



20 Mianus River Road: Renovation Plans
Consolidated Materials for Town of North Castle Planning Board
To be presented April 18, 2022

Summary

The house at 20 Mianus River Road was built fifty years ago (in 1972) and has never been materially renovated. The current owners, John and Leslie Needham, have developed plans to modernize the house, reduce the size of the footprint, and improve the aesthetics... while maintaining the unobtrusive qualities of this home in its beautiful, natural setting.

The home renovation will take place within the existing footprint, which will be reduced by 10%. Interior sq. footage will remain nearly the same (+2.8%).

The number of bedrooms (4) will be unchanged.

A small (12'x24') pool with accessory building will be added, carefully located clear of wetlands buffers and steep slopes.

Seven trees will be removed (the property is 6.87 acres).

Mianus River Road has been designated a "Scenic Roadscape," meaning that the Planning Board must review and approve. Our initial appearance at the January 24, 2022, Planning Board meeting was positively received leading to referral to the ARB, where we appeared on March 16, 2022, and received unanimous approval.



20 Mianus River Road, 1972

Pre and Post-Renovation Views



**Existing
from South**

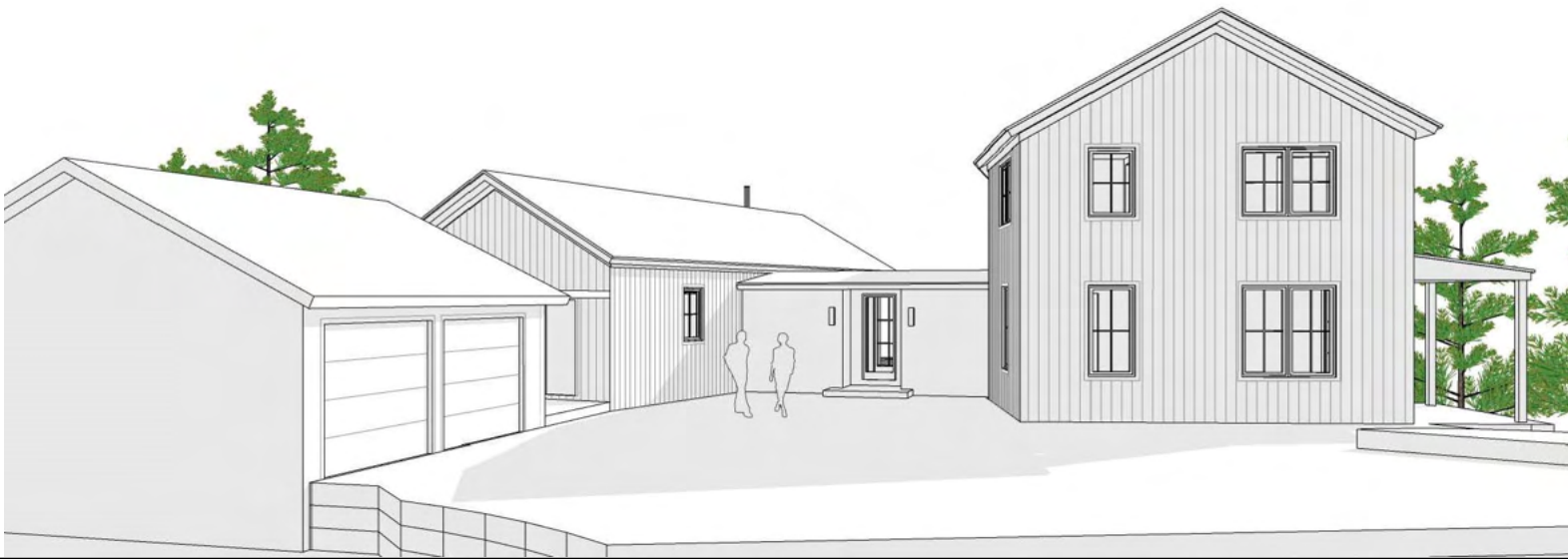


**Proposed
from South**

Pre and Post-Renovation Views



**Existing
from North**



**Proposed
from North**

Accessory Pool Building Elevation from Southeast



20 Mianus River Road Key Statistics

	<u>Existing</u>	<u>Proposed</u>	<u>+ / (-)</u>	<u>% + / (-)</u>
Main House Sq. Ft				
1st floor	2,445	2,145	(300)	-12.3%
2nd floor	480	978	498	103.8%
Garage	<u>661</u>	<u>562</u>	<u>(99)</u>	<u>-15.0%</u>
Total	3,586	3,685	99	2.8%
 Foundation Sq. Ft	 3,106	 2,809	 (297)	 -10%
 Number of Bedrooms	 4	 4	 0	
 Roof Height (at max)	 22'-1"	 26'-1"	 4 Ft.	
 Accessory Sq. Ft.	 0	 332	 332	

Adjacent Properties/Streets Map

- 1. 20 Mianus River Rd. (subject property)
- 2. 14 Mianus River Rd. (adjacent to south and east-also owned by Needham)
- 3. Jean Paul/Carol Ann Valles (adjacent to north)
- 4. Peter/Ellen Lamore (across the street)



Floor Area Worksheet



PLANNING
DEPARTMENT

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 20 Mianus LLC Date: 1/6/2022

Tax Map Designation or Proposed Lot No.: 96.03-1-22

Floor Area

- | | | |
|-----|---|-------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>6.81 acres</u> |
| 2. | Maximum permitted floor area (per Section 213-22.2B): | <u>17,357</u> |
| 3. | Amount of floor area contained within first floor:
<u>3156</u> existing + <u>-991</u> proposed = | <u>2145</u> |
| 4. | Amount of floor area contained within second floor:
<u>480</u> existing + <u>499</u> proposed = | <u>979</u> |
| 5. | Amount of floor area contained within garage:
<u>661</u> existing + <u>-99</u> proposed = | <u>562</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>405</u> proposed = | <u>405</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>368</u> existing + <u>276</u> proposed = | <u>644</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
existing + proposed = | <u>N/A</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>0</u> existing + <u>276</u> proposed = | <u>276</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>5,010</u> |

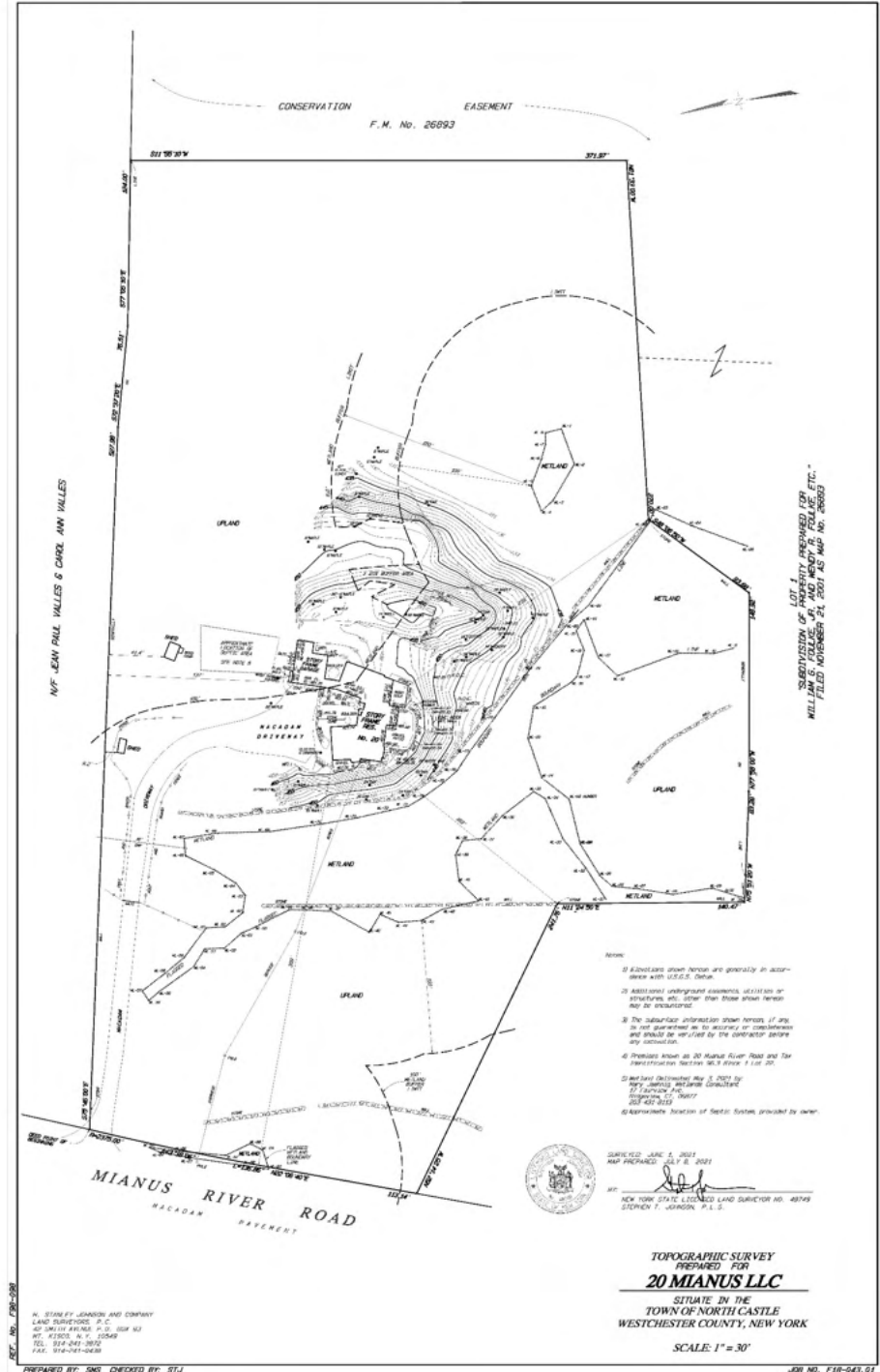
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project should be referred to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal **does not comply** with the Town's regulations.

Signature and Stamp of Professional Preparing Worksheet

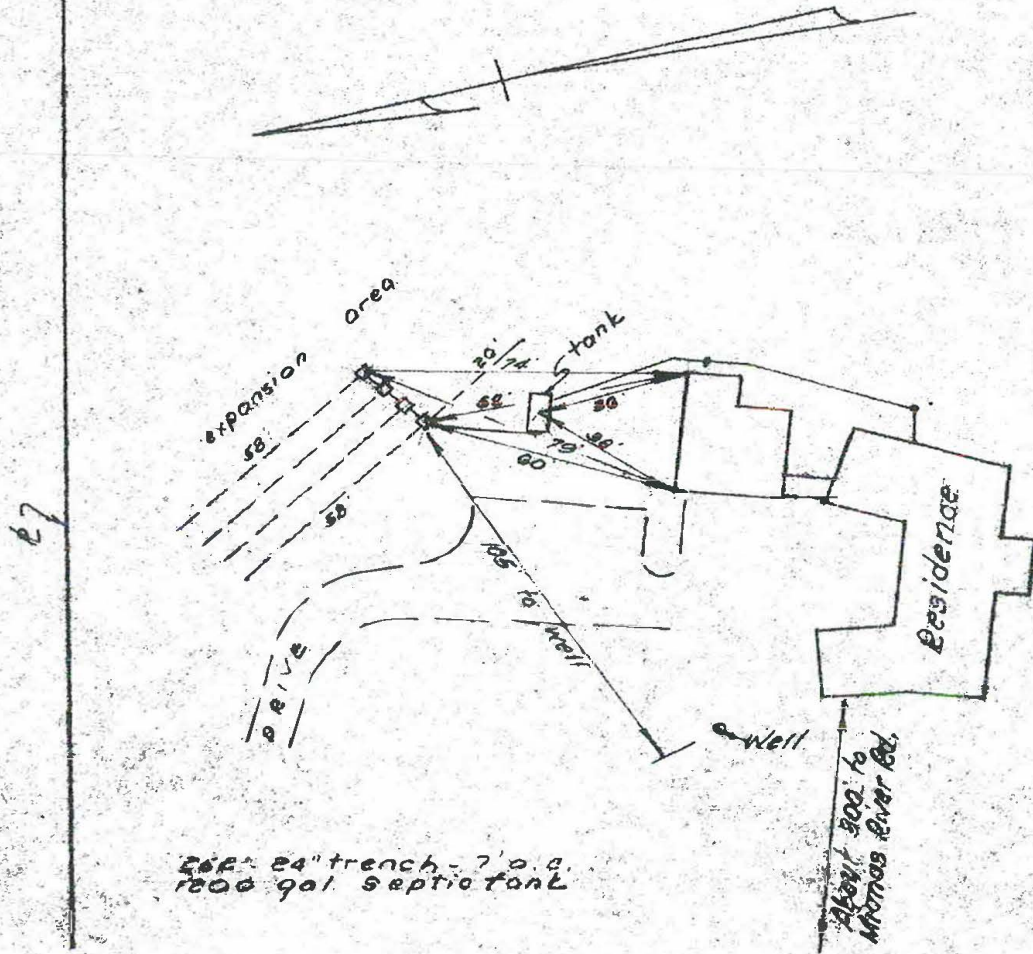
Date 1/6/2022

20 Mianus River Road: Property Survey

Updated July, 2021



Existing Septic Location (As Built survey, 1972)



ACCEPTED
 AS FINAL PLANS
 DATE 5/25/72
 WEST. CO. DEPT.
 OF HEALTH
 BY C. D. Ballato

I have supervised construction of the sewage disposal system on this site for compliance to Department of Health rules and regulations SD 22.

Harold F. Campbell, Jr.
 Harold F. Campbell, Jr., P.E.

AS BUILT SEWAGE SYSTEM	
Owner: Mrs. William Hubbell	
Town: North Castle	
Subdivision: Existing Lot	Lot: -
Tax Map: Sec. 1, Block 7, Lot 6	
Scale: 1" = 30'	May 2, 1972.

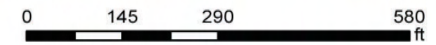
HAROLD F. CAMPBELL, CIVIL ENGINEERS & SURVEYORS, CHAPPAQUA, NEW YORK.



August 29, 2020

Tax parcel data was provided by local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.

1:3,000



Westchester County GIS

GIS
<http://giswww.westchestergov.com>
Michaelian Office Building
148 Martine Avenue Rm 214
White Plains, New York 10601

Needham Residence

20 Mianus River Road, Bedford NY 10506

Drawing List

ARCHITECTURE	
A-000.00	COVER PAGE
A-001.00	SITE PLAN & AERIAL PHOTO
A-200.00	CONSTRUCTION PLAN: BASEMENT
A-201.00	CONSTRUCTION PLAN: 1ST FLOOR
A-202.00	CONSTRUCTION PLAN: 2ND FLOOR
A-203.00	CONSTRUCTION PLAN: ROOF
A-400.00	EXTERIOR ELEVATIONS
A-401.00	EXTERIOR ELEVATIONS
A-402.00	EXTERIOR ELEVATIONS
A-403.00	EXTERIOR ELEVATIONS
A-700.00	RENDERINGS
A-701.00	RENDERINGS
A-702.00	RENDERINGS
A-703.00	PHOTOS

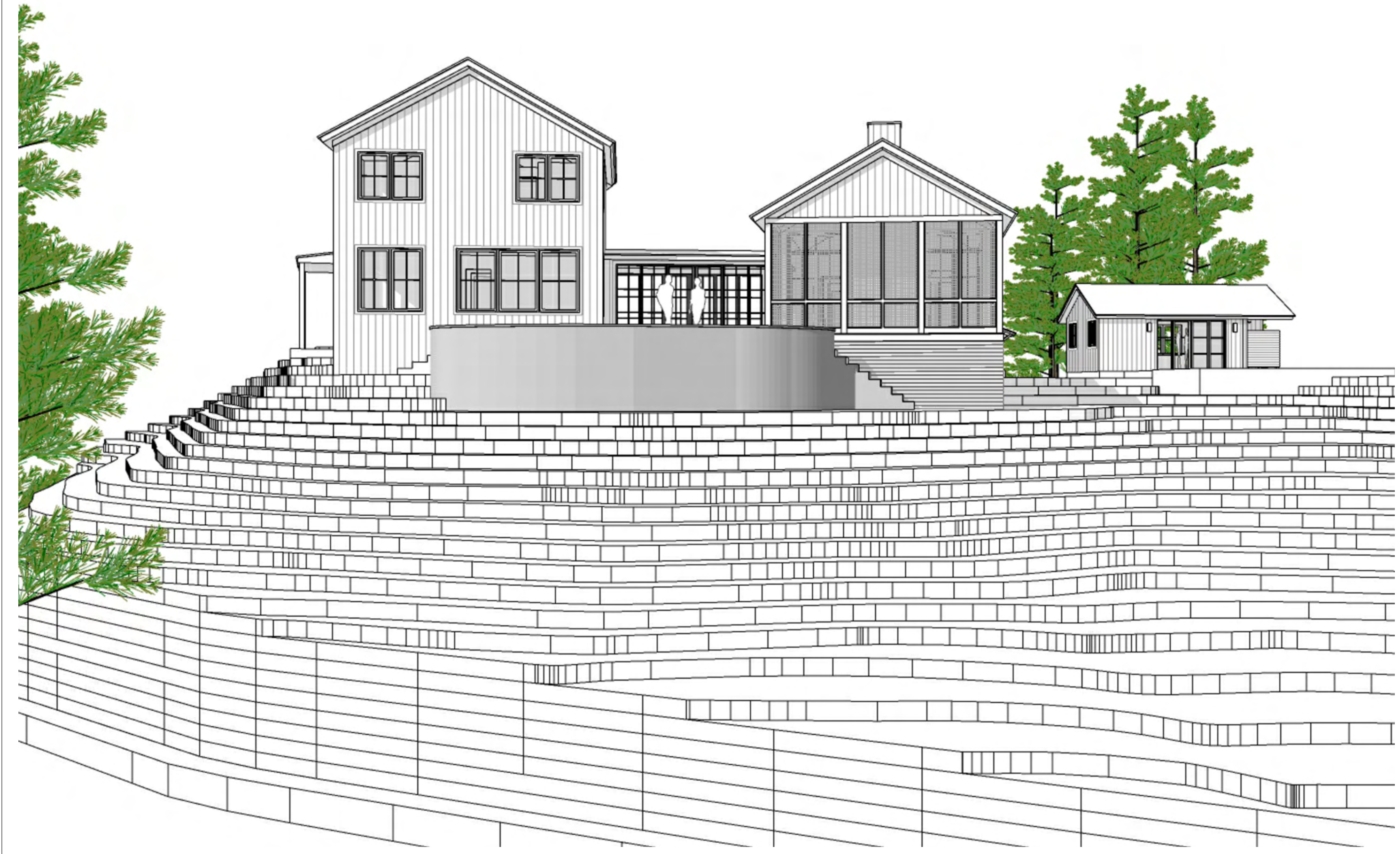
General Notes

- SITE VISIT: THE CONTRACTOR SHALL BE HELD TO HAVE VISITED THE SITE, EXAMINED THE PREMISES, DETERMINED FOR HER/HIMSELF THE EXISTING CONDITIONS, CHARACTER OF EQUIPMENT AND FACILITIES NEEDED FOR THE PERFORMANCE OF THE WORK, AND ALL MATTERS WHICH MAY IN ANY WAY AFFECT THE WORK BEFORE SUBMITTING A BID. A SITE VISIT MAY BE ARRANGED BY CONTACTING THE OWNER AS LISTED BELOW.
- DRAWINGS ARE NOT NECESSARILY DRAWN TO SCALE. UNDIMENSIONED ITEMS SHALL BE CLARIFIED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE TO FACE OF FINISH SURFACE, UNLESS NOTED OTHERWISE.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AND CHECKED IN THE FIELD PRIOR TO BEGINNING WORK ORDERING MATERIALS.
- DISCREPANCIES, ERRORS OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS, OR IN EXISTING CONDITIONS OR DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AND CHECKED IN THE FIELD PRIOR TO BEGINNING WORK OR ORDERING MATERIALS.
- PROJECT SHALL PROCEED IN A WORKPERSONLIKE MANNER, WITH FULL COORDINATION OF TRADES, PROPER SCHEDULING PROTECTION AND CLEANING OF SITE.
- DESIGN, COORDINATION AND EXECUTION OF THE CONSTRUCTION MEANS AND METHODS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE COORDINATED TO PREVENT DELAYS TO THE PROJECT AND PROVIDE FOR PROPER SEQUENCING OF TRADES.
- PROVIDE FIELD ENGINEERING AND LAYOUT OF CONSTRUCTION WORK; MAINTAIN ADEQUATE CONTROLS THROUGH DURATION OF PROJECT.
- OBTAIN ALL PERMITS, APPLICATIONS, CERTIFICATIONS, INSPECTIONS, AND FILING WORK REQUIRED BY GOVERNING AUTHORITIES AND AGENCIES, PAY ANY FEES RELATED THERETO.
- ALL WORK SHALL CONFORM TO REQUIREMENTS OF GOVERNING AUTHORITIES, AND GOVERNING VERSIONS OF THE FOLLOWING:
 - 2015 INTERNATIONAL RESIDENTIAL CODE
 - 2016 UNIFORM CODE SUPPLEMENT OF NEW YORK STATE
 - 2017 UNIFORM CODE SUPPLEMENT OF NEW YORK STATE
 - NORTH CASTLE TOWN CODE
- CODES SHALL BE THE LATEST EDITION, EXCEPT WHERE REQUIRED BY GOVERNING AUTHORITY.
- WHERE CODES ARE IN CONFLICT WITH EACH OTHER, OR WITH THE CONTRACT DOCUMENTS, THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY.
- COSTS INCLUDED IN ALLOWANCES: COST OF PRODUCT TO CONTRACTOR OR SUBCONTRACTOR, LESS APPLICABLE TRADE DISCOUNTS.
- COSTS NOT INCLUDED IN ALLOWANCES BUT INCLUDED IN THE CONTRACT SUM/PRICE: PRODUCT DELIVERY TO SITE AND HANDLING AT THE SITE, INCLUDING UNLOADING, UNCRATING, AND STORAGE; PROTECTION FROM THE ELEMENTS AND FROM DAMAGE; AND LABOR FOR INSTALLATION AND FINISHING.
- SUBSTITUTIONS: WHERE BIDDER PROPOSES TO PROVIDE MATERIALS OR ITEMS OTHER THAN THOSE SPECIFIED OR SHOWN ON THE CONTRACT DOCUMENTS, SUBMIT COMPLETE TECHNICAL DATA, TEST REPORTS, HISTORY OF EXPERIENCE WITH PRODUCT, AND SAMPLE WITH BID. INDICATE REASONS FOR SUBSTITUTION, COST DIFFERENTIAL, AND IMPACT UPON PROJECT AND RELATED WORK.
- PROGRESS SCHEDULE: SUBMIT BAR GRAPH OR FLOW CHART PROGRESS SCHEDULE OF WORK FOR THIS PROJECT. SHOW DATES, MILESTONES, OVERLAPPING WORK, CRITICAL PATH, AND BREAKDOWN OF TRADES.
- SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES REQUIRED BY THE CONTRACT DOCUMENTS. BEGIN NO FABRICATION OR WORK UNTIL RETURN OF SUBMITTAL WITH ARCHITECT'S APPROVAL.
- PRIOR TO SUBMISSION VERIFY THAT PROJECT CONFORMS WITH SPECIFICATIONS AND CHECK WITH DRAWINGS.
- FIT ELEMENTS OF CONSTRUCTION TIGHTLY, WITH PROPER ANCHORAGE, AND WITHOUT GAPS, CRACKS, WARPING, WRIST OR OTHERWISE UNSIGHTLY VARIATIONS. SURFACES AND EDGES SHALL BE COPLANAR AND IN ALIGNMENT.
- INSTALL MANUFACTURED ITEMS IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- WARRANTY: THE CONTRACTOR SHALL GUARANTEE ALL OF THE WORK FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF FINAL ACCEPTANCE. IN ADDITION, MANUFACTURERS WARRANTIES ON INDIVIDUAL COMPONENTS SHALL BE IN FULL EFFECT FOR THE PERIOD STATED BY THE MANUFACTURER, WITHIN GUARANTEE PERIOD, UPON NOTIFICATION BY OWNER, CONTRACTOR SHALL REPAIR, REPLACE OR CORRECT SAID DEFECT WITHOUT COST TO OWNER.
- STAGING AND PARKING: STAGING (MATERIALS AND EQUIPMENT STORAGE AND WORK AREAS, ETC.) SHALL BE ONLY ON EXISTING DRIVE AND ON SITE WHERE PERMITTED BY OWNER. ON-SITE PARKING AVAILABLE ONLY WHEN VEHICULAR ACCESS TO RESIDENCE IS MAINTAINED; PARKING NOT PERMITTED ON LAWNS, TURF, PLANTINGS OR OTHER LANDSCAPED AREAS. WHERE ADDITIONAL SPACE IS REQUIRED VERIFY LOCATION WITH ARCHITECT; RESTORE SITE TO ORIGINAL CONDITION WHEN SPACE IS NO LONGER REQUIRED FOR CONSTRUCTION.
- PROVIDE CODE AND REGULATORY AGENCY APPROVED UTILITIES AS REQUIRED TO PERFORM WORK WHERE EXISTING UTILITIES ARE INSUFFICIENT OR UNSATISFACTORY.
- CONTRACTOR SHALL ARRANGE FOR HER/HIS OWN TELEPHONE SERVICES.
- PROVIDE POWER AND WATER DISTRIBUTION SYSTEMS.
- PROVIDE TEMPORARY HEATING AND COOLING AS REQUIRED TO MAINTAIN AMBIENT TEMPERATURES BETWEEN 60 DEGREES F. AND 80 DEGREES F. WHEN INSTALLING FINISH MATERIALS AND FINISHES.
- PROVIDE AND MAINTAIN ALL CONSTRUCTION AIDS AND EQUIPMENT SUCH AS TEMPORARY HOISTS, CHUTES, SCAFFOLDS, STAGING, LADDERS, AND SIMILAR ITEMS.
- PROVIDE PROTECTION FOR ALL ITEMS THAT WILL REMAIN IN THE FINISHED PROJECT, INCLUDING, BUT NOT LIMITED TO: LANDSCAPING, TREES, UTILITIES, EXISTING CONSTRUCTION, SITE IMPROVEMENTS.
- PROVIDE SNOW FENCING OR EQUAL AROUND EXISTING TREES AND LANDSCAPING ADJACENT TO STAGING AND PARKING AREAS AND ADJACENT TO WORK AREAS UTILIZING HEAVY EQUIPMENT.
- PROVIDE AND MAINTAIN ADEQUATE FIRE PROTECTION DEVICES. REMOVE COMBUSTIBLE REFUSE FROM SITE DAILY; KEEP NO VOLATILE LIQUIDS ON SITE.
- SECURITY: OWNER WILL NOT BE RESPONSIBLE FOR LOSS OR DAMAGE TO CONSTRUCTION MATERIALS, EQUIPMENT OR TOOLS DUE TO THEFT, VANDALISM OR ANY OTHER CAUSE. TAKE NECESSARY PRECAUTIONS AND MEASURES TO PREVENT SUCH LOSSES.
- TEMPORARY ENCLOSURES, BARRIERS, AND PROTECTION SHALL BE STRUCTURALLY ADEQUATE FOR THE REQUIRED PURPOSES AND SHALL BE REASONABLY NEAT AND UNIFORM IN APPEARANCE. PROVIDE PERIODIC MAINTENANCE AND CLEANING.
- REMOVE ALL RUBBISH AND DISCARDED SURPLUS MATERIALS FROM THE SITE AND LEGALLY DISPOSE OF OFF-SITE. COMPLETELY REMOVE TEMPORARY FACILITIES AND CONTROLS AT COMPLETION OF PROJECT.
- COMPLETELY CLEANUP BUILDING AND SITE AREAS WHERE WORK HAS TAKEN PLACE. RESTORE EXISTING FINISHES TO ORIGINAL CONDITION. LEAVE THE PREMISES READY FOR USE AND OCCUPANCY WITHOUT THE NEED OF FURTHER CLEANING OF ANY KIND.
- PERFORM OPERATIONAL TESTS OF ALL MECHANICAL AND ELECTRICAL SYSTEMS AND APPLIANCES IN THE PRESENCE OF THE OWNER AND ARCHITECT. INSTRUCT OWNER HOW TO OPERATE ALL MECHANICAL AND ELECTRICAL SYSTEMS AND APPLIANCES, PROVIDE WRITTEN DESCRIPTIONS.

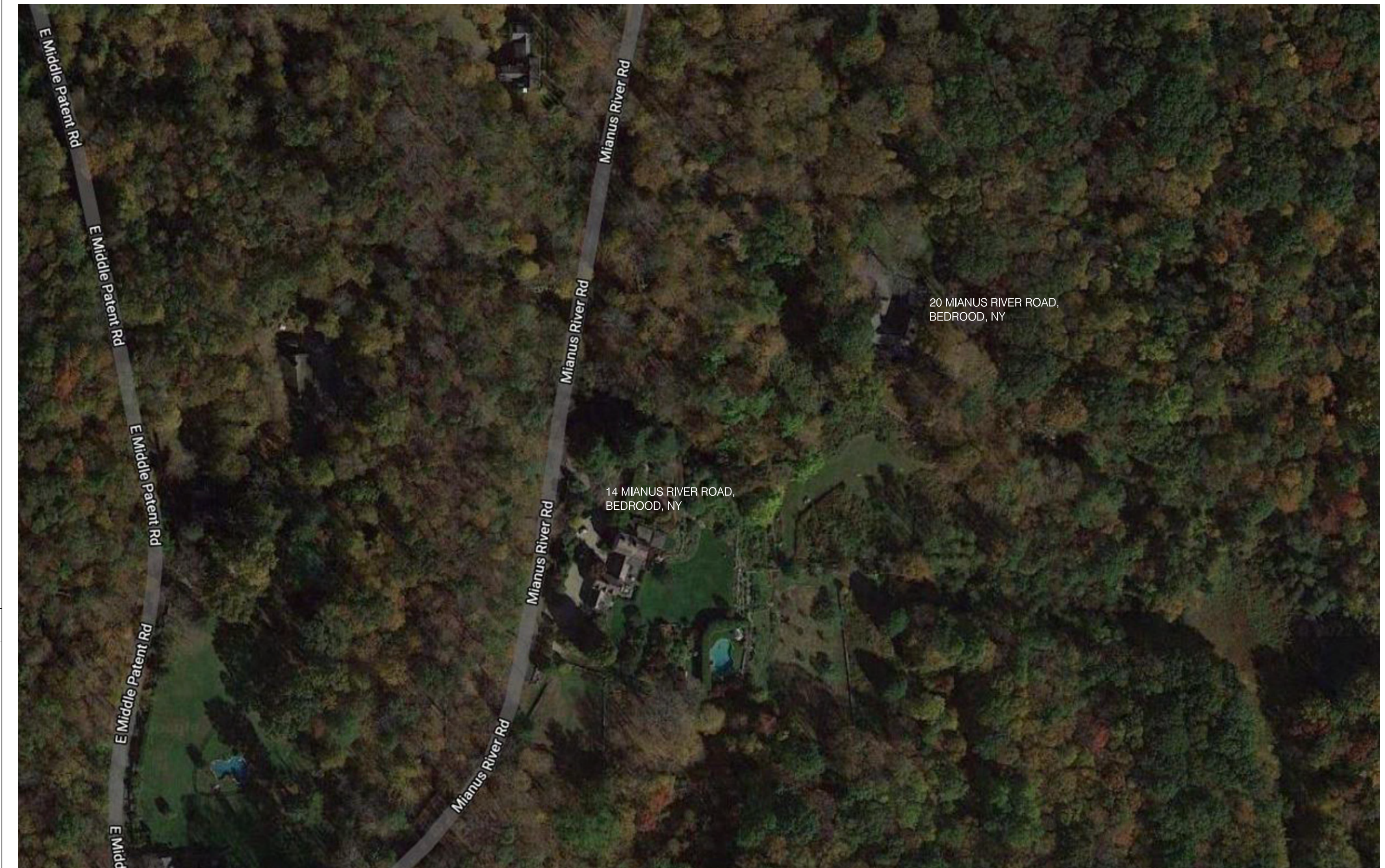
General Legend

ROOM NUMBER & NAME	#	ROOM NAME	INTERIOR ELEVATION KEY	ELEVATION REF
DOOR TAG	01			A-600
COMBINATION SMOKE/CARBON MONOXIDE DETECTOR	SC			DRAWING REF
WINDOW TAG	W-01			SECTION REF
		DETAIL REF.		ELEVATION REF
DETAIL KEY	A-1	DRAWING REF.		ELEVATION KEY

Rendering



Google Map



Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers

NO.	DATE
01	03/04/2022
02	04/01/2022

DESCRIPTION
ARCHITECTURE REVIEW BOARD
PLANNING BOARD REVIEW

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

Title Sheet

Scale as Noted Project No. 21.07

A-000.00

Site Plan



Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers

Date

Aerial Photo



NO.	DATE	DESCRIPTION
01	03/04/2022	ARCHITECTURE REVIEW BOARD
02	04/01/2022	PLANNING BOARD REVIEW

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com

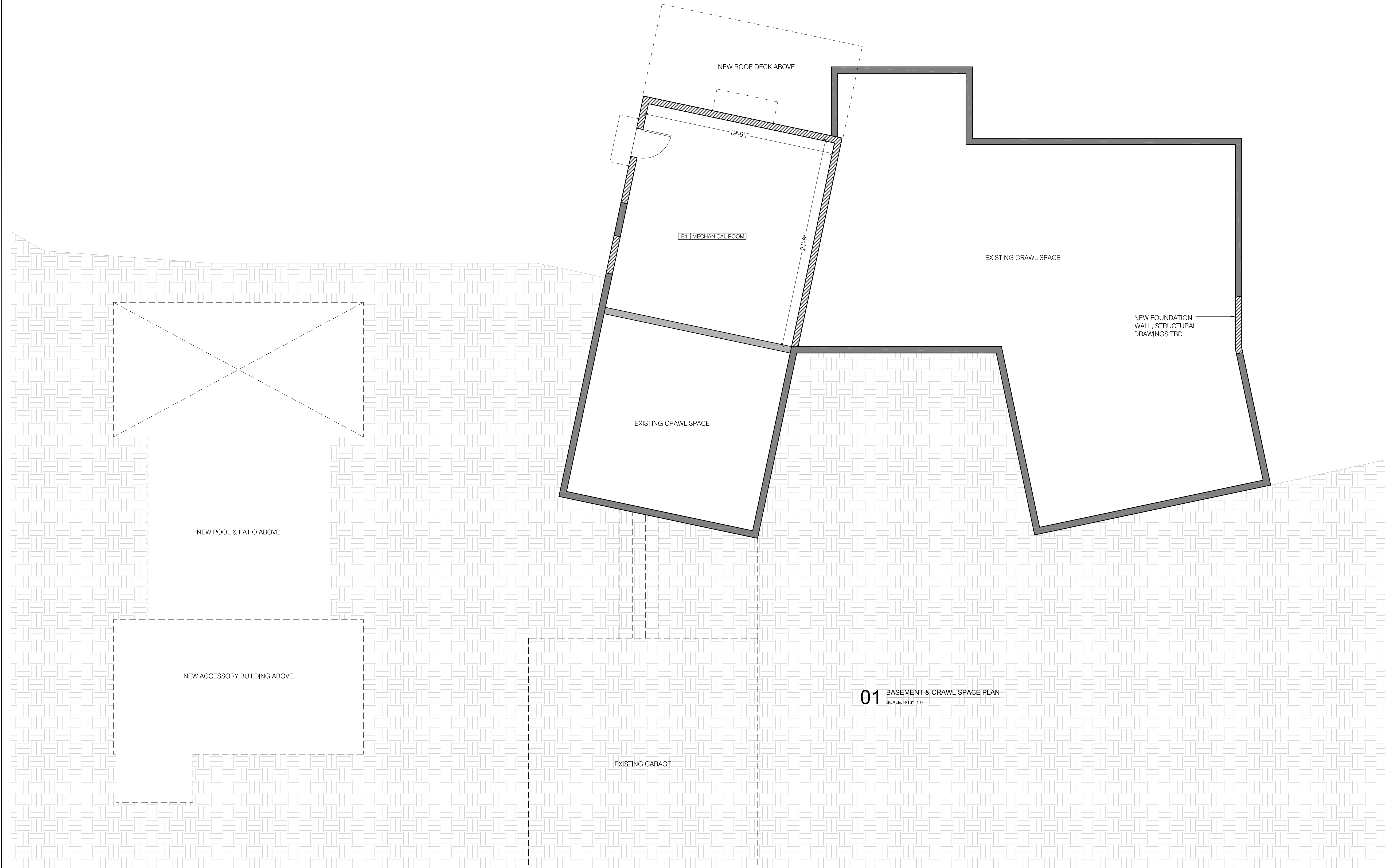


Needham Residence
20 Mianus River Road
Bedford, NY 10506

Site Plan & Aerial Photo

Scale as Noted Project No. 21.07

A-001.00



01 BASEMENT & CRAWL SPACE PLAN
SCALE: 3/16"=1'-0"

Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman, Town of North Castle Planning Board _____ Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE, Kellard Sessions Consulting Consulting Town Engineers _____ Date

Legend	
	NEW EXTERIOR WALL
	NEW INTERIOR PARTITION
	NEW FOUNDATION
	EXISTING WALL

Insulation Notes	
PROVIDE MINIMUM R-6 (PER INCH) CLOSED CELL SPRAY-FOAM INSULATION AT ALL CAVITIES AND BETWEEN ALL STUDS AT EXTERIOR WALLS, ROOF & CRAWL SPACE.	
MINIMUM TOTAL R-VALUES AS FOLLOWS:	
EXTERIOR WALLS	R-26 (PROVIDE HYBRID OF 3" SPRAYFOAM + BATT MINERAL WOOL INSULATION)
WALLS	R-49
CRAWL SPACE	R-39

HURRICANE IMPACT PROTECTION:

PROVIDE PROTECTION AT ALL EXTERIOR WINDOWS AND DOORS, PER CODE USING PREDRILLED ATTACHMENT METHODS AND PANELS

AS PER IRC 2015 R301.2.1.2 PROTECTION OF OPENINGS: EXTERIOR GLAZING IN BUILDINGS LOCATED ON WINDBORNE DEBRIS REGIONS SHALL BE PROTECTED FROM WINDBORNE DEBRIS. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OR ASTM E 1996 AND ASTM E 1886 REFERENCED THEREIN. THE APPLICABLE WIND ZONES FOR ESTABLISHING MISSILE TYPES IN ASTM E 1996 ARE SHOWN ON FIGURE R301.2(4)C.

EXCEPTION:
WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" AND A MAXIMUM SPAN OF 8'-0" SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PREDRILLED AS REQUIRED FOR THE ANCHORAGE METHOD AND SHALL BE SECURED WITH THE ATTACHMENT HARDWARE PROVIDED. ATTACHMENT SHALL BE DESIGNED TO RESIST THE COMPONENT AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH EITHER TABLE R301.2(2) OR ASCE 7. WITH THE PERMANENT CORROSION RESISTANT ATTACHMENT HARDWARE PROVIDED AS ANCHORS PERMANENTLY INSTALLED IN THE BUILDING. ATTACHMENT IN ACCORDANCE WITH TABLE 301.2.1.2 IS PERMITTED FOR BUILDINGS WITH A MEAN ROOF HEIGHT OF 33'-0" OR LESS WHERE LOCATED IN WIND ZONES 1 AND 2 IN ACCORDANCE WITH FIGURE R301.2(4)C.

- General Notes**
- NEW INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS W/ 5/8" SHEETROCK ON BOTH SIDES.
 - ROOF CEILING, JOINTS, SEAMS & PENETRATIONS TO THE EXTERIOR SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED W/ AIR BARRIER
 - ALL WINDOW SILLS TO BE WOOD U.O.N.
 - MAXIMIZE ALL CEILING HEIGHTS THROUGHOUT U.O.N.
 - RECONSTRUCTION OF PLUMBING ENCLOSURES IS REQUIRED USING ONLY NON-COMBUSTIBLE MATERIALS.
 - ALL PARTITIONS AT BATHROOMS, POWDER ROOMS & LAUNDRY AREA TO USE WATER-RESISTANT DRYWALL. USE MOISTURE-RESISTANT DRYWALL AT KITCHEN SINK & DISHWASHER AREA.
 - ALL PLYWOOD INSTALLATIONS FOR BACKING CABINETRY, ETC. ARE TO BE FIRE-RETARDANT TREATED PLYWOOD.
 - TV LOCATIONS REQUIRE FIRE-RETARDANT PLYWOOD BLOCKING ACROSS A MINIMUM OF (3) WOOD STUDS TO SUPPORT TV BRACKET OR WALL-MOUNTED FLAT SCREEN.
 - SKIM COAT AND PAINT ALL WALLS AND CEILINGS THROUGHOUT.
 - NO CHOPPING OR CHANNELING PERMITTED INTO STRUCTURAL BEAMS, CEILINGS, FLOOR JOISTS, LOAD BEARING COLUMNS/ WALLS OR FIRE-RATED CHASES/WALLS.
 - FIRE RATED, CODE COMPLIANT ACCESS DOORS TO BE LOCATED AS NEEDED AT ALL RISERS. ALL NEW CONSTRUCTION (CABINETRY, ENCLOSURES, ACCESS DOORS, ETC.) TO BE DESIGNED/INSTALLED TO MAINTAIN ACCESSIBILITY OF ALL HEATING, PLUMBING, GAS, ELECTRICAL & TELEPHONE PANELS, EXPANSION JOINTS, CLEANOUTS AND VALVES.
 - VIBRATION ISOLATION PADS ARE TO BE USED AT ALL SLIDING/POCKET/TRACK STYLE DOORS WHERE MOUNTINGS COME IN CONTACT WITH THE FLOOR OR CEILING.
 - ALL NEW WATER CLOSETS & ASSOCIATED FLUSH VALVES MUST MEET WATER SAVING PERFORMANCE STANDARDS AS WELL AS PROPER LABELING AS SET FORTH IN LOCAL LAW 29/89. WATER CLOSETS & ASSOCIATED FLUSH VALVES SHALL BE ON THE APPROVED LIST OF WATER SAVING DEVICES COMPILED BY THE NYS DEPT OF ENVIRONMENTAL CONSERVATION.
 - ALL SHOWERS & TUBS WILL HAVE ANTI-SCALD VALVES TO PREVENT WATER TEMPERATURE FROM EXCEEDING 120 DEGREES FAHRENHEIT.
 - NEW BRANCH PIPING SHALL BE ACCOMMODATED IN FLOORING DEPTH BETWEEN JOISTS.
 - ANY NEW WALL MOUNTED TOILET FLUSHMETERS AND/OR TANKS MUST BE INSTALLED ON FURRED OUT WALLS AT ALL HALLWAY/PARTY/CHASE WALL LOCATIONS.
 - ALL GLAZING IN BATHROOMS ARE TO BE TEMPERED GLASS PER R308.

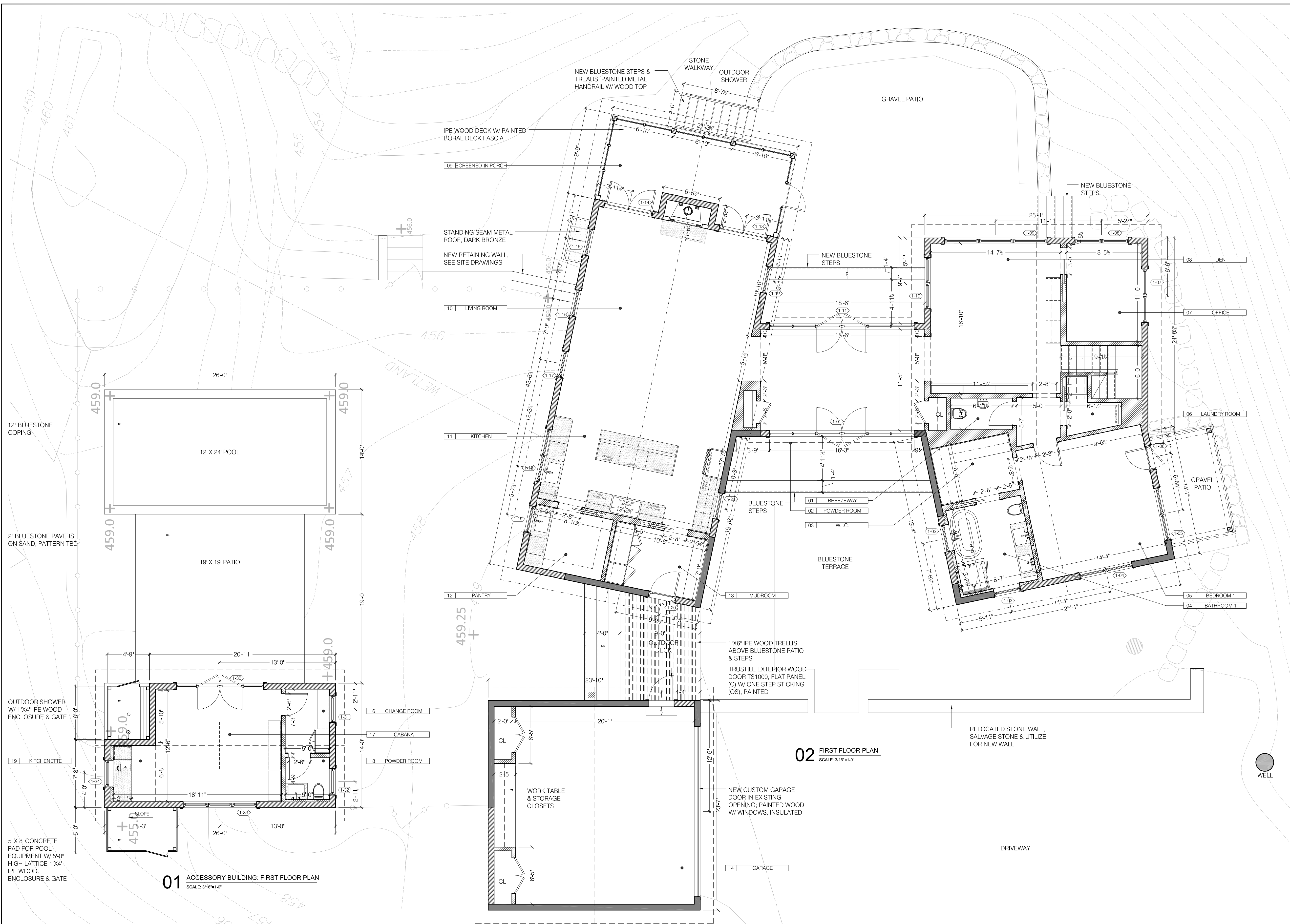
NO.	DATE	DESCRIPTION
01	03/04/2022	ARCHITECTURE REVIEW BOARD
02	04/01/2022	PLANNING BOARD REVIEW

plattdana
architects
80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

Construction Plan: Basement



Legend

- NEW EXTERIOR WALL
- NEW INTERIOR PARTITION
- NEW FOUNDATION
- EXISTING WALL

Insulation Notes

PROVIDE MINIMUM R-6 (PER INCH) CLOSED CELL SPRAY-FOAM INSULATION AT ALL CAVITIES AND BETWEEN ALL STUDS AT EXTERIOR WALLS, ROOF & CRAWL SPACE.

MINIMUM TOTAL R-VALUES AS FOLLOWS:

EXTERIOR WALLS R-26
(PROVIDE HYBRID OF 3" SPRAYFOAM + BATT MINERAL WOOL INSULATION)

WALLS R-49

CRAWL SPACE R-39

HURRICANE IMPACT PROTECTION:

PROVIDE PROTECTION AT ALL EXTERIOR WINDOWS AND DOORS, PER CODE USING PREDRILLED ATTACHMENT METHODS AND PANELS

AS PER IRC 2015 R301.2.1.2 PROTECTION OF OPENINGS: EXTERIOR GLAZING IN BUILDINGS LOCATED ON WINDBORNE DEBRIS REGIONS SHALL BE PROTECTED FROM WINDBORNE DEBRIS. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886 REFERENCED THEREIN. THE APPLICABLE WIND ZONES FOR ESTABLISHING MISSILE TYPES IN ASTM E 1996 ARE SHOWN ON FIGURE R301.2(4)C.

EXCEPTION: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" AND A MAXIMUM SPAN OF 8'-0" SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PREDRILLED AS REQUIRED FOR THE ANCHORAGE METHOD AND SHALL BE SECURED WITH THE ATTACHMENT HARDWARE PROVIDED. ATTACHMENT SHALL BE DESIGNED TO RESIST THE COMPONENT AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH EITHER TABLE R301.2(2) OR ASCE 7, WITH THE PERMANENT CORROSION RESISTANT ATTACHMENT HARDWARE PROVIDED AS ANCHORS PERMANENTLY INSTALLED IN THE BUILDING. ATTACHMENT IN ACCORDANCE WITH TABLE 301.2.1.2 IS PERMITTED FOR BUILDINGS WITH A MEAN ROOF HEIGHT OF 33'-0" OR LESS WHERE LOCATED IN WIND ZONES 1 AND 2 IN ACCORDANCE WITH FIGURE R301.2(4)C.

General Notes

1. NEW INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS W/ 5/8" SHEETROCK ON BOTH SIDES.
2. ROOF CEILING, JOINTS, SEAMS & PENETRATIONS TO THE EXTERIOR SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED W/ AIR BARRIER.
3. ALL WINDOW SILLS TO BE WOOD U.O.N.
4. MAXIMIZE ALL CEILING HEIGHTS THROUGHOUT U.O.N.
5. RECONSTRUCTION OF PLUMBING ENCLOSURES IS REQUIRED USING ONLY NON-COMBUSTIBLE MATERIALS.
6. ALL PARTITIONS AT BATHROOMS, POWDER ROOMS & LAUNDRY AREA TO USE WATER-RESISTANT DRYWALL. USE MOISTURE-RESISTANT DRYWALL AT KITCHEN SINK & DISHWASHER AREA.
7. ALL PLYWOOD INSTALLATIONS FOR BACKING CABINETRY, ETC. ARE TO BE FIRE-RETARDANT TREATED PLYWOOD.
8. TV LOCATIONS REQUIRE FIRE-RETARDANT PLYWOOD BLOCKING ACROSS A MINIMUM OF (3) WOOD STUDS TO SUPPORT TV BRACKET OR WALL-MOUNTED FLAT SCREEN.
9. SKIM COAT AND PAINT ALL WALLS AND CEILINGS THROUGHOUT.
10. NO CHOPPING OR CHANNELING PERMITTED INTO STRUCTURAL BEAMS, CEILINGS, FLOOR JOISTS, LOAD BEARING COLUMNS/ WALLS OR FIRE-RATED CHASES/WALLS.
11. FIRE RATED, CODE COMPLIANT ACCESS DOORS TO BE LOCATED AS NEEDED AT ALL RISERS. ALL NEW CONSTRUCTION (CABINETRY, ENCLOSURES, ACCESS DOORS, ETC.) TO BE DESIGNED/INSTALLED TO MAINTAIN ACCESSIBILITY OF ALL HEATING, PLUMBING, GAS, ELECTRICAL & TELEPHONE PANELS, EXPANSION JOINTS, CLEANOUTS AND VALVES.
12. VIBRATION ISOLATION PADS ARE TO BE USED AT ALL SLIDING/POCKET/TRACK STYLE DOORS WHERE MOUNTINGS COME IN CONTACT WITH THE FLOOR OR CEILING.
13. ALL NEW WATER CLOSETS & ASSOCIATED FLUSH VALVES MUST MEET WATER SAVING PERFORMANCE STANDARDS AS WELL AS PROPER LABELING AS SET FORTH IN LOCAL LAW 29/89. WATER CLOSETS & ASSOCIATED FLUSH VALVES SHALL BE ON THE APPROVED LIST OF WATER SAVING DEVICES COMPILED BY THE NYS DEPT OF ENVIRONMENTAL CONSERVATION.
14. ALL SHOWERS & TUBS WILL HAVE ANTI-SCALD VALVES TO PREVENT WATER TEMPERATURE FROM EXCEEDING 120 DEGREES FAHRENHEIT.
15. NEW BRANCH PIPING SHALL BE ACCOMMODATED IN FLOORING DEPTH BETWEEN JOISTS.
16. ANY NEW WALL MOUNTED TOILET FLUSHMETERS AND/OR TANKS MUST BE INSTALLED ON FURRED OUT WALLS AT ALL HALLWAY/PARTY/CHASE WALL LOCATIONS.
17. ALL GLAZING IN BATHROOMS ARE TO BE TEMPERED GLASS PER R308.

NO.	DATE	DESCRIPTION
01	03/04/2022	ARCHITECTURE REVIEW BOARD
02	04/01/2022	PLANNING BOARD REVIEW

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

Construction Plan: First Floor

Scale as Noted Project No. 21.07

A-201.00

Approved by Town of North Castle Planning Board Resolution, Dated: _____

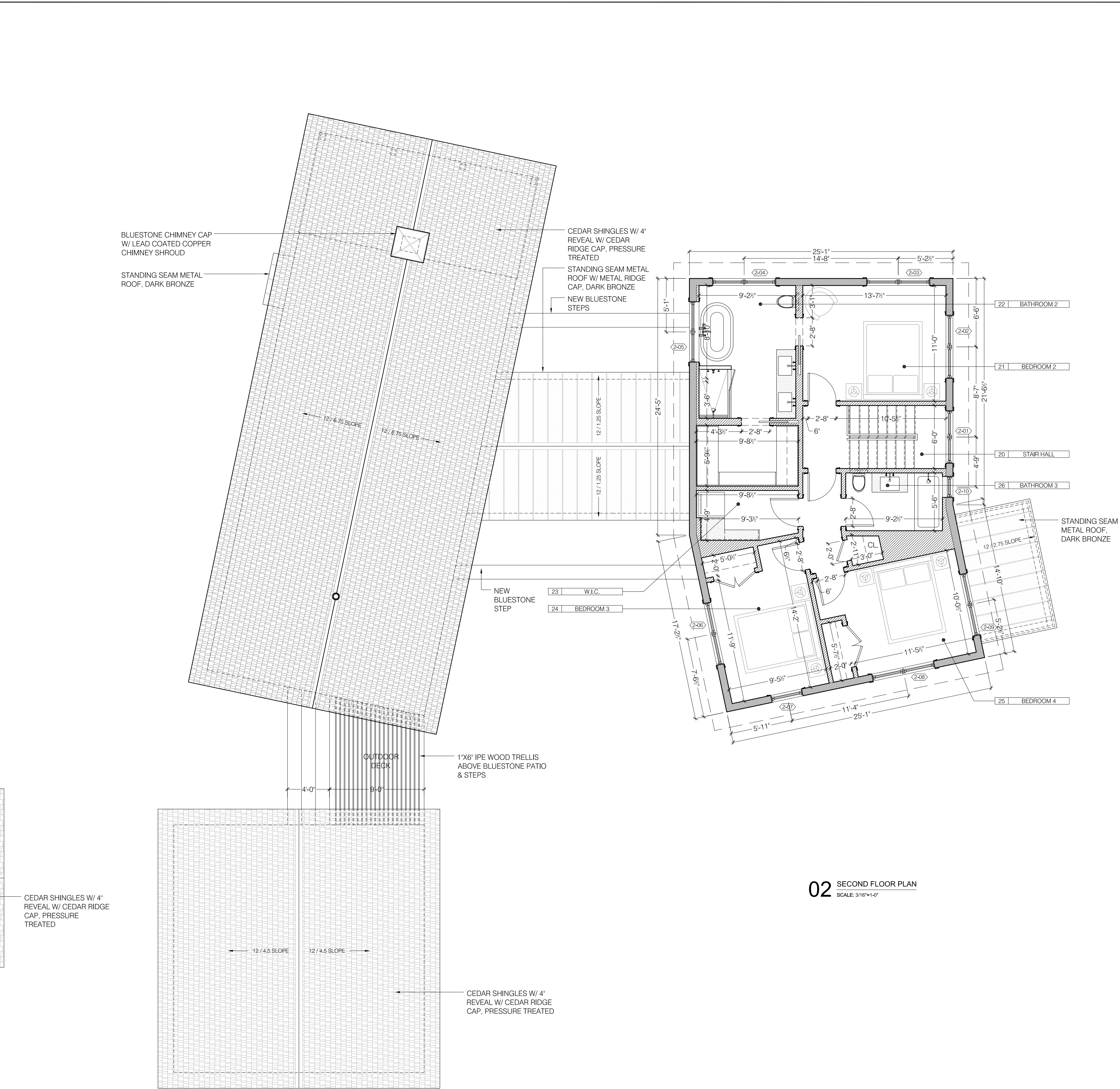
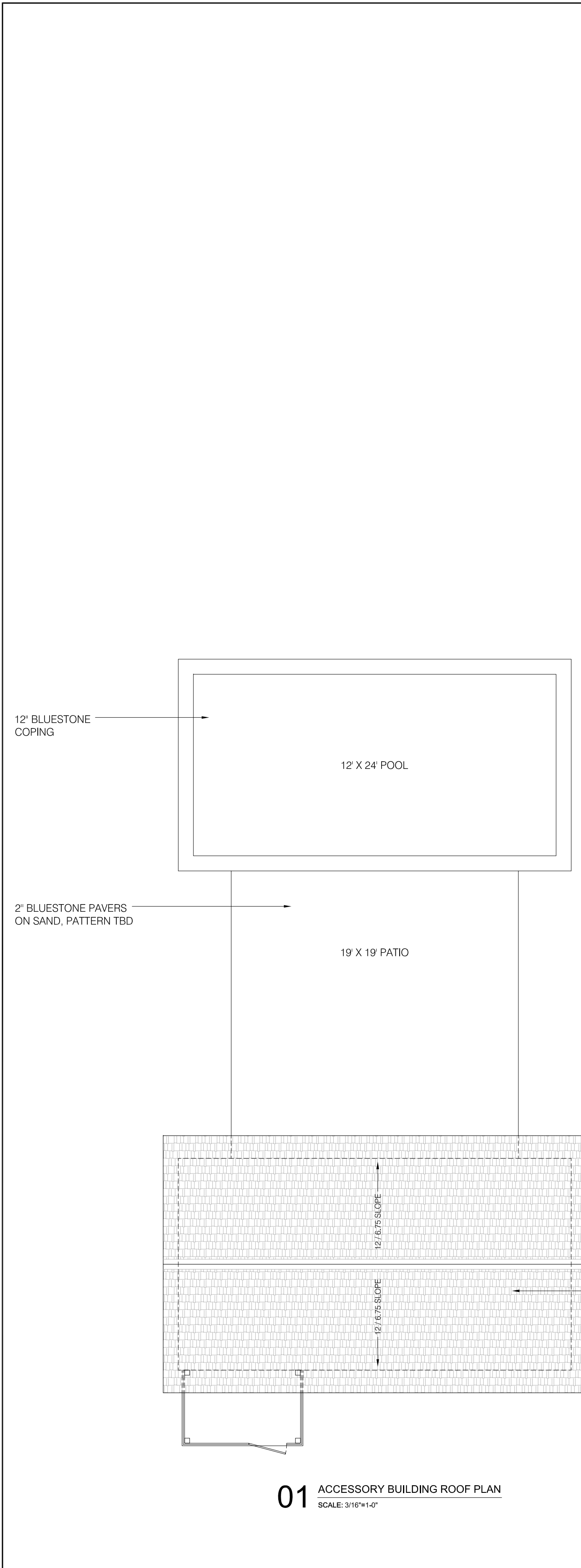
Christopher Carthy, Chairman, Town of North Castle Planning Board Date _____

Engineering Plans Reviewed for Conformance to Resolution: _____

Joseph M. Cermele, PE Kellard Sessions Consulting Consulting Town Engineers Date _____

02 FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

01 ACCESSORY BUILDING: FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



Legend

	NEW EXTERIOR WALL
	NEW INTERIOR PARTITION
	NEW FOUNDATION
	EXISTING WALL

Insulation Notes

PROVIDE MINIMUM R-6 (PER INCH) CLOSED CELL SPRAY-FOAM INSULATION AT ALL CAVITIES AND BETWEEN ALL STUDS AT EXTERIOR WALLS, ROOF & CRAWL SPACE.

MINIMUM TOTAL R-VALUES AS FOLLOWS:

EXTERIOR WALLS	R-26
WALLS	R-49
CRAWL SPACE	R-39

HURRICANE IMPACT PROTECTION:

PROVIDE PROTECTION AT ALL EXTERIOR WINDOWS AND DOORS, PER CODE USING PREDRILLED ATTACHMENT METHODS AND PANELS

AS PER IRC 2015 R301.2.1.2 PROTECTION OF OPENINGS: EXTERIOR GLAZING IN BUILDINGS LOCATED ON WINDBORNE DEBRIS REGIONS SHALL BE PROTECTED FROM WINDBORNE DEBRIS. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886 REFERENCED THEREIN. THE APPLICABLE WIND ZONES FOR ESTABLISHING MISSILE TYPES IN ASTM E 1996 ARE SHOWN ON FIGURE R301.2(4)C.

EXCEPTION: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16\"/>

- General Notes**
- NEW INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS W/ 5/8\"/>

NO.	DATE	DESCRIPTION
01	03/04/2022	ARCHITECTURE REVIEW BOARD
02	04/01/2022	PLANNING BOARD REVIEW

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

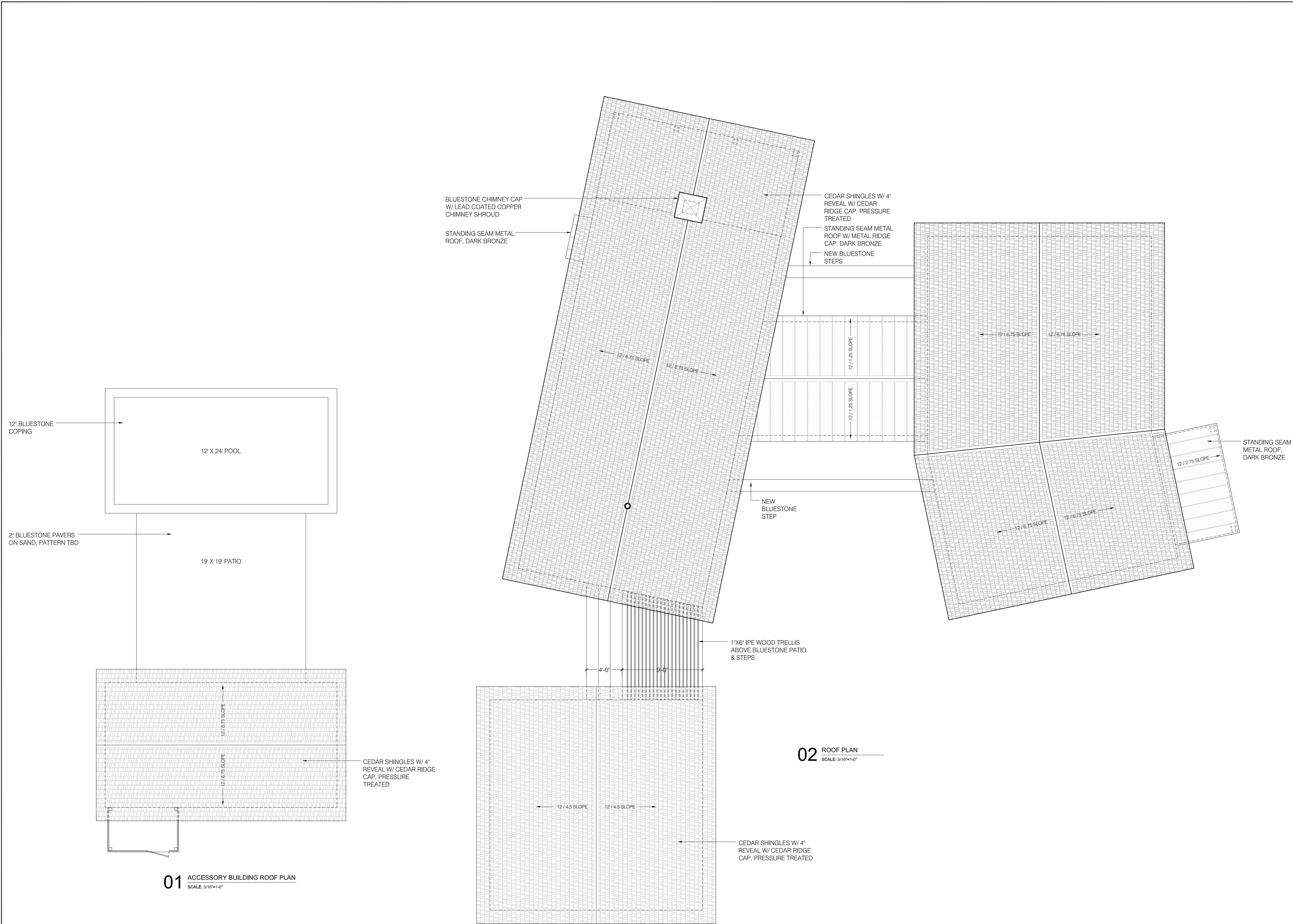
Construction Plan: 2nd Floor

Approved by Town of North Castle Planning Board Resolution, Dated: _____

Christopher Carthy, Chairman, Town of North Castle Planning Board Date _____

Engineering Plans Reviewed for Conformance to Resolution: _____

Joseph M. Cermele, PE Kellard Sessions Consulting Consulting Town Engineers Date _____



Legend	
	NEW EXTERIOR WALL
	NEW INTERIOR PARTITION
	NEW FOUNDATION
	EXISTING WALL

Insulation Notes

PROVIDE MINIMUM R-6 (PER INCH) CLOSED CELL SPRAY-FOAM INSULATION AT ALL CAVITIES AND BETWEEN ALL STUDS AT EXTERIOR WALLS, ROOF & CRAWL SPACE.

MINIMUM TOTAL R-VALUES AS FOLLOWS:

EXTERIOR WALLS	R-26
(PROVIDE HYBRID OF 3" SPRAYFOAM + BATT MINERAL WOOL INSULATION)	
WALLS	R-49
CRAWL SPACE	R-39

HURRICANE IMPACT PROTECTION:

PROVIDE PROTECTION AT ALL EXTERIOR WINDOWS AND DOORS, PER CODE USING PREDRILLED ATTACHMENT METHODS AND PANELS

AS PER IRC 2015 R301.2.1.2 PROTECTION OF OPENINGS: EXTERIOR GLAZING IN BUILDINGS LOCATED ON WINDBORNE DEBRIS REGIONS SHALL BE PROTECTED FROM WINDBORNE DEBRIS. GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND ASTM E 1886 REFERENCED THEREIN. THE APPLICABLE WIND ZONES FOR ESTABLISHING MISSILE TYPES IN ASTM E 1996 ARE SHOWN ON FIGURE R301.2(4)C.

EXCEPTION:
WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 7/16" AND A MAXIMUM SPAN OF 8'-0" SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT AND ATTACHED TO THE FRAMING SURROUNDING THE OPENING CONTAINING THE PRODUCT WITH THE GLAZED OPENING. PANELS SHALL BE PREDRILLED AS REQUIRED FOR THE ANCHORAGE METHOD AND SHALL BE SECURED WITH THE ATTACHMENT HARDWARE PROVIDED. ATTACHMENT SHALL BE DESIGNED TO RESIST THE COMPONENT AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH EITHER TABLE R301.2(2) OR ASCE 7. WITH THE PERMANENT CORROSION RESISTANT ATTACHMENT HARDWARE PROVIDED AS ANCHORS PERMANENTLY INSTALLED IN THE BUILDING. ATTACHMENT IN ACCORDANCE WITH TABLE 301.2.1.2 IS PERMITTED FOR BUILDINGS WITH A MEAN ROOF HEIGHT OF 33'-0" OR LESS WHERE LOCATED IN WIND ZONES 1 AND 2 IN ACCORDANCE WITH FIGURE R301.2(4)C.

- General Notes**
- NEW INTERIOR WALLS TO BE 2x4 OR 2x6 STUDS W/ 5/8" SHEETROCK ON BOTH SIDES.
 - ROOF CEILING, JOINTS, SEAMS & PENETRATIONS TO THE EXTERIOR SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED W/ AIR BARRIER.
 - ALL WINDOW SILLS TO BE WOOD U.O.N.
 - MAXIMIZE ALL CEILING HEIGHTS THROUGHOUT U.O.N.
 - RECONSTRUCTION OF PLUMBING ENCLOSURES IS REQUIRED USING ONLY NON-COMBUSTIBLE MATERIALS.
 - ALL PARTITIONS AT BATHROOMS, POWDER ROOMS & LAUNDRY AREA TO USE WATER-RESISTANT DRYWALL. USE MOISTURE-RESISTANT DRYWALL AT KITCHEN SINK & DISHWASHER AREA.
 - ALL PLYWOOD INSTALLATIONS FOR BACKING CABINETRY, ETC. ARE TO BE FIRE-RETARDANT TREATED PLYWOOD.
 - TV LOCATIONS REQUIRE FIRE-RETARDANT PLYWOOD BLOCKING ACROSS A MINIMUM OF (3) WOOD STUDS TO SUPPORT TV BRACKET OR WALL-MOUNTED FLAT SCREEN.
 - SKIM COAT AND PAINT ALL WALLS AND CEILINGS THROUGHOUT.
 - NO CHOPPING OR CHANNELING PERMITTED INTO STRUCTURAL BEAMS, CEILINGS, FLOOR JOISTS, LOAD BEARING COLUMNS/ WALLS OR FIRE-RATED CHASES/WALLS.
 - FIRE RATED, CODE COMPLIANT ACCESS DOORS TO BE LOCATED AS NEEDED AT ALL RISERS. ALL NEW CONSTRUCTION (CABINETRY, ENCLOSURES, ACCESS DOORS, ETC.) TO BE DESIGNED/INSTALLED TO MAINTAIN ACCESSIBILITY OF ALL HEATING, PLUMBING, GAS, ELECTRICAL & TELEPHONE PANELS, EXPANSION JOINTS, CLEANOUTS AND VALVES.
 - VIBRATION ISOLATION PADS ARE TO BE USED AT ALL SLIDING/POCKET/TRACK STYLE DOORS WHERE MOUNTINGS COME IN CONTACT WITH THE FLOOR OR CEILING.
 - ALL NEW WATER CLOSETS & ASSOCIATED FLUSH VALVES MUST MEET WATER SAVING PERFORMANCE STANDARDS AS WELL AS PROPER LABELING AS SET FORTH IN LOCAL LAW 29/89. WATER CLOSETS & ASSOCIATED FLUSH VALVES SHALL BE ON THE APPROVED LIST OF WATER SAVING DEVICES COMPILED BY THE NYS DEPT OF ENVIRONMENTAL CONSERVATION.
 - ALL SHOWERS & TUBS WILL HAVE ANTI-SCALD VALVES TO PREVENT WATER TEMPERATURE FROM EXCEEDING 120 DEGREES FAHRENHEIT.
 - NEW BRANCH PIPING SHALL BE ACCOMMODATED IN FLOORING DEPTH BETWEEN JOISTS.
 - ANY NEW WALL MOUNTED TOILET FLUSHMETERS AND/OR TANKS MUST BE INSTALLED ON FURRED OUT WALLS AT ALL HALLWAY/PARTY/CHASE WALL LOCATIONS.
 - ALL GLAZING IN BATHROOMS ARE TO BE TEMPERED GLASS PER R308.

NO.	DATE	DESCRIPTION
01	03/04/2022	ARCHITECTURE REVIEW BOARD
02	04/01/2022	PLANNING BOARD REVIEW

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

Construction Plan: Roof

Scale as Noted Project No. 21.07

A-203.00

Approved by Town of North Castle Planning Board Resolution, Dated: _____

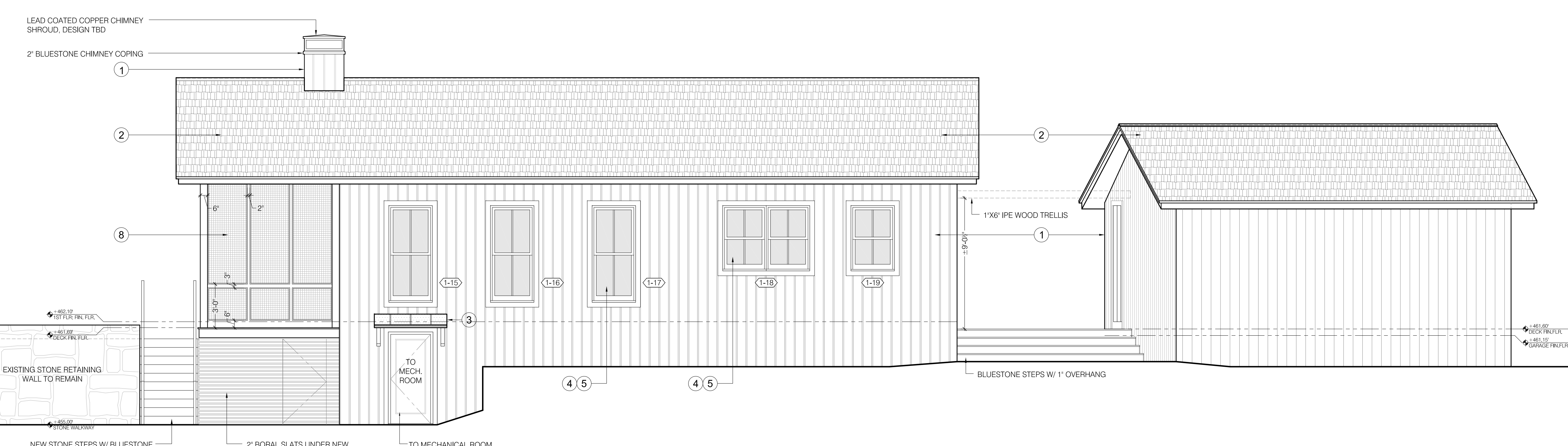
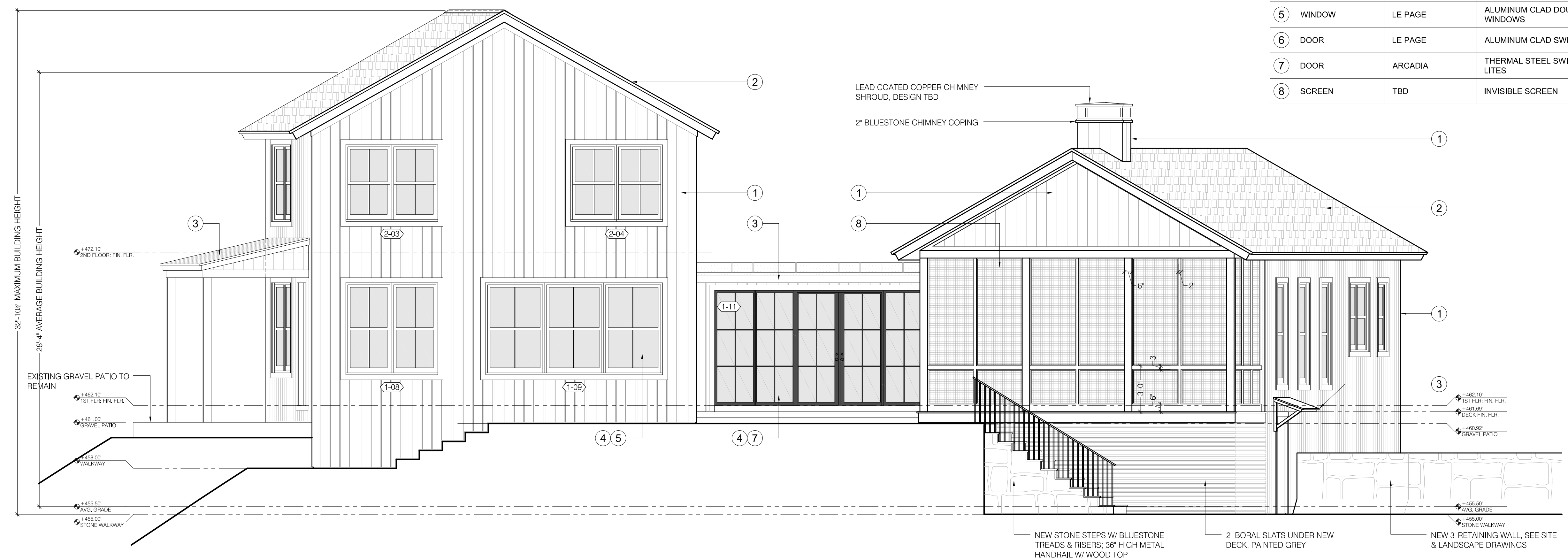
Christopher Carthy, Chairman, Town of North Castle Planning Board Date _____

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE Kellard Sessions Consulting Consulting Town Engineers Date _____

1	SIDING	TBD	VERTICAL SIDING W/ NICKEL GAP	GREY
2	ROOFING	TBD	CEDAR SHINGLES W/ 4" REVEAL, PRESSURE TREATED	GREY
3	ROOFING	DREXEL METALS	STANDING SEAM METAL ROOF	DARK BRONZE
4	TRIM	DYKES LUMBER	4" TRIM / CASING W/ SIMPLE BACKBEND	GREY
5	WINDOW	LE PAGE	ALUMINUM CLAD DOUBLE HUNG WOOD WINDOWS	GREY
6	DOOR	LE PAGE	ALUMINUM CLAD SWING WOOD DOORS	GREY
7	DOOR	ARCADIA	THERMAL STEEL SWING DOORS W/ SIDE LITES	GREY
8	SCREEN	TBD	INVISIBLE SCREEN	GREY

NO.	01	02
DATE	03/04/2022	04/01/2022
DESCRIPTION	ARCHITECTURE REVIEW BOARD	PLANNING BOARD REVIEW



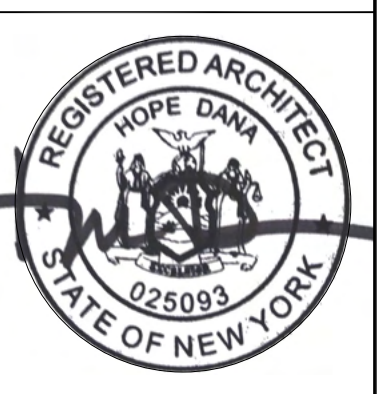
Approved by Town of North Castle Planning Board Resolution, Dated: _____

Christopher Carthy, Chairman, Town of North Castle Planning Board Date _____

Engineering Plans Reviewed for Conformance to Resolution: _____

Joseph M. Cermele, PE Kellard Sessions Consulting Consulting Town Engineers Date _____

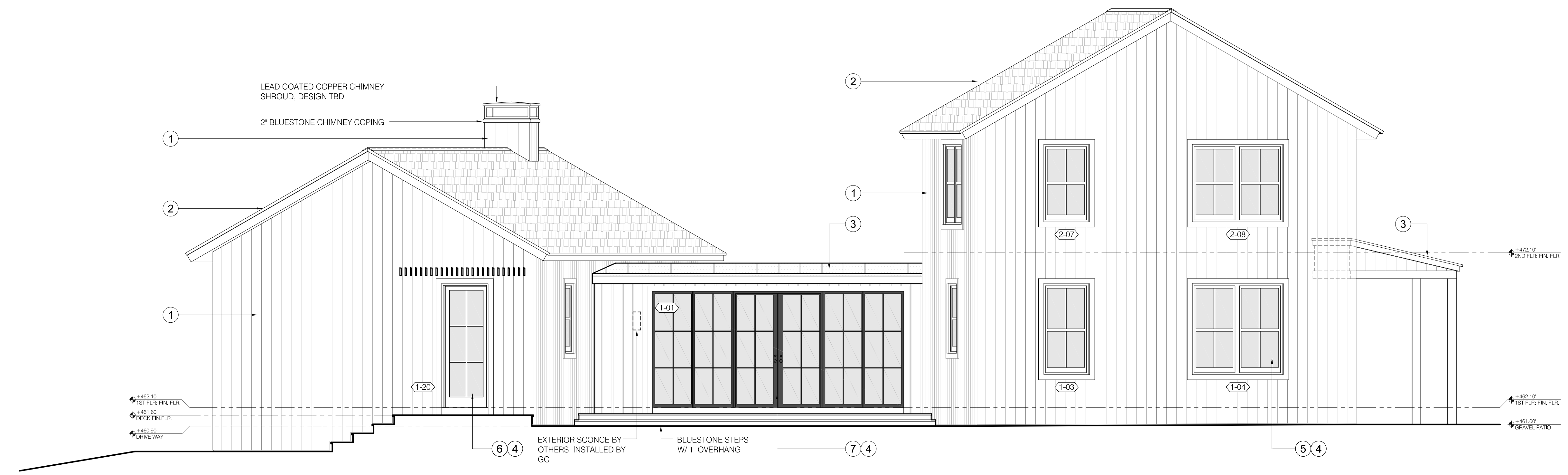
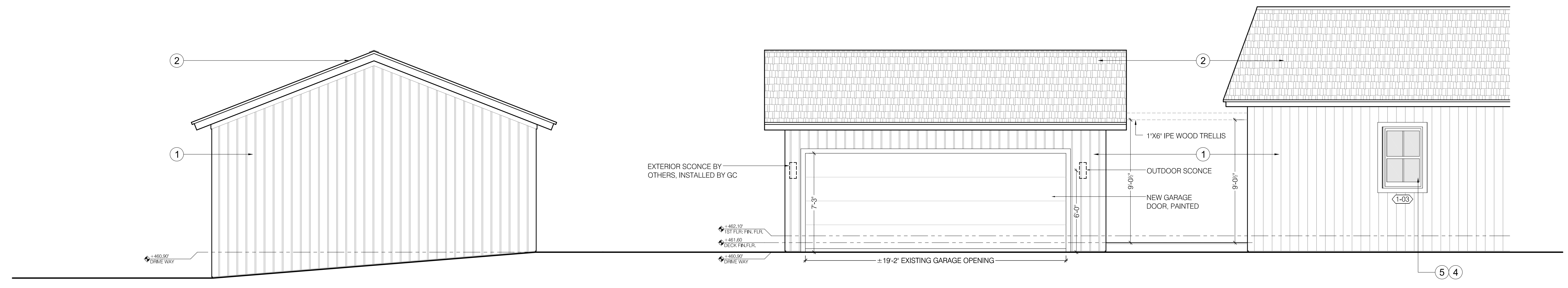
plattdana
 architects
 80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
 20 Mianus River Road
 Bedford, NY 10506
Exterior Elevations

①	SIDING	TBD	VERTICAL SIDING W/ NICKEL GAP	GREY
②	ROOFING	TBD	CEDAR SHINGLES W/ 4" REVEAL, PRESSURE TREATED	GREY
③	ROOFING	DREXEL METALS	STANDING SEAM METAL ROOF	DARK BRONZE
④	TRIM	DYKES LUMBER	4" TRIM / CASING W/ SIMPLE BACKBEND	GREY
⑤	WINDOW	LE PAGE	ALUMINUM CLAD DOUBLE HUNG WOOD WINDOWS	GREY
⑥	DOOR	LE PAGE	ALUMINUM CLAD SWING WOOD DOORS	GREY
⑦	DOOR	ARCADIA	THERMAL STEEL SWING DOORS W/ SIDE LITES	GREY
⑧	SCREEN	TBD	INVISIBLE SCREEN	GREY

DESCRIPTION	NO.	01							
	ARCHITECTURE REVIEW BOARD	03/04/2022							
	PLANNING BOARD REVIEW	04/01/2022							



Approved by Town of North Castle Planning Board Resolution, Dated: _____

Christopher Carthy, Chairman, Town of North Castle Planning Board Date _____

Engineering Plans Reviewed for Conformance to Resolution: _____

Joseph M. Cermele, PE Kellard Sessions Consulting Consulting Town Engineers Date _____

plattdana
architects
80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

Exterior Elevations

Scale as Noted Project No. 21.07

A-401.00

①	SIDING	TBD	VERTICAL SIDING W/ NICKEL GAP	GREY
②	ROOFING	TBD	CEDAR SHINGLES W/ 4" REVEAL, PRESSURE TREATED	GREY
③	ROOFING	DREXEL METALS	STANDING SEAM METAL ROOF	DARK BRONZE
④	TRIM	DYKES LUMBER	4" TRIM / CASING W/ SIMPLE BACKBEND	GREY
⑤	WINDOW	LE PAGE	ALUMINUM CLAD DOUBLE HUNG WOOD WINDOWS	GREY
⑥	DOOR	LE PAGE	ALUMINUM CLAD SWING WOOD DOORS	GREY
⑦	DOOR	ARCADIA	THERMAL STEEL SWING DOORS W/ SIDE LITES	GREY
⑧	SCREEN	TBD	INVISIBLE SCREEN	GREY



NO.	01	02
DATE	03/04/2022	04/01/2022
DESCRIPTION	ARCHITECTURE REVIEW BOARD	PLANNING BOARD REVIEW

plattdana
architects
80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506
Exterior Elevations

Scale as Noted Project No. 21.07

A-402.00

Approved by Town of North Castle Planning Board Resolution, Dated:

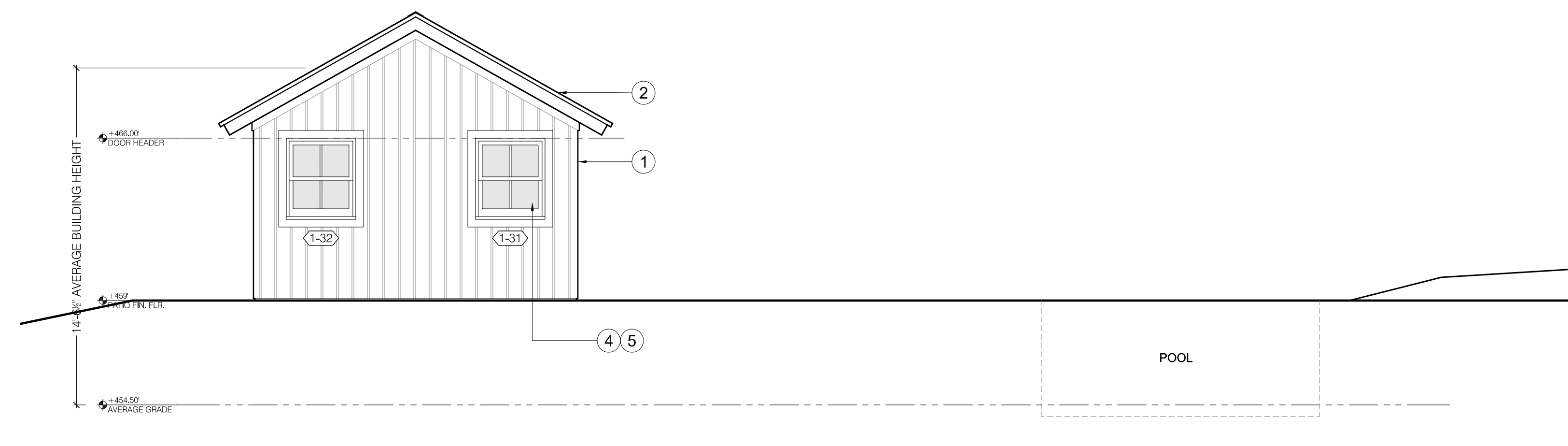
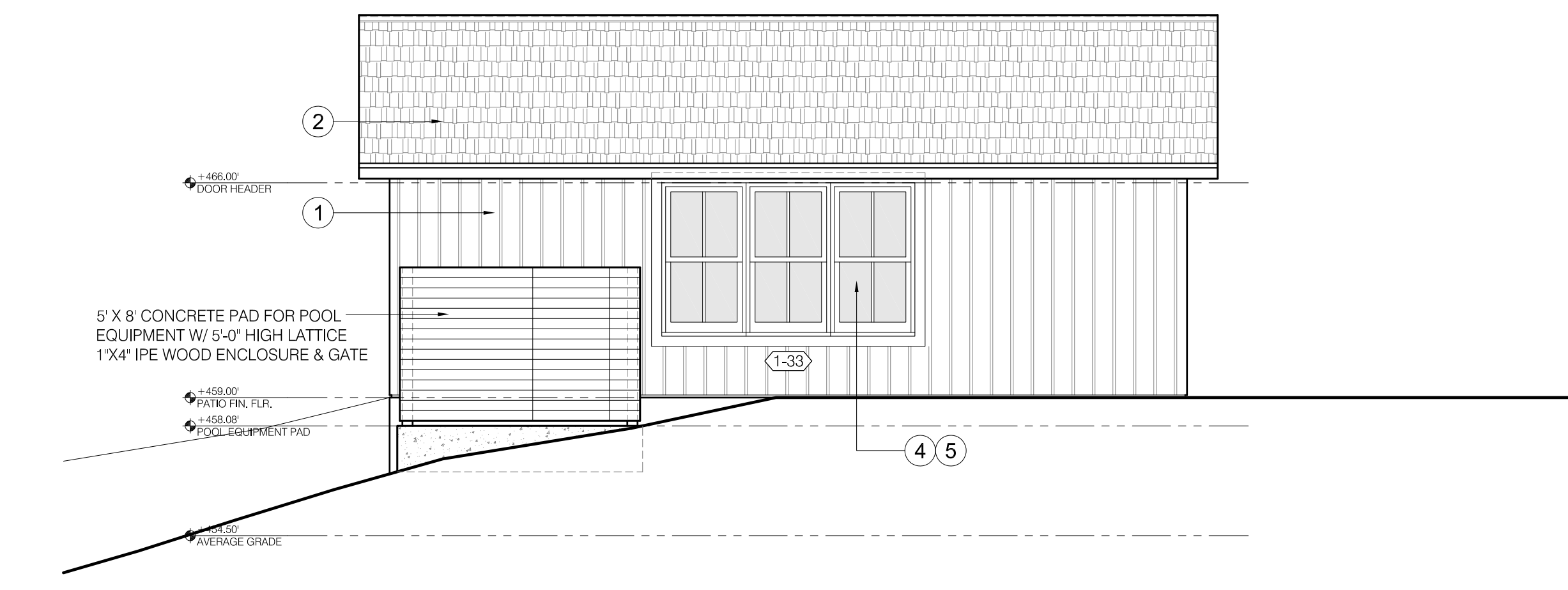
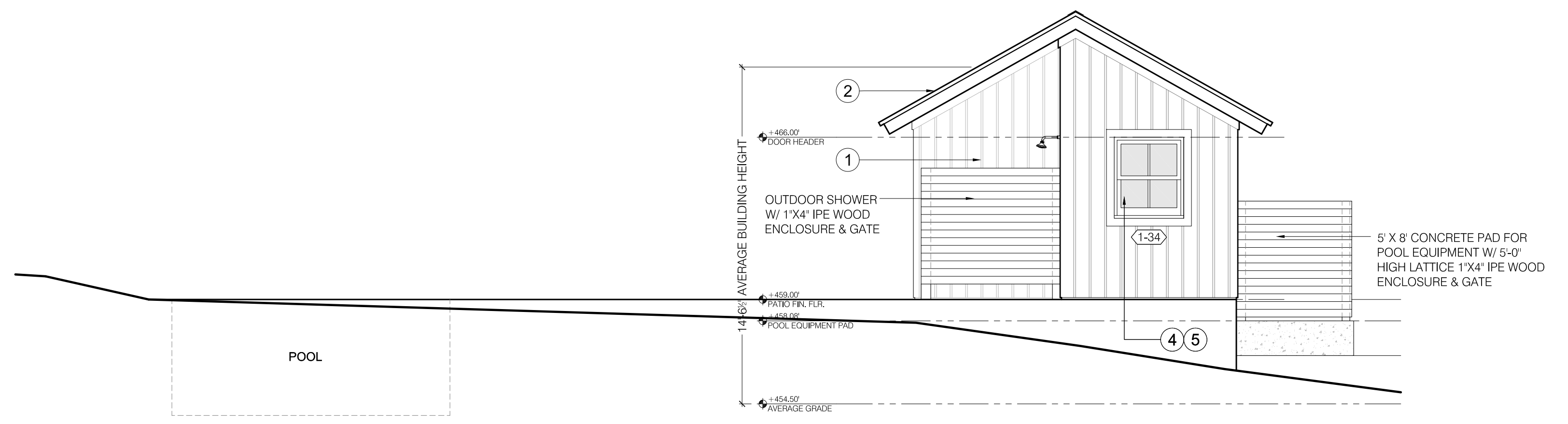
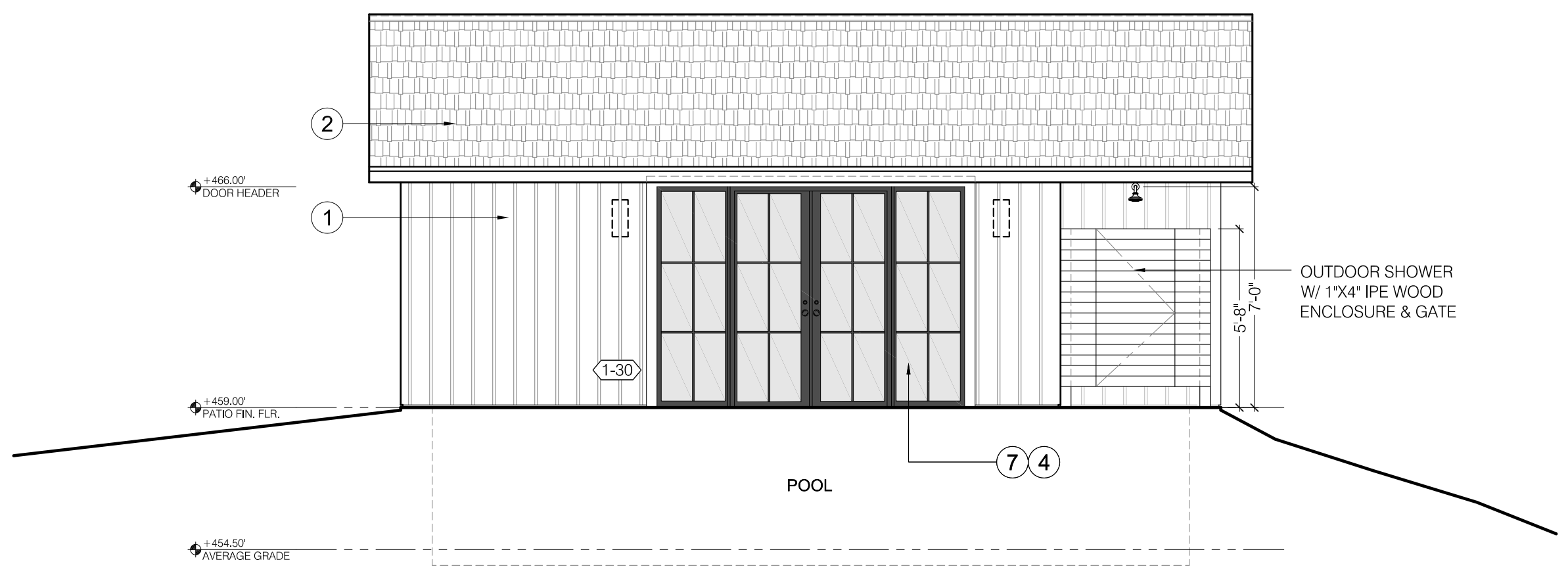
Christopher Carthy, Chairman, Town of North Castle Planning Board Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE Kellard Sessions Consulting Consulting Town Engineers Date

①	SIDING	TBD	VERTICAL SIDING W/ NICKEL GAP	GREY
②	ROOFING	TBD	CEDAR SHINGLES W/ 4" REVEAL, PRESSURE TREATED	GREY
③	ROOFING	DREXEL METALS	STANDING SEAM METAL ROOF	DARK BRONZE
④	TRIM	DYKES LUMBER	4" TRIM / CASING W/ SIMPLE BACKBEND	GREY
⑤	WINDOW	LE PAGE	ALUMINUM CLAD DOUBLE HUNG WOOD WINDOWS	GREY
⑥	DOOR	LE PAGE	ALUMINUM CLAD SWING WOOD DOORS	GREY
⑦	DOOR	ARCADIA	THERMAL STEEL SWING DOORS W/ SIDE LITES	GREY
⑧	SCREEN	TBD	INVISIBLE SCREEN	GREY

DESCRIPTION	NO.				
	ARCHITECTURE REVIEW BOARD	01			
	PLANNING BOARD REVIEW	02			
DATE	03/04/2022				
	04/01/2022				



Approved by Town of North Castle Planning Board Resolution, Dated: _____

Christopher Carthy, Chairman, _____ Date
Town of North Castle Planning Board

Engineering Plans Reviewed for Conformance to Resolution: _____

Joseph M. Cermele, PE _____ Date
Kellard Sessions Consulting
Consulting Town Engineers

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel 646 336 6270 web www.plattdana.com

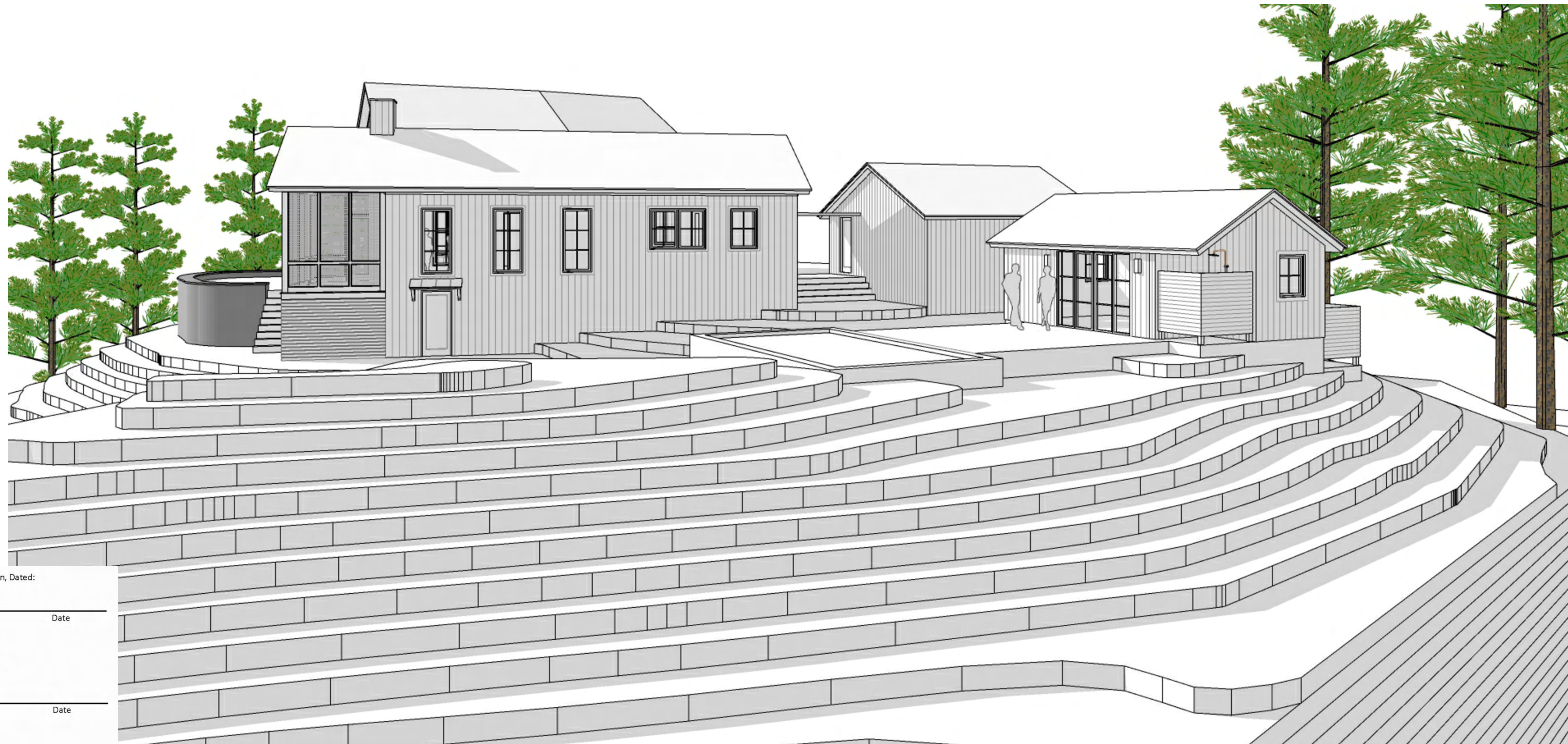


Needham Residence
20 Mianus River Road
Bedford, NY 10506

Exterior Elevations:
Accessory Building

Scale as Noted Project No. 21.07

A-403.00



Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers

Date

DESCRIPTION	DATE	NO.
ARCHITECTURE REVIEW BOARD	03/04/2022	01
PLANNING BOARD REVIEW	04/01/2022	02

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com

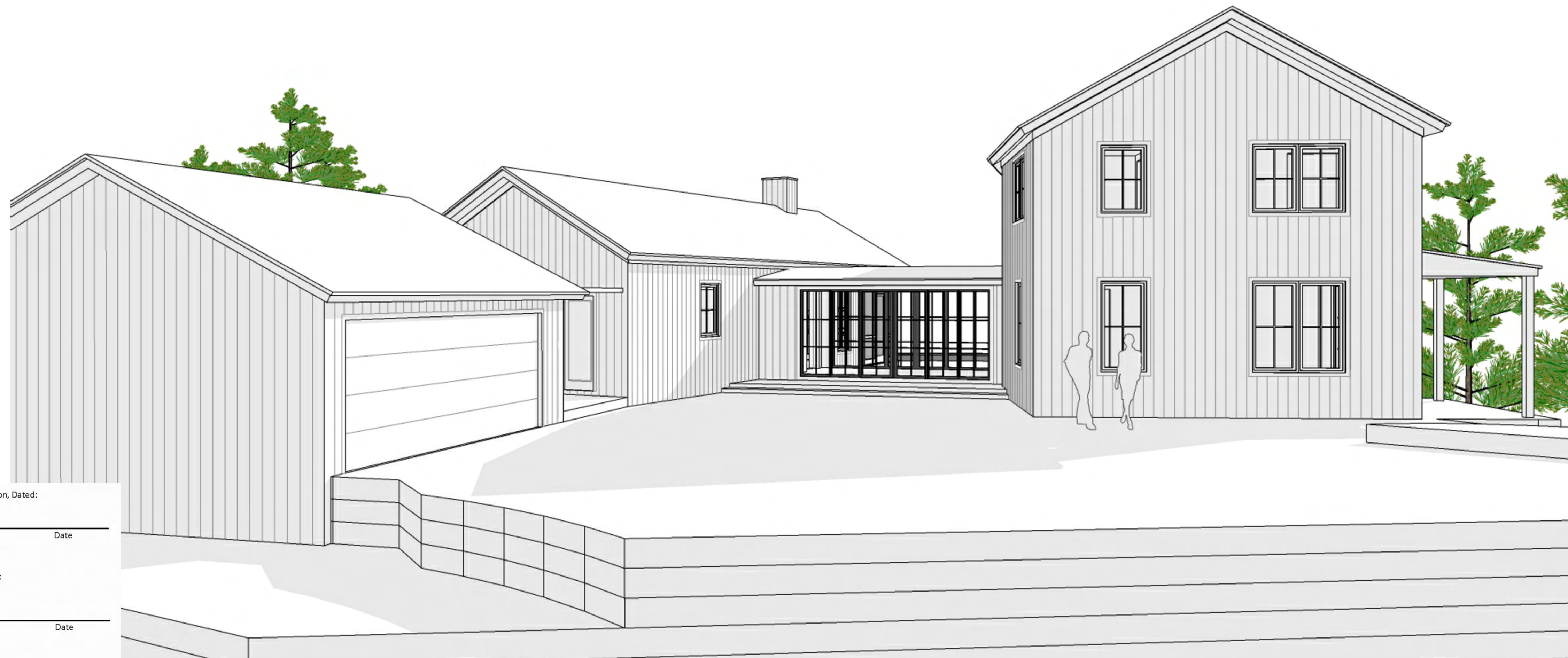


Needham Residence
20 Mianus River Road
Bedford, NY 10506

Renderings

Scale as Noted Project No. 21.07

A-700.00



Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers

Date

DESCRIPTION	DATE	NO.
ARCHITECTURE REVIEW BOARD	03/04/2022	01
PLANNING BOARD REVIEW	04/01/2022	02

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com

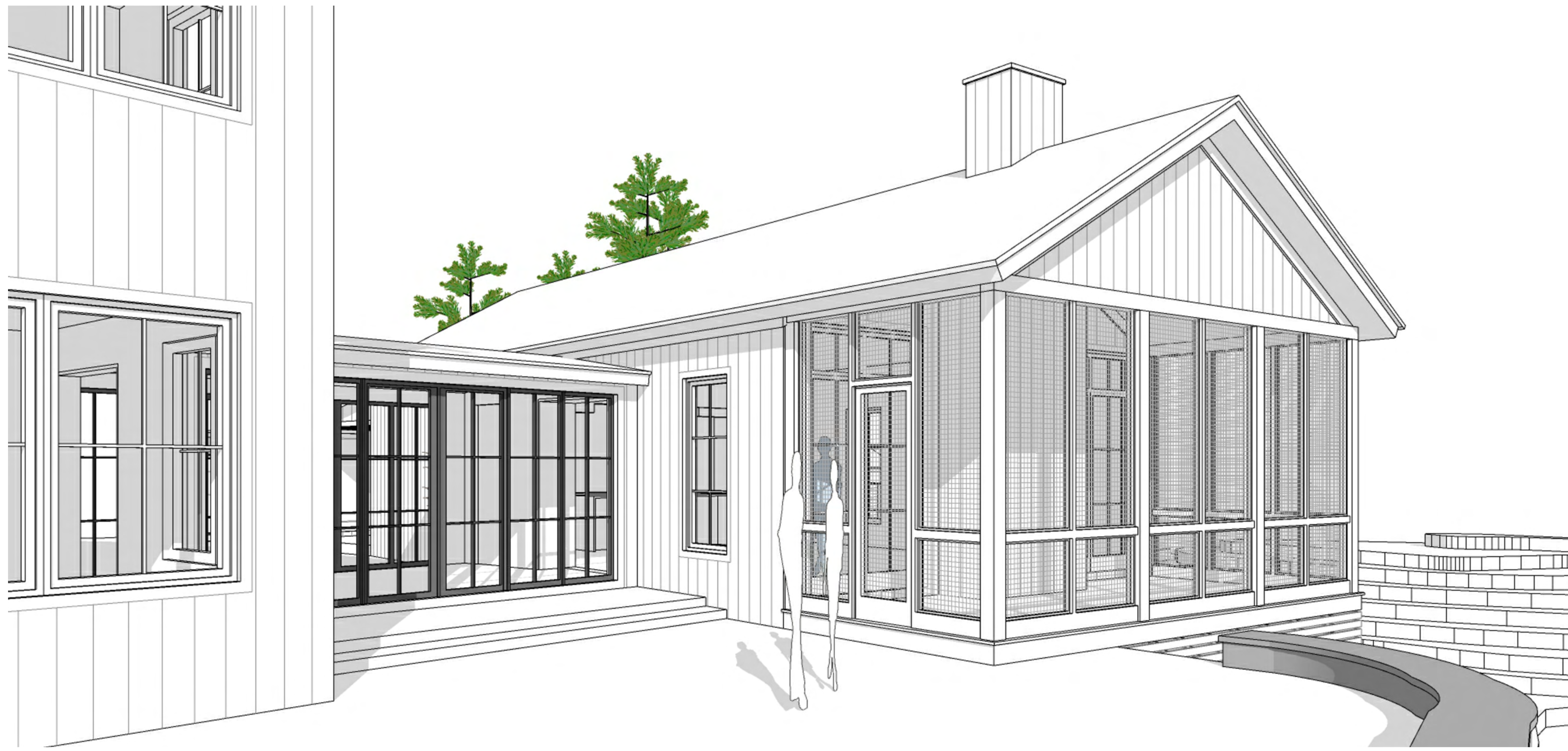


Needham Residence
20 Mianus River Road
Bedford, NY 10506

Renderings

Scale as Noted Project No. 21.07

A-701.00



Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers

Date

DESCRIPTION	DATE	NO.
ARCHITECTURE REVIEW BOARD	03/04/2022	01
PLANNING BOARD REVIEW	04/01/2022	02

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com



Needham Residence
20 Mianus River Road
Bedford, NY 10506

Renderings

Scale as Noted Project No. 21.07

A-702.00



Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers

Date

NO.	DATE	DESCRIPTION
01	03/04/2022	ARCHITECTURE REVIEW BOARD
02	04/01/2022	PLANNING BOARD REVIEW

plattdana
architects

80 fifth avenue, eleventh floor, new york, ny 10011 tel: 646 336 6270 web: www.plattdana.com

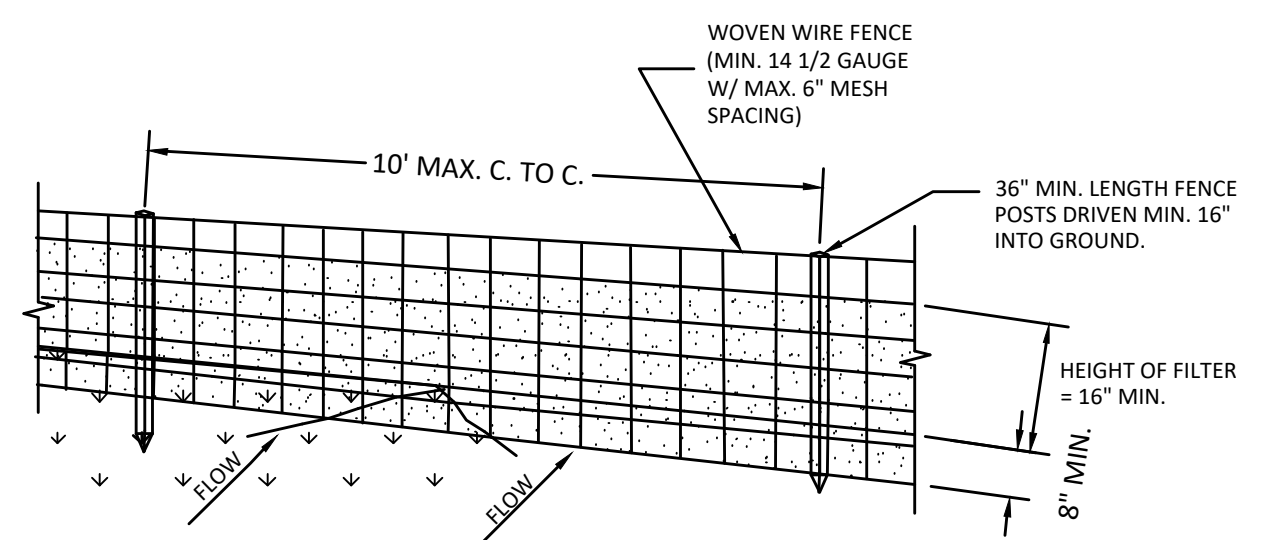


Needham Residence
20 Mianus River Road
Bedford, NY 10506

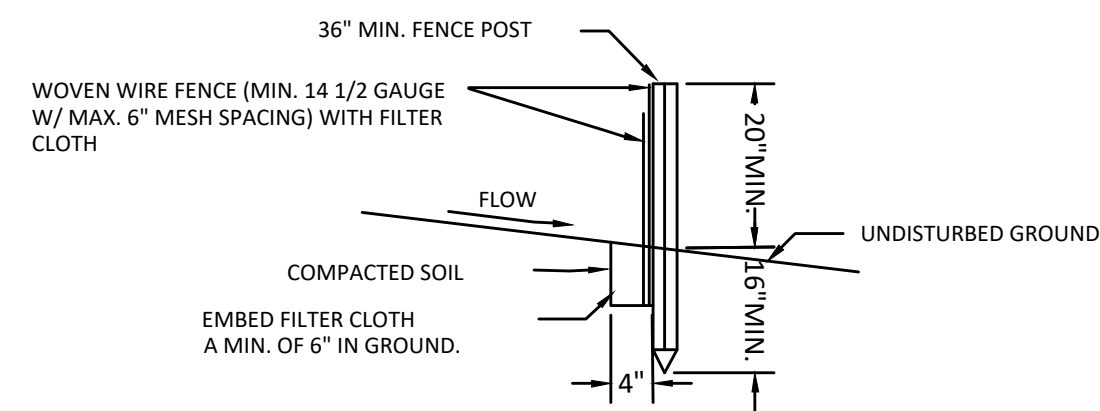
Existing Photos

Scale as Noted Project No. 21.07

A-703.00



PERSPECTIVE VIEW

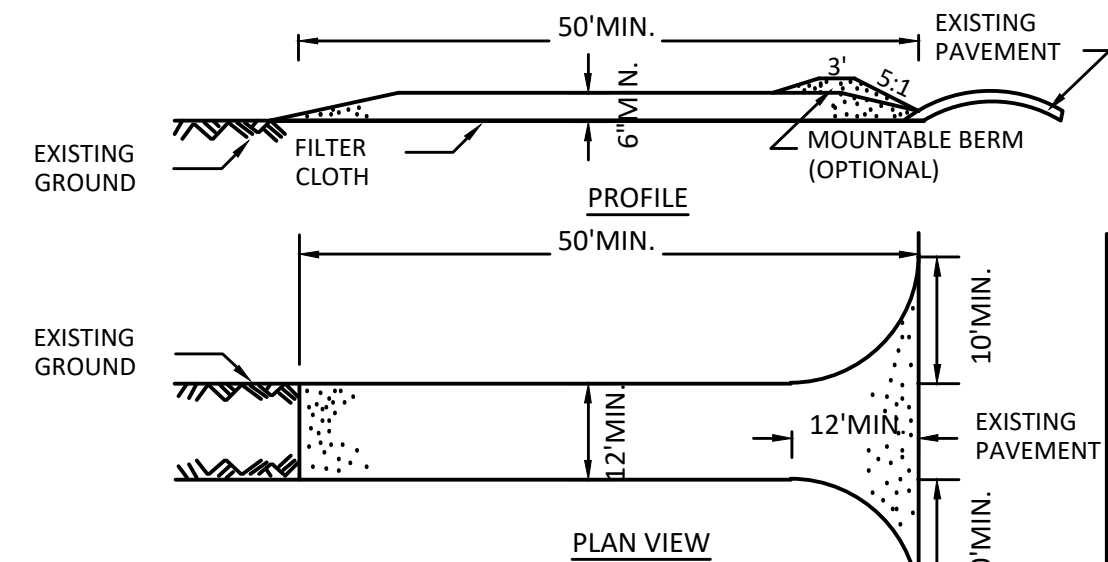


SECTION VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

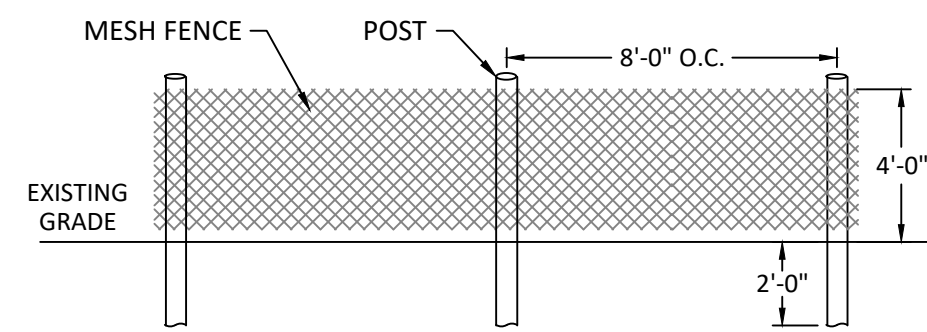
SILT FENCE
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

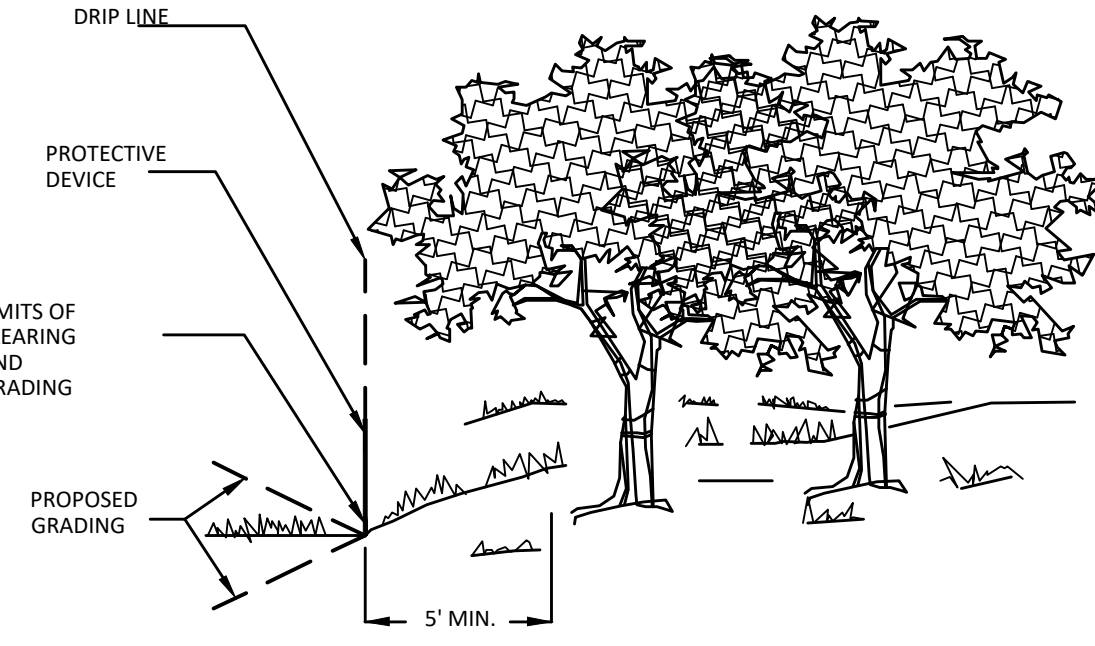
- STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ACCESS
NOT TO SCALE

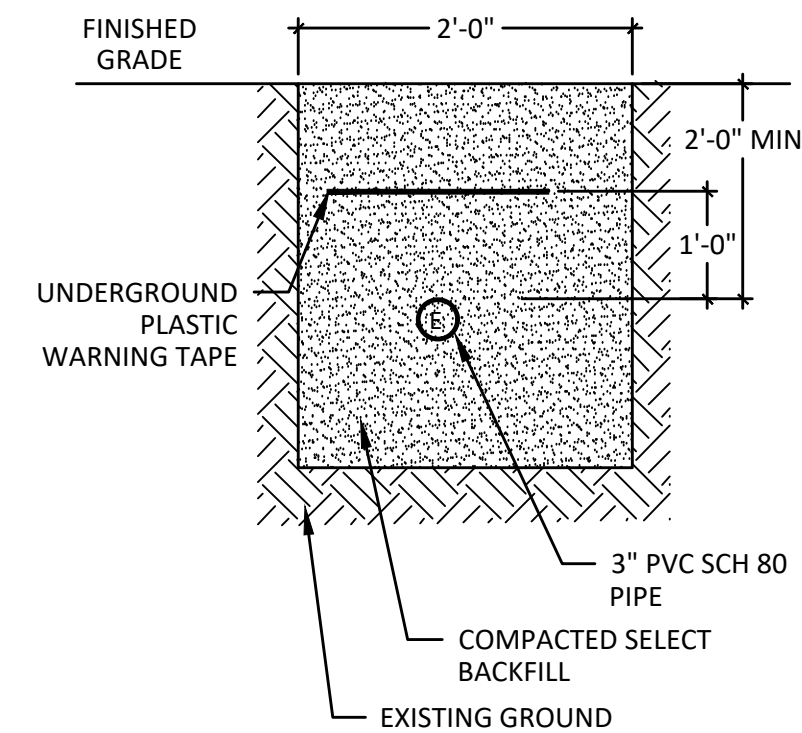


INSTALLATION NOTES:
1) MESH TO BE PLACED ON "OUTSIDE" FACE OF POST TO RENDER NON-CLIMBABLE
2) MESH COLOR TO BE BLAZE ORANGE

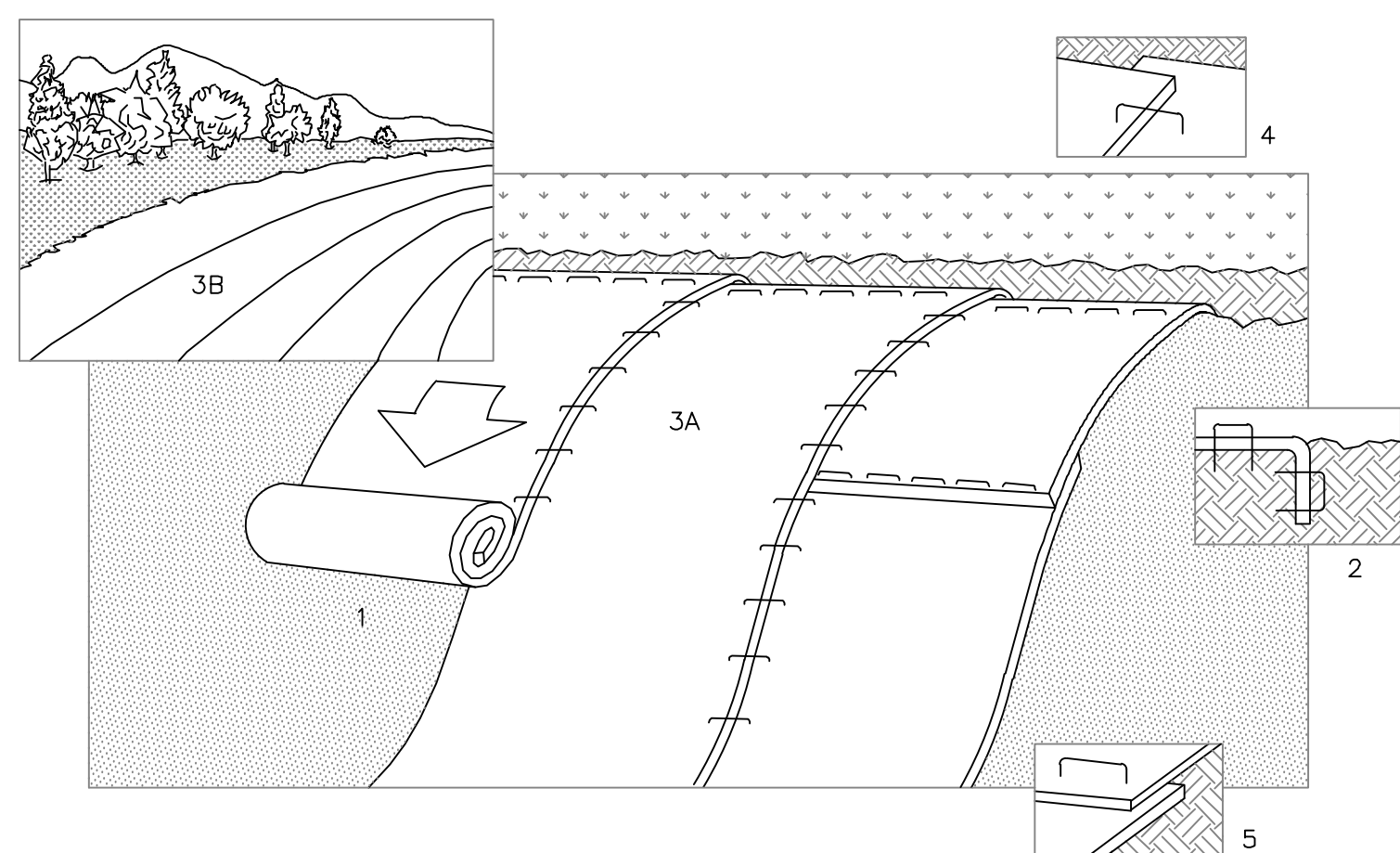
CONSTRUCTION FENCING
NOT TO SCALE



TREE PROTECTION
NOT TO SCALE



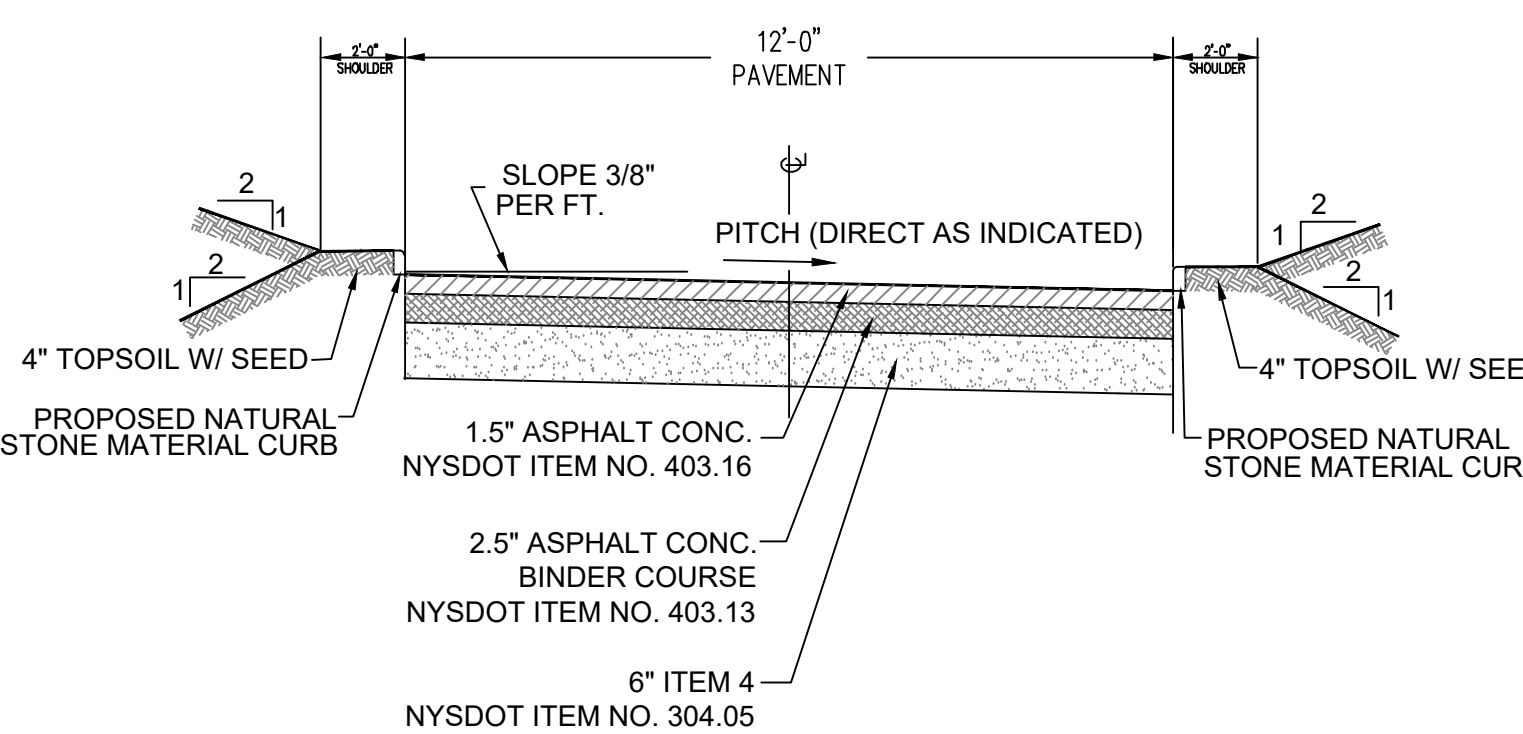
UTILITY TRENCH DETAIL
NOT TO SCALE



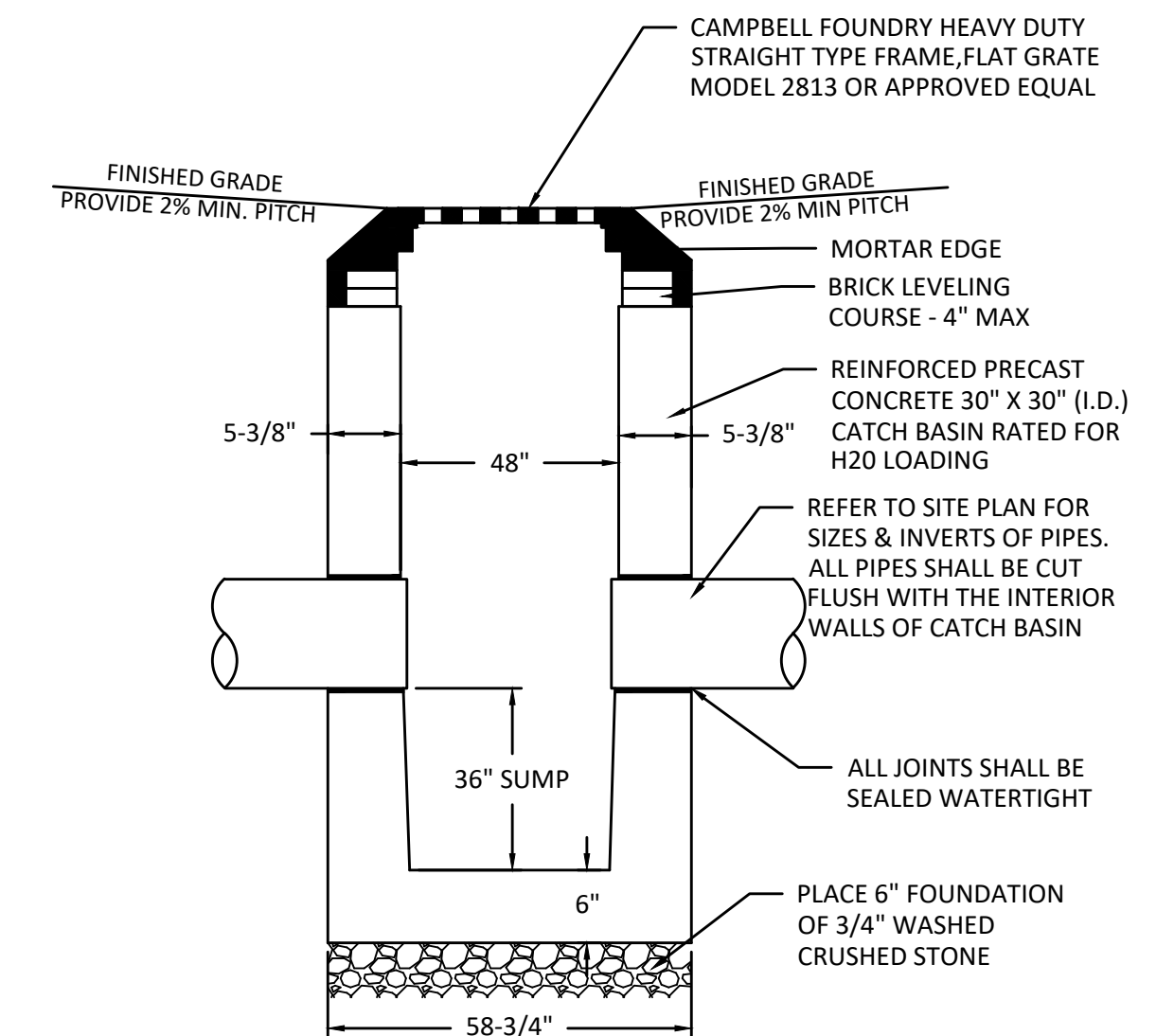
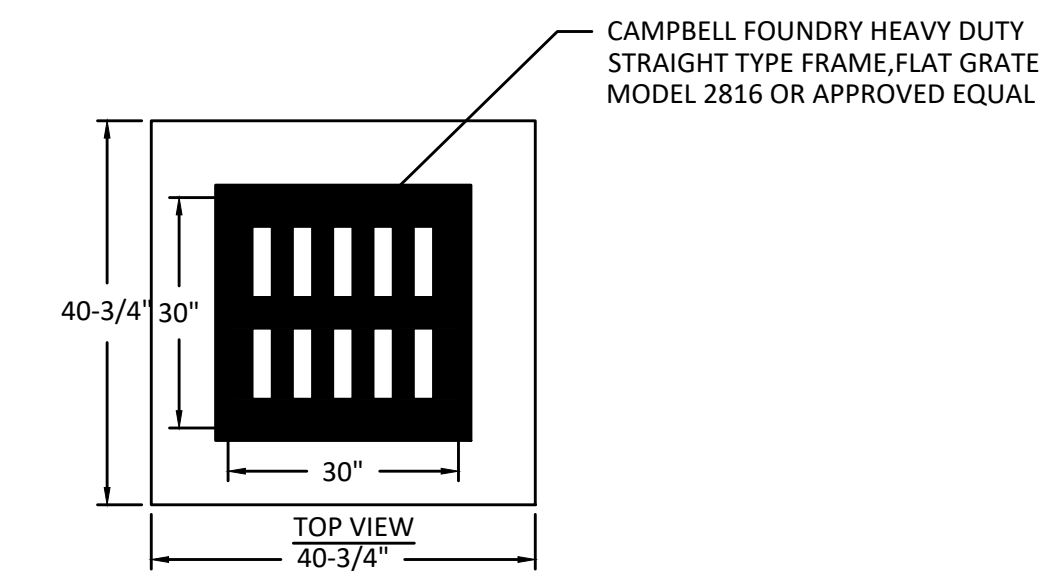
CONSTRUCTION SPECIFICATIONS

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- BLANKET TO BE ADS GEOSYNTHETICS EROSION CONTROL BLANKET 00511T

EROSION CONTROL MATTING FOR SLOPE STABILIZATION
NOT TO SCALE



TYPICAL DRIVEWAY SECTION
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

- CONCRETE MINIMUM STRENGTH: 4,000 PSI AT 28 DAYS.
- REINFORCEMENT: #4 REBAR / ASTM A615
- AIR ENTRAINMENT: 5%
- CONSTRUCTION JOINT: BUTYL RUBBER SEALANT
- LOAD RATING: H20 / ASTM C857

Approved by Town of North Castle Planning Board Resolution, Dated:

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Engineering Plans Reviewed for Conformance to Resolution:

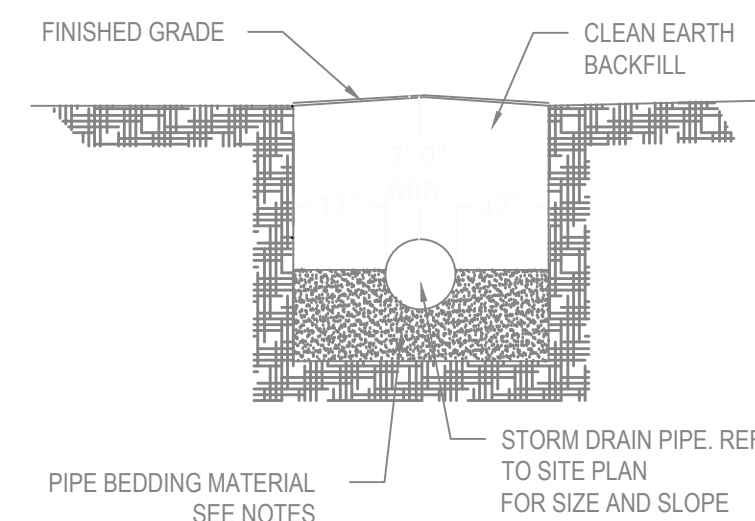
Joseph M. Cermeto, PE
Kollard Sessions Consulting
Consulting Town Engineers

NOTES

PIPE BEDDING MATERIAL TO BE LAYED & COMPACTED IN DRY GROUND

NATIVE SOIL TO BE USED FOR BEDDING MATERIAL UNLESS IT IS DETERMINED UNSUITABLE BY TOWN ENGINEER.

ALL UNSUITABLE MATERIAL BELOW PIPE SHALL BE REMOVED AND REPLACED WITH 6" OF CLEAN SAND BEDDING



STORM DRAIN TRENCH DETAIL
NOT TO SCALE

STORM DRAIN TRENCH DETAIL
NOT TO SCALE

DRAIN INLET
NOT TO SCALE

NO.	REVISION	DATE
1	ISSUED TO PLANNING BOARD	04/04/2022

Architect
Platt Dana Architects
80 Fifth Avenue, 1105
New York, New York 10011
Tel: (646) 336-6270

Surveyor
H. Stanley Johnson Land Surveyors, P.C.
42 Smith Avenue, P.O. Box 93
Mount Kisco, New York 10549
Tel: (914) 241-3872
Fax: (914) 241-0438

Owner
20 Mianus River Road, LLC
c/o. Needham
14 Mianus River Road
Bedford, New York 10506
Tel: 917-664-7967

DTS • PROVIDENT
Intelligent Land Use

DTS Provident Design Engineering, LLP
One North Broadway
White Plains, NY 10601

P: 914.428.0010
F: 914.428.0017

Under New York State Education Law Article 145 (Engineering), Section 7209 (2), it is a Violation of This Law For Any Person, Unless Acting Under the Direction of A Licensed Professional Engineer, To Alter This Document

© DTS Provident Design Engineering, LLP

NEEDHAM RESIDENCE
RENOVATION & POOL
20 Mianus River Road
Bedford, New York 10506

TITLE:
CONSTRUCTION DETAILS

Scale:	9/29/20
Date:	JM
Drawn By:	PIG
Checked By:	
Project No.:	
Sheet No.:	3 of 3
Dwg. No.:	C-103

