

AVERAGE GRADE CALCULATION

POINTS	AVG OF POINTS	x	DISTANCE BETWEEN POINTS	=	TOTAL
A-B	(386.5 + 386)/2		21'		8,111.25
B-C	(386 + 382.5)/2		21'		8,048.25
C-D	(378.5 + 378)/2		186.6'		70,581.45
D-E	(378.5 + 382)/2		25.5'		9,696.35
E-F	(378 + 378)/2		12'		4,536
F-G	(386.25 + 382)/2		4'		1,217
G-A	(386.5 + 386.25)/2		190.8'		73,720.4
			460.9'		175,910.7 sf AVG: 381.67'

ZONING COMPLIANCE CHART

MINIMUM DIMENSIONS	LOT 1	LOT 2		
LOT SIZE	20,000 sf	27,456 sf	27,456 sf	
FRONTAGE	100 ft	137.5 sf	137.5 sf	
WIDTH	100 ft	137.5 sf	137.5 sf	
DEPTH	150 ft	200 sf	200 sf	
MINIMUM YARDS				
FRONT	10 ft	10.67 ft	10 ft	
SIDE	15 ft	31.2R (min)	31.75 ft (min)	
REAR	5 ft	5 ft	5 ft	
MAXIMUM BUILDING HEIGHT				
HEIGHT	30 ft	30 ft	30 ft	
STORIES	3	2-1/2	2-1/2	
MAXIMUM BUILDING COVER				
	28.1% (7,728 sf)	28.1% (7,728 sf)	PROPOSED 15,456 sf	PERMITTED 21,965 sf
FAR	18,228 sf	18,228 sf	0.66 36,456 sf	0.9 49,420 sf

PARKING TABULATION CHART

REQUIRED	MARKET RATE UNITS		TOTALS	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
CALCULATIONS	LOT 1	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
	LOT 2	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
			52 TOTAL	57 TOTAL
				25 EXTERIOR (INCLUDES 2 HC)

LOCATION PLAN

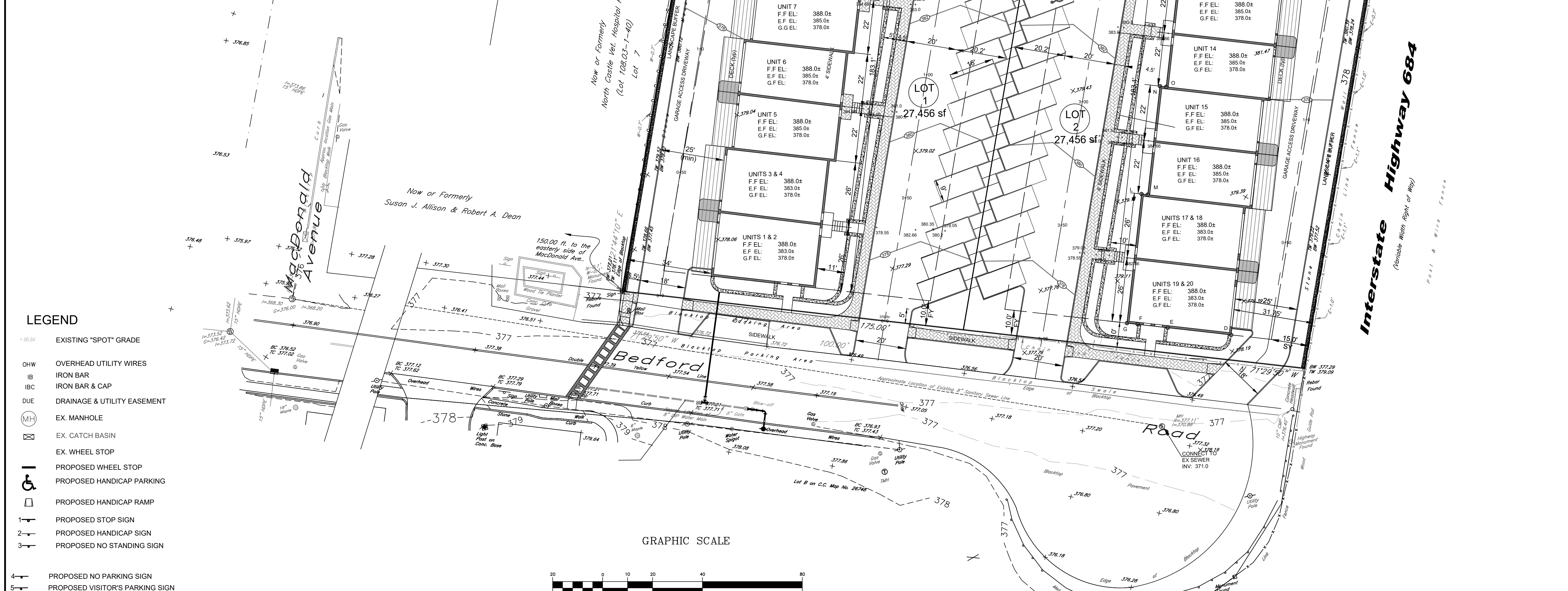
OWNER/APPLICANT: NTS
154 BEDFORD ROAD LLC
4 MACDONALD AVENUE
ARMONK, NEW YORK

PROPERTY LOCATION: 154 - 170 BEDFORD ROAD
ARMONK, NEW YORK

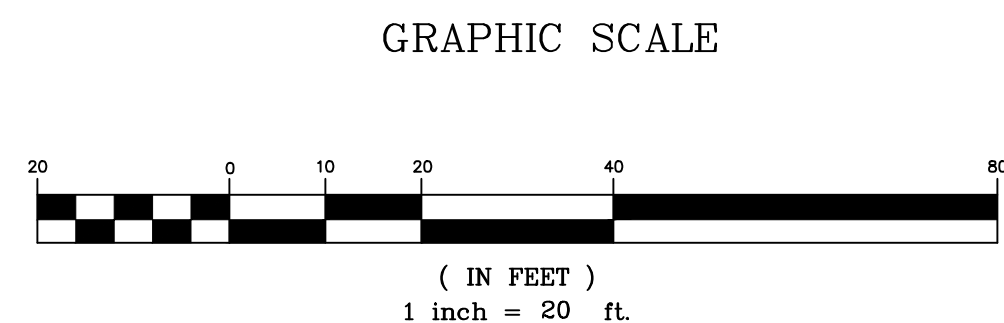
ZONING DISTRICT: R-MF-SS
(RESIDENTIAL-MULTIFAMILY-SINGLE STRUCTURE)

AREA: 1.26 ACRES

TAX LOT NUMBER: SECTION 108.03; BLOCK 1; LOT 42



- LEGEND**
- + 38.04 EXISTING "SPOT" GRADE
 - OHW OVERHEAD UTILITY WIRES
 - IB IRON BAR
 - IBC IRON BAR & CAP
 - DUE DRAINAGE & UTILITY EASEMENT
 - (MH) EX. MANHOLE
 - EX. CATCH BASIN
 - EX. WHEEL STOP
 - PROPOSED WHEEL STOP
 - PROPOSED HANDICAP PARKING
 - PROPOSED HANDICAP RAMP
 - 1 PROPOSED STOP SIGN
 - 2 PROPOSED HANDICAP SIGN
 - 3 PROPOSED NO STANDING SIGN
 - 4 PROPOSED NO PARKING SIGN
 - 5 PROPOSED VISITOR'S PARKING SIGN



SHEET: 1 of 1

NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS

592 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

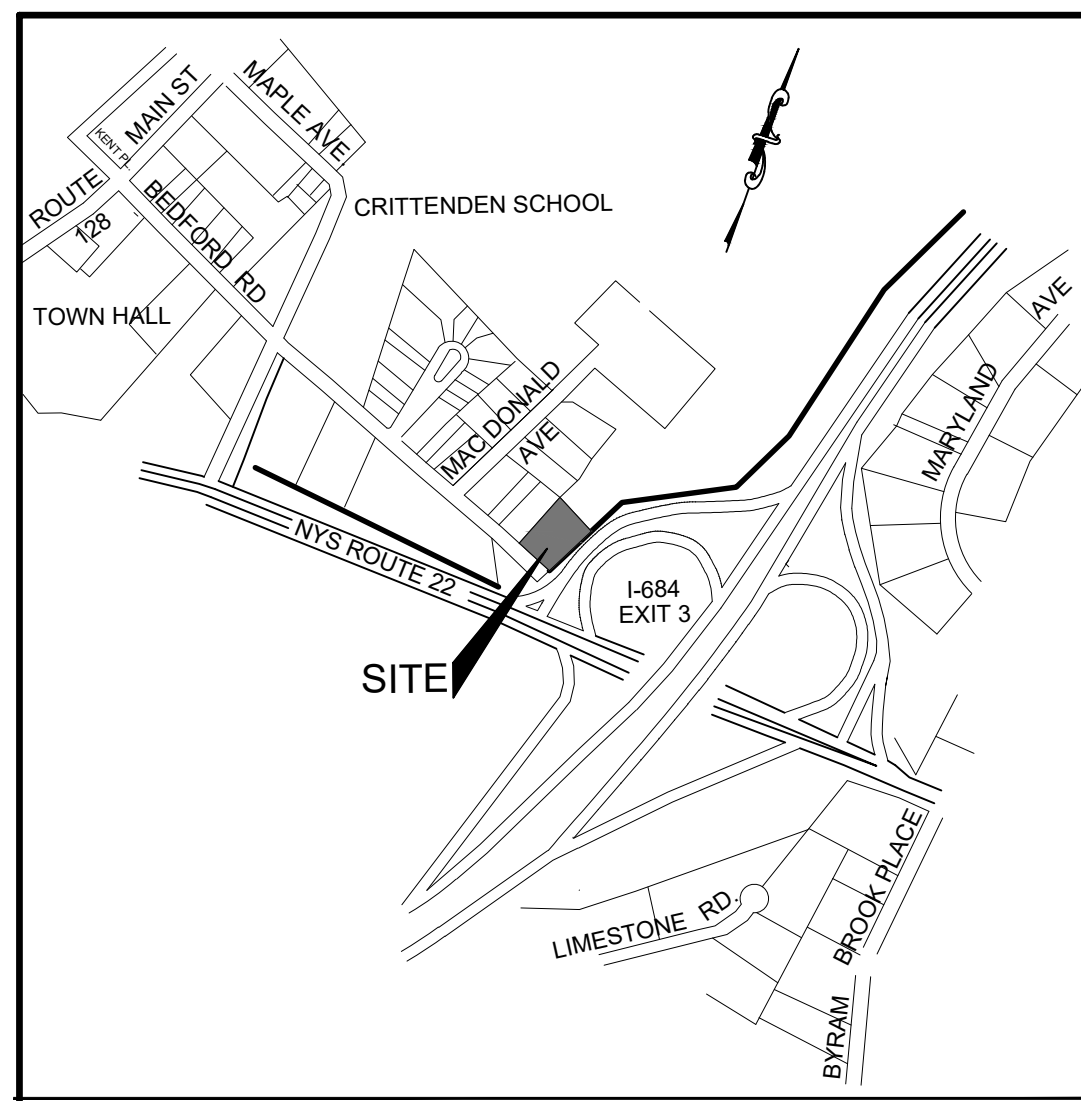
DATE

PRELIMINARY SITE PLAN

ARMONK CLOSE

154 BEDFORD ROAD, ARMONK, NY

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AVERAGE GRADE CALCULATION

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			25 EXTERIOR (INCLUDES 2 HC)	

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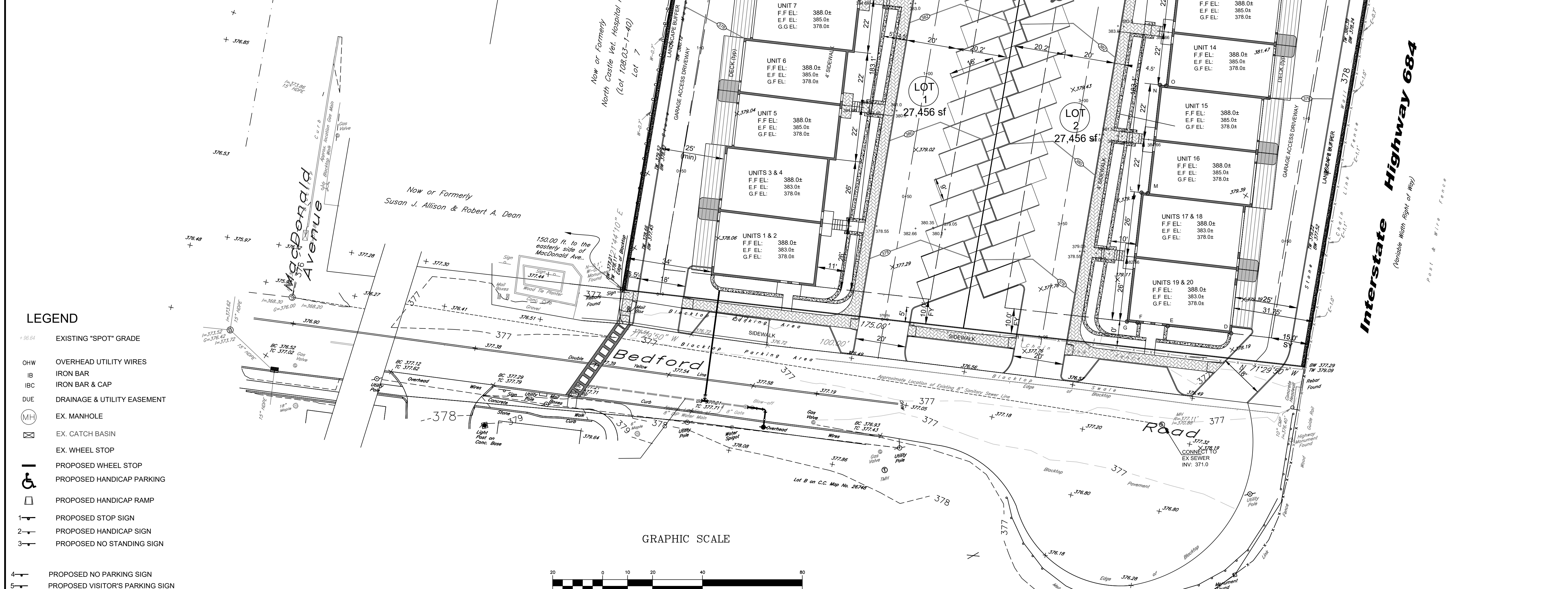
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ARMONK, NEW YORK

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ARMONK, NEW YORK

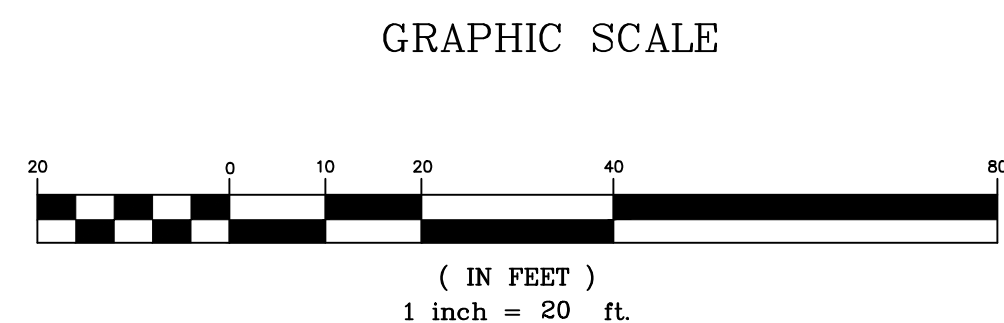
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PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

DATE

PRELIMINARY SITE PLAN

ARMONK CLOSE
154 BEDFORD ROAD, ARMONK, NY

Project Number: FARLY-04
Progress Print: April 2, 2021

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NEW RESIDENTIAL STRUCTURE FOR: ARMONK CLOSE 154 BEDFORD ROAD ARMONK, NEW YORK

ALL DRAWINGS & WRITTEN MAT. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DIMENSIONS & CONDITIONS AT THE SITE, PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

DO NOT SCALE DIMS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 2004(2) OF THE NEW YORK STATE EDUCATION LAW.

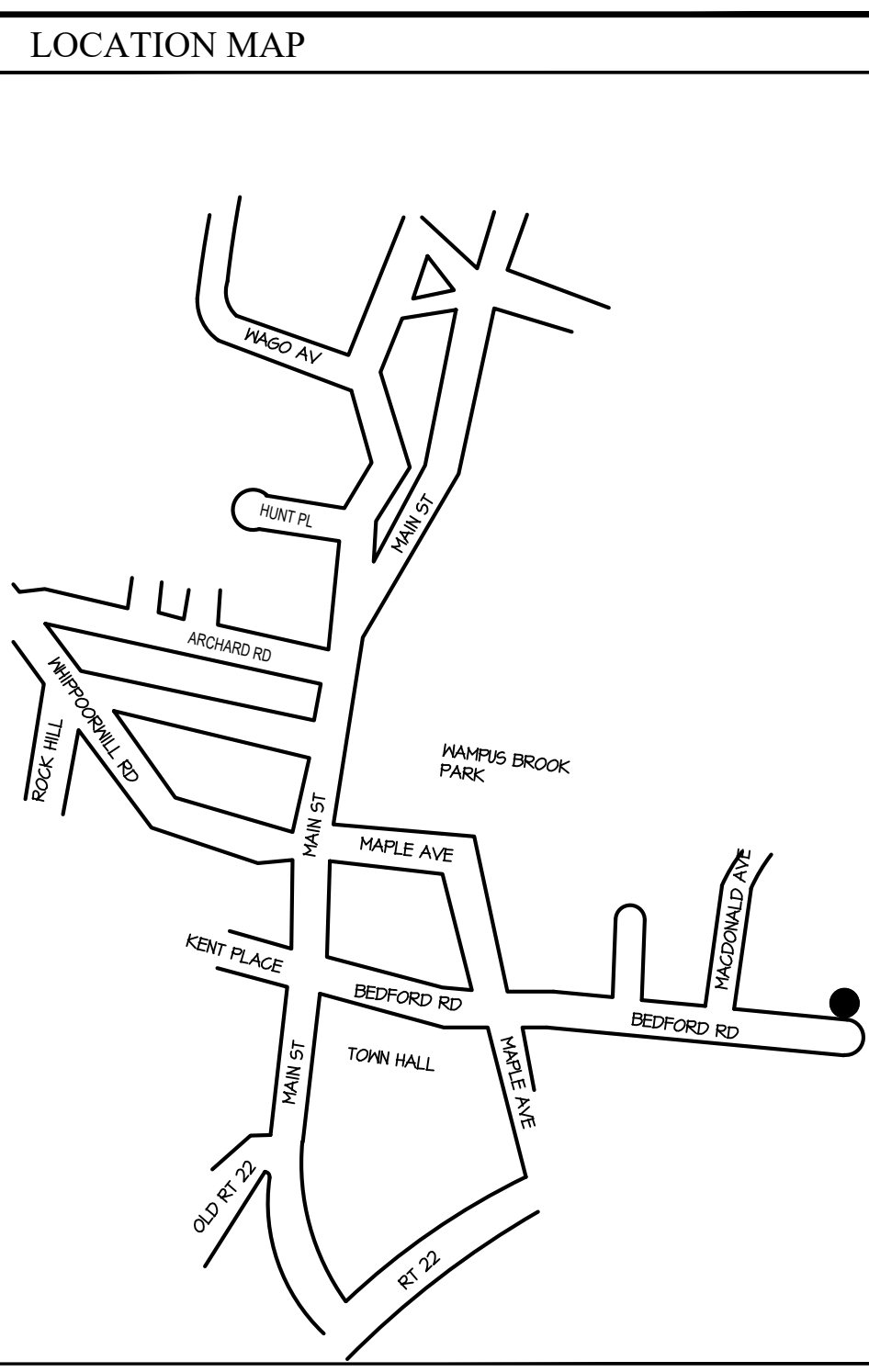
THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21

SQUARE FOOTAGE CALCULATION BREAKDOWN			
ROOM NAME	BEDROOMS	SQUARE FOOTAGE	MIN. APT. SIZE
UNITS 1 & 2			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 3 & 4			
FIRST FLOOR			
UNIT #3	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #4	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNIT 5			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 6			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 7			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 8			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 9			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 10			
FIRST FLOOR		435 SQ.FT.	
SECOND FLOOR		435 SQ.FT.	
THIRD FLOOR		484 SQ.FT.	
TOTAL:	3	2,354 SQ.FT.	
UNIT 11			
FIRST FLOOR		435 SQ.FT.	
SECOND FLOOR		435 SQ.FT.	
THIRD FLOOR		484 SQ.FT.	
TOTAL:	3	2,354 SQ.FT.	
UNIT 12			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 13			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 14			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 15			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 16			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 17 & 18			
FIRST FLOOR			
UNIT #17	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #18	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNIT 19 & 20			
FIRST FLOOR			
UNIT #19	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #20	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	

SQUARE FOOTAGE CALCULATION BREAKDOWN			
ROOM NAME	BEDROOMS	SQUARE FOOTAGE	MIN. APT. SIZE
UNITS 11			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 12			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 13			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 14			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 15			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 16			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	

AREA BREAKDOWN			
ROOM NAME	BEDROOMS	SQUARE FOOTAGE	MIN. APT. SIZE
UNITS 11			
FIRST FLOOR		435 SQ.FT.	
SECOND FLOOR		435 SQ.FT.	
THIRD FLOOR		484 SQ.FT.	
TOTAL:	3	2,354 SQ.FT.	
UNIT 12			
FIRST FLOOR		411 SQ.FT.	
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TOTAL:	3	2,272 SQ.FT.	
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UNIT 16			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 17 & 18			
FIRST FLOOR			
UNIT #17	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #18	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNIT 19 & 20			
FIRST FLOOR			
UNIT #19	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
SECOND FLOOR			
UNIT #20	2	1,031 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,042 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	



MATERIAL LEGEND & SYMBOLS	
	FOUNDATION WALL 12" FORMED CONC. FOUNDATION WALL ON 2'-0" X 1'-0" DEEP CONC. FTG.
	INTERIOR WALL 2x4 WOOD STUD WALL @ 16" O.C. WITH 1/2" GYP. BRD. BOTH SIDES
	EXTERIOR WALL 2x6 WOOD STUD WALL @ 16" O.C. WITH 5/8" TYPE 'X' GYP. BRD. BOTH SIDES
	CERAMIC TILE
	EARTH
	INSULATION (BATT, LOOSE, OR FRICION)
	CONCRETE
	LUMBER (ROUGH)
	PLYWOOD
	HARD-WIRED SMOKE DETECTOR
	HARD-WIRED HEAT DETECTOR
	CARBON MONOXIDE DETECTOR
	100 CFM EXHAUST FAN VENTED TO FRESH AIR
	DRYER EXHAUST TO FRESH AIR

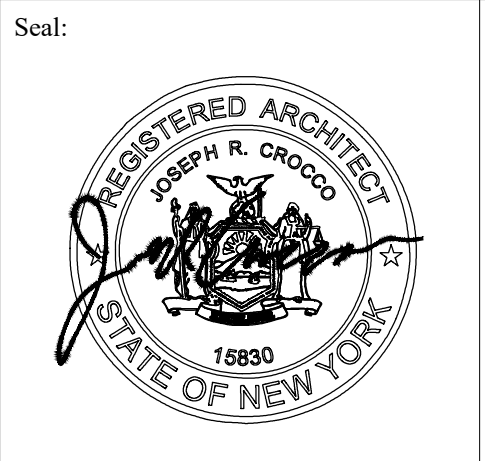
INDEX OF DRAWINGS	
T-1	TITLE SHEET
A-1	FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-3	THIRD FLOOR PLAN
A-4	FRONT ELEVATION AND REAR ELEVATION
A-5	LEFT SIDE ELEVATION AND RIGHT SIDE ELEVATION
A-6	GARAGE PLAN

CODE DATA									
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY		YES	NO
45 PSF	110 MPH	C	SEVERE	3'-6"	MODERATE TO HEAVY	MODERATE TO SEVERE	7	YES	NO

FLOOR AREA RATIO CALCULATION	
LOT SIZE=	54412
ALLOWABLE FAR=	4 OR 44420
BUILDING SQ/FT=	BLD#1= 18,301 BLD#2= 18,301
	36,602 BUILDING SQ/FT / 54412 LOT AREA= .67

* ALL COMMON SPACE INCLUDES STAIR WELLS, ELEVATOR SHAFTS, COMMON CORRIDORS, LOBBIES, ENTRY VESTIBULE, MAIL ROOM & STORAGE AREAS
 ** NOT INCLUDED IN SQUARE FOOTAGE CALCULATION
 *** ALL FLOOR AREAS ARE CALCULATED FROM THE INSIDE OF THE EXTERIOR WALLS TO THE CENTER OF THE DEMISING WALLS.

APARTMENT BREAKDOWN			
APARTMENT SIZE	PROVIDED TOTAL (MR. & AFFH)	BREAKDOWN	
		MR.	AFFH
2 BEDROOM	4	2	2
2 BEDROOM + OFFICE	16	16	0
TOTAL	20	18	2



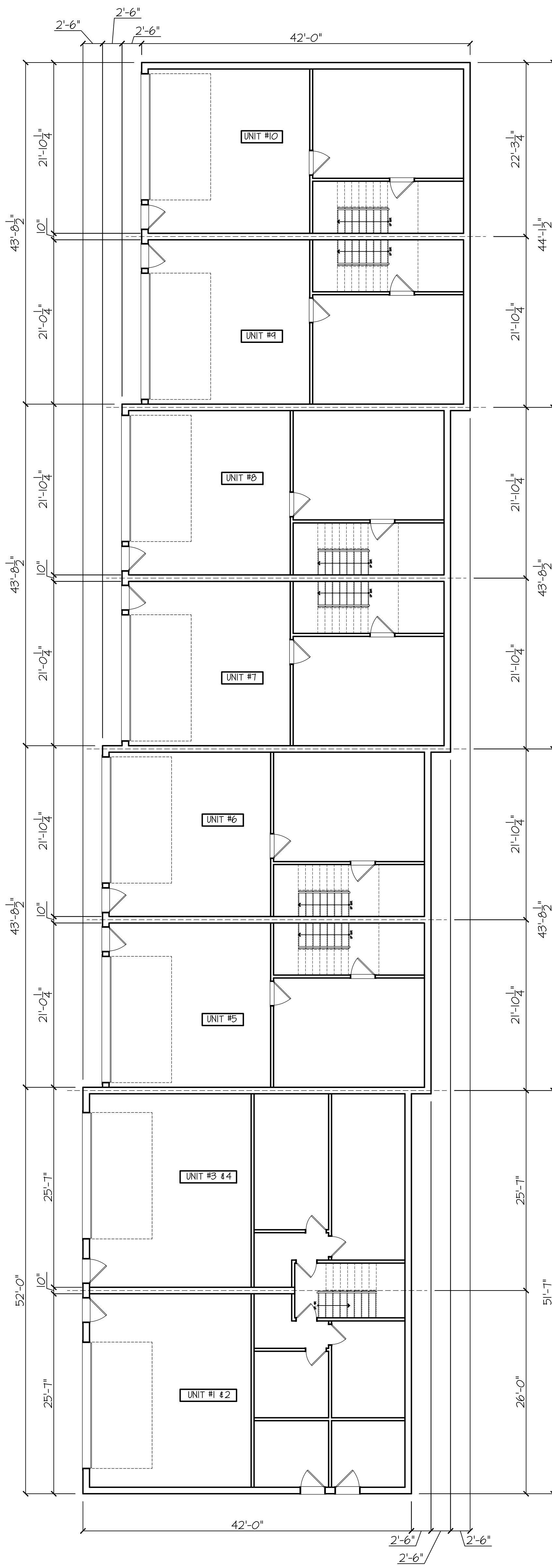
Joseph R. Crocco architects
 new york connecticut new jersey massachusetts
 4 macdonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
 RESOLUTION DATED: _____
 CHRISTOPHER CARTH, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD

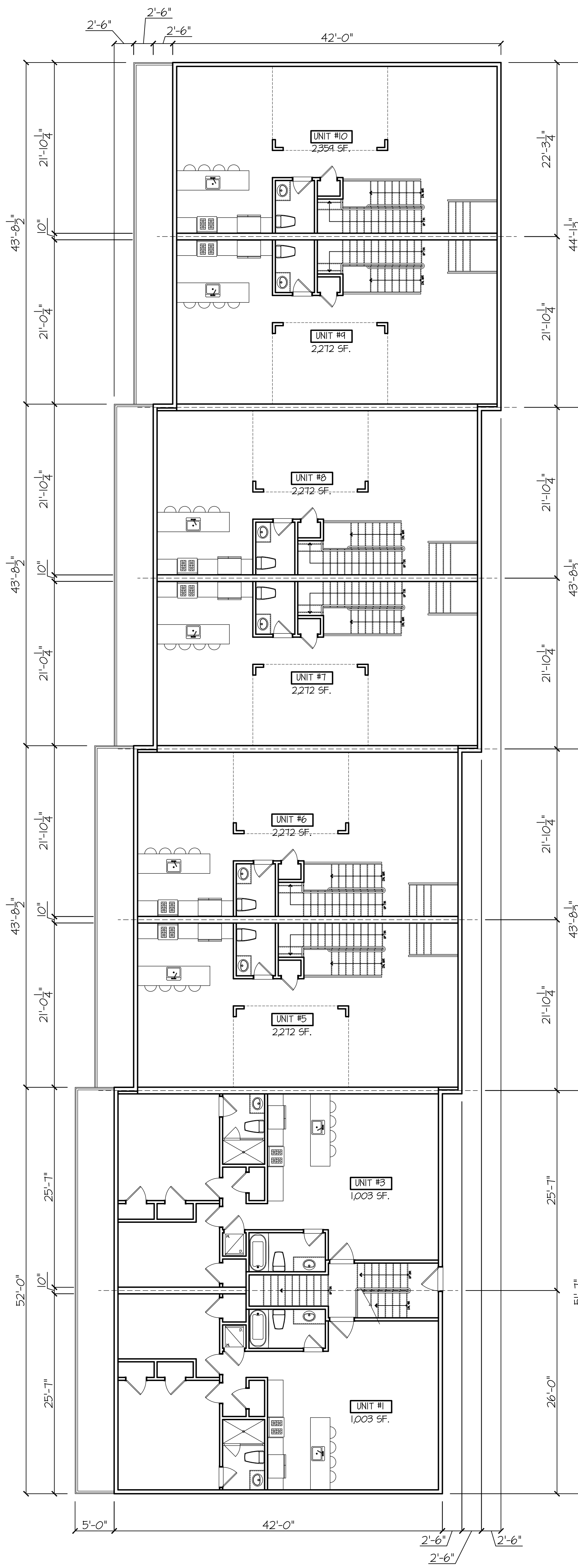
Project No: 21003
 Date: JAN. 19, 2021

Sheet Number: **T1.1**

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION
 JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

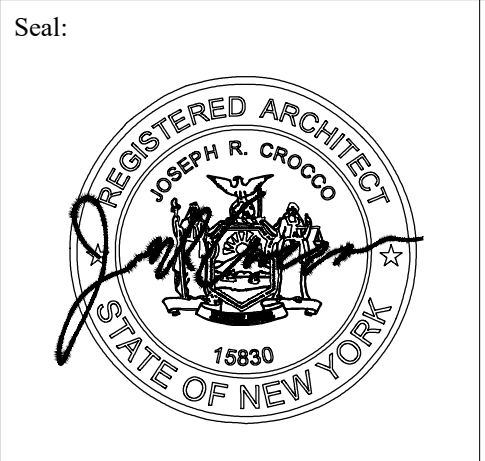
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REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21



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NEW RESIDENTIAL STRUCTURE FOR
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #1 GARAGE & FIRST FLOOR

Project No:
 21003

Date:
 JAN. 19, 2021

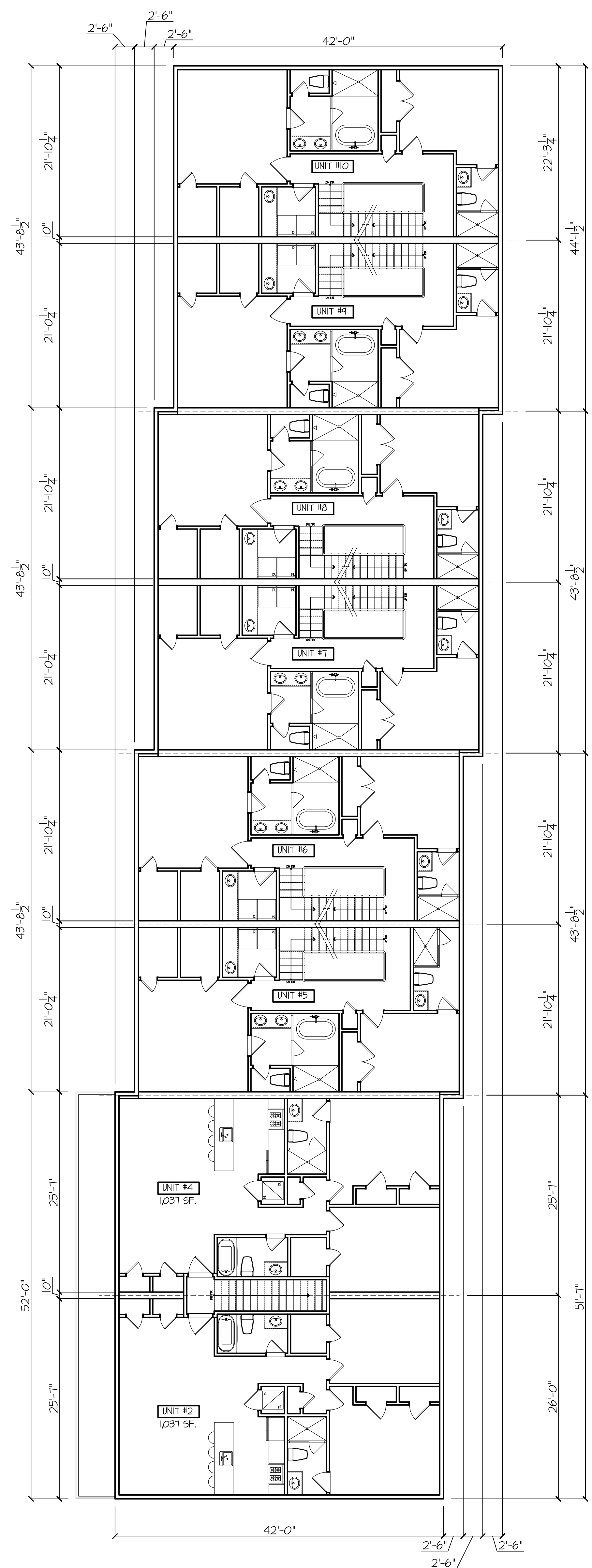
Sheet Number:
A1.1

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____

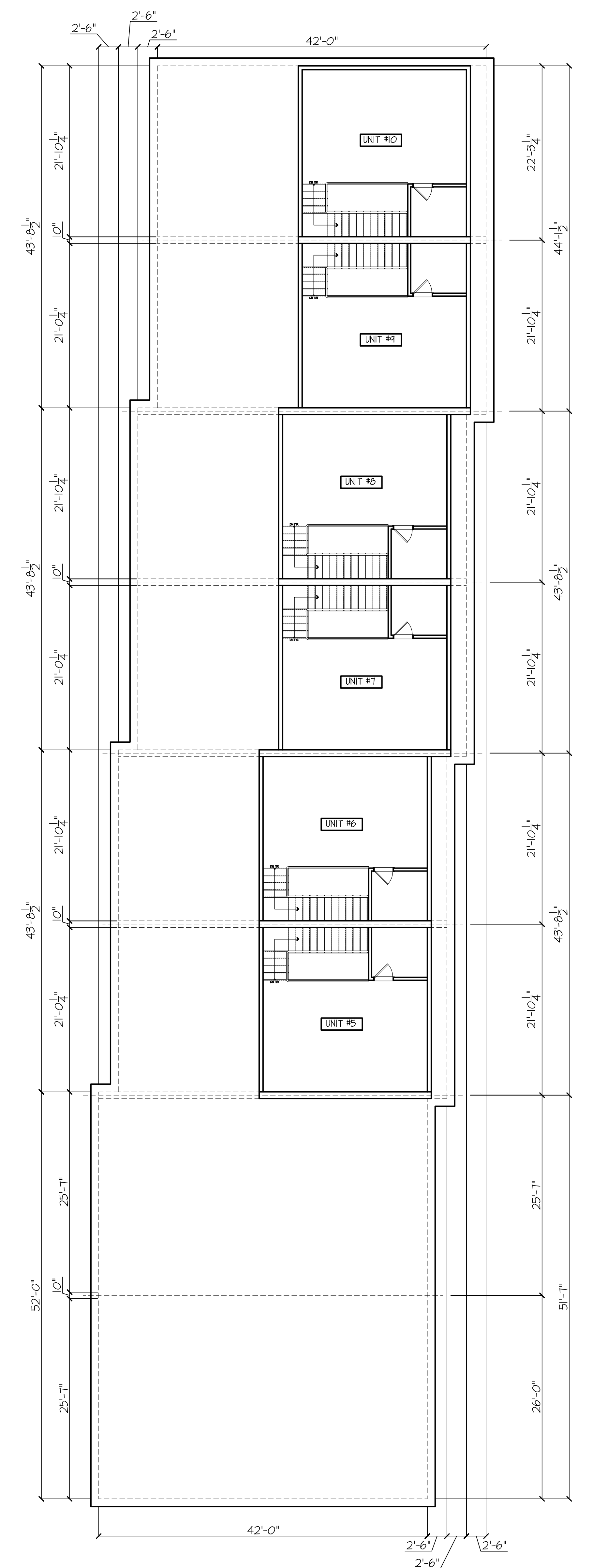
CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____

JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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NEW RESIDENTIAL STRUCTURE FOR
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #1 SECOND & THIRD FLOOR

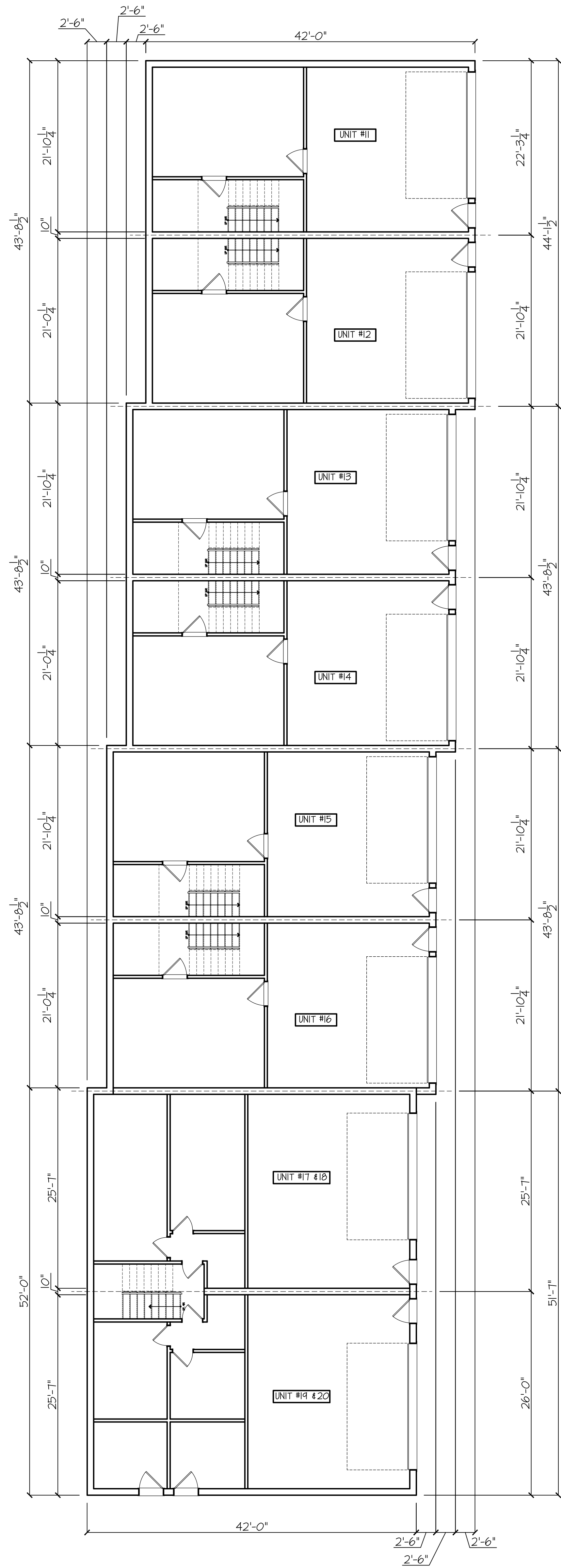
Project No:
 21003

Date:
 JAN. 19, 2021

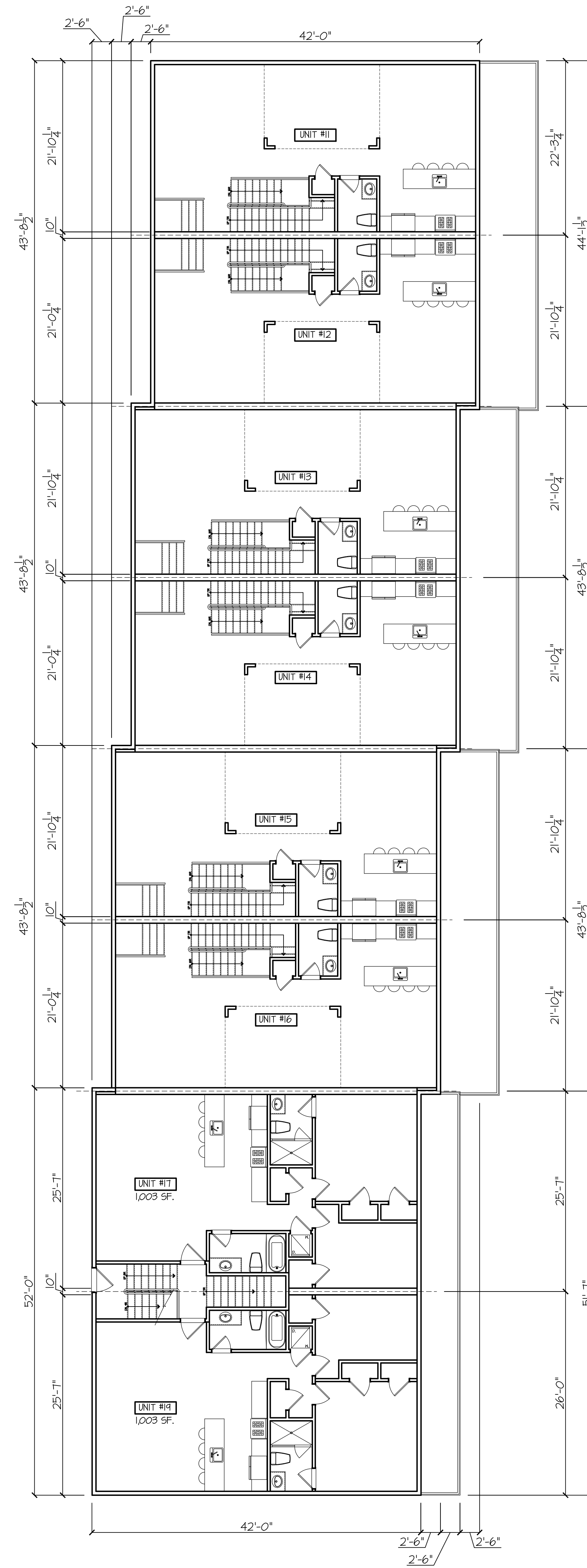
Sheet Number:
A1.2

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____
 CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____
 JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

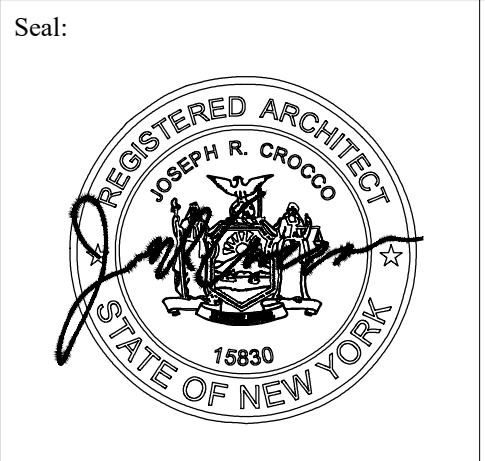
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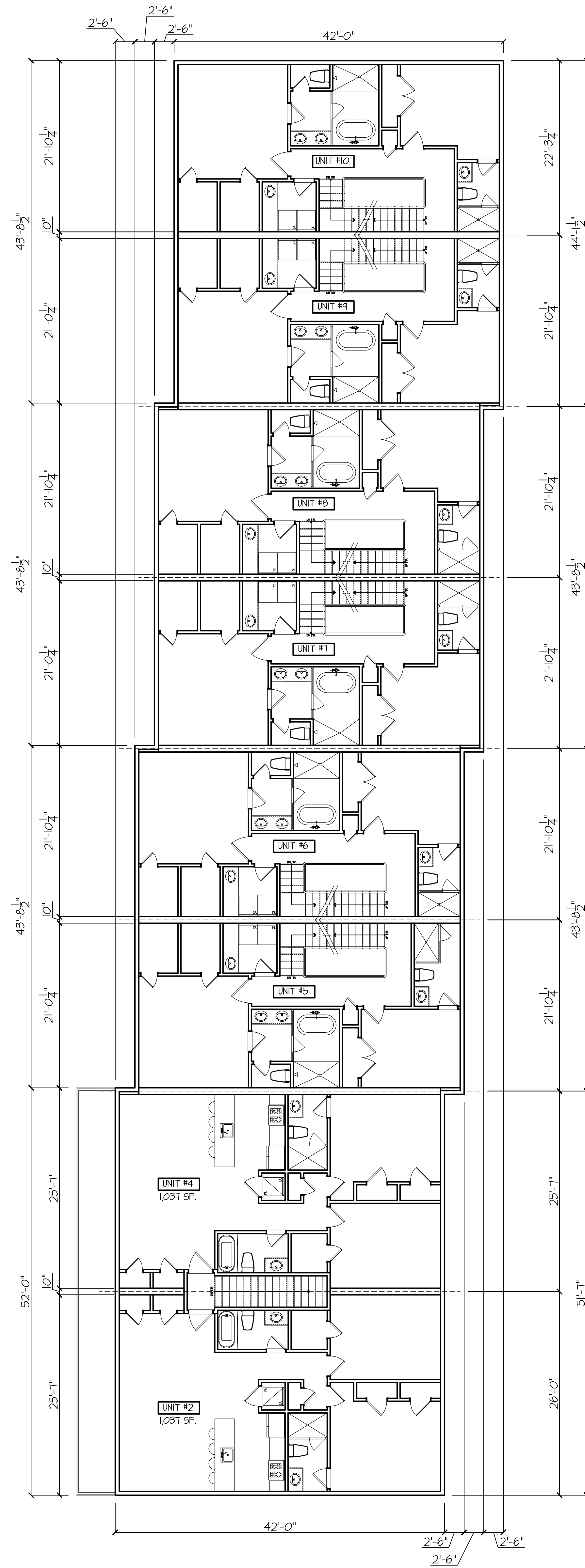
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NEW RESIDENTIAL STRUCTURE FOR
154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

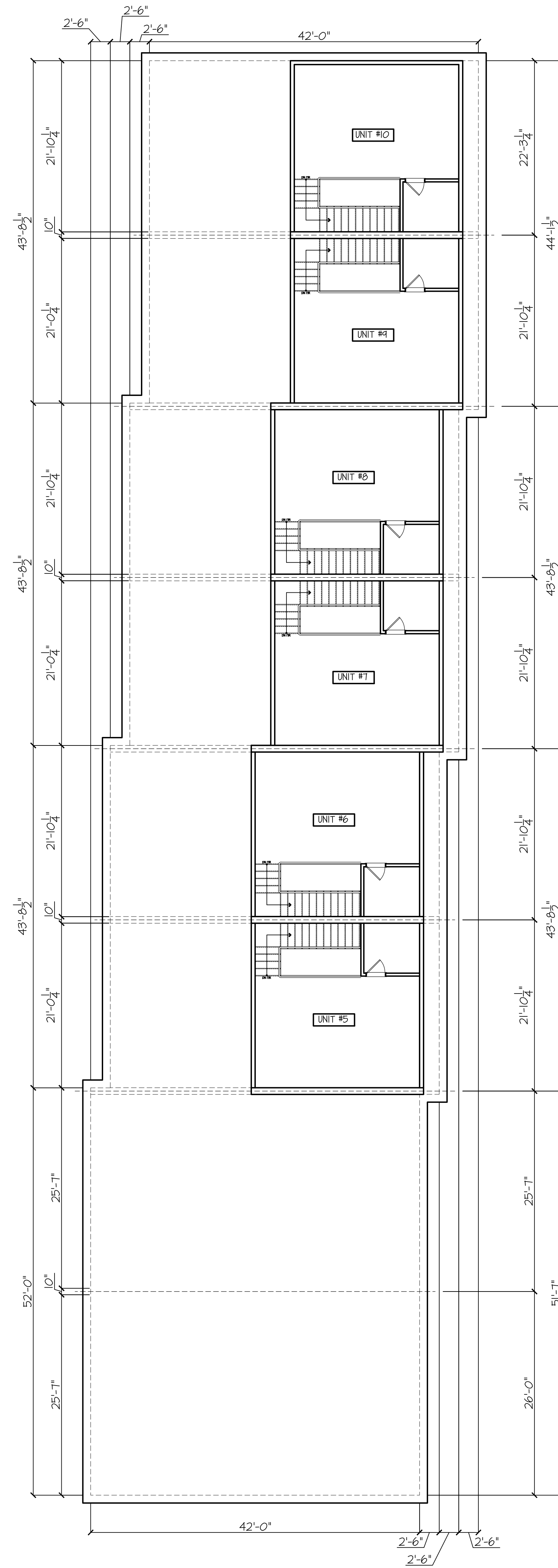
Dwg. Name:
BLD. #2 GARAGE & FIRST FLOOR

Project No:
21003
Date:
JAN. 19, 2021
Sheet Number:
A1.3

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____
CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____
JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

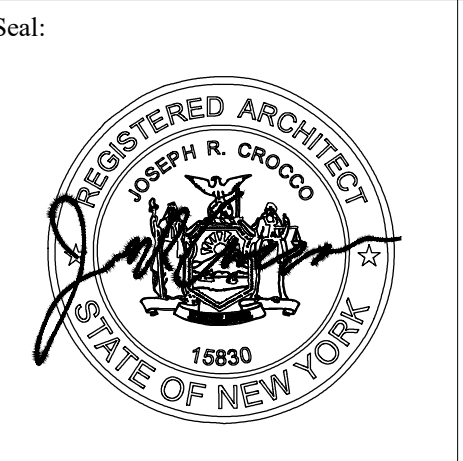
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NEW RESIDENTIAL STRUCTURE FOR
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #2 SECOND & THIRD FLOOR

Project No:
 21003

Date:
 JAN. 19, 2021

Sheet Number:
A1.4

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____

CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____

JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
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REVISION	DATE
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2. PB SUBMISSION	04.09.21

TOP OF ROOF
ELEV. 448.5

MID POINT OF ROOF
ELEV. 449.0

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5
AVG. GRADE
ELEV. 389.7

FIN. GARAGE FLOOR
ELEV. 318.0



TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0

1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 448.5

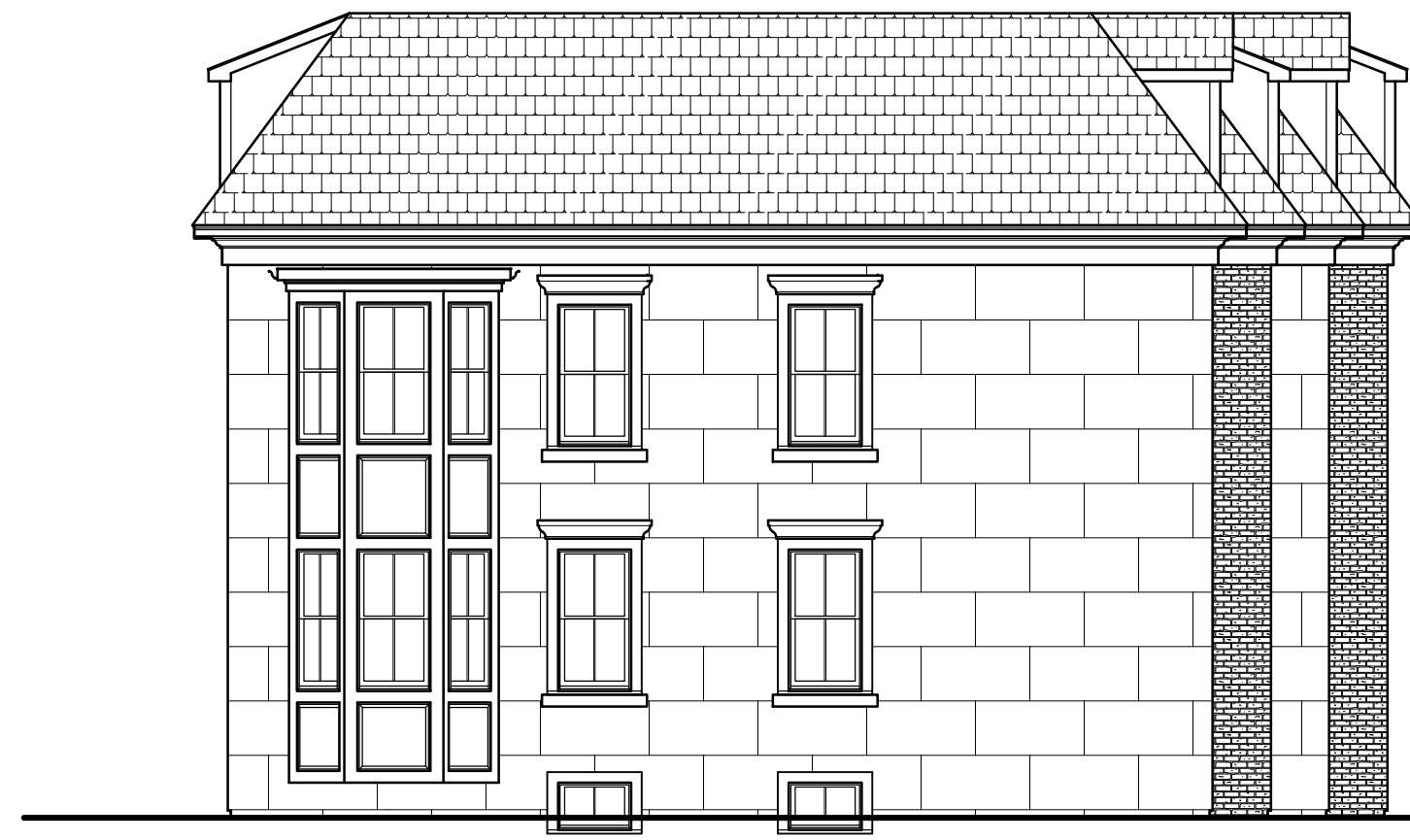
FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0



TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

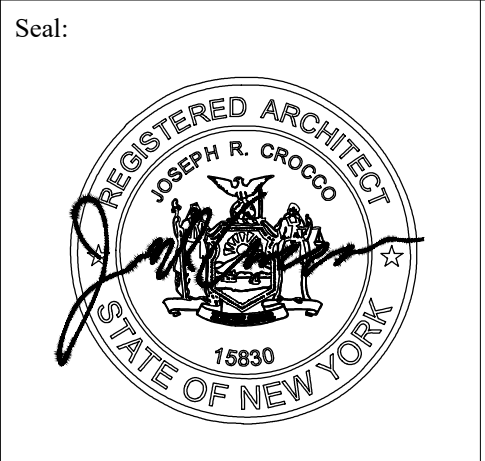
FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



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NEW RESIDENTIAL STRUCTURE FOR

154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASLE BUILDING DEPT.

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____ DATE _____

CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION.

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS

Dwg. Name:
BLD. #1 ELEVATIONS

Project No:
21003

Sheet Number:
A2.1

Date:
JAN. 19, 2021

32'-2 1/2"
 26'-0 1/2"
 TOP OF ROOF
 ELEV. 445
 FIN. THIRD FLOOR
 ELEV. 400
 FIN. SECOND FLOOR
 ELEV. 365
 FIN. FIRST FLOOR
 ELEV. 330
 FIN. ENTRANCE LEVEL
 ELEV. 330
 FIN. GARAGE FLOOR
 ELEV. 285



TOP OF ROOF
 ELEV. 445
 FIN. THIRD FLOOR
 ELEV. 400
 FIN. SECOND FLOOR
 ELEV. 365
 FIN. FIRST FLOOR
 ELEV. 330
 FIN. ENTRANCE LEVEL
 ELEV. 330
 FIN. GARAGE FLOOR
 ELEV. 285

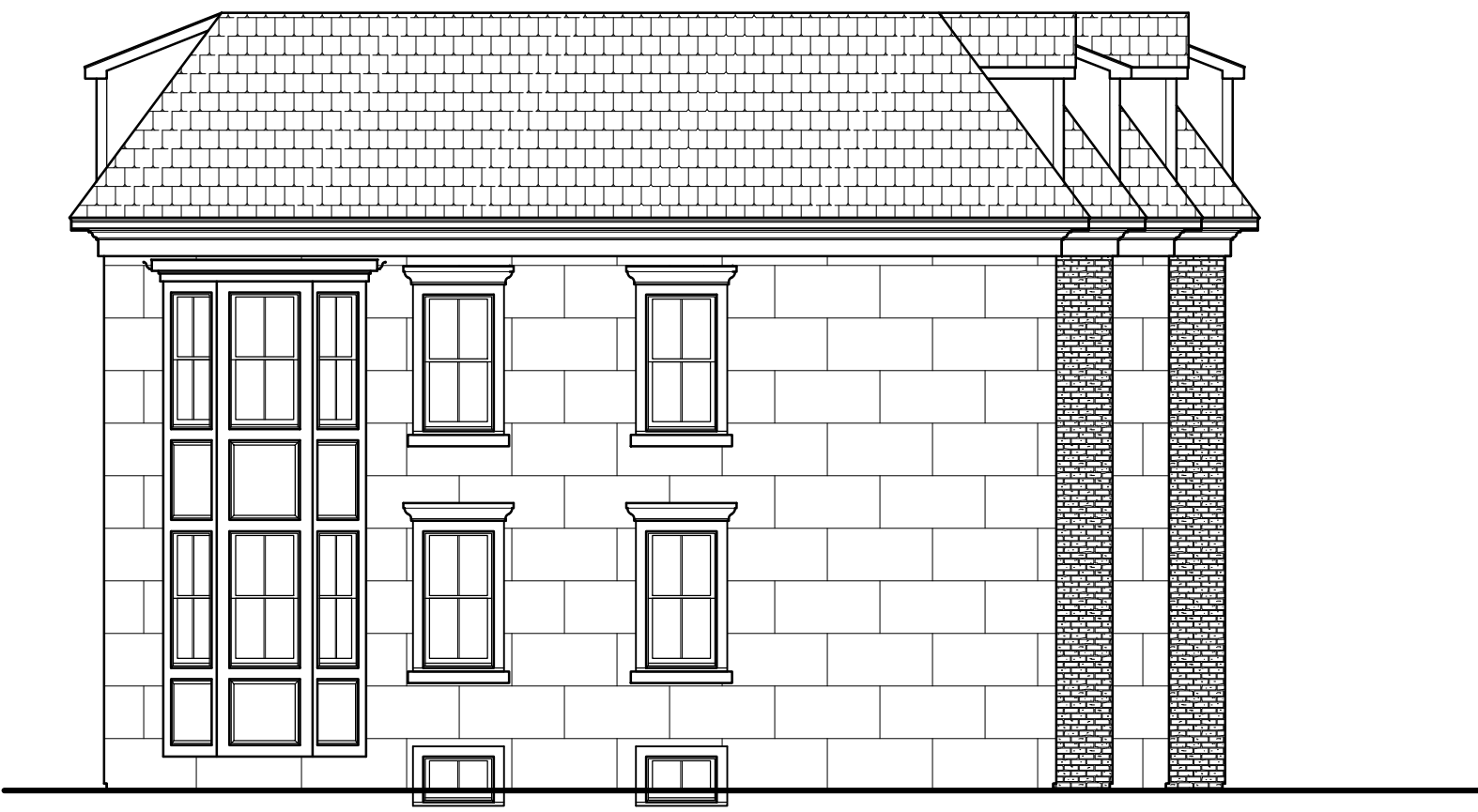
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
 ELEV. 445
 FIN. THIRD FLOOR
 ELEV. 400
 FIN. SECOND FLOOR
 ELEV. 365
 FIN. FIRST FLOOR
 ELEV. 330
 FIN. ENTRANCE LEVEL
 ELEV. 330
 FIN. GARAGE FLOOR
 ELEV. 285



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
 ELEV. 445
 FIN. THIRD FLOOR
 ELEV. 400
 FIN. SECOND FLOOR
 ELEV. 365
 FIN. FIRST FLOOR
 ELEV. 330
 FIN. ENTRANCE LEVEL
 ELEV. 330
 FIN. GARAGE FLOOR
 ELEV. 285



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
 ELEV. 445
 FIN. THIRD FLOOR
 ELEV. 400
 FIN. SECOND FLOOR
 ELEV. 365
 FIN. FIRST FLOOR
 ELEV. 330
 FIN. ENTRANCE LEVEL
 ELEV. 330
 FIN. GARAGE FLOOR
 ELEV. 285



TOP OF ROOF
 ELEV. 445
 FIN. THIRD FLOOR
 ELEV. 400
 FIN. SECOND FLOOR
 ELEV. 365
 FIN. FIRST FLOOR
 ELEV. 330
 FIN. ENTRANCE LEVEL
 ELEV. 330
 FIN. GARAGE FLOOR
 ELEV. 285

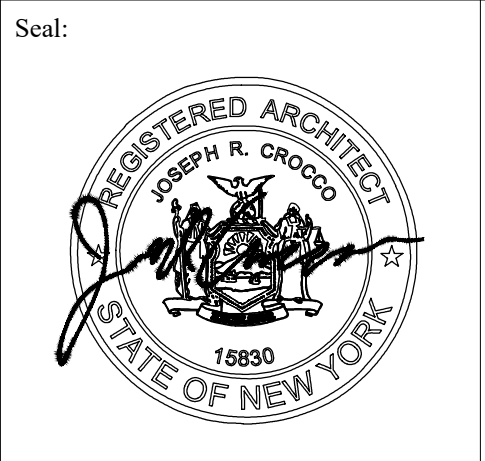
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**NEW RESIDENTIAL
 STRUCTURE
 FOR**
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

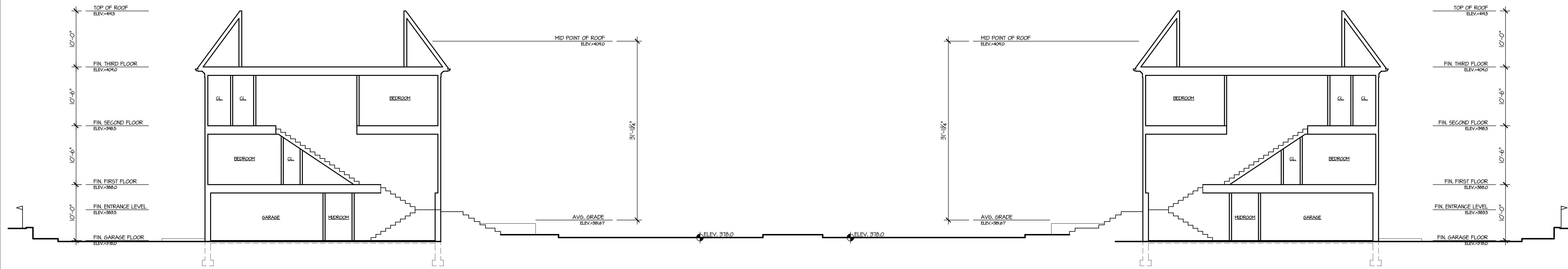
Dwg. Name:
BLD. #2 ELEVATIONS

Project No:
 21003

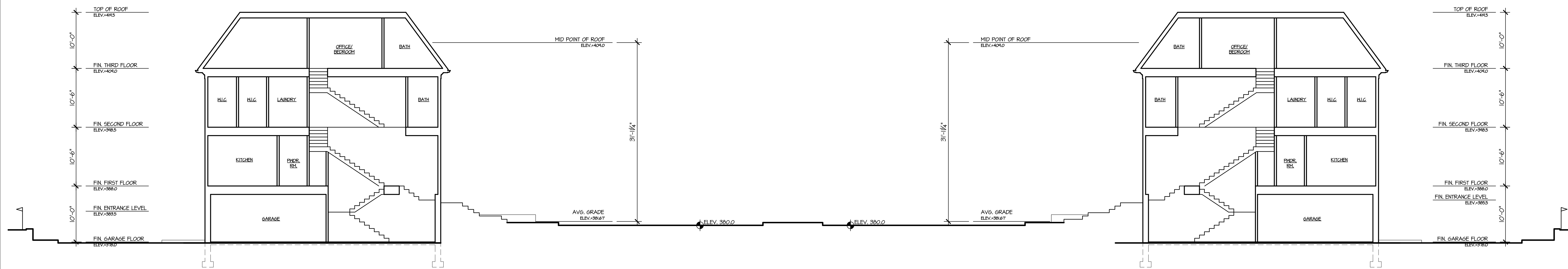
Date:
 JAN. 19, 2021

Sheet Number:
A2.2

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING
 BOARD
 RESOLUTION DATED: _____ DATE _____
 CHRISTOPHER CARTHAY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR
 CONFORMANCE TO RESOLUTION.
 _____ DATE _____
 JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 SECTION THROUGH DUPLEX UNIT
SCALE: 1/8" = 1'-0"



2 SECTION THROUGH TOWNHOUSE
SCALE: 1/8" = 1'-0"

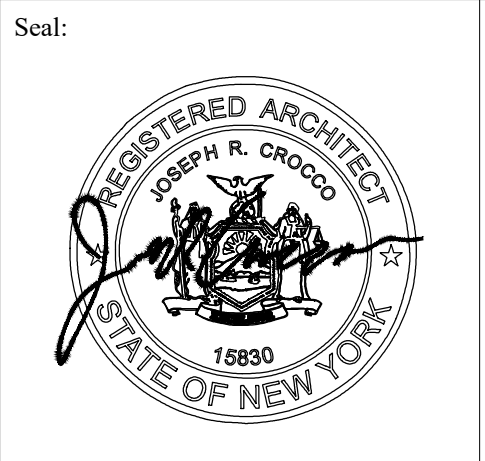
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2. PB SUBMISSION	04.09.21



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NEW RESIDENTIAL STRUCTURE FOR
154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name: **SECTIONS**

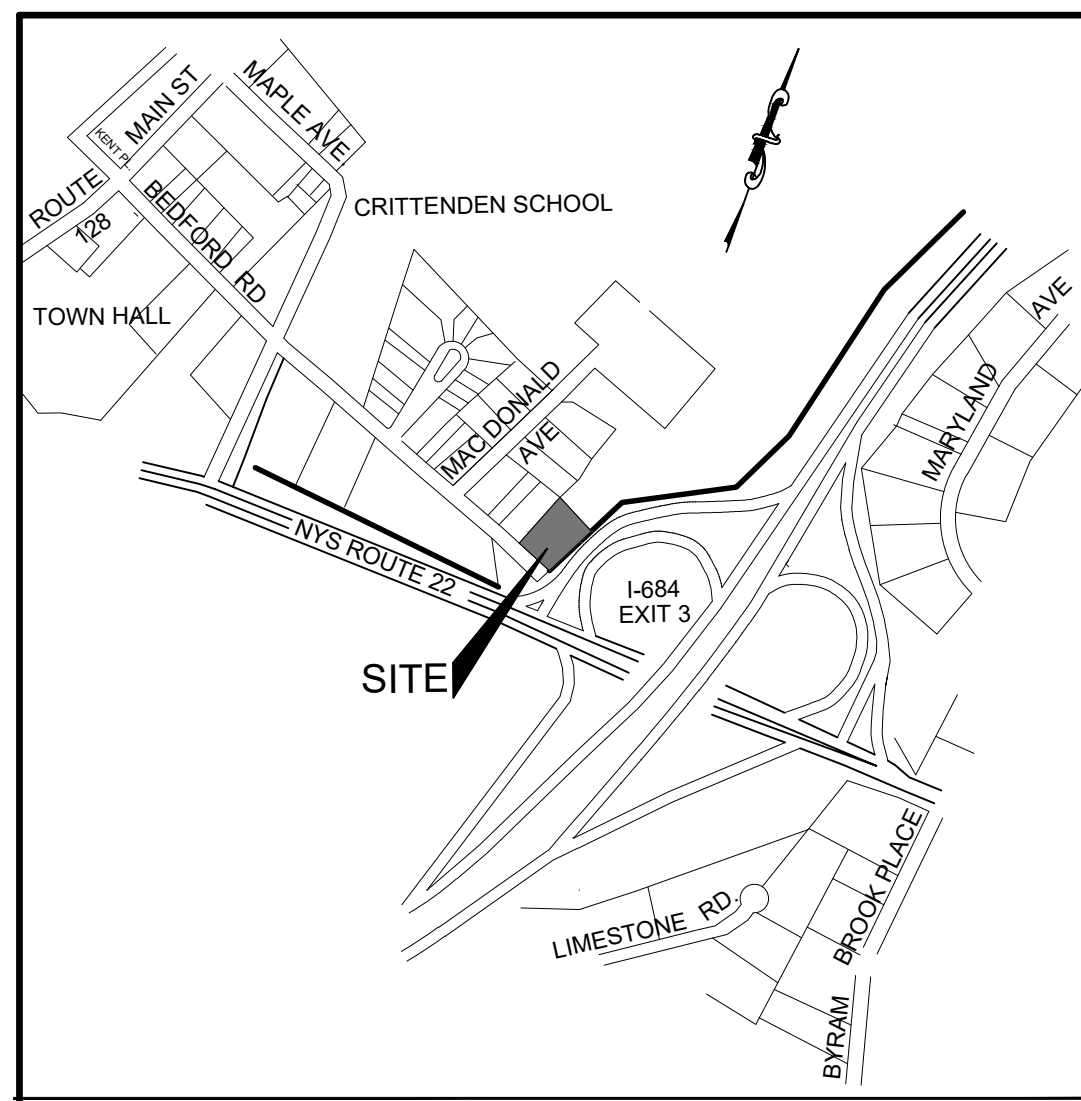
Project No: 21003
Sheet Number: **A3.1**

Date: JAN. 19, 2021

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____ DATE _____
CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS



AVERAGE GRADE CALCULATION

POINTS	AVG OF POINTS	x	DISTANCE BETWEEN POINTS	=	TOTAL
A-B	(386.5 + 386)/2		21'		8,111.25
B-C	(386 + 382.5)/2		21'		8,048.25
C-D	(378.5 + 378)/2		186.6'		70,581.45
D-E	(378.5 + 382)/2		25.5'		9,696.35
E-F	(378 + 378)/2		12'		4,536
F-G	(386.25 + 382)/2		4'		1,217
G-A	(386.5 + 386.25)/2		190.8'		73,720.4
			460.9'		175,910.7 sf AVG: 381.67'

ZONING COMPLIANCE CHART

MINIMUM DIMENSIONS	LOT 1	LOT 2		
LOT SIZE	20,000 sf	27,456 sf	27,456 sf	
FRONTAGE	100 ft	137.5 sf	137.5 sf	
WIDTH	100 ft	137.5 sf	137.5 sf	
DEPTH	150 ft	200 sf	200 sf	
MINIMUM YARDS				
FRONT	10 ft	10.67 ft	10 ft	
SIDE	15 ft	31.2R (min)	31.75 ft (min)	
REAR	5 ft	5 ft	5 ft	
MAXIMUM BUILDING HEIGHT				
HEIGHT	30 ft	30 ft	30 ft	
STORIES	3	2-1/2	2-1/2	
MAXIMUM BUILDING COVER				
	28.1% (7,728 sf)	28.1% (7,728 sf)	PROPOSED 15,456 sf	PERMITTED 21,965 sf
FAR	18,228 sf	18,228 sf	0.66 36,456 sf	0.9 49,420 sf

PARKING TABULATION CHART

REQUIRED	MARKET RATE UNITS		TOTALS	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
CALCULATIONS	LOT 1	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
	LOT 2	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
			52 TOTAL	57 TOTAL
				25 EXTERIOR (INCLUDES 2 HC)

LOCATION PLAN

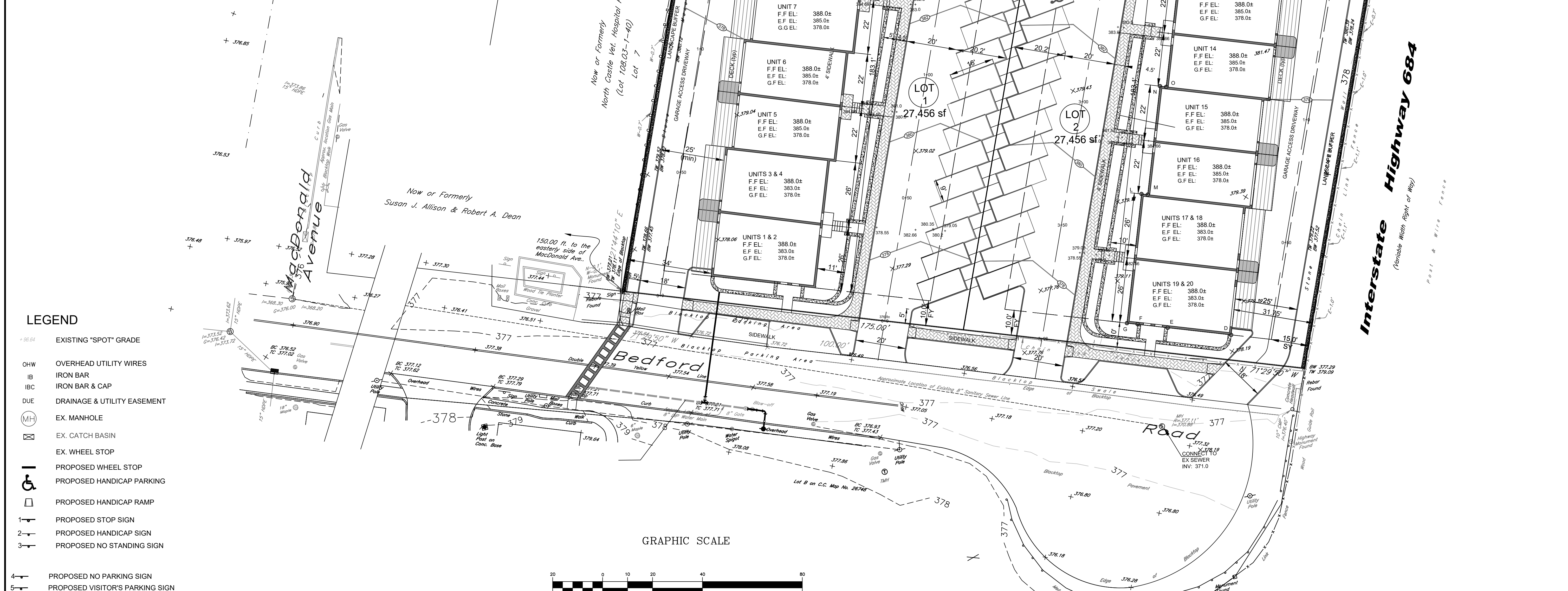
OWNER/APPLICANT: NTS
154 BEDFORD ROAD LLC
4 MACDONALD AVENUE
ARMONK, NEW YORK

PROPERTY LOCATION: 154 - 170 BEDFORD ROAD
ARMONK, NEW YORK

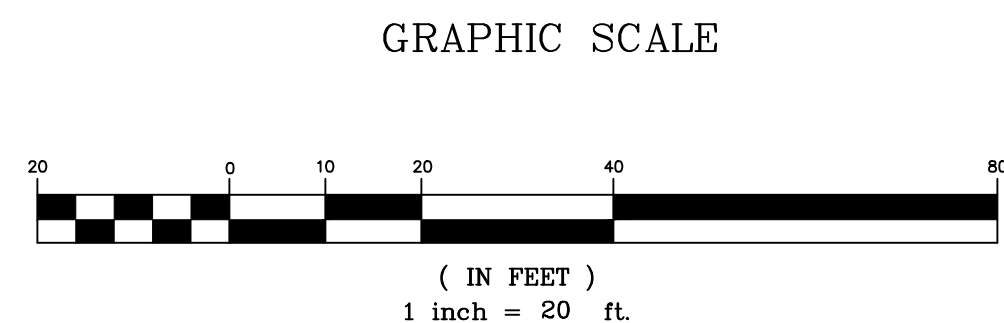
ZONING DISTRICT: R-MF-SS
(RESIDENTIAL-MULTIFAMILY-SINGLE STRUCTURE)

AREA: 1.26 ACRES

TAX LOT NUMBER: SECTION 108.03; BLOCK 1; LOT 42



- LEGEND**
- + 38.04 EXISTING "SPOT" GRADE
 - OHW OVERHEAD UTILITY WIRES
 - IB IRON BAR
 - IBC IRON BAR & CAP
 - DUE DRAINAGE & UTILITY EASEMENT
 - (MH) EX. MANHOLE
 - EX. CATCH BASIN
 - EX. WHEEL STOP
 - PROPOSED WHEEL STOP
 - PROPOSED HANDICAP PARKING
 - PROPOSED HANDICAP RAMP
 - 1 PROPOSED STOP SIGN
 - 2 PROPOSED HANDICAP SIGN
 - 3 PROPOSED NO STANDING SIGN
 - 4 PROPOSED NO PARKING SIGN
 - 5 PROPOSED VISITOR'S PARKING SIGN



SHEET: 1 of 1

NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS

592 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

DATE

PRELIMINARY SITE PLAN

ARMONK CLOSE

154 BEDFORD ROAD, ARMONK, NY

Project Number: FARLY-04
Progress Print: April 2, 2021

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NEW RESIDENTIAL STRUCTURE FOR: ARMONK CLOSE 154 BEDFORD ROAD ARMONK, NEW YORK

ALL DRAWINGS & WRITTEN MAT. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE REPRODUCED, COPIED, USED OR DISCLOSED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DIMENSIONS & CONDITIONS AT THE SITE, PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

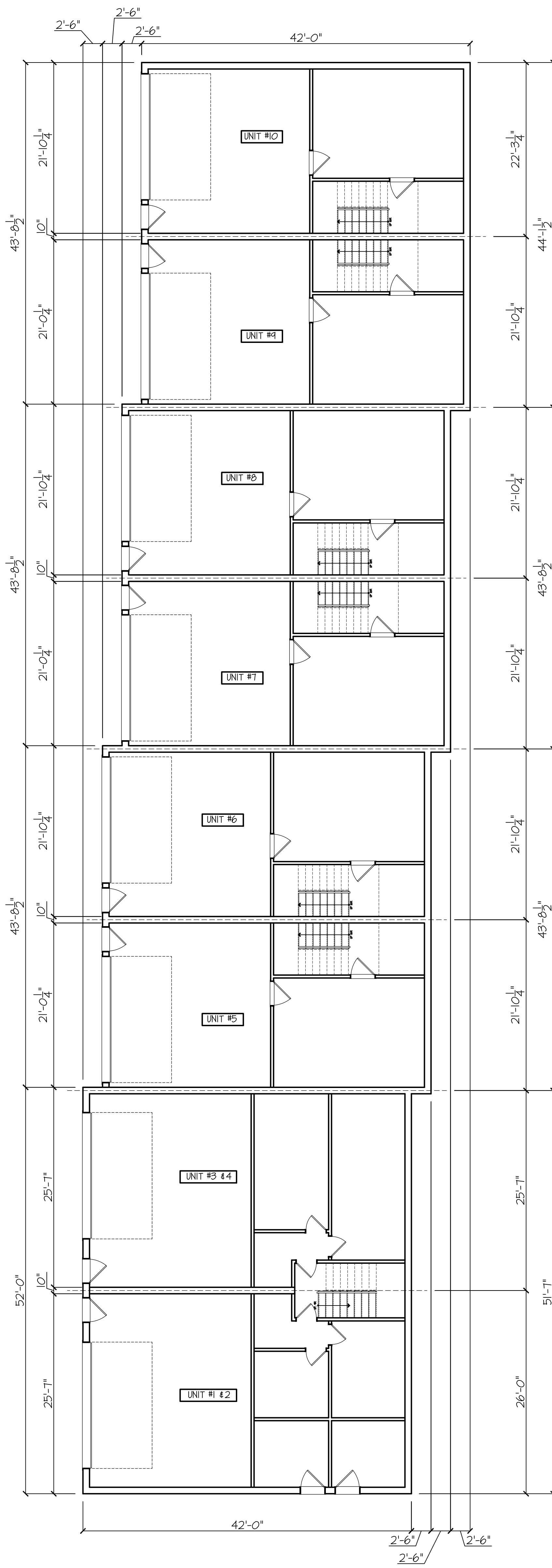
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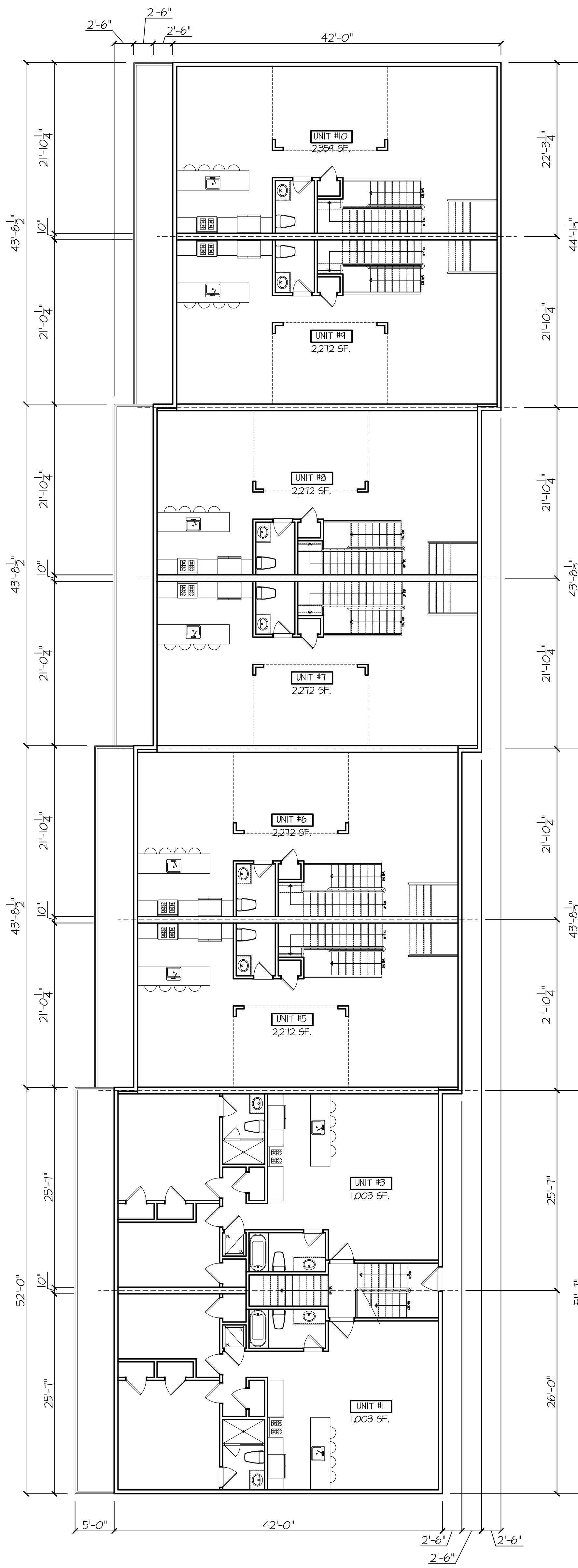
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REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21

SQUARE FOOTAGE CALCULATION BREAKDOWN			
ROOM NAME	BEDROOMS	SQUARE FOOTAGE	MIN. APT. SIZE
UNITS 1 & 2			
FIRST FLOOR			
UNIT #1	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,087 SQ.FT.	
SECOND FLOOR			
UNIT #2	2	1,037 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,092 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNITS 3 & 4			
FIRST FLOOR			
UNIT #3	2	1,003 SQ.FT.	
COMMON AREA		** 84 SQ.FT. **	
TOTAL:		1,087 SQ.FT.	
SECOND FLOOR			
UNIT #4	2	1,037 SQ.FT.	
COMMON AREA		** 55 SQ.FT. **	
TOTAL:		1,092 SQ.FT.	
GRAND TOTAL:		2,184 SQ.FT.	
UNIT 5			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 6			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 7			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 8			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 9			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 10			
FIRST FLOOR		435 SQ.FT.	
SECOND FLOOR		435 SQ.FT.	
THIRD FLOOR		484 SQ.FT.	
TOTAL:	3	2,354 SQ.FT.	
UNIT 11			
FIRST FLOOR		435 SQ.FT.	
SECOND FLOOR		435 SQ.FT.	
THIRD FLOOR		484 SQ.FT.	
TOTAL:	3	2,354 SQ.FT.	
UNIT 12			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 13			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 14			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 15			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 16			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 17 & 18			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 19 & 20			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 21			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 22			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 23			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 24			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 25			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 26			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 27			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 28			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 29			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 30			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 31			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 32			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 33			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 34			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 35			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 36			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 37			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 38			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 39			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 40			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 41			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 42			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 43			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 44			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 45			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 46			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 47			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 48			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 49			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 50			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 51			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 52			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 53			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 54			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 55			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 56			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 57			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 58			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 59			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 60			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 61			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 62			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 63			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 64			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 65			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 66			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 67			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 68			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 69			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 70			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 71			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 72			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.	
UNIT 73			
FIRST FLOOR		411 SQ.FT.	
SECOND FLOOR		411 SQ.FT.	
THIRD FLOOR		438 SQ.FT.	
TOTAL:	3	2,272 SQ.FT.</	



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

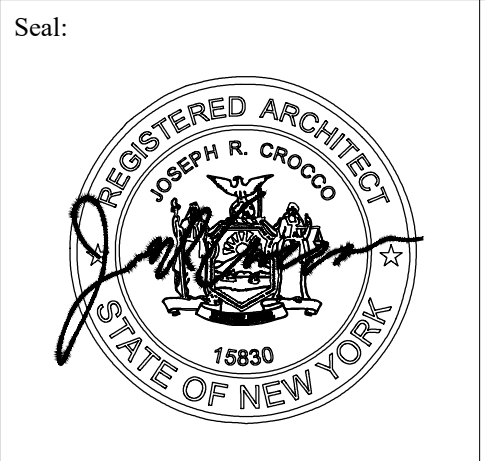
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REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21



Joseph R. Crocco architects
 new york connecticut new jersey massachusetts
 4 mcdonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

NEW RESIDENTIAL STRUCTURE FOR
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #1 GARAGE & FIRST FLOOR

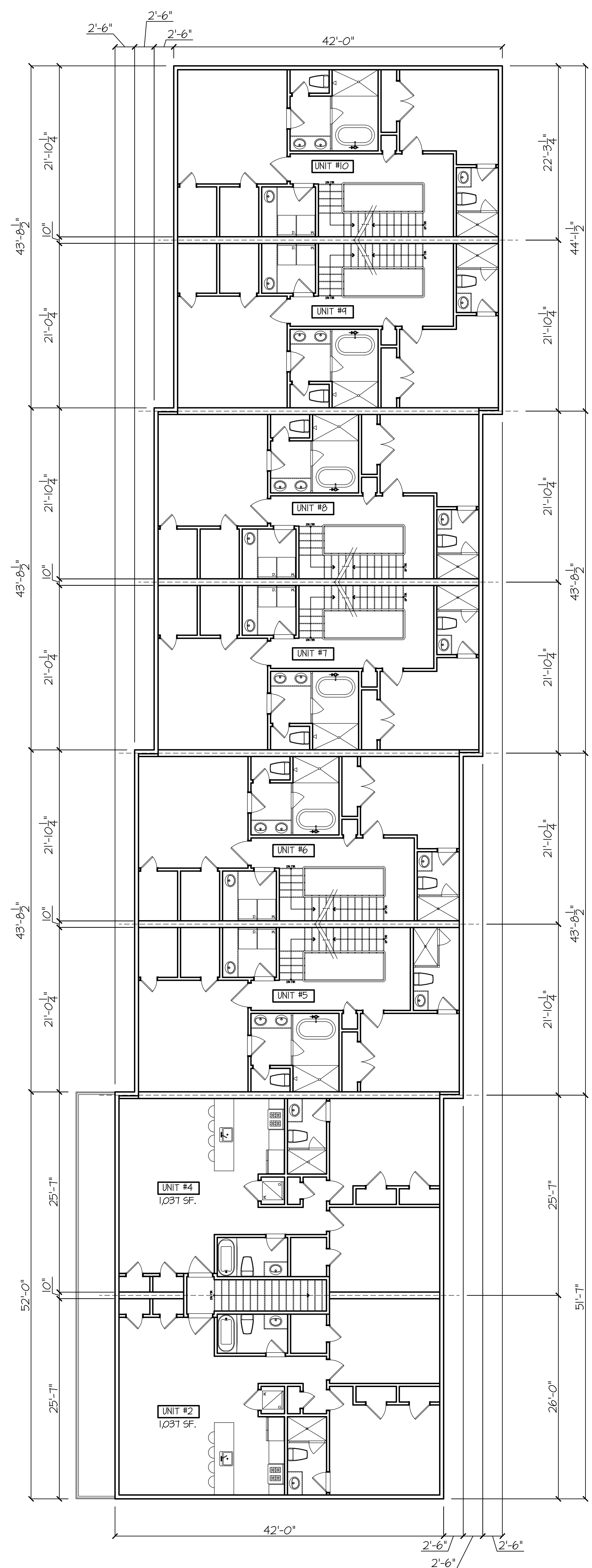
Project No:
 21003

Date:
 JAN. 19, 2021

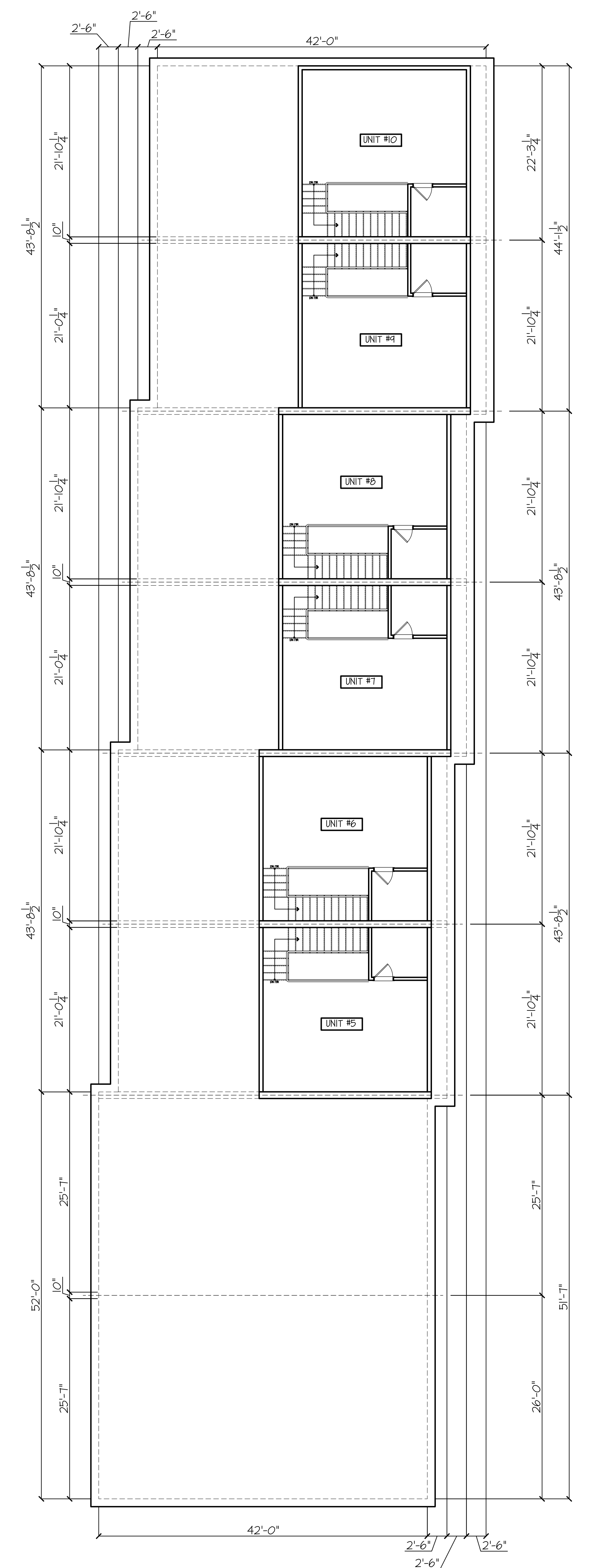
Sheet Number:
A1.1

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____
 CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____
 JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



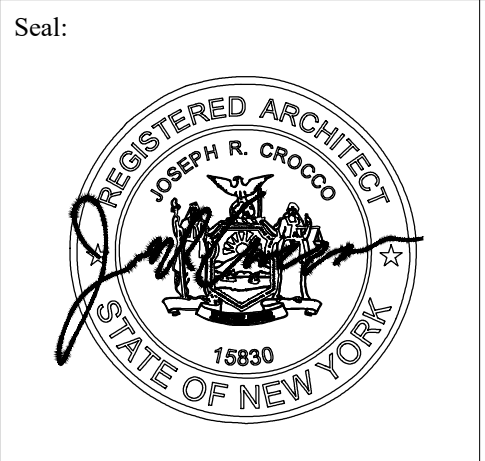
2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21



Joseph R. Crocco architects
 new york connecticut new jersey massachusetts
 4 macdonald avenue, suite 5
 armonk, new york 10504
 (914) 273-2774 fax (914) 273-2776

NEW RESIDENTIAL STRUCTURE FOR
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

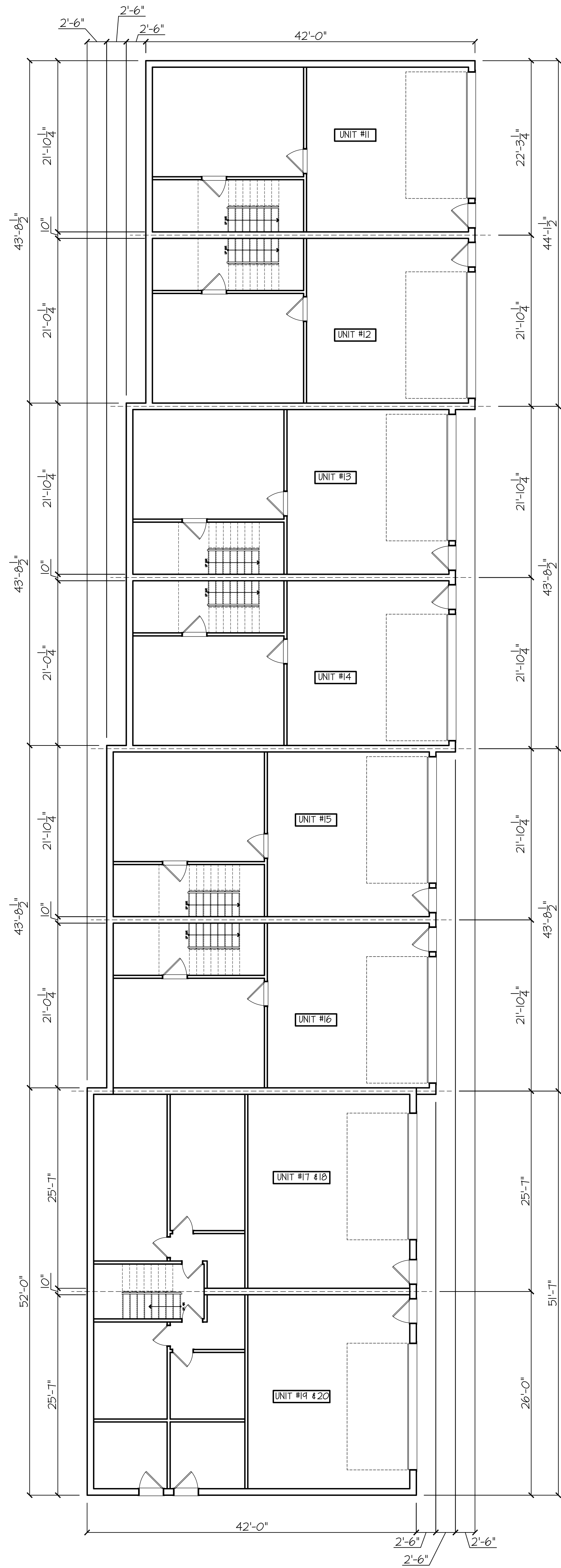
Dwg. Name:
BLD. #1 SECOND & THIRD FLOOR

Project No:
 21003

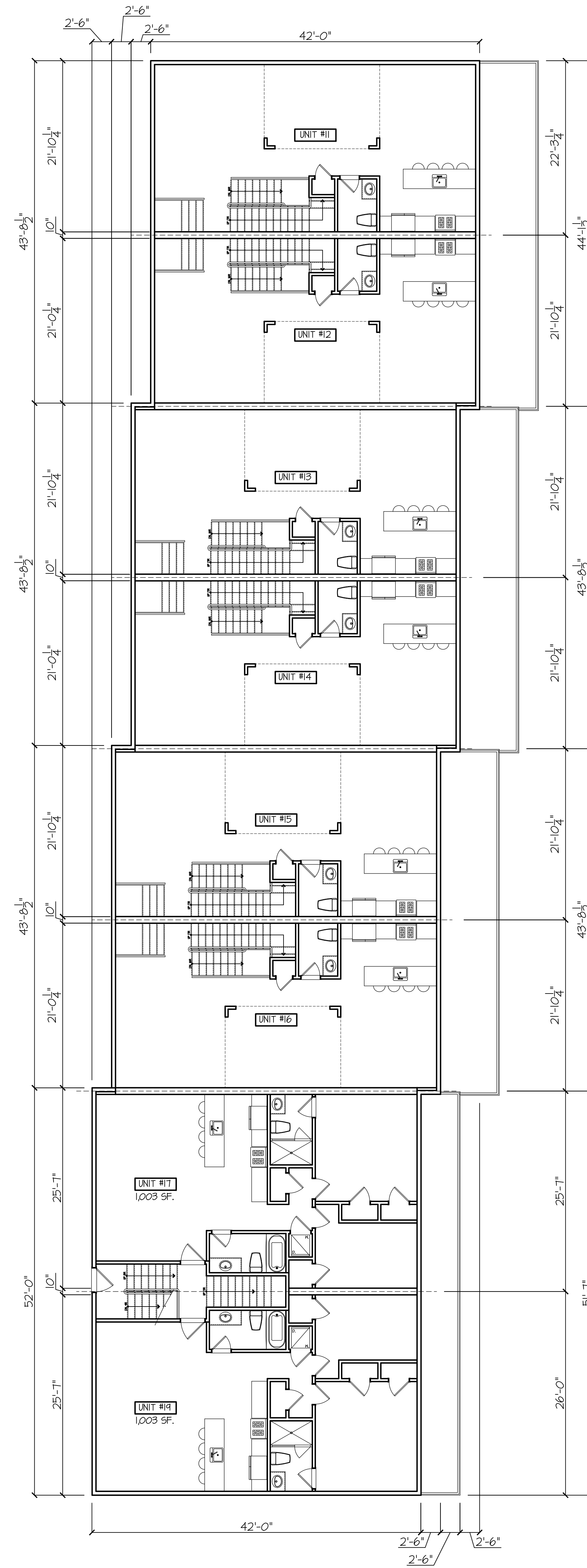
Date:
 JAN. 19, 2021

Sheet Number:
A1.2

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____
 CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____
 JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

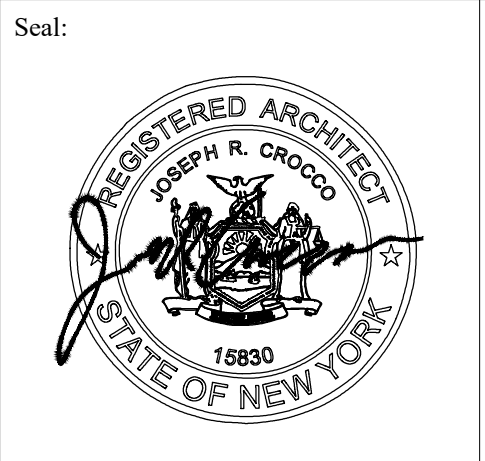
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REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21



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 new jersey architects
 new york connecticut new jersey massachusetts
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 armonk, new york 10504
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NEW RESIDENTIAL STRUCTURE FOR
 154 BEDFORD ROAD
 ARMONK, NEW YORK
 TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #2 GARAGE & FIRST FLOOR

Project No:
 21003

Date:
 JAN. 19, 2021

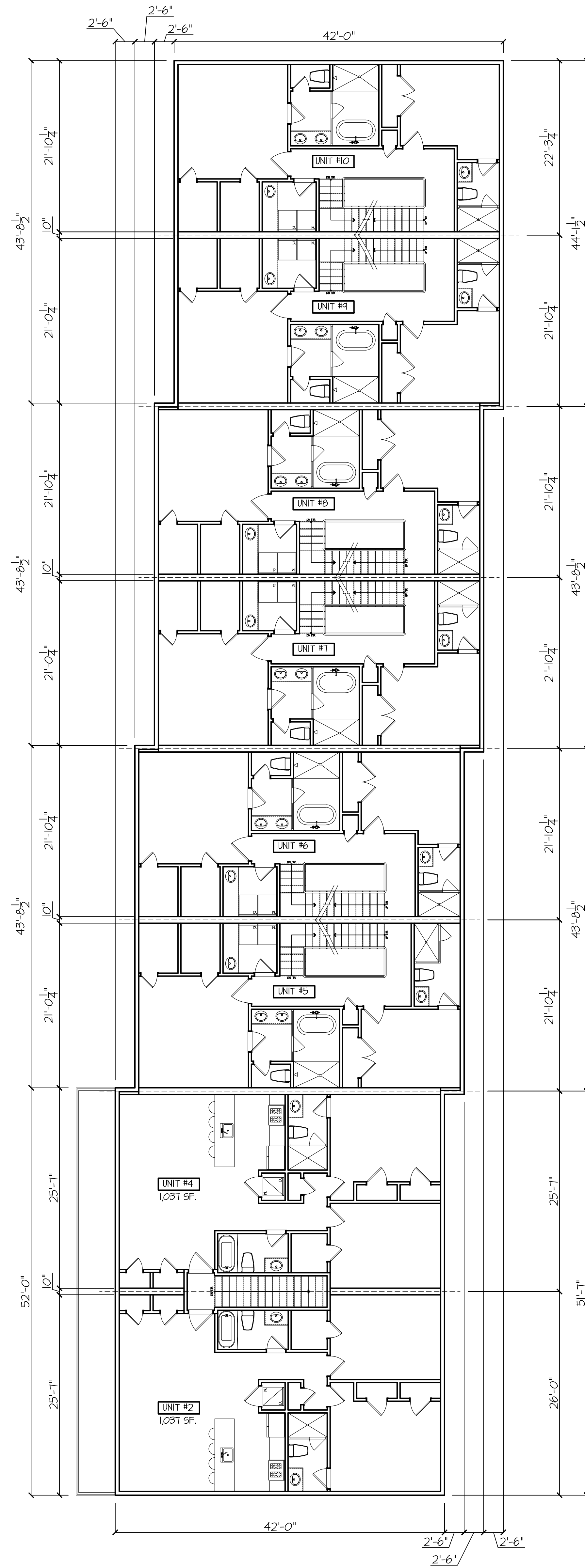
Sheet Number:
A1.3

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____

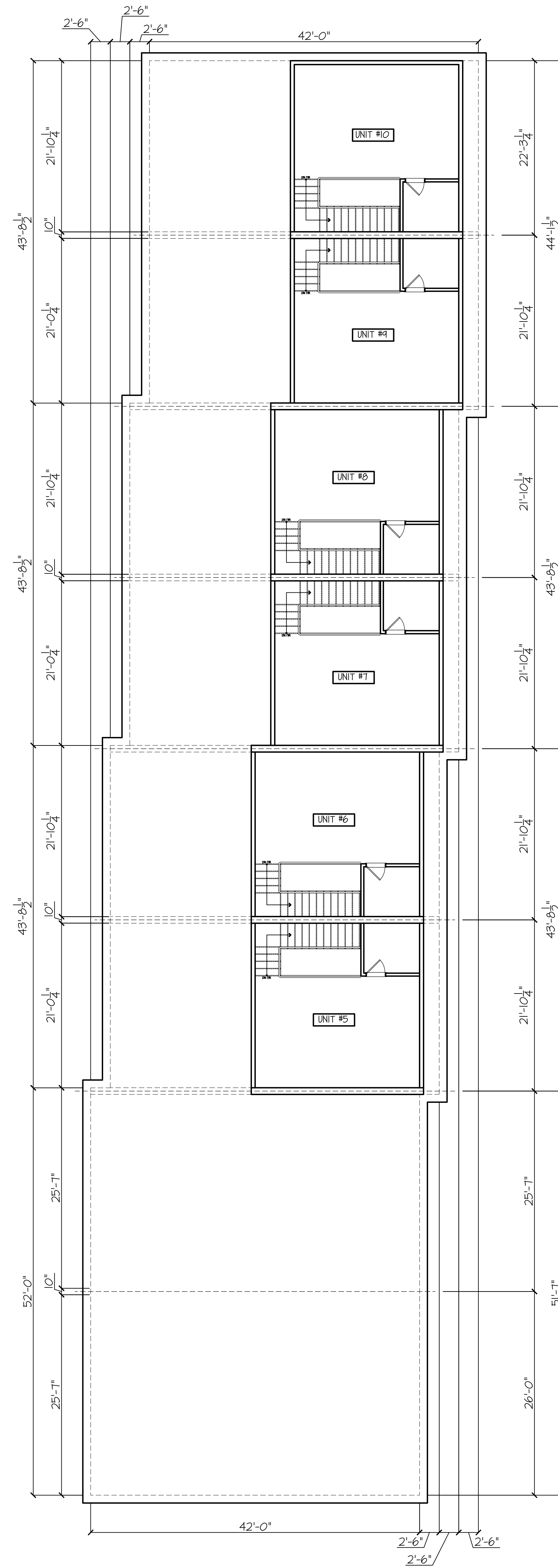
CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____

JOSEPH CERIELE, P.E.
 KELLARD SESSIONS CONSULTING P.C.
 CONSULTING TOWN ENGINEERS



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

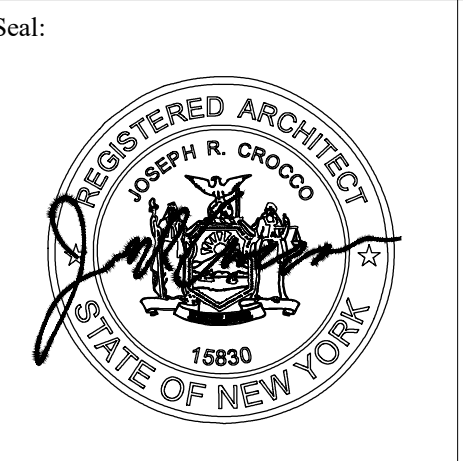
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REVISION	DATE
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2. PB SUBMISSION	04.09.21



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(914) 273-2774 fax (914) 273-2776

NEW RESIDENTIAL STRUCTURE FOR
154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #2 SECOND & THIRD FLOOR

Project No:
21003

Sheet Number:
A1.4

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____

CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS

Date:
JAN. 19, 2021

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REVISION	DATE
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2. PB SUBMISSION	04.09.21

TOP OF ROOF
ELEV. 448.5

MID POINT OF ROOF
ELEV. 449.0

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5
AVG. GRADE
ELEV. 389.7

FIN. GARAGE FLOOR
ELEV. 318.0



TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0

1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 448.5

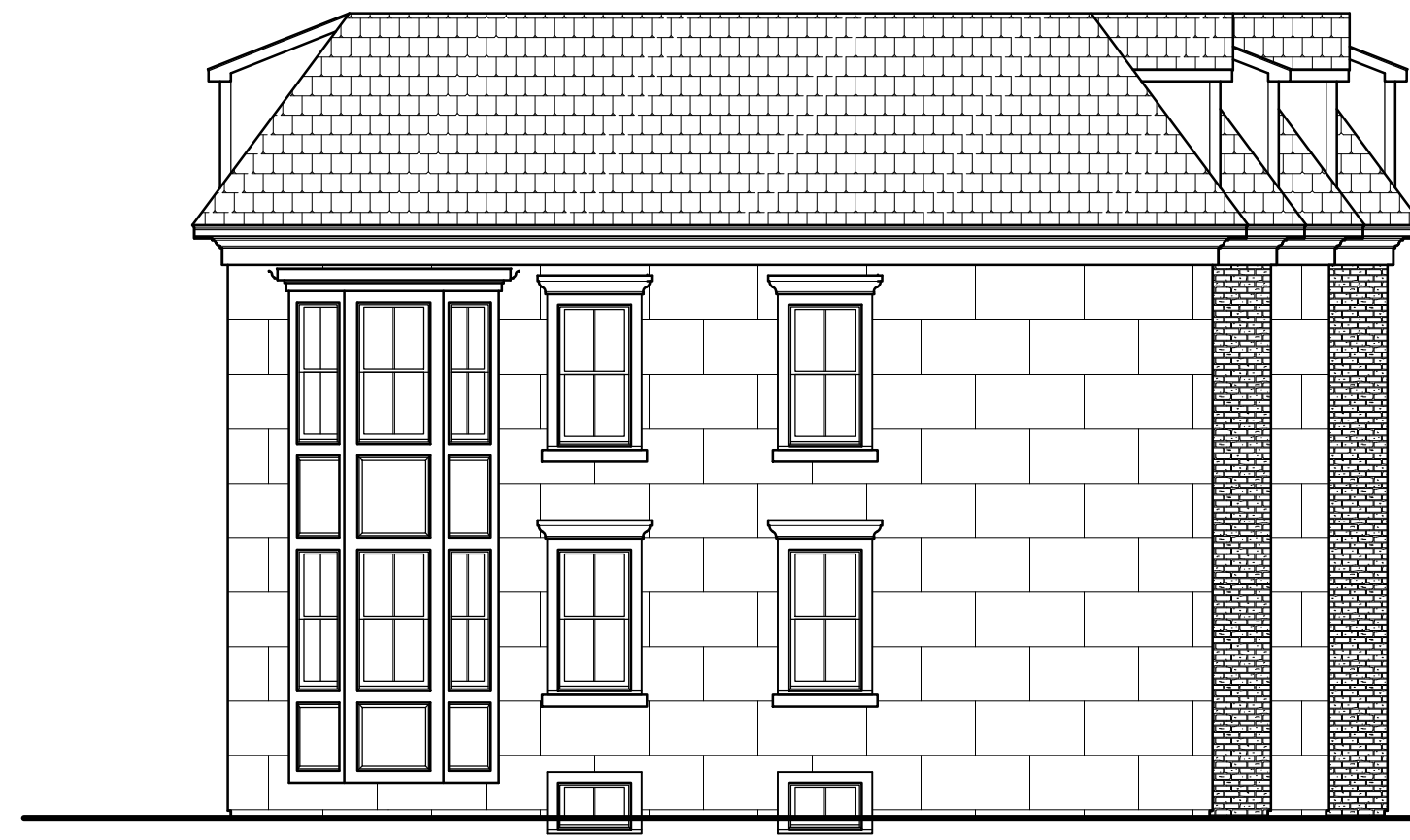
FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0



TOP OF ROOF
ELEV. 448.5

FIN. THIRD FLOOR
ELEV. 449.0

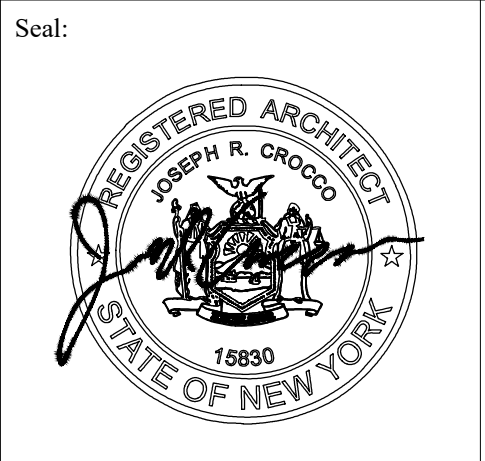
FIN. SECOND FLOOR
ELEV. 398.5

FIN. FIRST FLOOR
ELEV. 388.0

FIN. ENTRANCE LEVEL
ELEV. 388.5

FIN. GARAGE FLOOR
ELEV. 318.0

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



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NEW RESIDENTIAL STRUCTURE FOR

154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____ DATE _____

CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION.

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS

Dwg. Name:
BLD. #1 ELEVATIONS

Project No:
21003

Sheet Number:
A2.1

Date:
JAN. 19, 2021

32'-2 1/2"
26'-0 1/2"

TOP OF ROOF
ELEV.445

FIN. THIRD FLOOR
ELEV.400

FIN. SECOND FLOOR
ELEV.365

FIN. FIRST FLOOR
ELEV.330

FIN. ENTRANCE LEVEL
ELEV.330

FIN. GARAGE FLOOR
ELEV.280



TOP OF ROOF
ELEV.445

FIN. THIRD FLOOR
ELEV.400

FIN. SECOND FLOOR
ELEV.365

FIN. FIRST FLOOR
ELEV.330

FIN. ENTRANCE LEVEL
ELEV.330

FIN. GARAGE FLOOR
ELEV.280

1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

10'-0"
10'-6"
10'-6"
10'-0"

TOP OF ROOF
ELEV.445

FIN. THIRD FLOOR
ELEV.400

FIN. SECOND FLOOR
ELEV.365

FIN. FIRST FLOOR
ELEV.330

FIN. ENTRANCE LEVEL
ELEV.330

FIN. GARAGE FLOOR
ELEV.280



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

10'-0"
10'-6"
10'-6"
10'-0"

TOP OF ROOF
ELEV.445

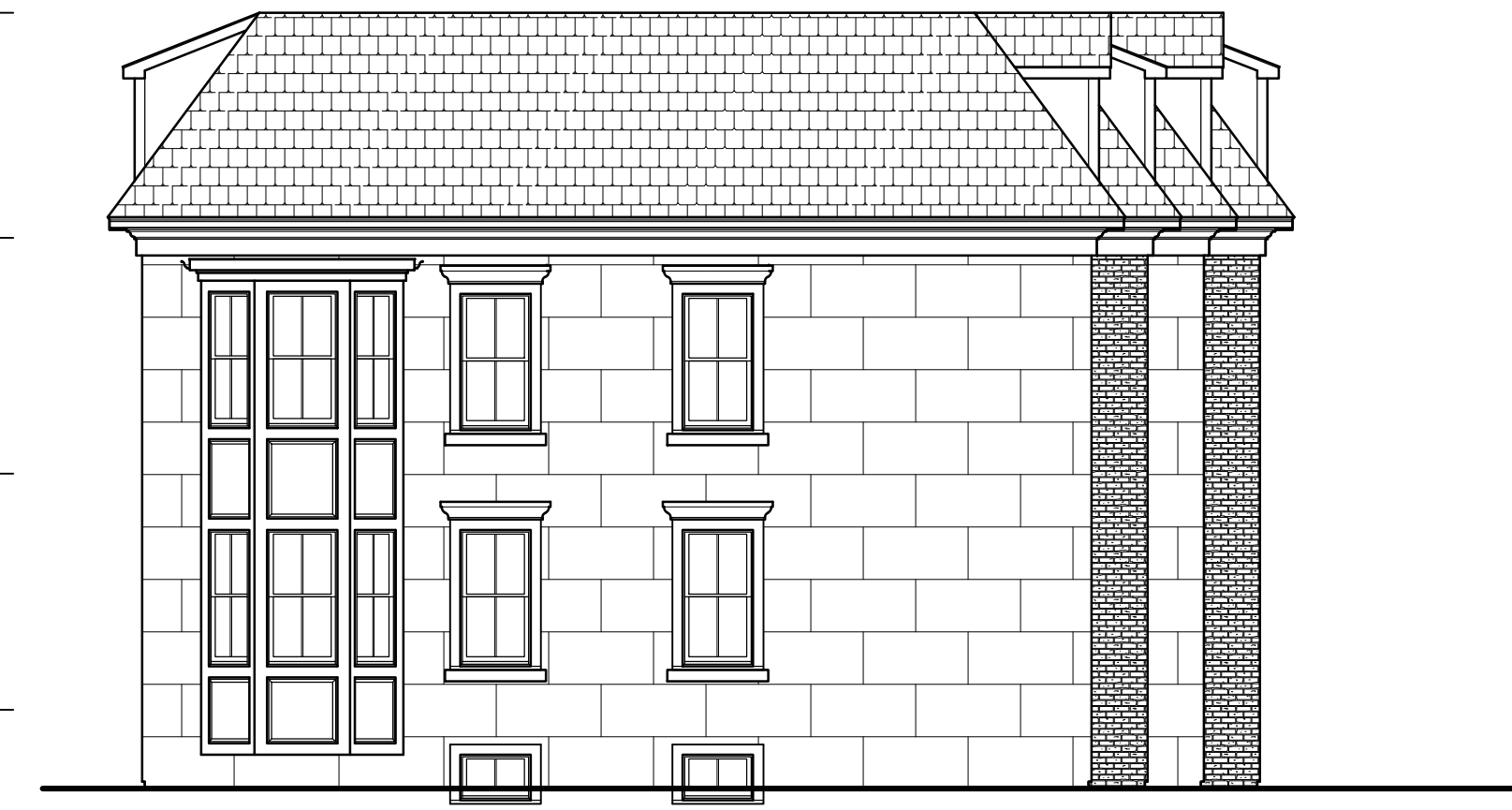
FIN. THIRD FLOOR
ELEV.400

FIN. SECOND FLOOR
ELEV.365

FIN. FIRST FLOOR
ELEV.330

FIN. ENTRANCE LEVEL
ELEV.330

FIN. GARAGE FLOOR
ELEV.280



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

10'-0"
10'-6"
10'-6"
10'-0"

TOP OF ROOF
ELEV.445

FIN. THIRD FLOOR
ELEV.400

FIN. SECOND FLOOR
ELEV.365

FIN. FIRST FLOOR
ELEV.330

FIN. ENTRANCE LEVEL
ELEV.330

FIN. GARAGE FLOOR
ELEV.280



TOP OF ROOF
ELEV.445

FIN. THIRD FLOOR
ELEV.400

FIN. SECOND FLOOR
ELEV.365

FIN. FIRST FLOOR
ELEV.330

FIN. ENTRANCE LEVEL
ELEV.330

FIN. GARAGE FLOOR
ELEV.280

4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

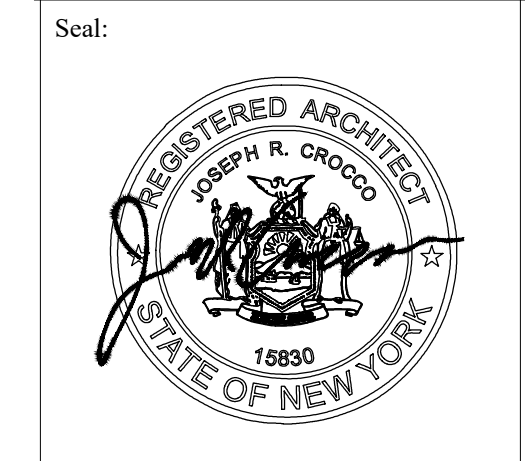
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REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21



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NEW RESIDENTIAL STRUCTURE FOR

154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name:
BLD. #2 ELEVATIONS

Project No:
21003

Sheet Number:
A2.2

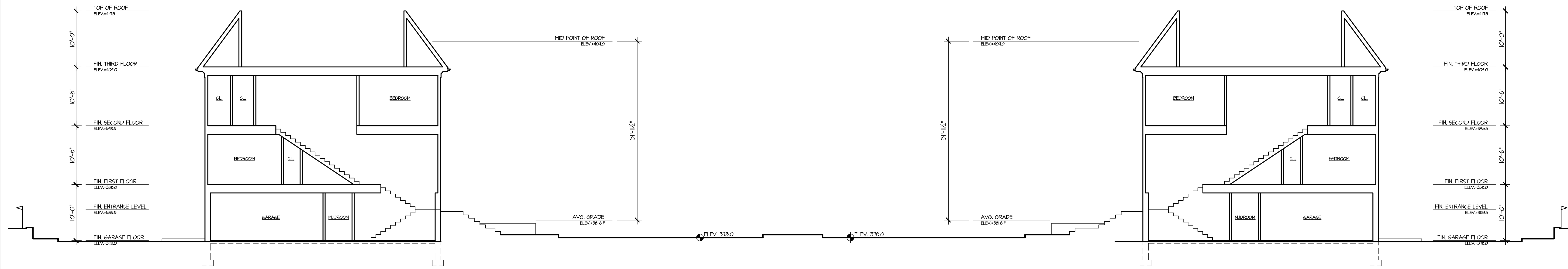
Date:
JAN. 19, 2021

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ DATE _____

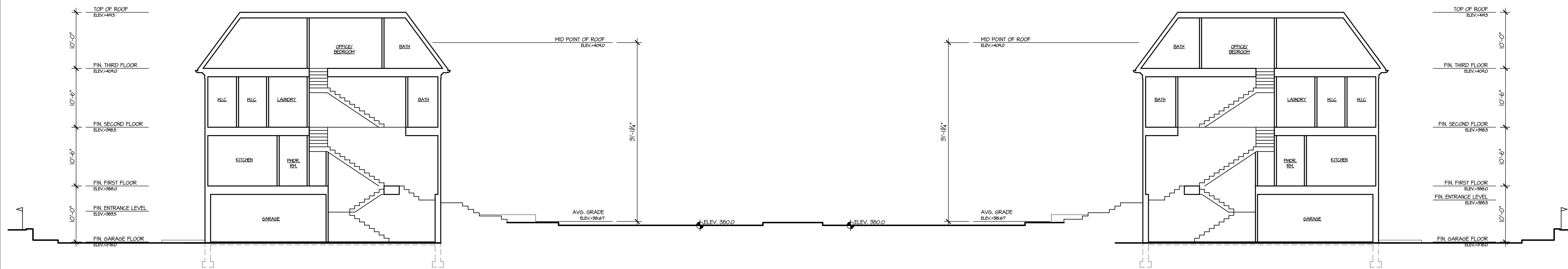
CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ DATE _____

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS



1 SECTION THROUGH DUPLEX UNIT
SCALE: 1/8" = 1'-0"



2 SECTION THROUGH TOWNHOUSE
SCALE: 1/8" = 1'-0"

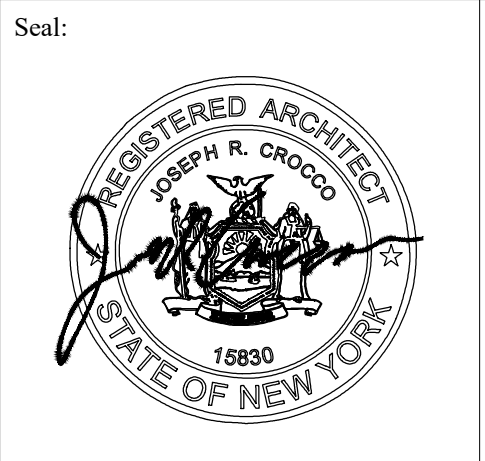
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NEW RESIDENTIAL STRUCTURE FOR
154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

Dwg. Name: **SECTIONS**

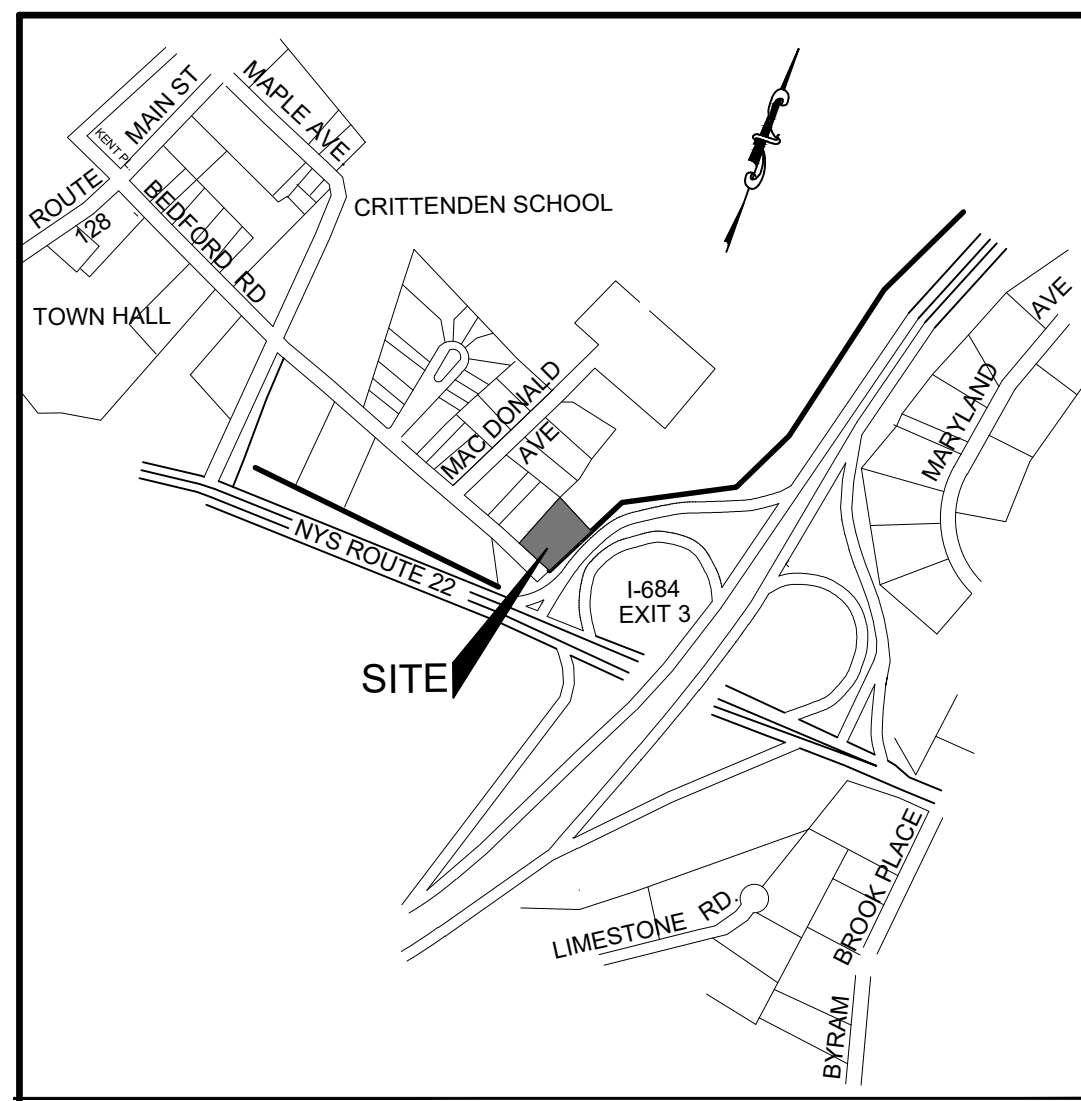
Project No: 21003
Sheet Number: **A3.1**

Date: JAN. 19, 2021

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____ DATE _____
CHRISTOPHER CARTHY, CHAIR
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ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS



AVERAGE GRADE CALCULATION

POINTS	AVG OF POINTS	x	DISTANCE BETWEEN POINTS	=	TOTAL
A-B	(386.5 + 386)/2		21'		8,111.25
B-C	(386 + 382.5)/2		21'		8,048.25
C-D	(378.5 + 378)/2		186.6'		70,581.45
D-E	(378.5 + 382)/2		25.5'		9,696.35
E-F	(378 + 378)/2		12'		4,536
F-G	(386.25 + 382)/2		4'		1,217
G-A	(386.5 + 386.25)/2		190.8'		73,720.4
				460.9'	175,910.7 sf
					AVG: 381.67'

ZONING COMPLIANCE CHART

MINIMUM DIMENSIONS	LOT 1	LOT 2		
LOT SIZE	20,000 sf	27,456 sf	27,456 sf	
FRONTAGE	100 ft	137.5 sf	137.5 sf	
WIDTH	100 ft	137.5 sf	137.5 sf	
DEPTH	150 ft	200 sf	200 sf	
MINIMUM YARDS				
FRONT	10 ft	10.67 ft	10 ft	
SIDE	15 ft	31.2R (min)	31.75 ft (min)	
REAR	5 ft	5 ft	5 ft	
MAXIMUM BUILDING HEIGHT				
HEIGHT	30 ft	30 ft	30 ft	
STORIES	3	2-1/2	2-1/2	
MAXIMUM BUILDING COVER				
	28.1% (7,728 sf)	28.1% (7,728 sf)	PROPOSED 15,456 sf	PERMITTED 21,965 sf
FAR	18,228 sf	18,228 sf	0.66 36,456 sf	0.9 49,420 sf

PARKING TABULATION CHART

REQUIRED	MARKET RATE UNITS		TOTALS	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
CALCULATIONS	LOT 1	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
	LOT 2	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
			52 TOTAL	57 TOTAL
			25 EXTERIOR (INCLUDES 2 HC)	

LOCATION PLAN

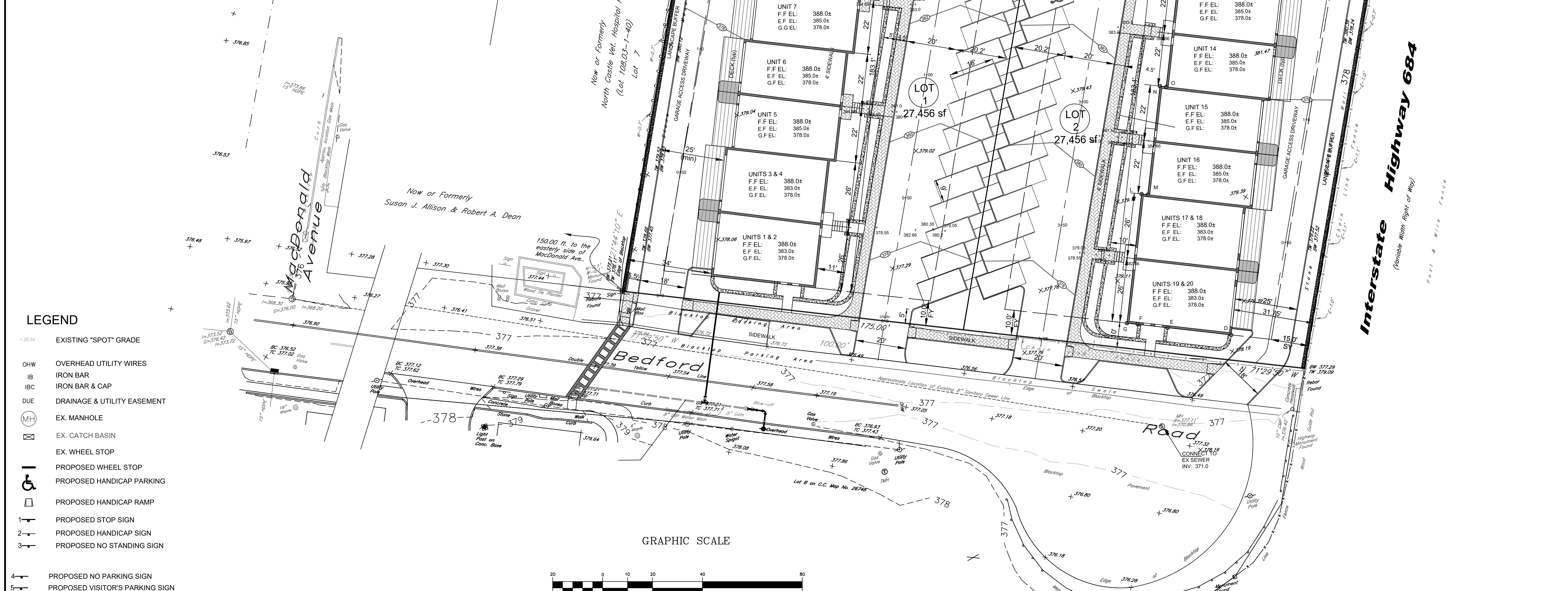
OWNER/APPLICANT: NTS
154 BEDFORD ROAD LLC
4 MACDONALD AVENUE
ARMONK, NEW YORK

PROPERTY LOCATION: 154 - 170 BEDFORD ROAD
ARMONK, NEW YORK

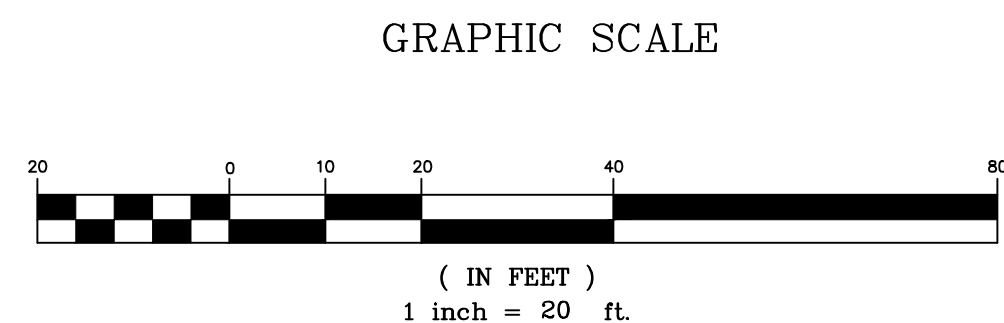
ZONING DISTRICT: **R-MF-SS**
(RESIDENTIAL-MULTIFAMILY-SINGLE STRUCTURE)

AREA: 1.26 ACRES

TAX LOT NUMBER: SECTION 108.03; BLOCK 1; LOT 42



- LEGEND**
- + 38.04 EXISTING "SPOT" GRADE
 - OHW OVERHEAD UTILITY WIRES
 - IB IRON BAR
 - IBC IRON BAR & CAP
 - DUE DRAINAGE & UTILITY EASEMENT
 - (MH) EX. MANHOLE
 - EX. CATCH BASIN
 - EX. WHEEL STOP
 - PROPOSED WHEEL STOP
 - PROPOSED HANDICAP PARKING
 - PROPOSED HANDICAP RAMP
 - 1 PROPOSED STOP SIGN
 - 2 PROPOSED HANDICAP SIGN
 - 3 PROPOSED NO STANDING SIGN
 - 4 PROPOSED NO PARKING SIGN
 - 5 PROPOSED VISITOR'S PARKING SIGN



SHEET: **1** of **1**

NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS
592 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

DATE

PRELIMINARY SITE PLAN

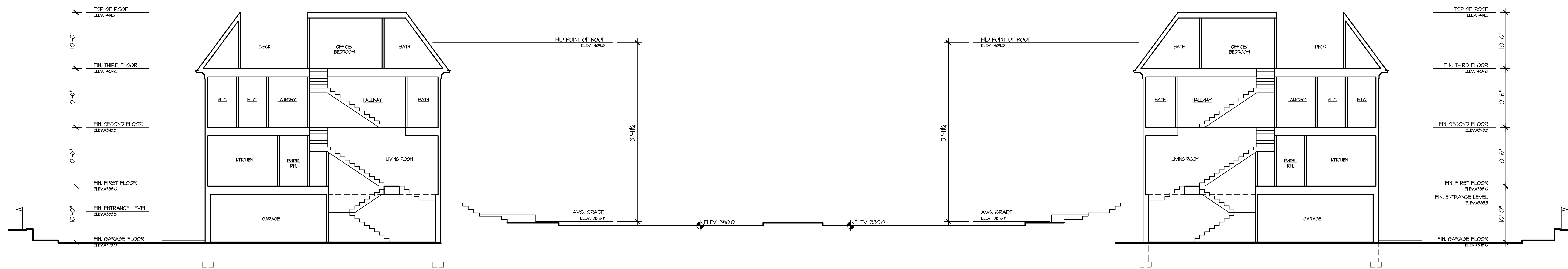
ARMONK CLOSE
154 BEDFORD ROAD, ARMONK, NY

Project Number: FARLY-04
Progress Print: April 2, 2021

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1 SECTION THROUGH DUPLEX UNIT
SCALE: 1/8" = 1'-0"



2 SECTION THROUGH TOWNHOUSE
SCALE: 1/8" = 1'-0"

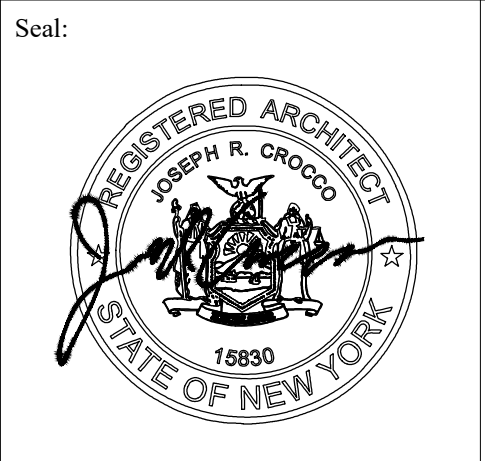
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NEW RESIDENTIAL STRUCTURE FOR
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ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____ DATE _____
CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION.

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS

Dwg. Name: **SECTIONS**

Project No: 21003
Date: JAN. 19, 2021

Sheet Number: **A3.1**

Short Environmental Assessment Form

Part I - Project Information

Instructions for Completing

Part I - Project Information. The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part I - Project and Sponsor Information			
Multi-Family Residence			
Name of Action or Project: Armonk Close			
Project Location (describe, and attach a location map): 154 Bedford Road, Armonk, NY			
Brief Description of Proposed Action: Construction of Two Multi-Family Structures with a Total of 22 Single Family Units			
Name of Applicant or Sponsor: Michael Farot		Telephone: 914-273-4500	
		E-Mail: michael@lararicompanies.com	
Address: 4 MacDonald Avenue			
City/PO: Armonk		State: NY	Zip Code: 10504
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.26 acres	
b. Total acreage to be physically disturbed?		_____ 1.26 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.26 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

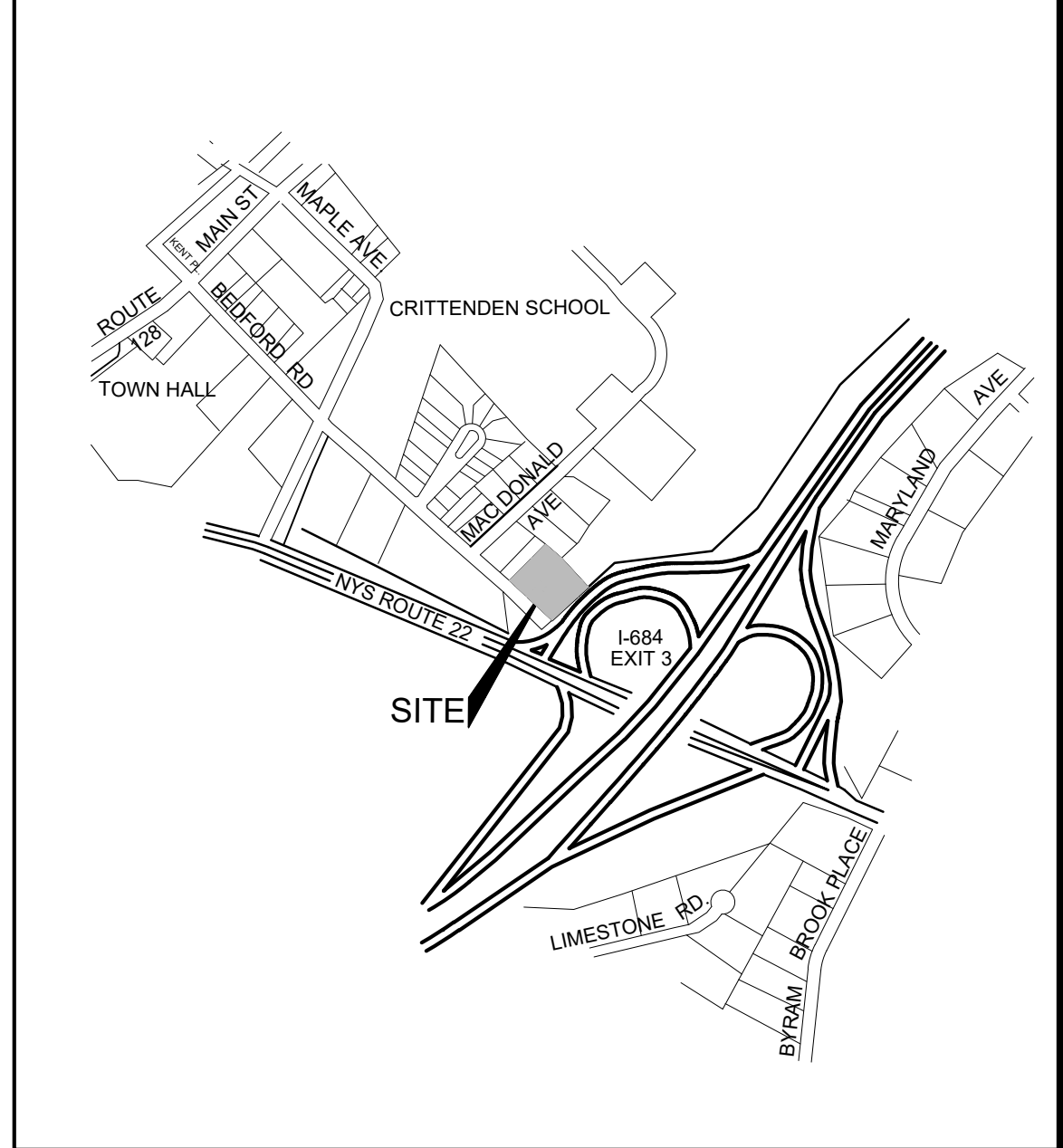
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bog Turtle		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plain?		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		NO	YES
a. Will storm water discharges flow to adjacent properties?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?		<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: Stormwater Mitigation System to include On-Site Infiltration Designed to Offset the Increase in Impervious Area up to and including the 100 Year Event			
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor name: MICHAEL FARERI		Date: December 3, 2020	
Signature: <i>Michael Fareri</i>		Title: Owner	

PRINT FORM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Data: USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, NGCC, Esri OpenStreetMap contributors, and the GIS User Community

- Part 1 / Question 7 [Critical Environmental Area] No
- Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] No
- Part 1 / Question 12b [Archeological Sites] Yes
- Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
- Part 1 / Question 15 [Threatened or Endangered Animal] Yes
- Part 1 / Question 15 [Threatened or Endangered Animal - Name] Bog Turtle
- Part 1 / Question 16 [100 Year Flood Plain] No
- Part 1 / Question 20 [Remediation Site] Yes



Vicinity Map
NTS



Westchester County Department of Health
Mount Kisco, New York

Approved pursuant to Chapter 873, Article X, Sections 873.951 and 873.1021 of the Westchester County Sanitary Code subject to the provision of public water supply and public sanitary sewer facilities to serve all structures intended for human occupancy constructed herein.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Date: _____
Approved by the Assistant Commissioner of Health on Behalf of the Department of Health.

Approved for filing in the Division of Land Records

Approved by a Resolution of the North Castle Planning Board

Date: _____
Owner: 154 Bedford Road LLC
Officer: _____

Chairman: _____ Date: _____
Engineering Drawings and Conservation Plans Approved by Town Engineer
Joseph M. Cermele, P.E.
Kellard Sessions Consulting, P.C.
Consulting Town Engineers

Owner: 154 Bedford Road LLC
4 MacDonal Avenue
Armonk, NY 10504

All taxes due to date have been paid.

Town of North Castle Tax Assessment Designation
Section 108.03
Block 1
Lot 42

Date: _____
Patricia Calombo
Town of North Castle—Receiver of Taxes

Westchester County Index System
Sheet 123
Block 8795

Total Lot Area = 54,912 sq. ft. or 1.2606 acres
LDD 50690\dwg\55438-Subdivision.dwg

Interstate Highway 684
(Variable Width Right of Way)

Preliminary Subdivision Map
prepared for
154 Bedford Road LLC
in the Town of
North Castle
Westchester County, N.Y.
Scale 1"=20'
Mar. 31, 2021

The premises being Lots 41 and 42, Block 1, Section 108.03 as shown on the Official Tax Assessment Maps of the Town of North Castle. Also shown on a map entitled "Map of Property belonging to Edwin R. Hopkins" dated March 16, 1886 and filed March 10, 1887 as County Clerk Map No. 101.

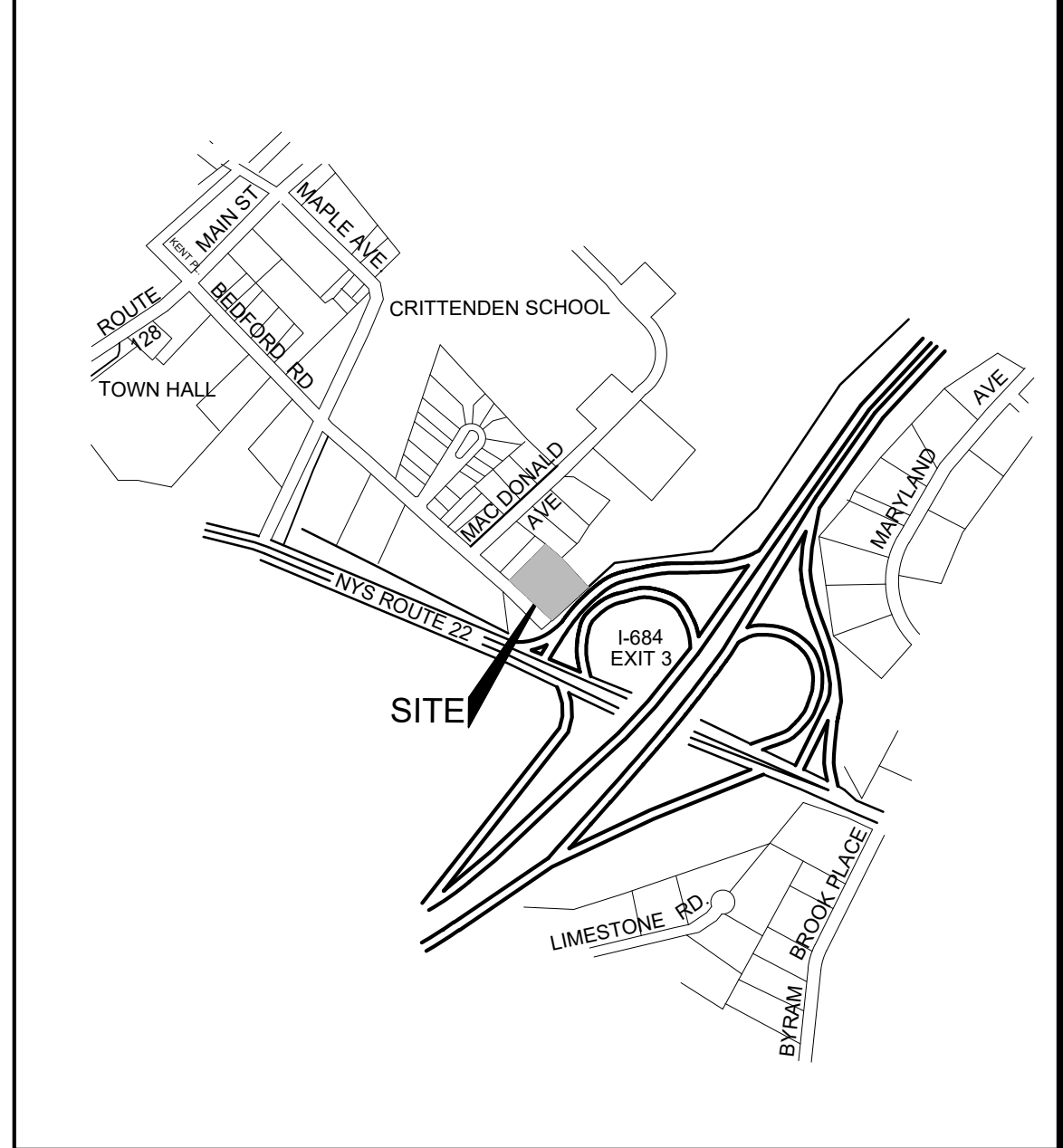
Site Utilities designed by:
Nathaniel J. Holt, P.E.
New York State License No. 074128
Nathaniel J. Holt, PE
Consulting Engineers
592 Route 22
Pawling, New York 12564
914-760-1800

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law".

We, Ward Carpenter Engineers Inc., the surveyors who made this map do hereby certify that the survey of property shown hereon was completed March 23, 2021 and that this map was completed on March 31, 2021.

William H. Dreyer, P.E.
Ward Carpenter Engineers, Inc.
76 Mamaroneck Avenue
White Plains, N.Y. 10601





Vicinity Map
NTS



Interstate Highway 684
(Variable Width Right of Way)

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Nathaniel J. Holt, P.E.
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592 Route 22
Pawling, New York 12564
914-760-1800



William H. Dreyer, P.E.
Ward Carpenter Engineers, Inc.
76 Mamaroneck Avenue
White Plains, N.Y. 10601

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Mount Kisco, New York

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Approved by the Assistant Commissioner of Health on Behalf of the Department of Health.

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Date: _____
Owner: 154 Bedford Road LLC
Officer: _____

Chairman: _____ Date: _____
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Kellard Sessions Consulting, P.C.
Consulting Town Engineers

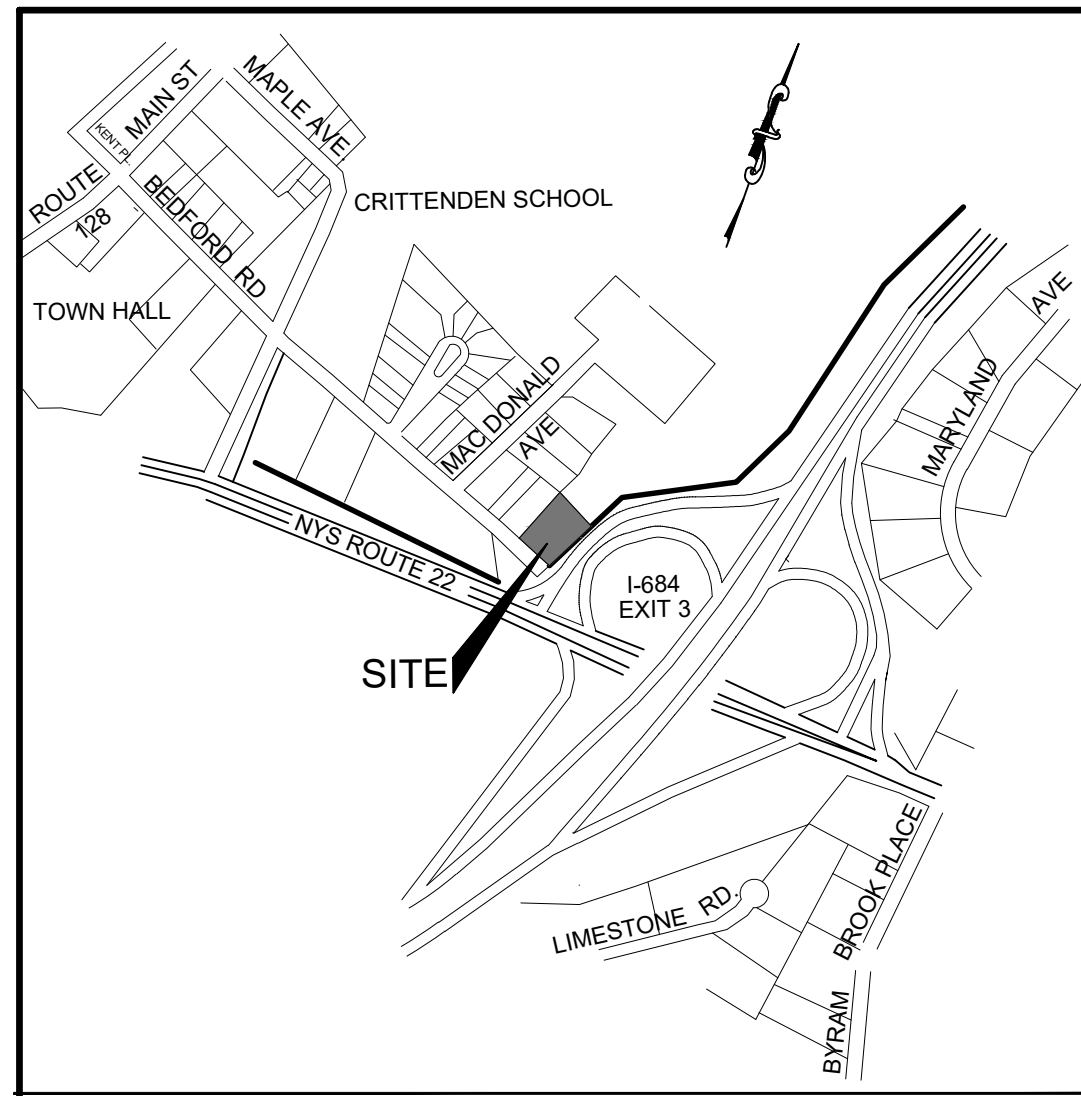
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Armonk, NY 10504

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Date: _____
Patricia Calombo
Town of North Castle-Receiver of Taxes

Town of North Castle Tax Assessment Designation
Section 108.03
Block 1
Lot 42

Westchester County Index System
Sheet 123
Block 8795

Total Lot Area = 54,912 sq. ft. or 1.2606 acres
LDD 50690\dwg\55438-Subdivision.dwg



AVERAGE GRADE CALCULATION

POINTS	AVG OF POINTS	x	DISTANCE BETWEEN POINTS	=	TOTAL
A-B	(386.5 + 386)/2		21'		8,111.25
B-C	(386 + 382.5)/2		21'		8,048.25
C-D	(378.5 + 378)/2		186.6'		70,581.45
D-E	(378.5 + 382)/2		25.5'		9,696.35
E-F	(378 + 378)/2		12'		4,536
F-G	(386.25 + 382)/2		4'		1,217
G-A	(386.5 + 386.25)/2		190.8'		73,720.4
			460.9'		175,910.7 sf
					AVG: 381.67'

ZONING COMPLIANCE CHART

MINIMUM DIMENSIONS	LOT 1	LOT 2		
LOT SIZE	20,000 sf	27,456 sf	27,456 sf	
FRONTAGE	100 ft	137.5 sf	137.5 sf	
WIDTH	100 ft	137.5 sf	137.5 sf	
DEPTH	150 ft	200 sf	200 sf	
MINIMUM YARDS				
FRONT	10 ft	10.67 ft	10 ft	
SIDE	15 ft	31.2R (min)	31.75 ft (min)	
REAR	5 ft	5 ft	5 ft	
MAXIMUM BUILDING HEIGHT				
HEIGHT	30 ft	30 ft	30 ft	
STORIES	3	2-1/2	2-1/2	
MAXIMUM BUILDING COVER				
	28.1% (7,728 sf)	28.1% (7,728 sf)	PROPOSED 15,456 sf	PERMITTED 21,965 sf
FAR	18,228 sf	18,228 sf	0.66	0.9
			36,456 sf	49,420 sf

PARKING TABULATION CHART

REQUIRED	MARKET RATE UNITS		TOTALS	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
CALCULATIONS	LOT 1	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
	LOT 2	3 BEDROOM UNITS (6 DU x 2.5 SP/DU) = 15 SPACES 2 BEDROOM UNITS (4 DU x 2.0 SP/DU) = 8 SPACES VISITOR (23 SPACES x 0.10) = 3 SPACES	26 SPACES	16 GARAGED
			52 TOTAL	57 TOTAL
				25 EXTERIOR (INCLUDES 2 HC)

LOCATION PLAN

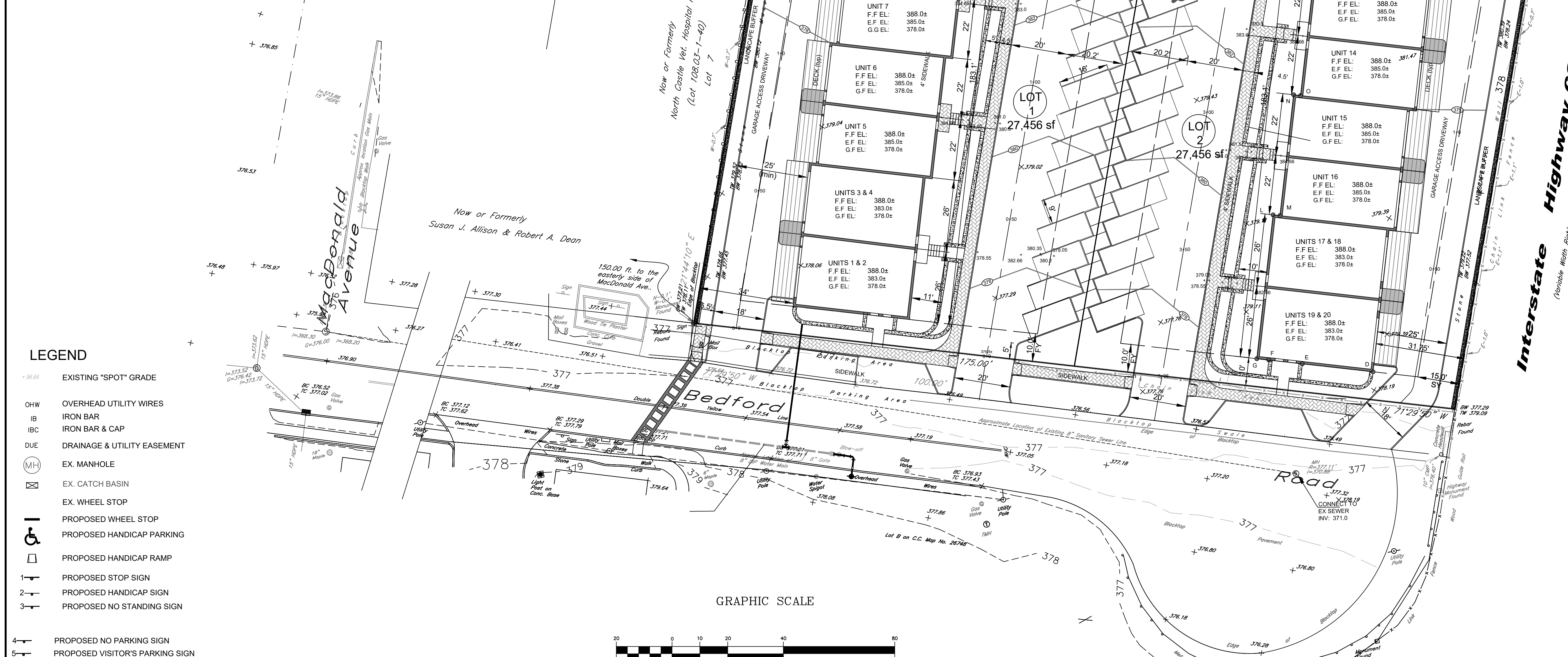
OWNER/APPLICANT: NTS
154 BEDFORD ROAD LLC
4 MACDONALD AVENUE
ARMONK, NEW YORK

PROPERTY LOCATION: 154 - 170 BEDFORD ROAD
ARMONK, NEW YORK

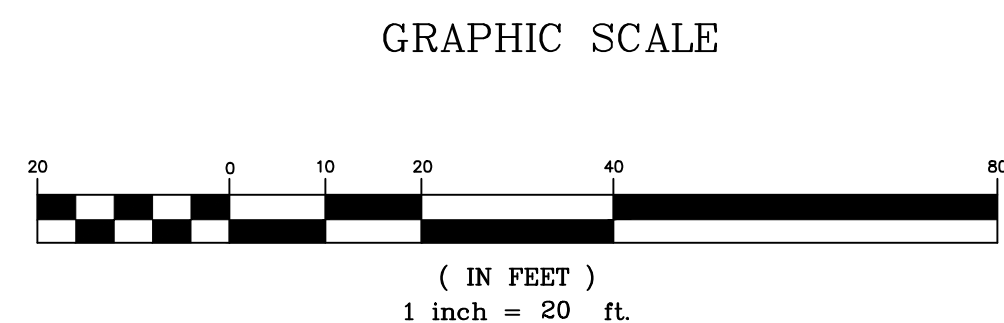
ZONING DISTRICT: R-MF-SS
(RESIDENTIAL-MULTIFAMILY-SINGLE STRUCTURE)

AREA: 1.26 ACRES

TAX LOT NUMBER: SECTION 108.03; BLOCK 1; LOT 42



- LEGEND**
- + 38.04 EXISTING "SPOT" GRADE
 - OHW OVERHEAD UTILITY WIRES
 - IB IRON BAR
 - IBC IRON BAR & CAP
 - DUE DRAINAGE & UTILITY EASEMENT
 - (MH) EX. MANHOLE
 - EX. CATCH BASIN
 - EX. WHEEL STOP
 - PROPOSED WHEEL STOP
 - PROPOSED HANDICAP PARKING
 - PROPOSED HANDICAP RAMP
 - 1 PROPOSED STOP SIGN
 - 2 PROPOSED HANDICAP SIGN
 - 3 PROPOSED NO STANDING SIGN
 - 4 PROPOSED NO PARKING SIGN
 - 5 PROPOSED VISITOR'S PARKING SIGN



SHEET: 1 of 1

NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS

592 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

DATE

PRELIMINARY
SITE PLAN

ARMONK CLOSE

154 BEDFORD ROAD, ARMONK, NY

Project Number: FARLY-04
Progress Print: April 2, 2021

C:\Users\HEC\Projects_CAD\FARLY-Armonk\Close_Preliminary 2021_0407.dwg, 4/8/2021, 3:23:54 PM

Copyright © 2021 HOLT ENGINEERING & CONSULTING, P.A.
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION IS A VIOLATION OF APPLICABLE LAWS



FARERI COMPANIES

4/7/2021

4 MacDonald Ave. Suite 1
Armonk, NY 10504
TEL (914) 273-4500
FAX (914) 273-4526

Christopher Carthy
Chairman

CC:

Steven Sauro – Member
Michael Pollock – Member
James Jensen – Member
Lawrence Ruisi – Member

Adam R. Kaufman, AICP
Director of Planning

Dear Christopher:

Please accept our application for site plan and subdivision approval for *Armonk Close* located at *154 Bedford Road, Armonk, NY 10504*. Enclosed is a check for \$7,187.50 for required fees, and a second check for \$1,720.00 for the application fees.

The property is 1.26 acres, located on Bedford Road, known as the Old Lumberyard. The property is presently zoned RMFSS (Residential Multi-Family Single Structure). The property is 275 ft. of frontage by 200 ft. in depth. We are seeking subdivision into two lots, each approximately .63 acres. Each lot will have 10 residential units, total of 20 units with a FAR of .67. The existing approval presently is approved for 36 units with a FAR of .9.

The AFFH requirement has been reduced from 20% to 10%. The new plan of 20 units contains 18 market rate units and 2 AFFH units. The plan will provide 57 parking spaces (52 required). Of the spaces, 32 will be garage spaces and an additional 25 outdoor parking spaces. The plan submitted is in conformity to the present zoning codes; but, may require a height variance, which was previously granted on a previous approval.

Included in this application you will find a preliminary subdivision map prepared by *Ward Carpenter Engineers, Inc.*; a concept site plan prepared by *Nathaniel J. Holt, PE*; and architectural plans prepared by *Joseph R. Crocco Architects*.

The Commissioner of Planning for Westchester County, and the Westchester County Executive has approved an Amended & Restated Declaration of Restrictive Covenants. The Town Board will hopefully be approving the Amended & Restated Declaration of Restrictive Covenants on Wednesday, April 14, 2021. If the Town Board should not act favorably, we would ask that the fees be returned and this application be withdrawn. We are seeking your cooperation for site plan and subdivision approval as soon as possible, as we have a required completion date.

We have been working with the Town Consultants and Planning Director for the last several months, and have presented a conceptual plan to your board on February 2nd, 2021. We hope that we can be on the planning board agenda for April 26th, 2021, and we hope at that time you would consider scheduling a public hearing.

Sincerely and thank you

Michael E. Fareri

154 BEDFORD ROAD LLC
4 MACDONALD AVE
ARMONK, NY 10504

HUDSON VALLEY BANK, N.A.
664 MAIN STREET
MT. KISCO, N.Y. 10549

1229

50-930/219-07

4/7/2021

PAY TO THE ORDER OF Town of North Castle

\$ **7,187.50

Seven Thousand One Hundred Eighty-Seven and 50/100*****

DOLLARS

Town of North Castle
15 Bedford Road
Armonk, New York 10504

MEMO

[Handwritten Signature]
AUTHORIZED SIGNATURE

⑈001229⑈ ⑆021909300⑆ 0704509⑈301⑈

Details on Back Security Features Included

154 BEDFORD ROAD LLC

1229

Town of North Castle

4/7/2021

7,187.50

CASH - HVB - CHEC

7,187.50

154 BEDFORD ROAD LLC

1229

Town of North Castle

4/7/2021

7,187.50

CASH - HVB - CHEC

7,187.50

154 BEDFORD ROAD LLC
4 MACDONALD AVE
ARMONK, NY 10504

HUDSON VALLEY BANK, N.A.
664 MAIN STREET
MT. KISCO, N.Y. 10549

1230

50-930/219
07

4/7/2021

PAY TO THE ORDER OF Town of North Castle

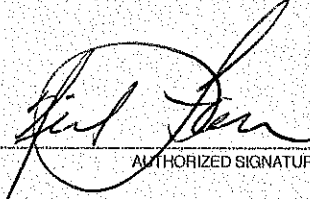
\$ **1,720.00

One Thousand Seven Hundred Twenty and 00/100*****

DOLLARS

Town of North Castle
15 Bedford Road
Armonk, New York 10504

MEMO



AUTHORIZED SIGNATURE

⑈001230⑈ ⑆021909300⑆ 0704509⑈301⑈

Details on Back Security Features Included

154 BEDFORD ROAD LLC

1230

Town of North Castle

4/7/2021

Application fee

1,720.00

CASH - HVB - CHEC

1,720.00

154 BEDFORD ROAD LLC

1230

Town of North Castle

4/7/2021

Application fee

1,720.00

CASH - HVB - CHEC

1,720.00



April 12
April 26
C. Kaufman

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northeastlenv.com

PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>	
Concept Study	\$500.00	\$ 500 ⁰⁰ Paid
Site Plan Waiver for Change of Use	\$500.00	- 0 -
Site Development Plan for:		
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit	\$ 3000 ⁰⁰ 20(100) \$ 2000 ⁰⁰
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space	- 0 -
1 or 2 Family Projects	\$2,000.00	- 0 -
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space	- 0 -
Subdivision:		
Lot Line Change resulting in no new lots	\$1,500.00	- 0 -
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)	- 0 -
Preparation or Review of Environmental Impact Statement	\$15,000.00	- 0 -

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

4/5/21
Date:

PAGE 2 5500⁰⁰
PAGE 1 1720⁰⁰
TOTAL 142 7220⁰⁰
PAID 500
BALANCE \$ 6720



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

1/4/21 Due \$6720⁰⁰

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>	
Site Development Plan	\$200.00	200 ⁰⁰
Each proposed Parking Space	\$10	57 570 ⁰⁰
Special Use Permit (each)	\$200 (each)	- 0 -
Preliminary Subdivision Plat	\$300 1 st Lot	300 ⁰⁰
	\$200 (each additional lot)	200 ⁰⁰
Final Subdivision Plat	\$250 1 st Lot	250 ⁰⁰
	\$100 (each additional lot)	100 ⁰⁰
Tree Removal Permit	\$75	- 0 -
Wetlands Permit	\$50 (each)	- 0 -
Short Environmental Assessment Form	\$50	- 0 -
Long Environmental Assessment Form	\$100	100 ⁰⁰
Recreation Fee	\$10,000 Each Additional Lot	Per lot
Discussion Fee	\$200.00	
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of - 0 - \$200.00 shall be submitted for each informal appearance before the board.		

Any amendment to previously approved applications requires new application forms and Fees

Total Price \$ 1720⁰⁰



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northeastleny.com

Application for Site Development Plan Approval

Application Name

ARMONK CLOSE



Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

**PRELIMINARY SUBDIVISION
COMPLETENESS REVIEW FORM**

This form represents the standard requirements for a completeness review for all preliminary subdivision plans. Failure to provide all of the information requested will result in a determination that the preliminary subdivision application is incomplete. The review of the subdivision plat for completeness will be based on the requirements of the Town of North Castle Town Code.

Project Name on Plan:

ARMONK CLOSE

Initial Submittal Revised Preliminary

Street Location:

154-170 BEDFORD ROAD

Zoning District: RMF-SS Property Acreage: 1.26 Tax Map Parcel ID: 108,03-1-42

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Proposed subdivision name or identifying title
- 2. Name and address of the property owner and subdivider (if other than owner)
- 3. The name and address of the surveyor and/or engineer preparing the plan
- 4. Scale
- 5. The approximate true North point
- 6. Date
- 7. Signature and seal of a licensed professional engineer or licensed land surveyor

PRELIMINARY SUBDIVISION COMPLETENESS REVIEW FORM

Page 2

- 8. Approximate location and dimensions of all property lines
- 9. Total acreage of the proposed subdivision
- 10. Location of any zoning, special district or municipal boundary lines affecting the subdivision
- 11. Names of owners of record or properties adjoining and directly across the street from the proposed subdivision
- 12. Location of all existing structures and pertinent features, including railroads, water bodies, watercourses, wetlands, substantial rock outcroppings, wooded areas and stone walls, that may influence the design of the subdivision
- 13. Accurate topography at a vertical contour interval of not more than two feet
- 14. The location and status of existing streets, easements and rights-of-way (if any), proposals for the layout of new streets, including widths and approximate curve radii, and any proposed easements, rights-of-way and/or reservations
- 15. The names of existing streets
- 16. The proposed arrangement of lots, including identifying section, lot and block numbers and approximate area and dimensions of each
- 17. The location, size and nature of any area proposed to be reserved for park purposes
- 18. A site location sketch, at a scale of one inch equals 800 feet, showing the general situation of the applicant's property with respect to surrounding properties and streets
- 19. Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than 10 feet, plus any other information determined necessary by the Planning Board
- 20. A block for the preliminary approval signature of the Planning Board Chairman, for purposes of accurate records of approval
- 21. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 22. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.

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More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com>

_____ On this date, all items necessary for a technical review of the proposed preliminary subdivision plat have been submitted and constitute a COMPLETE APPLICATION.

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: 154 BEDFORD RD LLC
Mailing Address: 4 MACDONALD AVE. ARMONK, NY
Telephone: (914) 273-4500 Fax: NA e-mail MICHAEL@FARERI
COMPANIES.COM

Name of Applicant (if different): MICHAEL FARERI
Address of Applicant: SAME
Telephone: SAME Fax: SAME e-mail _____
Interest of Applicant, if other than Property Owner:
AGENT

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
NATHANIEL J. HOLT PE
Address: 592 RT 22. SUITE 4C PAULING 12564
DAN@HOLT
Telephone: (914) 760-1800 Fax: (772) 204-9553 e-mail ENGINEERING.NET

Name of Other Professional: JOSEPH R. CROCCO ARCH. RA
Address: 4 MACDONALD AVE, ARMONK, NY
Telephone: (914) 273-2774 Fax: (914) 273-2776 e-mail JR.CROCCO@
OPTONLINE.NET


Name of Attorney (if any): NA
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 4/5/21

Signature of Property Owner:  Date: 4/5/21

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address. 154-170 BEDFORD ROAD

Location (in relation to nearest intersecting street):

500 feet (~~north, south, east or west~~) of MACDONALD AVE

Abutting Street(s): NA

Tax Map Designation (NEW): Section 108, 03 Block 1 Lot 42

Tax Map Designation (OLD): Section 2 Block 13 Lot 2027

Zoning District: RMF-SS Total Land Area 1.26 AC.

Land Area in North Castle Only (if different) 1.26

Fire District(s) _____ School District(s) _____

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No _____ Yes (adjacent) Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No _____ Yes

If yes, please identify the tax map designation of that property:

4 MACDONALD DRIVE

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: RESIDENTIAL MULTI-FAMILY SINGLE STRUC.

Gross Floor Area: Existing 0 S.F. Proposed 36,456 S.F. LOT -1 = 18,228 SF

Proposed Floor Area Breakdown: LOT -2 = 18,228 SF

Retail 0 S.F.; Office 0 S.F.;

Industrial 0 S.F.; Institutional 0 S.F.;

Other Nonresidential 0 S.F.; Residential 0 S.F.;

Number of Dwelling Units: 20

Number of Parking Spaces: Existing 0 Required 51 Proposed 57

Number of Loading Spaces: Existing NA Required NA Proposed _____

Earthwork Balance: Cut _____ C.Y. Fill _____ C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

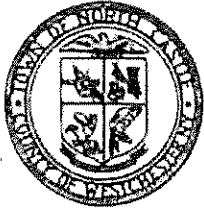
The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- _____ Name of the application or other identifying title.
- _____ Name and address of the Property Owner and the Applicant, (if different).
- _____ Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- _____ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- _____ Existing zoning, fire, school, special district and municipal boundaries.
- _____ Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- _____ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- _____ Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- _____ Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- _____ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- _____ A signature block for Planning Board endorsement of approval.



Town of North Castle Planning Department

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_____ On this date, all items necessary for a technical review of the proposed preliminary subdivision plat have been submitted and constitute a COMPLETE APPLICATION.



FARERI COMPANIES

4/7/2021

4 MacDonald Ave. Suite 1
Armonk, NY 10504
TEL (914) 273-4500
FAX (914) 273-4526

Christopher Carthy
Chairman

CC:

Steven Sauro – Member
Michael Pollock – Member
James Jensen – Member
Lawrence Ruisi – Member

Adam R. Kaufman, AICP
Director of Planning

Dear Christopher:

Please accept our application for site plan and subdivision approval for *Armonk Close* located at *154 Bedford Road, Armonk, NY 10504*. Enclosed is a check for \$7,187.50 for required fees, and a second check for \$1,720.00 for the application fees.

The property is 1.26 acres, located on Bedford Road, known as the Old Lumberyard. The property is presently zoned RMFSS (Residential Multi-Family Single Structure). The property is 275 ft. of frontage by 200 ft. in depth. We are seeking subdivision into two lots, each approximately .63 acres. Each lot will have 10 residential units, total of 20 units with a FAR of .67. The existing approval presently is approved for 36 units with a FAR of .9.

The AFFH requirement has been reduced from 20% to 10%. The new plan of 20 units contains 18 market rate units and 2 AFFH units. The plan will provide 57 parking spaces (52 required). Of the spaces, 32 will be garage spaces and an additional 25 outdoor parking spaces. The plan submitted is in conformity to the present zoning codes; but, may require a height variance, which was previously granted on a previous approval.

Included in this application you will find a preliminary subdivision map prepared by *Ward Carpenter Engineers, Inc.*; a concept site plan prepared by *Nathaniel J. Holt, PE*; and architectural plans prepared by *Joseph R. Crocco Architects*.

The Commissioner of Planning for Westchester County, and the Westchester County Executive has approved an Amended & Restated Declaration of Restrictive Covenants. The Town Board will hopefully be approving the Amended & Restated Declaration of Restrictive Covenants on Wednesday, April 14, 2021. If the Town Board should not act favorably, we would ask that the fees be returned and this application be withdrawn. We are seeking your cooperation for site plan and subdivision approval as soon as possible, as we have a required completion date.

We have been working with the Town Consultants and Planning Director for the last several months, and have presented a conceptual plan to your board on February 2nd, 2021. We hope that we can be on the planning board agenda for April 26th, 2021, and we hope at that time you would consider scheduling a public hearing.

Sincerely and thank you

Michael E. Fareri

154 BEDFORD ROAD LLC
4 MACDONALD AVE
ARMONK, NY 10504

HUDSON VALLEY BANK, N.A.
664 MAIN STREET
MT. KISCO, N.Y. 10549

1229

50-930/219-07

4/7/2021

PAY TO THE ORDER OF Town of North Castle

\$ **7,187.50

Seven Thousand One Hundred Eighty-Seven and 50/100*****

DOLLARS

Town of North Castle
15 Bedford Road
Armonk, New York 10504

MEMO

[Handwritten Signature]
AUTHORIZED SIGNATURE

⑈001229⑈ ⑆021909300⑆ 0704509⑈301⑈

Details on Back
Security Features Included

154 BEDFORD ROAD LLC

1229

Town of North Castle

4/7/2021

7,187.50

CASH - HVB - CHEC

7,187.50

154 BEDFORD ROAD LLC

1229

Town of North Castle

4/7/2021

7,187.50

CASH - HVB - CHEC

7,187.50

154 BEDFORD ROAD LLC
4 MACDONALD AVE
ARMONK, NY 10504

HUDSON VALLEY BANK, N.A.
664 MAIN STREET
MT. KISCO, N.Y. 10549

1230

50-930/219
07

4/7/2021

PAY TO THE ORDER OF Town of North Castle

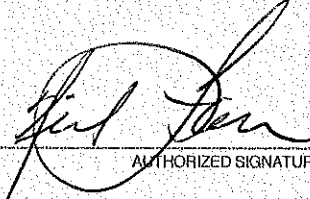
\$ **1,720.00

One Thousand Seven Hundred Twenty and 00/100*****

DOLLARS

Town of North Castle
15 Bedford Road
Armonk, New York 10504

MEMO



AUTHORIZED SIGNATURE

⑈001230⑈ ⑆021909300⑆ 0704509⑈301⑈

Details on Back
Security Features Included

154 BEDFORD ROAD LLC

1230

Town of North Castle

4/7/2021

Application fee

1,720.00

CASH - HVB - CHEC

1,720.00

154 BEDFORD ROAD LLC

1230

Town of North Castle

4/7/2021

Application fee

1,720.00

CASH - HVB - CHEC

1,720.00



April 12
April 26
C. Kaufman

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northeastlenv.com

PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>	
Concept Study	\$500.00	\$ 500 ⁰⁰ Paid
Site Plan Waiver for Change of Use	\$500.00	- 0 -
Site Development Plan for:		
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit	\$ 3000 ⁰⁰ 20(100) \$ 2000 ⁰⁰
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space	- 0 -
1 or 2 Family Projects	\$2,000.00	- 0 -
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space	- 0 -
Subdivision:		
Lot Line Change resulting in no new lots	\$1,500.00	- 0 -
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)	- 0 -
Preparation or Review of Environmental Impact Statement	\$15,000.00	- 0 -

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

4/5/21
Date:

PAGE 2 5500⁰⁰
PAGE 1 1720⁰⁰
TOTAL 142 7220⁰⁰
PAID 500
BALANCE \$ 6720



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

1/4/21 Due \$6720⁰⁰

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>	
Site Development Plan	\$200.00	200 ⁰⁰
Each proposed Parking Space	\$10	57 570 ⁰⁰
Special Use Permit (each)	\$200 (each)	- 0 -
Preliminary Subdivision Plat	\$300 1 st Lot	300 ⁰⁰
	\$200 (each additional lot)	200 ⁰⁰
Final Subdivision Plat	\$250 1 st Lot	250 ⁰⁰
	\$100 (each additional lot)	100 ⁰⁰
Tree Removal Permit	\$75	- 0 -
Wetlands Permit	\$50 (each)	- 0 -
Short Environmental Assessment Form	\$50	- 0 -
Long Environmental Assessment Form	\$100	100 ⁰⁰
Recreation Fee	\$10,000 Each Additional Lot	Paid
Discussion Fee	\$200.00	
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of - 0 - \$200.00 shall be submitted for each informal appearance before the board.		

Any amendment to previously approved applications requires new application forms and Fees

Total Price \$ 1720⁰⁰



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northeastleny.com

Application for Site Development Plan Approval

Application Name

ARMONK CLOSE



Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

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COMPANIES.COM

Name of Applicant (if different): MICHAEL FARERI
Address of Applicant: SAME
Telephone: SAME Fax: SAME e-mail _____
Interest of Applicant, if other than Property Owner:
AGENT

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
NATHANIEL J. HOLT PE
Address: 592 RT 22. SUITE 4C PAULING 12564
DAN@HOLT
Telephone: (914) 760-1800 Fax: (772) 204-9553 e-mail ENGINEERING.NET

Name of Other Professional: JOSEPH R. CROCCO ARCH. RA
Address: 4 MACDONALD AVE, ARMONK, NY
Telephone: (914) 273-2774 Fax: (914) 273-2776 e-mail JR.CROCCO@
OPTONLINE.NET


Name of Attorney (if any): NA
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 4/5/21

Signature of Property Owner:  Date: 4/5/21

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address. 154-170 BEDFORD ROAD

Location (in relation to nearest intersecting street):

500 feet ~~(north, south, east or west)~~ of MACDONALD AVE

Abutting Street(s): NA

Tax Map Designation (NEW): Section 108, 03 Block 1 Lot 42

Tax Map Designation (OLD): Section 2 Block 13 Lot 2027

Zoning District: RMF-SS Total Land Area 1.26 AC.

Land Area in North Castle Only (if different) 1.26

Fire District(s) _____ School District(s) _____

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No _____ Yes (adjacent) Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No _____ Yes

If yes, please identify the tax map designation of that property:

4 MACDONALD DRIVE

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: RESIDENTIAL MULTI-FAMILY SINGLE STRUC.

Gross Floor Area: Existing 0 S.F. Proposed 36,456 S.F. LOT -1 = 18,228 SF

Proposed Floor Area Breakdown: LOT -2 = 18,228 SF

Retail 0 S.F.; Office 0 S.F.;

Industrial 0 S.F.; Institutional 0 S.F.;

Other Nonresidential 0 S.F.; Residential 0 S.F.;

Number of Dwelling Units: 20

Number of Parking Spaces: Existing 0 Required 51 Proposed 57

Number of Loading Spaces: Existing NA Required NA Proposed _____

Earthwork Balance: Cut _____ C.Y. Fill _____ C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

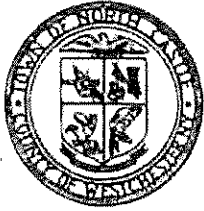
The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- _____ Name of the application or other identifying title.
- _____ Name and address of the Property Owner and the Applicant, (if different).
- _____ Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- _____ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- _____ Existing zoning, fire, school, special district and municipal boundaries.
- _____ Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- _____ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- _____ Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- _____ Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- _____ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- _____ A signature block for Planning Board endorsement of approval.



Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

PRELIMINARY SUBDIVISION COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all preliminary subdivision plans. Failure to provide all of the information requested will result in a determination that the preliminary subdivision application is incomplete. The review of the subdivision plat for completeness will be based on the requirements of the Town of North Castle Town Code.

Project Name on Plan:

ARMONK CLOSE

Initial Submittal Revised Preliminary

Street Location:

154-170 BEDFORD ROAD

Zoning District: RMF-SS Property Acreage: 1.26 Tax Map Parcel ID: 108,03-1-42

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

1. Proposed subdivision name or identifying title
2. Name and address of the property owner and subdivider (if other than owner)
3. The name and address of the surveyor and/or engineer preparing the plan
4. Scale
5. The approximate true North point
6. Date
7. Signature and seal of a licensed professional engineer or licensed land surveyor

PRELIMINARY SUBDIVISION COMPLETENESS REVIEW FORM

Page 2

- 8. Approximate location and dimensions of all property lines
- 9. Total acreage of the proposed subdivision
- 10. Location of any zoning, special district or municipal boundary lines affecting the subdivision
- 11. Names of owners of record or properties adjoining and directly across the street from the proposed subdivision
- 12. Location of all existing structures and pertinent features, including railroads, water bodies, watercourses, wetlands, substantial rock outcroppings, wooded areas and stone walls, that may influence the design of the subdivision
- 13. Accurate topography at a vertical contour interval of not more than two feet
- 14. The location and status of existing streets, easements and rights-of-way (if any), proposals for the layout of new streets, including widths and approximate curve radii, and any proposed easements, rights-of-way and/or reservations
- 15. The names of existing streets
- 16. The proposed arrangement of lots, including identifying section, lot and block numbers and approximate area and dimensions of each
- 17. The location, size and nature of any area proposed to be reserved for park purposes
- 18. A site location sketch, at a scale of one inch equals 800 feet, showing the general situation of the applicant's property with respect to surrounding properties and streets
- 19. Where the preliminary plat includes only a portion of an applicant's contiguous holding, the applicant shall also indicate, on a sketch at a scale of not less than one inch equals 200 feet, the probable future street system, lot arrangement and location of park and other reservations for the remaining portion of the tract. Such sketch shall be for the purpose of guiding the Planning Board in reviewing the proposed preliminary plat and shall include topographic data with a vertical contour interval of not more than 10 feet, plus any other information determined necessary by the Planning Board
- 20. A block for the preliminary approval signature of the Planning Board Chairman, for purposes of accurate records of approval
- 21. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 22. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.

PRELIMINARY SUBDIVISION COMPLETENESS REVIEW FORM

Page 3

23. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com>

_____ On this date, all items necessary for a technical review of the proposed preliminary subdivision plat have been submitted and constitute a COMPLETE APPLICATION.

Short Environmental Assessment Form

Part I - Project Information

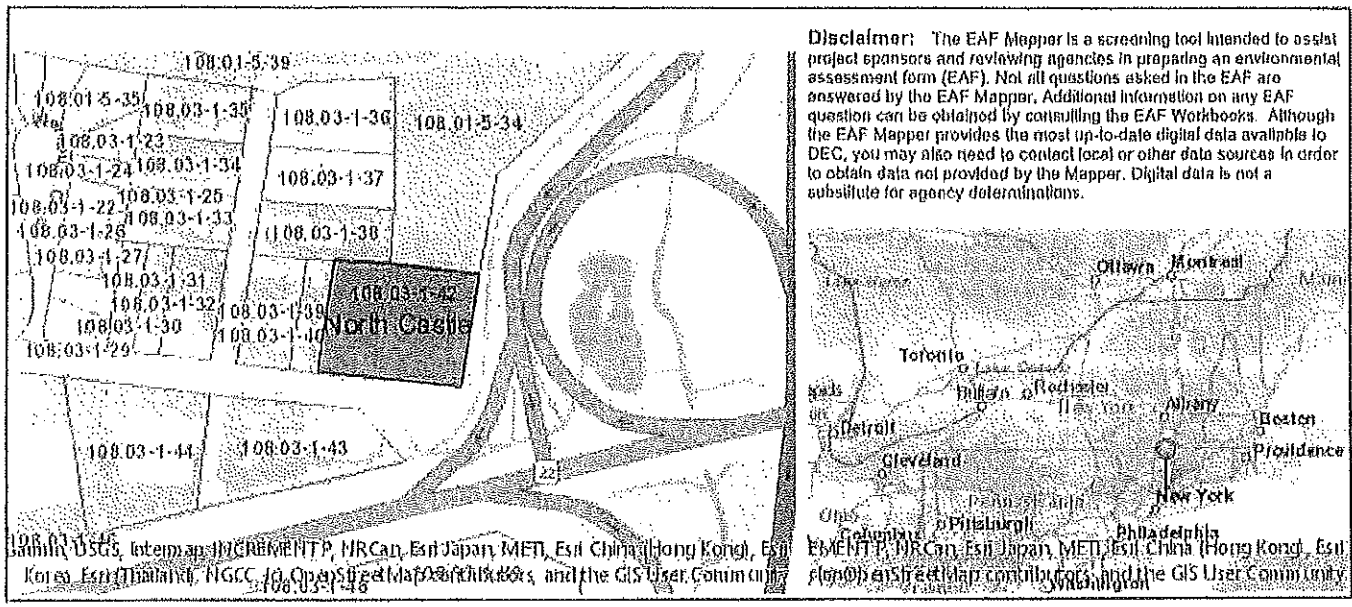
Instructions for Completing

Part I - Project Information. The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part I - Project and Sponsor Information			
Multi-Family Residence			
Name of Action or Project: Armonk Close			
Project Location (describe, and attach a location map): 154 Bedford Road, Armonk, NY			
Brief Description of Proposed Action: Construction of Two Multi-Family Structures with a Total of 22 Single Family Units			
Name of Applicant or Sponsor: Michael Farot		Telephone: 914-273-4500	
		E-Mail: michael@lararicompanies.com	
Address: 4 MacDonald Avenue			
City/PO: Armonk		State: NY	Zip Code: 10504
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ 1.26 acres	
b. Total acreage to be physically disturbed?		_____ 1.26 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 1.26 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (Specify):			
<input type="checkbox"/> Parkland			

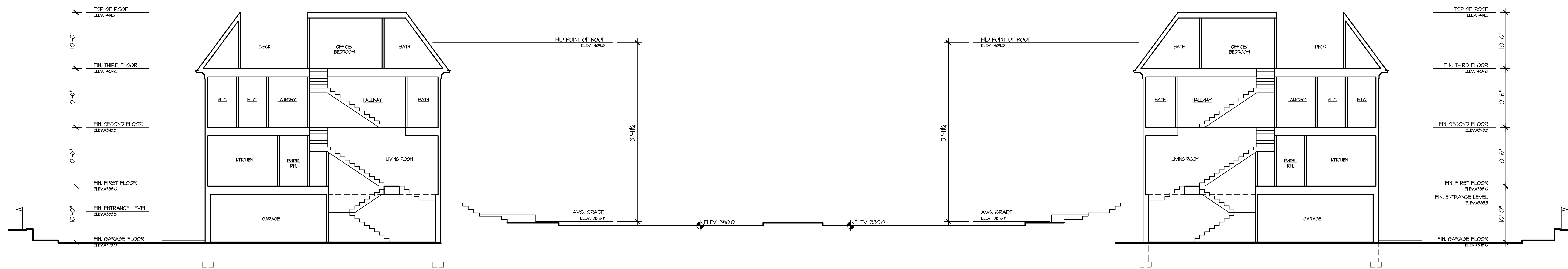
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bog Turtle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



1 SECTION THROUGH DUPLEX UNIT
SCALE: 1/8" = 1'-0"



2 SECTION THROUGH TOWNHOUSE
SCALE: 1/8" = 1'-0"

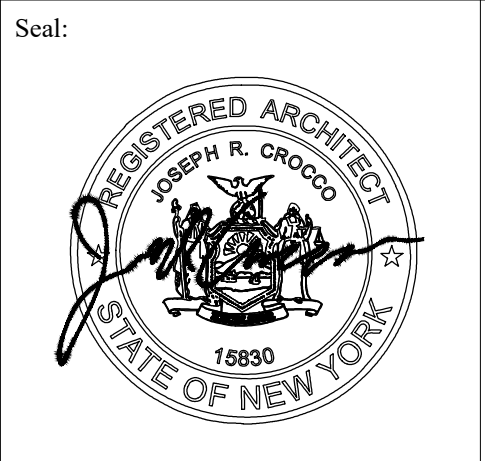
ALL DRAWINGS & WRITTEN MATL. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT. THEREFORE, ALL DIMS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DIMS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION 1209(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

REVISION	DATE
1. CLIENT REVIEW	04.02.21
2. PB SUBMISSION	04.09.21



Joseph R. Crocco
architects
new york connecticut new jersey massachusetts
4 mcgdonald avenue, suite 5
armonk, new york 10604
(914) 273-2774 fax (914) 273-2776

NEW RESIDENTIAL STRUCTURE FOR
154 BEDFORD ROAD
ARMONK, NEW YORK
TOWN OF NORTHCASTLE BUILDING DEPT.

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____ DATE _____
CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION.

JOSEPH CERIELE, P.E.
KELLARD SESSIONS CONSULTING P.C.
CONSULTING TOWN ENGINEERS

Dwg. Name: **SECTIONS**

Project No: 21003
Sheet Number: **A3.1**

Date: JAN. 19, 2021