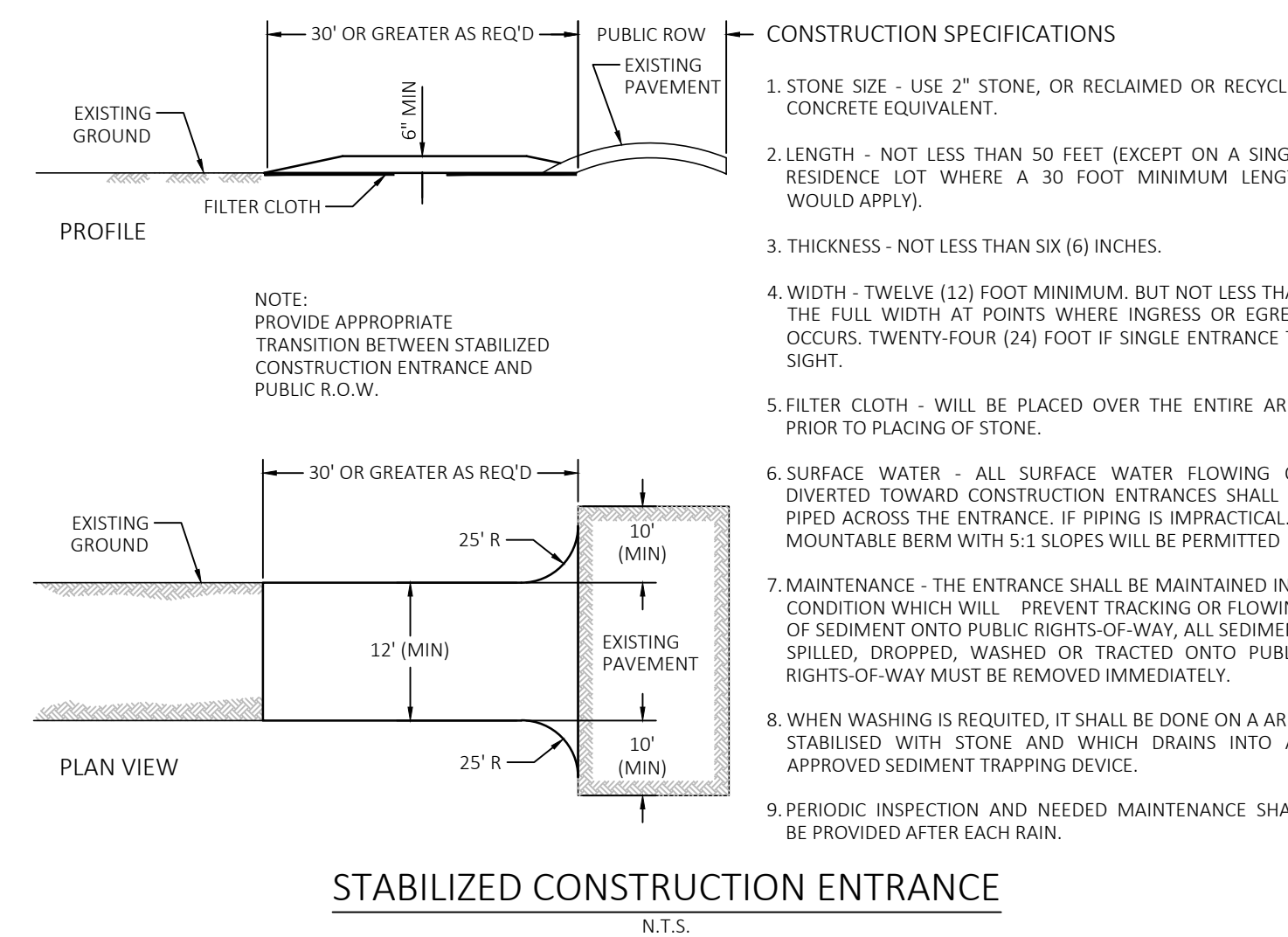
DATE: 3/1/21
PROJECT NO.: 21-030
DRAWING BY: SB
CHECKED BY: PB

SCALE:
1" = 20'-0"
DRAWING NO.:
1 OF 2



- CONSTRUCTION SPECIFICATIONS:
1. SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USCF M5F180, MIRAFI 100X OR APPROVED EQUIVALENT.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

SILT FENCE INSTALLATION DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

NOTE: NOT TO BE USED FOR CONSTRUCTION

