



CROZIER GEDNEY ARCHITECTS, PC

41 Elm Place ~ Rye, New York 10580

914.967.6060

WWW.CROZIERGEDNEY.COM

April 12, 2021

Mr. Adam Kaufman, AICP
Director of Planning
Town of North Castle
17 Bedford Road
Armonk, NY 10504

**Re: Rozov Property Application #2021-011
1503 Old Orchard Road
R-1A Zone, 7.92 Acres
Section 123.05, Block 1, Lot 64**

Dear Mr. Kaufman,

Our office has been retained to assist Yadin and Ursula Rozov with the redevelopment of the above property, which they recently purchased.

The following plans and information have been prepared for your review, including:

- Application for Special Use Permit Approval
- Application for Wetland Permit Approval
- Property List of Abutting Properties
- Cover Letter Dated April 9, 2021 regarding proposed Wetland Mitigation
- Letter with FAR Calculations and Block Diagrams
- Engineering Plans, prepared by Nathaniel J. Holt, PE, dated April 12, 2021, including:
 - Sheet 1 of 5: Existing Conditions
 - Sheet 2 of 5: Overall Site Plan
 - Sheet 3 of 5: Improvement and Erosion Control Plan
 - Sheet 4 of 5: Standard Details
 - Sheet 5 of 5: Rain Garden Details and Notes

Continued...

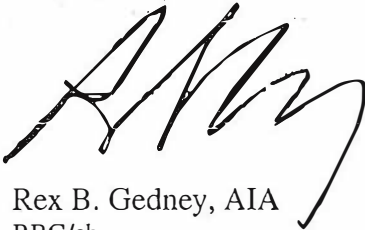
- Site Plans, prepared by J.D. Barrett & Associates, LLC, dated April 8, 2021, including:
 - Sheet 1 of 1: Mitigation Planting Plan

- Architectural Plans, prepared by Crozier Gedney Architects, P.C., dated April 9, 2021 including:
 - Sheet 1 of 6: Site Plan
 - Sheet 2 of 6: Cabin F.A.R. Diagrams
 - Sheet 3 of 6: Main House First Floor F.A.R. Diagram
 - Sheet 4 of 6: Main House Second Floor F.A.R. Diagram
 - Sheet 5 of 6: Main House Attic F.A.R. Diagram
 - Sheet 6 of 6: Carriage House F.A.R. Diagrams

The participants for the Planning Board meeting shall be as follows:

Yadin Rozov	Yadin.rozov@gmail.com
Ursula Rozov	urozov@gmail.com
Rex Gedney	rex@croziergedney.com
Jeri Barrett	jeri@jdbarrett.com
Dan Holt	dan@holtengineering.net
Chris Amundson	chris@stoneoakgrouppltd.com

Respectfully submitted,



Rex B. Gedney, AIA
RBG/ch

cc: Yadin & Ursula Rozov
Chris Amundson
Dan Holt, P.E.
Jeri Barrett, R.L.A.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northeastleny.com

Application for Special Use Permit Approval

Application Name

YADIN ROZOV LAKESIDE CABIN



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
✦ Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

Date:

4/12/2021

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: YADIN & URSULA ROZOV

Mailing Address: 1 ANCHOR DRIVE, RYE 10580

Telephone: REX GEDNEY Fax: _____ e-mail YADIN.ROZOV@GMAIL
URSULA.ROZOV@GMAIL

Name of Applicant (if different): YADIN ROZOV

Address of Applicant: 1 ANCHOR DRIVE, RYE 10580

Telephone: _____ Fax: _____ e-mail YADIN.ROZOV@GMAIL
URSULA.ROZOV@GMAIL

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
NATHANIEL J. HOLT, PE

Address: 592 ROUTE 22, SUITE GC PAWLING 12564

Telephone: 914 760 1800 Fax: 772 204 9553 e-mail DAN@HOLT
ENGINEERING.NET

Name of Other Professional: REX GEDNEY RA

Address: 41 ELM PLACE RYE 10580

Telephone: 914 967 6060 Fax: _____ e-mail REX@CROZIER
GEDNEY.COM

Name of Attorney (if any): NONE

Address: _____


Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 4/12/2021
Signature of Property Owner:  Agent Date: 4/12/2021

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 1503 OLD ORCHARD ST.

Location (in relation to nearest intersecting street):

500 feet (~~north~~, ^{SOUTH} ~~south~~, ~~east~~ or ~~west~~) of JOHNSON PLACE

Abutting Street(s): NA

Tax Map Designation (NEW): Section 123.05 Block 1 Lot 64

Tax Map Designation (OLD): Section 3 Block 07 Lot 27.A

Zoning District: R-1A Total Land Area 7.92 AC

Land Area in North Castle Only (if different) 7.92 AC

Fire District(s) N. WHITE PLAINS School District(s) VALHALLA

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: RESIDENTIAL

Gross Floor Area: Existing 17,555 S.F. Proposed 19,341 S.F.*

Proposed Floor Area Breakdown:

Retail NA S.F.; Office NA S.F.;

Industrial NA S.F.; Institutional NA S.F.;

Other Nonresidential NA S.F.; Residential _____ S.F.;

Number of Dwelling Units: 1

Number of Parking Spaces: Existing NA Required NA Proposed NA

Number of Loading Spaces: Existing NA Required NA Proposed NA

Earthwork Balance: Cut 0 C.Y. Fill 0 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No _____ Yes

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

* A VARIANCE WAS OBTAINED FROM THE ZBA FOR THE GROSS FLOOR AREA ON APRIL 6, 2017

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- Location of existing parking and truck loading areas, with access and egress drives thereto.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- Location, size and design of existing signs.
- Location, type, direction, power and time of use of existing outdoor lighting.
- Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- NA* Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- NA* Proposed sight distance at all points of vehicular access.
- NA* Proposed number of employees for which buildings are designed
- NA* Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- NA* Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- NA Location, size and design of all proposed signs.
- NA Location, type, direction, power and time of use of proposed outdoor lighting.
- NA Location and design of proposed outdoor garbage enclosure.
- NA Location of proposed outdoor storage, if any.
- Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- NA Type of power to be used for any manufacturing
- NA Type of wastes or by-products to be produced and disposal method
- NA In multi-family districts, floor plans, elevations and cross sections
- NA The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- Proposed soil erosion and sedimentation control measures.
- For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

WETLANDS AND DRAINAGE APPLICATION TOWN OF NORTH CASTLE BUILDING DEPARTMENT

DATE: ___/___/___ \$50 (min.) for Residential Apps. FEE: \$_____
\$250 (min.) for Commercial Apps.

1. NAME & ADDRESS OF APPLICANT: OWNER (IF DIFFERENT):
YADIN ROSON _____
1 ANCHOR DRIVE _____
RYE, NY 10580 _____
do TELEPHONE: (914) 967-6060 TELEPHONE: (____)____-_____

2. STREET ADDRESS OF PROPERTY: 1503 OLD ORCHARD ST
SECTION: 123.05 BLOCK: 1 LOT: 64

3. DESCRIPTION OF PROPOSED WORK & MATERIALS: PLANS & SPECIFICATIONS ANNEXED HERETO. STATE NAME AND OCCUPATION OF PREPARER:
RECONSTRUCTION OF A LOG CABIN WHICH WAS
PREVIOUSLY PERMITTED AND PARTIALLY CONSTRUCTED
BUT IS IN DETERIORATED CONDITION WHEN WORK STOPPED

4. IMPACT STATEMENT (IF REQUIRED) PREPARED BY: NA

DATED: 4/12/2021 APPLICANT'S SIGNATURE: 

NOTE: WETLANDS APPLICATIONS WILL BE REVIEWED BY THE TOWN BOARD, THE PLANNING BOARD, THE CONSERVATION BOARD, OR THE TOWN ENGINEER AT THE DISCRETION OF THE TOWN ENGINEER.

Do you have any intention of tearing down a house to build a new house within the next SIX (6) months? Yes No

Do you have any intention to expand a house over 1500 square feet within the next SIX (6) months? Yes No

If the Planning Board has granted you approval previously, on what dates were you approved? (List Below)
JUNE 19, 2017

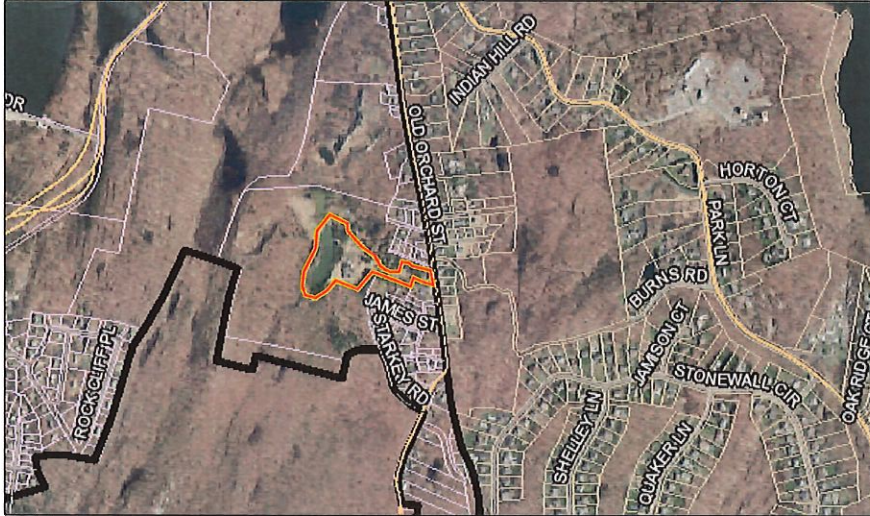
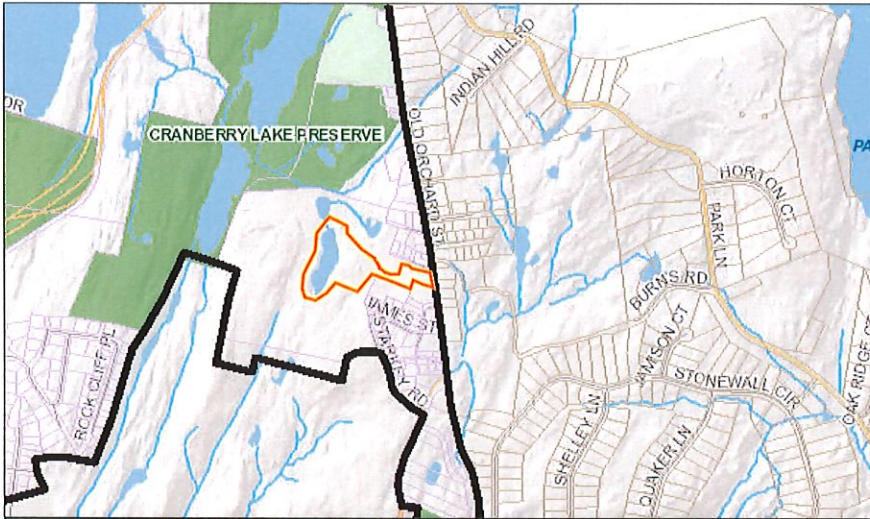
Tax Parcel Maps

ABUTTERS

Address: 1503 OLD ORCHARD ST

Print Key: 123.05-1-64

SBL: 12300500010640000000



Disclaimer:
This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

FROM 2019
FINAL ASSESSMENT
ROLL

Current Occupant
1503 OLD ORCHARD ST
WEST HARRISON, NY 10604

ROZOV

Current Occupant
3 WILLIAM ST
WEST HARRISON, NY 10604

LAURA O'DONNELL
123,05-1-15

Current Occupant
1 MEMORIAL LN
WHITE PLAINS, NY 10603

CITY OF NY
123,05-1-14

Current Occupant
1497 OLD ORCHARD ST
WEST HARRISON, NY 10604

GRALE SORRENTINO
123,05-1-16

April 9, 2021

Mr. Christopher Carthy, Chairman
Town of North Castle Planning Board (PB)
17 Bedford Road
Armonk, NY 10504

**Re: Rozov Property
Proposed Lakeside Cabin Construction/Proposed Wetland Mitigation
1503 Old Orchard Road
R-1A Zone, 7.92 Acres
Section 123.05, Block 1, Lot 64**

Dear Chairman Carthy & Members of the PB:

Our office has been retained to assist Yadin and Ursula Rozov with the redevelopment of the above property, which they recently purchased. The PB may recall that this property is the former Levi Strauss estate that has fallen into a state of disrepair. The owners' goal is to restore the property to its former glory to provide a residence for the Rozov family.

At this time, our office has been asked to assist the project team with the permitting of the lakeside cabin that is proposed to be reconstructed on the property. The office of Holt Engineering has assembled the current permit documents now provided for the PB's consideration. These permit documents, prepared by Holt Engineering, have been prepared to be essentially the same lakeside cabin construction permit documents previously reviewed and approved by the PB for the previous owner. Unfortunately, the previous approval for the cabin construction has expired. Inasmuch, the purpose of the current submission to the PB to reconstruct the cabin is essentially to provide the PB with the same information previously reviewed and approved, but updated with the new owner's name, dates, etc. The information now provided by the office of J.D. Barrett & Associates is intended to supplement the Holt Engineering's permit document and address the proposed wetland mitigation component of this project.

Wetland Mitigation Plan

Previously, for the former owner, the PB reviewed and approved a Wetland Mitigation Plan for the cabin construction project prepared by Yost Design, Landscape Architecture, Pearl River, NY, dated 07/29/16. At this time, our office is proposing essentially the same wetland mitigation as previously proposed by Yost Design and approved by the PB. Wetland mitigation measures proposed, include:

- A wetland mitigation planting adjacent to the cabin occupying approximately 3367 SF.
- A rain garden planting adjacent to the cabin occupying 420 SF.

- Removal of invasive species* on the slope approach south of the cabin occupying an area of 3250 SF.
- Invasive species* removal of plantings on the slope between the main house and lake occupying approximately 4050 SF.

*Targeted invasive species to be removed include: Japanese Barberry, Multi-Flora Rose, Japanese Bittersweet, Wineberry and assorted vines and briar patches.

Wetland Mitigation Implementation

1. At the appropriate time, and once a Building Permit has been issued, this office will field coordinate the invasive plant removal operation with the contractor to identify the targeted species to be removed. All removed plant material shall be placed in a dumpster and carted off site.
2. Once the cabin construction is nearing completion and the finished grading around the cabin has been completed, including re-spreading of topsoil, this office will assist the contractor with the layout installation of the proposed wetland mitigation and rain garden plantings.
3. Once items 1 and 2 above are completed, a Letter of Certification stating that the approved wetland mitigation work has been completed in substantial completion to the approved plans shall be provided to the PB and Wetland Inspector.

Summary

We trust that this information will be helpful to the PB's review and approval of this project. We look forward to discussing the project with the PB at the upcoming April 2021 PB meeting.

Please let us know if there are any questions.

Respectfully submitted,

Jeri Barrett

Jeri D. Barrett, R.L.A.
JDB:lj

cc: Yadin & Ursula Rozov
Rex Gedney, R.A.
Dan Holt, P.E.
Chris Amundson, G.C.



CROZIER GEDNEY ARCHITECTS, PC

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Section 123.05, Block 1, Lot 64**

Dear Mr. Kaufman,

The following are the requested FAR calculations and block diagrams regarding the above referenced property.

See the breakdown of each of the buildings in their existing conditions:

Main House: Total = 12,475 sf

- First Floor – 7,474 sf
- Second Floor – 4,407 sf
- Attic – 594 sf

Carriage House: Total = 3,009 sf

- Garage – 886 sf
- First Floor – 1,247 sf
- Second Floor – 876 sf

Cabin: Total = 1,790 sf

- First Floor – 1,235 sf
- Second Floor – 551 sf

Detached Garage – 750 sf

Stables – 1,100 sf

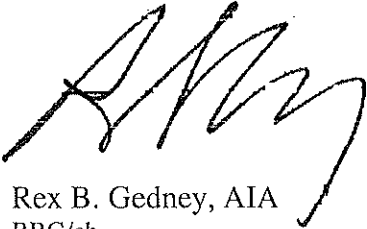
Pump House – 160 sf

Grand Total = 19,284 sf

The numbers varied for the main house due to applying the 7'-6" min. height rule, which reduced portions of the square footage for the second floor and the attic.

Please do not hesitate to contact our office with any questions or concerns.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Gedney', written in a cursive style.

Rex B. Gedney, AIA
RBG/ch

cc: Yadin & Ursula Rozov
Chris Amundson
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- A rain garden planting adjacent to the cabin occupying 420 SF.

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- Invasive species* removal of plantings on the slope between the main house and lake occupying approximately 4050 SF.

*Targeted invasive species to be removed include: Japanese Barberry, Multi-Flora Rose, Japanese Bittersweet, Wineberry and assorted vines and briar patches.

Wetland Mitigation Implementation

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Jeri Barrett

Jeri D. Barrett, R.L.A.

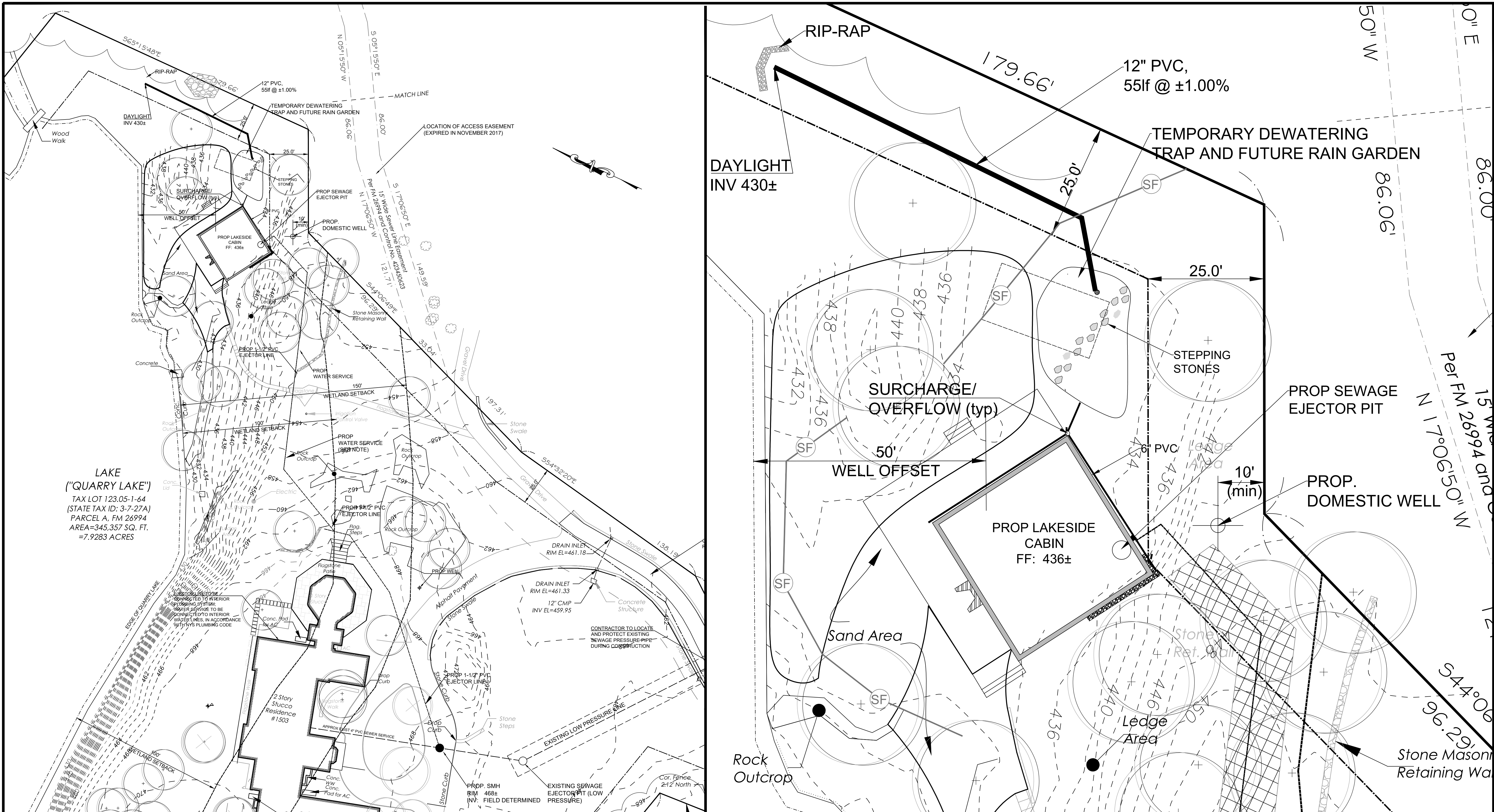
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cc: Yadin & Ursula Rozov

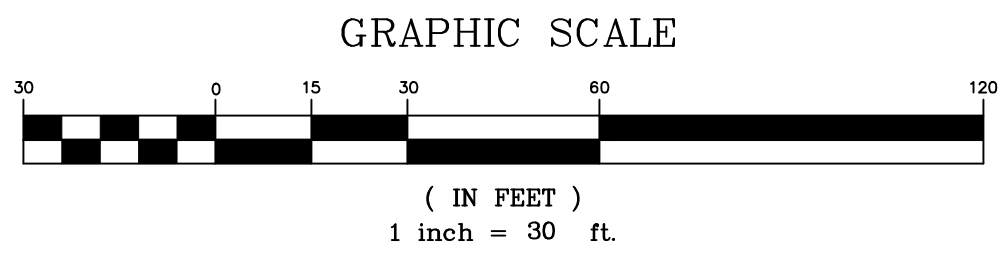
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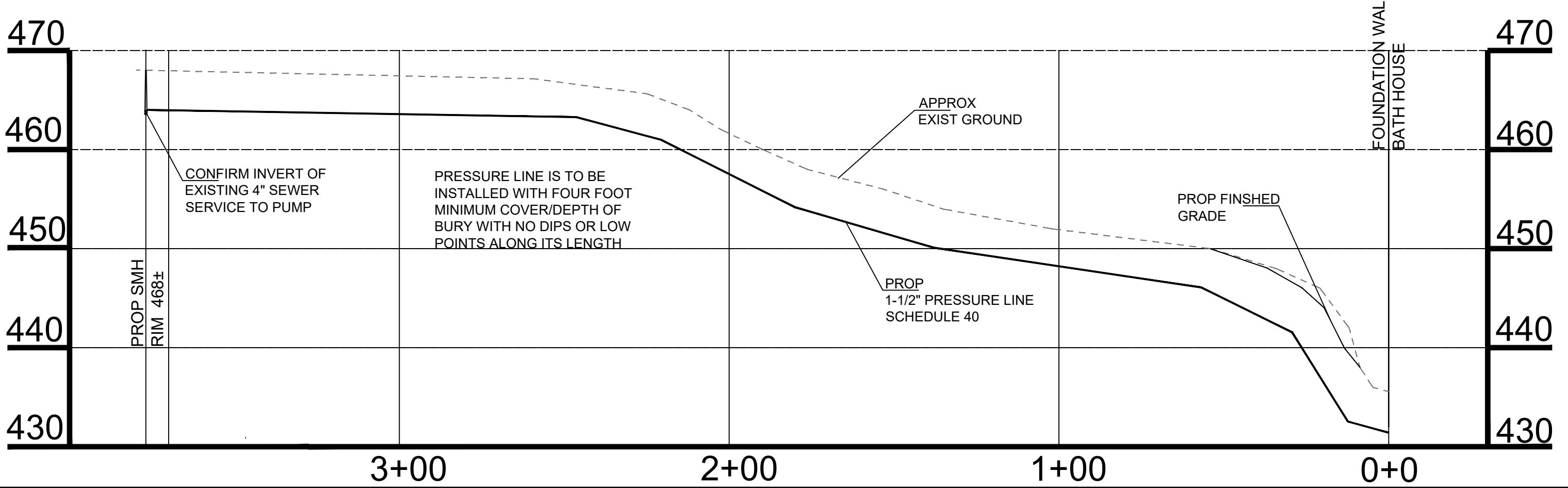
LAKE
("QUARRY LAKE")
TAX LOT 123.05-1-64
(STATE TAX ID: 3-7-27A)
PARCEL A, FM 26994
AREA=345,357 SQ. FT.
=7.9283 ACRES



- LEGEND**
- OHW OVERHEAD UTILITY WIRES
 - IB IRON BAR
 - IBC IRON BAR & CAP
 - DUE DRAINAGE & UTILITY EASEMENT
 - (MH) EX. MANHOLE
 - EX. CATCH BASIN

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EJECTOR PROFILE
SCALES HORZ: 1" = 30'; VERT: 1" = 10'



APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
RESOLUTION DATED: _____
ENGINEERING DRAWING PLANS REVIEWED BY TOWN ENGINEER _____
DATE: _____
JOSEPH CERMELE, PE
KELLARD SESSIONS, CONSULTING CONSULTING TOWN ENGINEERS
DATE: _____
CHRISTOPHER CARTHY, CHAIR
TOWN OF NORTH CASTLE PLANNING BOARD

SHEET 3 of 5

NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS
582 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

IMPROVEMENT & EROSION CONTROL PLAN

PROPOSED LAKESIDE CABIN
for
YADIN AND URSULA ROZOV
1503 OLD ORCHARD STREET, TOWN OF NORTH CASTLE, NY

Original Date: April 12, 2021
Project Number: ROZ-2

- LEGEND**
- 4.39.14 EXISTING "SPOT" GRADE
 - OHW OVERHEAD UTILITY WIRES
 - IB IRON BAR & CAP
 - IBC IRON BAR
 - DUE DRAINAGE & UTILITY EASEMENT
 - (MH) EX. MANHOLE
 - EX. CATCH BASIN
 - DISTURBANCE LIMIT LINE
 - PHASE 1 LIMIT LINE
 - PHASE 2 LIMIT LINE

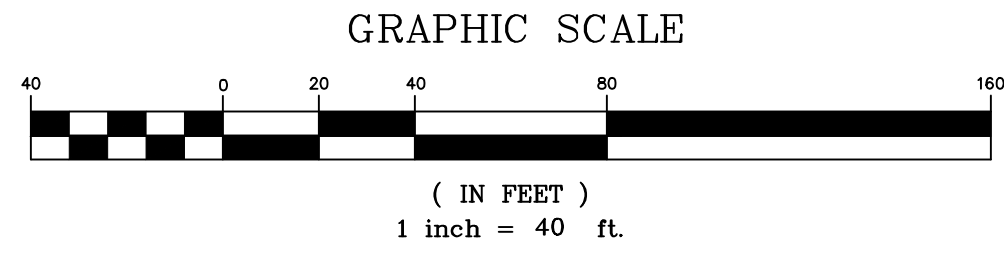
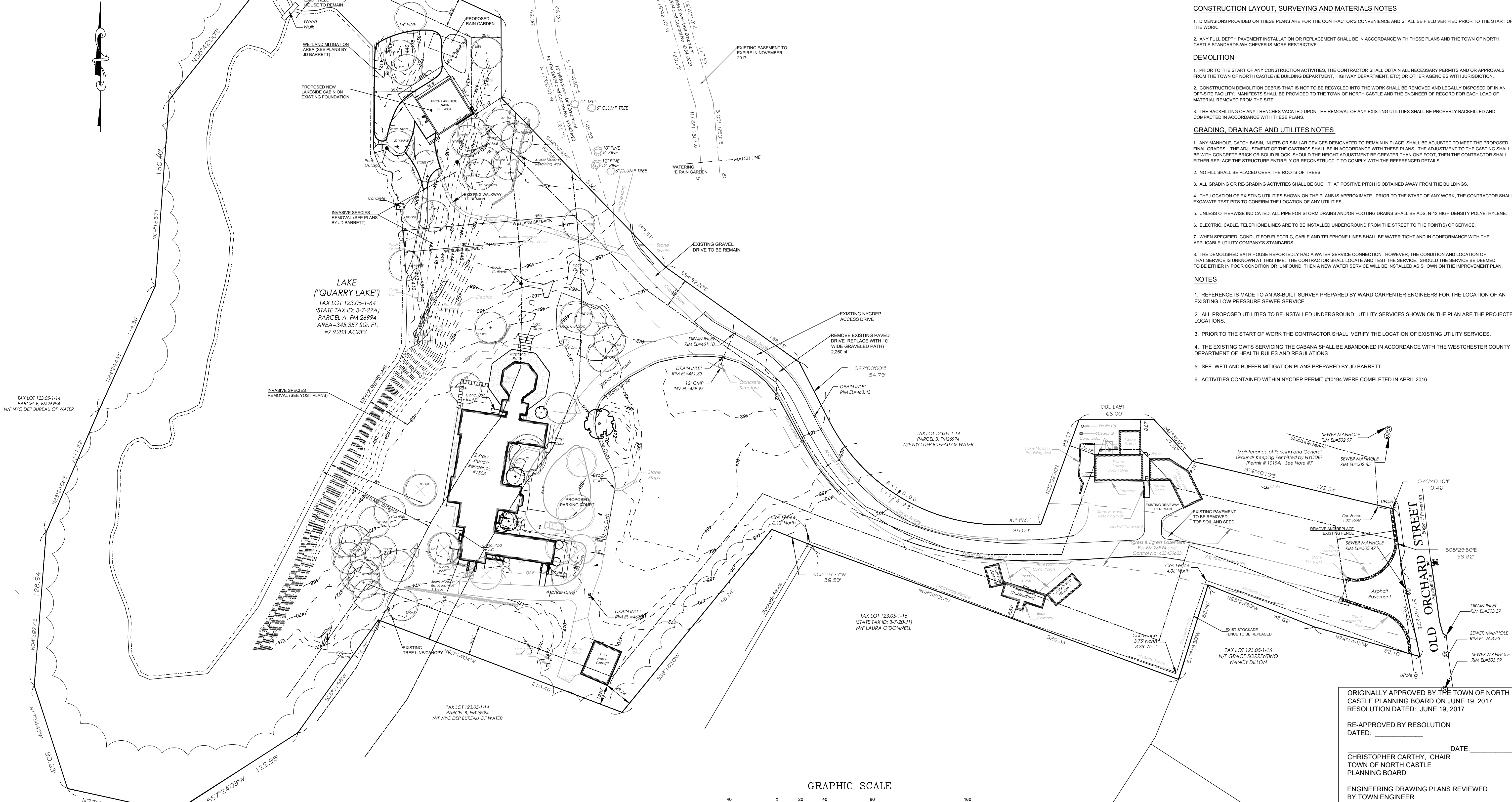
- GENERAL NOTES**
- EXISTING CONDITIONS, TOPOGRAPHIC MAPPING AND PROPERTY LINE INFORMATION FROM A FIELD SURVEY PREPARED BY THOMAS MERRITTS, LS, ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, DATED LAST REVISED DECEMBER 28, 2007"
 - ELEVATIONS ARE IN THE NGVD 1929 VERTICAL DATUM.
 - ALTHOUGH EXISTING UTILITIES AND OTHER FEATURES SHOWN ON THESE PLANS WERE COMPILED FROM A FIELD SURVEY, IT SHOULD NOT BE ASSUMED THAT THEY ARE EXACT LOCATIONS OF ALL UTILITIES WHICH MAY EXIST AT THE TIME OF THE SURVEY. THE POTENTIAL EXISTS FOR OTHER UTILITIES AND PIPES OR SURFACE IMPROVEMENTS PRESENT ON THE PROPERTY WHICH ARE NOT SHOWN ON THESE PLANS. THEREFORE, PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES OR OTHER IMPROVEMENTS, LIKEWISE, ANY DISCREPANCIES BETWEEN THE PLANS AND THE ACTUAL LOCATION OF THE IMPROVEMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
 - NO CONSTRUCTION ACTIVITIES SHALL OCCUR BEYOND THE "LIMIT OF DISTURBANCE LINES" DEPICTED ON THESE PLANS.
 - UNLESS OTHERWISE PROVIDED FOR, THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ANY AND ALL CONTROL POINTS OR BENCH MARKS WHICH MAY BE NEEDED TO COMPLETE THE WORK.
 - THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL TAKE ANY AND ALL PRECAUTIONS TO PROTECT ALL WALKS, TREES, PAVEMENTS CURBING, ETC. OF ANY IMPROVEMENTS DESIGNATED TO REMAIN. SHOULD THE CONTRACTOR DAMAGE ANY EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AND TOTAL REPAIR.
 - ALL SURFACES DISTURBED BY THIS WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION (OR BETTER) TO THE SATISFACTION OF EITHER THE TOWN ENGINEER OR ENGINEER OF RECORD.
 - SAWCUTS TO EXISTING PAVEMENTS SHALL BE MADE WITH A DEMOLITION SAW AND SHALL BE CLEAN STRAIGHT LINES.
 - ANY FILL MATERIAL DELIVERED TO THE SITE SHALL BE CLEAN FILL FREE OF ALL DELETERIOUS MATERIALS. THE CONTRACTOR SHALL PROVIDE THE TOWN OF NORTH CASTLE AND THE ENGINEER OF RECORD CERTIFYING THAT THE MATERIAL IS CLEAN AND FREE TO CONTAMINATION.
 - PRIOR TO THE START OF ANY WORK THE CONTRACTOR SHALL SURVEY/LOCATE THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL STAKES DEMARKETING THE DISTURBANCE LIMIT LINE.

- CONSTRUCTION LAYOUT, SURVEYING AND MATERIALS NOTES**
- DIMENSIONS PROVIDED ON THESE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE AND SHALL BE FIELD VERIFIED PRIOR TO THE START OF THE WORK.
 - ANY FULL DEPTH PAVEMENT INSTALLATION OR REPLACEMENT SHALL BE IN ACCORDANCE WITH THESE PLANS AND THE TOWN OF NORTH CASTLE STANDARDS-WHICHEVER IS MORE RESTRICTIVE.

- DEMOLITION**
- PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND OR APPROVALS FROM THE TOWN OF NORTH CASTLE (IE BUILDING DEPARTMENT, HIGHWAY DEPARTMENT, ETC) OR OTHER AGENCIES WITH JURISDICTION.
 - CONSTRUCTION DEMOLITION DEBRIS THAT IS NOT TO BE RECYCLED INTO THE WORK SHALL BE REMOVED AND LEGALLY DISPOSED OF IN AN OFF-SITE FACILITY. MANIFESTS SHALL BE PROVIDED TO THE TOWN OF NORTH CASTLE AND THE ENGINEER OF RECORD FOR EACH LOAD OF MATERIAL REMOVED FROM THE SITE.
 - THE BACKFILLING OF ANY TRENCHES VACATED UPON THE REMOVAL OF ANY EXISTING UTILITIES SHALL BE PROPERLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS.

- GRADING, DRAINAGE AND UTILITIES NOTES**
- ANY MANHOLE, CATCH BASIN, INLETS OR SIMILAR DEVICES DESIGNATED TO REMAIN IN PLACE SHALL BE ADJUSTED TO MEET THE PROPOSED FINAL GRADES. THE ADJUSTMENT OF THE CASTINGS SHALL BE IN ACCORDANCE WITH THESE PLANS. THE ADJUSTMENT TO THE CASTING SHALL BE WITH CONCRETE BRICK OR SOLID BLOCK. SHOULD THE HEIGHT ADJUSTMENT BE GREATER THAN ONE FOOT, THEN THE CONTRACTOR SHALL EITHER REPLACE THE STRUCTURE ENTIRELY OR RECONSTRUCT IT TO COMPLY WITH THE REFERENCED DETAILS.
 - NO FILL SHALL BE PLACED OVER THE ROOTS OF TREES.
 - ALL GRADING OR RE-GRADING ACTIVITIES SHALL BE SUCH THAT POSITIVE PITCH IS OBTAINED AWAY FROM THE BUILDINGS.
 - THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS APPROXIMATE. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL EXCAVATE TEST PITS TO CONFIRM THE LOCATION OF ANY UTILITIES.
 - UNLESS OTHERWISE INDICATED, ALL PIPE FOR STORM DRAINS AND/OR FOOTING DRAINS SHALL BE ADS, N-12 HIGH DENSITY POLYETHYLENE.
 - ELECTRIC, CABLE, TELEPHONE LINES ARE TO BE INSTALLED UNDERGROUND FROM THE STREET TO THE POINT(S) OF SERVICE.
 - WHEN SPECIFIED, CONDUIT FOR ELECTRIC, CABLE AND TELEPHONE LINES SHALL BE WATER TIGHT AND IN CONFORMANCE WITH THE APPLICABLE UTILITY COMPANY'S STANDARDS.
 - THE DEMOLISHED BATH HOUSE REPORTEDLY HAD A WATER SERVICE CONNECTION. HOWEVER, THE CONDITION AND LOCATION OF THAT SERVICE IS UNKNOWN AT THIS TIME. THE CONTRACTOR SHALL LOCATE AND TEST THE SERVICE. SHOULD THE SERVICE BE DETERMINED TO BE EITHER IN POOR CONDITION OR UNFOUND, THEN A NEW WATER SERVICE WILL BE INSTALLED AS SHOWN ON THE IMPROVEMENT PLAN.

- NOTES**
- REFERENCE IS MADE TO AN AS-BUILT SURVEY PREPARED BY WARD CARPENTER ENGINEERS FOR THE LOCATION OF AN EXISTING LOW PRESSURE SEWER SERVICE.
 - ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND. UTILITY SERVICES SHOWN ON THE PLAN ARE THE PROJECTED LOCATIONS.
 - PRIOR TO THE START OF WORK THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITY SERVICES.
 - THE EXISTING OWTs SERVICING THE CABANA SHALL BE ABANDONED IN ACCORDANCE WITH THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS.
 - SEE WETLAND BUFFER MITIGATION PLANS PREPARED BY JD BARRETT
 - ACTIVITIES CONTAINED WITHIN NYCDP PERMIT #10194 WERE COMPLETED IN APRIL 2016



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ORIGINALLY APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD ON JUNE 19, 2017 RESOLUTION DATED: JUNE 19, 2017

RE-APPROVED BY RESOLUTION DATED: _____

DATE: _____

CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE
 PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED BY TOWN ENGINEER

DATE: _____

JOSEPH CERMELE, PE
 KELLARD SESSIONS, CONSULTING
 CONSULTING TOWN ENGINEERS

SHEET: **2** of **5**

NATHANIEL J. HOLT, PE
 STATE OF NEW YORK
 LICENSED PROFESSIONAL ENGINEER

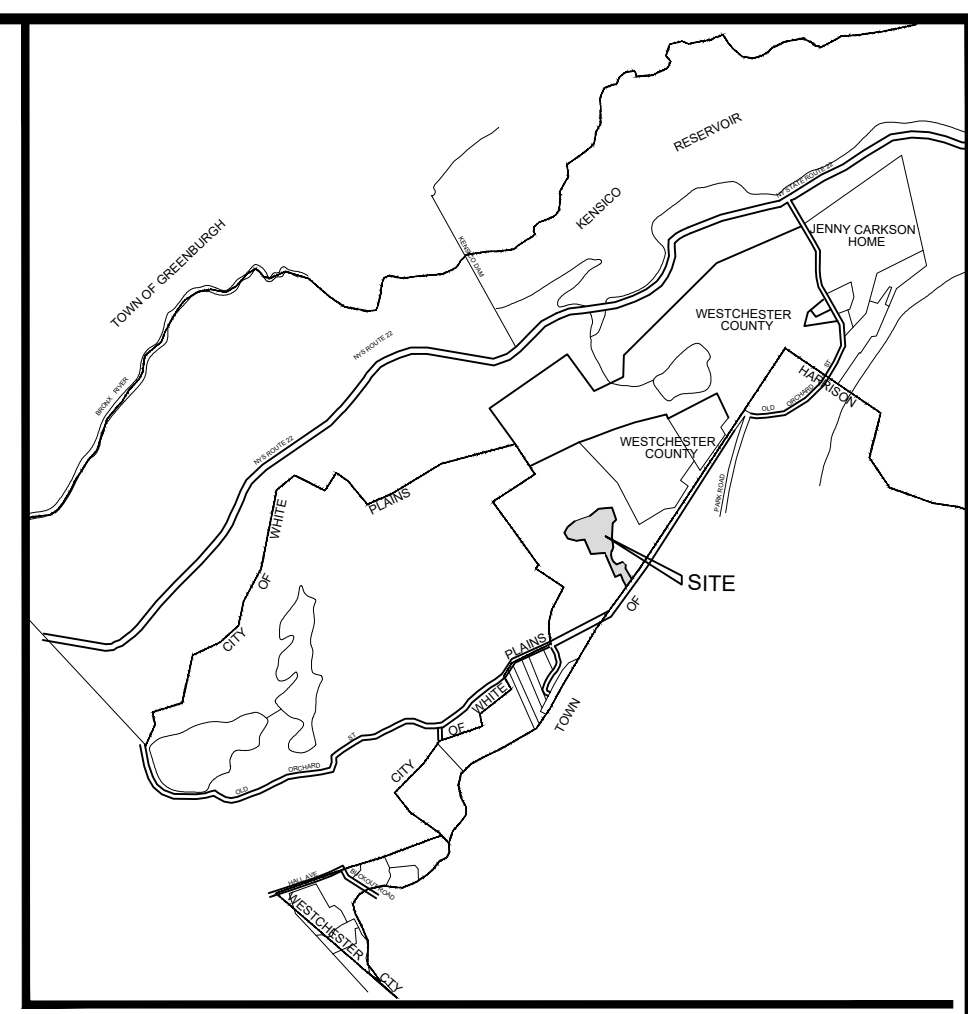
Original Date: April 12, 2021
 Project Number: ROZ-2

NATHANIEL J. HOLT, PE
 CONSULTING ENGINEERS

592 ROUTE 22
 PAWLING, NEW YORK 12564
 PHONE: (914) 760-1800 FX: (772) 204-9553

OVERALL SITE PLAN

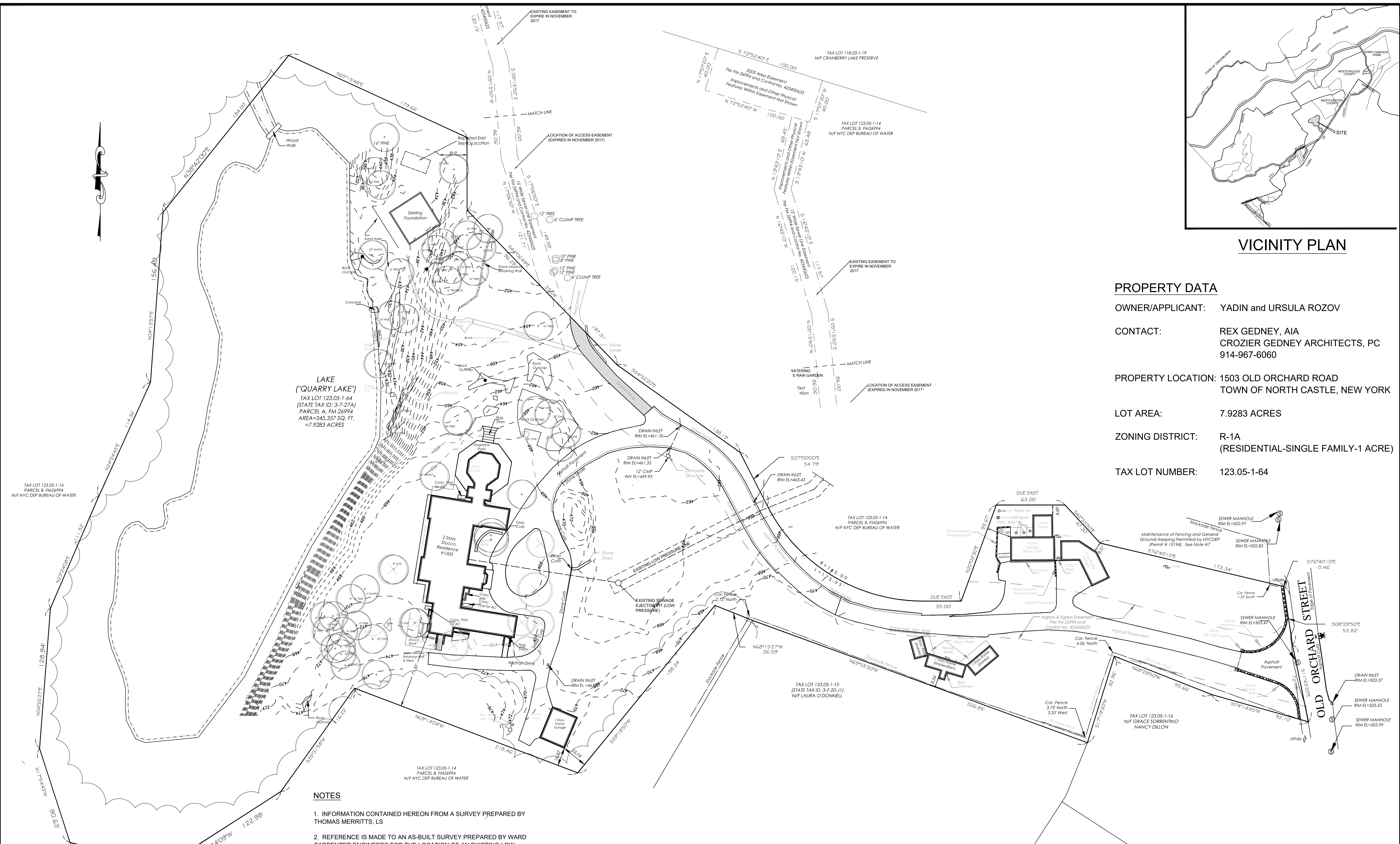
PROPOSED LAKESIDE CABIN
 for
YADIN AND URSULA ROZOV
 1503 OLD ORCHARD STREET, TOWN OF NORTH CASTLE, NY



VICINITY PLAN

PROPERTY DATA

OWNER/APPLICANT: YADIN and URSULA ROZOV
 CONTACT: REX GEDNEY, AIA
 CROZIER GEDNEY ARCHITECTS, PC
 914-967-6060
 PROPERTY LOCATION: 1503 OLD ORCHARD ROAD
 TOWN OF NORTH CASTLE, NEW YORK
 LOT AREA: 7.9283 ACRES
 ZONING DISTRICT: R-1A
 (RESIDENTIAL-SINGLE FAMILY-1 ACRE)
 TAX LOT NUMBER: 123.05-1-64

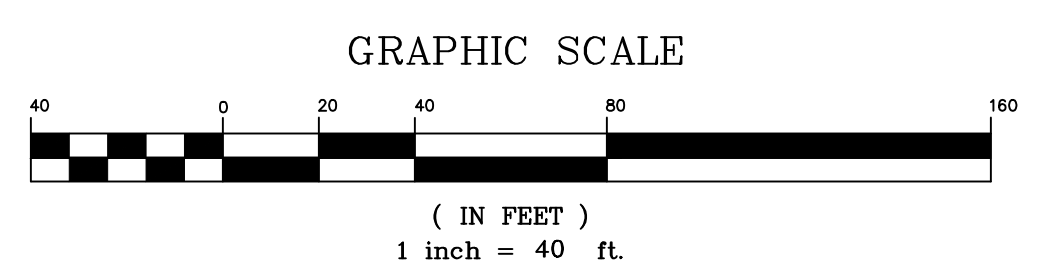


- NOTES**
1. INFORMATION CONTAINED HEREON FROM A SURVEY PREPARED BY THOMAS MERRITTS, LS
 2. REFERENCE IS MADE TO AN AS-BUILT SURVEY PREPARED BY WARD CARPENTER ENGINEERS FOR THE LOCATION OF AN EXISTING LOW PRESSURE SEWER SERVICE
 3. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND. UTILITY SERVICES SHOWN ON THE PLAN ARE THE PROJECTED LOCATIONS.
 4. PRIOR TO THE START OF WORK THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING WATER AND SEWER SERVICES.
 5. THE EXISTING OWTS SERVICING THE CABANA SHALL BE ABANDONED IN ACCORDANCE WITH THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS
 6. SEE LANDSCAPE AND WETLAND BUFFER MITIGATION PLANS PREPARED BY BLYTHE YOST
 7. ACTIVITIES CONTAINED WITHIN NYCDP PERMIT #10194 WERE COMPLETED IN APRIL 2016

LEGEND

- 4.38.14 EXISTING "SPOT" GRADE
- OHW OVERHEAD UTILITY WIRES
- IB IRON BAR & CAP
- IBC IRON BAR
- DUE DRAINAGE & UTILITY EASEMENT
- (MH) EX. MANHOLE
- EX. CATCH BASIN

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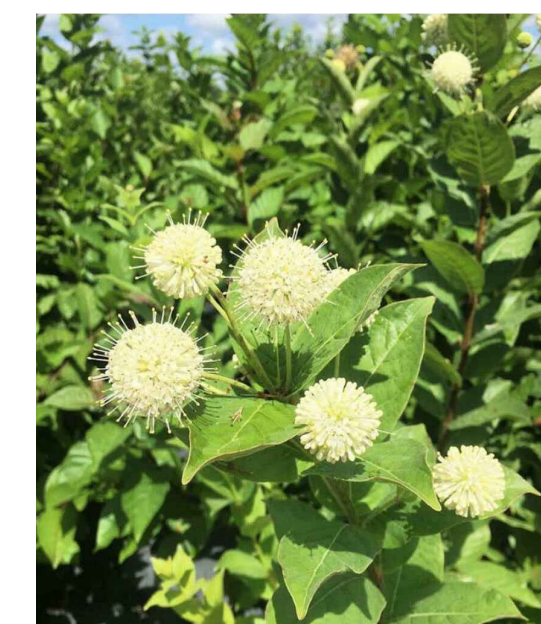
ORIGINALLY APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD ON JUNE 19, 2017
 RESOLUTION DATED: JUNE 19, 2017

RE-APPROVED BY RESOLUTION
 DATED: _____

CHRISTOPHER CARTHY, CHAIR
 TOWN OF NORTH CASTLE
 PLANNING BOARD

ENGINEERING DRAWING PLANS REVIEWED
 BY TOWN ENGINEER

JOSEPH CERMELE, PE
 KELLARD SESSIONS, CONSULTING
 CONSULTING TOWN ENGINEERS



BLACK CHOKEBERRY

STEEPLEBUSH

ARROWWOOD VIBURNUM (AV)

CINNAMON FERN

JOE PYE WEED

BUTTONBUSH

AMERICAN ELDER



RED CHOKEBERRY

FOX SEDGE

SWEETPEPPER BUSH

HIGHBUSH BLUEBERRY



SPICEBUSH



AERIAL



VIEW TO DAMAGED LAKESIDE CABIN. REQUIRES RECONSTRUCTION. EXISTING DILAPIDATED STRUCTURE HAS BEEN REMOVED. PROPOSED RAIN GARDEN AND WETLAND MITIGATION PLANTINGS WILL OCCUR IN THE FOREGROUND OF THIS PHOTO.

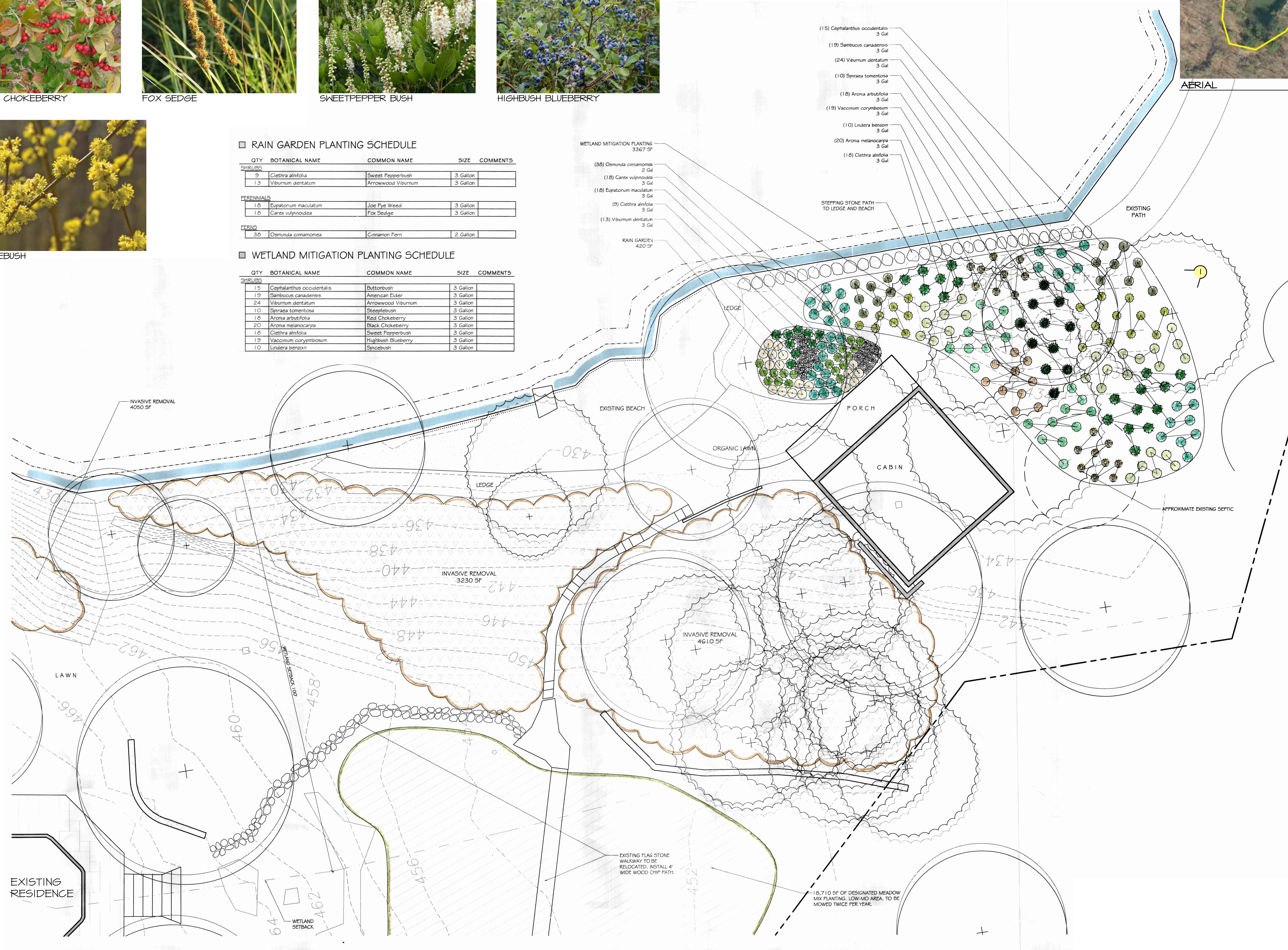
RAIN GARDEN PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
SHRUBS				
9	<i>Clethra alnifolia</i>	Sweet Pepperbush	3 Gallon	
13	<i>Viburnum dentatum</i>	Arrowwood Viburnum	3 Gallon	
PERENNIALS				
18	<i>Eupatorium maculatum</i>	Joe Pye Weed	3 Gallon	
18	<i>Carex vulpinoidea</i>	Fox Sedges	3 Gallon	
FERNS				
36	<i>Osmunda cinnamomea</i>	Cinnamon Fern	2 Gallon	

WETLAND MITIGATION PLANTING SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
SHRUBS				
15	<i>Cephalanthus occidentalis</i>	Buttonbush	3 Gallon	
19	<i>Sambucus canadensis</i>	American Elder	3 Gallon	
24	<i>Viburnum dentatum</i>	Arrowwood Viburnum	3 Gallon	
10	<i>Spiraea tomentosa</i>	Steeplebush	3 Gallon	
18	<i>Aronia arbutifolia</i>	Red Chokeberry	3 Gallon	
20	<i>Aronia melanocarpa</i>	Black Chokeberry	3 Gallon	
18	<i>Clethra alnifolia</i>	Sweet Pepperbush	3 Gallon	
19	<i>Vaccinium corymbosum</i>	Highbush Blueberry	3 Gallon	
10	<i>Lindera benzoin</i>	Spicebush	3 Gallon	

- WETLAND MITIGATION PLANTING 3367 SF
- (15) *Cephalanthus occidentalis* 3 Gal
 - (19) *Sambucus canadensis* 3 Gal
 - (24) *Viburnum dentatum* 3 Gal
 - (10) *Spiraea tomentosa* 3 Gal
 - (18) *Aronia arbutifolia* 3 Gal
 - (19) *Vaccinium corymbosum* 3 Gal
 - (10) *Lindera benzoin* 3 Gal
 - (20) *Aronia melanocarpa* 3 Gal
 - (18) *Clethra alnifolia* 3 Gal
- RAIN GARDEN 420 SF
- (36) *Osmunda cinnamomea* 2 Gal
 - (18) *Carex vulpinoidea* 3 Gal
 - (18) *Eupatorium maculatum* 3 Gal
 - (9) *Clethra alnifolia* 3 Gal
 - (13) *Viburnum dentatum* 3 Gal



- GENERAL NOTES**
- THIS PLAN HAS BEEN PREPARED IN SUPPORT OF A WETLAND PERMIT APPLICATION MADE TO THE TOWN OF NORTH CASTLE PLANNING BOARD TO ALLOW THE RECONSTRUCTION OF THE FORMER LAKESIDE CABIN ON THE PROPERTY.
 - THIS PLAN IS PROVIDED IN CONJUNCTION WITH SITE DEVELOPMENT PERMIT PLANS FILED WITH THE PLANNING BOARD FOR THE PROJECT, PREPARED BY HOLT ENGINEERING AND GROZIER GEDNEY ARCHITECTS.
 - THE LAKESIDE CABIN PROJECT WAS PREVIOUSLY REVIEWED AND APPROVED BY THE PB FOR THE FORMER OWNER, CIRCA 2011. THE PROJECT SCOPE AT THIS TIME IS THE SAME AS PREVIOUSLY REVIEWED AND APPROVED IN 2011 FOR THE FORMER OWNER.
 - THE PROPOSED WETLAND MITIGATION PLAN SHOWN ON THIS PLAN WAS TAKEN FROM THE ORIGINAL WETLAND MITIGATION PLAN FOR THE PROJECT PREPARED BY YOST DESIGN, LANDSCAPE ARCHITECTURE, PEARL RIVER, NY, DATED 07-24-16. THE YOST MITIGATION PLAN WAS REVIEWED AND APPROVED BY THE TOWN OF NORTH CASTLE PB AND CONSERVATION BOARD (CB) CIRCA 2011. THE INFORMATION SHOWN ON THE CURRENT J.D. BARRETT & ASSOCIATES WETLAND MITIGATION PLAN IS THE SAME INFORMATION AS WAS PRESENTED ON THE ORIGINAL YOST WETLAND MITIGATION PLAN. SEE PLAN FOR A DESCRIPTION OF MITIGATION COMPONENTS.

MITIGATION PLANTING PLAN

Prepared For :
 ROZOV PROPERTY
 1503 OLD ORCHARD STREET
 NORTH CASTLE, NEW YORK 10604
 Sec. 123.05 Bldg Lot 64

Prepared by:
 Landscape Architect/Environmental Planner:
 J. D. BARRETT & ASSOCIATES, LLC
 104 SPORT HILL ROAD
 EASTON, CONNECTICUT 06612
 Tel. 203.312.5805 Fax 203.312.0444

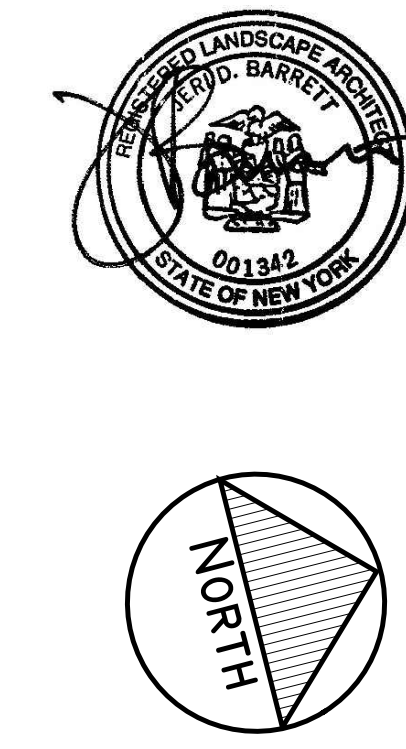
Engineer:
 HOLT ENGINEERING AND CONSULTING
 542 RTE 22
 PAULING, NEW YORK 12564
 Tel. 914. 760. 1800

Architect:
 GROZIER GEDNEY ARCHITECTS, P.C.
 41 ELM PLACE
 RYE, NEW YORK 10580
 Tel. 914. 967. 6060

General Contractor:
 CHRIS AMUNDSON
 STONE OAK GROUP LTD
 144 BUCKSHOLLOW RD
 MAHOPAC, NEW YORK 10541
 Tel. 914.447.4633

Surveyor:
 TC MERRITTS LAND SURVEYORS
 344 BEDFORD ROAD
 PLEASANTVILLE, NEW YORK 10514
 Tel. 914.769.2003

Scale : 1" = 10'
 Date : April 8, 2021



EROSION CONTROL PROTOCOL

PURPOSE

ALL CONSTRUCTION ACTIVITIES INVOLVING THE REMOVAL OF OR DEPOSITION OF SOILS ARE TO BE PROTECTED WITH APPROPRIATE MEASURES TO INHIBIT EROSION AND TO CONTAIN SEDIMENT DEPOSITION WITHIN THE AREA UNDER DEVELOPMENT. THOSE METHODS DEEMED HIGHLY EFFECTIVE ARE DESCRIBED BELOW AND SHOWN ON THESE DRAWINGS.

REQUIRED PROCEDURES

- PRIOR TO THE START OF ANY SITE CONSTRUCTION, ALL CONSTRUCTION ENTRANCES TO THE SITE SHALL BE INSTALLED AND STABILIZED. ANY TEMPORARY SILTATION BASINS AND/OR OTHER APPROVED SEDIMENT CONTROL MEASURES SHALL BE IN PLACED WHERE DEEMED TO BE THE MOST EFFECTIVE.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL REMAIN IN PLACED AND MAINTAINED REGULARLY IN PROPERTY FUNCTIONING CONDITION UNTIL ALL AREAS DISTURBED DURING CONSTRUCTION HAVE BEEN SUITABLY STABILIZED WITH PAVEMENT, PERMANENT STRUCTURES AND/OR FINAL VEGETATIVE COVER.

CONSTRUCTION GUIDELINES

- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED BY FENCING, FLAGGING OR SIMILAR METHODS.
- ONLY THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY TIME DURING CONSTRUCTION.
- SITE CONSTRUCTION ACTIVITIES SHALL START WHENEVER POSSIBLE AT THE NEAREST POINT UPSTREAM OF THE SILT TRAPS AND PROCEED TO ACTIVITIES FURTHER UPSTREAM.
- WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE PERIOD OF EXPOSURE SHALL BE KEPT TO A MINIMUM, INSTALLING PERMANENT AND FINAL VEGETATION, PAVING, STRUCTURES, ETC AT THE EARLIEST POSSIBLE OPPORTUNITY.

SITE STABILIZATION GUIDELINES

- ALL TOPSOIL SHALL BE STRIPPED FROM THE AREA BEING DEVELOPED AND STOCKPILED NOT LESS THAN 100 FEET FROM ANY BODY OF SURFACE WATER AND SHALL BE IMMEDIATELY SEEDED WITH PERENNIAL RYE.
- EROSION AND SEDIMENT CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO SILT TRENCHES, SILT TRAPS, STAKED HAY BALES OR BRUSH CHECK DAMS SHALL ALSO BE EMPLOYED WHERE NECESSARY.
- DISTURBED AREAS ARE TO BE STABILIZED AS FOLLOWS:
 - TOP SOILED WITH NOT LESS THAN FOUR INCHES OF SUITABLE TOPSOIL MATERIAL
 - SEEDED WITH THE FOLLOWING GRASS MIXTURE
 - 45% KENTUCKY BLUE GRASS
 - 45% CREEPING RED FESCUE
 - 10% PERENNIAL RYE GRASS

SEED SHALL BE APPLIED AT A RATE OF NOT LESS THAN TWO POUNDS PER 1,000 SQUARE FEET.

- MULCH SHALL BE APPLIED AT A RATE OF NOT LESS THAN ONE INCH AND NOT MORE THAN THREE INCHES OF STRAW AT TWO TONS PER ACRE AND ANCHORED IN A SUITABLE MANNER

SEQUENCE OF CONSTRUCTION

GENERAL

IT IS THE INTENT OF THIS NARRATIVE TO OUTLINE THE GENERAL STEPS ASSOCIATED WITH THE DEVELOPMENT OF THIS PROPERTY. IT MUST BE RECOGNIZED THAT EACH JOB HAS CONDITIONS WHICH MAY WARRANT SOME DEVIATION FROM THE STEPS OUTLINED HEREIN. TO THE EXTENT PRACTICAL, THE CONSTRUCTION DRAWINGS PROVIDE THE CONTRACTOR WITH AN UNDERSTANDING OF THE WORK NECESSARY AND THE LOGICAL STEPS WHICH ARE TO BE FOLLOWED THROUGH THE PROCESS. IN THOSE INSTANCES WHERE THE ACTUAL FIELD CONDITIONS DIFFER FROM WHAT IS DEPICTED ON THE DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CONTACT THE OWNER OR THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING FURTHER.

CLEARING, GRUBBING AND DEMOLITION

THE PROJECT INVOLVES REDEVELOPMENT OF LANDS THAT WERE EITHER PARTIALLY OR COMPLETELY PREVIOUSLY DISTURBED (IE: THE PROPOSED POOL WILL REPLACE THE EXISTING PATIO, THE PROPOSED CABANA WILL REPLACE THE ONE THAT WAS STORM DAMAGED AND THE DRIVEWAY WILL RESULT IN A DECREASE IN IMPERVIOUS AREA), THEREFORE IT IS ANTICIPATED THAT THERE WILL BE LITTLE NEED FOR CLEARING AND GRUBBING OPERATIONS. REGARDLESS, THERE SHALL BE NO ON-SITE BURIAL OF ANY DEMOLITION MATERIAL.

SIMILARLY, AS MOST OF THE PROPOSED SITE DEVELOP WILL OCCUR IN AREAS ALREADY DEVELOPED, THERE WILL BE MINIMAL TOPSOIL STRIPPING AND/OR STORAGE. HOWEVER, ANY TOPSOIL THAT IS STRIPPED SHALL BE STOCKPILED FOR RE-USE.

THE CONTRACTOR SHALL ESTABLISH HIS STAGING AREA AND CONSTRUCTION TRAILER(S) AS MAY BE REQUIRED TO MEET HIS NEEDS. MATERIAL AND EQUIPMENT STORAGE SHALL BE KEPT OUTSIDE OF THE 100 FOOT WETLAND BUFFER.

SEDIMENT AND EROSION CONTROL

SEDIMENT AND EROSION CONTROL MEASURES SHALL BE AN ON-GOING PROCESS THROUGHOUT CONSTRUCTION AND UNTIL STABILIZATION HAS BEEN ACHIEVED.

EXCAVATION AND ROUGH GRADING

AS DESIGNED, MOST OF THE EARTHWORK ACTIVITIES WILL BE BALANCED AND THEREFORE LITTLE STORAGE OR STOCKPILING OF EXCAVATED MATERIAL IS ANTICIPATED. HOWEVER, THE EXCAVATION ASSOCIATED WITH THE PROPOSED SWIMMING POOL WILL GENERATE AND ESTIMATED 500 CUBIC YARDS OF EARTH; HOWEVER, MOST OF WHICH IS EXPECTED TO BE BEDROCK. AT THE CONTRACTORS OPTION, HE MAY REMOVE THE ROCK FROM THE SITE AND RE-IMPORT WHEN IT IS NECESSARY TO CONSTRUCT WALLS, BULK FILL AREAS, ETC.

BUILDING CONSTRUCTION

THE ONLY PROPOSED BUILDING CONSTRUCTION AT THIS TIME IS THAT OF THE LAKESIDE CABIN. NOTE THAT THE AREA IN WHICH THE CABIN IS TO BE LOCATED IS MINIMAL AND THEREFORE THE CONTRACTOR MAY BE REQUIRED TO ESTABLISH A STAGING AREA ON MORE SUITABLE GROUNDS. THE PREVIOUS OWNER INITIATED THE CONSTRUCTION OF A CELLAR/BASMENT WITHIN THE CONFINES OF THE CABIN'S FOOTPRINT. DURING CONSTRUCTION FISSURES WITHIN THE BEDROCK CAUSED LAKE WATER TO SEEP INTO THE BASEMENT AREA. A DE-WATERING PLAN AND WATERPROOFING OF THE BASEMENT IS INCLUDED WITHIN THE PROPOSED CONSTRUCTION ACTIVITIES UNDER THIS SITE PLAN/WETLAND PERMIT/SPECIAL USE PERMIT APPLICATION. AS PROPOSED THE DEWATERING OF THE CELLAR AREA IS TO BE PUMPED TO THE AREA OF AN EXISTING SEPTIC FIELD AND COINCIDES WITH THE PROPOSED LOCATION OF A RAIN GARDEN.

STORMWATER SYSTEM

AFTER THE WATERPROOFING OF THE CELLAR IS COMPLETED AND THE ROUGH GRADING ASSOCIATED WITH THE SITE WORK HAS BEGUN, THE CONTRACTOR SHALL ALSO CONSTRUCT THE PROPOSED RAIN GARDEN IN THE LOCATION SHOWN AND TO THE DIMENSIONS PROVIDED WITHIN THESE PLANS. IN ADDITION THE ROOF LEADERS SHALL BE INSTALLED BETWEEN THE CABIN AND THE RAIN GARDEN

SEWER AND WATER SERVICES

SEWER SERVICE INVOLVES THE ABANDONMENT OF AN EXISTING ON-SITE SEPTIC SYSTEM AND THE CONSTRUCTION OF A NEW SEPTIC SYSTEM IN AN ALTERNATE LOCATION. THE ABANDONMENT OF THE EXISTING SYSTEM SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH. SEWAGE FROM THE CABIN IS TO BE PUMPED VIA AN EJECTOR SYSTEM LOCATED WITHIN THE CABIN AND CONNECTED TO THE EXISTING LOW PRESSURE SEWAGE SYSTEM WHICH PRESENTLY TERMINATES IN FRONT OF THE EXISTING RESIDENCE.

WATER SERVICE TO THE SITE WILL BE ACCOMPLISHED THROUGH THE DEVELOPMENT OF A DRILLED WELL IN CLOSE PROXIMITY TO THE CABIN. A PERMIT FROM THE WCDH WILL BE REQUIRED TO CONSTRUCT THIS WELL (NOTE: THAT UNDER THE PREVIOUS OWNER'S APPLICATION, WATER WAS TO BE THROUGH A CONNECTION TO THE MAIN RESIDENCE. AT THIS TIME THERE IS NO WATER SERVICE TO THE MAIN RESIDENCE.)

OTHER SERVICES

ELECTRIC, TELEPHONE, CABLE, ETC WILL ALL BE BROUGHT INTO THE SITE UNDER GROUND. THE CONTRACTOR SHALL ARRANGE TO HAVE THESE SERVICES INSTALLED BEFORE FINAL PAVEMENT IS INSTALLED.

GENERAL SEQUENCE OF ACTIVITIES

- UTILIZE THE EXISTING DRIVEWAY CURB CUT TO ACCESS PARKING AREAS FOR THE CONSTRUCTION CREWS.
- INSTALL A STABILIZED CONSTRUCTION ENTRANCE FROM THE EXISTING DRIVEWAY AT A POINT WHICH MINIMIZES UNNECESSARY DISTURBANCES.
- PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES, THE APPLICANT SHALL STAKE THE LIMIT OF CONSTRUCTION DISTURBANCE AREA TO THE SATISFACTION OF THE TOWN ENGINEER.
- INSTALL EROSION CONTROL PRACTICES AND TREE PROTECTION.
- ESTABLISH A CONSTRUCTION STAGING AREA WITHIN THE DELINEATED AREAS.
- NOT WITHSTANDING THAT A QUALIFIED INSPECTOR IS CONDUCTING WEEKLY INSPECTIONS, PRIOR TO ANY FURTHER CONSTRUCTION RELATED ACTIVITIES, THE MANAGER SHALL CONTACT THE DESIGN ENGINEER TO PERFORM AN INSPECTION OF THE EROSION CONTROL MEASURES. AT THIS POINT ANY MEASURES FOUND TO HAVE BEEN DAMAGED BY THE CLEARING AND GRUBBING OPERATIONS, OR WITH THE GENERAL INSTALLATION OF THE MEASURES SHALL BE CORRECTED IMMEDIATELY. SIMILARLY, IF SO DIRECTED BY THE DESIGN ENGINEER, ADDITIONAL MEASURES SHALL BE INSTALLED ON AN "AS NEEDED OR AS DIRECTED" BASIS.
- PERIODIC WEEKLY INSPECTIONS OF THE PRACTICE WILL BE CONDUCTED BY THE MANAGER. WHEN ACCUMULATED SILT AND DEBRIS REACHES ONE HALF THE AVAILABLE VOLUME OF THE PRACTICE (IE: CATCHBASINS, INLETS PRETREATMENT DEVICES) THE MATERIAL SHALL BE REMOVED.
- A QUALIFIED INSPECTOR SHALL CONDUCT AT LEAST TWO SITE INSPECTIONS EVERY SEVEN CALENDAR DAYS. THE TWO INSPECTIONS SHALL BE SEPARATED BY A MINIMUM OF TWO FULL CALENDAR DAYS.
- UPON COMPLETION OF THE CLEARING AND GRUBBING ACTIVITIES, THE CONTRACTOR SHALL STRIP TOPSOIL FROM THE AREAS TO BE GRADED, ALL ACTIVITIES SHALL REMAIN WITHIN THE DISTURBANCE LIMIT LINES.
- NO DEMOLITION MATERIAL IS TO BE BURIED ON SITE.
- THE CONTRACTOR SHALL STAKE OUT THE AREA OF DISTURBANCE ASSOCIATED WITH THE WORK, WHICH IN GENERAL SHALL INCLUDE THE NEW DRIVEWAY, SOIL STOCK PILE AREAS, THE RAIN GARDEN AND MITIGATION AREAS.
- WHEN COMPLETED, THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCING AROUND THOSE AREAS THAT ARE TO REMAIN UNDISTURBED. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND THE TOWN OF NORTH CASTLE'S RESPONSIBLE AGENT TO INSPECT THE FENCING.
- STRIPPING OF TOPSOIL SHALL BE LIMITED TO THOSE AREAS WITHIN THE WORK AREA. TOPSOIL SHALL ONLY BE STORED IN DESIGNATED AREAS. STABILIZATION OF THE STORED TOPSOIL SHALL BE AS INDICATED ON THE PLANS.
- COMMENCE WITH THE CONSTRUCTION OF THE BATH HOUSE, RAIN GARDEN AND UTILITIES.
- STABILIZE DISTURBED AREAS AS THE WORK IS COMPLETED.
- DEMobilize PHASE 1: REMOVE CONSTRUCTION DEBRIS, EROSION CONTROLS, ETC
- CONSTRUCT NEW DRIVEWAY, REMOVE PORTION OF DRIVEWAY TO BE ELIMINATED, CONSTRUCT NEW COURT YARD (SUB BASE COURSE ONLY)
- CONSTRUCT NEW TERRACE, REMOVE INVASIVE VEGETATION.
- INSTALL INFILTRATION SYSTEM
- STABILIZE DISTURBED AREAS, COMPLETE LANDSCAPING.
- FINALIZE DRIVEWAY (TOP COURSE) AND WALKS.
- CONSTRUCTION MATERIAL AND DEBRIS CLEANUP.

ADDENDUM TO SEQUENCE OF CONSTRUCTION

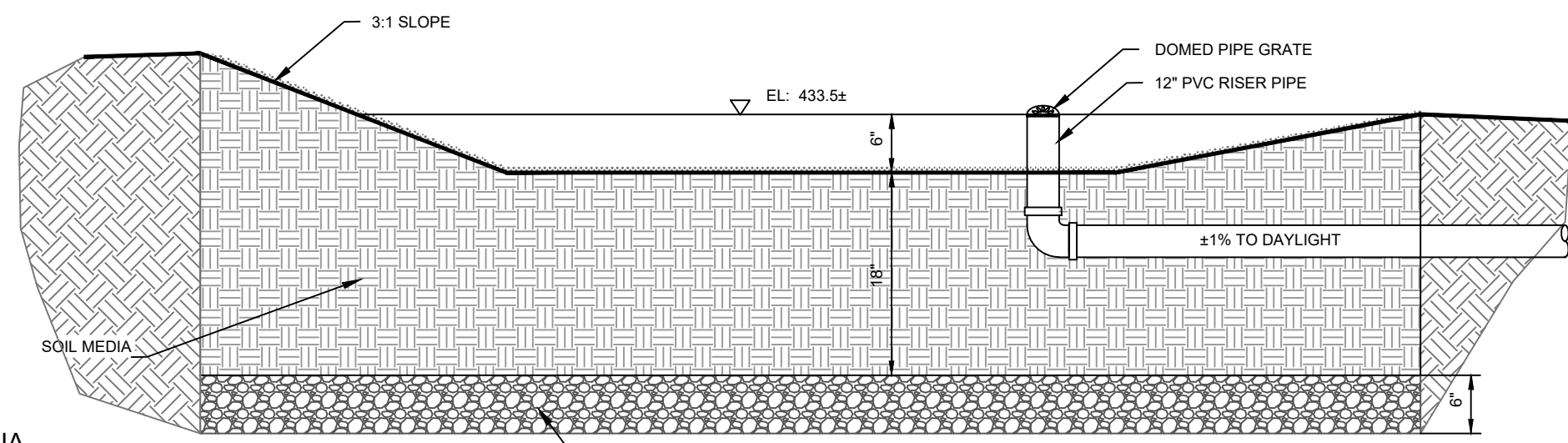
- EXISTING DRIVEWAYS TO BE UTILIZED TO THE EXTENT POSSIBLE FOR ALL CONSTRUCTION ACTIVITIES.
- UPON REMOVAL OF DESIGNATED TREES, CONTRACTOR TO ESTABLISH A CONSTRUCTION ACCESS DRIVEWAY OVER THE ROUTE INDICATED ON THE PLANS.
- CREATE DEWATERING PIT IN LOCATION DESIGNATED FOR THE RAIN GARDEN
- CONSTRUCT BATH HOUSE FOUNDATION
- COMPLETE CONSTRUCTION OF THE BATH HOUSE.
- AT THE CONTRACTOR'S DISCRETION INSTALL WATER, ELECTRIC AND SEWER SERVICE AS LOCATED ON THE PLANS.
- UPON COMPLETION OF THE BATH HOUSE STRUCTURE, THE CONTRACTOR SHALL COMMENCE WITH LANDSCAPING AND STABILIZATION OF DISTURBED AREAS.
- REMOVE PAVEMENT AT EXISTING COTTAGE. REMOVE PAVEMENT SERVICING THE NYCDEP AND REPLACE WITH GRAVEL TO MATCH EXISTING.

WETLAND BUFFER DISTURBANCE MITIGATION

A WETLAND MITIGATION PLAN HAS BEEN PREPARED BY JD BARRETT. THE CONTRACTOR SHALL COMPLETE WETLAND MITIGATION BASED UPON THAT APPROVED PLAN AS THE LAST PHASE OF WORK ASSOCIATED WITH THE CABIN.

RAIN GARDEN

NTS



SOIL MEDIA
 50-70% SAND
 50-30% TOPSOIL (CONTAINING 5% COMPOST OR PEAT AND FREE OF STONES, ROOTS, WOODY DEBRIS AND ANIMAL WASTE
 MATERIAL TO BE IN FULL COMPLIANCE WITH THE NYSDEC STORMWATER DESIGN MANUAL, LATEST EDITION

PLANTINGS
 MATERIAL AS PER NYSDEC RECOMMENDED PLANT LIST SEE PLANS BY JD BARRETT

RAINGARDEN CALCULATIONS

REQUIRED: MITIGATE IMPERVIOUS AREA OF PROPOSED BATH HOUSE

IMPERVIOUS AREA OF BATH HOUSE AND PORCH: 1,580 sf = 0.0363 ac

P (1 YEAR STORM): 2.8"

$$R_v = 0.05 + 0.009(I) = 0.05 + 0.009(100) = 0.95$$

$$WQ_v = \frac{(2.80)(0.95)(1,580 \text{ sf})}{12} = 350.2 \text{ cf}$$

DRAINAGE LAYER AND SOIL MEDIA STORAGE VOLUME

$$V_{sm} = Arg \times D_{sm} \times P_{sm}$$

$$V_{dl} = Arg \times D_{dl} \times P_{dl}$$

WHERE:

$$Arg = 500 \text{ sf}$$

$$V_{sm} = 400 \text{ sf} \times 1 \text{ ft} \times 0.20 = 80 \text{ cf}$$

$$D_{sm} = 1 \text{ ft}$$

$$V_{dl} = 400 \text{ sf} \times 0.5 \text{ ft} \times 0.40 = 80 \text{ cf}$$

$$D_{dl} = 0.5 \text{ ft}$$

$$P_{sm} = 0.20$$

$$P_{dl} = 0.40$$

$$WQ_v = 80 \text{ cf} + 80 \text{ cf} + (0.50 \text{ ft} \times 400 \text{ sf}) = 360 \text{ cf} > 350 \text{ cf, OK}$$

PLANT MATERIALS TO BE IN ACCORDANCE WITH THE NYSDEC "DESIGN MANUAL". SEE LANDSCAPE PLANS BY YOST DESIGN, NOTES

- SEE LANDSCAPING PLANS PREPARED BY YOST DESIGNS FOR REQUIRED PLANT MATERIAL WITHIN RAIN GARDEN
- RAIN GARDEN TO SERVE AS A TEMPORARY DE-WATERING AREA DURING BATH HOUSE CONSTRUCTION, SEE DETAIL SHEET 6
- IF THE RAIN GARDEN IS TO BE USED FOR DE-WATERING PURPOSES ALL SILTS, STONE AND ACCUMULATED DEBRIS SHALL BE COMPLETELY REMOVED FROM THE SITE.
- SEE DETAIL, THIS SHEET FOR THE FINAL GRADING AND SOIL MEDIA REQUIRED FOR THE RAIN GARDEN

RAIN GARDEN MAINTENANCE PROGRAM

GENERAL

THE MAINTENANCE PROGRAM PROVIDED BELOW IS TAKEN IN PART FROM THE NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL. THE OWNER MAY WISH TO CONSULT THIS DOCUMENT WHEN QUESTIONS ARISE ABOUT OTHER ASPECTS OF STORMWATER AND ITS AFFECT ON THE ENVIRONMENT.

MAINTENANCE

RAIN GARDENS ARE INTENDED TO BE RELATIVELY LOW MAINTENANCE. HOWEVER, THESE PRACTICES MAY BE SUBJECT TO SEDIMENTATION AND INVASIVE PLANT SPECIES WHICH COULD CREATE MAINTENANCE PROBLEMS. IF THE RECHARGE ABILITY IS LOST BY AN ACCUMULATION OF FINE SEDIMENTS, MOSQUITO BREEDING MAY OCCUR.

RAIN GARDENS SHOULD BE TREATED AS A COMPONENT OF THE LANDSCAPING, WITH ROUTINE MAINTENANCE. PLACING THE RAIN GARDEN MAINTENANCE ON THE SAME SCHEDULE AS THE REGULAR LANDSCAPE PRACTICE IS RECOMMENDED.

ROUTINE MAINTENANCE SHOULD INCLUDE THE OCCASIONAL REPLACEMENT OF PLANT MATERIAL, MULCHING, AND THINNING OF VEGETATION TO MAINTAIN THE DESIRED APPEARANCE. WEEDING AND WATERING ARE ESSENTIAL DURING THE FIRST YEAR, AND CAN BE MINIMIZED WITH THE USE OF A WEED FREE MULCH LAYER

THE PLANT MATERIALS SPECIFIED WITHIN THESE PLANS ARE THOSE WHICH HAVE BEEN FOUND TO BE ABLE TO THRIVE WITHIN A RAIN GARDEN. HOWEVER, IF OVER TIME, ALTERNATE PLANT MATERIALS ARE CONSIDERED, THEY SHOULD BE LOWER GROWING SPECIES THAT STAY UPRIGHT.
NORMAL PRUNING WOULD BE SUCH THAT THE PLANTS ARE KEPT FROM BECOMING "LEGGY" AND FLOPPY (TOP HEAVY).

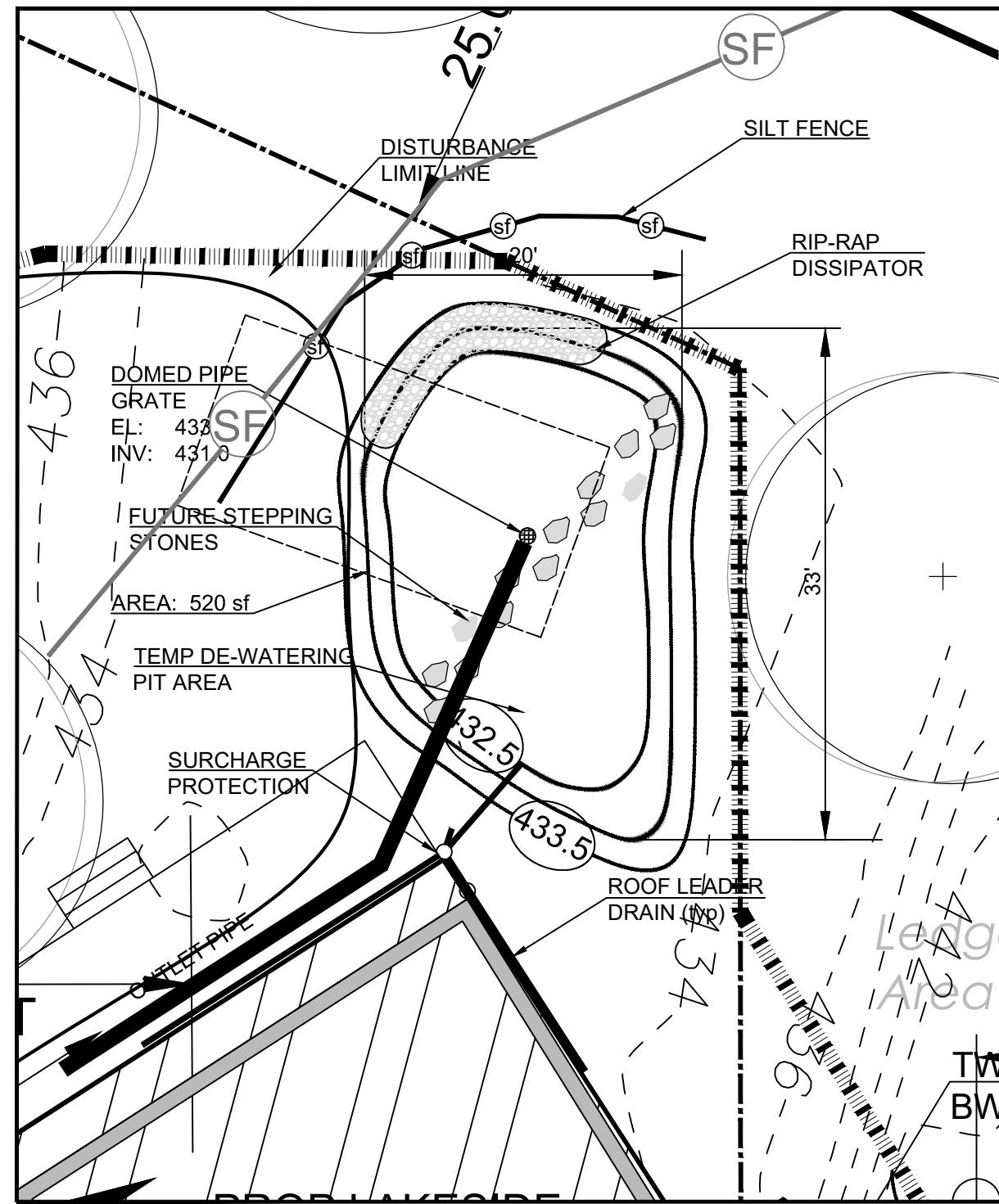
CUT OFF FLOWER HEADS AFTER THE PLANT IS DONE BLOOMING.

KEEP THE RAIN GARDEN WEEDED, ESPECIALLY DURING THE FIRST COUPLE OF YEARS WHILE THE NATIVE PLANTS ARE ESTABLISHING THEIR ROOT SYSTEMS.

ONCE THE RAIN GARDEN HAS BECOME ESTABLISHED, THE AREA SHOULD BE FREE OF BARE SPOTS EXCEPT WHERE STEPPING STONES OR VELOCITY REDUCTION MEASURES ARE IMPLEMENTED.

INSPECT THE RAIN GARDEN FOR SEDIMENT ACCUMULATIONS OR HEAVY ORGANIC MATTER ESPECIALLY WHERE RUNOFF ENTERS THE RAIN GARDEN. REMOVE SUCH ACCUMULATIONS ON A REGULAR BASIS.

WHEN IT IS FOUND THAT WATER ACCUMULATES ON THE SURFACE OF THE RAIN GARDEN FOR A PERIOD OF MORE THAN 48 HOURS, THE UPPER LAYER OF SOIL SHOULD BE REMOVED AND REPLACED



RAIN GARDEN PLAN

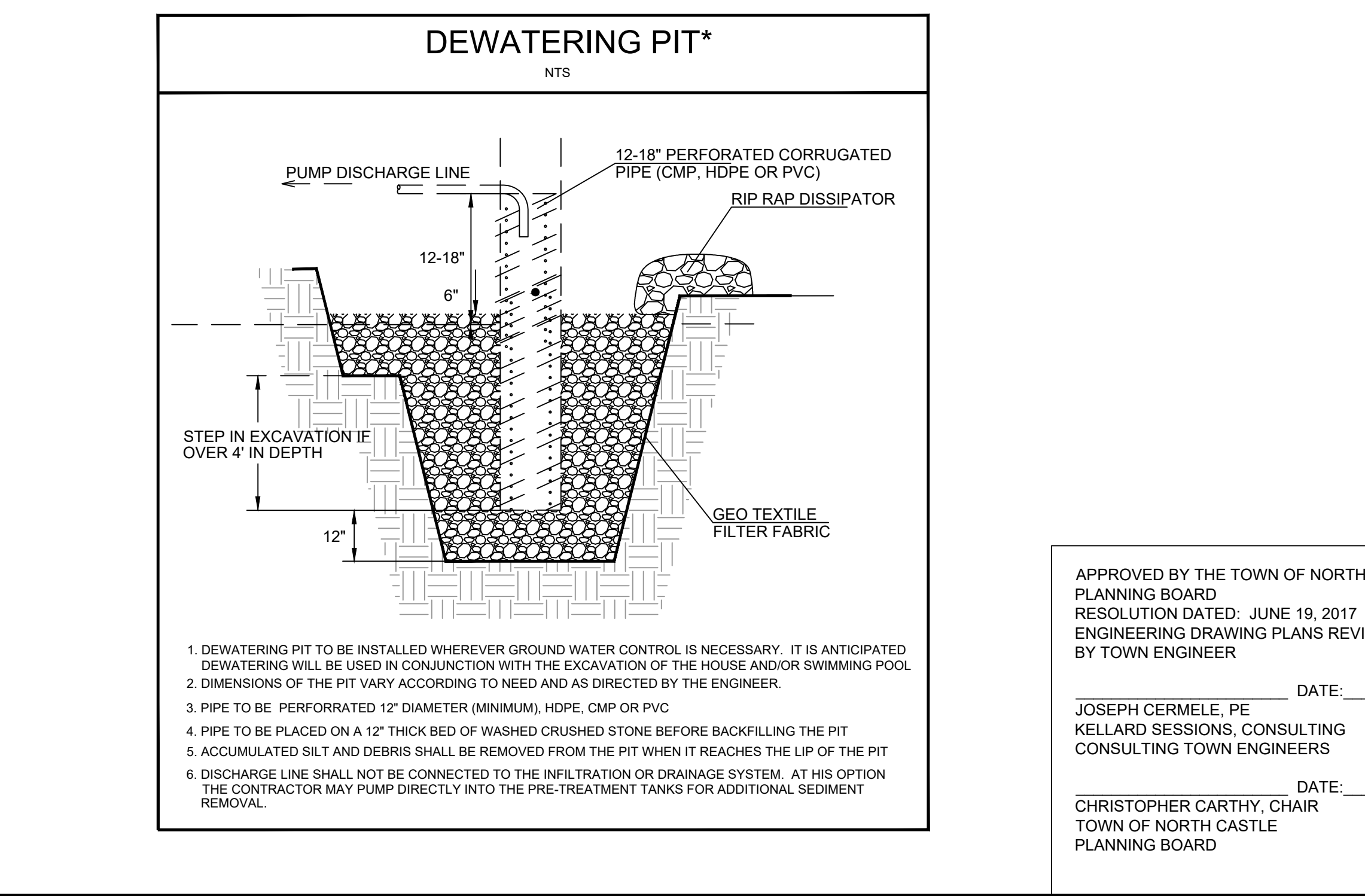
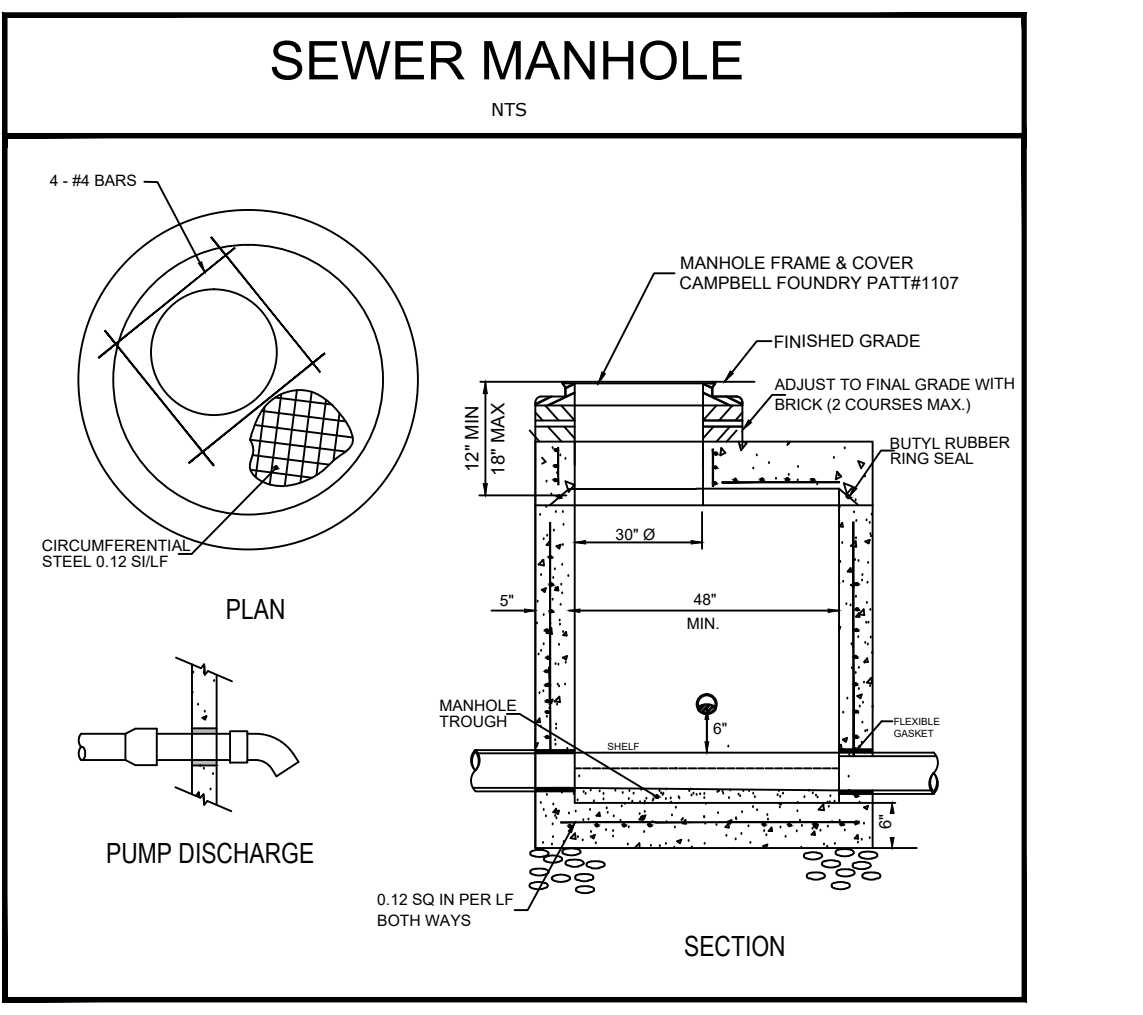
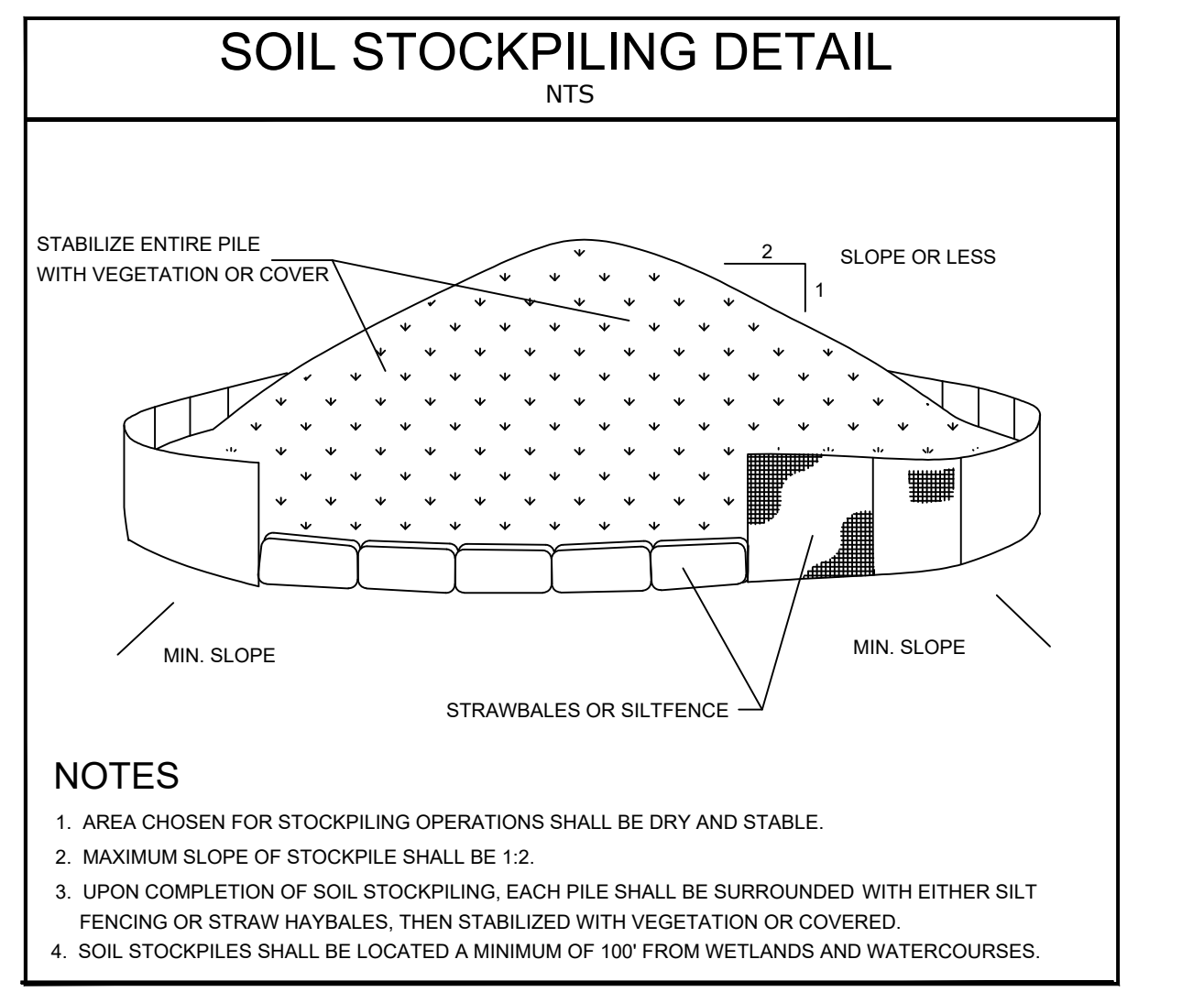
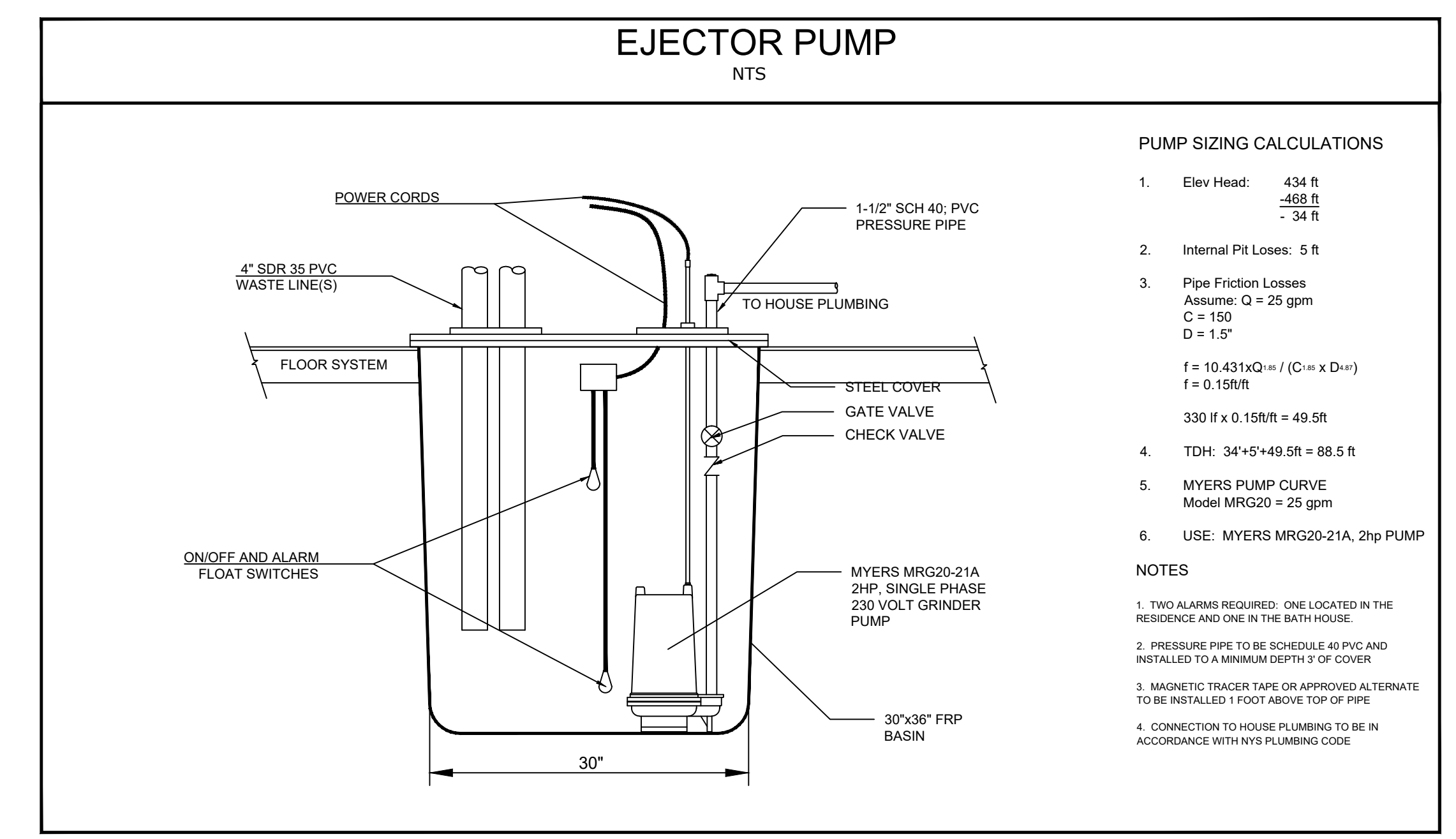
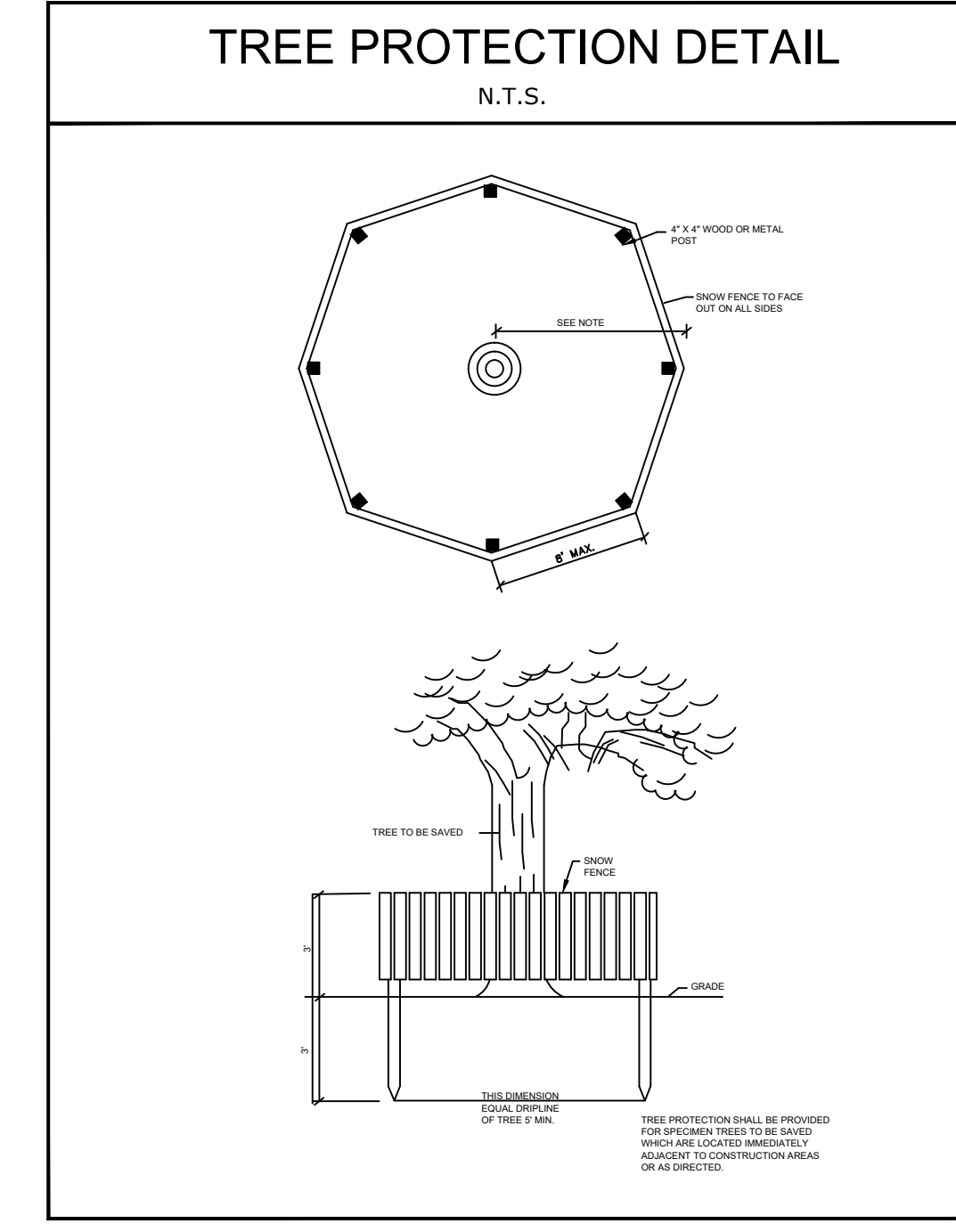
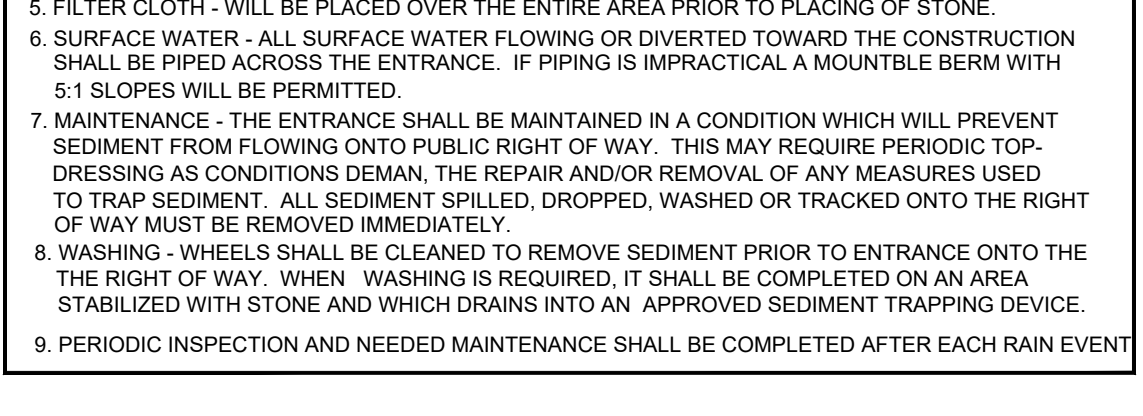
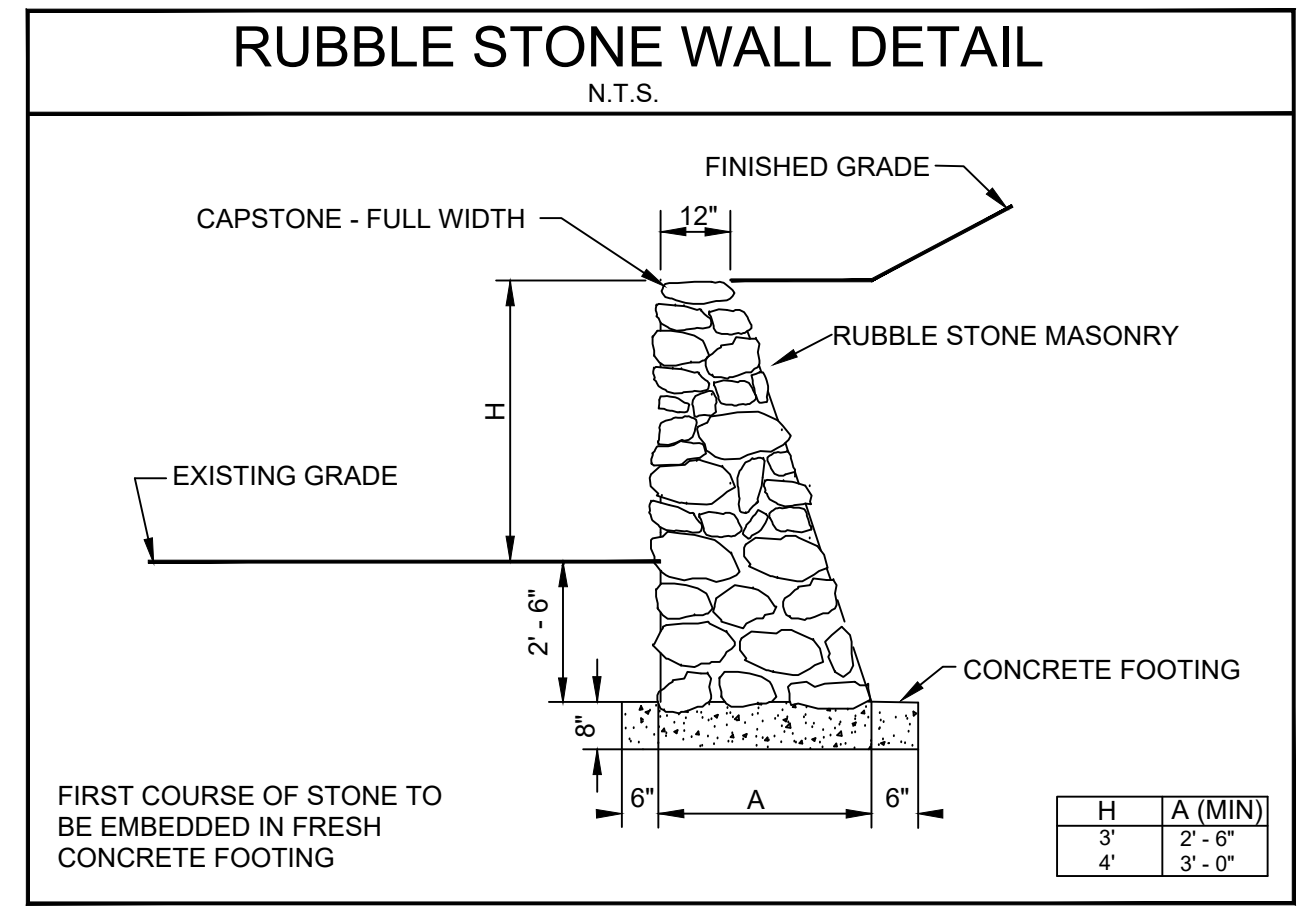
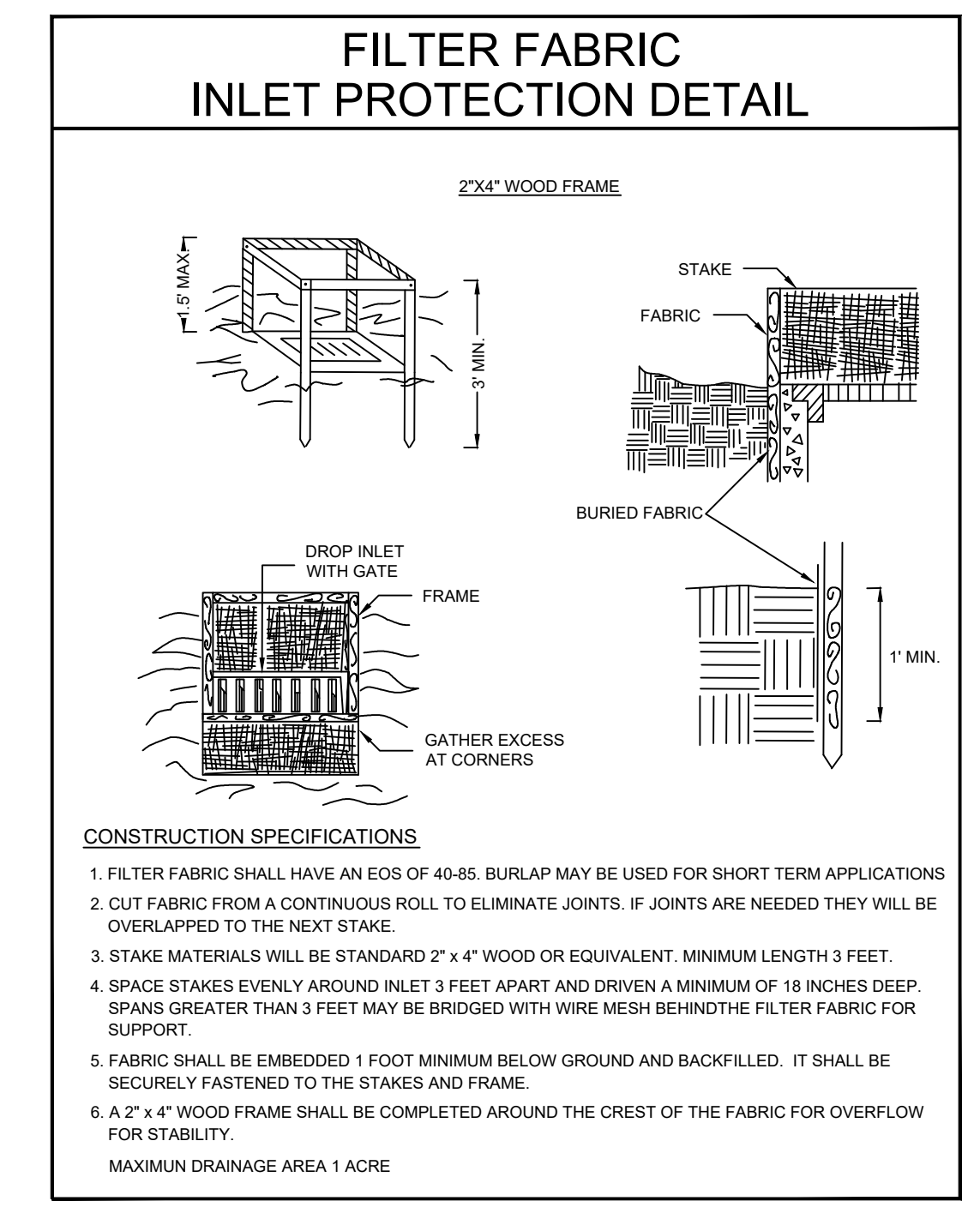
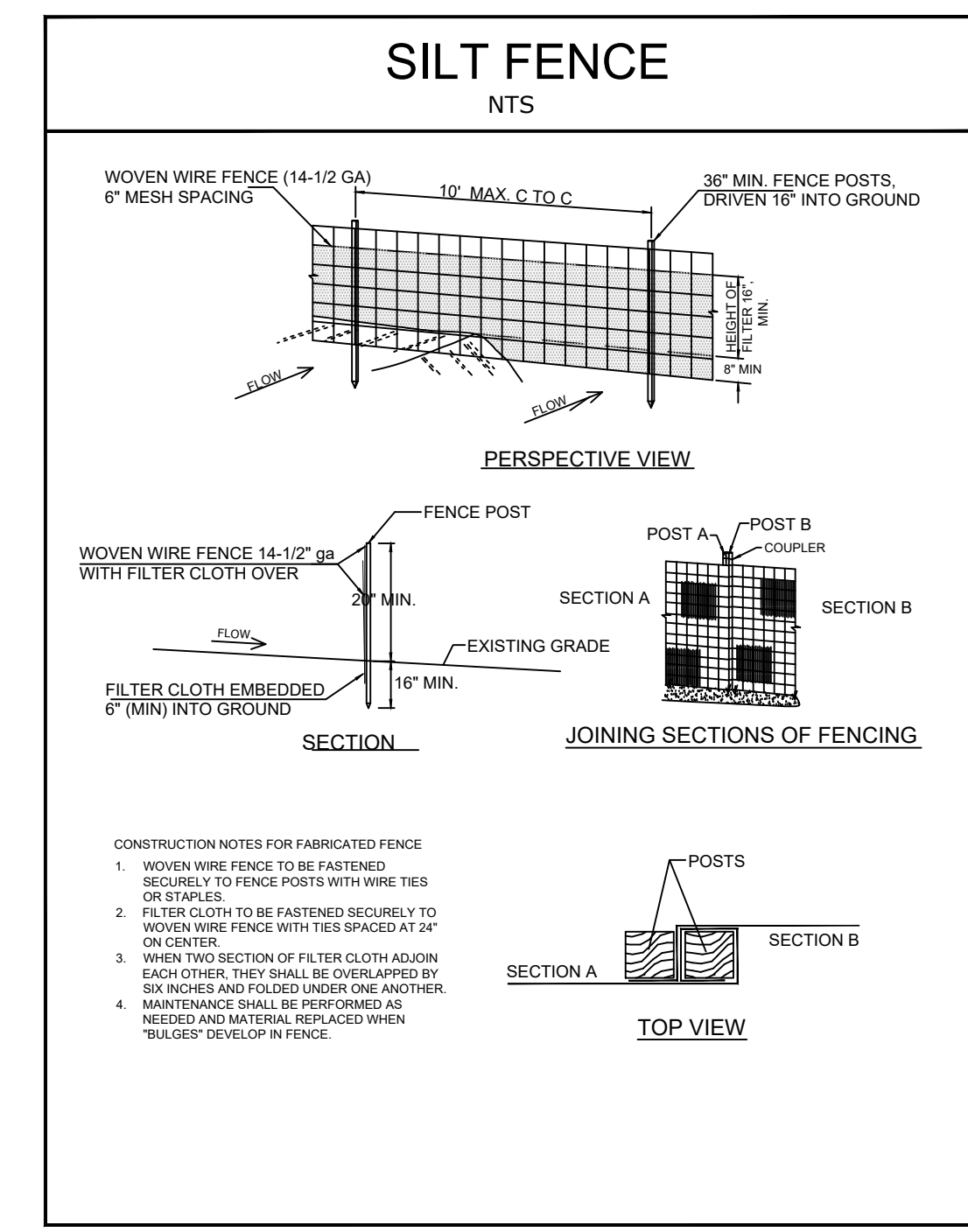
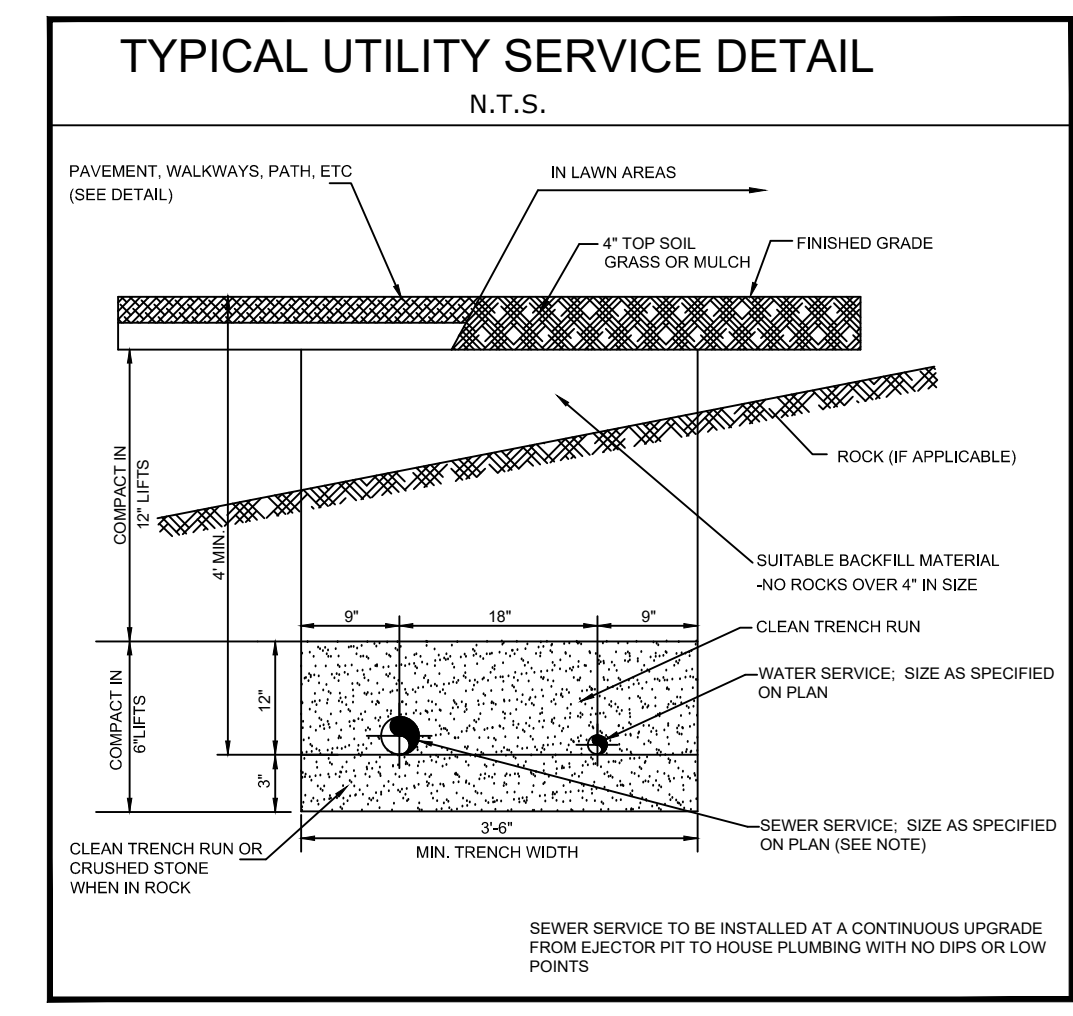
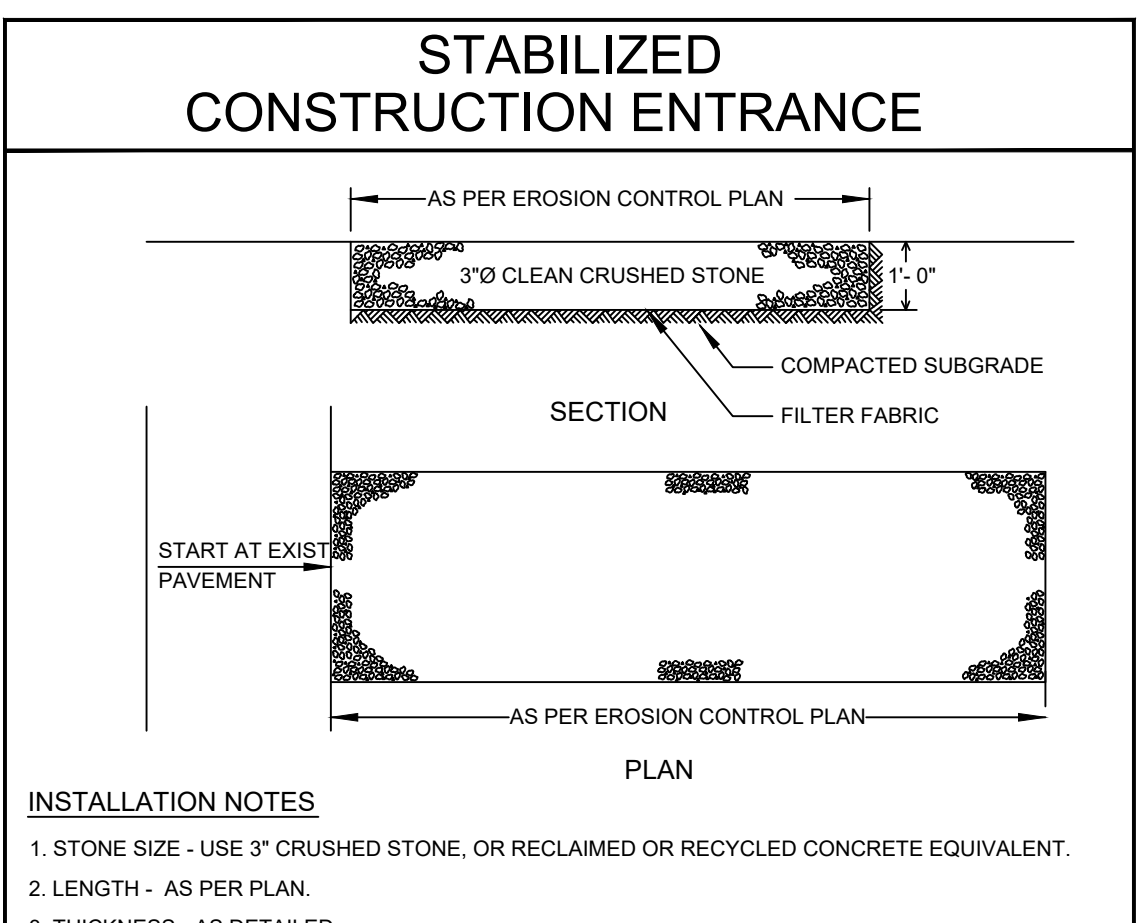
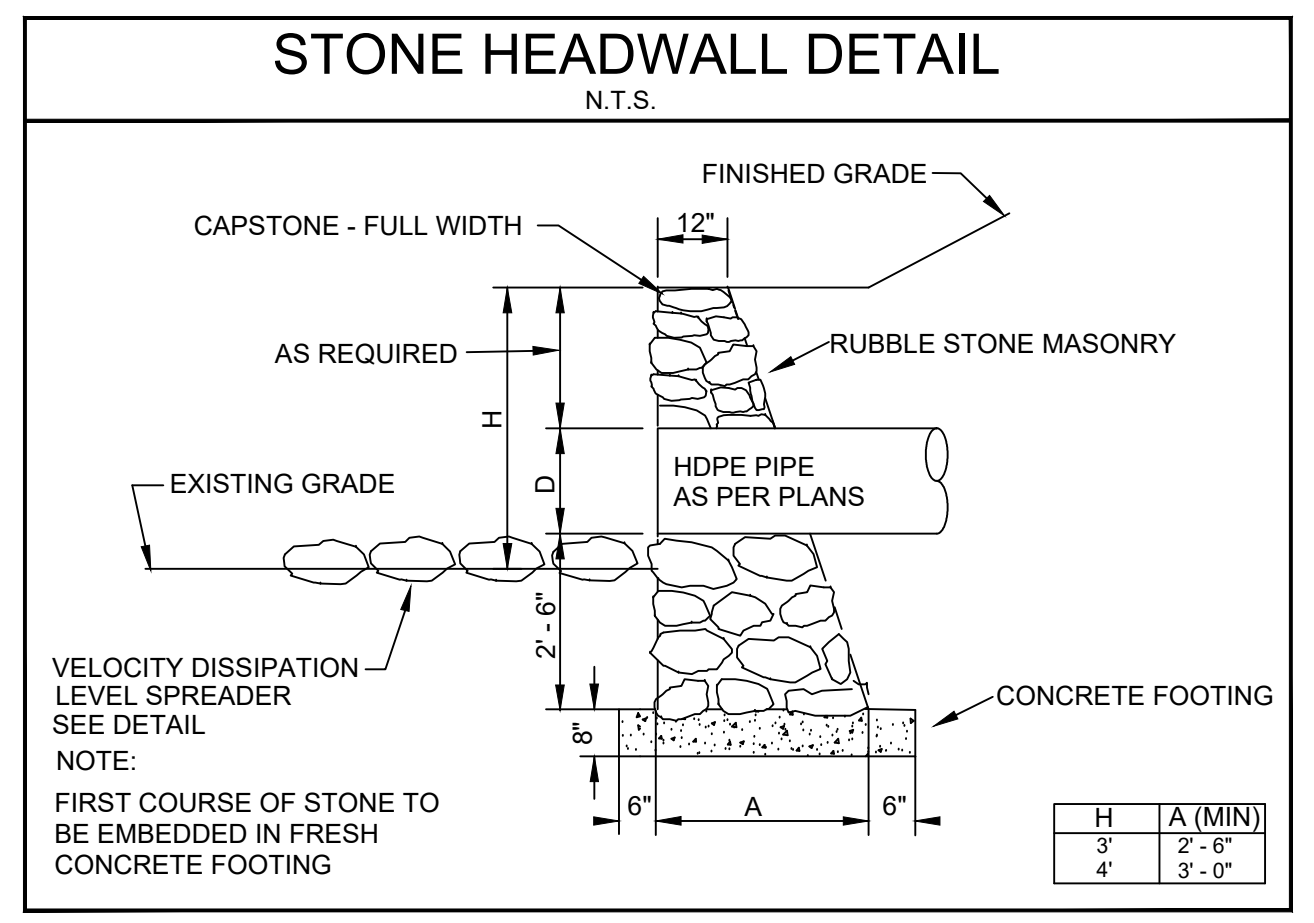
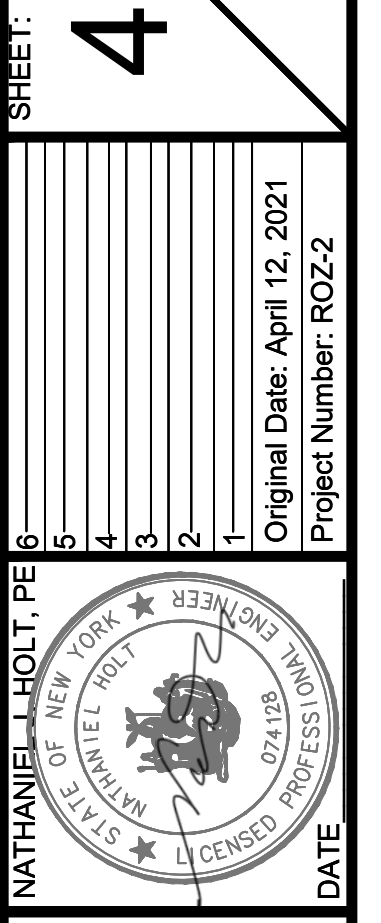
1" = 10'

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD
 RESOLUTION DATED: JUNE 19, 2017

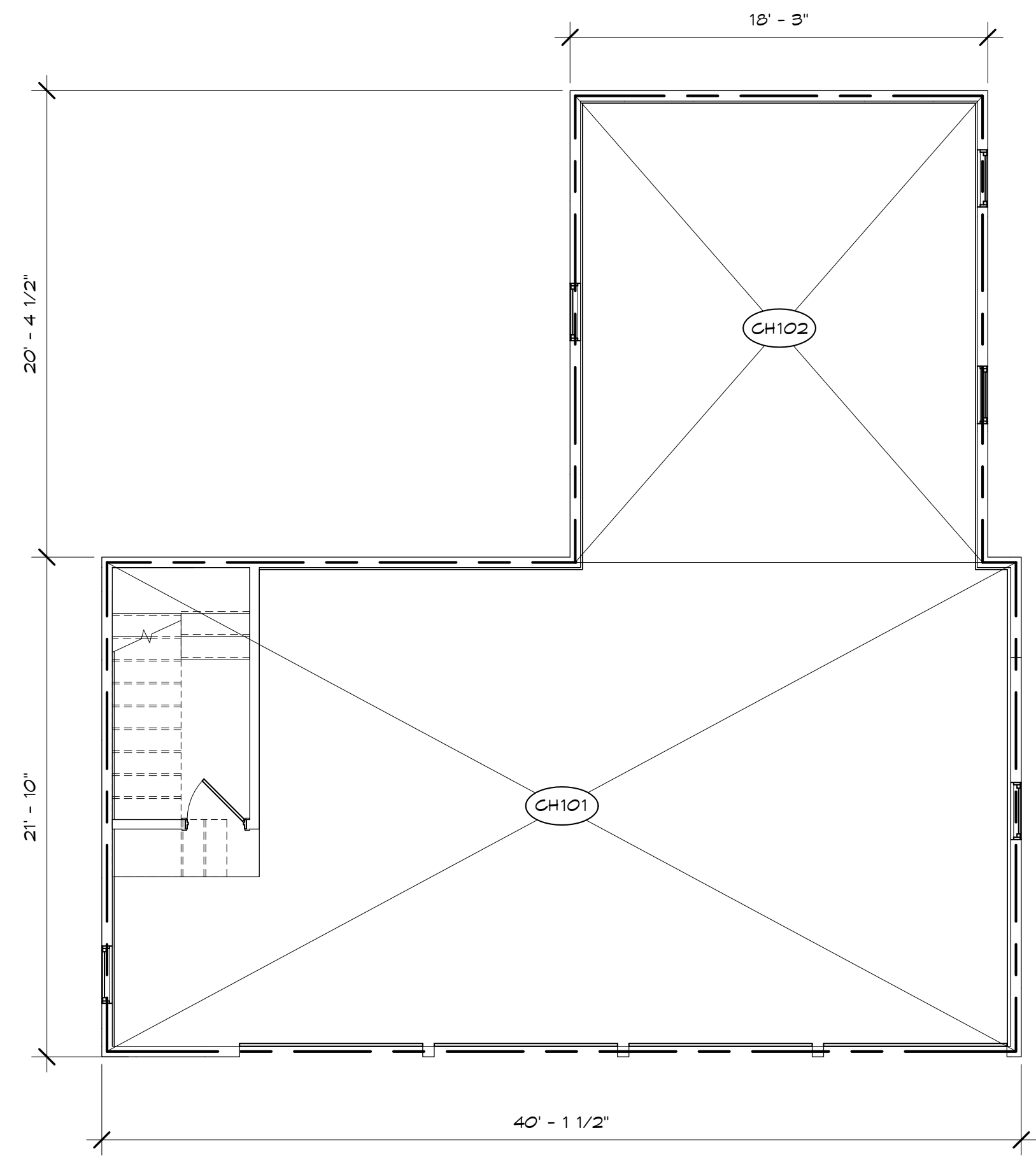
ENGINEERING DRAWING PLANS REVIEWED BY TOWN ENGINEER

JOSEPH CERMELE, PE _____ DATE: _____
 KELLARD SESSIONS, PC
 CONSULTING TOWN ENGINEERS

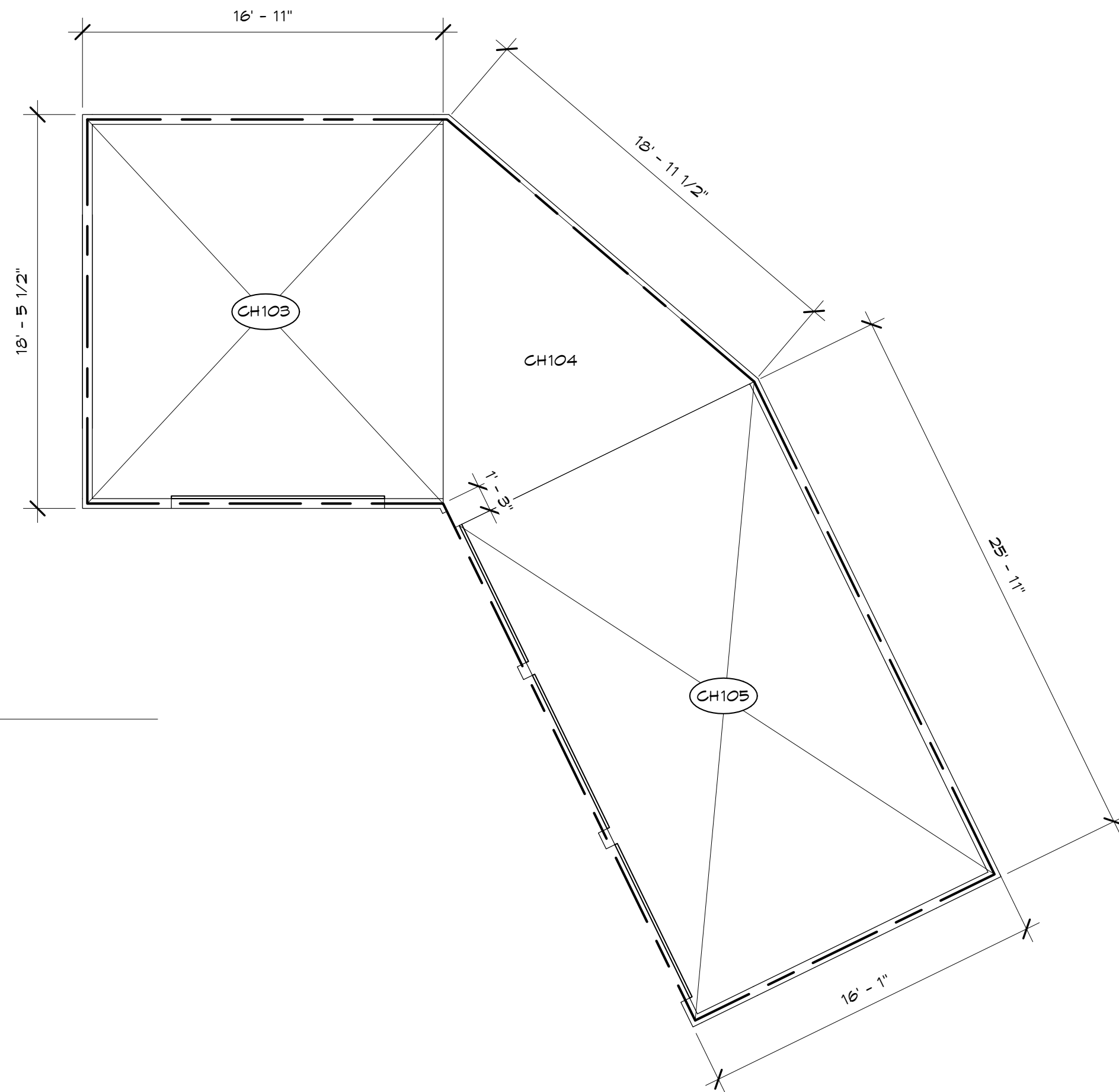
CHRISTOPHER CARTHY, CHAIR _____ DATE: _____
 TOWN OF NORTH CASTLE
 PLANNING BOARD



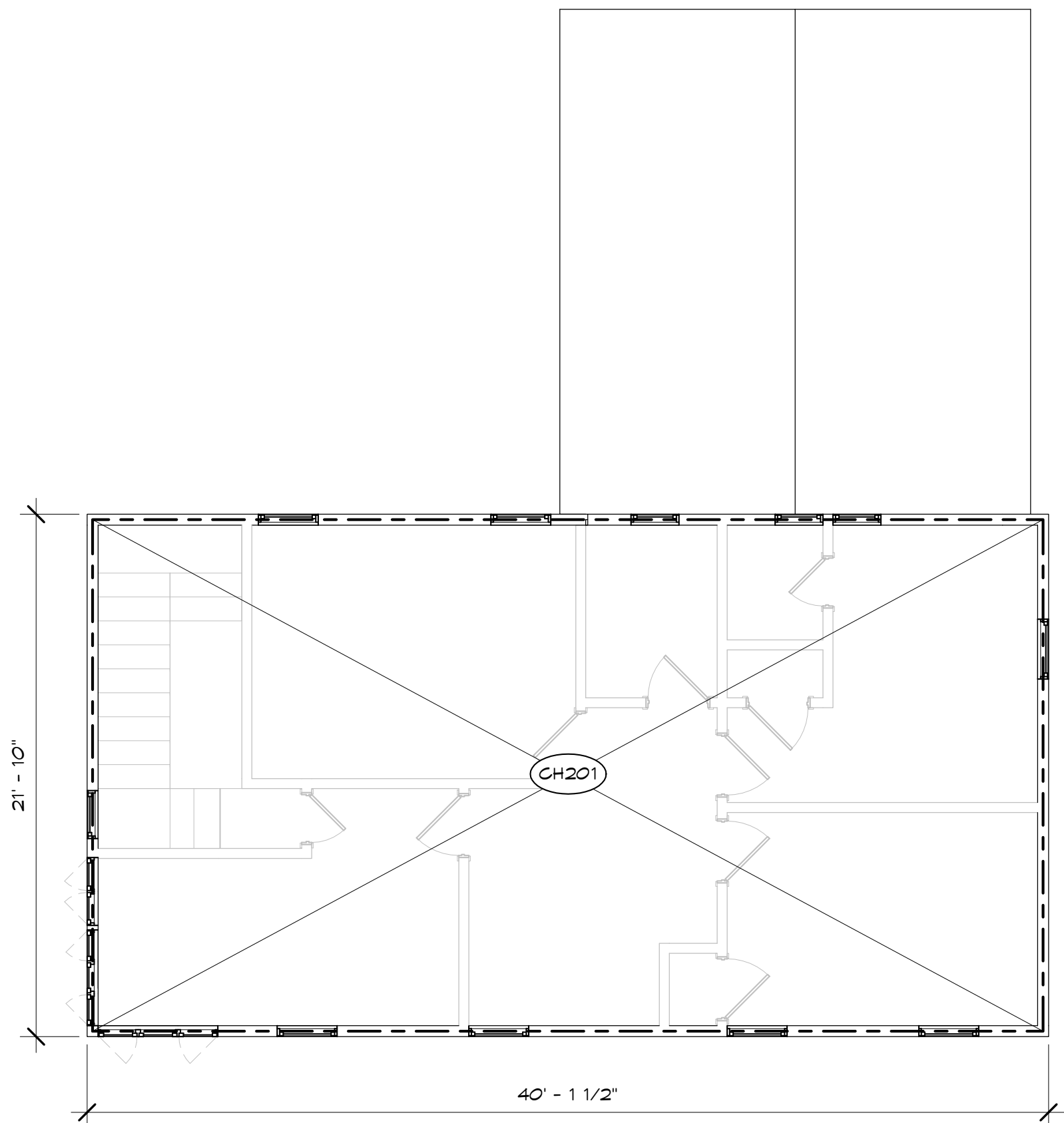
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1 FIRST FLOOR - EXISTING
 6-105 3/16" = 1'-0"

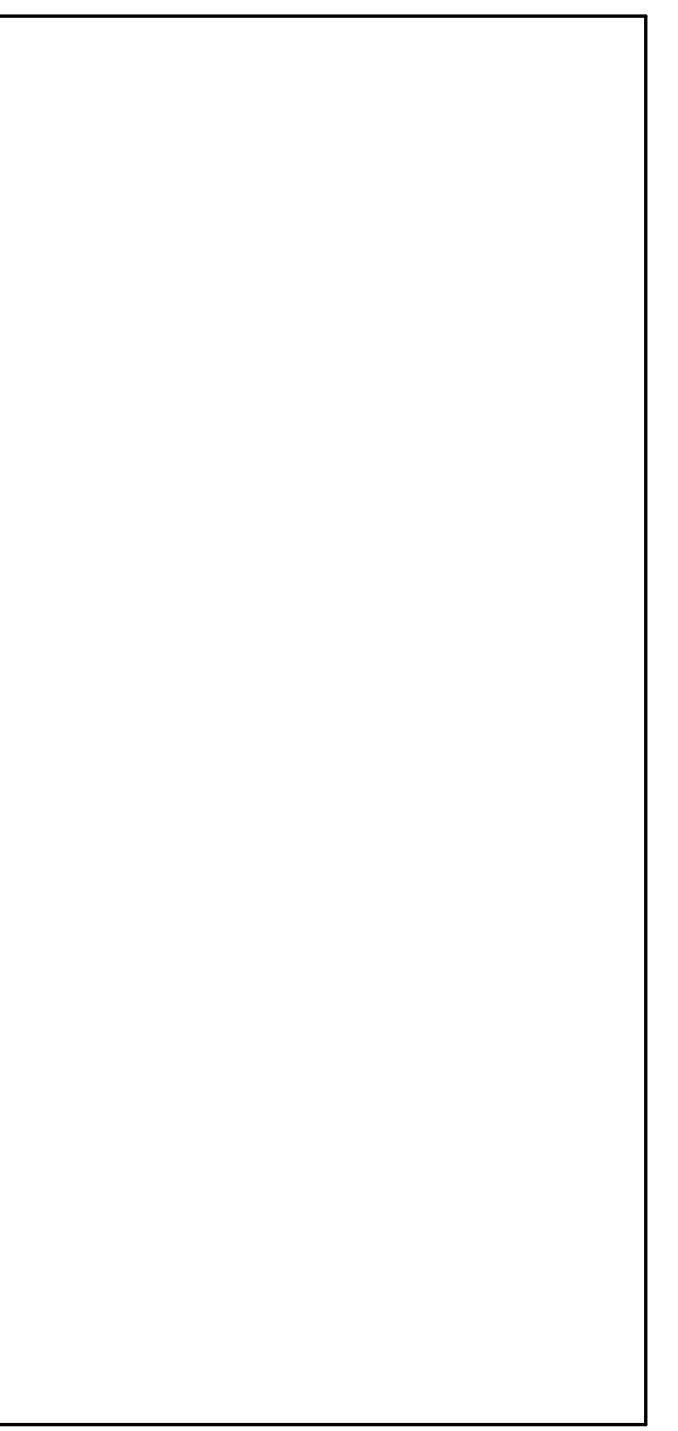


2 SECOND FLOOR - EXISTING
 6-105 3/16" = 1'-0"



FIRST FLOOR			
#	DIMENSIONS	AREA	REMARKS
CH101	41' - 1 1/2" X 21' - 10"	876 SF	
CH102	18' - 3" X 20' - 4 1/2"	371 SF	
CH103	18' - 5 1/2" X 16' - 11"	312 SF	
CH104	(1' - 3" + 18' - 11 1/2" x 15' - 7 1/2") / 2	153 SF	
CH105	16' - 1" X 25' - 11"	416 SF	
		TOTAL = 2,133 SF	
SECOND FLOOR			
CH201	40' - 1 1/2" X 21' - 10"	876 SF	
		TOTAL = 876 SF	

GRAND TOTAL = 3,009 SF



PERMIT DOCUMENT

IT IS A VIOLATION OF THE STATE EDUCATION LAW SECTION 1209 (2) FOR ANY PERSON TO ALTER AN ITEM IN ANY WAY UNLESS SUCH PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, AND THE ENGINEER STAMPS SUCH CHANGES

NOTE: DRAWING MAY BE PRINTED AT REDUCED SCALE

REVISION #	DATE	REMARKS

PROJECT:
 CARRIAGE HOUSE RENOVATION
ADDRESS:
 1503 OLD ORCHARD ST, WEST HARRISON, NY 10604

DRAWING TITLE:
 CARRIAGE HOUSE F.A.R. DIAGRAMS

PROJECT ARCHITECT REX B. GEDNEY	PROJECT # 3956-1
	SCALE: AS NOTED
	DATE: 04/09/21
	DRAWN: C.J.B.
	CHECKED: N.F.
CAD FILE: X-REF:	SHEET NUMBER G-105