

OWTS NOTES

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF THE OWTS.
2. THERE ARE NO OWTS WITHIN 200 FEET OF THE WELL UNLESS OTHERWISE SHOWN ON THE PLAN.
3. THERE ARE NO SOURCES OF CONTAMINATION WITHIN 200 FEET IF THE PROPOSED WELL.
4. THERE ARE NO WELLS WITHIN 200' OF OWTS UNLESS OTHERWISE SHOWN ON PLAN.
5. THE PROPOSED OWTS AREA SHALL BE ISOLATED AND PROTECTED AGAINST DAMAGE BY EROSION, STORAGE OF EARTH OR MATERIALS, DISPLACEMENT, COMPACTION OR OTHER ADVERSE PHYSICAL CHANGE IN THE CHARACTERISTICS OF THE SOIL OR IN THE DRAINAGE OF THE AREA.
6. IF FOR ANY REASON THE APPROVED CONSTRUCTION PLAN CANNOT BE FOLLOWED, A REVISED PLAN MUST BE PREPARED, SUBMITTED, AND APPROVED BY WCDH.
7. THE DESIGN PROFESSIONAL SHALL SUPERVISE THE CONSTRUCTION OF THE OWTS AND MAKE AN OPEN WORKS INSPECTION.
8. WITHIN 24-HOURS OF THE COMPLETION OF THE OWTS, THE DESIGN PROFESSIONAL MUST NOTIFY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH (WCDH) THAT THE OWTS IS READY FOR INSPECTION BY SUBMITTING A COMPLETED REQUEST FOR AN OPEN WORKS INSPECTION ON THE APPROPRIATE FORM TO WCDH.
9. NO BACKFILLING OF A COMPLETED OWTS CAN OCCUR UNTIL AFTER IT HAS BEEN INSPECTED AND ACCEPTED BY THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
10. AFTER BACKFILLING THE OWTS, THE AREA SHALL BE COVERED WITH A MINIMUM OF 4 INCHES OF CLEAN TOP SOIL, SEEDED AND MULCHED.
11. THE INSTALLATION OF THE OWTS SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NY.
12. ALL PIPES CONNECTING TO TANK AND BOXES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF BOX.
13. THE PROPOSED OWTS SHALL BE INSTALLED BY A WESTCHESTER COUNTY LICENSED SEPTIC CONTRACTOR.
14. PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7952.
15. THE WESTCHESTER COUNTY HEALTH DEPARTMENT APPROVAL EXPIRES ONE YEAR FROM THE DATE ON THE APPROVAL STAMP AND IS REQUIRED TO BE RENEWED ON OR BEFORE THE EXPIRATION DATE. THE APPROVAL IS REVOCABLE FOR CAUSE OR MAY BE AMENDED OR MODIFIED WHEN CONSIDERED NECESSARY BY THE DEPARTMENT.
16. THERE ARE NO RESERVOIRS, RESERVOIR STEMS OR CONTROLLED LAKE WITHIN 500 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
17. THERE ARE NO NYSDEC WETLANDS OR WATERCOURSES WITHIN 200 FEET OF THE PROPOSED OWTS UNLESS OTHERWISE SHOWN ON PLAN.
18. STORMTECH SC-740 CHAMBERS ARE NOT A PART OF THE OWTS.
19. THE PROPOSED FILL FOR THE OWTS AREA IS TO BE RUN OF BANK SAND AND GRAVEL ONLY.
20. ESTIMATED TIME OF CONSTRUCTION: MAY-JUNE 2021

MISCELLANEOUS DATA

OWNER/APPLICANT: 99 BYRAM LLC
5 W MAIN ST
ELMSFORD, NY 10523

SURVEYOR: EDWARD T. GANNON, PLS
CHERRY HILL ROAD
BLOOMING GROVE, NY 10914
PREPARED 9/2/2020

MUNICIPALITY: TOWN OF NORTH CASTLE

LOT AREA: 1.34 AC

FIRE DISTRICT: ARMONK FD

TAX MAP: 101.01-1-13

WATER DISTRICT: ONSITE WELL

SEWER DISTRICT: ONSITE SDDS

SCHOOL DISTRICT: BYRAM HILLS

DRAINAGE BASIN: BYRAM RIVER BASIN

WATERSHED: INLAND LONG ISLAND SOUND BASIN

EXISTING ZONING DISTRICT: R-1A

OWTS DESIGN SUMMARY

PROPOSED DEVELOPMENT: SINGLE FAMILY, 5 BEDROOM HOME

DESIGN FLOW: 200 GPD/BEDROOM = 1,000 GPD

DEPTH TO GROUNDWATER: N/A

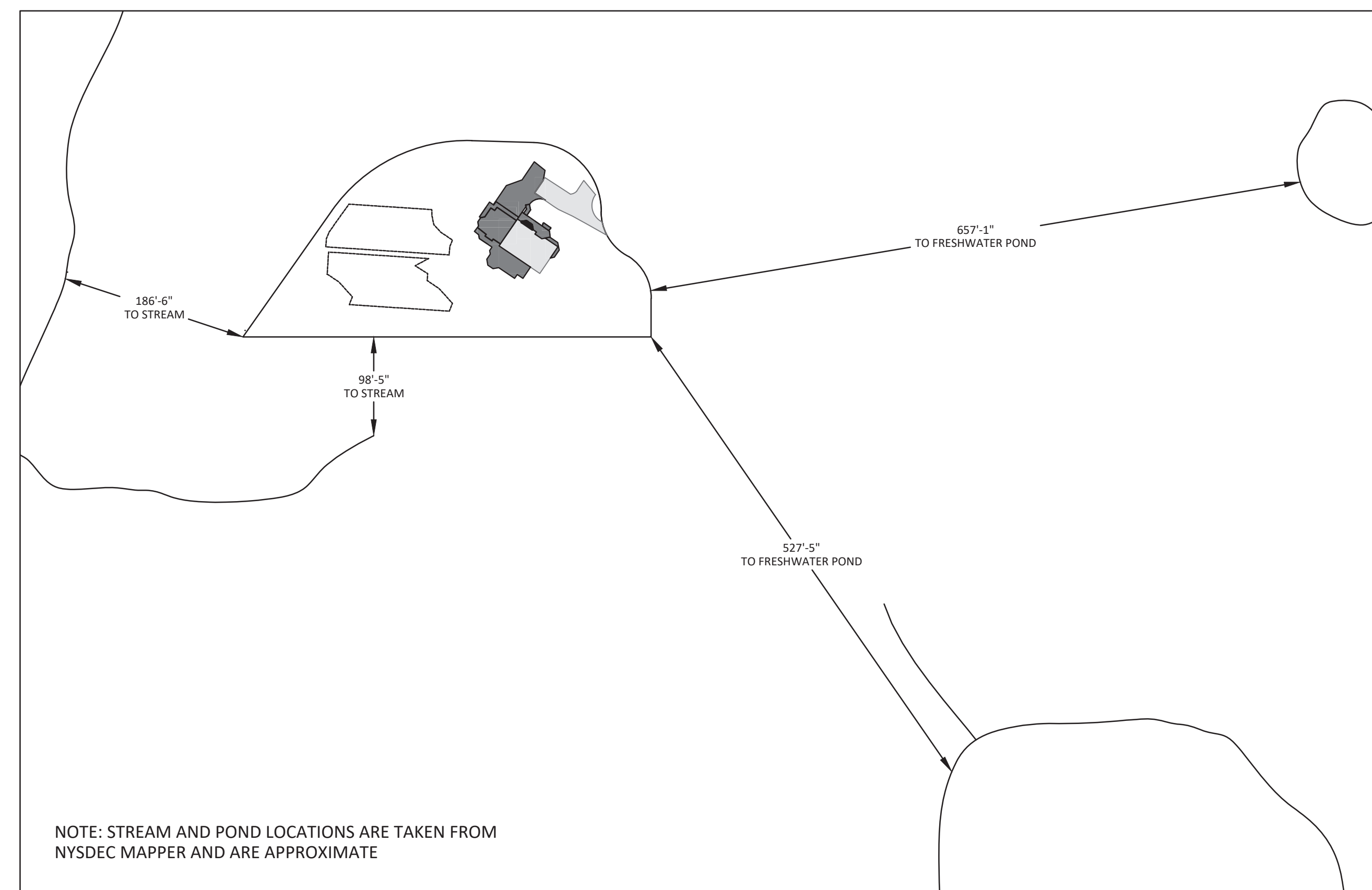
DEPTH TO BEDROCK: N/A

SOIL PERCOLATION RATE = 16-20 MIN/IN

TOPOGRAPHY/SLOPE: 11%

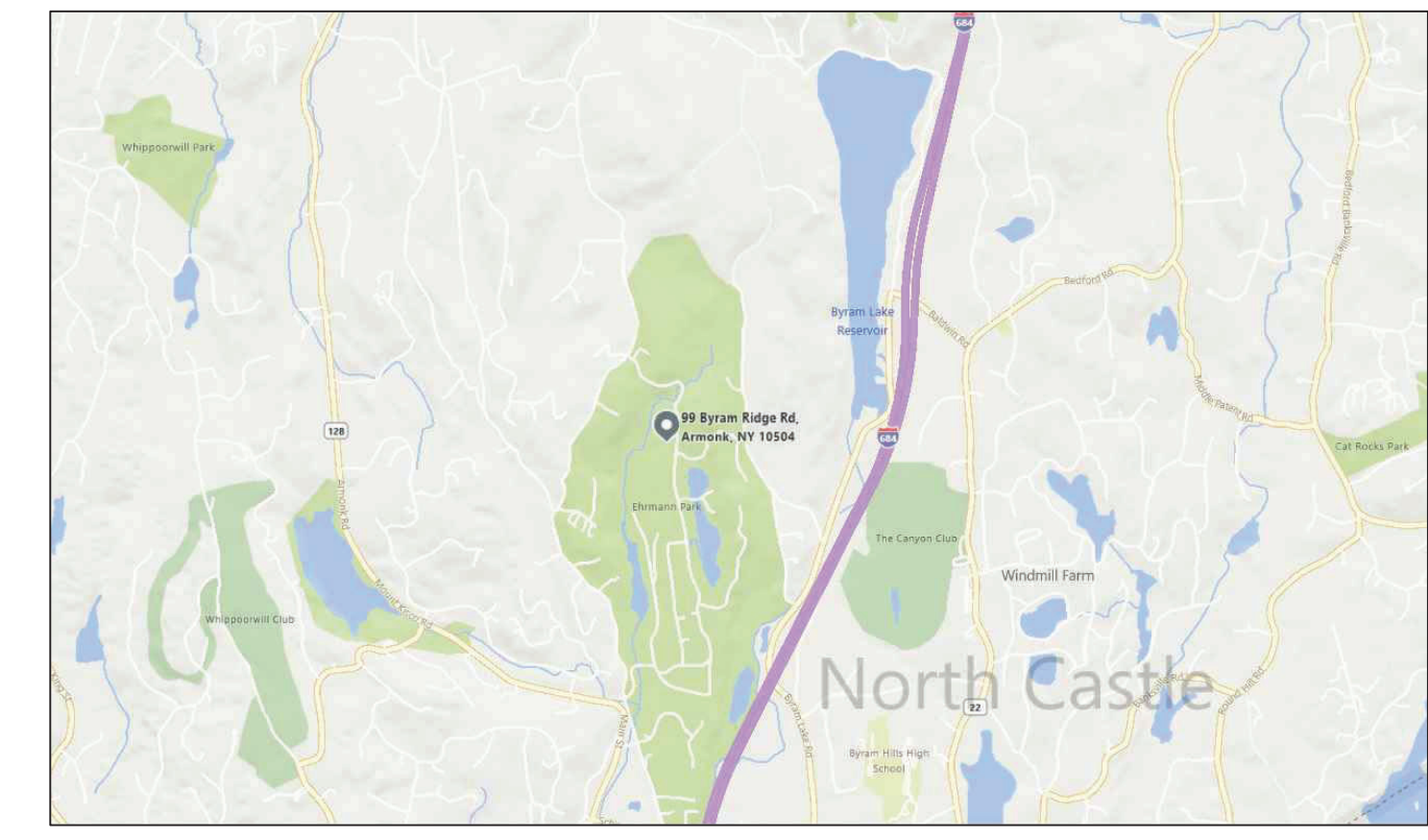
TOTAL LENGTH ABSORPTION TRENCH REQUIRED/PROVIDED = 720 LF

SOIL CLASSIFICATION: ChB & Rhd



NOTE: STREAM AND POND LOCATIONS ARE TAKEN FROM NYSDEC MAPPER AND ARE APPROXIMATE

STREAMS AND WATERBODIES
1" = 100'-0"



LOCATION MAP
N.T.S.



100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562
PHONE: (914) 944-3377
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 0973256

PAUL A. BERTE, P.E.

100 EXECUTIVE BLVD, SUITE 204
OSSINING, NY 10562

REVISIONS	DATE	BY
Revised per Town Comments	4/13/21	
Rev.house location	7/8/21	

ALTERATIONS BY ANY PERSON IN ANY WAY, OR ANY ITEM CONTAINED ON THIS DOCUMENT, UNLESS ACTING UNDER DIRECTION OF THE LICENSED ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED HERETO, IS A VIOLATION OF TITLE VIII, ARTICLE 145 SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.

DRAWING TITLE:
OWTS SITE PLAN

PROJECT:
99 BYRAM, LLC
OWTS PLAN

PROJECT ADDRESS:
99 BYRAM RIDGE ROAD
ARMONK, NY 10580

WCDH SIGNATURE:

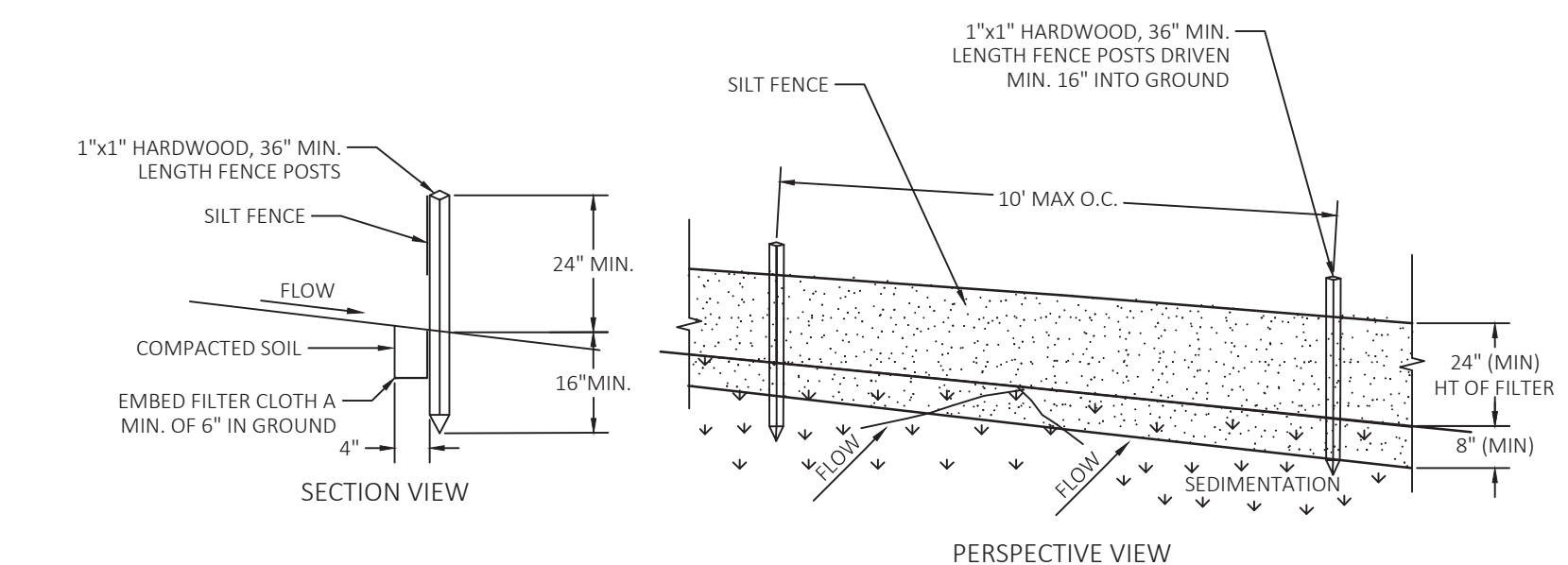
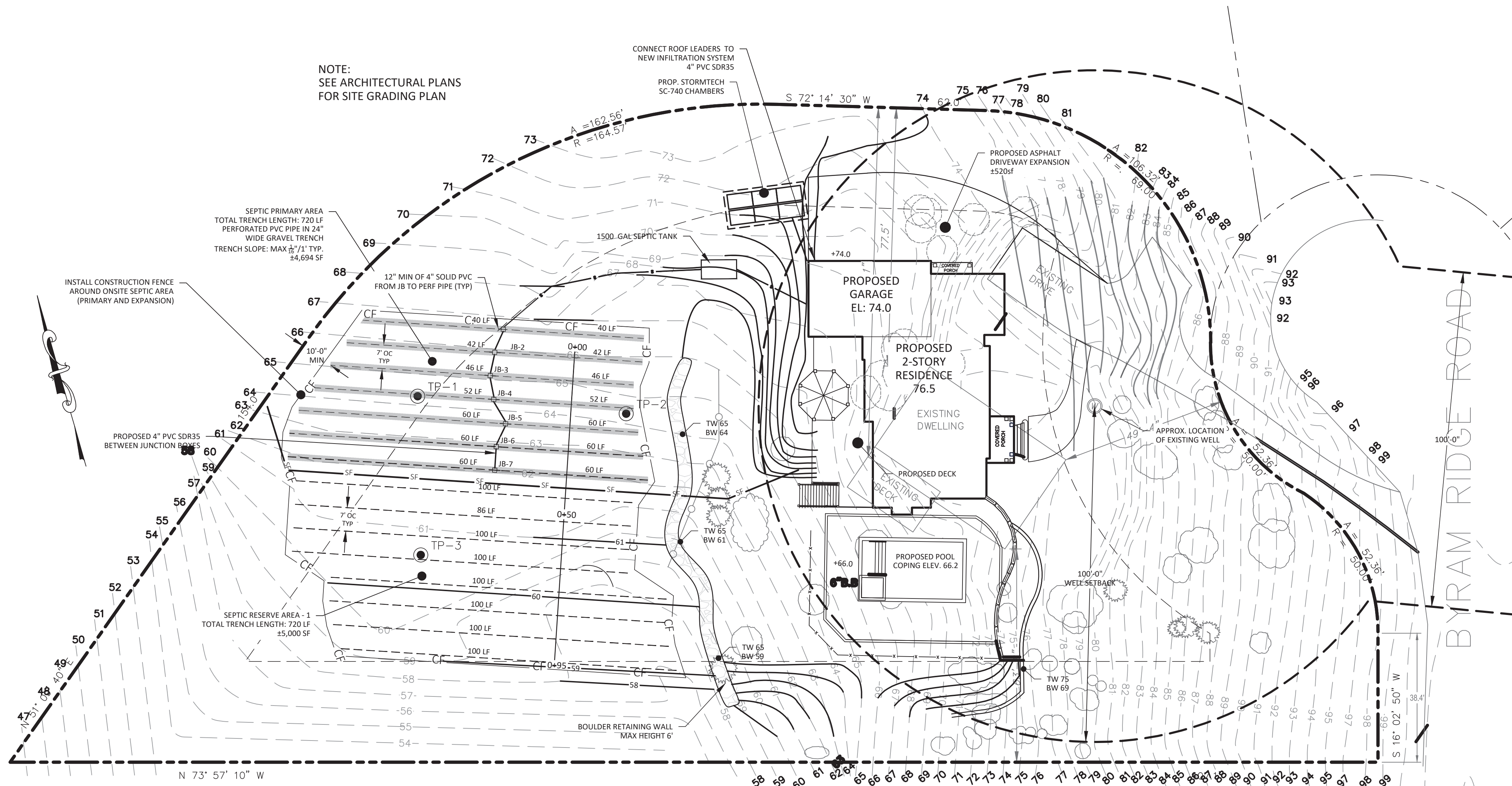
SEAL & SIGNATURE



DATE: 3/1/21
PROJECT NO.: 21-030
DRAWING BY: SB
CHECKED BY: PB

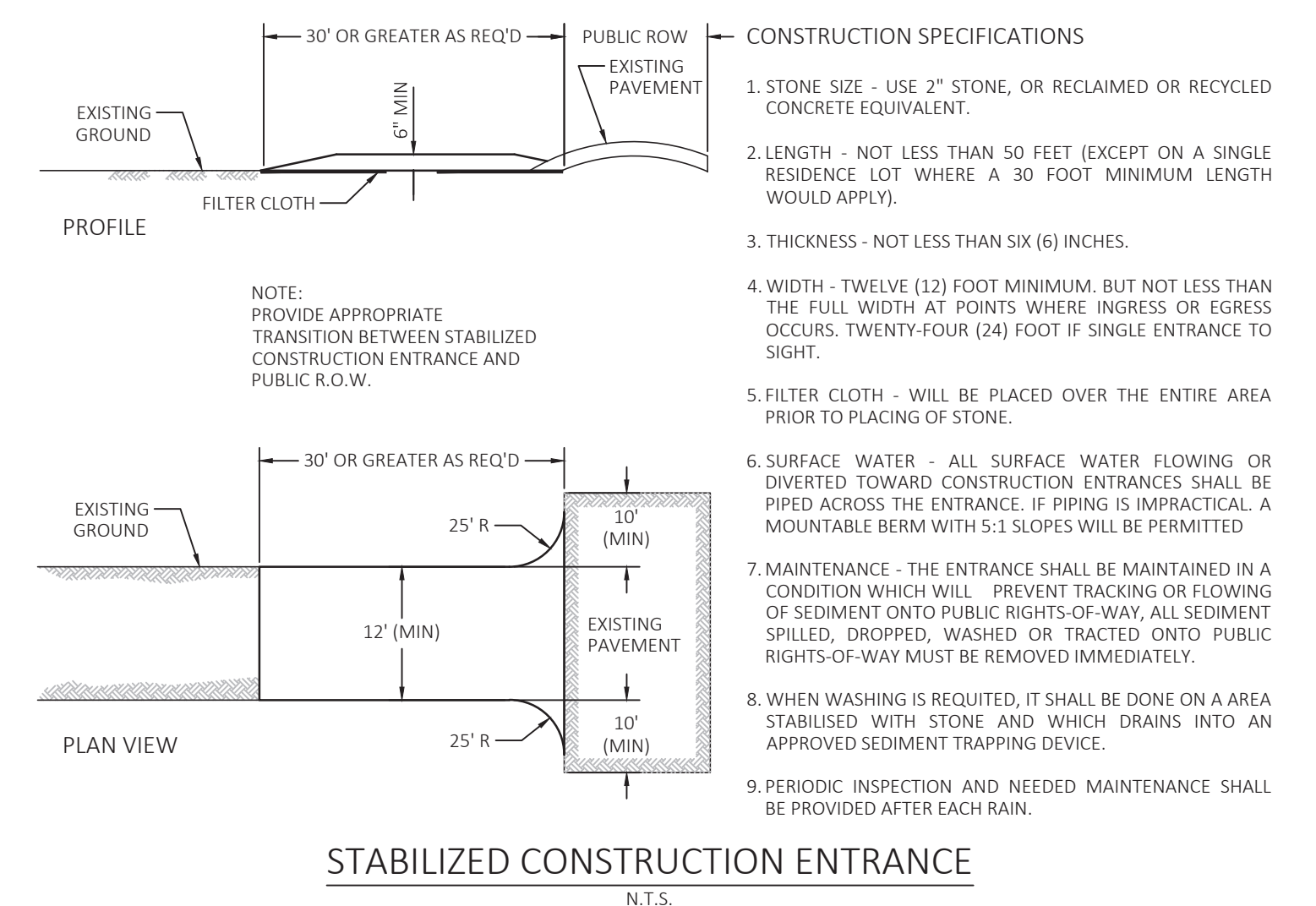
SCALE: 1" = 20'-0"
DRAWING NO.: 1 OF 2

NOTE:
SEE ARCHITECTURAL PLANS
FOR SITE GRADING PLAN



- CONSTRUCTION SPECIFICATIONS:
1. SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH STAPLES. POSTS SHALL BE 1"x1" HARDWOOD, OR APPROVED EQUAL.
 2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE WRAPPED AROUND 2 STAKES, MIN 2X. FILTER CLOTH SHALL BE EITHER FILTER USCF M5SF180, MIRAFI 100X OR APPROVED EQUIVALENT.
 3. MAINTENANCE SHALL BE PERFORMED AS NEEDED, REINFORCE AREA LOW POINTS WITH ADDITIONAL STAKES OR OTHER MATERIALS (AS RECOMMENDED BY ENGINEER). MATERIAL SHALL BE REMOVED WHEN SEDIMENT LOAD REACHES 50% HEIGHT OF FENCE.

SILT FENCE INSTALLATION DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

NOTE: NOT TO BE USED FOR CONSTRUCTION

SUBJECT TO ANY EASEMENTS AND/OR SUBSURFACE STRUCTURES RECORDED OR UNRECORDED ARE NOT GUARANTEED UNLESS PHYSICALLY EVIDENT ON THE PREMISES AT THE TIME OF THE SURVEY

SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD

UNDERGROUND UTILITIES SHOWN HEREON BASED ON UTILITY EVIDENCE VISIBLE AT GROUND SURFACE AND ARE SUBJECT TO FIELD VERIFICATION BY EXCAVATION

UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES

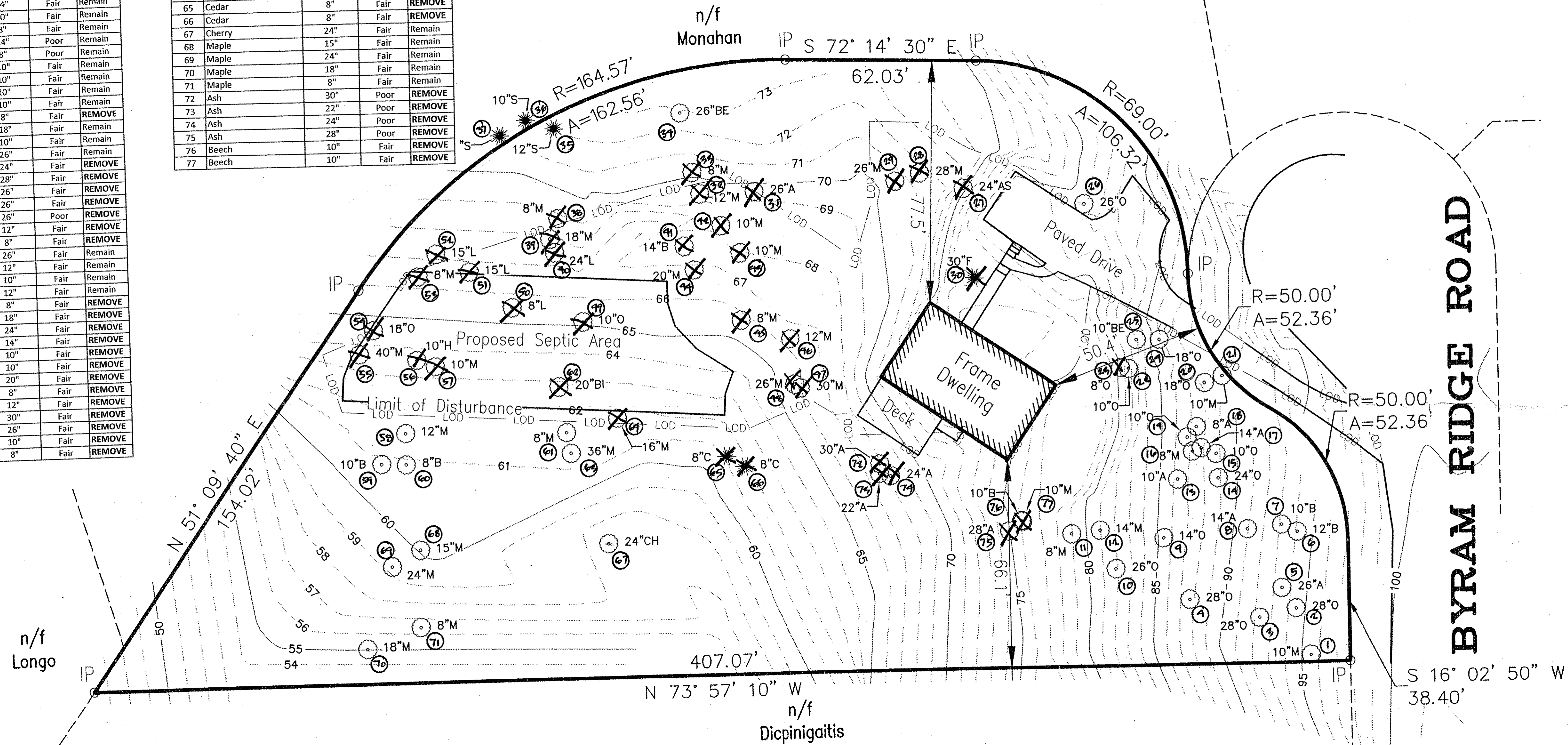
WETLANDS IF ANY ARE NOT SHOWN

TREE INVENTORY LIST

Tree #	Common Name	Size	Condition	Status
1	Maple	10"	Fair	Remain
2	Oak	28"	Fair	Remain
3	Oak	28"	Fair	Remain
4	Oak	28"	Fair	Remain
5	Ash	26"	Poor	REMOVE
6	Birch	12"	Fair	Remain
7	Birch	10"	Fair	Remain
8	Ash	14"	Fair	Remain
9	Oak	26"	Fair	Remain
10	Oak	8"	Fair	Remain
11	Maple	14"	Fair	Remain
12	Maple	10"	Poor	REMOVE
13	Ash	10"	Poor	REMOVE
14	Oak	24"	Fair	Remain
15	Oak	10"	Fair	Remain
16	Maple	8"	Fair	Remain
17	Ash	14"	Poor	REMOVE
18	Ash	8"	Poor	REMOVE
19	Oak	10"	Fair	Remain
20	Oak	10"	Fair	Remain
21	Maple	10"	Fair	Remain
22	Oak	10"	Fair	REMOVE
23	Oak	8"	Fair	REMOVE
24	Oak	18"	Fair	Remain
25	Beech	10"	Fair	Remain
26	Oak	26"	Fair	Remain
27	Aspen	24"	Fair	REMOVE
28	Maple	28"	Fair	REMOVE
29	Maple	26"	Fair	REMOVE
30	Hemlock	26"	Fair	REMOVE
31	Ash	26"	Poor	REMOVE
32	Maple	12"	Fair	REMOVE
33	Maple	8"	Fair	REMOVE
34	Beech	26"	Fair	Remain
35	Spruce	12"	Fair	Remain
36	Spruce	10"	Fair	Remain
37	Spruce	12"	Fair	Remain
38	Maple	8"	Fair	REMOVE
39	Maple	18"	Fair	REMOVE
40	Locust	24"	Fair	REMOVE
41	Beech	14"	Fair	REMOVE
42	Maple	10"	Fair	REMOVE
43	Maple	10"	Fair	REMOVE
44	Maple	20"	Fair	REMOVE
45	Maple	8"	Fair	REMOVE
46	Maple	12"	Fair	REMOVE
47	Maple	30"	Fair	REMOVE
48	Maple	26"	Fair	REMOVE
49	Oak	10"	Fair	REMOVE
50	Locust	8"	Fair	REMOVE

TREE INVENTORY LIST

Tree #	Common Name	Size	Condition	Status
51	Locust	15"	Fair	REMOVE
52	Locust	15"	Fair	REMOVE
53	Maple	8"	Fair	REMOVE
54	Oak	18"	Fair	REMOVE
55	Maple	40"	Fair	REMOVE
56	Hickory	10"	Fair	REMOVE
57	Maple	10"	Fair	REMOVE
58	Maple	12"	Fair	Remain
59	Beech	10"	Fair	Remain
60	Beech	8"	Fair	Remain
61	Maple	12"	Fair	Remain
62	Birch	20"	Fair	REMOVE
63	Maple	36"	Fair	Remain
64	Maple	16"	Fair	REMOVE
65	Cedar	8"	Fair	REMOVE
66	Cedar	8"	Fair	REMOVE
67	Cherry	24"	Fair	Remain
68	Maple	15"	Fair	Remain
69	Maple	24"	Fair	Remain
70	Maple	18"	Fair	Remain
71	Maple	8"	Fair	Remain
72	Ash	30"	Poor	REMOVE
73	Ash	22"	Poor	REMOVE
74	Ash	24"	Poor	REMOVE
75	Ash	28"	Poor	REMOVE
76	Beech	10"	Fair	REMOVE
77	Beech	10"	Fair	REMOVE



Tree Legend	
A = Ash	AS = Aspen
B = Beech	Bl = Birch
C = Cedar	F = Fir
O = Oak	M = Maple
S = Spruce	H = Hickory
L = Locust	CH = Cherry

TREE INVENTORY & REMOVAL PLAN

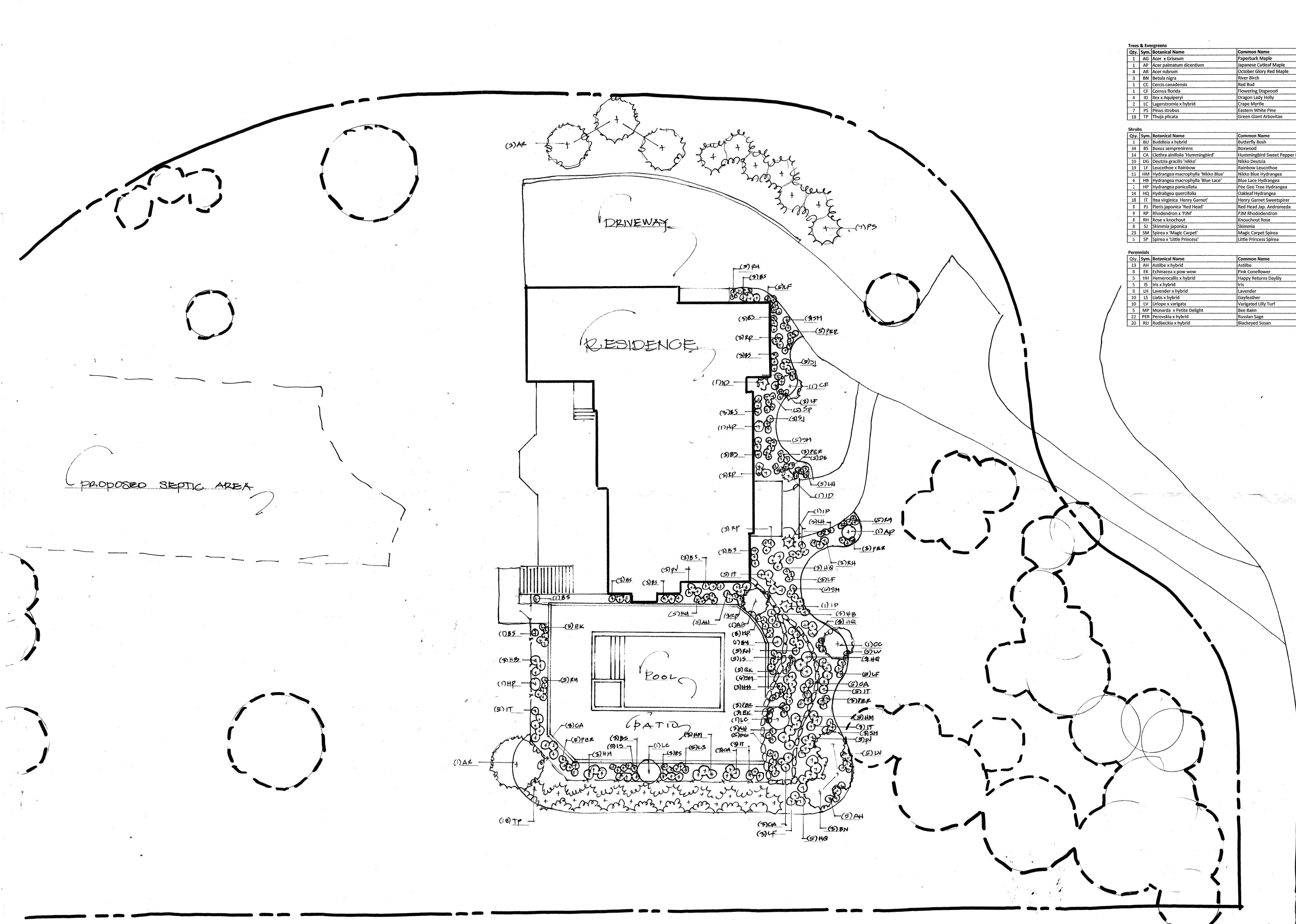
99 BYRAM RIDGE ROAD
NORTH CASTLE, NEW YORK

SCALE: 1" = 20' - 0" JULY 5, 2021

SHEET L-2

AZ ASSOCIATES LTD.
DESIGN & HORTICULTURAL CONSULTANT
ANTHONY ZAINO
LANDSCAPE ARCHITECT
7 SOUTH RIDGE ROAD
BROOKFIELD, CT 06804





Qty.	Sym.	Botanical Name	Common Name	Size
1	AG	Acer x Griseum	Paperbark Maple	2" caliper
1	AP	Acer palmatum dissectum	Japanese Cutleaf Maple	36"-42" ht.
4	AR	Acer rubrum	October Glory Red Maple	2" caliper
3	BN	Betula nigra	River Birch	6'-10" ht.
1	CC	Cercis canadensis	Red Bud	7'-8" ht.
1	CF	Cornus florida	Flowering Dogwood	7'-8" ht.
4	ID	Ilex x Aquipery	Dragon Lady Holly	6'-7" ht.
2	LC	Lagerstromia x hybrid	Crape Myrtle	6'-7" ht.
7	PS	Pinus strobus	Eastern White Pine	8'-10" ht.
18	TP	Thuja plicata	Green Giant Arborvitae	7'-8" ht.

Qty.	Sym.	Botanical Name	Common Name	Size
1	BU	Buddleia x hybrid	Butterfly Bush	3 gallon
34	BS	Buxus sempervirens	Bonewood	24" 30" ht.
14	CA	Clethra alnifolia 'Hummingbird'	Hummingbird Sweet Pepper Bush	3 gallon
10	DG	Deutzia gracilis 'nikko'	Nikko Deutzia	3 gallon
19	LF	Leucothoe x Rainbow	Rainbow Leucothoe	3 gallon
11	HM	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	3 gallon
6	HB	Hydrangea macrophylla 'Blue Lace'	Blue Lace Hydrangea	3 gallon
2	HP	Hydrangea paniculata	Pee Gee Tree Hydrangea	10 gallon
14	HQ	Hydrangea quercifolia	Oakleaf Hydrangea	3 gallon
18	IT	Itea virginica 'Henry Garnet'	Henry Garnet Sweetspire	3 gallon
8	PJ	Pieris japonica 'Red Head'	Red Head Jap. Andromeda	3 gallon
9	RP	Rhododendron x 'PJM'	PJM Rhododendron	5 gallon
8	RH	Rosa x knockout	Knockout Rose	3 gallon
8	SI	Skimmia japonica	Skimmia	3 gallon
23	SM	Spiraea x 'Magic Carpet'	Magic Carpet Spiraea	3 gallon
5	SP	Spiraea x 'Little Princess'	Little Princess Spiraea	3 gallon

Qty.	Sym.	Botanical Name	Common Name	Size
13	AH	Astilbe x hybrid	Astilbe	1 gallon
8	EK	Echinacea x pow wow	Pink Coneflower	1 gallon
5	HH	Hemerocallis x hybrid	Happy Returns Daylily	1 gallon
5	IS	Iris x hybrid	Iris	1 gallon
8	LH	Lavender x hybrid	Lavender	1 gallon
10	LS	Liatris x hybrid	Gayfeather	1 gallon
10	LV	Litfope x variegata	Variegated Lilly Turf	1 gallon
5	MP	Monarda x Petite Delight	Bee Balm	1 gallon
22	PER	Perovskia x hybrid	Russian Sage	1 gallon
20	RU	Rudbeckia x hybrid	Blackeyed Susan	1 gallon

7	Coord.	6.17.21
6	Client/ PD	6.7.21
5	Client	6.2.21
4	Planning Bd	5.21.21
3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21
NO.	REV.	DATE

OWNER:
**MR. & MRS.
CHRISTOPHER
KALIAN**

AZ ASSOCIATES LTD.
DESIGN & HORTICULTURAL
CONSULTANT

ANTHONY ZANO
LANDSCAPE ARCHITECT
7 SOUTH RIDGE ROAD
BROOKFIELD, CT 06804



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 668 673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



KEY PLAN

**PROPOSED
ONE FAMILY
DWELLING
EXPANSION**
99 BYRAM RIDGE RD.,
ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

**SITE
LANDSCAPE**

Project ID / DATE: 2048 / 10.15.2020
Sheet Scale: 1" = 10' - 0"

SP.5

Drawn By: AZ Checked By: AZ
Plot Date: 1/9/2021

BYRAM RIDGE ROAD

PROPOSED RENOVATION OF

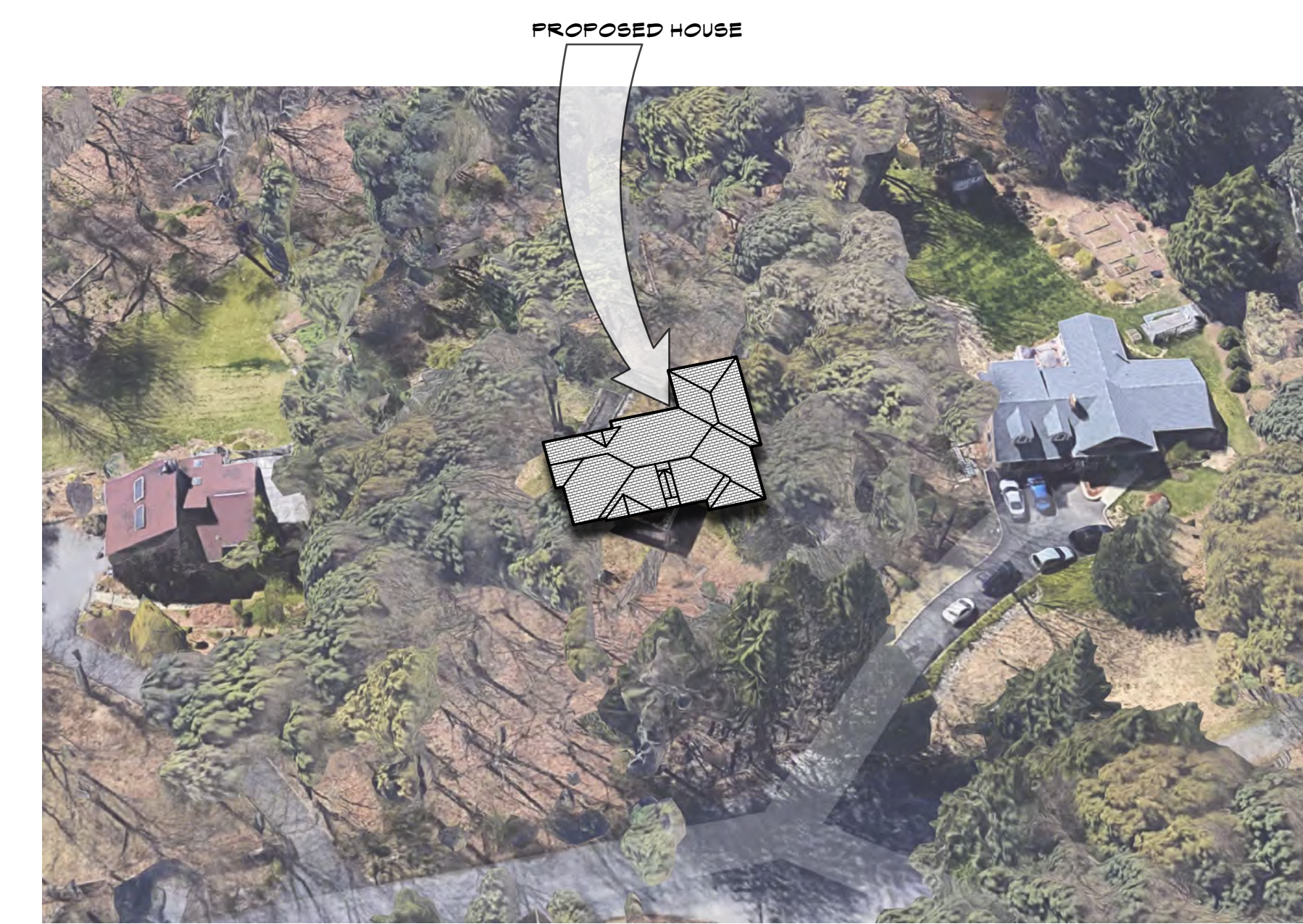
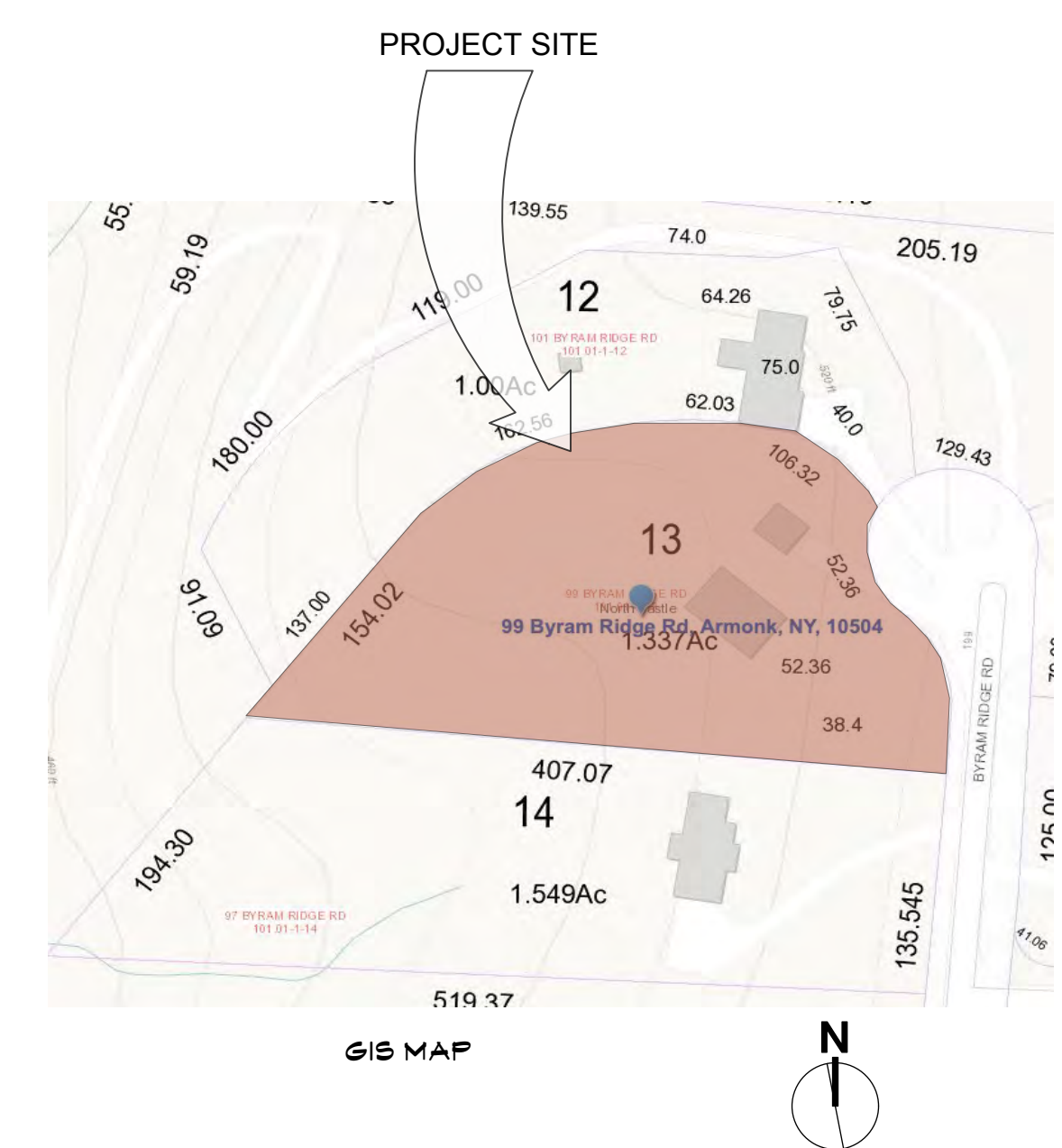
The Kalian Residence

99 Byram Ridge Road,
Armonk, NY

OWNER : Mr. & Mrs. Christopher Kalian

Contractor : Ridge Partners

Architect: Tom F. Abillama, AIA



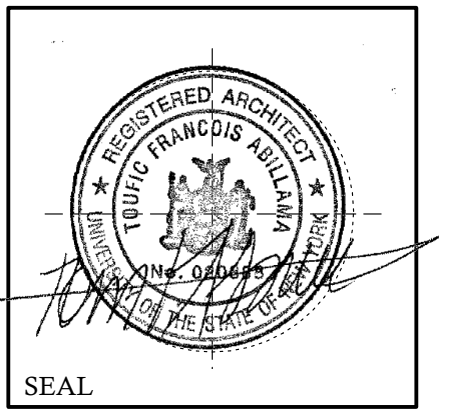
DRAWING LIST	
T. 1	TITLE SHEET
C. 1	COVER SHEET
C. 2	RENDERINGS
C. 3	STREETSCAPE
SP. 1	SITE PLAN
SP. 2	SITE ZONING/ DIAGRAMS
SP. 3	SITE STORMWATER PLANS
SP. 4	SITE GRADING PLAN
A. 1	BASEMENT FLOOR PLAN
A. 2	1ST FLOOR PLAN
A. 3	2ND FLOOR PLAN
A. 4	ROOF PLAN
A. 5	FRONT & REAR ELEVATIONS
A. 6	RIGHT ELEVATION
A. 7	LEFT ELEVATION/ SECTION
A. 8	CROSS SECTION
A. 9	EXTERIOR WALL DETAILS
A. 10	GAZEBO DETAILS

NO.	REV.	DATE
9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PB	6.7.21
5	Client	6.2.21
4	Planning Bd	5.21.21
3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN

Tom Abillama Architects
1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM



KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD.,
ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

TITLE SHEET

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
T. 1
Drawn By: KM Checked By: TFA
Plot Date: JULY 19, 2021



The Kalian Residence

99 Byram Ridge Road,
Armonk, NY

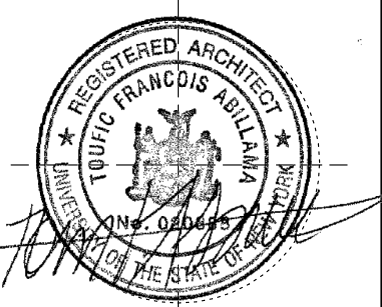
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NO.	REV.	DATE

OWNER:

MR. & MRS.
CHRISTOPHER
KALIAN



1955 CENTRAL PARK AVENUE
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SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, N.Y.

SBL: 101.01/1/13 ZONE: R-1A

COVER

Project ID / DATE : 2048 / 10.15.2020

Sheet Scale:

T.2

Drawn By: KM Checked By: TFA

Plot Date: JULY 19, 2021



The Kalian Residence

99 Byram Ridge Road,
Armonk, NY

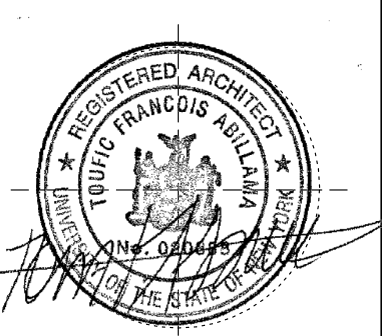
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1	Planning Bd	3.10.21
NO.	REV.	DATE

OWNER:

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SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

99 BYRAM RIDGE RD.,
ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

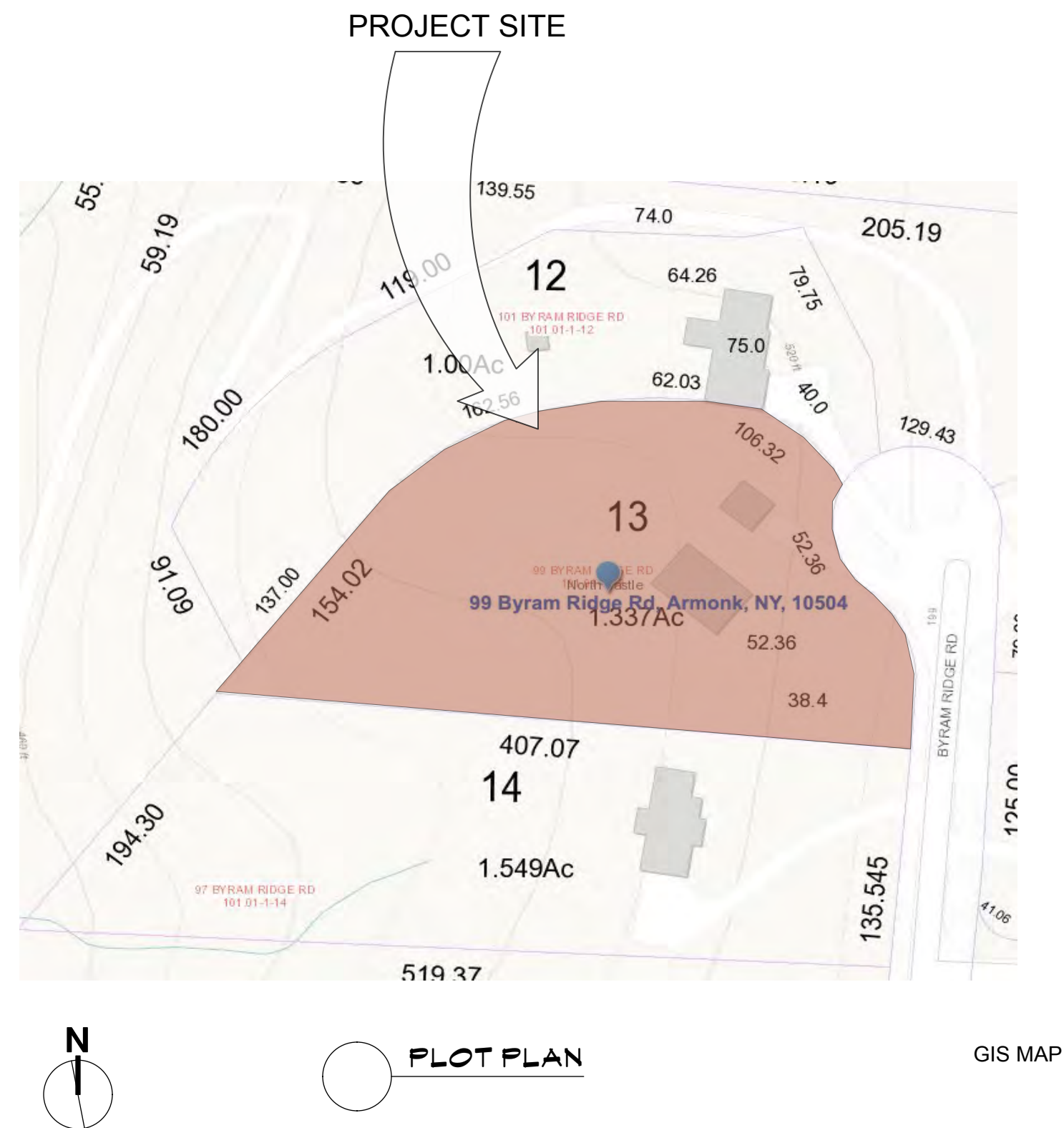
COVER

Project ID / DATE : 2048 / 10.15.2020

Sheet Scale:

T.3

Drawn By: KM Checked By: TFA
Plot Date: JULY 19, 2021



ELECTRICAL NOTES

Work related to these documents shall include furnishing and installation of every kind of wire/conduit required to make the electric light and power distribution system complete, i.e. providing and connecting service entrance equipment, lighting panels, power panels, switches, outlets, receptacles, back boxes, related components required by the local utility company of all fixtures complete with lamps, clamps, hangers, supports, etc.

All electrical work shall comply with the requirements of the national electric code, latest edition. Should a conflict arise, the code or more stringent requirements shall prevail.

All wiring shall be copper, # 12 awg minimum size - #8 and smaller to be solid, #6 and larger to be stranded. Insulation to be NEC 600 volt type, rated @ 75 degrees C and be properly phase color coded for 120/208 V, 3 phase 4-wire service.

Unless noted otherwise, minimum size conduit shall be 1/2" and number of cross marks indicate number of # 12 conductors in conduit. Type of conduit used shall be in strict accordance with code provisions concerning same. All conduit runs are to be concealed in floors, walls, and ceilings, except where noted otherwise.

Electrical installation shall be tested for shorts, grounds, operation of low voltage circuitry, night light wiring, stand-by generator and connections to same, etc. Defects shall be remedied at once and the tests re-run as many times as may be required to prove correctness. Balance all phase loading of all panelboards.

The circuits shall be distinctly numbered and identified on the schedule of circuits typewritten to the panelboard. Affix permanent identifying nameplates to all electrical switches, pilot devices, selector switches, etc. Submit samples and list of titles for approval prior to purchase and installation.

PLUMBING NOTES

Installation of all work herein specified shall conform to the requirements of the NY State Plumbing Code, rules and regulations of the North Castle building department, and all other local authorities having jurisdiction, including federal O.S.H.A. specifications.

All materials used shall be new, best of their respective brands and conform to the requirements of all state and local authorities having jurisdiction. Pipework installed under this contract shall be in accordance with the following schedule:

Material

Soil and waste lines [within building] above grade - extra heavy cast iron pipe or dwv copper pipe with sweat solder connections;

Below grade - extra heavy cast iron pipe. soil and waste lines [outside building] extra heavy cast iron pipe. vent piping standard weight galvanized pipe or type dwv copper pipe with sweat solder joints. cold and hot water piping underground-typek with flare fittings.

Above grade [within building] type l copper tube with lead free sweat solder connections

Set clevis hangers for the support of copper piping not more than 10 ft on center. set hangers for cast iron pipe not more than 5 ft apart, use 3/8" rod for pipe up to 2" and 1/2" rod for pipes, 2 1/2" and larger. cover all cold water and hot water lines with 1" thick o-c fiberglass light density one piece pipe insulation having frk universal type vapor barrier outer jacket. install as per manufacturer's specifications. cover all valves and fittings with zeston premoulded insulating shapes.

STEEL NOTES

1- All Structural Steel Shall Conform With Aisc Specifications For Structural Steel For Buildings, And Shall Be Based On Astm-A36 With Minimum Yield Point Of 36,000psi.

2- All Connection Material Shall Conform To ASTM Requirements:
 A) High Strength Bolts : A325
 B) Welding Electrodes : Aws-a5, 1, E70 Series.
 C) Bolts Shall Be 3/4" Diameter.
 D) Open Holes Shall Be 1 3/16" Diameter, Unless Otherwise Indicated.

3- All Welding Shall Be Done By Licensed Welders And Shall Be Inspected By Approved Welding Agency.

4- Provisions Shall Be Made For Connections Of Other Trades Prior To Fabrication.

5- All Steel Members Shall Have Shop Coat Of Primer.

6- Loose Lintels Shall Have 6" Bearing Each End.

02060 REMOVALS

I. WORK INCLUDED

1. SEE ARCHITECTURAL DEMOLITION DRAWING
 SEE ALSO MECHANICAL AND ELECTRICAL DRAWINGS.

2. GENERAL REMOVALS AND RELOCATIONS:

1. REMOVE AND RELOCATE ALL EXISTING MISCELLANEOUS MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES INCLUDING BUT NOT LIMITED TO: FIRE ALARM, PULLS STATIONS, POWER OUTLETS, LIGHT SWITCHES, THERMOSTATS AND TELEPHONE OUTLETS AS REQUIRED FOR THE INSTALLATION OF NEW YORK.

2. REMOVE ALL ITEMS, MATERIALS AND FINISHES REQUIRED FOR THE INSTALLATION OF NEW WORK, OR THE RELOCATION OF EXISTING, AS DESCRIBED IN PERTINENT SECTIONS OF THESE SPECIFICATIONS AND / OR SHOWN ON THE DRAWINGS INCLUDING STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.

3. EXISTING WIRING, PIPING OR OTHER LINES WITHIN WALLS OR CEILINGS TO BE REMOVED - VERIFY THAT THESE ARE ABANDONED PRIOR TO REMOVAL. RE-ROUTE ANY LINES THAT ARE STILL IN USE TO MAINTAIN ALL EXISTING SERVICES.

II. MATERIALS - (NA)

III. EXECUTION

1. ALL REMOVALS AND DEMOLITION SHALL BE IN COMPLIANCE WITH NYS BUILDING CODE, AND ALL APPLICABLE FEDERAL SAFETY REGULATIONS.

2. ALL MATERIALS AND ITEMS THAT ARE TO BE REUSED AND RELOCATED IN CONNECTION WITH THE NEW WORK SHALL BE CAREFULLY CUT AWAY FROM THE EXISTING ADJUTING WORK TRUE TO LINE AT THE NEAREST JOINT, SURFACE BREAK OR PATTERN LINE TO ENSURE NO NOTICEABLE DIFFERENCE BETWEEN NEW AND EXISTING TO REMAIN. REMOVALS SHALL BE KEPT TO A MINIMUM MATERIALS TO BE REUSED AND RELOCATED SHALL BE PROPERLY HANDLED, TAGGED AND PROPERLY STORED TO PREVENT DAMAGING AND BREAKING.

3. CAREFULLY COORDINATE ALL TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE OF THE WORK.

4. WHEN WORK IS STOPPED, PROVIDE AND MAINTAIN IN PLACE SUITABLE COVERINGS AND BARRIERS FOR PROTECTION OF THE WORK AND SAFETY FOR ALL PERSONNEL AND BUILDING USERS, PROVIDE PROTECTED PATHS OF EGRESS, PER PHASING REQUIREMENTS, FOR CONTINUOUS PUBLIC ACCESS TO STAIRS, ESCALATORS AND ENTRANCES/EXITS.

5. PROTECT ALL WORK, EXISTING AND NEW, FROM DAMAGE BY ANY CAUSE THROUGHOUT THE DEMOLITION OPERATIONS PROTECTIVE COVERINGS OR BARRIERS SHALL NOT MAR, STAIN OR PENETRATE THE FINISHED WORK.

6. COORDINATE ALL ELECTRICAL WORK FOR THE PROPER DISCONNECTIONS, PROTECTIONS AND CAPPING; SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS.

7. UNDERTAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVENT EXCESSIVE DUST DURING DEMOLITION.

8. REMOVE ALL PORTIONS OF THE WORK IN A SAFE MANNER WITH CARE TO PREVENT DAMAGE TO ADJACENT AND REMAINING STRUCTURE, FINISHES OR ANY OTHER ITEMS OF PROPERTY.

9. ALL MATERIALS UNLESS NOTED TO BE REUSED OR TO BE SALVAGED SHALL BE REMOVED OFF THE PROPERTY TO AN AVAILABLE DUMP OR SITE OF THE CONTRACTOR'S OWN CHOOSING AND ARE TO BE PROPERLY AND RESPONSIBLY DISPOSED OF, NO BURNING OR ON-SITE DISPOSAL IS PERMITTED.

10. VERIFY SALVAGE REQUIREMENTS FOR ALL MATERIALS NOTED TO BE REMOVED WITH SAFE HORIZON. MATERIALS NOTED TO BE SALVAGED SHALL BE PROPERLY STORED IN LOCATION PER SAFE HORIZON, INC. DIRECTIONS.

11. ALL SPACES ARE TO BE BROOM CLEANED DAILY.

12. ALL REMOVALS SHALL LEAVE THE EXISTING SURFACES AND SUBSTRATES FREE AND CLEAN FOR THE PROPER PATCHING AND PREPARATION REQUIRED FOR THE SPECIFIED NEW MATERIALS AND FINISHES.

NOTES:

STEEL COLS SHALL REST ON 12" X 12" 3/4" T, ST. BASE PLATE OVER LEVELLING PLATE OVER NON-SHRINK GROUT W/ (4) 3/4" @ 12" LONG ANCHOR BOLTS OVER 3'-0" X 3'-0" X 18" CONC. FOOTINGS W/ (8) # 4'S EA. MAY-BOTTOM.

ALL BEAMS OVER 2 MEMBERS SHALL BE BOLTED TOGETHER W/ 3/4" THRU-BOLTS @ 18" O.C. STAGGERED.

ALL FLUSH BEAMS SHALL RECEIVE JOIST HANGERS BY SIMPSON OR EQ.

ALL DOORS, WINDOWS SHALL RECEIVE (2) 2X10 HEADERS (TYP.) UNLESS OTHERWISE NOTED ON PLANS.

ALL FOUNDATION WALLS SHALL BE WATERPROOFED W/ 2-COATS OF BITUM. COATING AND BACKFILLED W/ GRAVEL

CONSTRUCTION TO BE "V B" SINGLE FAMILY RESIDENTIAL LIVE LOADS = 40 PSF GROUND SNOW LOAD = 30 PSF SNOW LOAD = 30 PSF DEAD LOAD = 15 PSF WIND LOADS = 115 MPH SEISMIC DESIGN: B

WOOD NOTES

1- All Exterior Wood Framing Members Shall Be Structural Grade With Min. Fiber Stress Strength Of 1400, And Shall Be Pressure Treated For Exterior Exposure.

2- Contractor To Provide All Steel Connections Required For Fastening Members To Others.

3- Contractor To Refer To "simpson-strong Tie" Manual For Post Plates, Joist / Beam Hangers As Well As Hold Downs And Post Caps Etc...

1- ALL STRUCTURAL STEEL SHALL CONFORM WITH AISC SPECIFICATIONS FOR STRUCTURAL STEEL FOR BUILDINGS, AND SHALL BE BASED ON ASTM-A36 WITH MINIMUM YIELD POINT OF 36,000 PSI.
 2- ALL CONNECTION MATERIAL SHALL CONFORM TO ASTM REQUIREMENTS:
 A) HIGH STRENGTH BOLTS : A325
 B) WELDING ELECTRODES : AWS-A5, 1, E70 SERIES.
 C) BOLTS SHALL BE 3/4" DIAMETER.
 D) OPEN HOLES SHALL BE 1 3/16" DIAMETER, UNLESS OTHERWISE INDICATED.
 3- ALL WELDING SHALL BE DONE BY LICENSED WELDERS AND SHALL BE INSPECTED BY APPROVED WELDING AGENCY.
 4- PROVISIONS SHALL BE MADE FOR CONNECTIONS OF OTHER TRADES PRIOR TO FABRICATION.
 5- ALL STEEL MEMBERS SHALL HAVE SHOP COAT OF PRIMER.
 6- LOOSE LINTELS SHALL HAVE 6" BEARING EACH END.

FOUNDATIONS:

1- ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL HAVING A MIN. BEARING CAPACITY OF 2 TONS PER SQ. FT.
 2- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A GREATER THAN 1 VERTICAL TO 2 HORIZONTAL SLOPE WITH RESPECT TO ANY OTHER ADJACENT FOOTINGS.

CONCRETE:

1- ALL CONCRETE SHALL BE STONE AGGREGATE CONCRETE WITH AN ULTIMATE COMPRESSIVE STRENGTH OF 3000# PSI AFTER 28 DAYS.
 2- WELDED WIRE FABRIC SHALL HAVE AN ULTIMATE STRENGTH OF 10,000 PSI.
 3- ALL STEEL REINFORCEMENT SHALL BE DEFORMED ACCORDING TO ASTM-A615, GRADE 60 AND SHALL HAVE A YIELD POINT OF 40,000 PSI.

MASONRY:

1- CONCRETE BLOCK SHALL CONFORM TO ASTM C-145, GRADE N-1.
 2- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "N".
 3- NO VINYLIDENE CHLORIDE OR ANY UNAPPROVED CURING ADMIXTURE SHALL BE ALLOWED IN MORTAR MIXTURE.
 4- PROVIDE GALV. HORIZONTAL REINFORCEMENTS AT EVERY COURSE JOINT.

ADMINISTRATIVE

THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED FOR THE SUPERVISION OF WORK. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CHANGES ON THE APPROVED PLANS.

NO WORK IS TO BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE GOVERNING AGENCIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. HE SHALL REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING.

ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AS REQUIRED BY LOCAL AGENCIES.

DO NOT SCALE DIMENSIONS FROM DRAWINGS, WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES. LARGE SCALE DRAWINGS TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS.

NO WORK IS TO BE STARTED UNTIL THE PLANS ARE APPROVED BY THE NEW YORK CITY DEPT. OF BUILDING AND A WORK PERMIT IS OBTAINED.

THESE NOTES ARE PART OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND ARE TO BE FULLY COMPLIED WITH IN ALL RESPECTS. THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE SO THAT HE MAY DETERMINE THE DIFFICULTIES HE MAY ENCOUNTER DURING CONSTRUCTION.

FOUNDATION AND SUBSOIL CONDITIONS HAVE BEEN DESIGNED BASED ON THE INFORMATION CONTAINED WITHIN THE BORINGS AND/OR TEST PITS AS FURNISHED BY THE OWNER. EXACT FOUNDATION REQUIREMENTS ARE SUBJECT TO CHANGE BASED ON CONTROLLED INSPECTIONS OF SUBSOIL CONDITIONS AND MAY VARY FROM THOSE INDICATED ON THESE DRAWINGS.

CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES TO VERIFY EXACT LOCATIONS OF THEIR UTILITY LINES, SERVICE AND OTHER POSSIBLE EQUIPMENT.

THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING SITE.

PRIOR TO COMMENCEMENT OF WORK THE ADJACENT PROPERTY OWNERS SHALL BE GIVEN 5 DAYS WRITTEN NOTICE BY CERTIFIED MAIL, WHERE ADJACENT PROPERTY IS AFFECTED BY FOUNDATIONS, GRADING EARTH WORK OR DEMO WORK.

AN ACCURATE AND COMPLETED SURVEY, MADE BY A LICENSED SURVEYOR, SHALL BE SUBMITTED TO THE APPLICANT OF RECORD AFTER COMPLETION OF WORK SHOWING THE LOCATION AND ELEVATIONS OF ANY NEW BUILDING OR EXTENSION, FINISHED FLOOR ELEVATION, GRADE ELEVATIONS AND SHALL COMPLY TO THE MINIMUM STANDARDS OF THE NYSSEFS.

SCOPE OF WORK:

PROVIDE 2 STORY ADDITION AND RENOVATION TO EXISTING ONE AND HALF STORY STRUCTURE. WORK TO INCLUDE NEW INGROUND POOL UNDER SEPARATE PERMIT. PROVIDE FOR NEW DRIVEWAY, DECK AND GAZEBO. REMOVE EXISTING TREES UNDER SEPARATE PERMIT.

SEPARATE APPLICATIONS

- PLUMBING PERMIT
- ELECTRICAL PERMIT
- TREE REMOVAL
- SEPTIC DESIGN

GENERAL NOTES

CONTRACTOR SHALL VISIT SITE AND SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS, WHICH PERTAIN TO THE FABRICATION PROCESSES, OR TO TECHNIQUES FOR CONSTRUCTION AND COORDINATION OF THE WORK OF ALL TRADES, PRIOR TO START OF CONSTRUCTION.

ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF ARCHITECT BEFORE PROCEEDING. THE ELEVATIONS AND AVAILABILITY OF UTILITIES, SEWER, WATER AND ELECTRIC LINES SHALL BE VERIFIED BY OR DETERMINED BY INTERESTED CONTRACTORS PRIOR TO SUBMISSION OF BID.

CONTRACTORS SHALL ADJUST PITCH OF NEW LINES TO INSURE PROPER AND LEGAL INTERSECTIONS. CONTRACTOR SHALL COORDINATE LOCATIONS FOR STRUCTURAL, MECHANICAL AND ELECTRICAL WORK FOR ALL FITS, SLAB DEPRESSIONS, SLEEVES IN FOUNDATION WALLS, SLABS, AND ROOF OPENINGS, ETC.

CONTRACTOR SHALL VERIFY CONDITIONS OF ADJOINING STRUCTURES WHICH MAY BE AFFECTED, PROVIDE ADEQUATE PROTECTION AND RESTORE TO ORIGINAL CONDITIONS, WHENEVER DAMAGE SHOULD RESULT FROM SUCH WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND BRACINGS FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.

CONTRACTOR SHALL SECURE AND PAY FOR ANY AND ALL PERMITS, LICENSES, CERTIFICATES, FEES, ETC., REQUIRED BY THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS OR ANY AND ALL JURISDICTION AUTHORITIES. CONTRACTOR SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION.

ALL WORK MUST CONFORM TO THE TOWN OF NORTH CASTLE DEPARTMENT OF BUILDINGS, FIRE DEPARTMENT LAWS, RULES AND TO ALL REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION WHETHER SPECIFICALLY SHOWN OR NOT. (O.S.H.A. REGULATIONS MUST ALSO BE ADHERED TO). ALL ELECTRICAL WORK MUST CONFORM TO NATIONAL ELECTRICAL CODE.

ANY ITEM SHOWN ON ONE SHEET SHALL BE AS IF CALLED FOR BY ALL SHEETS. FINAL COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL NOT SCALE DRAWINGS AND SHALL USE REQUIRED DIMENSIONS ONLY. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF BUILDINGS, (STANDARD FORM OF A.I.A. LATEST EDITION A201), ARE PART OF THE CONTRACT DOCUMENTS.

WORK INCLUDED IN THESE CONTRACT DOCUMENTS TO BE ALL LABOR, MATERIALS, AND EQUIPMENT, REQUIRED TO COMPLETE THE PROPOSED CONSTRUCTION AS SHOWN. WORK INCLUDED IN THIS CONTRACT SHALL BE ACCORDING TO THE TRUE INTENT OF THE DRAWINGS AND SHALL BE FIRST CLASS IN ALL RESPECTS.

SUBCONTRACTORS SHALL WARRANT, IN WRITING TO THE OWNER AT CONCLUSION OF JOB, ALL MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION OR PERIODIC FIELD OBSERVATIONS AND ASSUMES NO RESPONSIBILITY FOR SAFETY METHODS ON SITE. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

CONTRACTOR SHALL APPLY TAPING COMPOUND IN 3 COATS TO ALL JOINTS OF ALL SHEETROCK. SHALL PROVIDE TWO COAT HIGH GLOSS PAINT IN THE KITCHEN AREA AND A SATIN FINISH COAT AT ALL OTHER AREAS, INCLUDING CEILINGS. CONTRACTOR TO PROVIDE NEW CERAMIC TILE THROUGHOUT KITCHEN, BATHROOM, LAUNDRY ROOMS AND ALL OTHER NET FLOOR AREAS. COLORS AS SELECTED BY OWNER. SUBCONTRACTOR IS TO PROVIDE ALL FINISH HARDWARE AS REQUIRED BY THE OWNER FOR ALL NEW DOORS.

SCOPE OF WORK PERTAINS TO THE RENOVATION/ADDITION TO EXISTING ONE FAMILY DWELLING. THESE PLANS ARE BASED ON THE 2020 RCNYS (APPENDIX J, ALTERATION LEVEL 2-CHAPTER 6). THE TOWN OF NORTH CASTLE MUNICIPAL CODE AND ALL APPLICABLE RULES AND REGULATIONS.

TOM F. ABILLAMA, R.A. HEREBY STATE THAT I HAVE PREPARED THESE PLANS AND SPECIFICATIONS, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, IN COMPLIANCE WITH THE 2020 ENERGY CODE OF NEW YORK STATE-R 109.2.2-ZONE 4A

TOM F. ABILLAMA, R.A. ARCHITECT

ROUGH CARPENTRY:

- Framing and structural lumber: Douglas Fir # 1, Fb=1050 psi, E=1,600,000, Fv=95 psi. All joists and rafters to have diagonal bracing 3'-0" o.c. maximum. Solid blocking under ceramic tile. Members of built-up girders, headers or lintels shall be spiked or bolted together to act as one unit.
- Cross bridging of joists 1- 1/4" x 3" max, 3'-0" o.c. Collar ties at cathedral ceilings, 2-2 x 6 @ 4'-0" o.c. max. Exterior carpentry at porches shall be c.c.a. treated as indicated on drawings. Ornamental posts shall be of a nominal size 6"x6" - pine.
- Wood deck, 5/4" thick T & G Redwood decking. Deck shall pitch slightly for water runoff.
- Flywood shall meet the requirements of APA requirements and specifications:
- Wall and roof sheathing: 5/8" thick, C-D-Ext-Apa, Exterior glue
- Subflooring: 3/8" thick, C-D-Ext-Apa, exterior glue underlayment: 3/8" thick -
- Underlayment INT-AFA Exterior glue
- All wood beams to have a minimum bearing of 4".
- Double all joists under all partitions.
- All details of construction; lintels, headers, posts, beams, framing, nailing, etc. shall comply with all minimum standards of New York State Code.
- Contractor to do all necessary firestopping of stud partitions and pipe chases, as required by N.Y. State Code whether specifically shown or not.
- Lumber schedule: Miscellaneous lumber, furring, bridging, blocking to be grade #2 of any species ample in strength to meet the requirements thereof.
- Wooden trimmers, headers, and tail joists over six feet in length unless supported on walls or girders, shall be hung in approved metal stirrups, or hangers.
- Every six feet, at least one beam or joist which rests on masonry walls, shall be secured to such walls by approved metal anchors attached in a manner at or near bottom to be self releasing.
- The ends of wooden beams and joists resting on masonry walls shall be cut to a bevel of three inches in their depth. All girders to bear minimum of 3" on masonry.
- Provide shelf and coat pots in all closets with five shelves in linen closet. 1. Finish woodwork shall be dressed and sanded, free from machine and tool marks, abrasions raised grain or other defects on surfaces exposed to view in the finished work.
- Wood finish shall be set straight, plumb and level in true alignment, closely fitted and rigidly secure in place. Nail heads of exposed nailing shall be countersunk. All work shall be left clean, free from warp, twist, open joints and other defects.
- Interior miscellaneous finish carpentry and woodwork to be "C" select of white pine, oak, or yellow poplar.
- Interior doors to be clear birch, stain grade.
- Caulk at all doors and window frames, joints and other surfaces which require the closing of a joint between any two surfaces not of the same material. Caulking compound shall be silicone equal to Thikol sealant by Toch Brothers.
- Contractor to do all flashing required whether specifically shown or not. Tape and apply taping compound in 3 coats to all joints of all sheetrock.

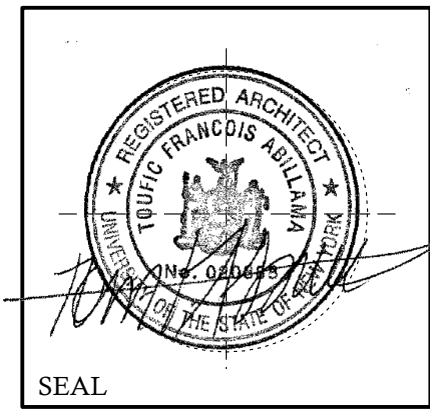
Ground Snow Load (psf)	Wind Design				Seismic Design Category	Subject To Damage From:			Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazard	Air Freezing Index	Mean Annual Temp
	Speed	Topographic Effects	Special region winds	Wind Born Debris		Weathering	Frost Depth	Decay					
30	115 Mph	No	No	No	B	Severe	3'-6"	Moderate to heavy	70	Yes	IRM map 36114003 417 2007	1800 or less	52.28 F

9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PB	6.7.21
5	Client	6.2.21
4	Planning Bd	5.2.21
3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21
NO.	REV.	DATE

OWNER:

MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
 1955 CENTRAL PARK AVENUE
 YONKERS, NEW YORK
 PHONE: 914 6684673
 FAX: 914 668 1831
 EMAIL: FILES@TFARA.COM



KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, NY
 SBL: 101.01/1/13 ZONE: R-1A

COVER SHEET/MAP /NOTES
 Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:
C.01
 Drawn By: KM Checked By: TFA
 Plot Date: JULY 19, 2021



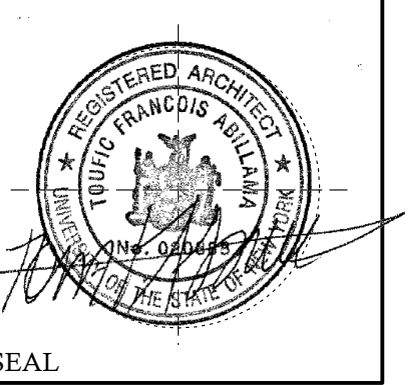
The Christopher Kalian Residence



NO.	REV.	DATE
9	ARB	7.19.21
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6	Client/ PB	6.7.21
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OWNER:
 MR. & MRS.
 CHRISTOPHER
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KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD.,
 ARMONK, N.Y
 SBL: 101.01/1/13 ZONE: R-1A

3D RENDERINGS
 Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:
C.02
 Drawn By: KM Checked By: TFA
 Plot Date: JULY 19, 2021



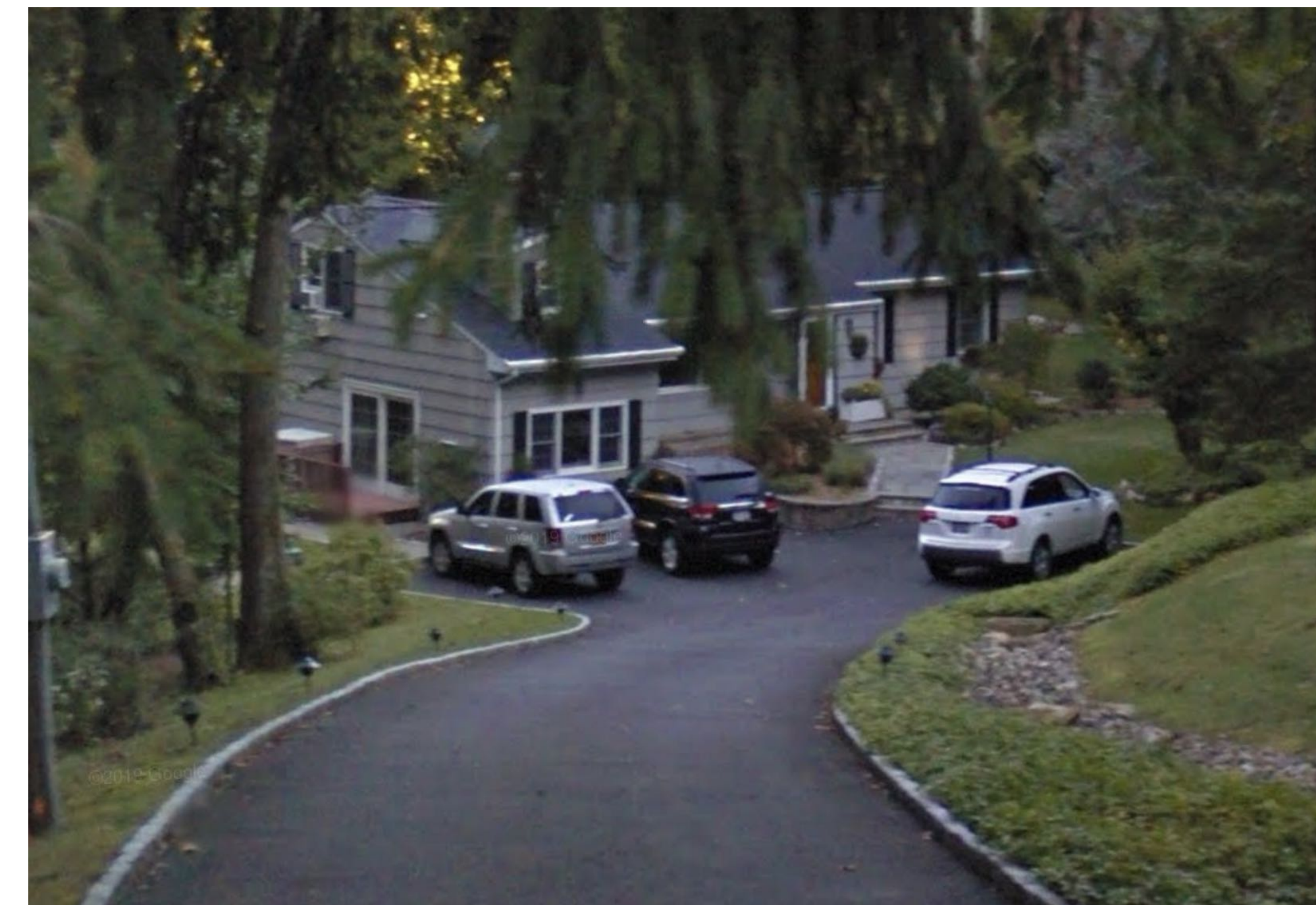
97 BYRAM RIDGE ROAD



99 BYRAM RIDGE ROAD



101 BYRAM RIDGE ROAD



101 BYRAM RIDGE ROAD (close up)



99 BYRAM RIDGE ROAD - ADJOINING PROPERTIES

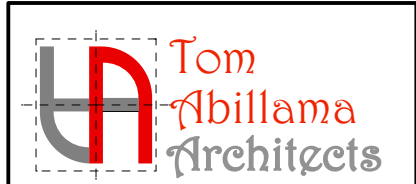


104 BYRAM RIDGE ROAD

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8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PB	6.7.21
5	Client	6.2.21
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OWNER:

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KALIAN



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SEAL

KEY PLAN

PROPOSED
ONE FAMILY
DWELLING
EXPANSION

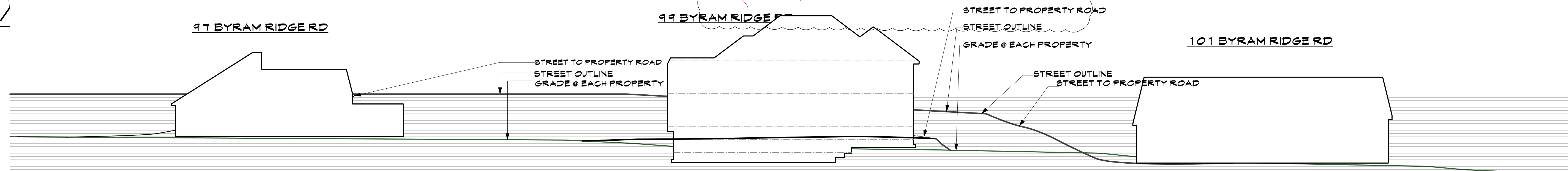
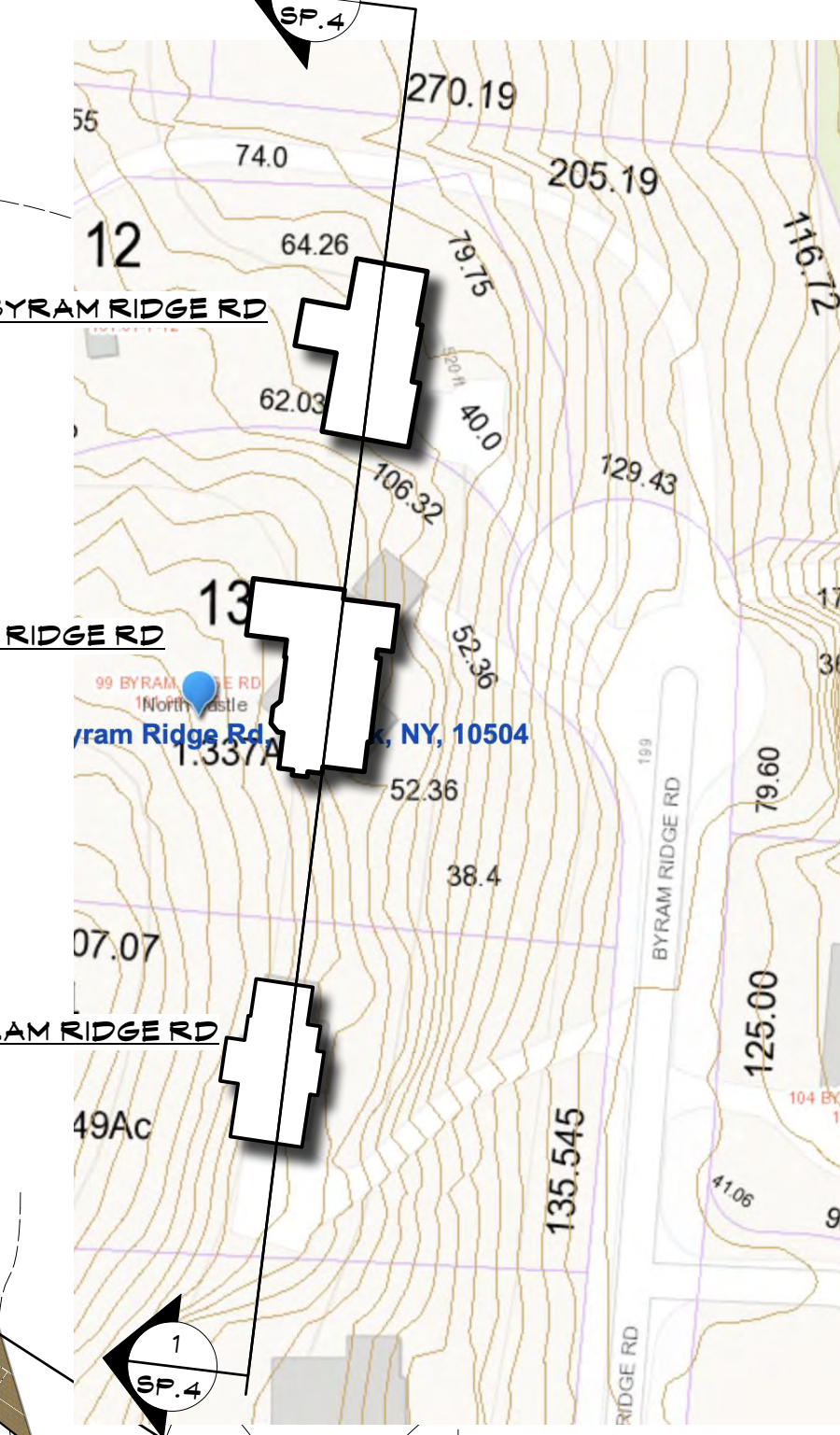
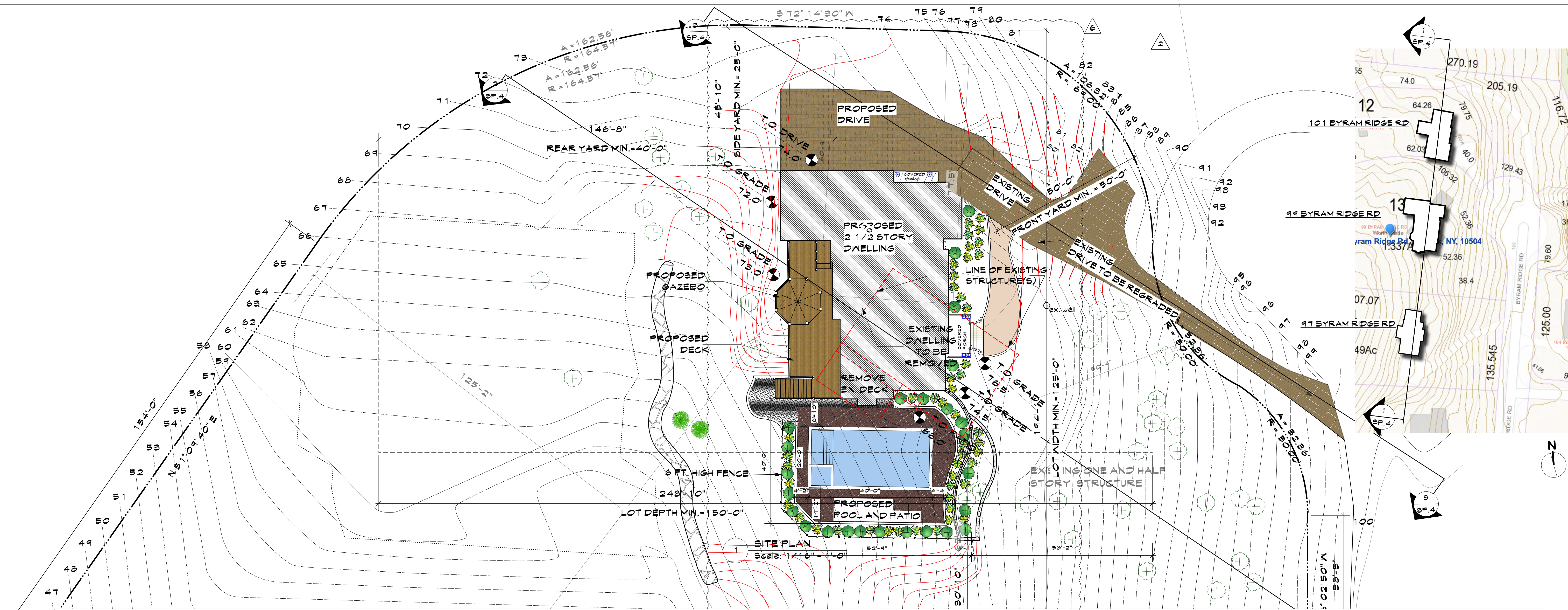
99 BYRAM RIDGE RD.,
ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

AERIAL VIEW &
STREETSCAPE

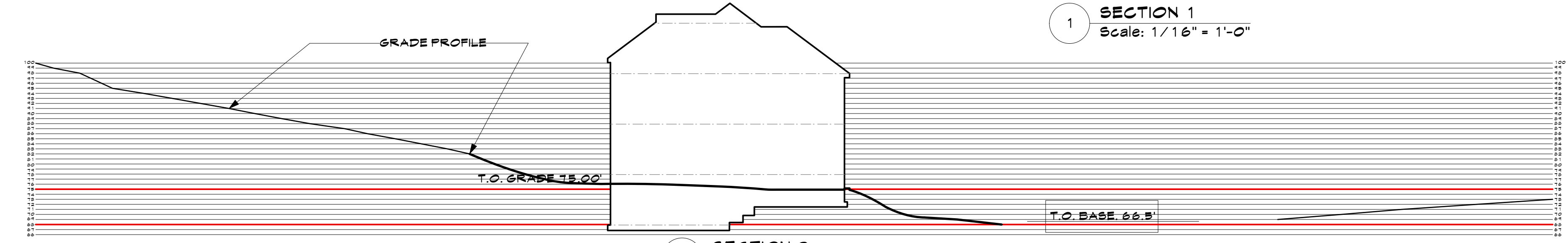
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Sheet Scale:

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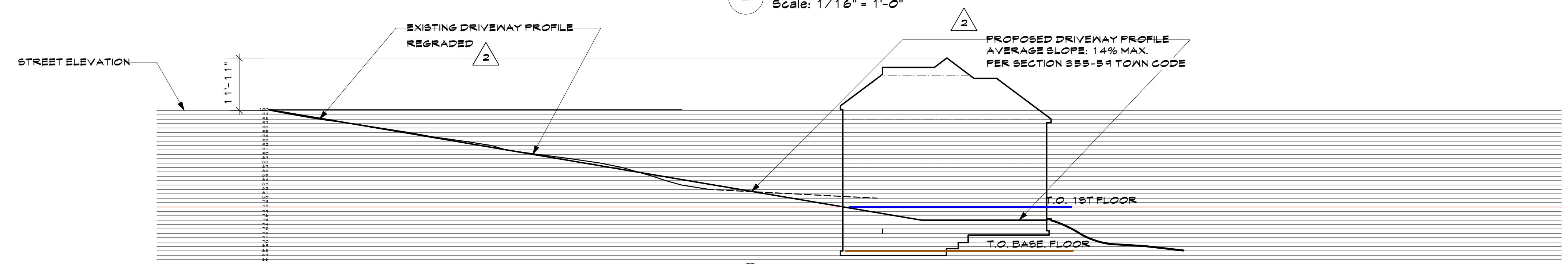
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Plot Date: JULY 19, 2021



1 SECTION 1
Scale: 1/16" = 1'-0"



2 SECTION 2
Scale: 1/16" = 1'-0"



3 SECTION 2
Scale: 1/16" = 1'-0"

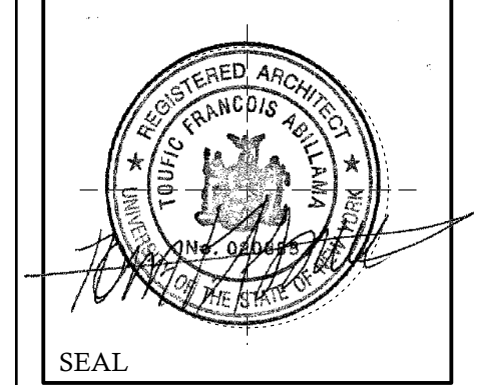
TOWN CODE - SECTION 355-59 DRIVEWAYS

- B. Driveway grades.
- (1) The maximum grade for any new driveway accessory to a single-family dwelling, and connecting its off-street parking area to a street, shall be 14%, except that where it can be demonstrated to the satisfaction of the Town Engineer that, because of practical difficulty or unreasonable hardship affecting a particular property, the construction of a driveway grade of less than 14% is impractical, the construction of a steeper driveway shall be permitted, provided that the increase in driveway grade is the minimum increase required.

9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PE	6.7.21
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4	Planning Bd	5.21.21
3	Planning Bd	5.10.21
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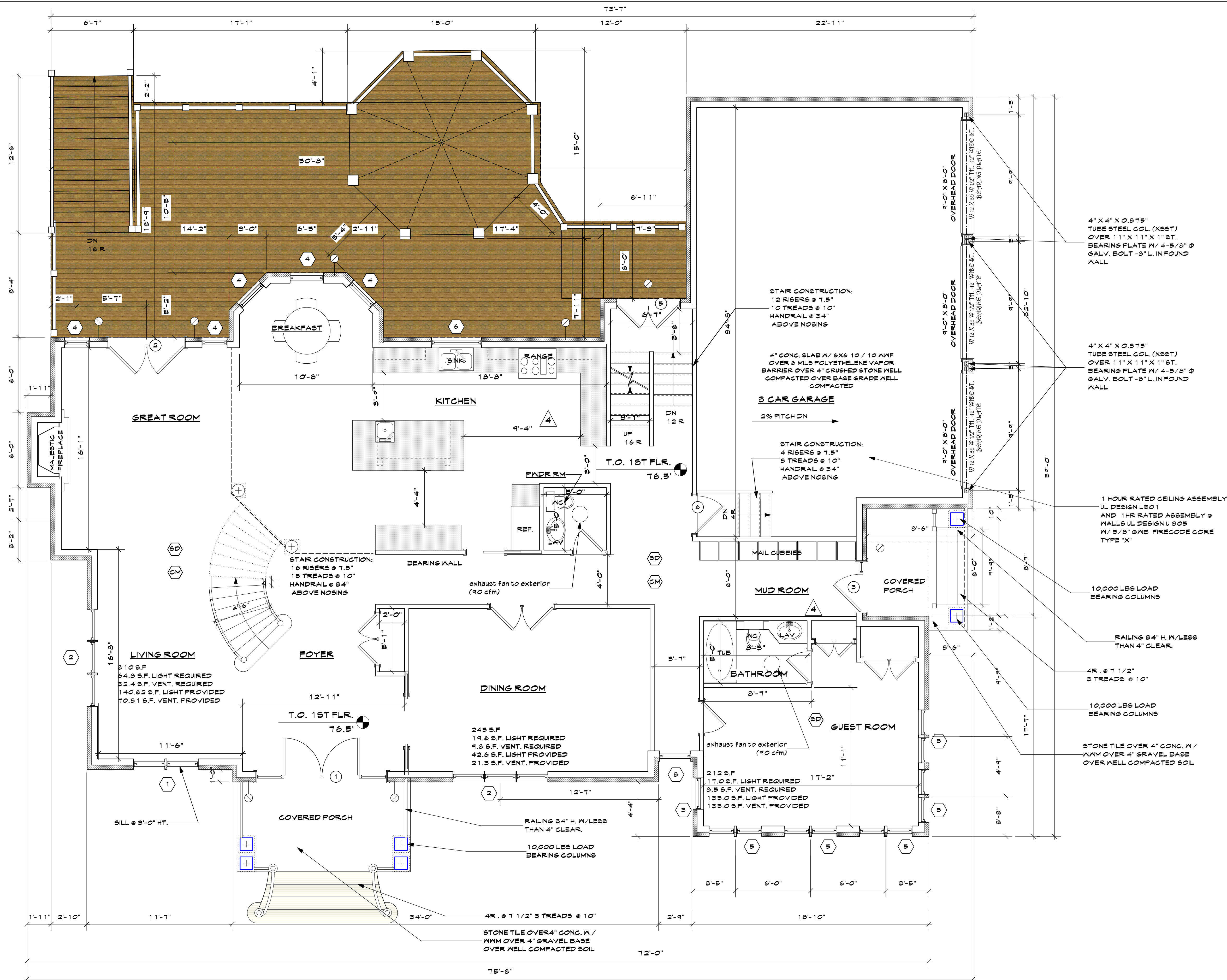
OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
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KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

SITE GRADING
Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:
SP.4
Drawn By: KM Checked By: TFA
Plot Date: JULY 19, 2021



FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PB	6.7.21
5	Client	6.2.21
4	Planning Bd	5.21.21
3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

4" X 4" X 0.875" TUBE STEEL COL. (N6ST) OVER 11" X 11" X 1" ST. BEARING PLATE W/ 4-5/8" Ø GALV. BOLT - 8" L. IN FOUND WALL

4" X 4" X 0.875" TUBE STEEL COL. (N6ST) OVER 11" X 11" X 1" ST. BEARING PLATE W/ 4-5/8" Ø GALV. BOLT - 8" L. IN FOUND WALL

1 HOUR RATED CEILING ASSEMBLY UL DESIGN L801 AND 1HR RATED ASSEMBLY @ WALLS UL DESIGN U 505 W/ 5/8" GNB FIRECODE CORE TYPE "X"

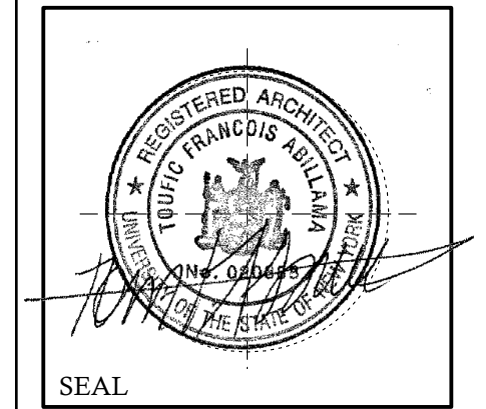
10,000 LBS LOAD BEARING COLUMNS

RAILING 34" H. W/ LESS THAN 4" CLEAR.

4R. @ 7 1/2" S TREADS @ 10"

10,000 LBS LOAD BEARING COLUMNS

STONE TILE OVER 4" CONG. W/ W/M OVER 4" GRAVEL BASE OVER WELL COMPACTED SOIL



1955 CENTRAL PARK AVENUE
YONKERS, NEW YORK
PHONE: 914 6684673
FAX: 914 668 1831
EMAIL: FILES@TFARA.COM

KEY PLAN

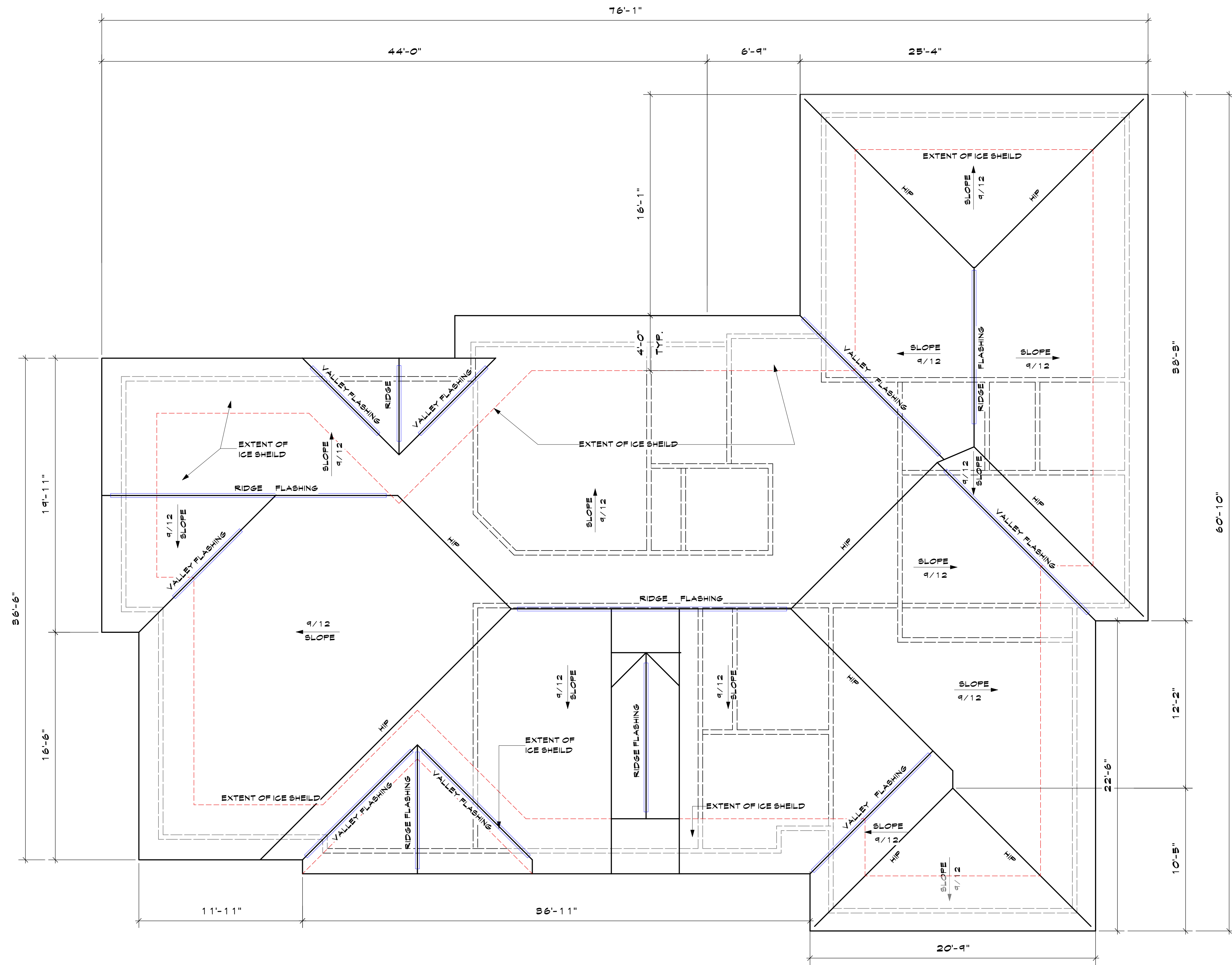
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, NY
SBL: 101.01/1/13 ZONE: R-1A

1ST FLOOR PLAN

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:

A.2

Drawn By: KM Checked By: TFA
Plot Date: JULY 19, 2021

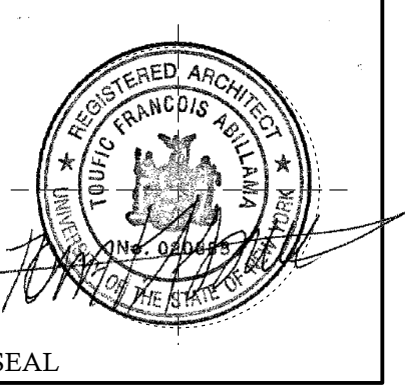


ROOF PLAN 1
Scale: 1/4" = 1'-0" A.4

NO.	REV.	DATE
9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PB	6.7.21
5	Client	6.2.21
4	Planning Bd	5.21.21
3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21

OWNER:
MR. & MRS. CHRISTOPHER KALIAN

Tom Abillama Architects
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KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y
SBL: 101.01/1/13 ZONE: R-1A

ROOF PLAN

Project ID / DATE : 2048 / 10.15.2020
Sheet Scale:

A.4

Drawn By: KM Checked By: TFA
Plot Date: JULY 19, 2021

TYPICAL ROOF CONSTRUCTION
 20 YR. 5/8" ASPHALT/FIBERGLASS SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT. GR. FLUID SHEATING OVER 2X12 KD RAFTERS AT 16" OC. R-39 INSULATION.

ALUM SEAMLESS GUTTER AND LEADER TO STORM.

1" STUCCO W/ WAF OVER 15# BUILDING PAPER OVER 5/4" CDX EXT GRADE PLYWOOD SHEATHING OVER 6" KD STUD FRAME WALL

ACCENT BAND W/ AZEK PANEL

T.O. PROP. DRIVE 75.0'
 T.O. AVER. GRADE 75.1'

CONC. FOOTING W/ 2-# 4'S CONT. OVER UNDISTURBED SOIL 42" MIN. BELOW GRADE

REAR ELEVATION
 Scale: 1/4" = 1'-0" 2

T.O. RIDGE 108.0'

T.O. MID ROOF 102.0'

T.O. ATTIC 96.5'

T.O. EAVES 96.0'

T.O. 2ND FLOOR 86.5'

T.O. 1ST FLOOR 76.5'

T.O. AVER. GRADE 75.1'
 T.O. GRADE 71.5'

T.O. BASEMENT 66.5'

1" STUCCO W/ WAF OVER 15# BUILDING PAPER OVER 5/4" CDX EXT GRADE PLYWOOD SHEATHING OVER 6" KD STUD FRAME WALL

STONE VENEER W/ GALV. WALL ANCHORS @ 16" OC EA. WAF OVER 15# BUILDING PAPER OVER 1/2" CDX EXT. GRADE FLWD. SHEATHING

AVER. BLDG. HT. 30'-0"
 30'-6"
 MAX. BLDG. HT. 56'-0"

TYPICAL ROOF CONSTRUCTION
 20 YR. 5/8" ASPHALT/FIBERGLASS SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT. GR. FLUID SHEATING OVER 2X12 KD RAFTERS AT 16" OC. R-39 INSULATION.

1" STUCCO W/ WAF OVER 15# BUILDING PAPER OVER 5/4" CDX EXT GRADE PLYWOOD SHEATHING OVER 6" KD STUD FRAME WALL

ALUM SEAMLESS GUTTER AND LEADER TO STORM.

ACCENT BAND W/ AZEK PANEL

CONC. FOOTING W/ 2-# 4'S CONT. OVER UNDISTURBED SOIL 42" MIN. BELOW GRADE

FRONT ELEVATION
 Scale: 1/4" = 1'-0" 1

T.O. MID ROOF 102.0'

T.O. ATTIC 96.5'

T.O. EAVES 96.0'

T.O. 2ND FLOOR 86.5'

T.O. 1ST FLOOR 76.5'

T.O. GRADE 74.7'
 T.O. AVER. GRADE 73.1'

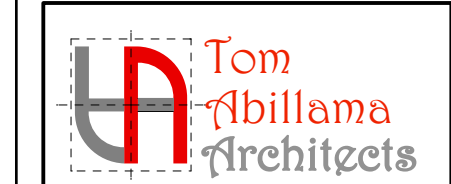
T.O. BASEMENT 66.5'

STONE VENEER W/ GALV. WALL ANCHORS @ 16" OC EA. WAF OVER 15# BUILDING PAPER OVER 1/2" CDX EXT. GRADE FLWD. SHEATHING

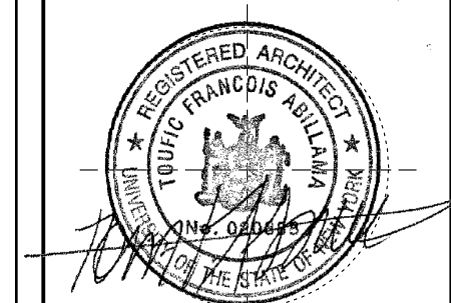
AVER. BLDG. HT. 30'-0"
 28'-11"
 MAX. BLDG. HT. 36'-0"

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SEAL

KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION

99 BYRAM RIDGE RD.,
 ARMONK, N.Y.
 SBL: 101.01/1/13 ZONE: R-1A

REAR/ FRONT ELEVATION

Project ID / DATE: 2048 / 10.15.2020

Sheet Scale:

A.5

Drawn By: KM Checked By: TFA
 Plot Date: JULY 19, 2021

EXTERIOR FINISH NOTES

- 1- FIBERGLASS SHINGLES OVER 15# BLDG PAPER OVER 5/8" PLAD SHEATHING TO BE INSTALLED IN STRICT ACCORDANCE WITH MFR'S WRITTEN RECOMMENDATIONS. COLOR: "BROWNSTONE" SEE SAMPLE.
- 2- FASCIA & RAKE BOARD SHALL BE 5/4" X 10" WOOD WITH 1" X 3" APPLIED WOOD TRIM, PAINTED WHITE
- 3- GABLE END TRIM SHALL BE 1" X 6" CLASSIC TRIM WITH SEMI-MATTE FINISH AS MFD. BY AZEK OR APPROVED EQUAL. COLOR: PREFINISHED WHITE
- 4- CORNICE, FRIEZE SHALL BE COMPOSED OF #089600 CROWN MOULDING & #154600 BOARD AS MFD. BY FYFON OR EQUAL. INSTALL AS PER MFR'S RECOMMENDATIONS. FINISH OF FRIEZE: WHITE.
- 5- STONE VENEER @ BUILDING: SEE IMAGE
- 6- STONE RETAINING WALL: SEE IMAGE
- 7- 12" Ø X 9'-0" LOAD BEARING COLUMN (25000# CAPACITY) PLAIN FIBERGLASS PAINTED WHITE- CLASSIC TAPERED W/ TUSCAN BASE AND CAPITAL MOULDING BY "CROWN" OR EQUAL
- 8- TOP & BOT. RAIL - BTRX 96 OR 144 BY FYFON & 5" BALUSTRADE - BALBX-3AXS2WF BY FYFON
- 9- WINDOW TRIM SHALL BE 1" X 3" RAISED AS - EIFS COLOR: WHITE
- 10- DORMER RAKE BOARDS, TRIM & FASCIA SHALL BE AZEK CUT TO SIZE IF REQUIRED, PAINTED WHITE
- 11- 1" STUCCO W/ WIRE LATH- COLOR: BEIGE "DESERT TAN"
- 12- BALUSTERS (BAL TX 25) BY OUTWATER OREG.
- 13- WOOD RAILING @ BACK OF PATIO, BTR 12x 96
- 14- WHITE ANDERSON DBL HUNG WINDOWS
- 15- RAISED CEDAR TRIM OVER BIRCH VENEER PLYND
- 16- METAL RAILING PAINTED WHITE
- 17- STONE STEPS
- 18- WALL HUNG LIGHT FIXTURE
- 19- FRONT DOOR PER OWNER



5- STONE VENEER @ BUILDING



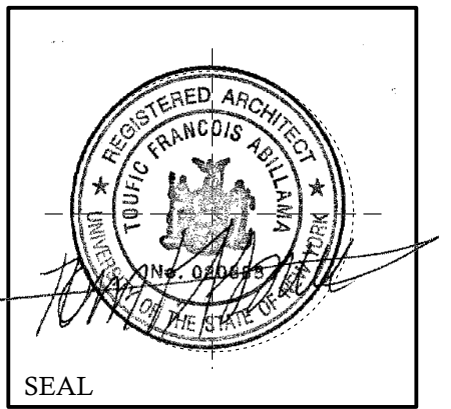
6- STONE RETAINING WALL



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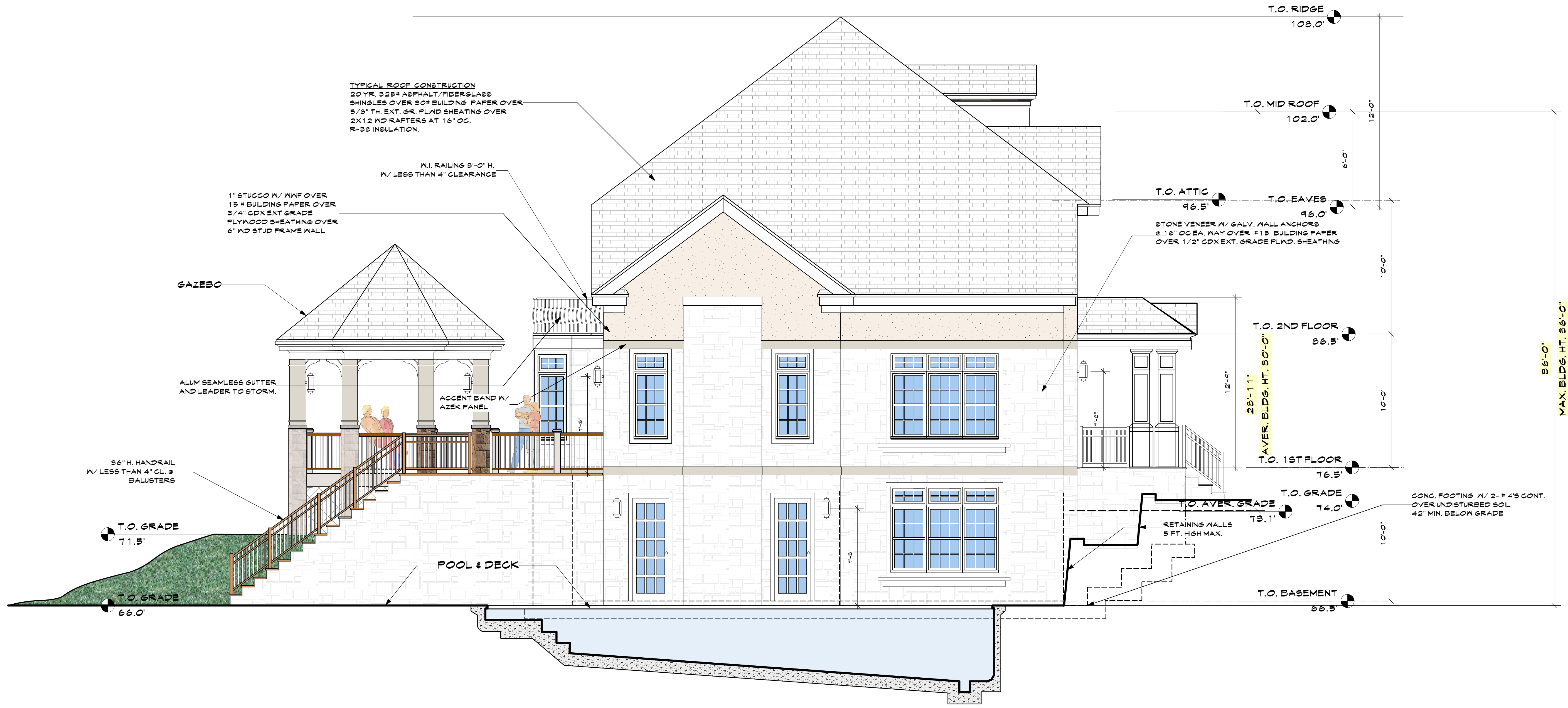
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KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD., ARMONK, NY
 SBL: 101.01/1/13 ZONE: R-1A

RIGHT SIDE ELEVATION
 Project ID / DATE: 2048 / 10.15.2020
 Sheet Scale:
A.6
 Drawn By: KM Checked By: TFA
 Plot Date: JULY 19, 2021

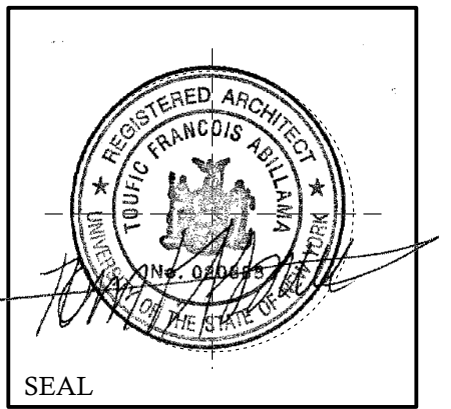


RIGHT SIDE ELEVATION 1
 Scale: 1/4" = 1'-0"

9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
6	Client/ PB	6.7.21
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3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21
NO.	REV.	DATE

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KEY PLAN

PROPOSED ONE FAMILY DWELLING EXPANSION
 99 BYRAM RIDGE RD.,
 ARMONK, N.Y
 SBL: 101.01/1/13 ZONE: R-1A

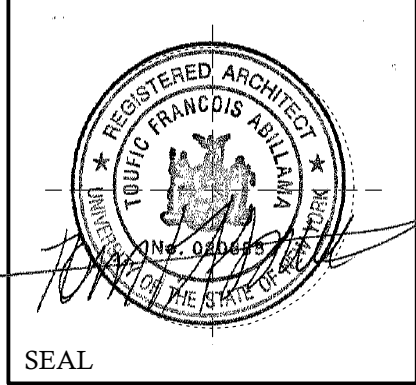
LEFT SIDE ELEVATION

Project ID / DATE : 2048 / 10.15.2020
 Sheet Scale:
A.7
 Drawn By: KM Checked By: TFA
 Plot Date: JULY 19, 2021

9	ARB	7.19.21
8	ARB	7.09.21
7	Coord.	6.17.21
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5	Client	6.2.21
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3	Planning Bd	5.10.21
2	Planning Bd	4.14.21
1	Planning Bd	3.10.21
NO.	REV.	DATE

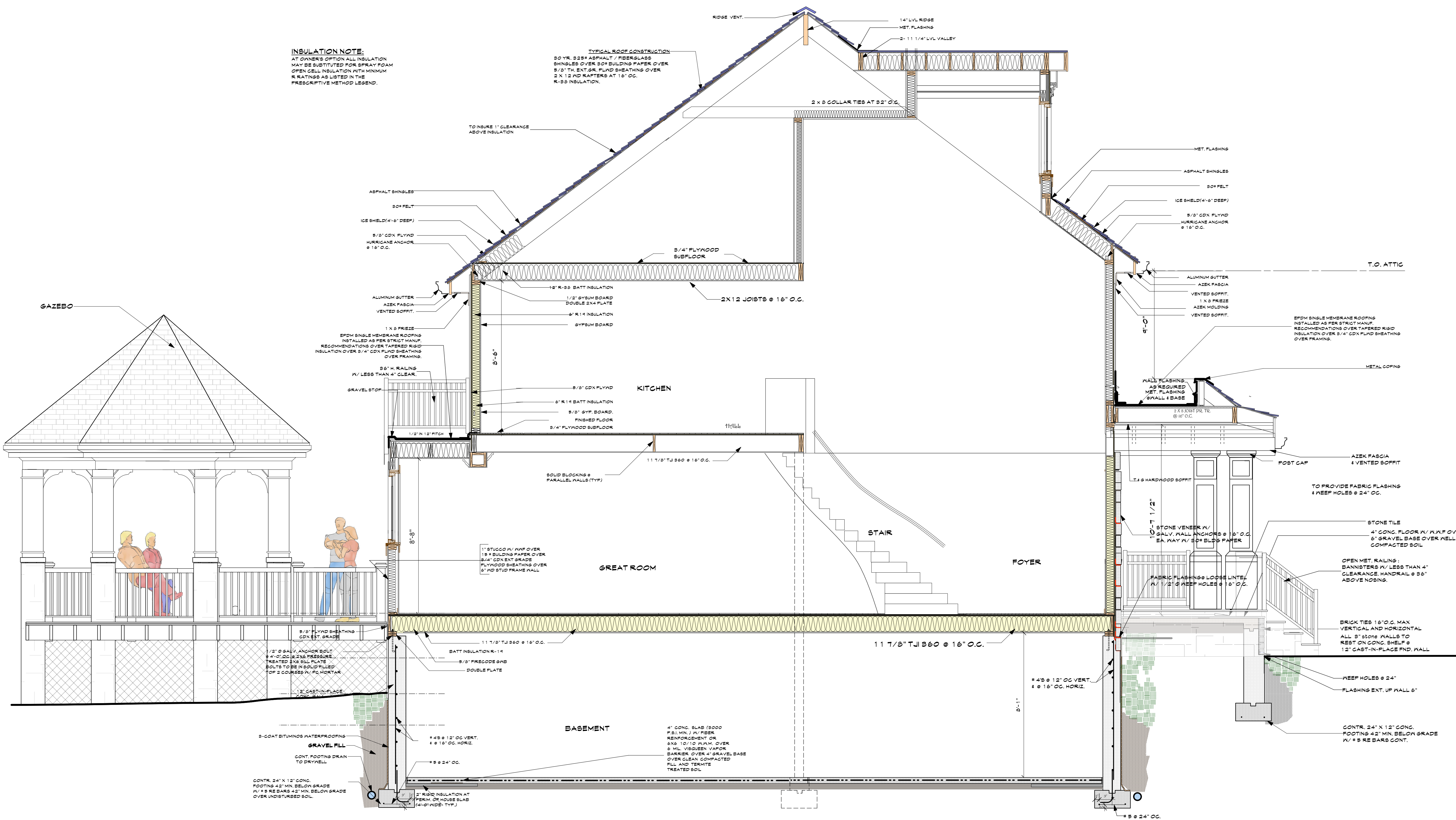
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KEY PLAN
PROPOSED ONE FAMILY DWELLING EXPANSION
99 BYRAM RIDGE RD., ARMONK, N.Y.
SBL: 101.01/1/13 ZONE: R-1A

CROSS SECTION
Project ID / DATE: 2048 / 10.15.2020
Sheet Scale:
A.8
Drawn By: KM Checked By: TFA
Plot Date: JULY 19, 2021



INSULATION NOTE:
AT OWNER'S OPTION ALL INSULATION MAY BE SUBSTITUTED FOR SPRAY FOAM OPEN CELL INSULATION WITH MINIMUM R RATINGS AS LISTED IN THE PRESCRIPTIVE METHOD LEGEND.

TYPICAL ROOF CONSTRUCTION:
30 YR. 30# ASPHALT / FIBERGLASS SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT. GR. FLYND SHEATHING OVER 2" X 12" RD RAFTERS AT 18" OC. R-30 INSULATION.

CROSS SECTION 1
Scale: 3/8" = 1'-0"

