

PROPOSED RENOVATION OF

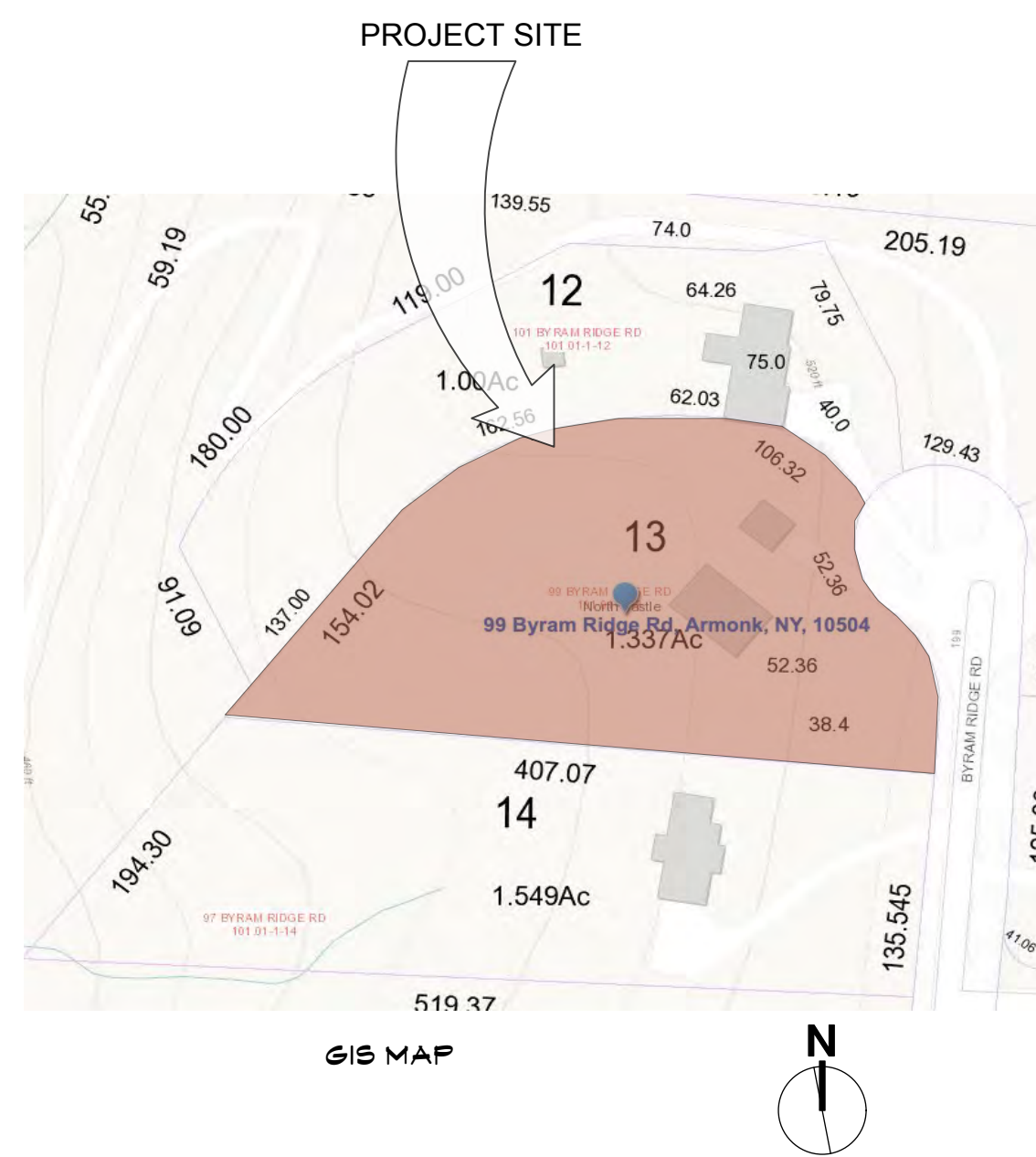
The Kalian Residence

99 Byram Ridge Road,
Armonk, NY

OWNER : Mr. & Mrs. Christopher Kalian

Contractor : Ridge Partners

Architect: Tom F. Abillama, AIA



DRAWING LIST	
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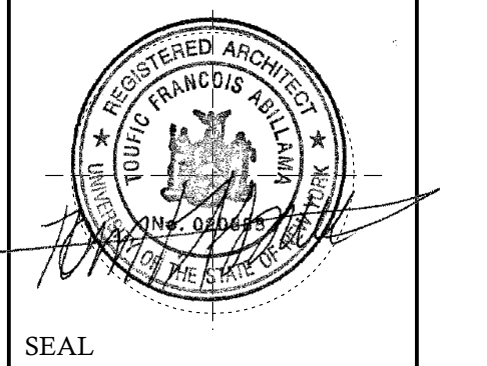


NO.	REV.	DATE
3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	5.10.21

OWNER:
MR. & MRS.
CHRISTOPHER
KALIAN



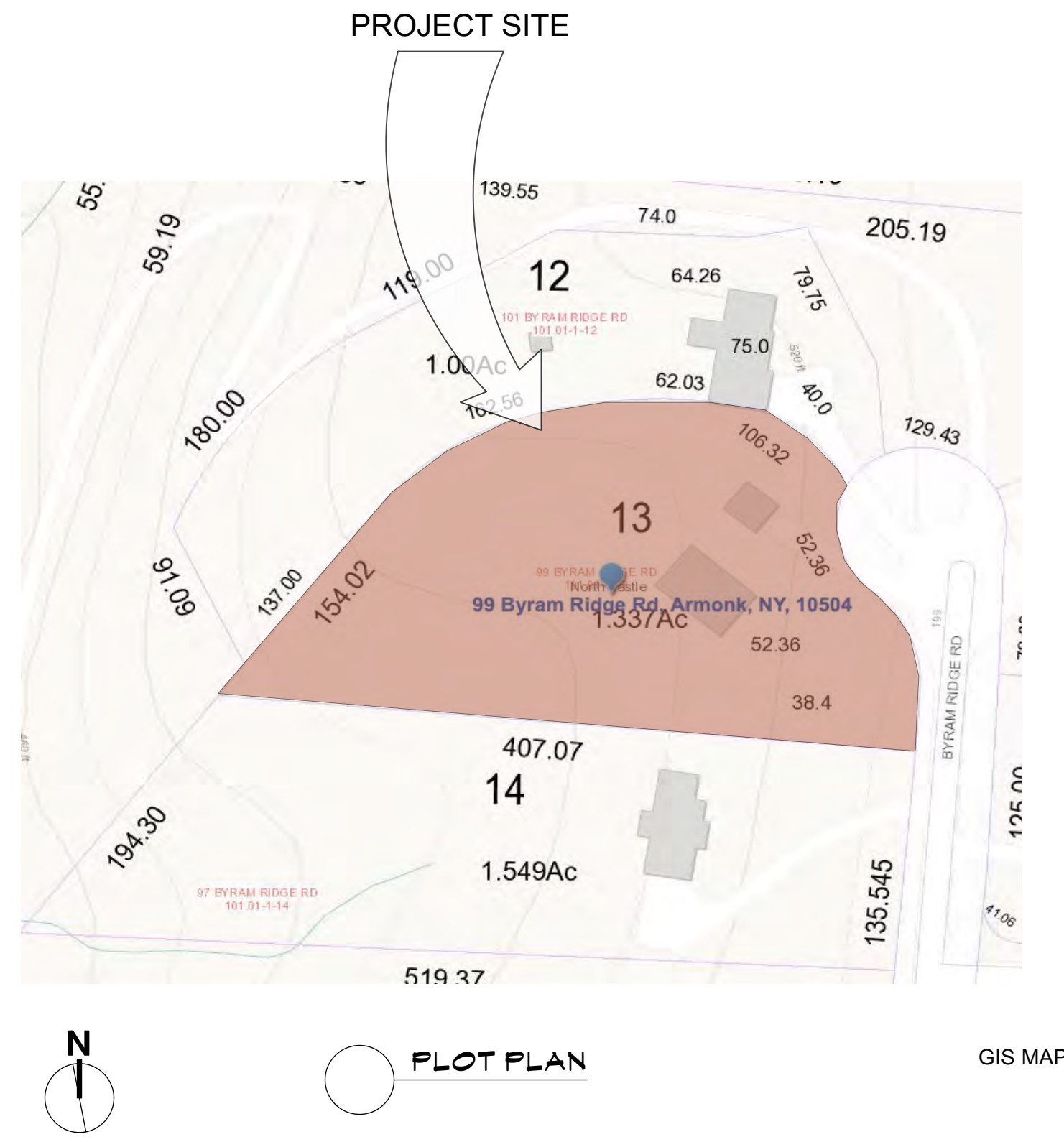
1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
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KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD.,
ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

TITLE SHEET

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
T. 1
Drawn By: KM Checked By: TFA
Plot Date: MAY 10, 2021



02060 REMOVALS

I. WORK INCLUDED

- SEE ARCHITECTURAL DEMOLITION DRAWING SEE ALSO MECHANICAL AND ELECTRICAL DRAWINGS.
- GENERAL REMOVALS AND RELOCATIONS:
 - REMOVE AND RELOCATE ALL EXISTING MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES INCLUDING BUT NOT LIMITED TO: FIRE ALARM PULLS STATIONS, POWER OUTLETS, LIGHT SWITCHES, THERMOSTATS AND TELEPHONE OUTLETS AS REQUIRED FOR THE INSTALLATION OF NEW WORK.
 - REMOVE ALL ITEMS, MATERIALS AND FINISHES REQUIRED FOR THE INSTALLATION OF NEW WORK, OR THE RELOCATION OF EXISTING, AS DESCRIBED IN PERTINENT SECTIONS OF THESE SPECIFICATIONS AND / OR SHOWN ON THE DRAWINGS INCLUDING STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
 - EXISTING WIRING, PIPING OR OTHER LINES WITHIN WALLS OR CEILINGS TO BE REMOVED - VERIFY THAT THESE ARE ABANDONED PRIOR TO REMOVAL. RE-ROUTE ANY LINES THAT ARE STILL IN USE TO MAINTAIN ALL EXISTING SERVICES.

**II. MATERIALS - (NA)
III. EXECUTION**

- ALL REMOVALS AND DEMOLITION SHALL BE IN COMPLIANCE WITH NYS BUILDING CODE, AND ALL APPLICABLE FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND ITEMS THAT ARE TO BE REUSED AND RELOCATED IN CONJUNCTION WITH THE NEW WORK SHALL BE CAREFULLY CUT AWAY FROM THE EXISTING ABUTTING WORK TRUE TO LINE AT THE NEAREST JOINT, SURFACE BREAK OR PATTERN LINE TO ENSURE NO NOTICEABLE DIFFERENCE BETWEEN NEW AND EXISTING TO REMAIN. REMOVALS SHALL BE KEPT TO A MINIMUM MATERIALS TO BE REUSED AND RELOCATED SHALL BE PROPERLY HANDLED, TAGGED AND PROPERLY STORED TO PREVENT DAMAGING AND BREAKING.
- CAREFULLY COORDINATE ALL TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE OF THE WORK.
- WHEN WORK IS STOPPED, PROVIDE AND MAINTAIN IN PLACE SUITABLE COVERINGS OR BARRIERS FOR PROTECTION OF THE WORK AND SAFETY FOR ALL PERSONNEL AND BUILDING USERS, PROVIDE PROTECTED PATHS OF EGRESS, PER PHASING REQUIREMENTS, FOR CONTINUOUS PUBLIC ACCESS TO STAIRS, ESCALATORS AND ENTRANCES/EXITS.
- PROTECT ALL WORK, EXISTING AND NEW, FROM DAMAGE BY ANY CAUSE THROUGHOUT THE DEMOLITION OPERATIONS PROTECTIVE COVERINGS OR BARRIERS SHALL NOT MAR, STAIN OR PENETRATE THE FINISHED WORK.
- COORDINATE ALL ELECTRICAL WORK FOR THE PROPER DISCONNECTIONS, PROTECTIONS AND CAPPING. SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- UNDERTAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVENT EXCESSIVE DUST DURING DEMOLITION.
- REMOVE ALL PORTIONS OF THE WORK IN A SAFE MANNER WITH CARE TO PREVENT DAMAGE TO ADJACENT AND REMAINING STRUCTURE, FINISHES OR ANY OTHER ITEMS OF PROPERTY.
- ALL MATERIALS UNLESS NOTED TO BE REUSED OR TO BE SALVAGED SHALL BE REMOVED OFF THE PROPERTY TO AN AVAILABLE DUMP OR SITE OF THE CONTRACTOR'S OWN CHOOSING AND ARE TO BE PROPERLY AND RESPONSIBLY DISPOSED OF. NO BURNING OR ON-SITE DISPOSAL IS PERMITTED.
- VERIFY SALVAGE REQUIREMENTS FOR ALL MATERIALS NOTED TO BE REMOVED WITH SAFE HORIZON. MATERIALS NOTED TO BE SALVAGED SHALL BE PROPERLY STORED IN LOCATION PER SAFE HORIZON, INC. DIRECTIONS.
- ALL SPACES ARE TO BE BROOM CLEANED DAILY.
- ALL REMOVALS SHALL LEAVE THE EXISTING SURFACES AND SUBSTRATES FREE AND CLEAN FOR THE PROPER PATCHING AND PREPARATION REQUIRED FOR THE SPECIFIED NEW MATERIALS AND FINISHES.

NOTES:
STEEL COL'S SHALL REST ON 12" X 12" 5/4" T. ST. BASE PLATE OVER LEVELLING PLATE OVER NON-SHRINK GROUT W/ (4) 3/4" Ø 12" LONG ANCHOR BOLTS OVER 5'-0" X 5'-0" X 18" CONG. FOOTINGS W/ (8) # 4S EA. KEY-BOTTOM.

ALL BEAMS OVER 2 MEMBERS SHALL BE BOLTED TOGETHER W/ 3/4" THRU-BOLTS @ 18" O.C. STAGGERED.

ALL FLUSH BEAMS SHALL RECEIVE JOIST HANGERS BY SIMPSON OR EQ.

ALL DOORS, WINDOWS SHALL RECEIVE (2) 2X10 HEADERS (TYP.) UNLESS OTHERWISE NOTED ON PLANS.

CONSTRUCTION TO BE "V B" SINGLE FAMILY RESIDENTIAL LIVE LOADS = 40 PSF GROUND SNOW LOAD = 30 PSF SNOW LOAD = 30 PSF DEAD LOAD = 15 PSF WIND LOADS = 115 MPH SEISMIC DESIGN: B

WOOD NOTES

- All Exterior Wood Framing Members Shall Be Structural Grade With Min. Fiber Stress Strength Of 1400, And Shall Be Pressure Treated For Exterior Exposure.
- Contractor To Provide All Steel Connections Required For Fastening Members To Others.
- Contractor To Refer To "Simpson-Strong Tie" Manual For Post Plates, Joist / Beam Hangers As Well As Hold Downs And Post Caps Etc...

- ALL STRUCTURAL STEEL SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS, AND SHALL BE BASED ON ASTM-A36 WITH MINIMUM YIELD POINT OF 36,000 PSI.
- ALL CONNECTION MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS:
 - HIGH STRENGTH BOLTS : A325.
 - WELDING ELECTRODES : AWS-A5.1, E70 SERIES.
 - BOLTS SHALL BE 3/4" DIAMETER.
 - OPEN HOLES SHALL BE 1/8" OVER DIAMETER UNLESS OTHERWISE INDICATED.
- ALL WELDING SHALL BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY APPROVED WELDING AGENCY.
- PROVISIONS SHALL BE MADE FOR CONNECTIONS OF OTHER TRADES PRIOR TO FABRICATION.
- ALL STEEL MEMBERS SHALL HAVE SHOP COAT OF PRIMER.
- LOOSE LINTELS SHALL HAVE 6" BEARING EACH END.

FOUNDATIONS:
1- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2 TONS PER SQ. FT.
2- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 VERTICAL TO 2 HORIZONTAL SLOPE WITH RESPECT TO ANY OTHER ADJACENT FOOTINGS.

CONCRETE:
1- ALL CONCRETE SHALL BE STONE AGGREGATE CONCRETE WITH AN ULTIMATE COMPRESSIVE STRENGTH OF 8000 PSI AFTER 28 DAYS.
2- WELDED WIRE FABRIC SHALL HAVE AN ULTIMATE STRENGTH OF 10,000 PSI.
3- ALL STEEL REINFORCEMENT SHALL BE DEFORMED ACCORDING TO ASTM-A615, GRADE 60 AND SHALL HAVE A YIELD POINT OF 40,000 PSI.

MASONRY:
1- CONCRETE BLOCK SHALL CONFORM TO ASTM C-145, GRADE N-1.
2- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "M".
3- NO VINYLIDENE CHLORIDE OR ANY UNAPPROVED CURING ADMIXTURE SHALL BE ALLOWED IN MORTAR MIXTURE.
4- PROVIDE VERTICAL, HORIZONTAL REINFORCEMENTS AT EVERY COURSE JOINT.

ADMINISTRATIVE

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE SUPERVISION OF WORK. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CHANGES ON THE APPROVED PLANS.

NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE GOVERNING AGENCIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. HE SHALL REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AS REQUIRED BY LOCAL AGENCIES.

DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES. LARGE SCALE DRAWINGS TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS.

NO WORK IS TO BE STARTED UNTIL THE PLANS ARE APPROVED BY THE NEW YORK CITY DEPT. OF BUILDING AND A WORK PERMIT IS OBTAINED.

THESE NOTES ARE PART OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ARE TO BE FULLY COMPLIED WITH IN ALL RESPECT. THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING CONSTRUCTION.

FOUNDATION AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED ON THE INFORMATION CONTAINED WITHIN THE BORINGS AND/OR TEST FITS AS FURNISHED BY THE OWNER. EXACT FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON CONTROLLED INSPECTIONS OF SUBSOIL CONDITIONS AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES TO VERIFY EXACT LOCATIONS OF THEIR UTILITY LINES, SERVICE AND OTHER POSSIBLE EQUIPMENT.

THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING SITE.

PRIOR TO COMMENCEMENT OF WORK THE ADJACENT PROPERTY OWNERS SHALL BE GIVEN 5 DAYS WRITTEN NOTICE BY CERTIFIED MAIL WHERE ADJACENT PROPERTY IS AFFECTED BY FOUNDATIONS, GRADING EARTH WORK OR DEMO WORK.

AN ACCURATE AND COMPLETED SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED TO THE APPLICANT OF RECORD AFTER COMPLETION OF WORK SHOWING THE LOCATION AND ELEVATIONS OF ANY NEW BUILDING OR EXTENSION, FINISHED FLOOR ELEVATION, GRADE ELEVATIONS AND SHALL COMPLY TO THE MINIMUM STANDARDS OF THE NYS SPLS.

SCOPE OF WORK:

PROVIDE 2 STORY ADDITION AND RENOVATION TO EXISTING ONE AND HALF STORY STRUCTURE. PROVIDE FOR NEW DRIVEWAY, DECK AND GAZEBO. REMOVE EXISTING TREES UNDER SEPARATE PERMIT.

SEPARATE APPLICATIONS

- PLUMBING PERMIT
- ELECTRICAL PERMIT
- TREE REMOVAL
- SEPTIC DESIGN

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITIES, SEWER, WATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.

CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL FITS, SLAB DEPRESSIONS, SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.

CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHENEVER DAMAGE SHOULD RESULT FROM SUCH WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACINGS FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.

CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENSES, CERTIFICATES, FEES, ETC., REQUIRED BY THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.

ALL WORK MUST CONFORM TO THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. (O.S.H.A. REGULATIONS MUST ALSO BE ADHERED TO). ALL ELECTRICAL WORK MUST CONFORM TO NATIONAL ELECTRIC CODE.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE FIGURED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, (STANDARD FORM OF A.I.A. LATEST EDITION A201), ARE PART OF THE CONTRACT DOCUMENTS.

WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS.

SUBCONTRACTORS SHALL GUARANTEE IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

CONTRACTOR SHALL APPLY TAPING COMPOUND IN 3 COATS TO ALL JOINTS OF ALL SHEETROCK. SHALL PROVIDE TWO COAT HIGH GLOSS PAINT IN THE KITCHEN AREA AND A SATIN FINISH COAT AT ALL OTHER AREAS, INCLUDING CEILINGS. CONTRACTOR TO PROVIDE NEW CERAMIC TILE THROUGHOUT KITCHEN, BATHROOMS, LAUNDRY ROOMS AND ALL OTHER NET FLOOR AREAS, COLORS AS SELECTED BY OWNER. SUBCONTRACTOR IS TO PROVIDE ALL FINISH HARDWARE AS REQUIRED BY THE OWNER FOR ALL NEW DOORS.

SCOPE OF WORK PERTAINS TO THE RENOVATION/ADDITION TO EXISTING ONE FAMILY DWELLING. THESE PLANS ARE BASED ON THE 2020 RCNYS (APPENDIX J, ALTERATION LEVEL 2-CHAPTER 6), THE TOWN OF NORTH CASTLE MUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

ENERGY CODE REQUIREMENTS: PRESCRIPTIVE METHOD ZONE 4A CRITERIA (RCNY, 2020-N 102.1.2):
1- U FACTOR @ GLAZING : .52
2- U FACTOR @ SKYLIGHT : .55
3- U FACTOR @ SHGC : .40
4- R VALUE @ ROOF: R-4.5
5- R-VALUE @ MD FRAME WALL: R-21
6- R-VALUE @ MASE WALL: R-13
7- R-VALUE @ FLOOR: R-25
8- R-VALUE @ BASEMENT WALL: R-13
9- R-VALUE @ SLAB: R-10, 2 FT PERIM.
10- R-VALUE @ CRACK SPACE WALL: R-14
11- MAX INFILTR. @ WDWS SKLTS : 0.3 CFM/SF
12- MAX INFILTR. @ SWING, DR3S : 0.3 CFM/SF
13- MIN. 75% -HIGH EFFICACY LAMP
14- TESTING PER N 102-4.1.2

TOM F. ABILLAMA, R.A. ARCHITECT

ROUGH CARPENTRY:

- Framing and structural lumber: Douglas Fir # 1, Fc= 1050 psi, E= 1,600,000, Fv= 95 psi. All joists and rafters to have diagonal bracing 3"-Ø" o.c. maximum. Solid blocking under ceramic tile. Members of built-up girders, headers or lintels shall be spiked or bolted together to act as one unit.
- Cross bridging of joists 1- 1/4" x 3" max, 8'-0" o.c. Collar ties at cathedral ceilings, 2- 2 x 6 @ 4'-0" o.c. max. Exterior carpentry at porches shall be c.c.a. treated as indicated on drawings. Ornamental posts shall be of a nominal size 6"x6" - pine.
- Wood deck 3/4" thick T & G Redwood decking. Deck shall pitch slightly for water runoff.
- Flywood shall meet the requirements of APA requirements and specifications.
- Wall and roof sheathing: 5/8" thick, C-D - Ext- Apa, Exterior glue
- Subflooring: 5/8" thick, C-D - Ext - Apa, exterior glue Underlayment: 3/8" thick -
- Underlayment INT- Apa Exterior glue
- All wood beams to have a minimum bearing of 4". Double all joists under all partitions.
- All details of construction; lintels, headers, posts, beams, framing, nailing, etc. shall comply with all minimum standards of New York State Code.
- Contractor to do all necessary firestopping of stud partitions and pipe chases, as required by N.Y. State Code whether specifically shown or not.
 - Lumber schedule: Miscellaneous lumber, furring, bridging blocking to be grade #2 of any species ample in strength to meet the requirements thereof.
 - Wooden trimmers, headers, and tall joists over six feet in length, unless supported on walls or girders, shall be hung in approved metal stirrups, or hangers.
 - Every six feet, at least one beam or joist which rests on masonry walls, shall be secured to such walls by approved metal anchors attached in a manner at or near bottom to be self-releasing.
 - The ends of wooden beams and joists resting on masonry walls shall be cut to a bevel of three inches in their depth. All girders to bear minimum of 8" on masonry.
 - Provide shelf and coat pole in all closets with five shelves in linen closet. 16. Finish woodwork shall be dressed and sanded, free from machine and tool marks, abrasions raised grain or other defects on surfaces exposed to view in the finished work.
 - Wood finish shall be set straight, plumb and level in true alignment, closely fitted and rigidly secure in place. Nail heads of exposed nailing shall be countersunk. All work shall be left clean, free from warp, twists, open joints and other defects.
 - Interior miscellaneous finish carpentry and woodwork to be "C" select of white pine, oak, or yellow poplar.
 - Interior doors to be clear birch, stain grade.
 - Caulk at all doors and window frames, joints and other surfaces which require the closing of a joint between any two surfaces not of the same material. Caulking compound shall be silicone equal to Thicker Sealant by Torch Brothers.
 - Contractor to do all flashing required whether specifically shown or not. Tape and apply taping compound in 3 coats to all joints of all sheetrock.

ELECTRICAL NOTES

Work related to these documents shall include furnishing and installation of every kind of wire/conduit required to make the electric light and power distribution system complete, i.e. providing and connecting service entrance equipment, lighting panels, power panels, switches, outlets, receptacles, back boxes, related components required by the local utility company of all fixtures complete with lamps, clamps, hangers, supports, etc.

All electrical work shall comply with the requirements of the national electric code, latest edition. Should a conflict arise, the code or more stringent requirements shall prevail.

All wiring shall be copper, # 12 awg minimum size - # 8 and smaller to be solid, # 6 and larger to be stranded. Insulation to be NEC 600 volt type, rated @ 75 degrees C and be properly phase color coded for 120/208 V, 3 phase 4-wire service.

Unless noted otherwise, minimum size conduit shall be 1/2" and number of cross marks. Indicate number of # 12 conductors in conduit. Type of conduit used shall be in strict accordance with code provisions concerning same. All conduit runs are to be concealed in floors, walls, and ceilings, except where noted otherwise.

Electrical installation shall be tested for shorts, grounds, operation of low voltage circuitry, night light wiring, stand-by generator and connections to same, etc. Defects shall be remedied at once and the tests re-run as many times as may be required to prove correctness. Balance all phase loading of all panelboards.

The circuits shall be distinctly numbered and identified on the schedule of circuits typewritten to the panelboard. Affix permanent identifying nameplates to all electrical switches, pilot devices, selector switches, etc. Submit samples and list of titles for approval prior to purchase and installation.

PLUMBING NOTES

Installation of all work herein specified shall conform to the requirements of the NY State Plumbing Code, rules and regulations of the North Castle building department, and all other local authorities having jurisdiction, including federal O.S.H.A. specifications.

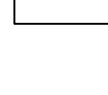
All materials used shall be new, best of their respective brands and conform to the requirements of all state and local authorities having jurisdiction. Pipework installed under this contract shall be in accordance with the following schedule:

- Material
- Soil and waste lines (within building) above grade- extra heavy cast iron pipe or duv copper pipe with sweat solder connections;
 - Below grade- extra heavy cast iron pipe. soil and waste lines (outside building) extra heavy cast iron pipe, vent piping standard weight galvanized pipe or type duv copper pipe with sweat solder joints. cold and hot water piping underground-typek with flare fittings.
 - Above grade (within building) type I copper tube with lead free sweat solder connections
 - Set clevis hangers for the support of copper piping not more than 10 ft on center. set hangers for cast iron pipe not more than 5 ft apart; use 3/8" rod for pipe up to 2" and 1/2" rod for pipes, 2 1/2" and larger. cover all cold water and hot water lines with 1" thick o-c fiberglass light density one piece pipe insulation having frk universal type vapor barrier outer jacket. install as per manufacturer's specifications. cover all valves and fittings with zeston premoulded insulating shapes.

STEEL NOTES

- All Structural Steel Shall Conform With Aisc Specifications For Structural Steel For Buildings, And Shall Be Based On Astm-A36 With Minimum Yield Point Of 36,000Psi.
- All Connection Material Shall Conform To ASTM Requirements:
 - High Strength Bolts : A325.
 - Welding Electrodes : AWS-A5.1, E70 Series.
 - Bolts Shall Be 3/4" Diameter.
 - Open Holes Shall Be 1/8" OVER DIAMETER, UNLESS OTHERWISE INDICATED.
- All Welding Shall Be Done By Licensed Welders And Shall Be Inspected By Approved Welding Agency.
- Provisions Shall Be Made For Connections Of Other Trades Prior To Fabrication.
- All Steel Members Shall Have Shop Coat Of Primer.
- Loose Lintels Shall Have 6" Bearing Each End.

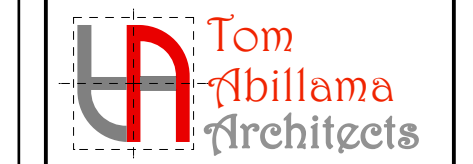
Ground Snow Load (psf)	Wind Design			Seismic Design Category	Subject To Damage From:		Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp.		
	Speed	Topographic Effects	Special Region Winds		Wind Born Debris Zone	Weathering						Post-Line Depth	
50	115 Mph	No	No	No	B	Severe	3'-6"	Moderate to Heavy	74	Yes	FIRM map S&H RECORDS 4/11/2007	1800 or less	52.2°F



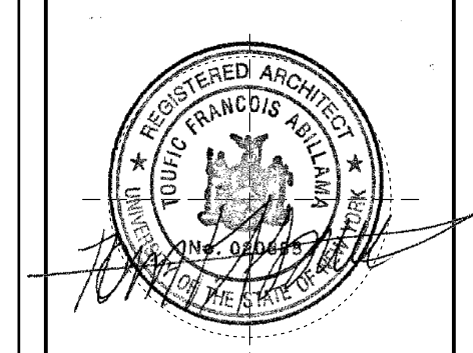
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OWNER:

MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
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KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, NY
SBL: 101.01/13 ZONE: R-1A

COVER SHEET/MAP /NOTES

Project ID / DATE: 2048 / 10.15.2020

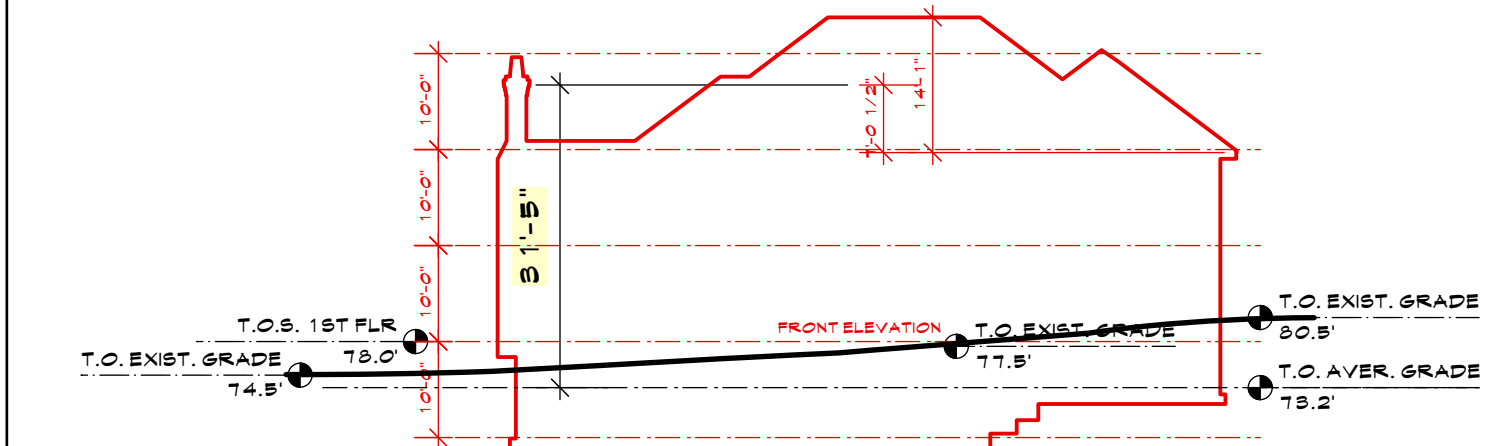
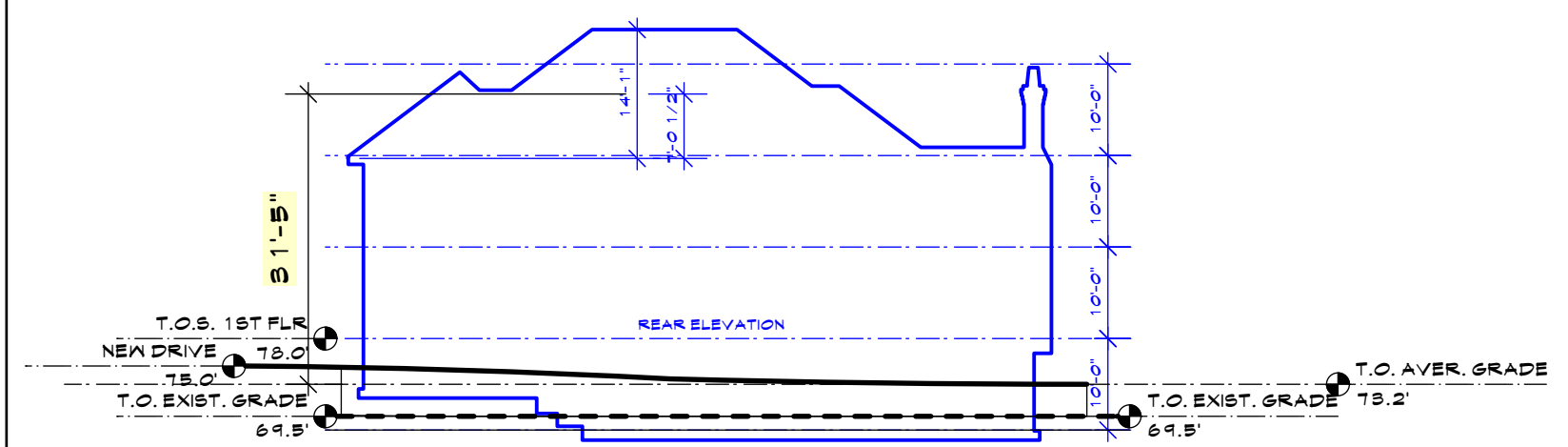
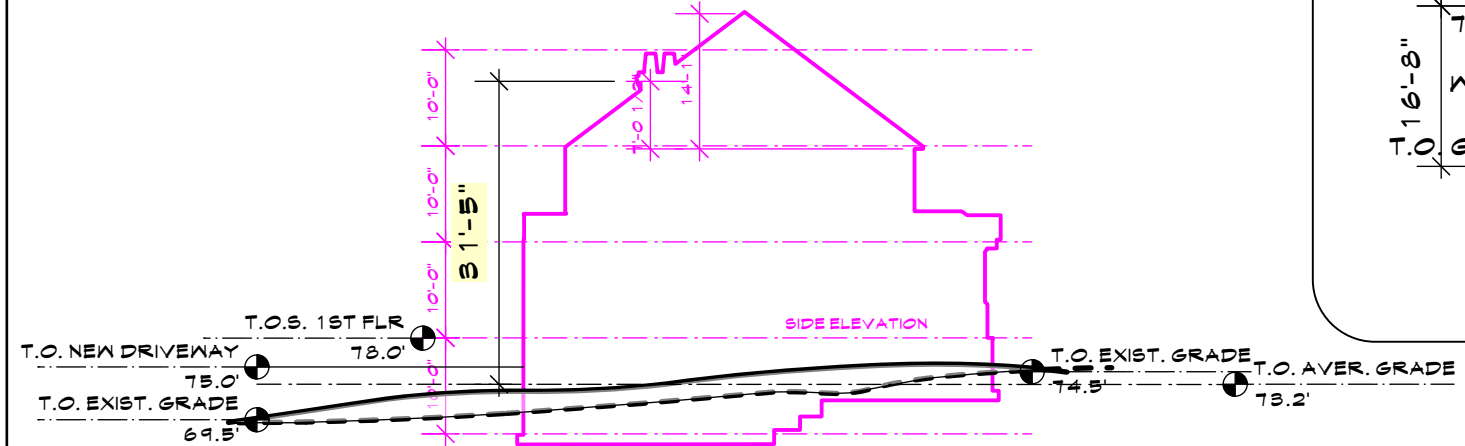
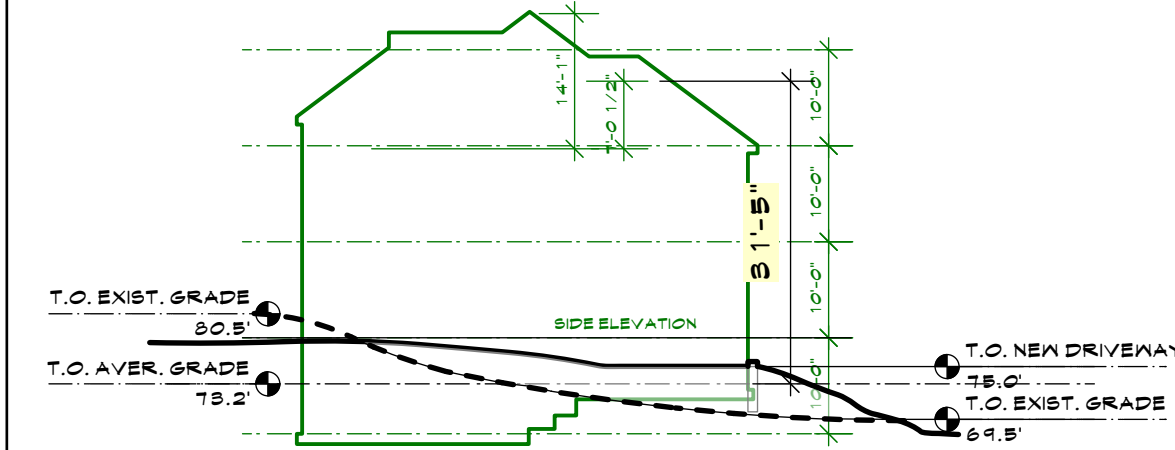
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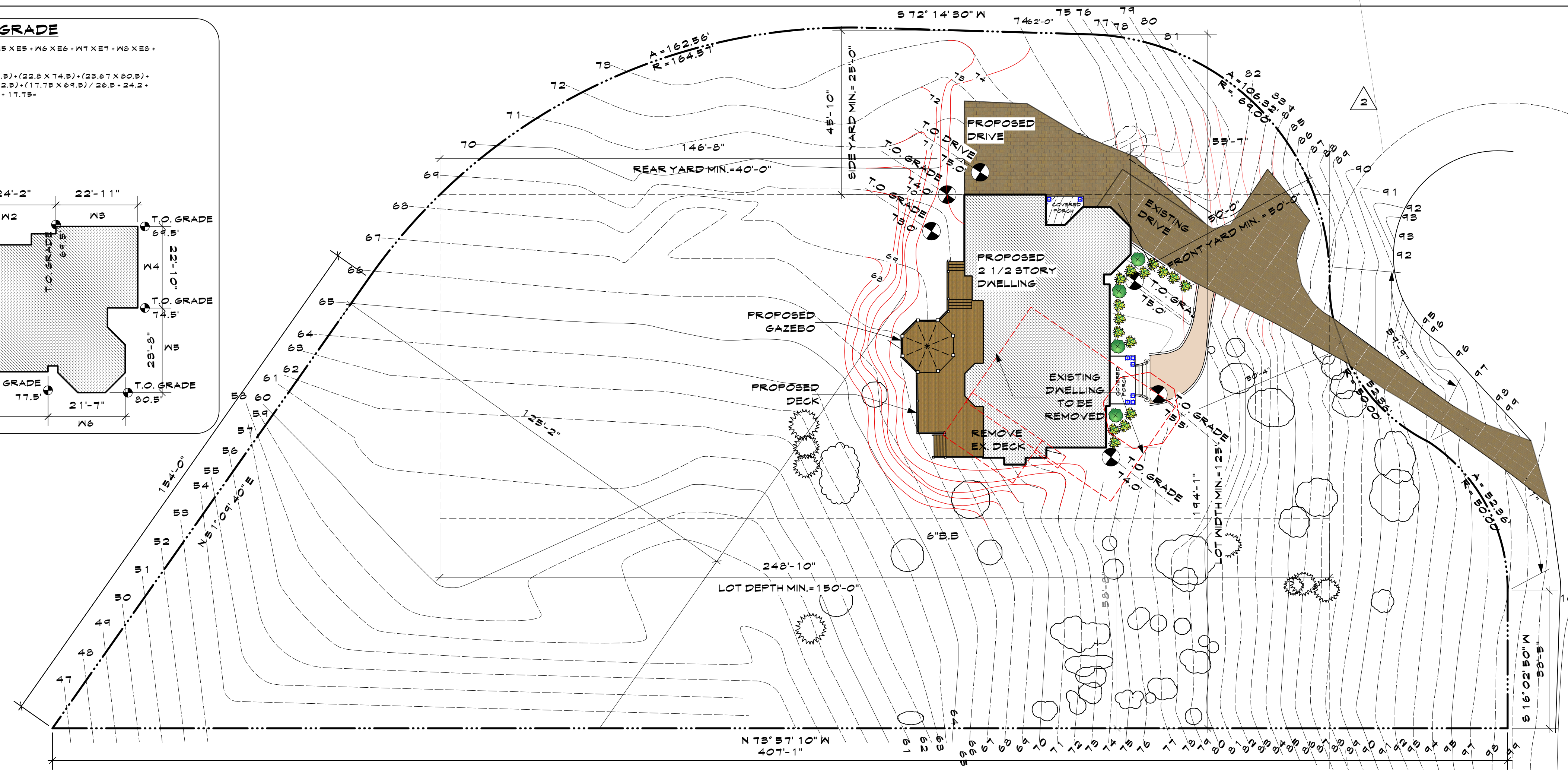
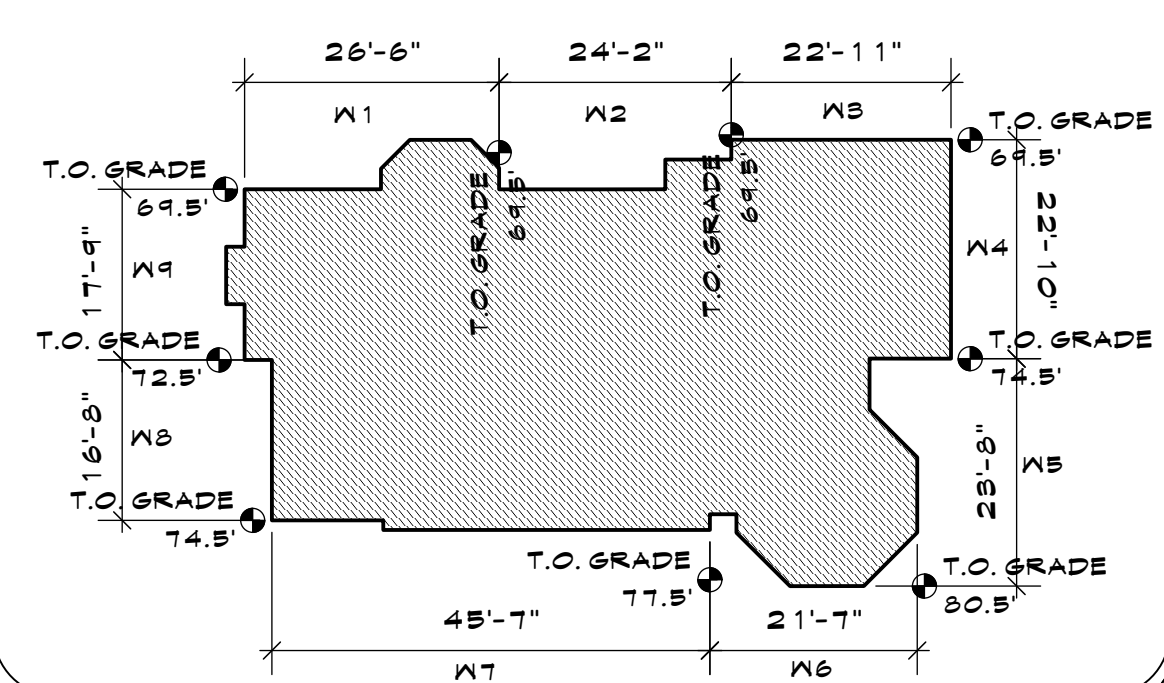
MAX. BUILDING HEIGHT

PER RPRC DETERMINATION LETTER DATED 01/05/2021,
MAX. BUILDING HEIGHT TO BE 36'-0"

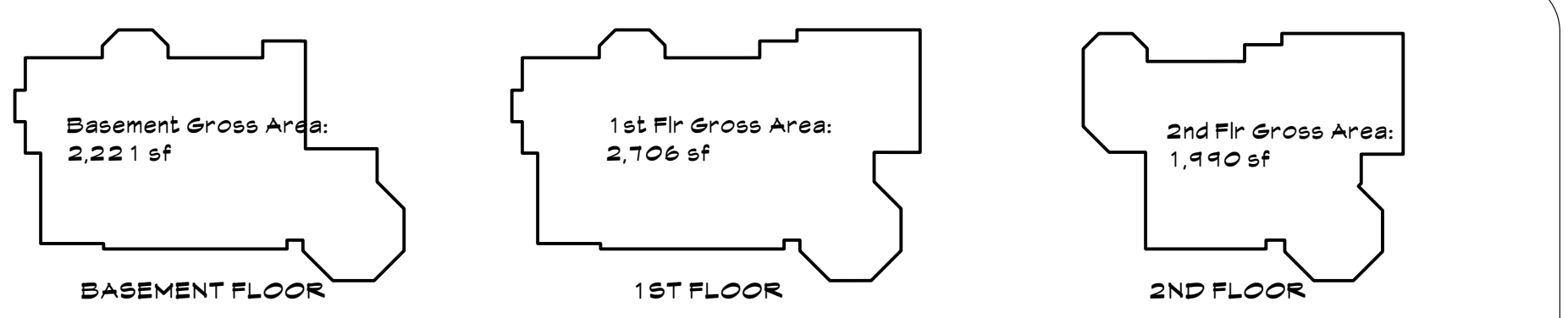


AVERAGE GRADE

$M1 \times E1 + M2 \times E2 + M3 \times E3 + M4 \times E4 + M5 \times E5 + M6 \times E6 + M7 \times E7 + M8 \times E8 + M9 \times E9$
 $M1 \times M2 + M3 \times M4 + M5 \times M6 + M7 \times M8 + M9 \times M9$
 $(28.9 \times 64.8) + (24.2 \times 64.8) + (22.9 \times 64.8) + (22.9 \times 74.5) + (29.67 \times 80.5) +$
 $(21.6 \times 77.5) + (45.6 \times 74.5) + (16.67 \times 72.5) + (17.75 \times 64.8) / 28.9 + 24.2 +$
 $22.9 + 22.9 + 29.67 + 21.6 + 45.6 + 16.67 + 17.75$
 $16,292.69 / 221.64 = 73.52'$
 LESS THAN 5'-0" ABOVE AVG. GRADE



1 SITE PLAN
Scale: 1" = 20'-0"



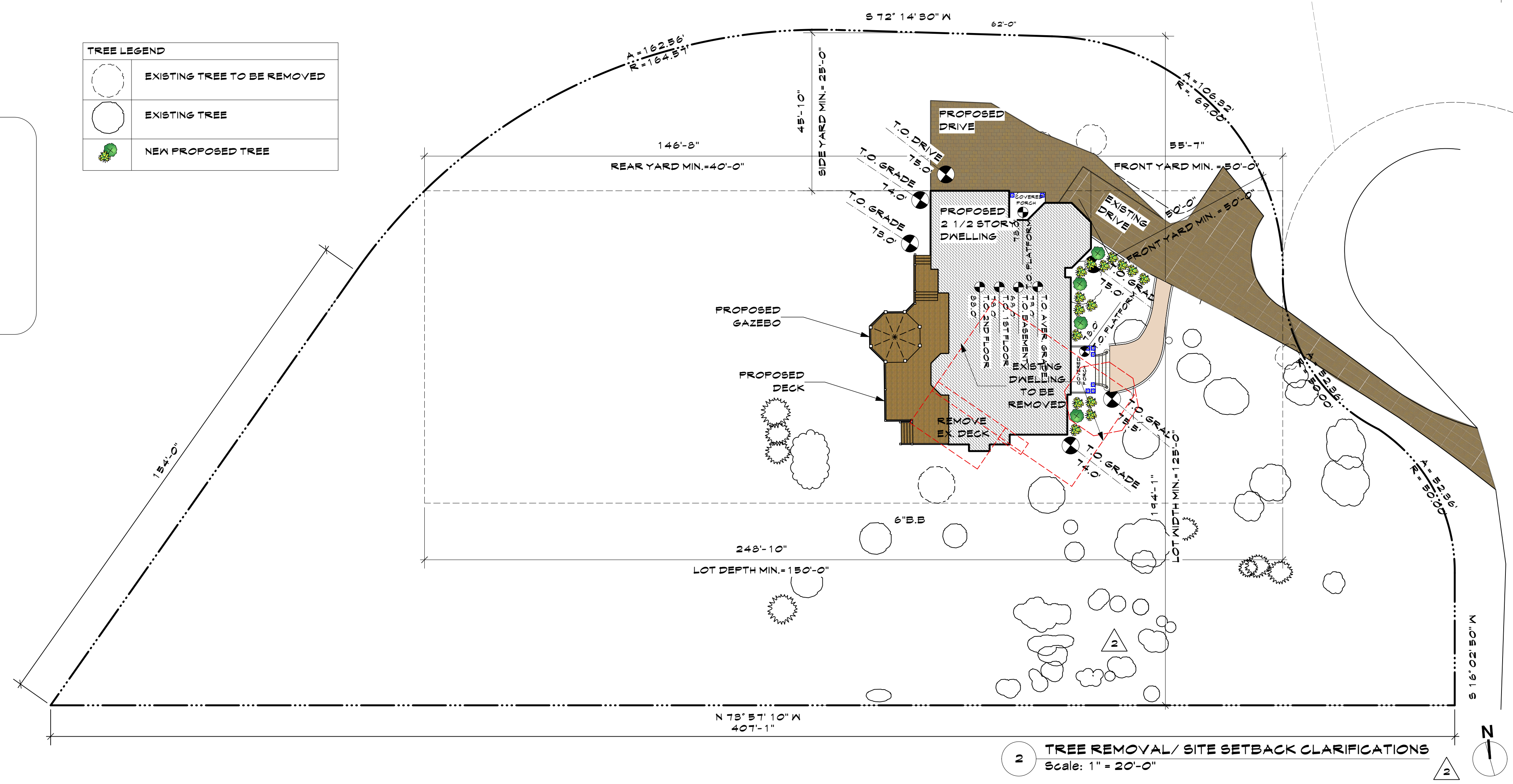
TOTAL GFA AREA: 2,221 + 2,706 + 1,990 = 6,917 S.F.
GROSS FLOOR AREA DIAGRAM

TREE LEGEND

	EXISTING TREE TO BE REMOVED
	EXISTING TREE
	NEW PROPOSED TREE

ZONING COMPLIANCE CHART

ZONING DISTRICT	R-1A, ONE FAMILY RESIDENCE DISTRICT		REMARK
DESCRIPTION	REQUIRED OR ALLOWED	PROPOSED	
MIN. LOT AREA	1 acres	1.33 acres	PERMITTED
MIN. LOT FRONTAGE	125 FT	125'-0"	PERMITTED
MIN. LOT WIDTH	125 FT	194'-1"	PERMITTED
MIN. LOT DEPTH	150 FT	248'-10"	PERMITTED
MIN. FRONT YARD	50 FT	50'-0"	PERMITTED
MIN. SIDE YARD	25 FT	45'-10" FT	PERMITTED
MIN. REAR YARD	40 FT	146'-8" FT	PERMITTED
HEIGHT	30'-0"	30'-0" FT	PERMITTED
BLDG. COVER%	4350 SF + 9% OF LOT AREA IN ACCESS OF 1.0 AC = 10644 SF	6,211 SF	PERMITTED
MAXIMUM PERMITTED GROSS FLOOR AREA	7727 SF + 6% OF LOT AREA IN ACCESS OF 1.0 AC = 9021 SF	7,780 SF	PERMITTED



2 TREE REMOVAL/ SITE SETBACK CLARIFICATIONS
Scale: 1" = 20'-0"

BYRAM RIDGE ROAD

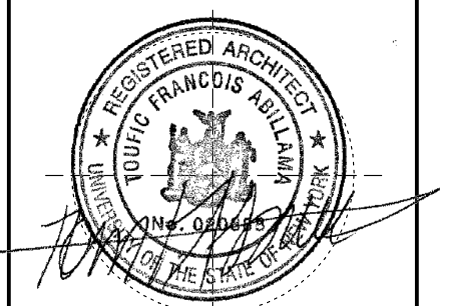
BYRAM RIDGE ROAD

3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914.668.4673
FAX: 914.668.1831
EMAIL: FILES@TFARA.COM



SEAL

KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

SITE DIAGRAMS & ZONING

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

SP.2

Drawn By: KM Checked By: TFA
Plot Date: MAY 10, 2021

STORMTECH SC-740 CHAMBER

Designed to meet the most stringent industry performance standards for superior structural integrity while providing designers with a cost-effective method to save valuable land and protect water resources. The StormTech system is designed primarily to be used under parking lots, thus maximizing land usage for private (commercial) and public applications. StormTech chambers can also be used in conjunction with Green Infrastructure, thus enhancing the performance and extending the service life of these practices.

STORMTECH SC-740 CHAMBER

(not to scale)

Nominal Chamber Specifications

Size (L x W x H)
85.4" x 51" x 30"
2,170 mm x 1,295 mm x 762 mm

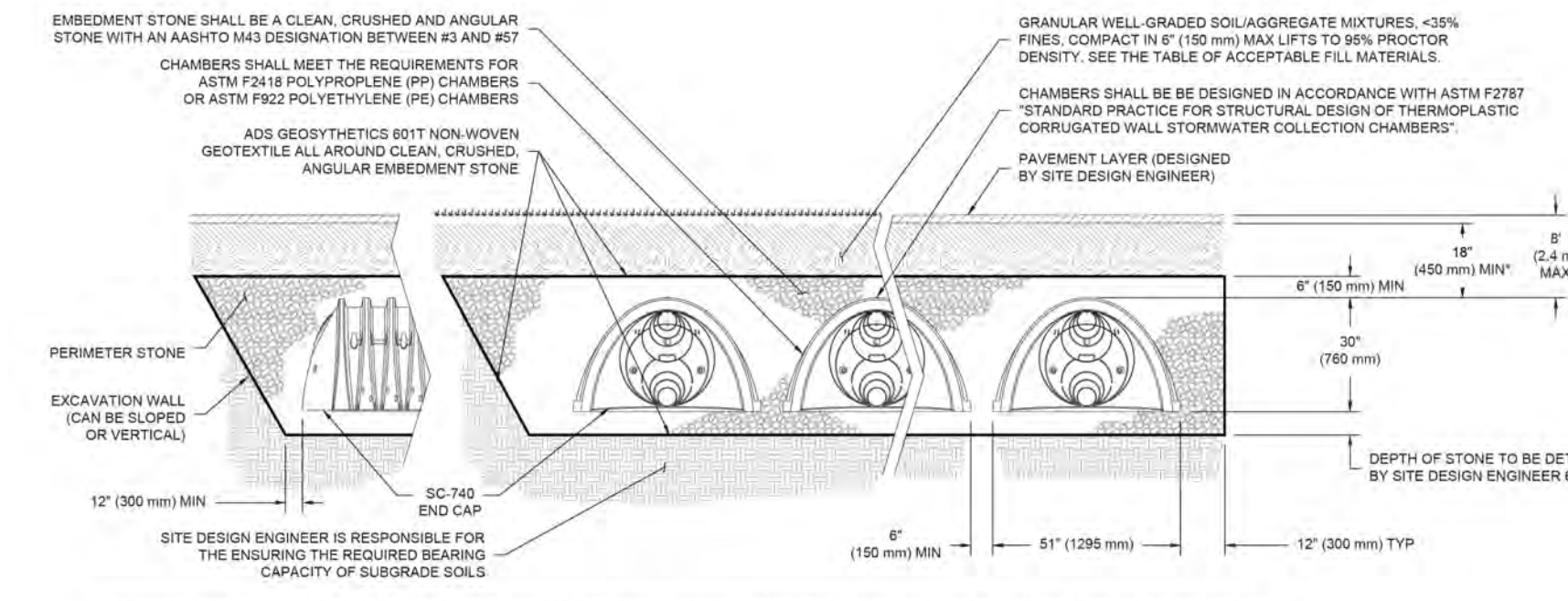
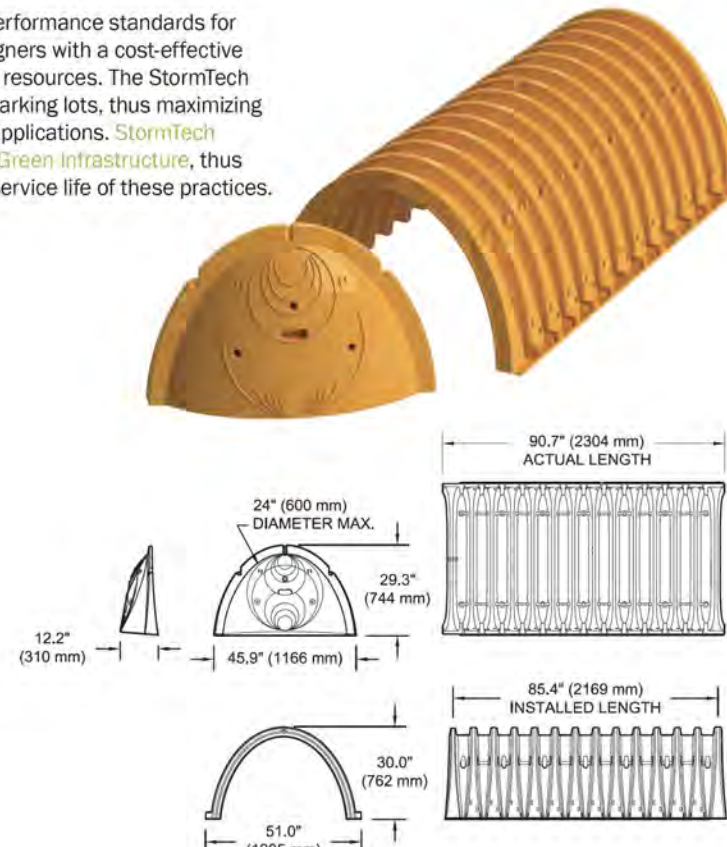
Chamber Storage
45.9 ft³ (1,30 m³)

Min. Installed Storage*
74.9 ft³ (2,12 m³)

Weight
74.0 lbs (33.6 kg)

Shipping
30 chambers/pallet
60 and caps/pallet
12 pallets/truck

*Assumes 4" (100 mm) stone above, below and between chambers and 40% stone porosity.



Storm Water Design

Storm Design based on a 9 inch storm in 24 hours (Using STORMTECH SC-740 CHAMBER)

The existing lot involves 1 family dwelling, driveway & deck.

The existing lot area is 5,259 ft².
The total proposed impermeable surfaces (house and paved areas) add up to 9,312 ft².
The following is a stormwater analysis for the above conditions.

Curve number for pre-development: 15. Run off coefficient: 4.93
Curve number for post-development: 49. Run off coefficient: 6.96
Delta in run off coefficient: 6.96 - 4.93 = 2.03
Calculate volume.

Area X Delta / 12 = Volume (ft³)
9,312 x 2.03 / 12 = 158 ft³

Percolation Capacity
(Perc test yielded a high of 6 minutes per inch we will use a conservation rate of 20 minutes per inch)

Area of Perc = 2,23 ft²
Volume of Perc = 0.196 ft³

Soil Perc Rate (SR) = Volume/Area/Time = 0.196/2.23/60 minutes = 0.00146
SR = 1.962 or 1.11715 with 25% clogging

740HD: VOLUME PER UNIT: Chamber 74.9 CF.

Total PERCOLATION PER CULTEC:
7.1' x 4.25' x 1.11715 = 33.71 CF.

Volume: 74.9 x 33.71 = 105.61 CF
Total Volume 126 / 105.61 = 5.68 OR
USE 6 CHAMBERS

Proposed 6- SC-740 Chambers

SC-740 CHAMBERS

Maintenance Guidelines

- The following guidelines shall be adhered to for the operation and maintenance of the CULTEC stormwater management system:
- A. The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
- B. The operation and maintenance procedure shall be reviewed periodically and changed to meet site conditions.
- C. Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
- D. Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.
- E. No trees to be planted above culter tanks and 15' away, ground planting and flower w/ shallow roots allowed.

DEMOLITION:
1- CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION OF WORK SHOWN ON DRAWINGS.
2- HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAIL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE.
3- HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST, HE SHALL PROTECT UTILITY LINES AS REQUIRED.

- SITE CLEARING**
FART 1 - GENERAL
1.1 RELATED DOCUMENTS
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
1.2 SUMMARY
A. This Section includes the following:
1. Removing trees and other vegetation.
2. Clearing and grubbing.
3. Topsoil stripping.
4. Removing above-grade site improvements.
B. Related Sections include the following:
1. Division 1 Section "Construction Facilities and Temporary Controls" for temporary security and protection facilities, and environmental protection measures during site operations.
2. Division 2 Section "Earthwork" for soil materials, excavating, backfilling, and site grading operations.
3. Division 2 Section "Landscaping" for finish grading placing and preparing topsoil for lawns and planting.
1.3 DEFINITIONS
A. Topsoil: Natural or cultivated surface-soil layer containing organic matter and sand, silt, and clay particles; friable, pervious, and black or a darker shade of brown, gray, or red than underlying subsoil; reasonably free of subsoil, clay lumps, gravel, and other objects more than 2 inches (50 mm) in diameter; and free of weeds, roots, and other deleterious materials.
1.4 MATERIALS OWNERSHIP
A. Except for materials indicated to be stockpiled or to remain Owner's property, cleared materials shall become Contractor's property and shall be removed from the site.
1.5 SUBMITTALS
A. Photographs or videotape, sufficiently detailed, of existing conditions of trees and planting, adjoining construction, and site improvements that might be mis-constructed as damage caused by site clearing.
B. Record drawings according to Division 1 Section "Contract Closeout."
1.6 PROJECT CONDITIONS

EMBEDMENT STONE SHALL BE A CLEAN, CRUSHED AND ANGULAR STONE WITH AN AASHTO M45 DESIGNATION BETWEEN #3 AND #67 CHAMBERS SHALL MEET THE REQUIREMENTS FOR ASTM F248 POLYPROPYLENE (PP) CHAMBERS OR ASTM F922 POLYETHYLENE (PE) CHAMBERS ADD GEOTEXTILES (NOT NON-WOVEN GEOTEXTILE ALL AROUND CLEAR CRUSHED ANGULAR EMBEDMENT STONE)
GRAVELLY WELL-SORTED SOLIDAGGREGATE MIXTURE, #38 FINE, COMPACT TO 15% MAX. TO PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS.
CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
PAVEMENT LAYER (DESIGNED BY SITE DESIGN ENGINEER)
PERIMETER STONE
EXCAVATION WALL (CAN BE SLOPED OR VERTICAL)
12" (300 mm) MIN. END GAP
SITE DESIGN ENGINEER IS RESPONSIBLE FOR THE ENGINEER THE REQUIRED BEARING CAPACITY OF SUBGRADE SOILS
DEPTH OF STONE TO BE DETERMINED BY SITE DESIGN ENGINEER (150 mm) MIN.
12" (300 mm) TYP.
150 mm MIN.
51" (1295 mm)
30" (762 mm)
MINIMUM COVER TO BOTTOM OF FLEXIBLE PAVEMENT: FOR UNPAVED INSTALLATIONS WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24" (600 mm).

Storm Water Design

Storm Design based on a 9 inch storm in 24 hours (Using STORMTECH SC-740 CHAMBER)

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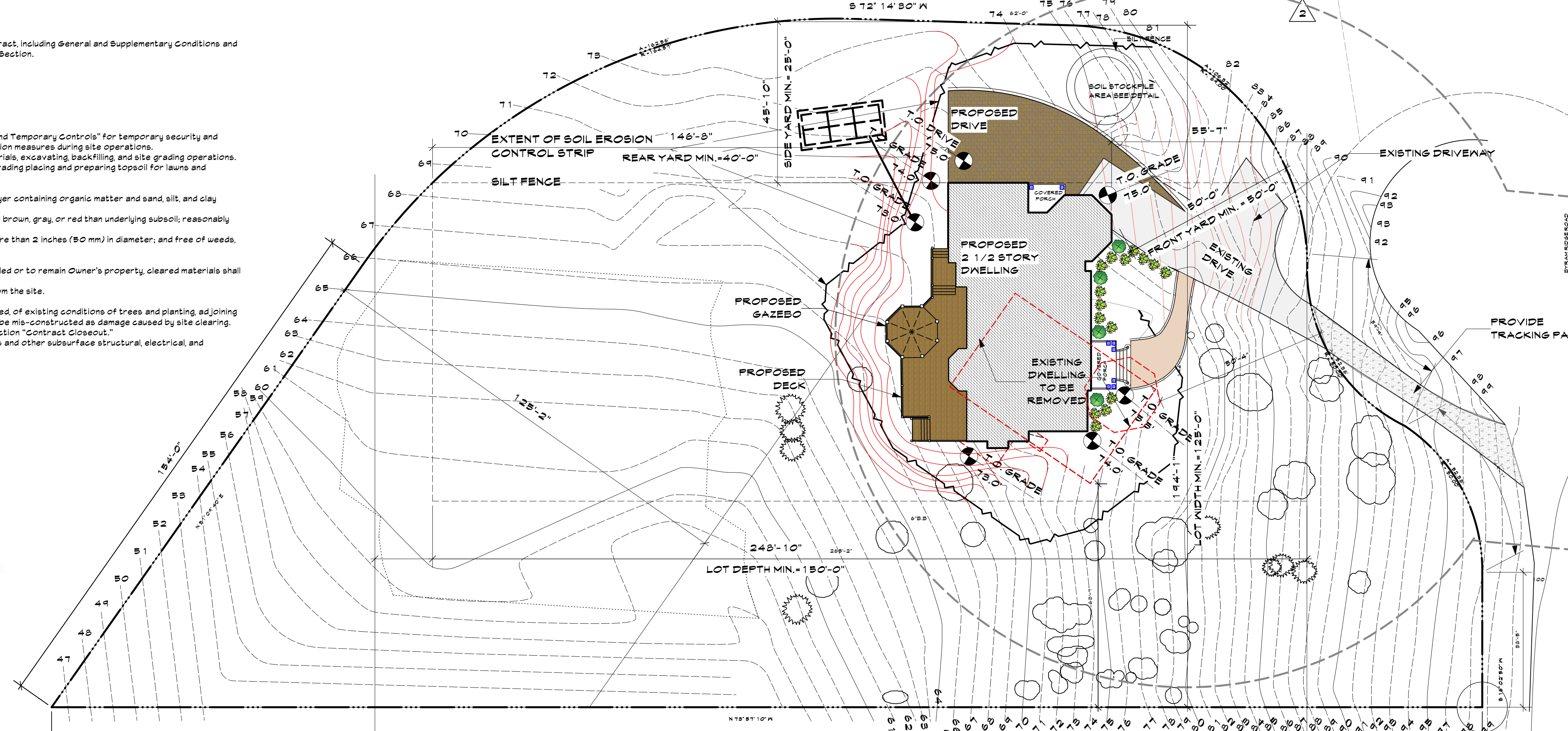
Proposed 6- SC-740 Chambers

SC-740 CHAMBERS

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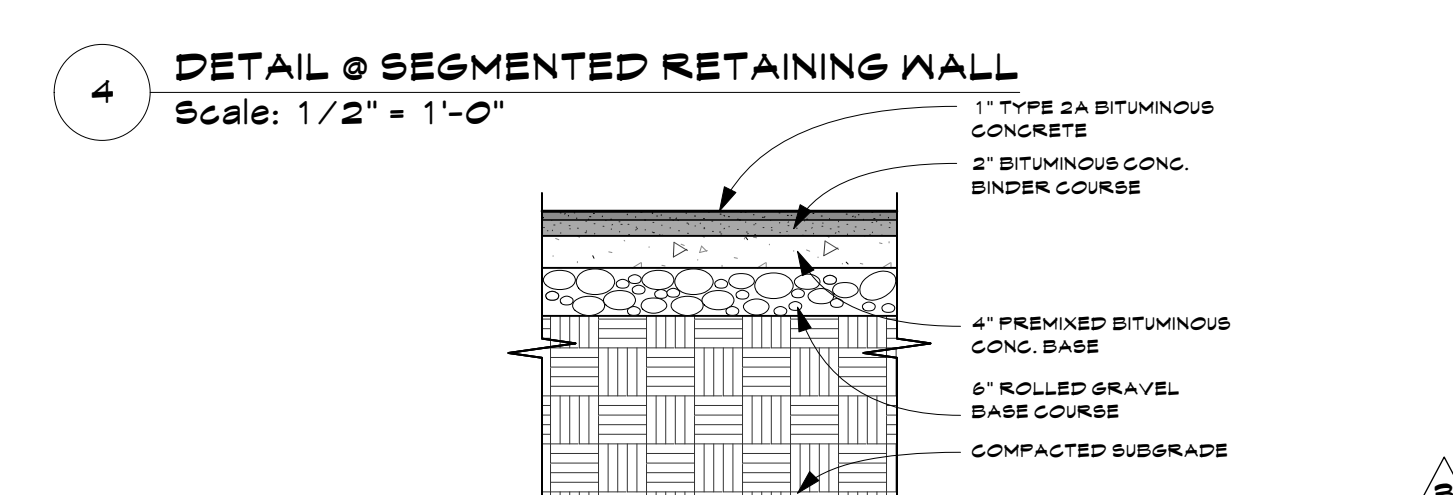
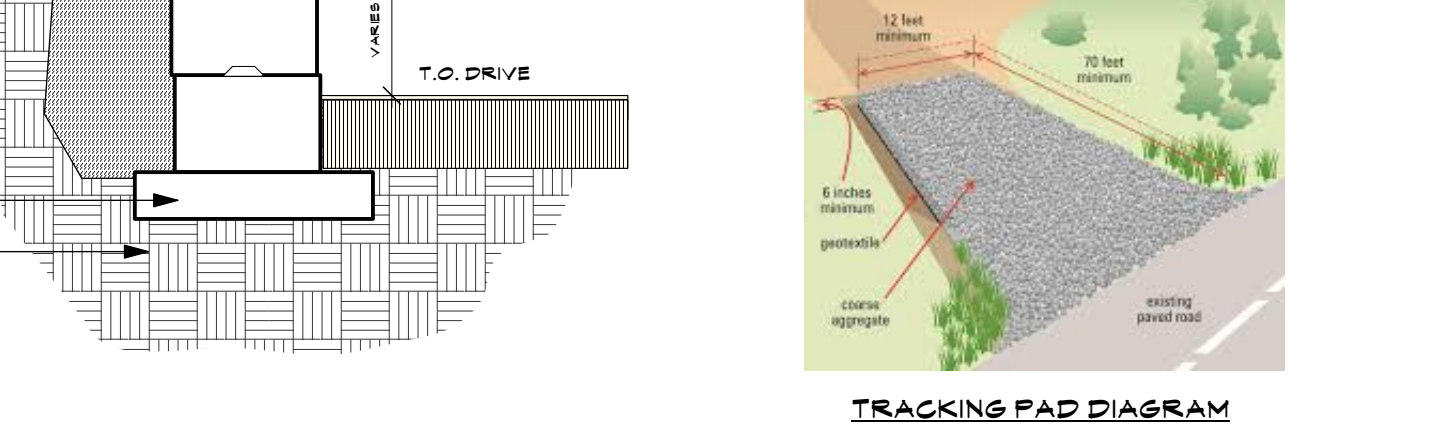
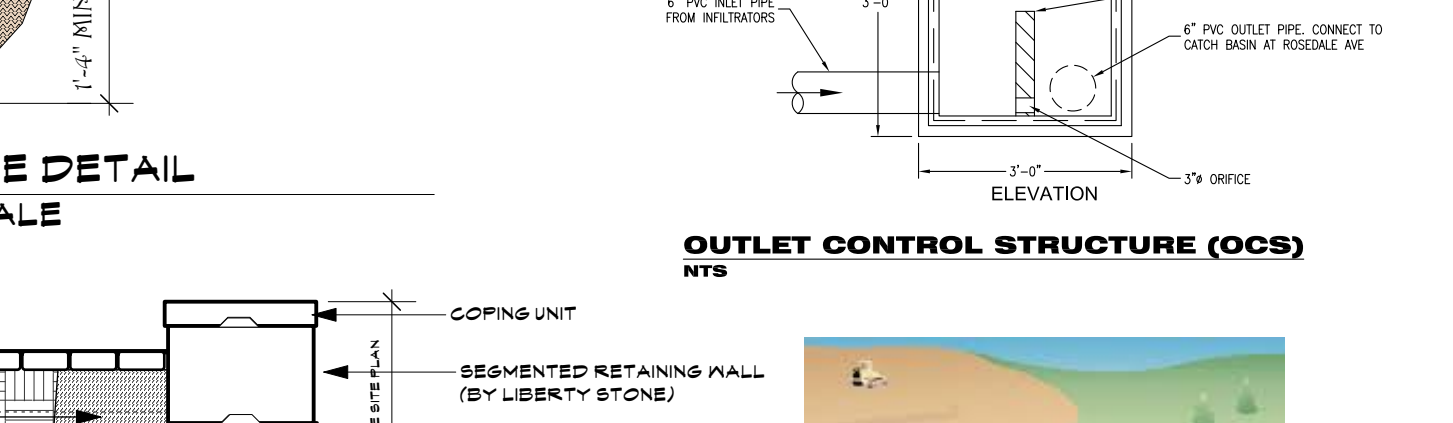
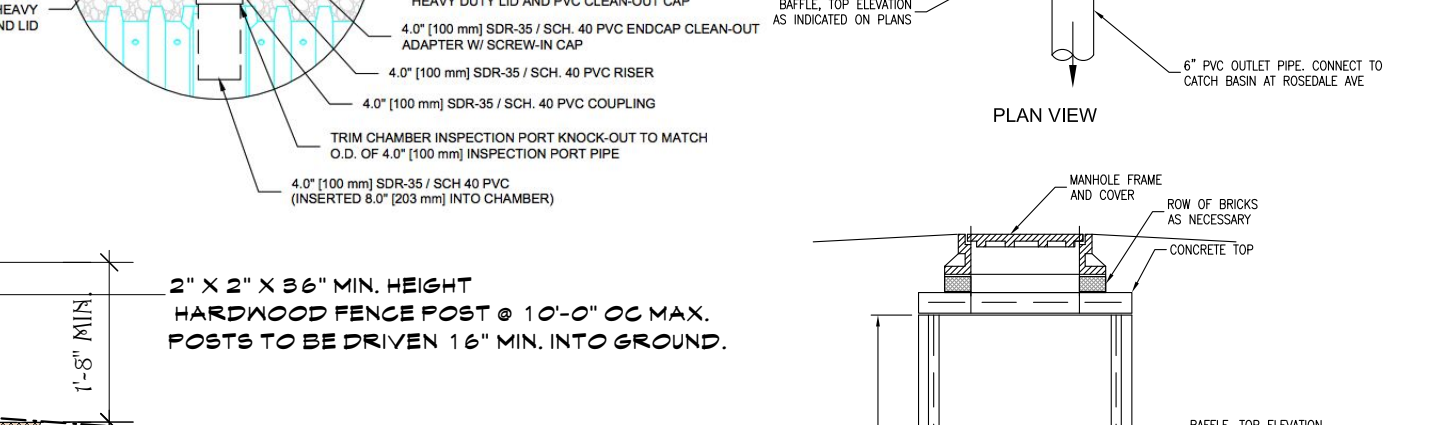
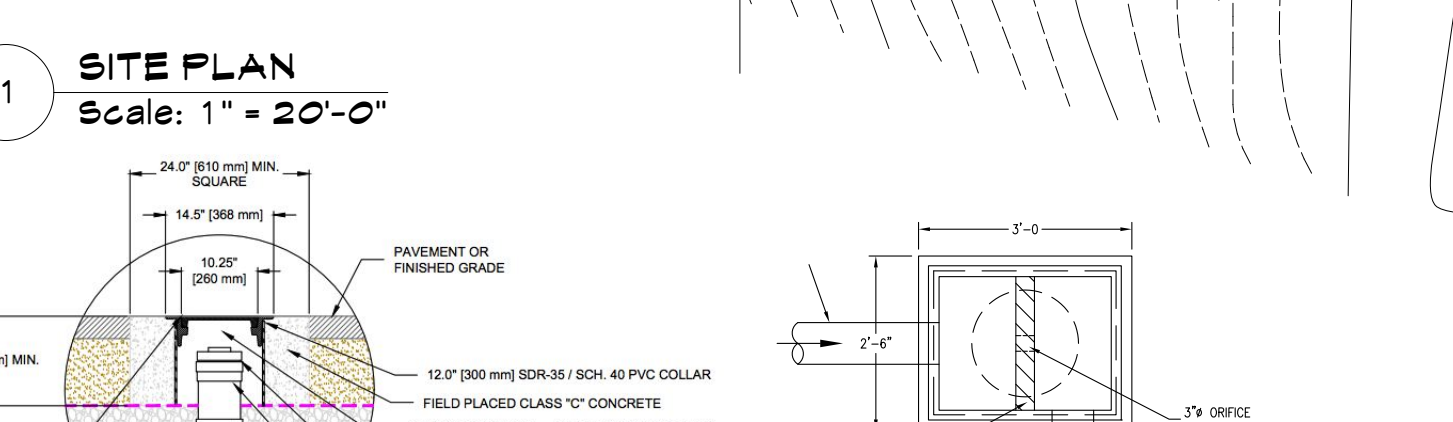
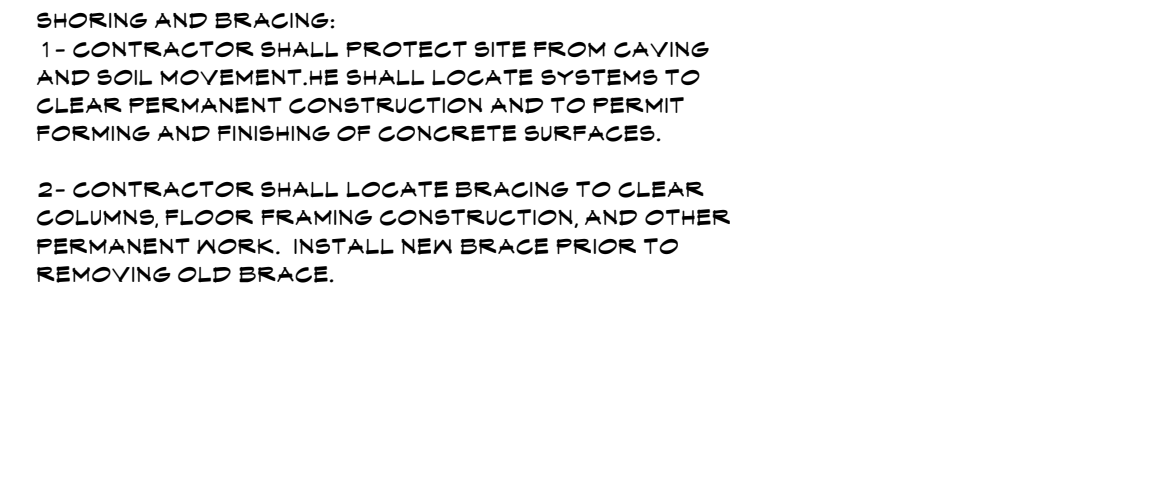
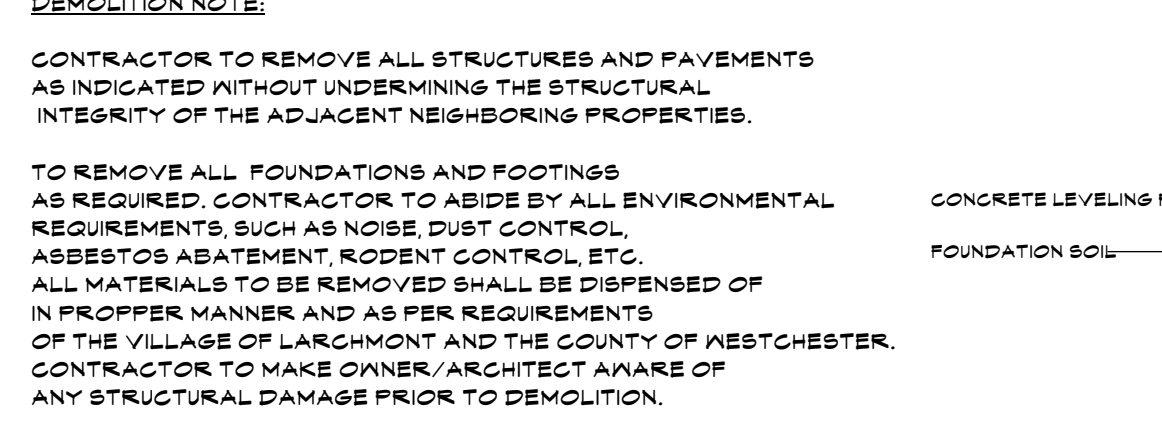
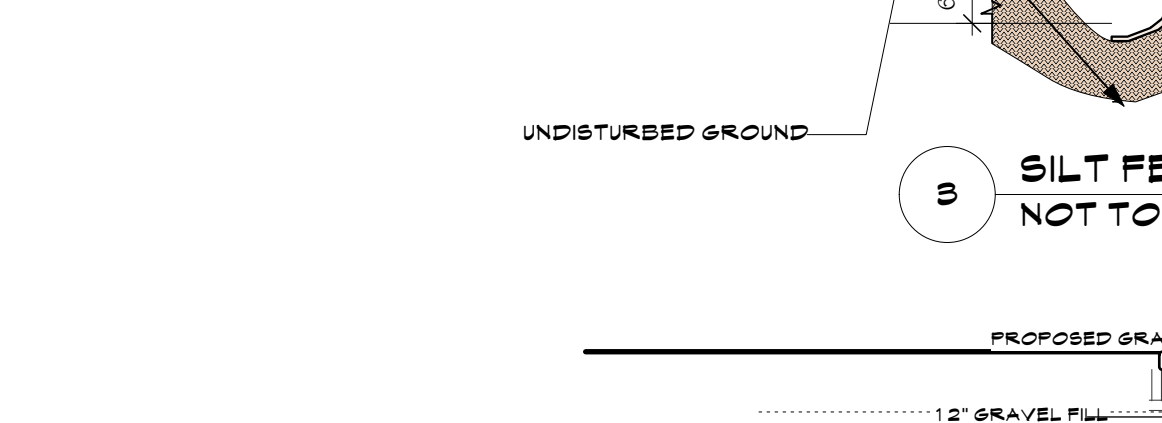
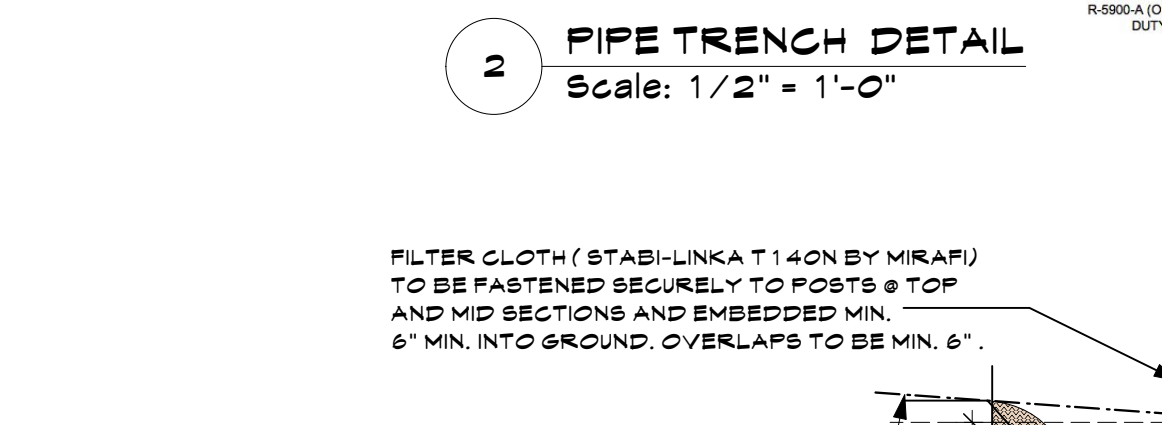
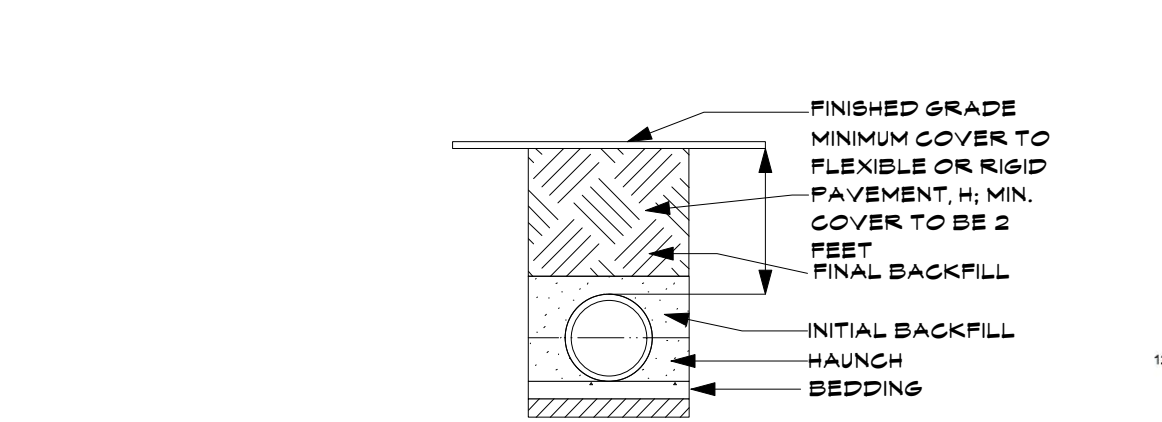
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1. Additional Excavation: Excavation below subgrade elevations as directed by Architect. Additional excavation and replacement material will be paid for according to Contract provisions for changes in the work.
2. Bulk Excavation: Excavations more than 10 feet (3 m) in width and pits more than 30 feet (4 m) in either length or width.
3. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated dimensions without direction by Architect. Unauthorized excavation, as well as remedial work directed by Architect, shall be without additional compensation.
4. Subgrade: Surface or elevation remaining after completing excavation, or top surface of a fill or backfill immediately below sub base, drainage fill, or topsoil materials.
K. Utilities include on-site underground pipes, conduits, ducts, and cables, as well as underground services within buildings.
1.4 SUBMITTALS
A. Product Data: For the following:
1. Each type of plastic warning tape.
2. Drainage fabric.
3. Separation fabric.
B. Samples: For the following:
1. 30- to 100-lb (14-kg) samples sealed in airtight containers, of each proposed soil material from on-site or borrow sources.
2. 12-by-12-inch (300-by-300-mm) sample of drainage fabric.
3. 12-by-12-inch (300-by-300-mm) sample of separation fabric.
C. Material Test Reports: From a qualified testing agency indicating and interpreting test results for compliance of the following with requirements indicated:
1. Classification according to ASTM D 2487 of each on-site or borrow soil material proposed for fill and backfill.
2. Laboratory compaction curve according to ASTM D 698 for each on-site or borrow soil material proposed for fill and backfill.
1.5 QUALITY ASSURANCE
A. Geotechnical testing Agency Qualifications: An independent testing agency qualified according to ASTM E 824 to conduct soil materials and rock-definition testing, as documented according to ASTM D 5740 and ASTM E 849.
1.6 PROJECT CONDITIONS

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12" (300 mm) TYP.
150 mm MIN.
51" (1295 mm)
30" (762 mm)
MINIMUM COVER TO BOTTOM OF FLEXIBLE PAVEMENT: FOR UNPAVED INSTALLATIONS WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 24" (600 mm).

SECTION 02200 - EARTHWORK
PART 1 - GENERAL
1.1 RELATED DOCUMENTS
A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.
1.2 SUMMARY
A. This Section includes the following:
1. Preparing sub-grades for slabs-on-grade, walks, pavements, lawns, and plantings.
2. Excavating and backfilling for buildings and structures.
3. Drainage course for slabs-on-grade.
4. Sub-base course for concrete walks and pavements.
5. Base course for asphalt paving.
6. Subsurface drainage backfill for walls and trenches.
7. Excavating and backfilling trenches within building lines.
8. Excavating and backfilling trenches for buried mechanical and electrical utilities and pits for buried utility structures.
B. Related Sections include the following:
1. Division 1 Section "Construction Facilities and Temporary Controls."
2. Division 2 Section "Site Clearing" for site stripping, grubbing, removing topsoil, and protecting trees to remain.
3. Division 2 Section "Landscaping" for finish grading, including placing and preparing topsoil for lawns and planting.
4. Division 2 Section "Cast-in-Place Concrete" for granular course over vapor retarder.
5. Division 1 B through 16 Sections for excavating and backfilling buried mechanical and electrical utilities and buried utility structures.
1.3 DEFINITIONS
A. Backfill: Soil materials used to fill an excavation.
1. Initial Backfill: Backfill placed beside and over pipe in a trench, including haunches to support sides of pipe.
2. Final Backfill: Backfill placed over initial backfill to fill a trench.
B. Base Course: Layer placed between the sub base course and asphalt paving.
C. Bedding Course: Layer placed over the excavated subgrade in a trench before laying pipe.
D. Borrow: Satisfactory soil imported from off-site for use as fill or backfill.
E. Drainage Course: Layer supporting slab-on-grade used to minimize capillary flow of pore water.
F. Excavation: Removal of material encountered above subgrade elevations.



3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 6681831
EMAIL: FILES@TFARA.COM

REGISTERED ARCHITECT
TOM W. BILLAMA
ARCHITECTS

SEAL

KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION

99 BYRAM RIDGE RD., ARMONK, NY

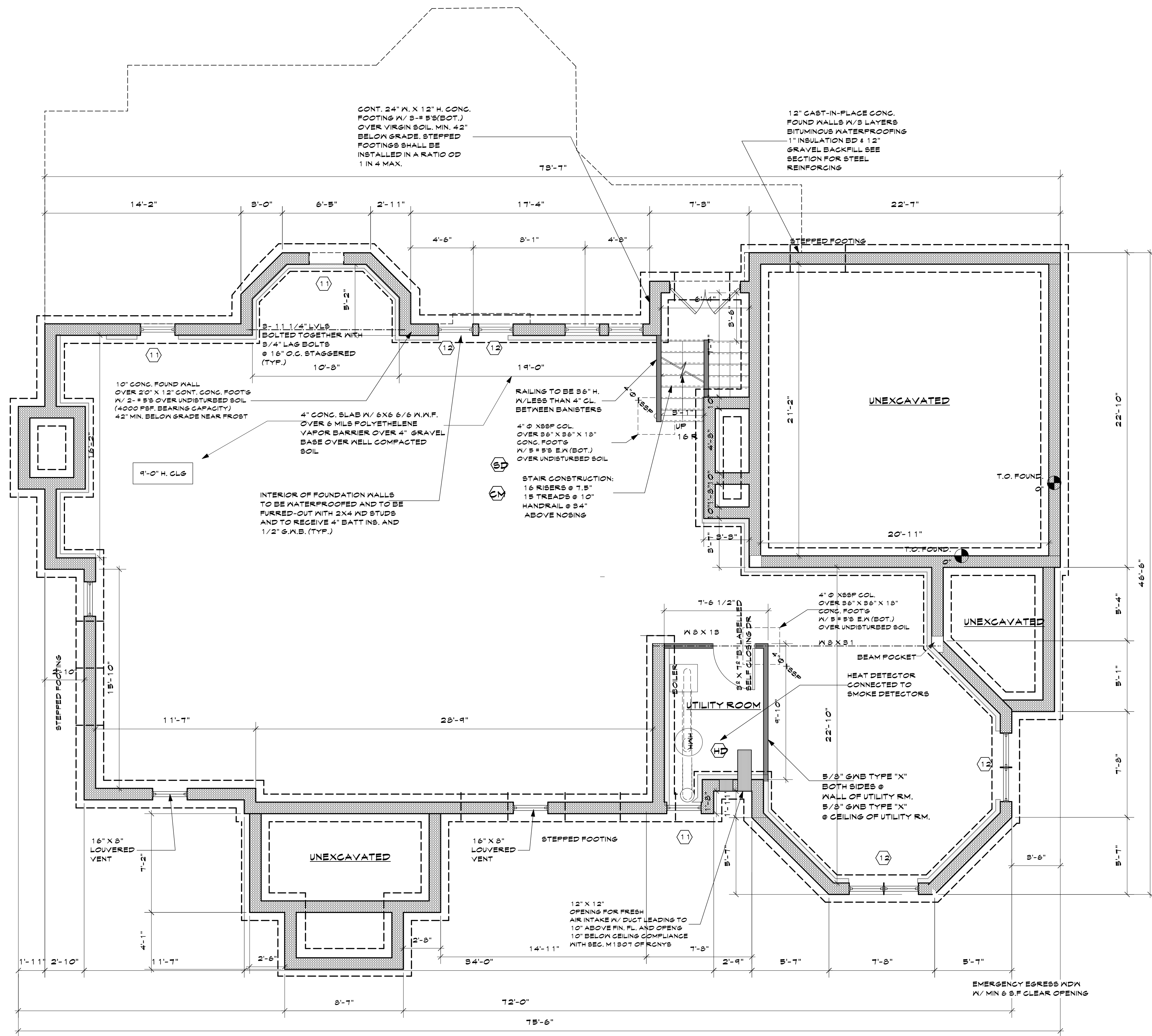
SBL: 101.01/13 ZONE: R1A

STORMWATER CALCULATIONS AND DESIGN

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:

SP.3

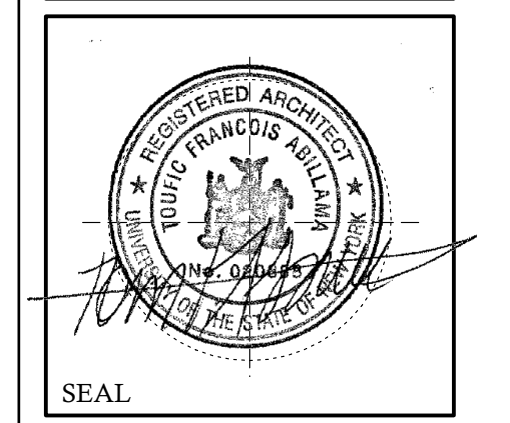
Drawn By: KM Checked By: TFA
Plot Date: MAY 10, 2021



3	Planning Bd	5.10.21
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NO.	REV.	DATE

OWNER:
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Tom Abillama Architects
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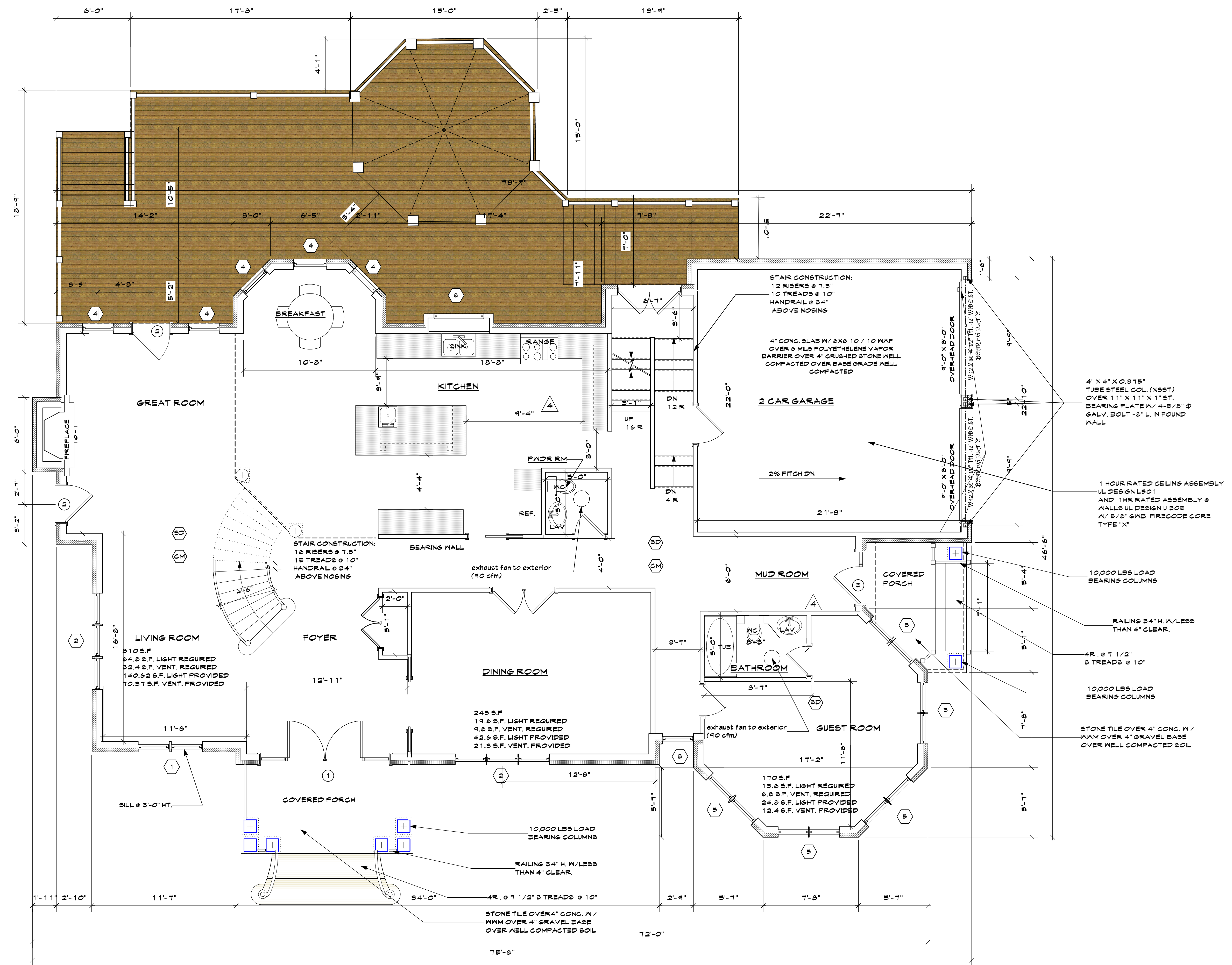


KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

BASMENT FLOOR PLAN

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A. 1
Drawn By: KM Checked By: TFA
Plot Date: MAY 10, 2021



FIRST FLOOR PLAN 1
Scale: 1/4" = 1'-0" A.2

3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	5.10.21
NO.	REV.	DATE

OWNER:
**MR. & MRS.
CHRISTOPHER
KALIAN**



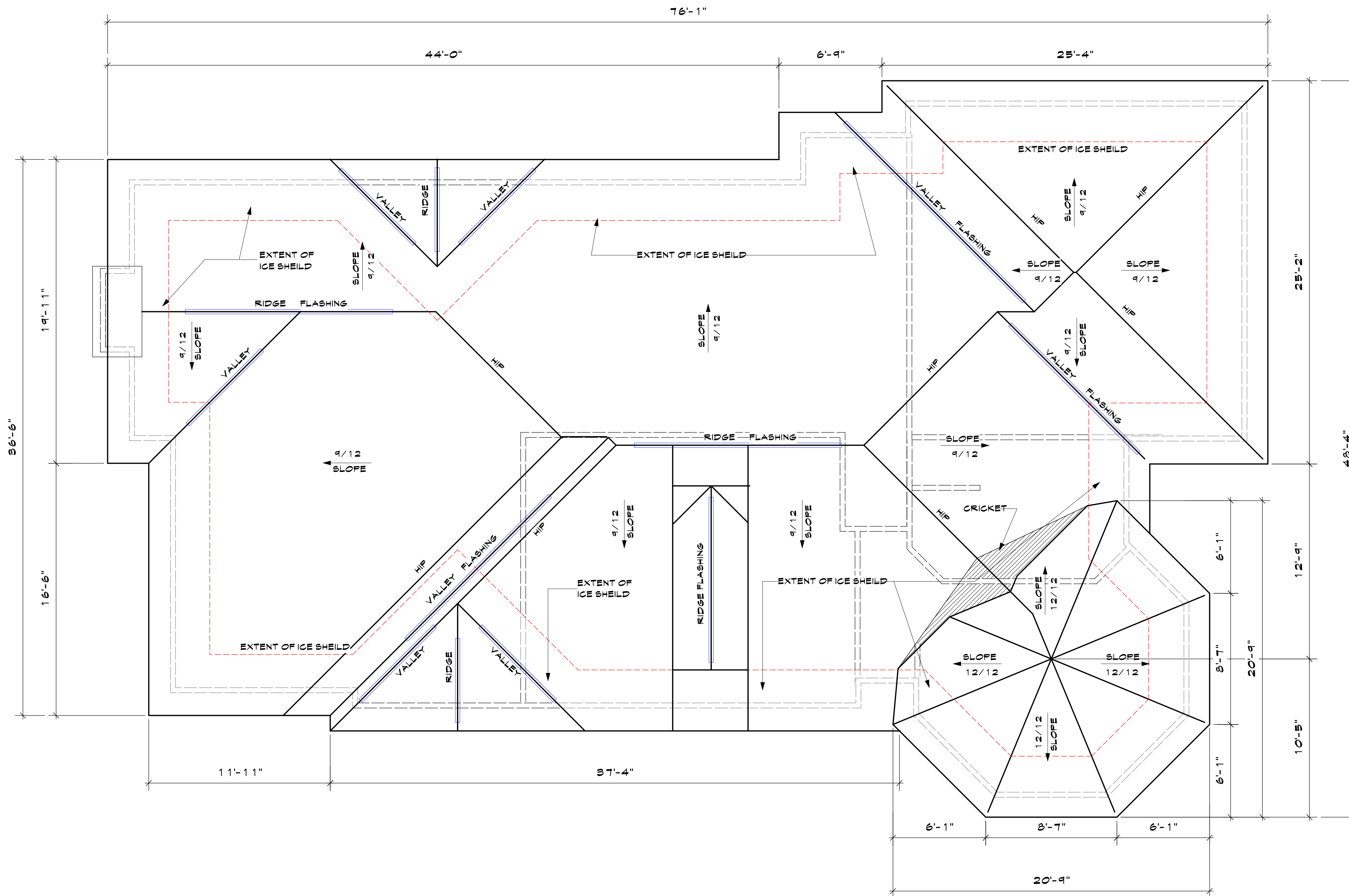
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KEY PLAN
**PROPOSED
ONE FAMILY
DWELLING
EXPANSION**
99 BYRAM RIDGE RD.,
ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

**1ST FLOOR
PLAN**

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A.2
Drawn By: KM Checked By: TFA
Plot Date: MAY 10, 2021



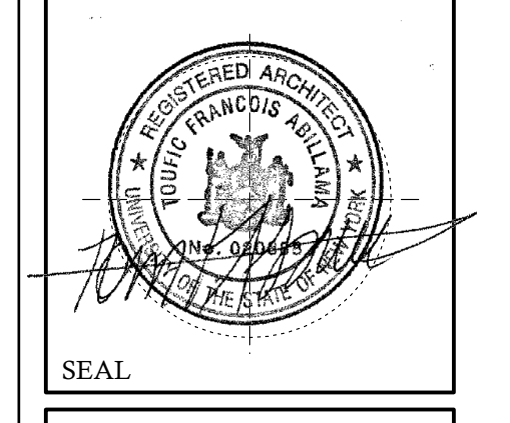
ROOF PLAN
Scale: 1/4" = 1'-0"

3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	5.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom
Billama
Architects

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KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

ROOF PLAN

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A.4

Drawn By: KM Checked By: TFA
Plot Date: MAY 10, 2021

TYPICAL ROOF CONSTRUCTION
 20 YR. 3/8" ASPHALT/FIBERGLASS SHINGLES OVER 3/8" BUILDING PAPER OVER 5/8" TH. EXT. GR. FLD. SHEATHING OVER 2X12 WD RAFTERS AT 16" OC. R-38 INSULATION.

ALUM SEAMLESS GUTTER AND LEADER TO STORM.

1" STUCCO W/ MAF OVER 1/2" BUILDING PAPER OVER 3/4" CDX EXT GRADE PLYWOOD SHEATHING OVER 6" WD STUD FRAME WALL

ACCENT BAND W/ AZEK PANEL

T.O. PROP. DRIVE 75.0'
 T.O. AVER. GRADE 75.2'
 T.O. BASEMENT 68.0'
 CONG. FOOTING W/ 2-# 4S CONT. OVER UNDISTURBED SOIL 42" MIN. BELOW GRADE

REAR ELEVATION
 Scale: 1/4" = 1'-0"

TYPICAL ROOF CONSTRUCTION
 20 YR. 3/8" ASPHALT/FIBERGLASS SHINGLES OVER 3/8" BUILDING PAPER OVER 5/8" TH. EXT. GR. FLD. SHEATHING OVER 2X12 WD RAFTERS AT 16" OC. R-38 INSULATION.

1" STUCCO W/ MAF OVER 1/2" BUILDING PAPER OVER 3/4" CDX EXT GRADE PLYWOOD SHEATHING OVER 6" WD STUD FRAME WALL

ALUM SEAMLESS GUTTER AND LEADER TO STORM.

ACCENT BAND W/ AZEK PANEL

CONG. FOOTING W/ 2-# 4S CONT. OVER UNDISTURBED SOIL 42" MIN. BELOW GRADE

FRONT ELEVATION
 Scale: 1/4" = 1'-0"

T.O. RIDGE 111.75'
 T.O. MID ROOF 104.6'
 T.O. ATTIC 98.0'
 T.O. EAVES 97.5'
 T.O. 2ND FLOOR 88.0'
 T.O. 1ST FLOOR 78.0'
 T.O. PROP. GRADE 75.0'
 T.O. BASEMENT 68.0'

13'-4"
 7'-1"
 10'-0"
 10'-0"
 10'-0"

MAX. BLDG. HT. 36'-0"

1" STUCCO W/ MAF OVER 1/2" BUILDING PAPER OVER 3/4" CDX EXT GRADE PLYWOOD SHEATHING OVER 6" WD STUD FRAME WALL

STONE VENEER W/ GALV. WALL ANCHORS @ 16" OC EA. MAX OVER 1/2" CDX EXT. GRADE FLD. SHEATHING OVER 1/2" CDX EXT. GRADE FLD. SHEATHING

T.O. PROP. GRADE 75.0'

T.O. BASEMENT 68.0'

T.O. MID ROOF 104.6'
 T.O. ATTIC 98.0'
 T.O. EAVES 97.5'

13'-4"
 7'-1"

STONE VENEER W/ GALV. WALL ANCHORS @ 16" OC EA. MAX OVER 1/2" CDX EXT. GRADE FLD. SHEATHING OVER 1/2" CDX EXT. GRADE FLD. SHEATHING

T.O. 2ND FLOOR 88.0'

T.O. 1ST FLOOR 78.0'
 T.O. GRADE 76.2'

T.O. AVER. GRADE 75.2'

T.O. BASEMENT 68.0'

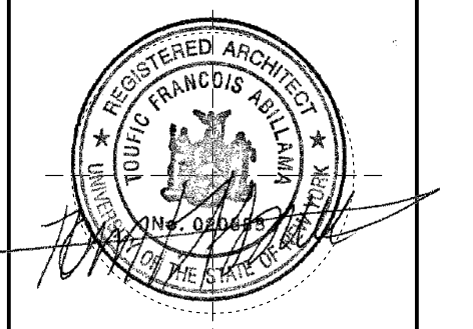
MAX. BLDG. HT. 36'-0"

3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	8.10.21
NO.	REV.	DATE

OWNER:
MR. & MRS. CHRISTOPHER KALIAN



1955 CENTRAL PARK AVENUE
 YONKERS, NEW YORK
 PHONE: 914 6684673
 FAX: 914 668 1831
 EMAIL: FILES@TFARA.COM



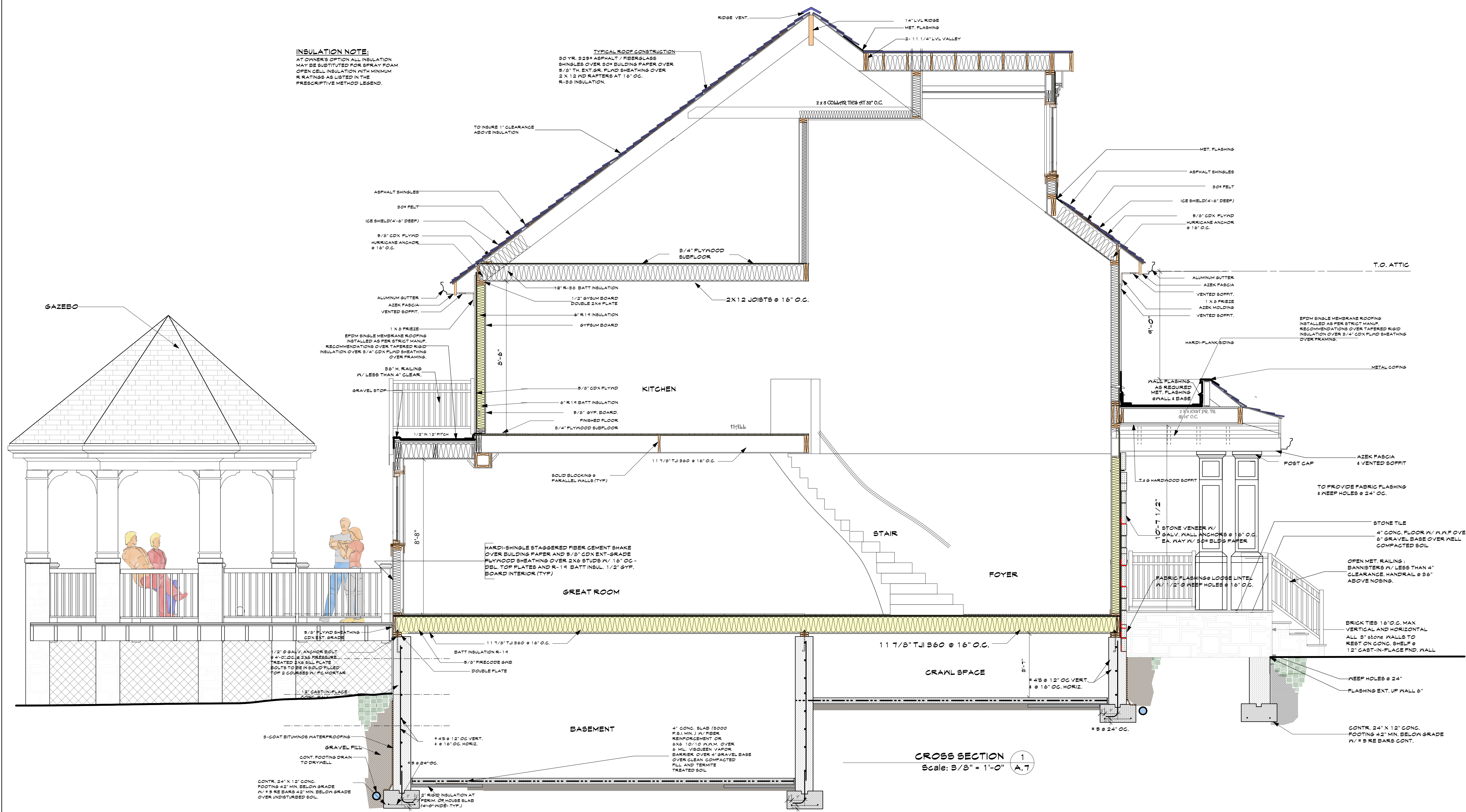
KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, NY
 SBL: 101.01/1/13 ZONE: R-1A

LEFT SIDE FRONT ELEVATION

Project ID / DATE: 2048 / 10.15.2020
 Sheet Scale:

A.5

Drawn By: KM Checked By: TFA
 Plot Date: MAY 10, 2021

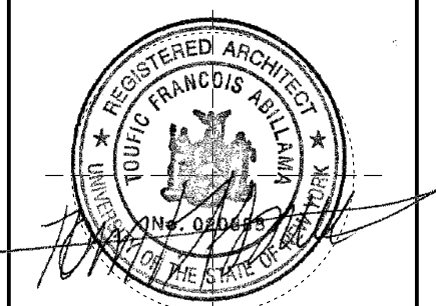


3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	5.10.21
NO.	REV.	DATE

OWNER:
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SEAL

KEY PLAN

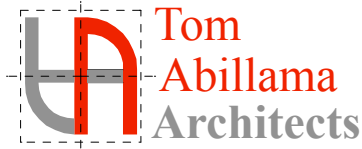
PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, NY
 SBL: 101.01/1/13 ZONE: R-1A

CROSS SECTION

Project ID / DATE: 2048 / 10.15.2020
 Sheet Scale:

A.7

Drawn By: KM Checked By: TFA
 Plot Date: MAY 10, 2021



**Re: Chris Kalian
99 Byram Ridge Road
Section 101.01, Block 1, Lot 13**

Please see our responses below to General Comments from Kellard Sessions dated 4.9.21:

1. All references to the pool and associated improvements and calculations have been revised and updated on Sheet C.01.
2. As suggested by Planning Board the proposed house is rotated clockwise to be traditional orientation, facing the street.
3. The plans have been clarified and coordinated.
4. Minimum yard setbacks have been illustrated on Sheet SP.2.
5. Proposed grading shown on Sheet SP.4 and coordinated on SP.1, SP.2 & SP.3.
6. A note will be added on DOB submittal, prior to issuance of a building permit, "all walls, equal to or greater than four (4) feet in height, shall be designed by a NYS licensed R.A."
7. A note will be added on DOB submittal, prior to the issuance of a certificate of occupancy, "the construction of all walls, equal to or greater than four (4) feet in height, shall be certified by the Design Professional."
8. Sheet SP.4 shows existing and proposed driveway profile in compliance with Section 355-59, Driveways of the Town Code.
9. **See responses to comments #9 thru #14 from ARQ.**
15. **Sheet L-2 dated 3.8.21 from AZ Associates Ltd. shows proposed planting plan and will be coordinated with ARQ for tree removal.**
16. **See response from ARQ.**
17. All plans have been signed and sealed by the Design Professional.
18. Attaching Survey by Edward T. Gannon dated September 2, 2020.