



STAFF REPORT - TOWN OF NORTH CASTLE PLANNING DEPARTMENT

February 25, 2021

APPLICATION NUMBER - NAME
#2021-010 – 16 Quaker Meeting House Rd
Amended Subdivision Clearing and Grading Limit Line

SBL
101.03-4-44

MEETING DATE
March 8, 2021

PROPERTY ADDRESS/LOCATION
16 Quaker Meeting House Road

BRIEF SUMMARY OF REQUEST

The Applicant is seeking approval to amend the previously approved Clearing and Grading Limit Line depicted on the Leisure Farm subdivision plat to construct a new in-ground pool and appurtenances.

The plat contains a note stating that “All of the clearing and grading lines as shown on this plat shall not be altered without Planning Board Approval.” Therefore, the Applicant is required to seek amended plat approval from the Planning Board.



PENDING ACTION: Plan Review Town Board Referral Preliminary Discussion

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
R-1A Zoning District	Single Family Residential	Residential	Amended C&GLL	1.67 acres

PROPERTY HISTORY

1999 – Building Permit for house issued by Building Department

COMPATIBILITY with the COMPREHENSIVE PLAN

- Continue to take neighborhood context into account in approving new single-family homes.
- Continue to protect natural resources and environmentally sensitive areas such as rivers, streams, lakes, ponds, wetlands, flood plains, aquifers, wildlife habitats, steep slopes and forested areas, significant trees, and woodlands, among others, from unnecessary and avoidable impacts.
- Continue strong protection of tree cover through the tree removal permitting process.
- Preserve the current overall development pattern of North Castle and its neighborhoods. Be sure new development responds to environmental constraints, particularly for preservation of the New York City watershed.
- Maintain the quality-of-life created by physical and natural attributes, by structuring development that promotes sound conservation measures.
- The Town should encourage residential development that is compatible in scale, density, and character with its neighborhood and natural environment.

STAFF RECOMMENDATIONS & PLANNING BOARD POLICY DECISIONS

1. The Planning Board will need to determine whether the Clearing and Grading Limit Line of the Leisure Farm subdivision should be amended as proposed by the Applicant.

<p><u>Procedural Comments</u></p> <ol style="list-style-type: none"> 1. The Proposed Action would be classified as a Type II Action pursuant to the State Environmental Quality Review Act (SEQRA). 2. A neighbor notification meeting regarding the proposed amendment will need to be scheduled. 	<p><u>Staff Notes</u></p> <p>Construction, expansion or placement of minor accessory/appurtenant residential structures, including garages, carports, patios, decks, swimming pools, tennis courts, satellite dishes, fences, barns, storage sheds or other buildings not changing land use or density.</p>
<p><u>General Comments</u></p> <ol style="list-style-type: none"> 1. The Applicant is requesting revisions to the previously established Clearing and Grading Limit Line (C&GLL) depicted on the Leisure Farm subdivision plat map at in the northern portion of the lot. A note on the Leisure Farms subdivision plat map states that "All of the clearing and grading lines as shown on this plat shall not be altered without Planning Board Approval." <p>In addition, the plat contains a note that states:</p> <p style="padding-left: 40px;">Grading and Clearing Limits lines define an area beyond which no clearing of trees, grading or other alternations of contours or soil, filing or dumping or construction is permitted without Planning Board approval. This shall not include normal property maintenance and/or removal of trees for protection of persons or property</p> <ol style="list-style-type: none"> 2. The Applicant is proposing the removal of two trees. The site plan depicts the addition of seven 8'-10' arborvitae along the northern property line as screening/mitigation. 3. The Applicant should submit gross land coverage backup information for review. 4. The Zoning Conformance Chart does not appear to take into consideration the proposed pool. The chart should depict minimum setbacks for all structures on the site, including the proposed pool complex. 	<p>The Planning Board will need to determine whether the Clearing and Grading Limit Line of the Leisure Farm subdivision should be amended as proposed by the Applicant.</p>

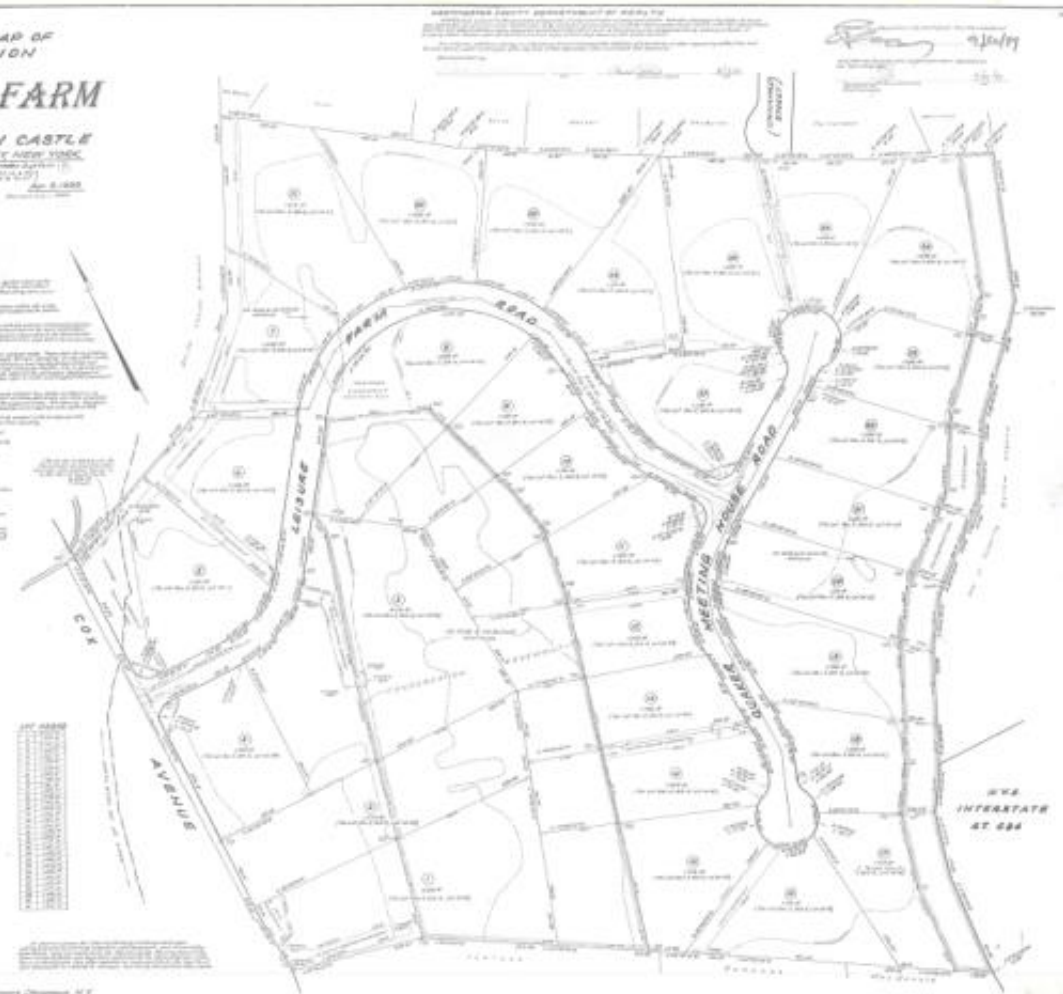
AMENDED MAP OF
SUBDIVISION
OF
LEISURE FARM

IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

APPROVED BY THE BOARD OF SUPERVISORS
ON APRIL 15, 1953
APR 8 1953

THIS MAP WAS PREPARED BY THE TOWN ENGINEER AND SUPERVISOR OF THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, AND IS SUBJECT TO THE APPROVAL OF THE BOARD OF SUPERVISORS OF SAID TOWN. THE TOWN ENGINEER AND SUPERVISOR HAS CONDUCTED A SURVEY OF THE PROPERTY SHOWN ON THIS MAP AND HAS FOUND THAT THE SAME IS ACCURATELY REPRESENTED THEREON. THE TOWN ENGINEER AND SUPERVISOR HAS ALSO CONDUCTED A SURVEY OF THE ADJACENT PROPERTIES AND HAS FOUND THAT THE SAME ARE ACCURATELY REPRESENTED THEREON. THE TOWN ENGINEER AND SUPERVISOR HAS ALSO CONDUCTED A SURVEY OF THE ADJACENT PROPERTIES AND HAS FOUND THAT THE SAME ARE ACCURATELY REPRESENTED THEREON.

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Grading and Clearing Limit lines define an area beyond which no clearing of trees, grading or other alterations of contours or soil, filling or dumping or construction is permitted without Planning Board approval. This shall not include normal property maintenance and/or removal of trees for protection of persons or property.

All of the clearing and grading lines as shown on this plat shall not be altered without Planning Board Approval.