

November 14, 2022

Mr. Christopher Carthy, Chairman
Members of the Town of North Castle Planning Board
15 Bedford Road
Armonk, NY 10504

Re: Keith Rosenthal
10 Creemer Road,
Section 108.02, Block 2, Lot 60

Dear Chairman Carthy and members of the Planning Board;

We are in receipt of the comment letters from Adam Kaufman, Kellard Sessions and the Westchester County Department of Health, for the Rosenthal project. Please find attached a copy of the Revised Plan Set in addition to a comment-by-comment response to each of the review items in your comment letters.

Town Planner Staff Report September 16, 2022

Procedural Comments

1. Comment noted.
2. Comment noted.
3. Comment noted.
4. Comment noted

General Comments

1. All information points to the addition to the garage for the accessory apartment being constructed and issued a C.O. October 1988, therefore, not before October 11, 1984. There we found that a Special Use Permit was issued November 4, 1986. We have attached the supporting documents that support the special use permit, original construction of the garage, the accessory apartment addition, the health department approval, and re-inspection approvals.
2. Please see response 1.
3. Addressed.
4. The only trees expected to be removed at this time will be for the construction of the rain garden and possibly the primary septic area. As of this time we are awaiting the identification and location of the trees.
5. Please see the attached current architectural plans.
6. See response #5.
7. Comment addressed.



8. The owner will continue to reside in the main residence.
9. See response #5.
10. Please see the enclosed documentation which is the original C.O. for the main residence. Also, as can be seen by the re-inspection letters, the Rosenthal's have been in ownership since February 1996.
11. The Site Plan has been revised to show 2 gravel parking spaces for the accessory apartment.
12. Please see the enclosed architectural plans which provide the total gross area of both house and accessory building.
13. Comment noted.
14. The Health Department documentation has been provided for when the original approval of the accessory apartment was granted.
15. Comment noted.
16. This did not occur, nor was the property owner aware of this. The use has been maintained throughout the Rosenthal's ownership and re-inspections occurring.
17. Comment noted

Kellard Sessions Review Memo September 26, 2022

General Comments:

1. The wetland flags and intermittent watercourse were surveyed, and the survey was updated May 5, 2022, and confirmed by the Town Consultant May 25th, 2022. The Site Plan has been revised to reflect the updated wetland, buffer and intermittent watercourse.
2. The NYSDEC wetland is well off site and downstream from the pond. We are awaiting confirmation from the DEC that this project is not affected.
3. The exiting septic for the main structure does encroach into the existing expansion area and both of the systems exist within the wetland buffer. Both septic systems have been inspected and properly functioning. There is currently an application before the WCDOH and comments have been received which are being considered and addressed. Under any scenario, we will be providing a 100% expansion area for both the main residence and the cottage at the southwest corner of the property outside the buffer.
4. As stated above, both of the existing septic systems are functioning properly and are not creating any environmental concerns to the pond or wetland.
5. A wetland mitigation plan is being prepared and will be provided at a later date.
6. This will be provided at a later date.
7. Please see the Cut and Fill analysis attached.
8. The septic profile has been revised.
9. There is no longer a note about 2' of R.O.B. of fill over the septic area. The note now states minor regrading. The WCHD has requested the slope of the septic area be provided as well as the distance to the driveway.
10. Comment noted.



Enclosed please find the following items for review:

- One set of plans titled Site Plan titled "Site Plan prepared for Keith Rosenthal, dated 10-1-21, last revised 10-28-22, Sheets 1-6 of 6;
- One set of architectural plans, last revised 9/30/22; and
- Supporting documents for Special Use Permit and Certificates of Occupancy.

If you should have any questions regarding the above or require any additional information, do not hesitate to contact this office.

Sincerely,

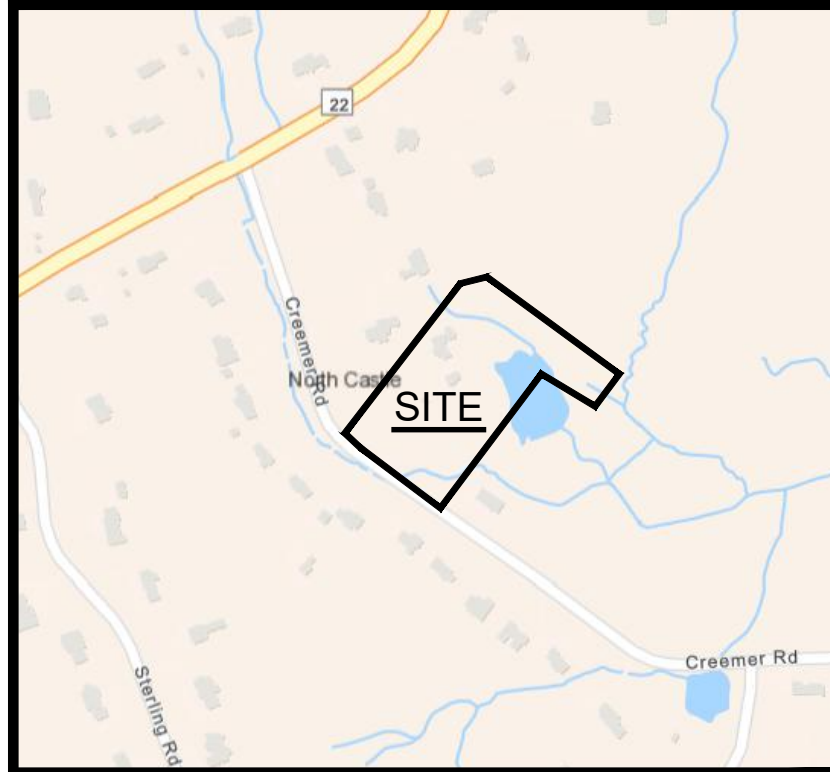

Joseph C. Riina, P.E.

cc: K. Rosenthal

JCR/cm / Enc. / sdc 21-28



SITE PLANS



LOCATION MAP
SCALE: 1" = 600 FT.



SITE DATA:

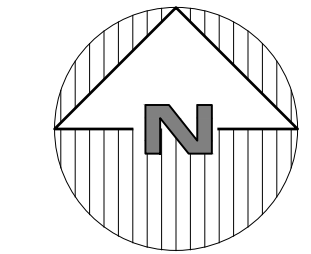
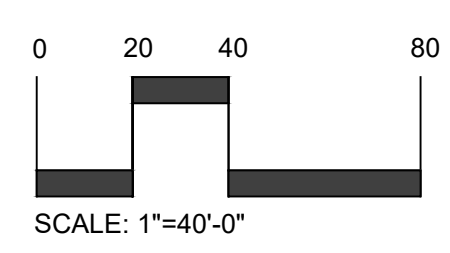
OWNER / DEVELOPER: KEITH ROSENTHAL
 STREET ADDRESS: 10 CREEMER ROAD, ARMONK, NY 10504
 PROJECT LOCATION: 10 CREEMER ROAD, ARMONK, NY 10504
 EXISTING TOWN ZONING: R-2A SINGLE FAMILY RESIDENTIAL
 TOWN TAX MAP DATA: SECTION 108.02, BLOCK 2, LOT 60
 SITE AREA : 5.66 ACRES (246,467 SF)
 SEWAGE FACILITIES: ONSITE WASTEWATER TREATMENT SYSTEM
 WATER FACILITIES: DRILLED WELL
 FIRE DISTRICT: #2
 SCHOOL DISTRICT: BYRAM HILLS
 WATERSHED: LONG ISLAND SOUND
 ZONING SCHEDULE:

ZONING DISTRICT: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 acres)			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	2 AC.	5.66 AC.	NONE
MINIMUM LOT FRONTAGE:	150 FT.	371 FT.	NONE
MINIMUM LOT WIDTH:	150 FT.	370 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	482 FT.	NONE
MINIMUM DWELLING SIZE:	1,400 S.F.	7,657 S.F.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	50 FT.	286 FT.	NONE
ONE SIDE YARD SETBACK:	30 FT.	55 FT.	NONE
COMBINED SIDE YARD SETBACK:	60 FT.	232 FT.	NONE
REAR YARD SETBACK:	50 FT.	156 FT.	NONE
MAXIMUM BUILDING HEIGHT:			
PRINCIPAL BUILDING - STORIES:	-	2 STORIES	NONE
PRINCIPAL BUILDING - FEET:	30 FEET	> 30 FEET	NONE
MAXIMUM BUILDING COVERAGE:			
PRINCIPAL BUILDING :	8% OF LOT AREA	3.1% OF LOT AREA	NONE

LIST OF DRAWINGS:

- SHEET 1 OF 6: SITE PLAN
- SHEET 2 OF 6: EXISTING CONDITIONS
- SHEET 3 OF 6: SEPTIC PLAN
- SHEET 4 OF 6: EROSION PLAN
- SHEET 5 OF 6: EROSION AND SMW DETAILS
- SHEET 6 OF 6: SEPTIC DETAILS

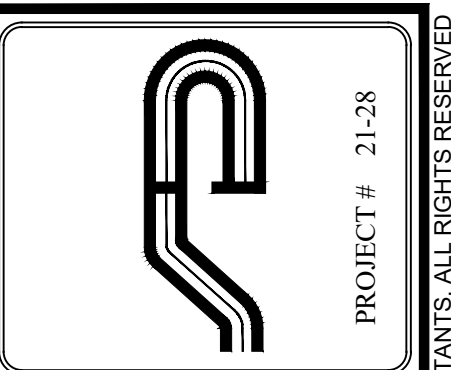
APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ Date: _____
 CHRISTOPHER CARTHY, CAHIRMAN,
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ Date: _____
 JOSEPH M. CERMELE, PE
 KELLARD SESSIONS CONSULTING
 CONSULTING TOWN ENGINEERS



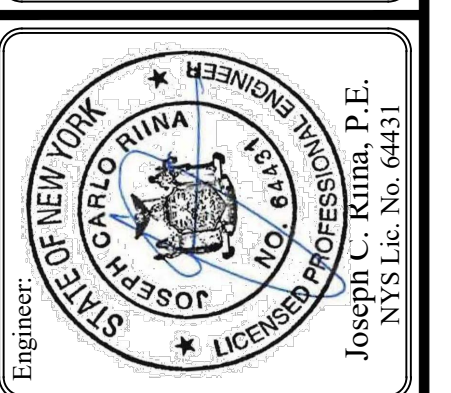
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NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY SCOTT GRAY, DATED 12/03/20, LAST REVISED 12/21/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.



Site Design Consultants
 Civil Engineers • Land Planners
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 (914) 962-4488 - Fax: (914) 962-7386
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Revisions:	No.	Date	Comments
	1	1-7-21	HD Department
	2	2-14-22	HD Department
	3	3-4-22	HD Department
	4	6-3-22	Plan updates
	5	7-11-22	Plan updates
	6	10-28-22	Town Comments
	7		

SCALE: 1" = 40'
 DRAWN BY: CS
 DATE: 10/01/21

SITE PLAN

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
 10 CREEMER ROAD
 Town of North Castle, Westchester County, New York

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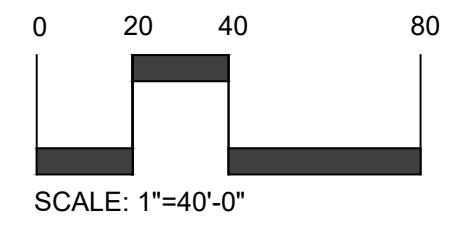
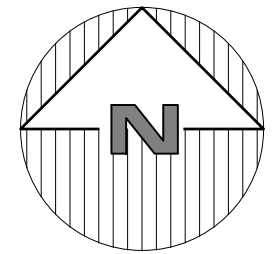


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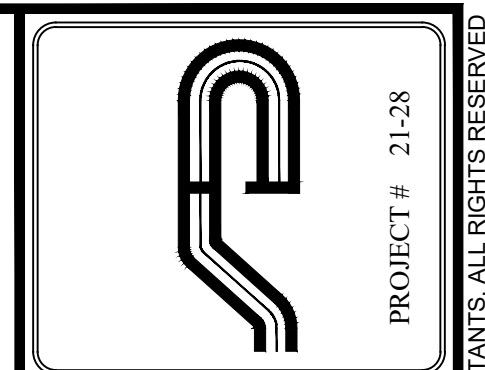
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JOSEPH M. CERMELE, PE
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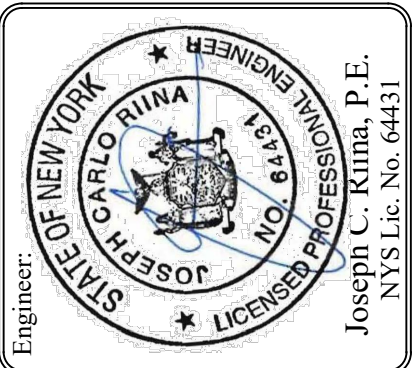


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SCALE: 1" = 40'
 DRAWN BY: CS
 DATE: 10/01/21

EXISTING CONDITIONS PLAN

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
 10 CREEMER ROAD
 Town of North Castle, Westchester County, New York

Sheet 2 of 6

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GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSDEC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-20-001 and Town of North Castle Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-20-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 - Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 - Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 - Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 - For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 - All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 - All sites shall be stabilized with erosion control materials within 7 days of final grading.
 - Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE
C. ENTRANCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) shall be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal.
- Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated details.
- Cut and clear trees within work area. Timbered trees, wood chips, and stumps shall be removed off-site. Strip site and place topsoil in stockpile locations shown on the plan.
- Start construction of project access points, set-up staging areas as shown on Erosion and Sediment Control Plan.
- Begin rough grading the site.
- Rough grade of foundation for additions. Soil shall be stockpiled as shown and stabilized the next day if they are to be left alone for over seven days.
- Begin excavation of building foundations, wall, and utilities. Protect open excavations. Where applicable, place fill on the up-slopes and side edges of fill area. Fill should be pushed in place and stabilized with tracking perpendicular to the slope. Place soil stockpiles in locations shown on the Erosion and Sediment Control Plans and associated Details.
- Septic system may be constructed at any point after step 7.
- Begin construction of the house addition.
- Upon completion of foundation, backfill to grade and immediately stabilize areas that will not receive traffic or disturbance within seven (7) days.
- Begin the excavation and installation of utilities and drainage system. Protect trenches and open excavations from erosion. All drainage inlets shall be protected from sediment entering. There shall be no direct unfiltered discharge into the stormwater systems. The stormwater outlet shall be blocked until all upstream areas have been permanently stabilized.
- During building and site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Installation of proposed raingarden.
- Topsoil, rake, seed and mulch all disturbed areas. Once all proposed disturbances are completed, begin full stabilization of the site. Once the site has been stabilized, remove all temporary erosion control measures. This shall be done during optimum weather conditions to avoid sediment transport. A site shall be considered stabilized when it has a minimum uniform 80% perennial vegetation cover or other permanent non vegetative cover with a density sufficient to resist accelerated surface erosion. Once final stabilization has been achieved, unblock piping to infiltrators in order to allow flow to enter.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that whenever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

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TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREEPING RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREEPING RED FESCUE 20
	REDDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20

3. SEEDING

- Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
- Apply soil amendments and integrate into soil.
- Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
- Stabilize seeded areas in drainage swales.
- Irrigate to fully saturate soil layer, but not to dislodge planting soil.
- Seed between April 1st and May 15th or August 15th and October 15th.
- Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to pH 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

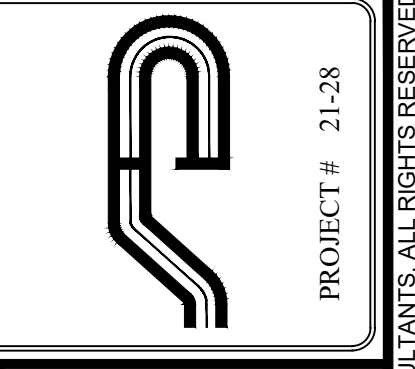
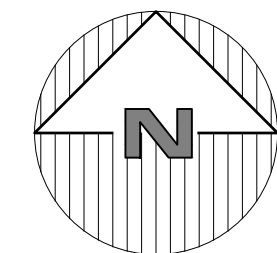
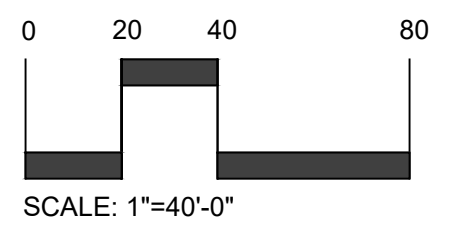
Same as permanent vegetative cover

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____

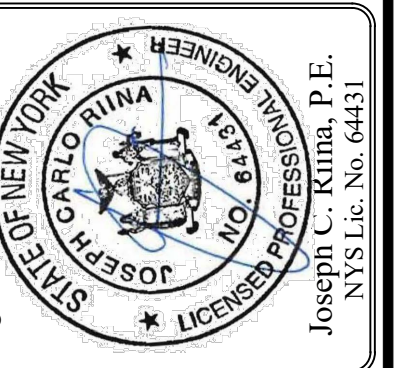
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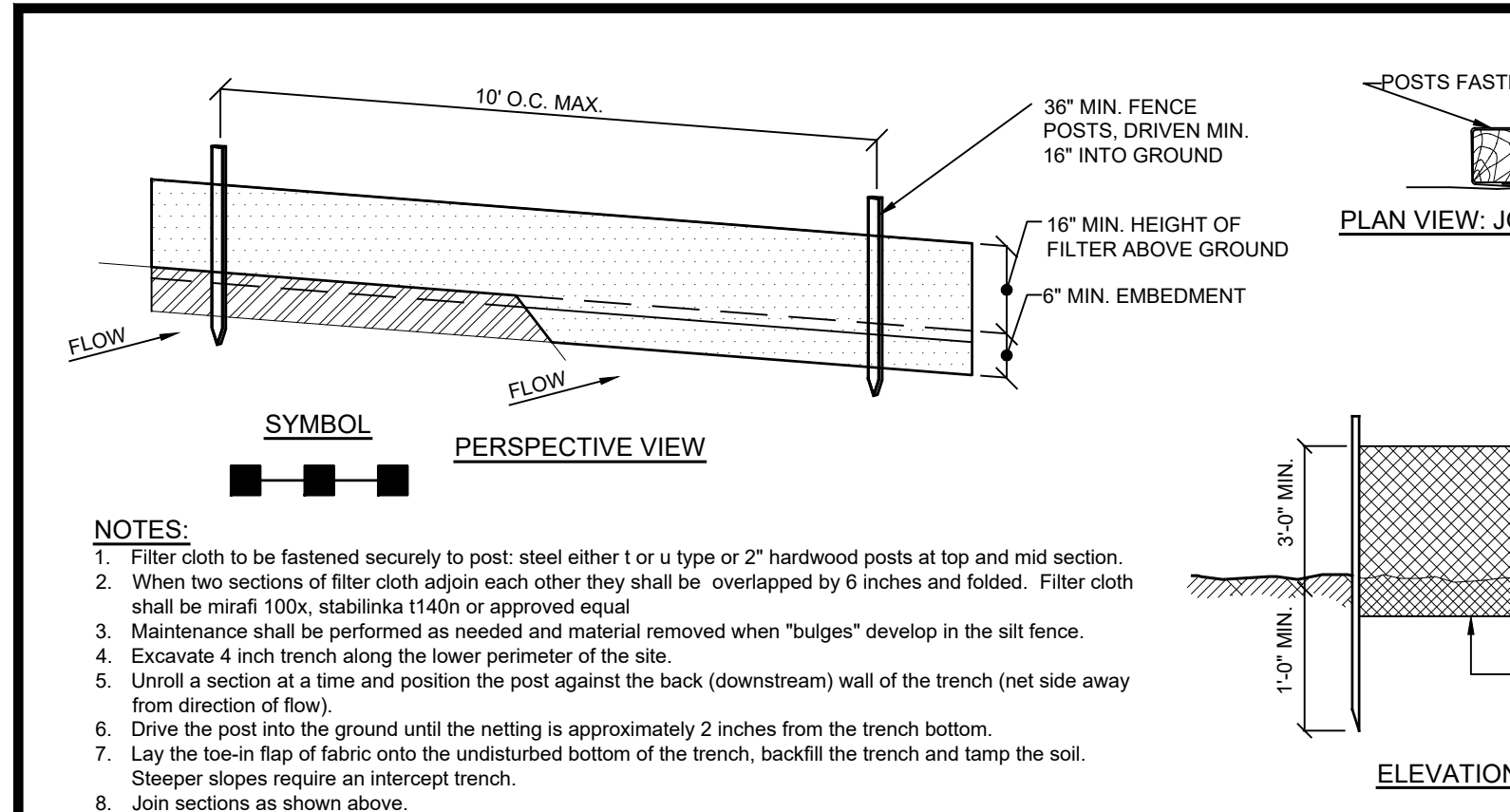
SCALE: 1" = 40'
DRAWN BY: CS
DATE: 10/01/21

EROSION AND SEDIMENT CONTROL PLAN

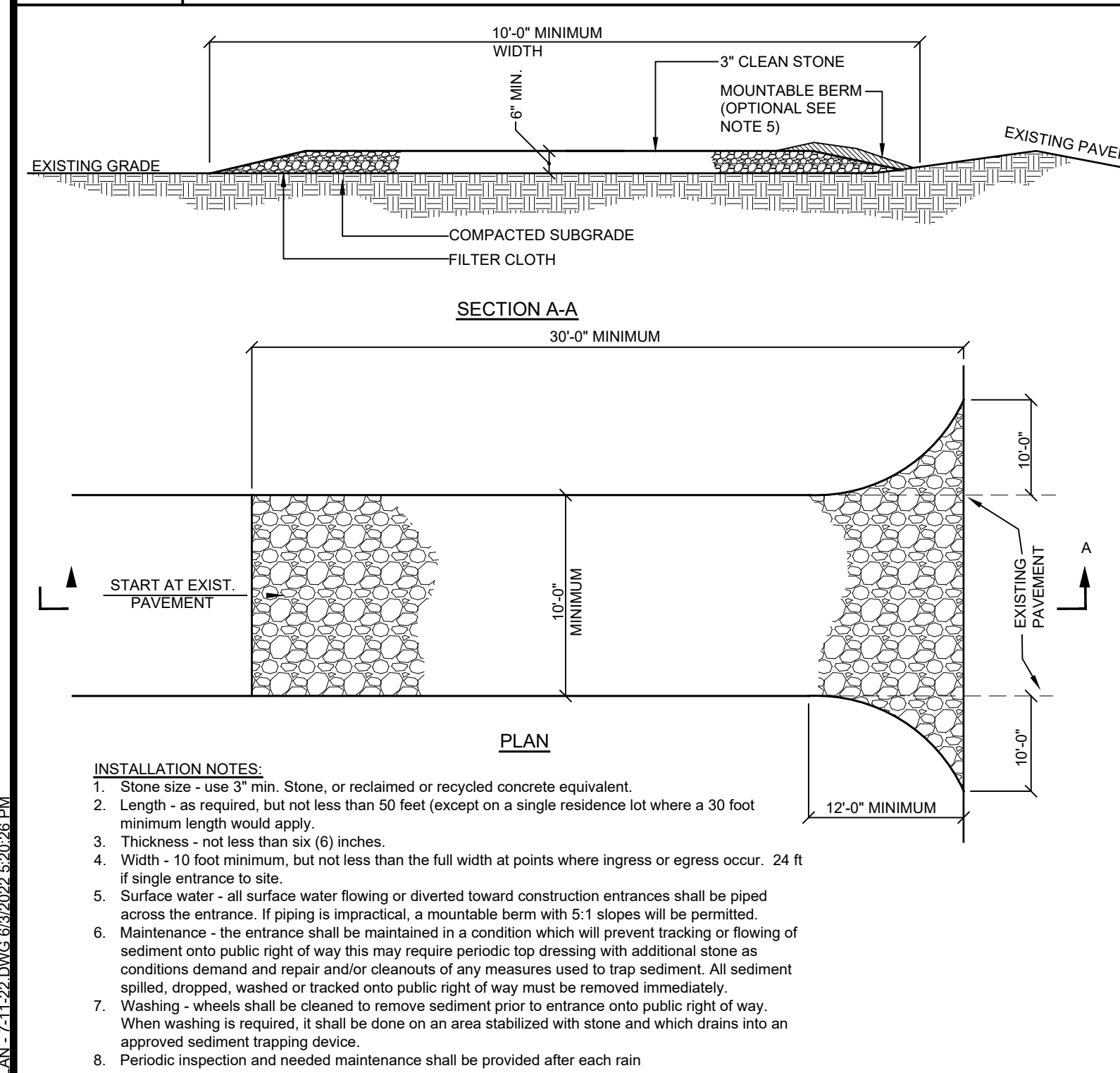
SITE PLAN PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Westchester County, New York

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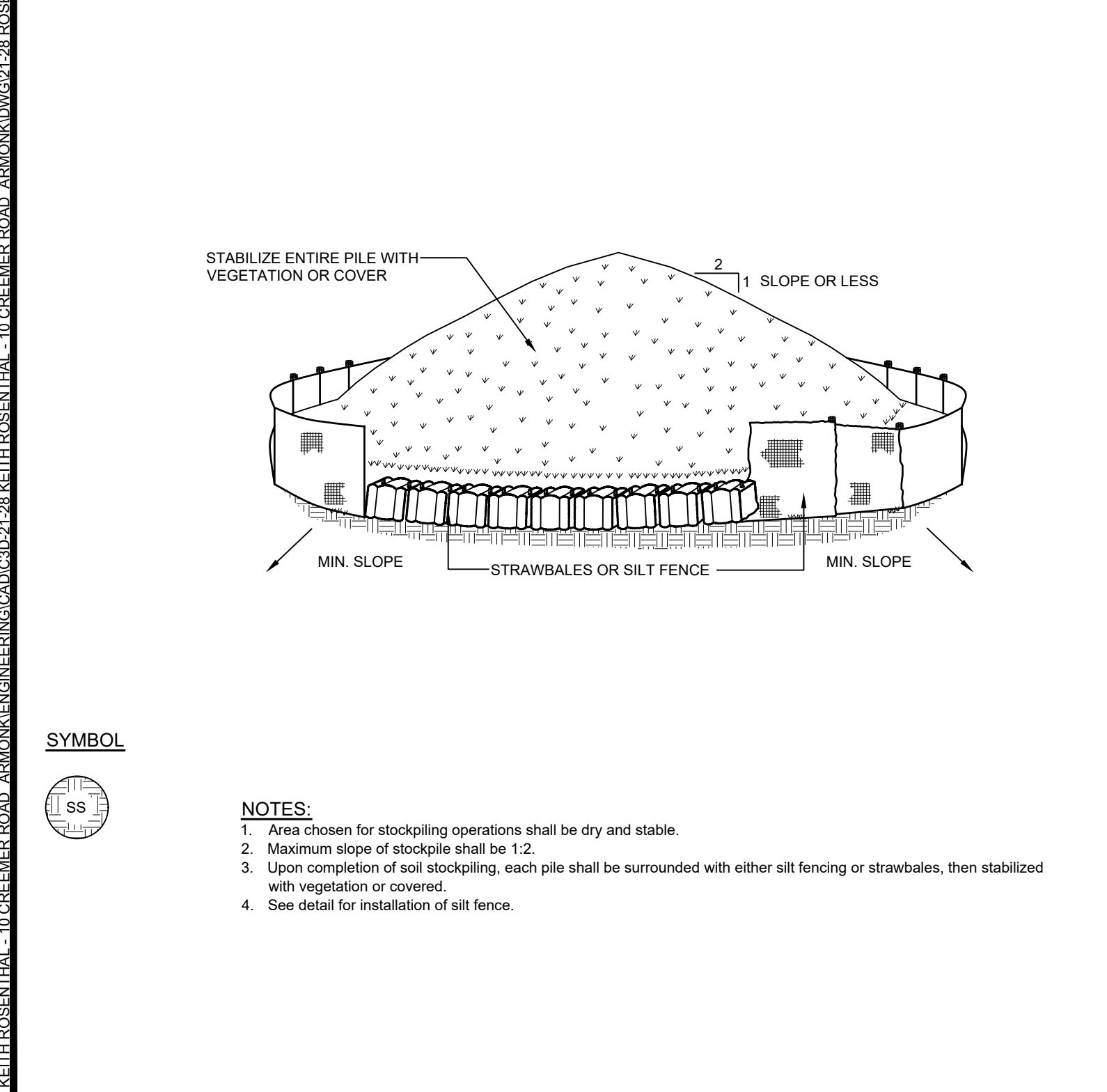
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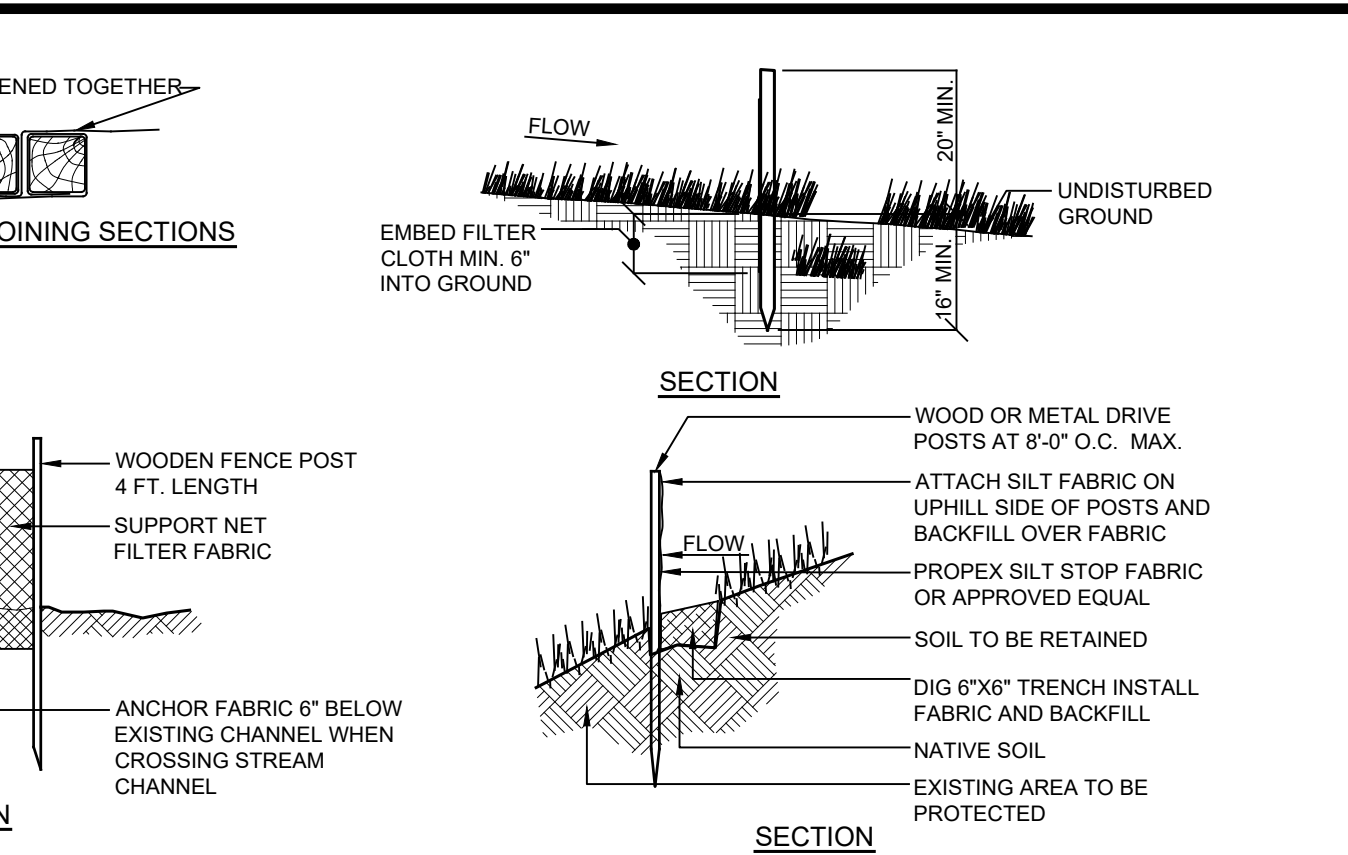
E-1 SILT FENCE DETAIL
NOT TO SCALE



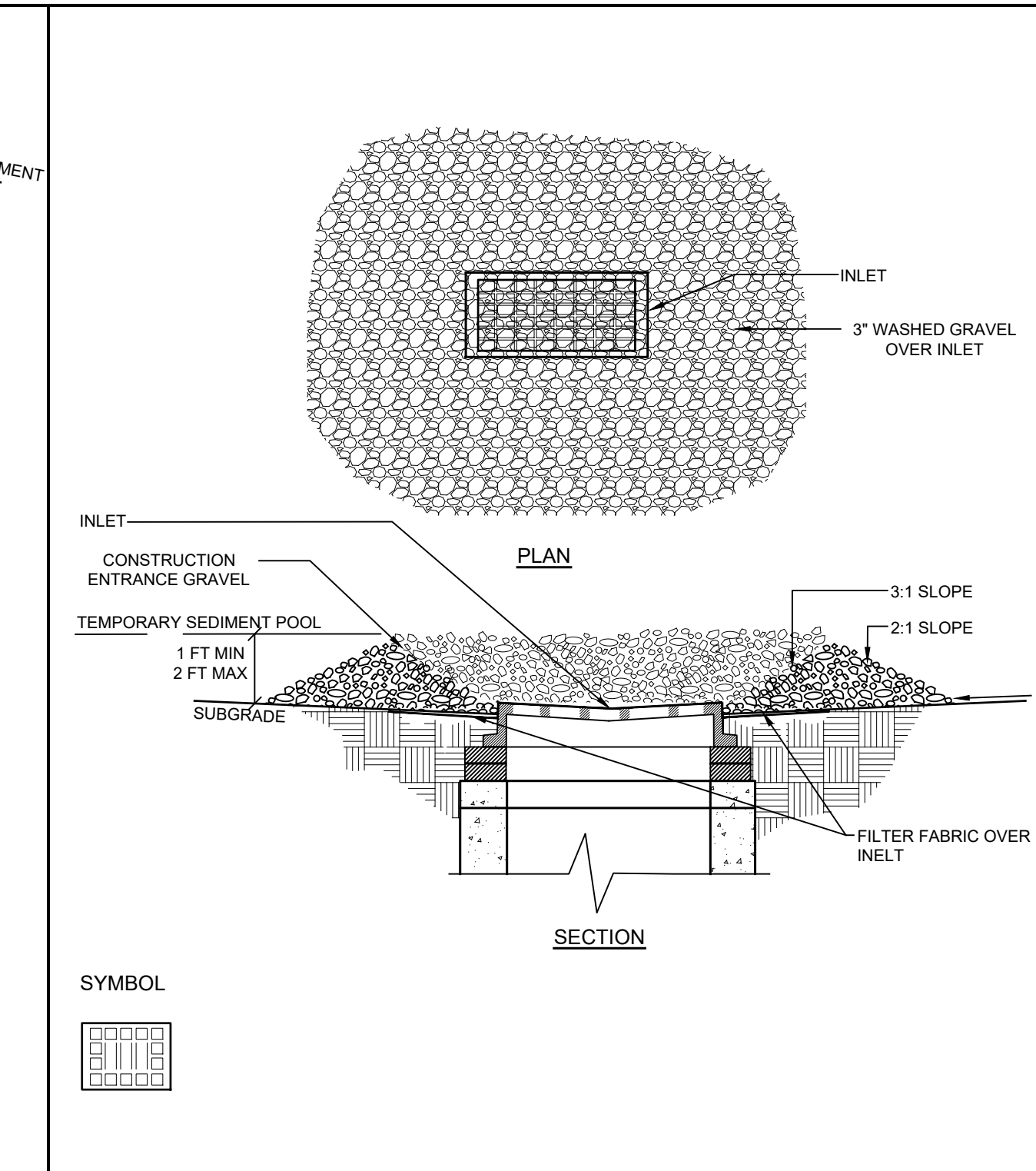
E-2 STABILIZED CONSTRUCTION ENTRANCE DETAIL
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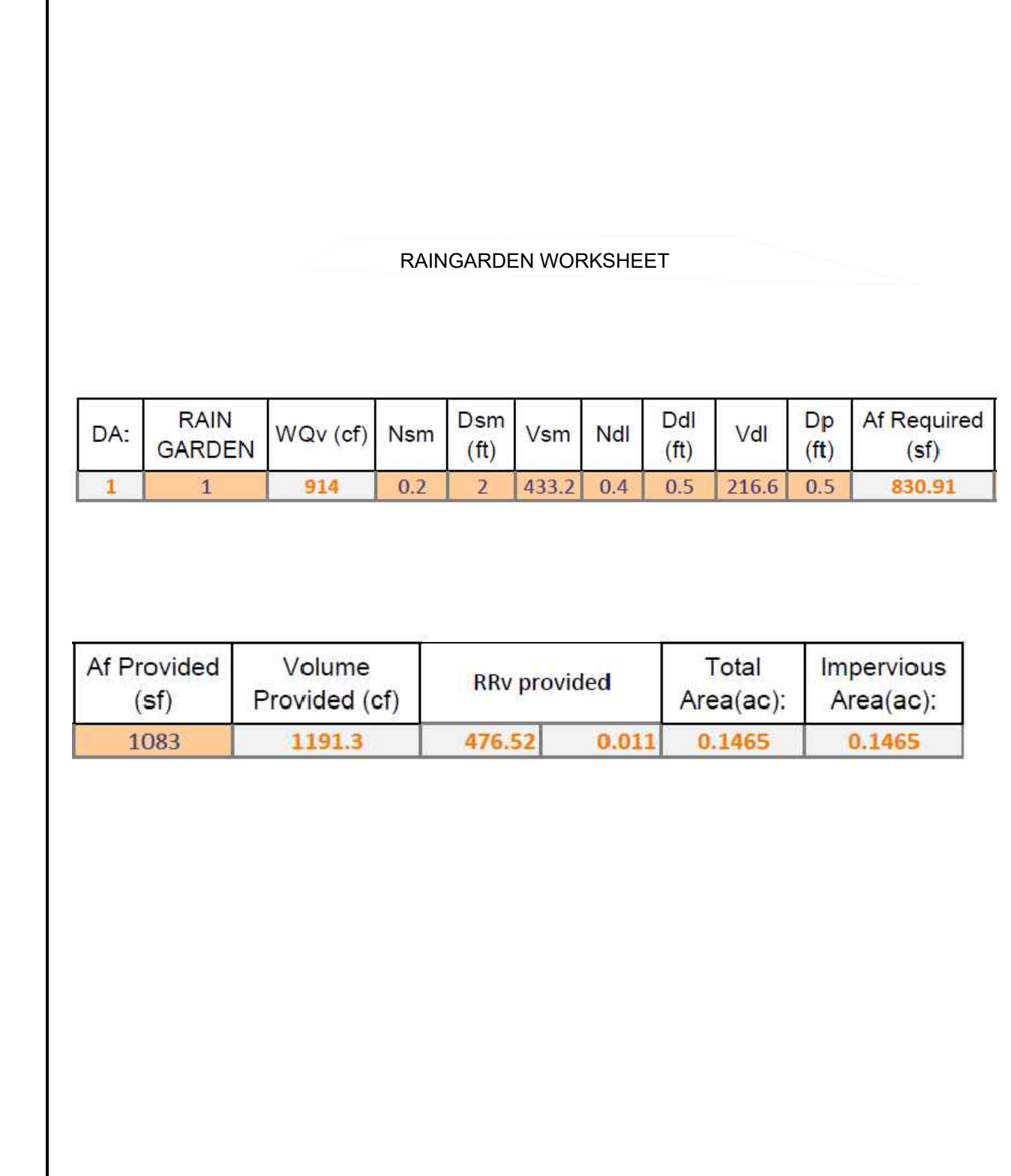
E-4 SOIL STOCKPILE DETAIL
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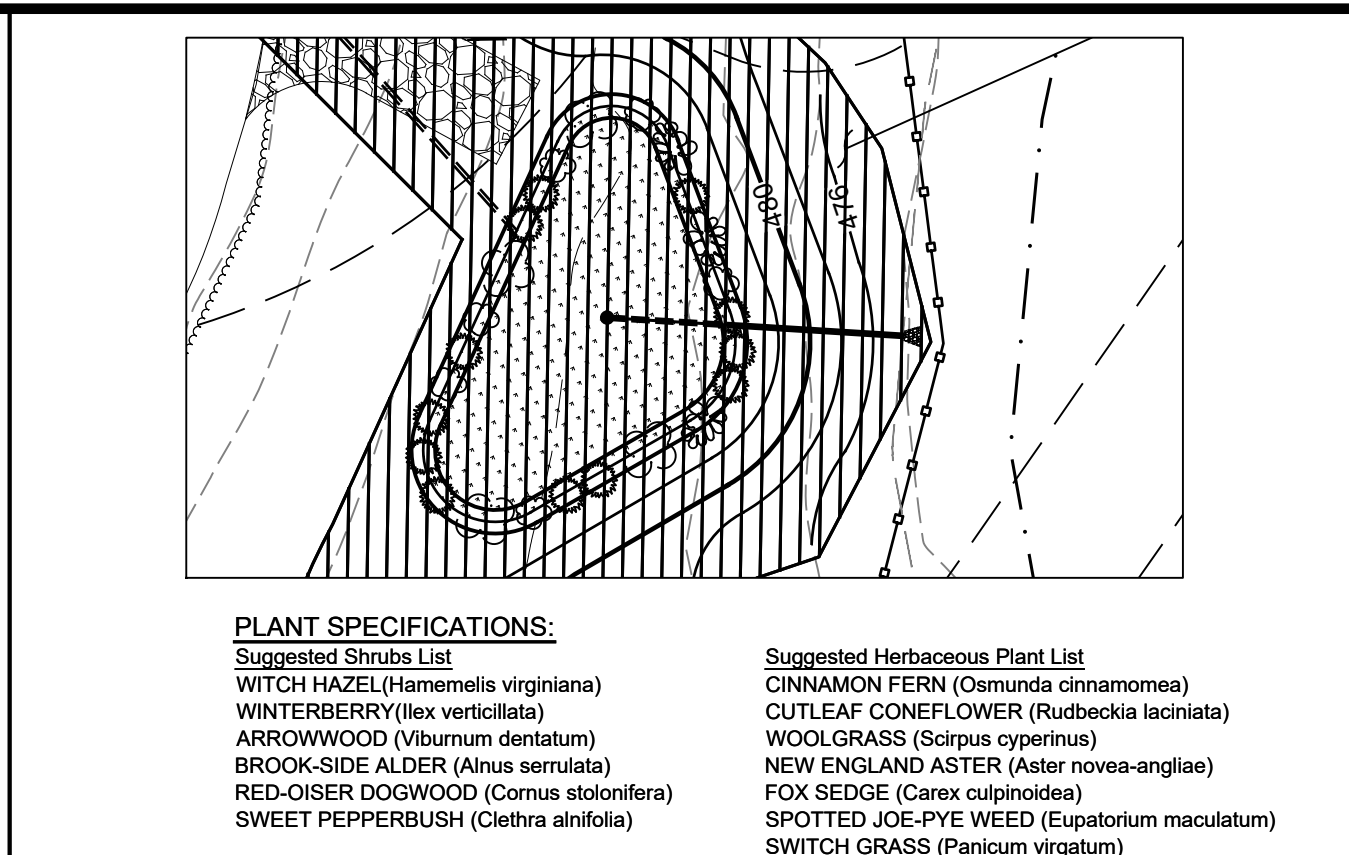
SW-1 RAIN GARDENS DETAIL
NOT TO SCALE



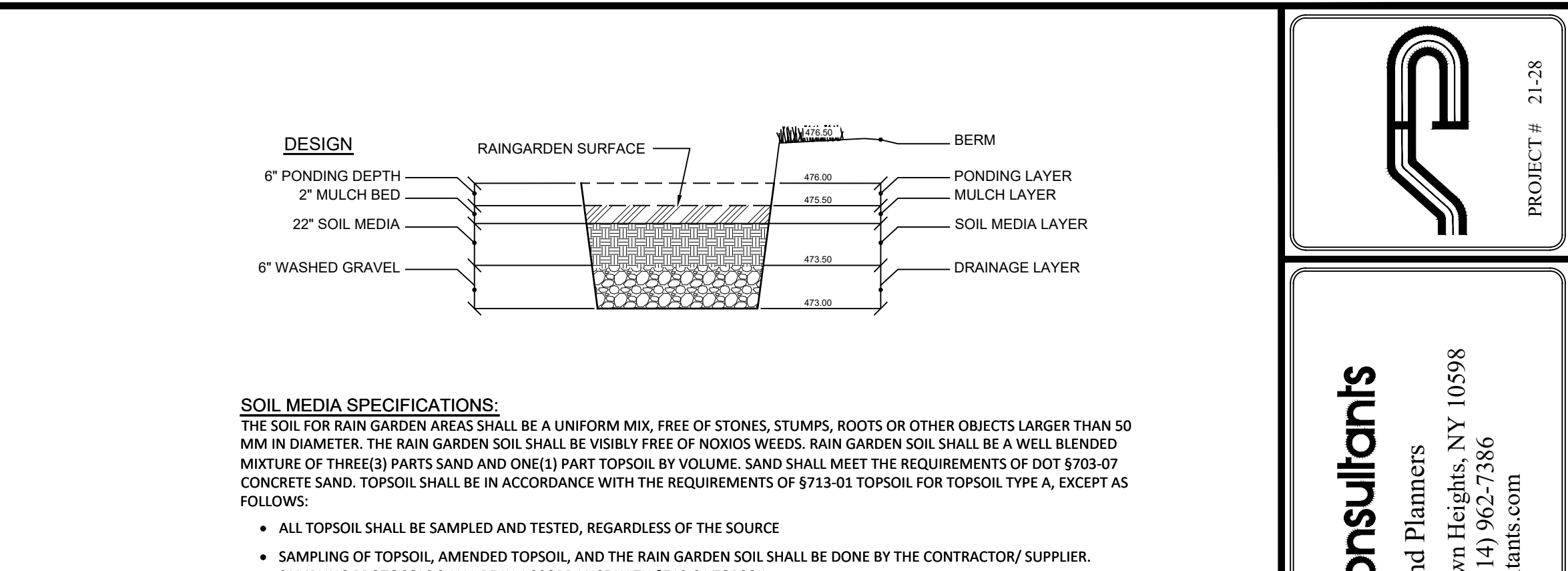
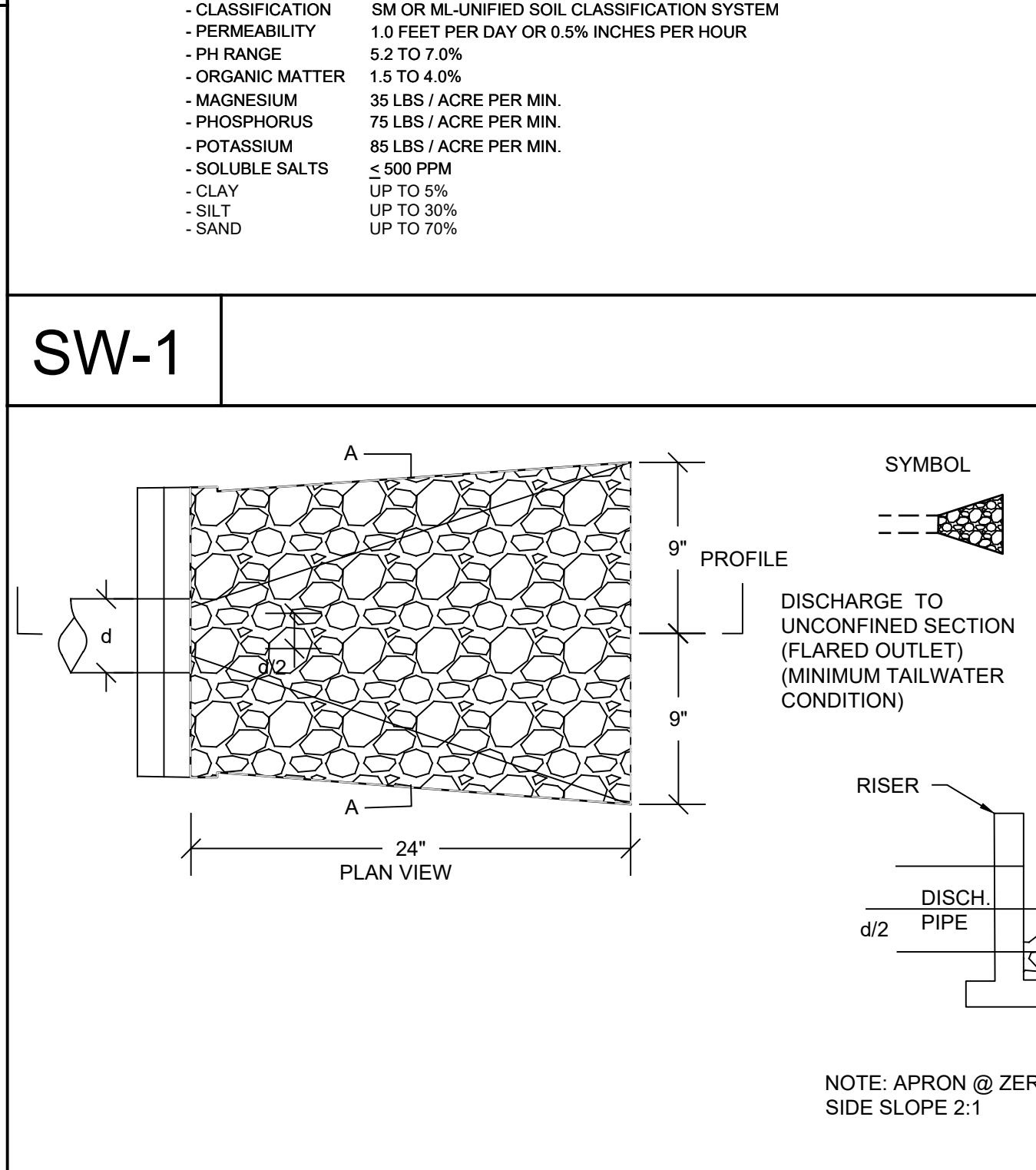
E-3 INLET PROTECTION DETAIL
NOT TO SCALE



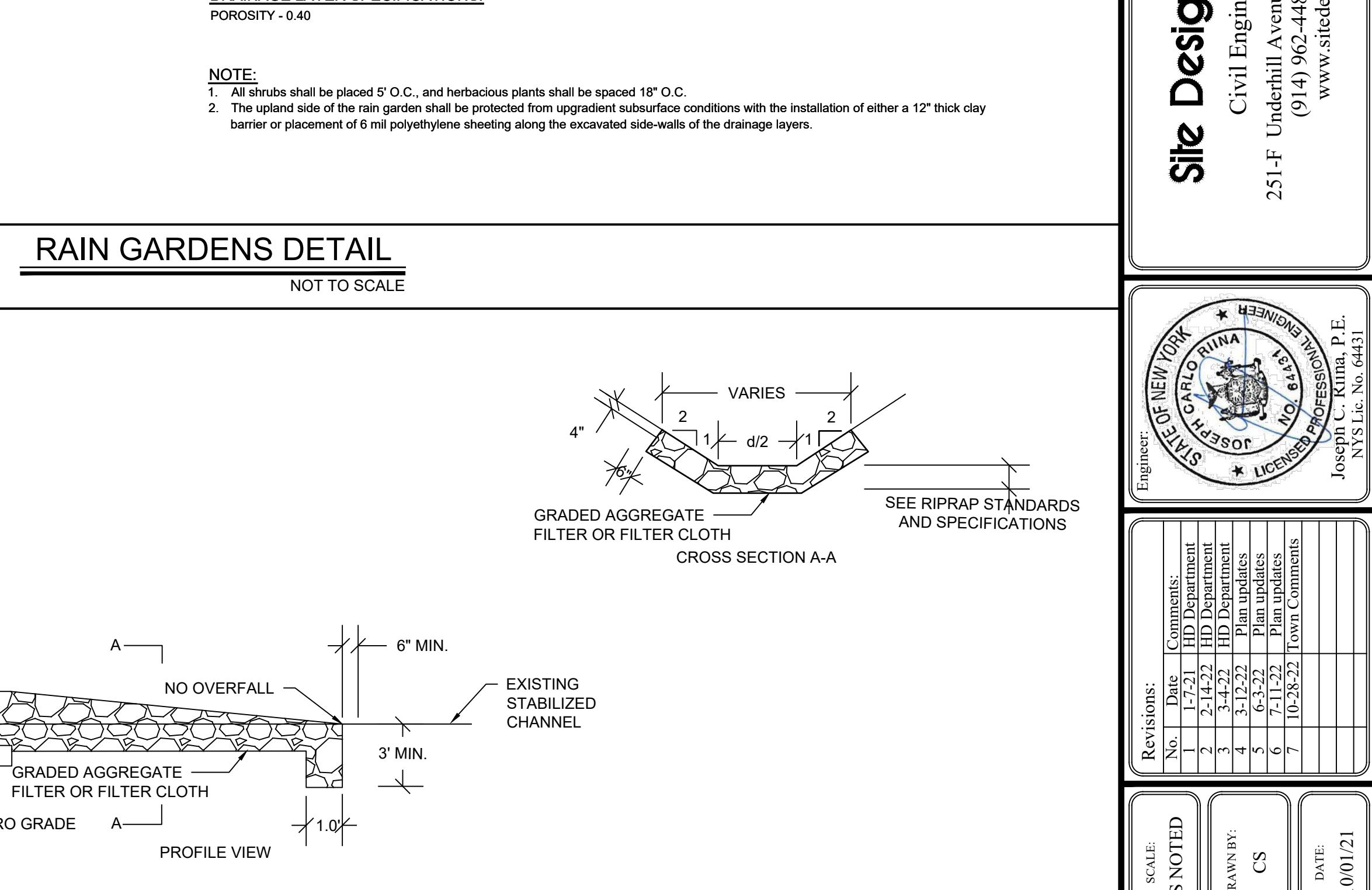
SW-3 RAIN GARDEN WORKSHEET



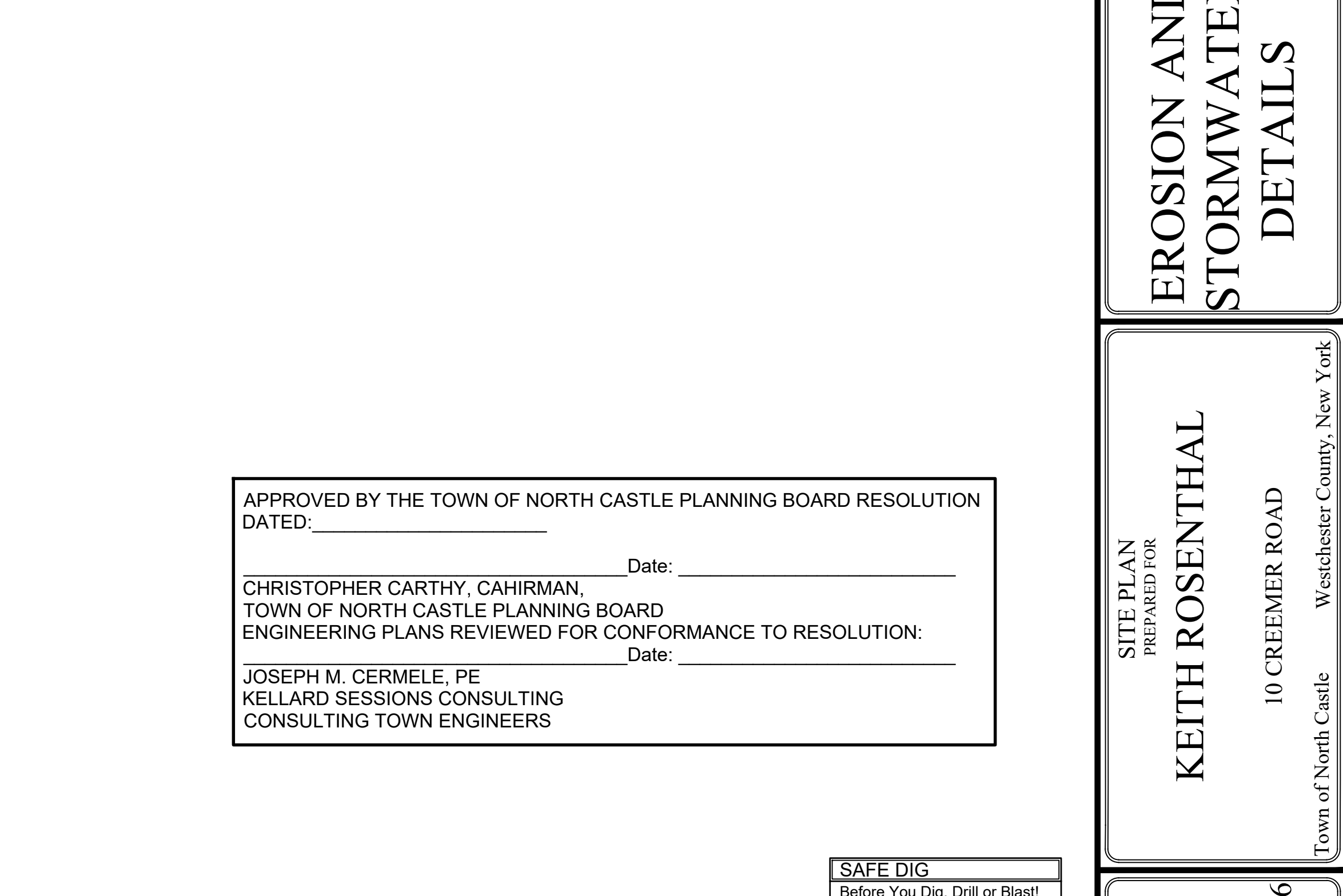
SW-2 RIP-RAP DETAIL
NOT TO SCALE



SW-1 RAIN GARDENS DETAIL
NOT TO SCALE



SW-2 RIP-RAP DETAIL
NOT TO SCALE



SW-3 RAIN GARDEN WORKSHEET

E:\2024\24-28\KEITH ROSENTHAL - 10 CREEMER ROAD - ARMONK\ENGINEERING\CAD\CAD-24-28\KEITH ROSENTHAL - 10 CREEMER ROAD - ARMONK\DWG\24-28 ROSENTHAL SITE PLAN - 7-11-24.DWG, 6/20/24, 5:20:28 PM

PROJECT # 21-28

Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Joseph C. Kuma, P.E.
NYS Lic. No. 64431

Revisions:	No.	Date	Comments
	1	1-7-21	HD Department
	2	2-14-22	HD Department
	3	3-4-22	HD Department
	4	6-3-22	Plan updates
	5	7-11-22	Plan updates
	6	10-28-22	Town Comments
	7		

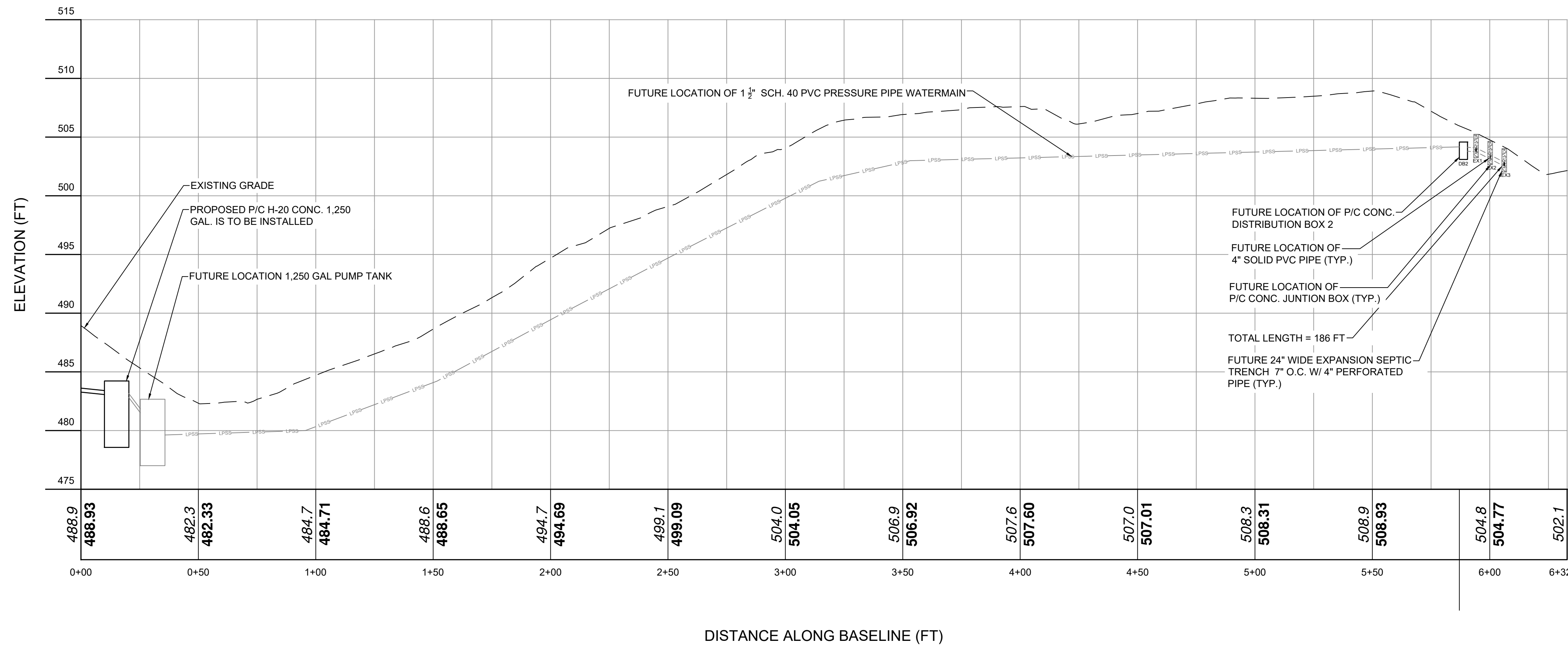
SCALE: AS NOTED
DRAWN BY: CS
DATE: 10/01/21

KEITH ROSENTHAL
SITING PLAN PREPARED FOR
10 CREEMER ROAD
Town of North Castle
Westchester County, New York

Sheet 5 of 6



NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.



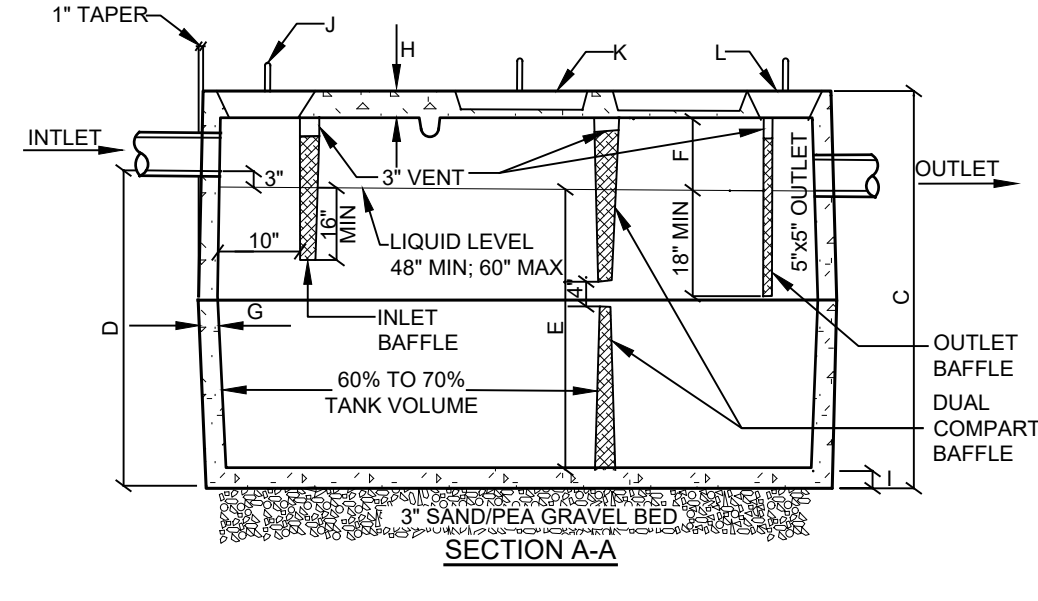
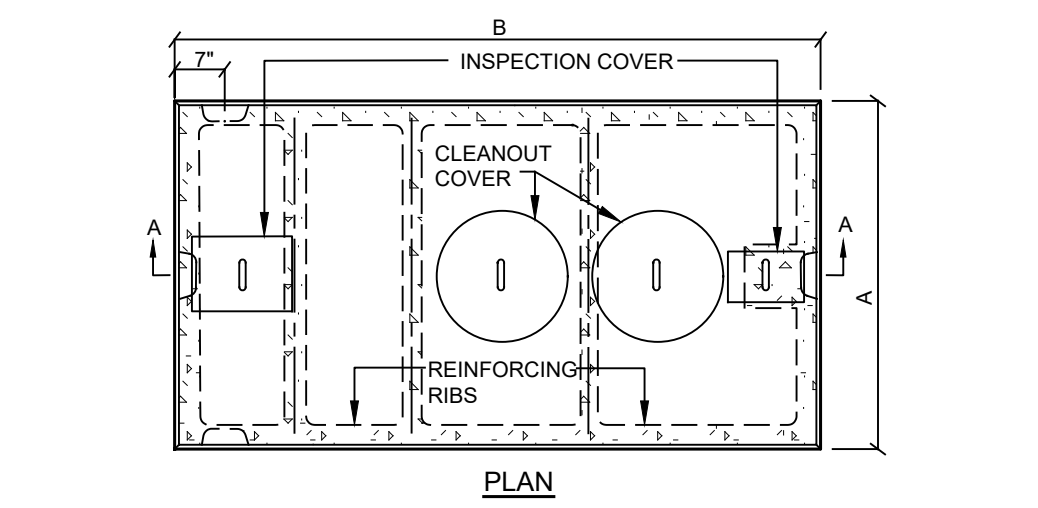
HOUSE SEWER	INV. OUT = 483.27'
SEPTIC TANK	INV. IN = 483.07'
	INV. OUT = 482.81'
PUMP TANK	INV. IN = 481.52'
	INV. OUT = 481.47'
DISTRIBUTION BOX 1	INV. IN = 503.96'
	INV. OUT = 503.80'
EXP. TRENCH 1	INV. IN = 503.74'
EXP. TRENCH 2	INV. IN = 503.14'
EXP. TRENCH 3	INV. IN = 502.52'

Septic Profile
VERT. SCALE: 1" = 8
HORIZ. SCALE: 1" = 40

SEPTIC SYSTEM 100% EXPANSION PROFILE DETAIL

SCALE 1" = 30'

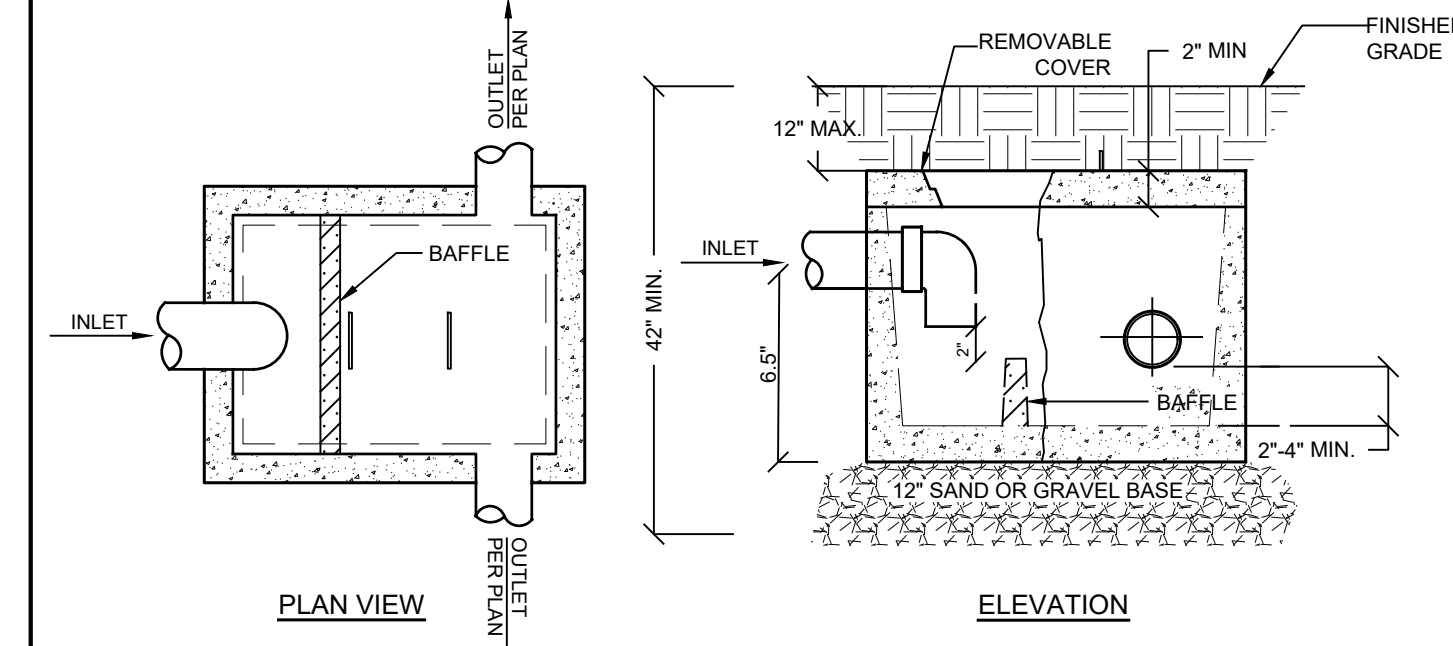
S-1



LIQUID CAPACITY	A	B	C	D	E	F	G	H	I	J	K
1,000 Gal.	60"	100"	67"	60"	48"	12"	3"	5"	4"	6'x0"	20'x9"
1,250 Gal.	60"	120"	67"	58"	48"	12"	3"	5"	4"	6'x0"	20'x9"
1,500 Gal.	65"	120"	91"	58"	48"	12"	3"	5"	4"	6'x0"	20'x9"
2,000 Gal.	78"	144"	67"	66"	48"	12"	3"	5"	4"	6'x0"	20'x9"

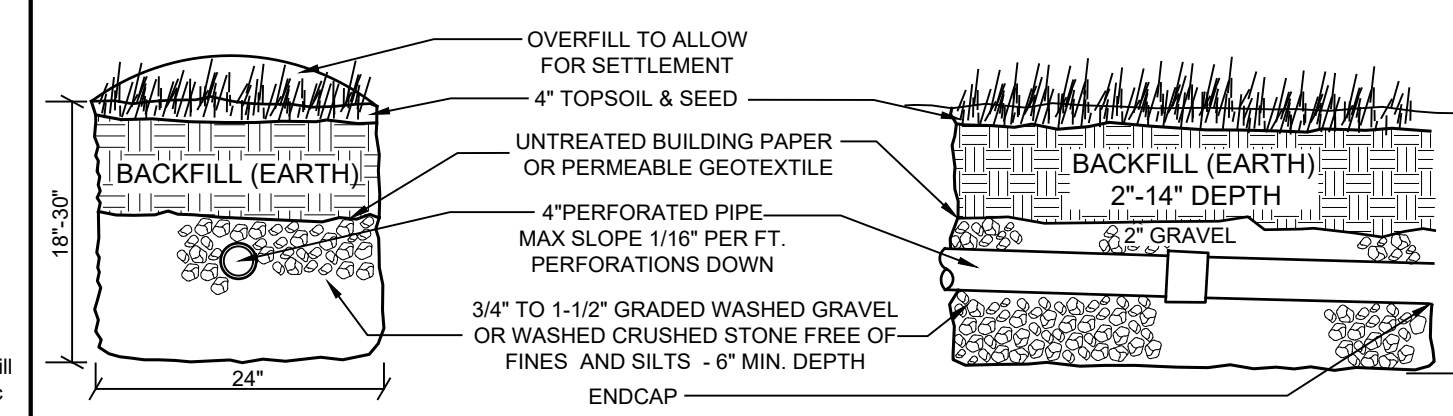
- NOTE: Add 4" to H for H-20 Loading
- The minimum required fill cover above the septic tank shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the septic tank is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - The dual compartment baffle is required on all septic tanks with a length "B" equal to or greater than 10 feet.
 - For installations that require an overflow tank, a tank the same size as the septic tank shall be used. Dual compartment baffles are not required on overflow tanks regardless of the size.
 - All pipes connecting to the tank shall be cut flush with the inside wall.
 - Septic tank has a top loading capacity of 300 gpd
 - Tank shall be manufactured by Mid Hudson Concrete Products, Inc.

S-2 PRECAST CONCRETE SEPTIC TANK DETAIL AND OVERFLOW TANK DETAIL NOT TO SCALE



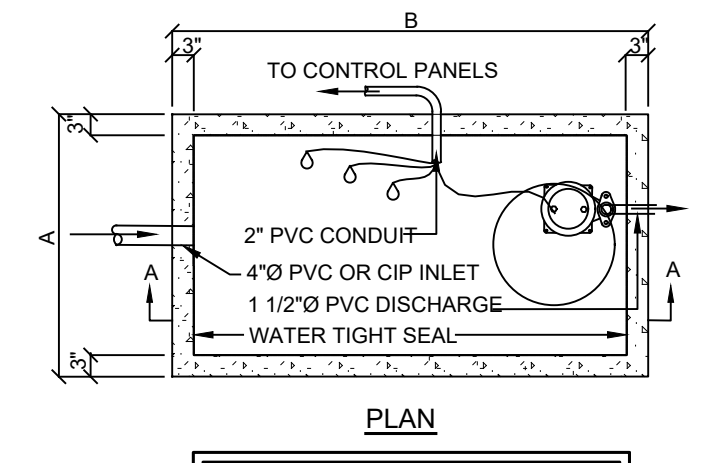
- NOTES:
- A distribution box evenly distributes wastewater effluent to subsurface absorption areas or seepage pits.
 - Distribution boxes shall be waterproof and constructed of concrete and the concrete shall have a minimum compressive strength of 2,500 pounds per square inch at 28 day set.
 - For accessibility, it is necessary that the distribution box be located and have a removable cover not more than twelve (12) inches below grade. Where, due to site conditions, a distribution box must be greater than twelve (12) inches below the surface, an extension collar shall be installed to within twelve (12) inches of the surface.
 - All outlets from the distribution box shall be at the same level to insure the even distribution of flow.
 - To minimize frost action and reduce the possibility of movement after the distribution box has been installed, distribution boxes must be set on a bed of sand or pea gravel at twelve (12) inches thick. In addition, the bottom of the box must be set level and supported solidly to below the frost line and the footing is to extend to 42 inches below ground level.
 - All distribution boxes shall be equipped with a 90 degree elbow facing down on the inlet pipe and a baffle.
 - The drop between the inlet and outlet inverts shall be at least two (2) inches.
 - There shall be a minimum two (2) inch clearance between the inverts of the outlets and the bottom of the box to prevent short circuiting and reduce solids carry-over.
 - Speed level devices on the outlets are recommended to ensure equal flow to each lateral.
 - Distribution boxes should be inspected periodically to ensure equal flow to all absorption lines and to check for solids leaving the septic tank.
 - Tight joint pipe from the septic tank, discharge line from dose chamber, or forcemain from pump chamber to inlet side of distribution box.
 - Tight joint pipe between all boxes.
 - Outlet pipes to be cut flush with inside of distribution box.

S-3 DISTRIBUTION BOX DETAIL NOT TO SCALE



- NOTES:
- Ends of all trenches are to be capped.
 - Minimum 5' of soil between the bottom of absorption trench and presence of groundwater table and/or creviced rock.
 - Maximum slope, 4 inch gravity distribution lines (1/16" per ft) 0.5% maximum.
 - Maximum slope, when dosing is provided (1/32" per ft) 0.25% maximum.

S-4 PERFORATED PIPE TRENCH DETAIL NOT TO SCALE



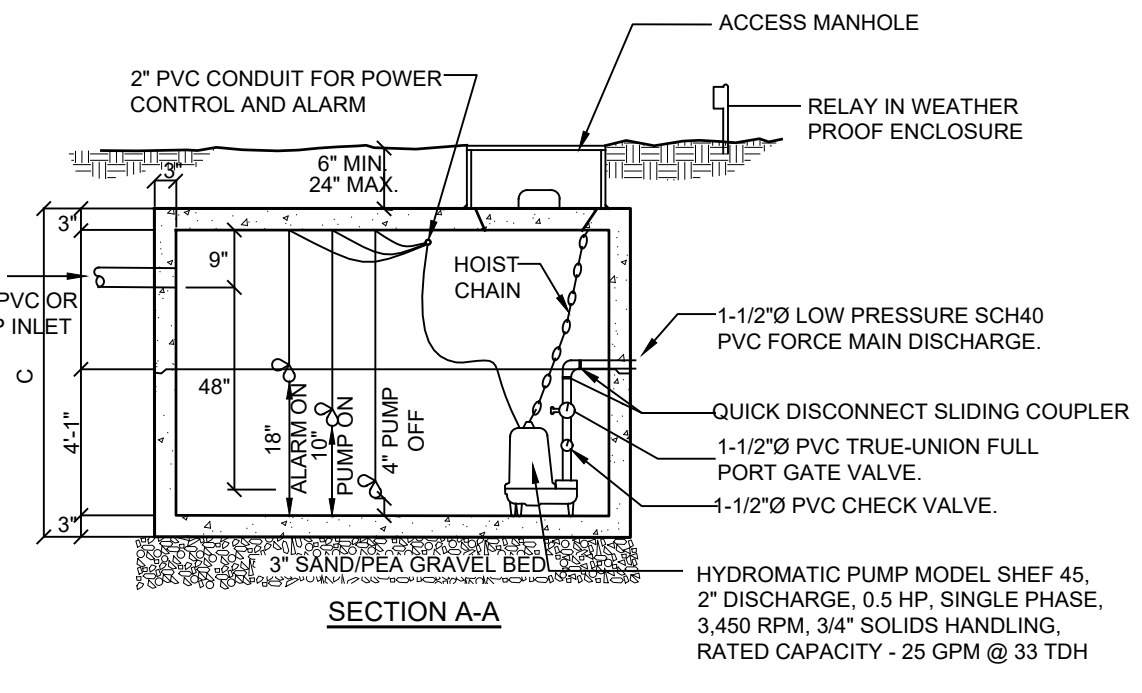
LIQUID CAPACITY	A	B	C
1,250 Gal.	60"	120"	67"

PUMP CALCULATIONS:
TOTAL FLOW: 800 GAL./DAY
LENGTH OF FIELDS: 340 L.F. W/2" TRENCHES
RATE OF PUMPING: 0.5 GAL./L.F.

HEAD LOSS CALCULATION:
TOTAL HEAD LOSS = STATIC LOSS + FRICTION LOSS + MINOR LOSS
FROM DESIGN CALCULATIONS:
TDH = 29' + 4" = 33'

- NOTES:
- The minimum required fill cover above the pump chamber shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the pump chamber is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - Pump shall be Hydromatic pump Model SHEF 45, 2" discharge, 0.5 HP, single phase, 3,450 RPM, 3/4" solids handling, rated capacity of 25 GPM @ 33 FT TDH.
 - The Contractor shall provide one (1) spare pump of equal size to be maintained on site at all times.
 - Pump chamber as manufactured by Mid Hudson Concrete Products Inc.
 - Pump settings may vary for tanks whose dimensions differ from those shown above. Contractor shall notify engineer of any change.
 - All pipes connecting to the chamber shall be cut flush with the inside wall.
 - Contractor shall supply and install control / alarm panel within building basement or other approved location.
 - Electrical Underwriters Certificate is required for all installations.

S-5 PUMP CHAMBER DETAIL NOT TO SCALE



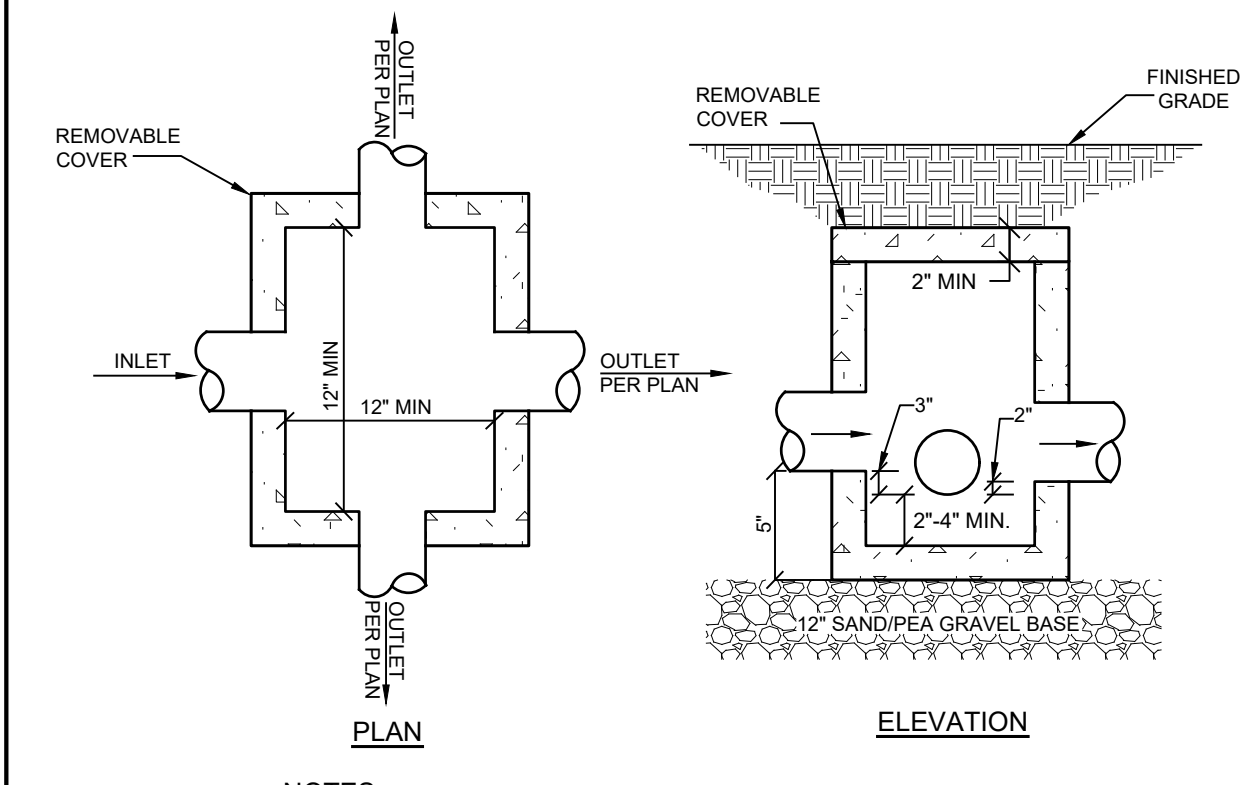
VOLUME TO BE PUMPED TO SYSTEM:
REQUIRED VOLUME = 0.5 GAL. / L.F. X 340 L.F. = 170 GAL.
= 170 GAL./7.48 GAL./C.F. = 22.7 C.F.

PUMP CHAMBER INTERIOR DIMENSIONS:
= 4.5' X 9.5' = 42.75 S.F PER FOOT OF HEIGHT

THEREFORE, REQUIRED DISTANCE BETWEEN ON/OFF FLOAT SWITCH:
= 22.7 C.F. / 42.75 S.F. PER FOOT = 0.5' OR 6"

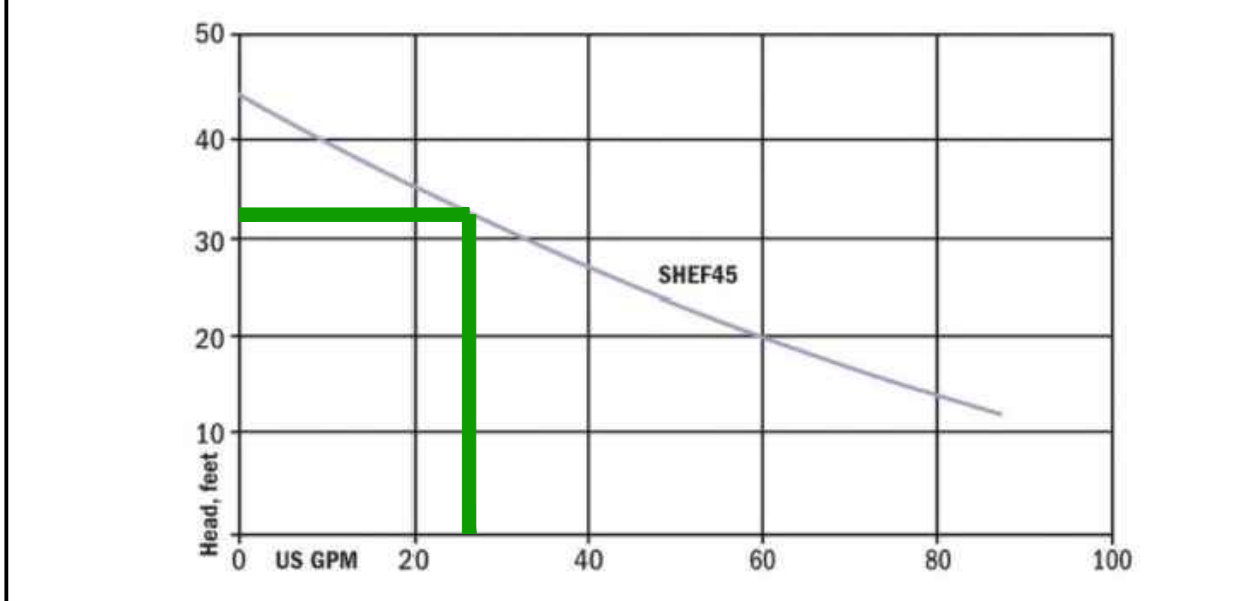
PUMP CHAMBER STORAGE VOLUME:
= 42.75 S.F. X 4' X 7.48 GAL./C.F. = 1279 GAL. > 1,250 GAL.

STORAGE VOLUME:
BETWEEN ALARM-ON ELEVATION AND INVERT OF INLET PIPE:
STORAGE = 2.8' (9.5' X 4.5') = 119.7 C.F.
119.7 C.F. X (7.48 GAL./C.F.) = 895 GAL.

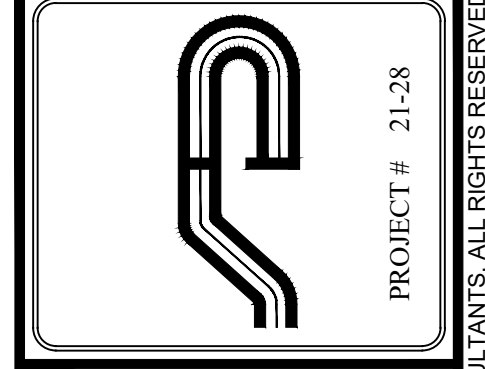


- NOTES:
- Bottom of junction box must be level and firmly supported below frost line.
 - Junction box footing shall extend to 36" below ground level.
 - Junction boxes shall be placed on single branch distributors.
 - Junction boxes shall be constructed of waterproof masonry construction.
 - Tight joint pipe shall be used between the septic tank and junction box and between all junction boxes and laterals.
 - All pipes connecting to the junction box shall be cut flush with the inside wall.
 - Maximum cover above junction boxes shall be 12 inches.
 - The clear inside dimension of junction boxes shall be a minimum of 12" x 12".
 - All pipes shall be cut flush with inside of junction box.
 - First foot of pipe from junction box to trenches will be non-perforated.

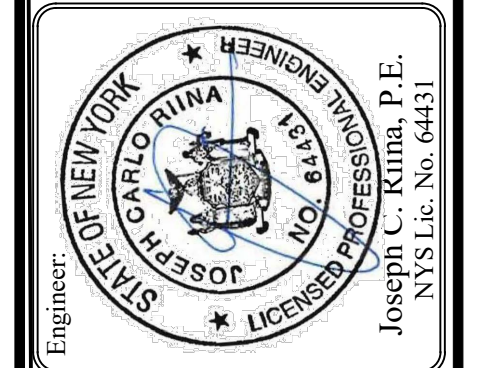
S-6 JUNCTION BOX DETAIL NOT TO SCALE



S-7 PUMP CURVE DETAIL NOT TO SCALE



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	5	7-11-22	Plan updates
	6	10-28-22	Town Comments

SCALE: AS NOTED
DRAWN BY: CS
DATE: 10/01/21

SEPTIC DETAILS

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Westchester County, New York
Town of North Castle

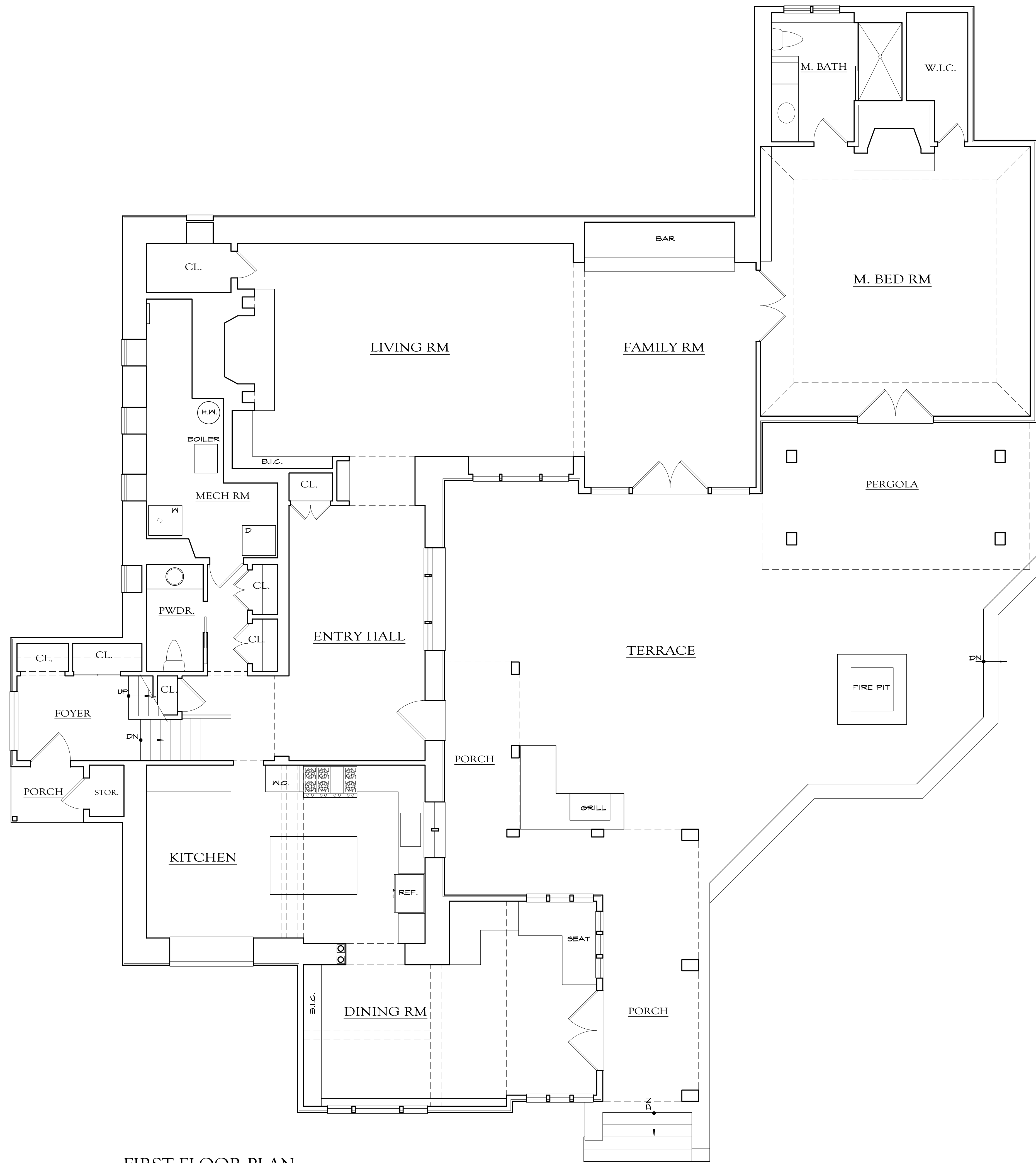
Sheet 6 of 6

E:\2024\12-28\KEITH ROSENTHAL - 10 CREEMER ROAD, ARMONK\ENGINEERING\CAD\2024\21-28\KEITH ROSENTHAL - 10 CREEMER ROAD, ARMONK\ENGINEERING\CAD\2024\21-28\ROSENTHAL SITE PLAN_21-11-22.DWG, 6/20/2022 5:20:28 PM

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.

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ARCHITECTURAL PLANS



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" EXISTING

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE RE-USED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURES FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WIRES DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.

Armonk, NY

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

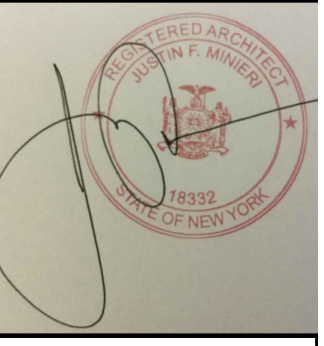
JUSTIN F. MINIERI, AIA
NCARB MEMBER
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914-576-7387 TEL 914-575-5238 FAX
1000 State Street, Suite 200, New Rochelle, NY 10801
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LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- WINDOW OR DOOR TO REMAIN
- WINDOW OR DOOR TO BE REMOVED
- WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR RE-USE)

DATE: 1/31/22

REVISIONS: 6/3/22
11/8/22 8/11/22
8/30/22
9/21/22
9/30/22



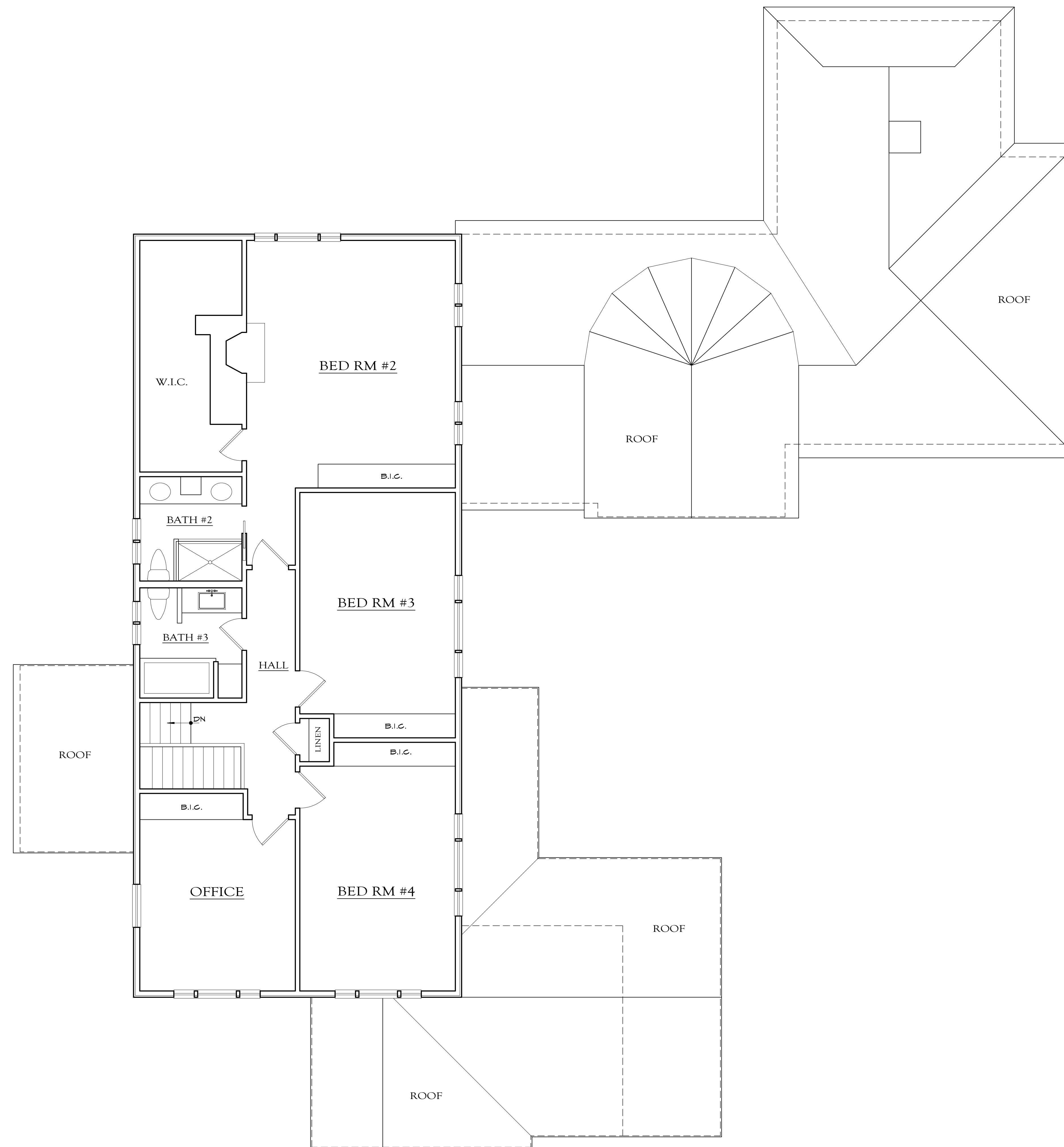
DWG No. **A02**
FLOOR PLAN

DO NOT SCALE PRINTS

Rosenthal / 220079

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" EXISTING

Armonk, NY

Proposed Addition & Alteration to

Rosenthal Residence
10 Creemer Road

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10823333333
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LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- WINDOW OR DOOR TO REMAIN
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DATE: 1/31/22

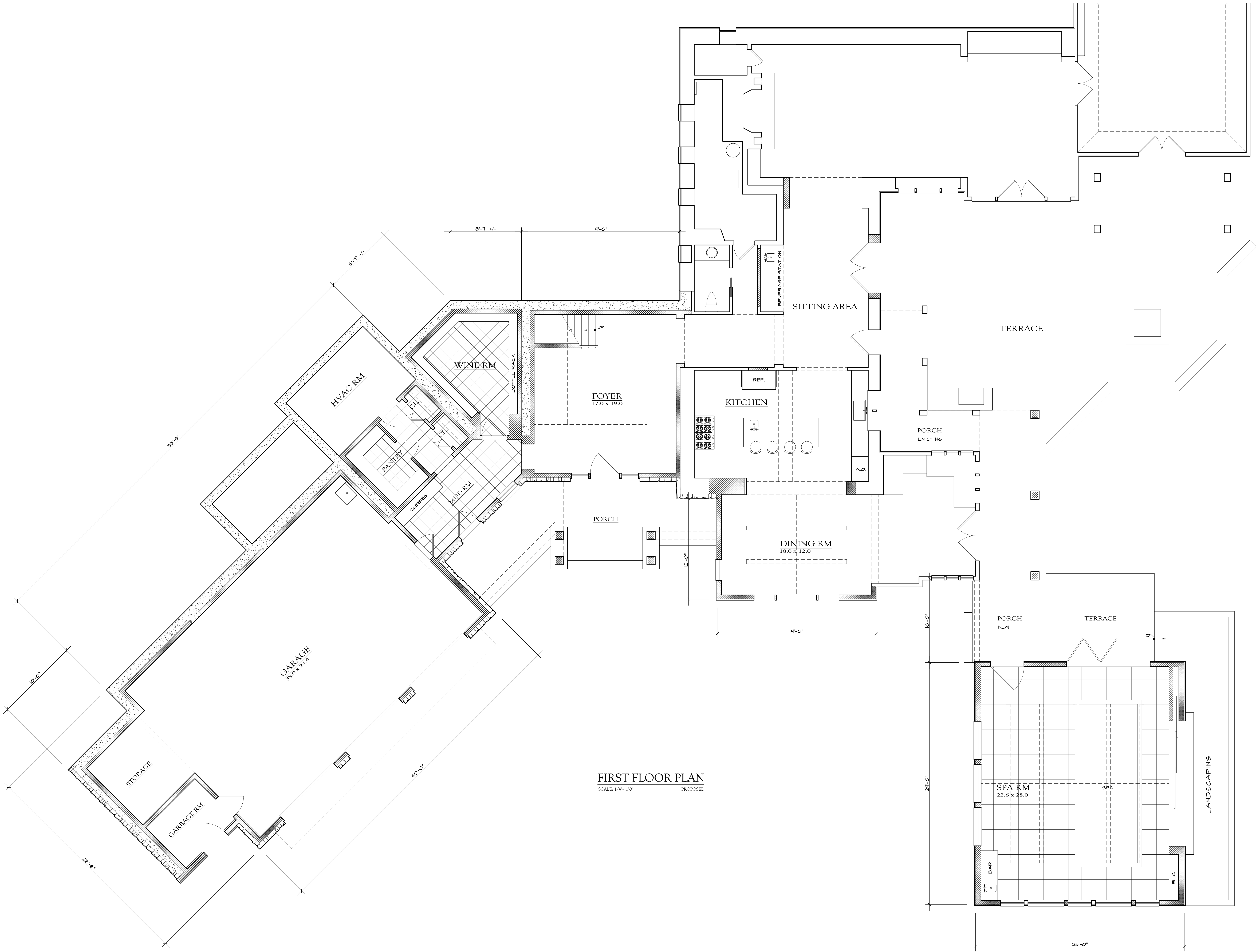
REVISIONS: 6/3/22
11/8/22 8/11/22
8/30/22
9/21/22
9/30/22



DWG No. **A03**
FLOOR PLAN

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Rosenthal / 220079



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" PROPOSED

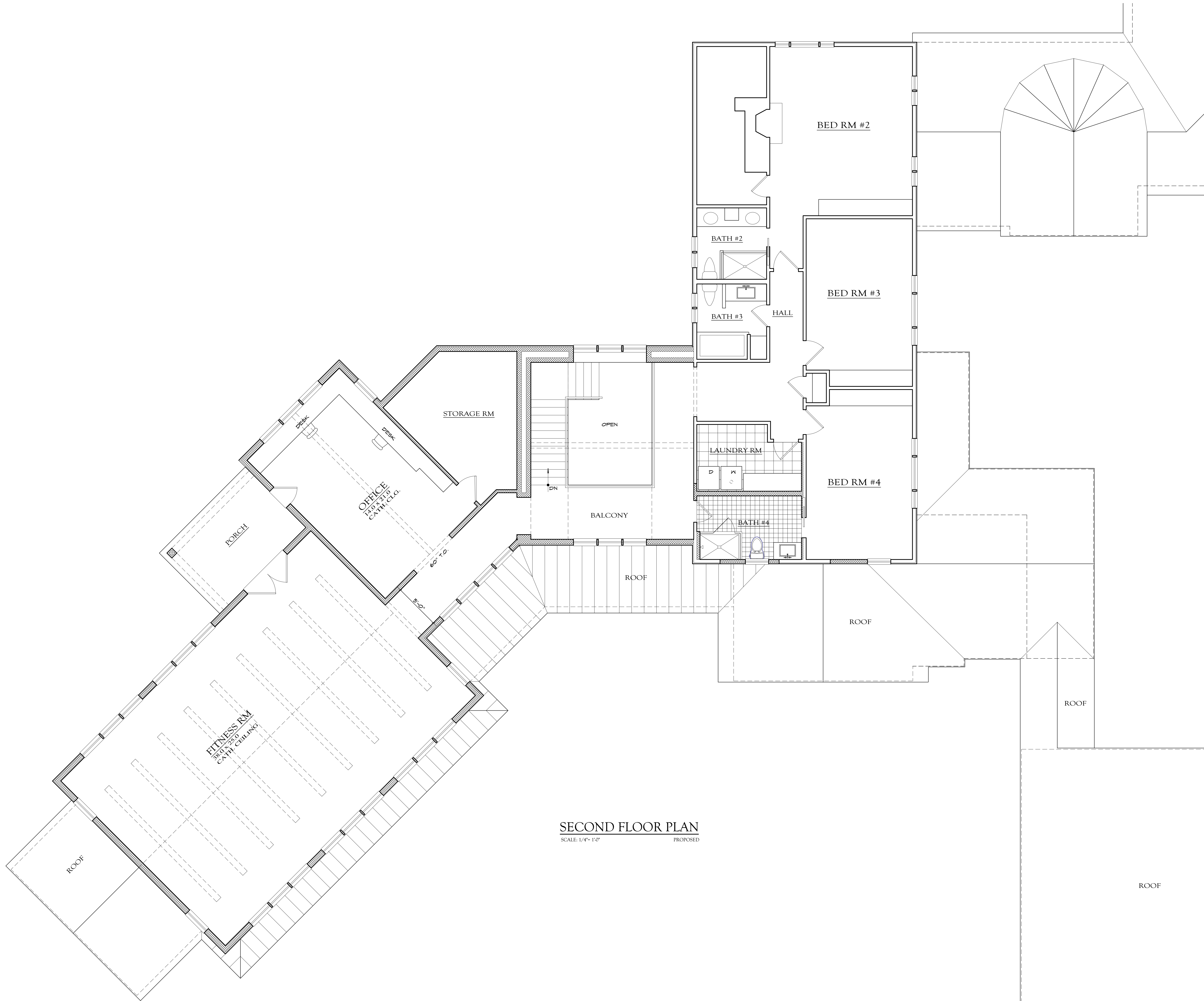
Armonk, NY

Proposed Addition & Alteration to
Rosenthal Residence
10 Cremer Road

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DATE: 1/31/22
 REVISIONS: 6/3/22
 11/8/22 8/11/22
 8/30/22
 9/21/22
 9/30/22

DWG No. **A07**
FLOOR PLAN
Rosenthal / 220079



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
PROPOSED

GENERAL NOTES

- SEE PLANS PREPARED BY DESIGNER FOR KITCHEN CABINET, PLUMBING FIXTURES AND APPLIANCE LAYOUT. G.C. SHALL PROVIDE CABINET SCHEDULES AS REQUIRED.
- SEE WINDOW AND DOOR SCHEDULE FOR TYPES.
- PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF REVIEW WITH ARCHITECT.
- PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
- FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
- INSULATE ALL INTERIOR WALLS THROUGHOUT AS WELL AS ENTIRE FLOOR UNDER SECOND FLOOR ROOMS W/ "ROXUL" FOR SOUND DEADENING.
- PROVIDE 1/2" GYPSUM BOARD THROUGHOUT WALLS AND CEILING UNLESS OTHERWISE NOTED.
- FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE STRIP OAK AND MATCH EXISTING.
- STAIR SHALL BE SOLID WOOD CONSTRUCTION WITH OAK TREADS AND POPLAR RISERS. STAIR RAILING STYLE SHALL BE SELECTED BY OWNER. G.C. SHALL SUBMIT SAMPLES FOR OWNER'S APPROVAL.
- TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
- INTERIOR DOORS SHALL MATCH EXISTING.
- OWNER SHALL SELECT ALL CABINETRY.
- OWNER SHALL SELECT DOOR HARDWARE.
- PRIME AND PAINT DRYWALL (3 COATS, 1 PRIME & FINISH) STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER'S FOR REVIEW AND APPROVAL.

HVAC

- CONTRACTOR SHALL REVIEW HEATING AND AIR CONDITIONING REQUIREMENTS WITH OWNER. SUBMIT PROPOSED SYSTEM WITH SPECIFICATIONS FOR OWNER'S REVIEW AND APPROVAL.
- GARAGE SHALL BE HEATED ON A SEPARATE SYSTEM.
- HVAC CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL S CALCULATIONS.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE DETAILED DUCT PLAN IF REQUESTED BY LOCAL OFFICIAL.

STAIR & RAILING

SHALL COMPLY WITH SECTION R311 OF THE 2020 RGNYS

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36" (SECTION R311.7.5)		
GUARDRAIL HEIGHT	42" (SECTION R312.1)		

LEGEND

- EXISTING WALL (VERIFY IN FIELD)
- NEW WOOD STUD WALL 2 x @ 16" O.C.
- POURED CONCRETE WALL
- CMU WALL (CEMENT GROUT SOLID)
- STONE VENEER
- BRICK VENEER
- DOOR SIZE (NOTED IN INCHES)
- WINDOW TYPE *
- EGRESS WINDOW *
- HEADER SIZE *
- LINTEL SIZE *
- COPPER SILL PAN
- NUMBER OF STUDS (MULL OR JACK)
- FROST FREE HOSE BIB
- EXHAUST FAN (50 CFM, MIN) VENT TO EXTERIOR W/ METAL DUCT
- HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE

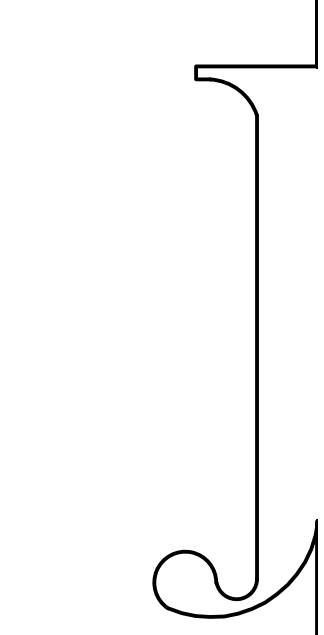
* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

DO NOT SCALE PRINTS

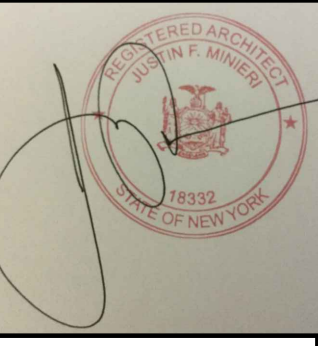
Armonk, NY

Proposed Addition & Alteration to
Rosenthal Residence
10 Creemer Road

JUSTIN F. MINIERI, AIA
NCARB MEMBER
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I am a duly licensed Architect in the State of New York. I am a member of the American Institute of Architects (AIA) and the New York State Board of Architects. My professional seal is valid and unexpired. I am not providing any services to the project of Justin F. Minieri, AIA. I am not providing any services to the project of Justin F. Minieri, AIA. I am not providing any services to the project of Justin F. Minieri, AIA.

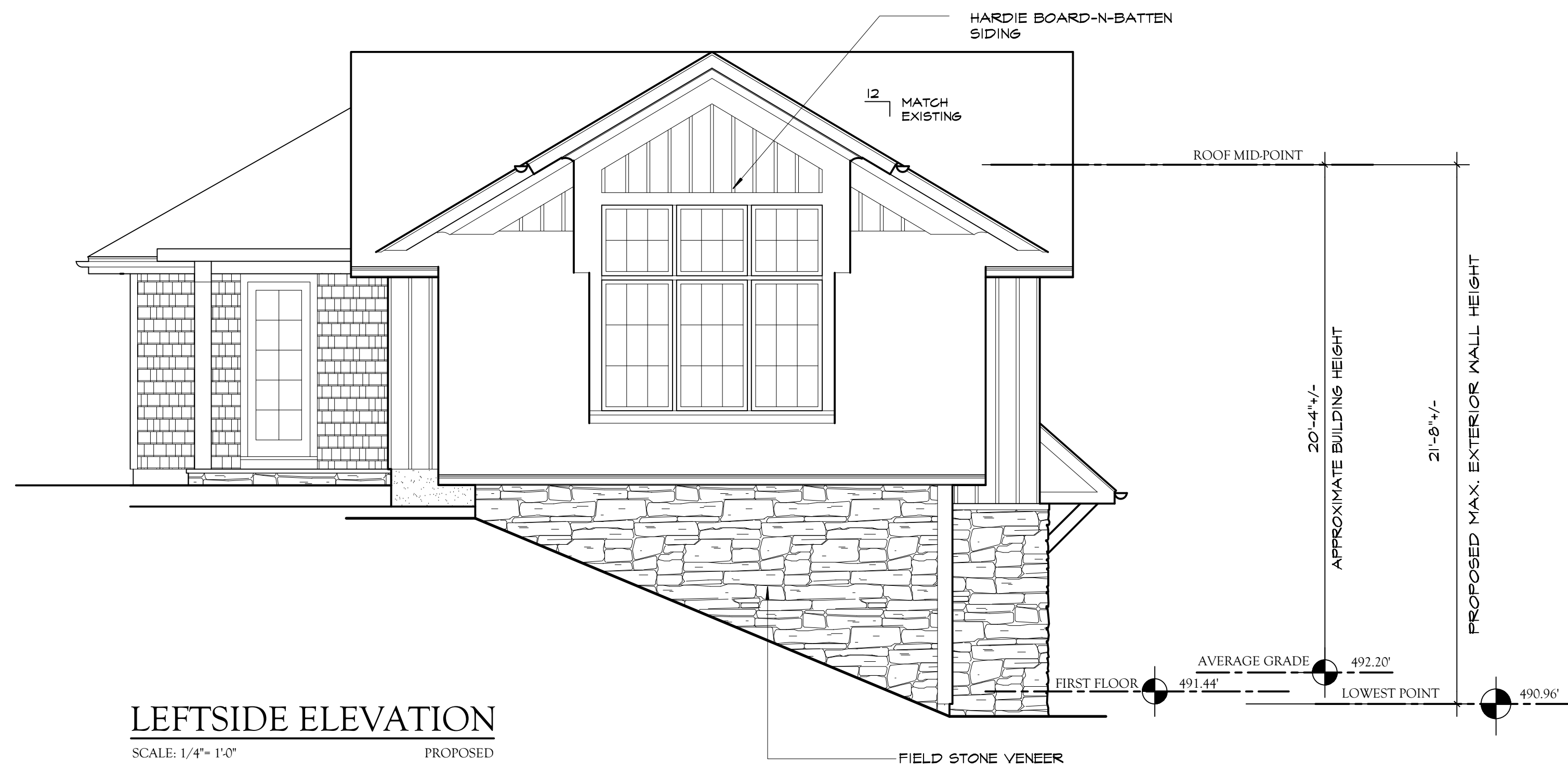


DATE: 1/31/22
REVISIONS: 6/3/22
11/8/22 8/11/22
8/30/22
9/21/22
9/30/22



DWG No. **A08**
FLOOR PLAN

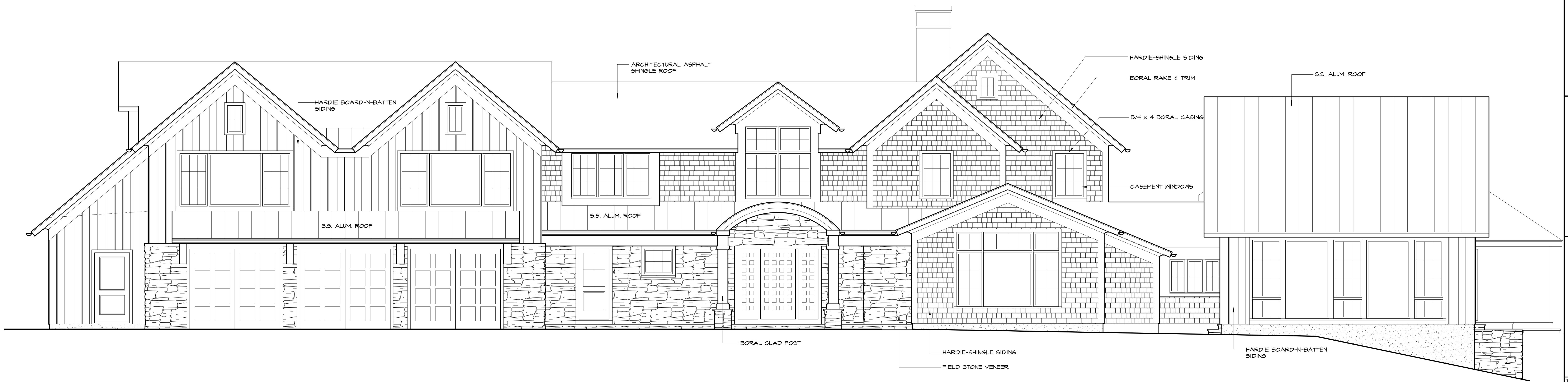
Rosenthal / 220079



LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



FRONT ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



FRONT ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

FRONT ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED

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 Armonk, NY

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Professional Seal and Stamp Required for the exercise of the practice of Architecture, AIA
 Under the supervision of a Licensed Professional Architect

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 9/30/22



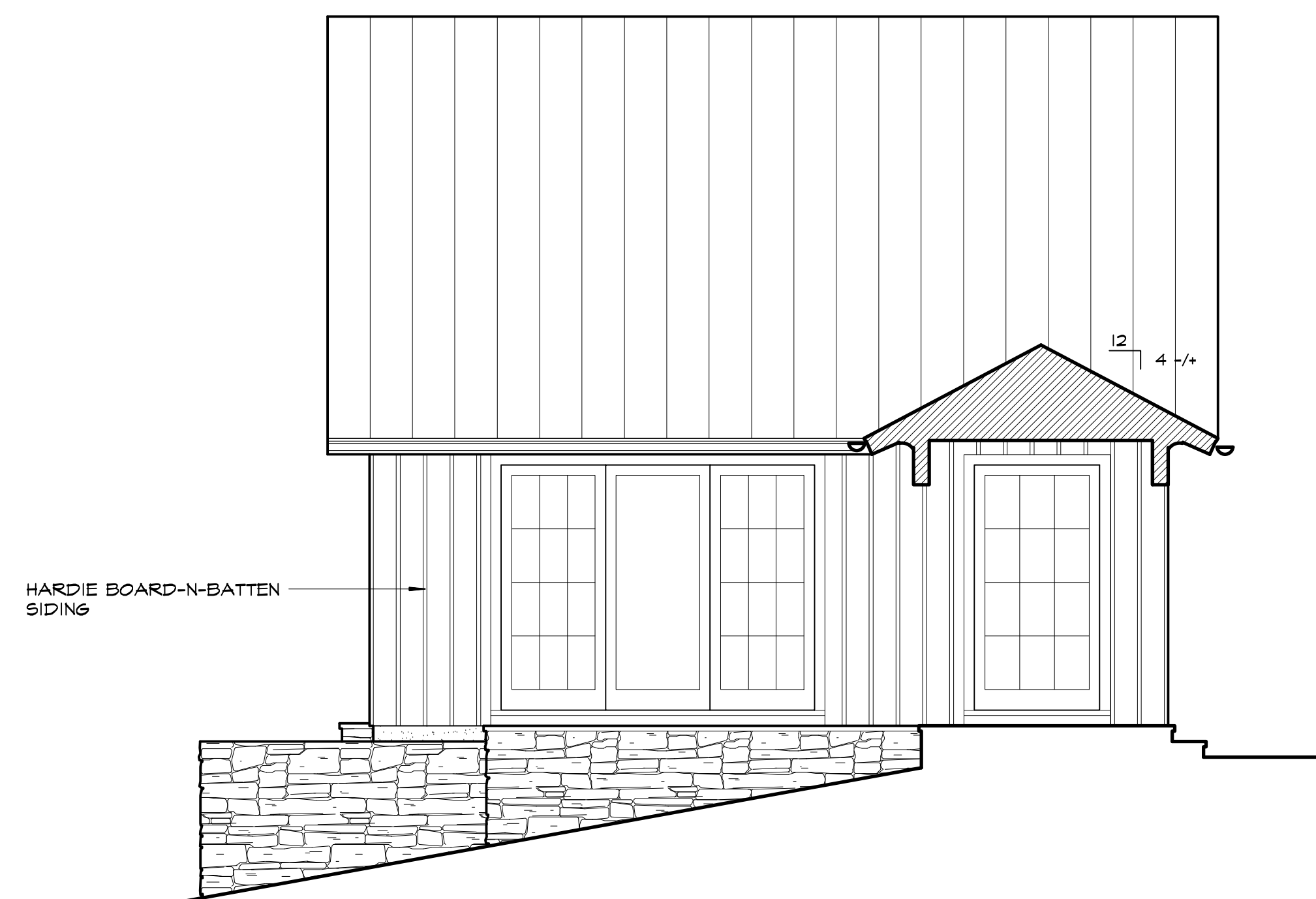
DWG No.
A13
 ELEVATION
 Rosenthal / 220079



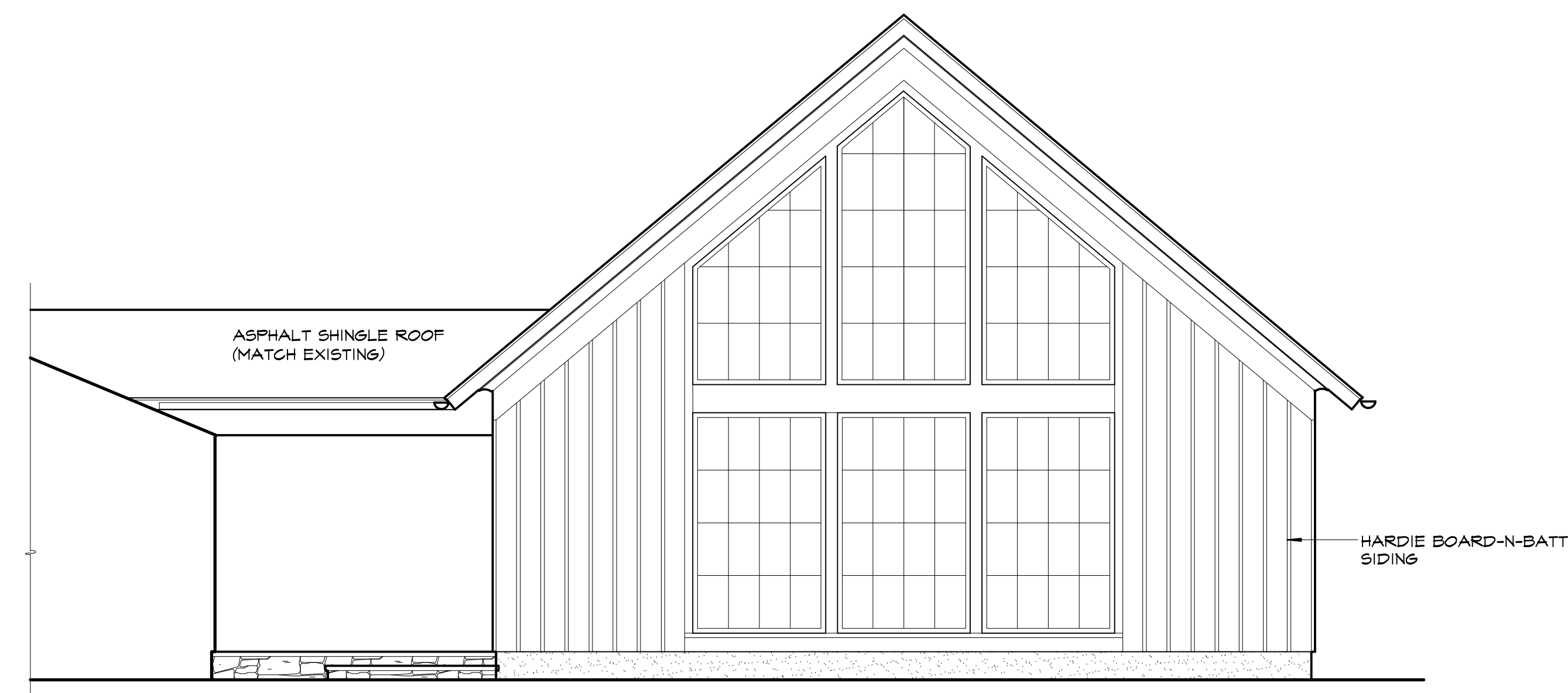
RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



RIGHTSIDE ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED



REAR ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED

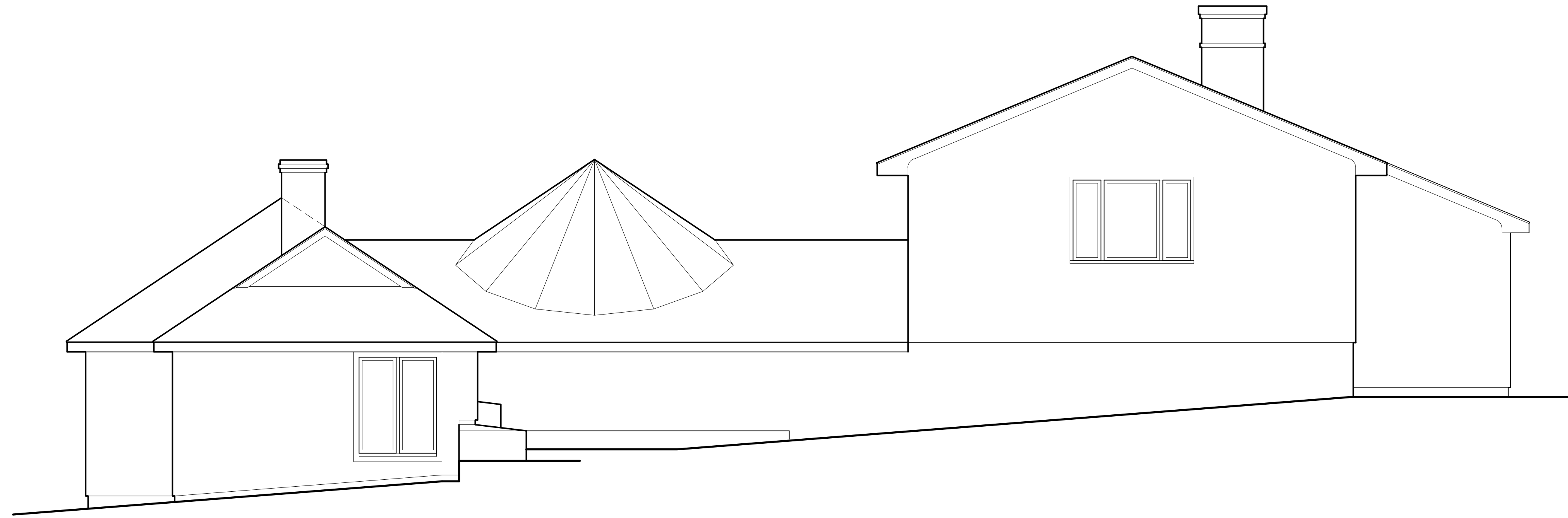


LEFTSIDE ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED

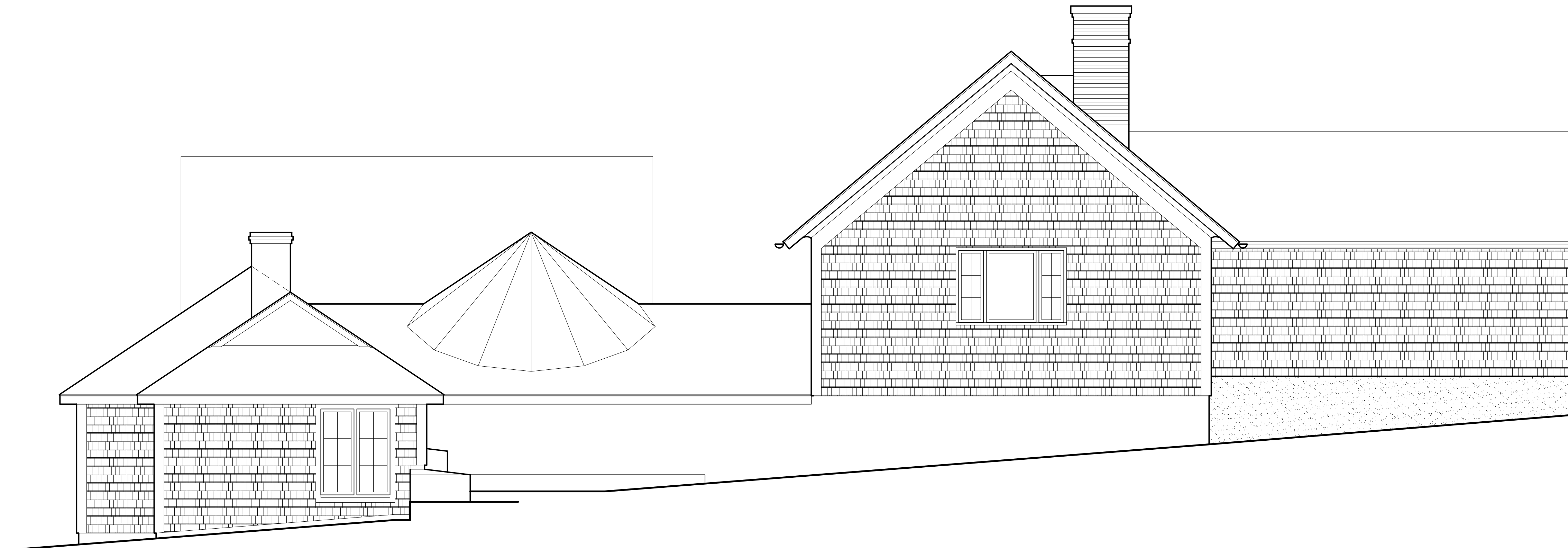
DATE: 1/31/22

REVISIONS:	6/3/22
	11/8/22
	8/17/22
	8/30/22
	9/21/22
	9/30/22





REAR ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



REAR ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

GENERAL NOTES

1. PROVIDE "GRACE ICE & WATER SHIELD" SELF-ADHERED ROOFING UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOF. "STANDARD ICE-SHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ROOFING SHALL BE STANDING SEAM ALUMINUM W/ MECHANICAL DOUBLE LOCK SYSTEM. ALUMINUM PANELS SHALL BE .032 IN. WITH KYNAR 500/ HYLAR 5000 FINISH. SUBMIT SAMPLES FOR OWNER'S REVIEW & APPROVAL.
4. PROVIDE (2) ROWS OF SNOW GUARDS AT ALL METAL ROOFS. GUARDS SHALL BE MECHANICALLY FASTENED CLAMP-TO-SEAM. GUARDS SHALL BE METALLURGICALLY COMPATIBLE WITH ROOFING MATERIAL. SUBMIT SAMPLES FOR ARCHITECT'S REVIEW.
5. ALL EXTERIOR TRIM SHALL BE "AZEK".
6. ROOFING SHALL BE ASPHALT SHINGLES.
7. GUTTERS & LEADERS SHALL BE BAKED ENAMEL ALUMINUM. GUTTER SHALL BE 6" w. K-STYLE.
8. FLASHING SHALL BE 16 OZ. COPPER.
9. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL. AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
10. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
11. RIDGE VENTS SHALL BE SHINGLEVENT BY AIRVENT, INC. OR EQUAL.
12. PROVIDE "AIR & VAPOR BARRIER" WRAP BY "GRACE" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL.
13. EXTERIOR WALL SHEATHING SHALL BE WRAPPED WITH "HYDROGAP" HOUSEWRAP BY BENJAMIN OBDYKE. ALL SEAMS SHALL BE TAPPED AS PER MANUFACTURER'S SPECIFICATIONS.
14. SIDING SHALL BE HARDIE SHINGLE.
15. PROVIDE 5/4 COMPOSITE KICK BOARD AT EACH DOORSILL.
16. PROVIDE COPPER DRIP EDGE FLASHING AT ALL FRIEZES, COLUMN CAPS, AND WINDOW & DOOR HEAD TRIM.
17. PROVIDE "AZEK" JBLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC. AS PER DETAIL.
18. REFER TO SPECIFICATIONS FOR PAINTING AND STAINING SCHEDULE. SUBMIT SAMPLES AS REQUESTED, FOR REVIEW AND APPROVAL.

THERMAL ENVELOPE
2020 RCNYS

LOCATION	TYPE	R-VALUE
ROOF	SPRAY FOAM (C)	R-49
CEILING	N/A	N/A
FLOOR (1)	SPRAY FOAM (C)	R-30 / R-49
FLOOR (2)	SPRAY FOAM (C)	R-21
WALLS (3)	SPRAY FOAM (C)	R-21
WALLS (4)	SPRAY FOAM (C)	R-21

(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
(3) EXTERIOR WALL (4) BASEMENT WALL PERIMETER
(C) OPEN CELL (C) CLOSED CELL
REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

BUILDING COMPONENT	NAME	TYPE	COLOR
ROOFING	GAF	ASPHALT	CHARCOAL
ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE - SHINGLE	WHITE/GRAY
TRIM	BORAL	HARDIE BOARD-BATTEN	WHITE
WINDOWS	ANDERSEN	FLAT STOCK & MOULDING PROFILES	WHITE
ENTRY DOORS	CUSTOM	CLAD	WHITE
GARAGE DOORS	CUSTOM	MAHOGANY	DARK MAHOGANY
MASONRY VENEER	STONE	COMPOSITE	WHITE
		CONNECTICUT	MATCH EXISTING

Armonk, NY

Proposed Addition & Alteration to

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9/30/22

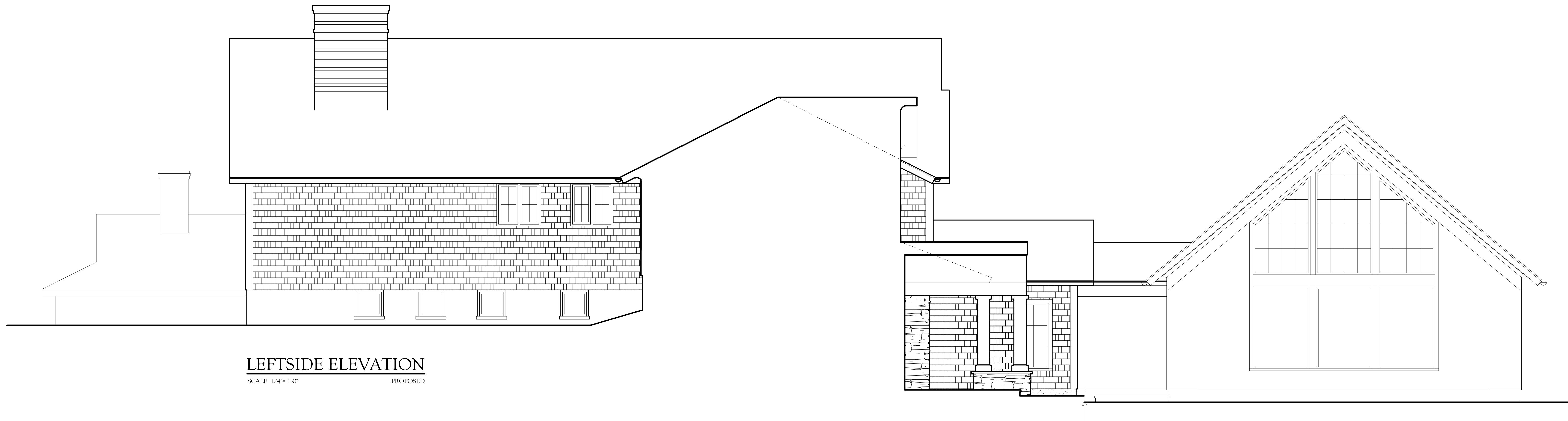
DWG No. **A15**
ELEVATION

Rosenthal / 220079

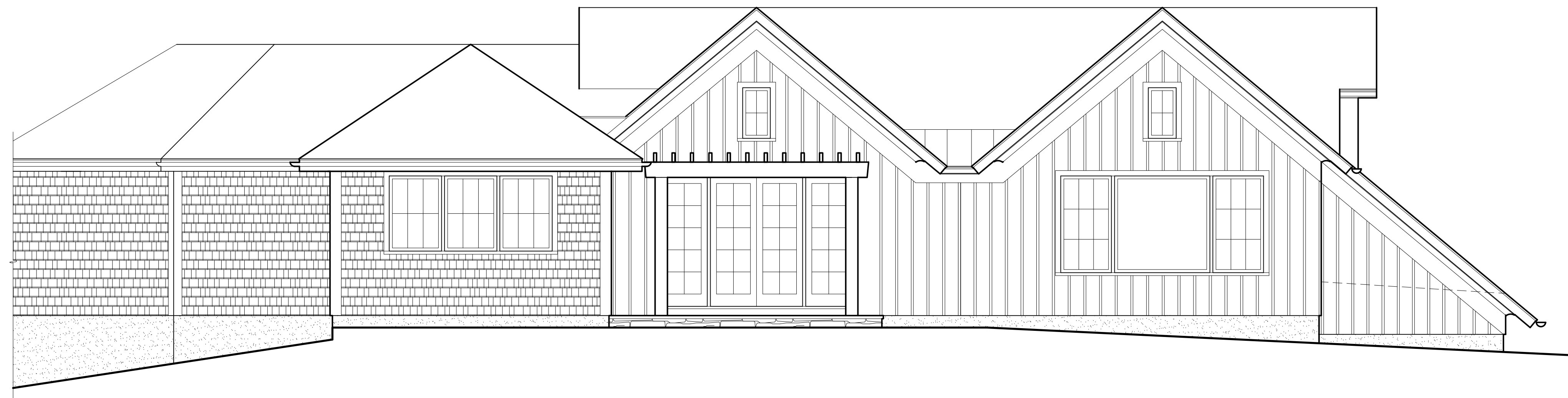
DO NOT SCALE PRINTS



LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

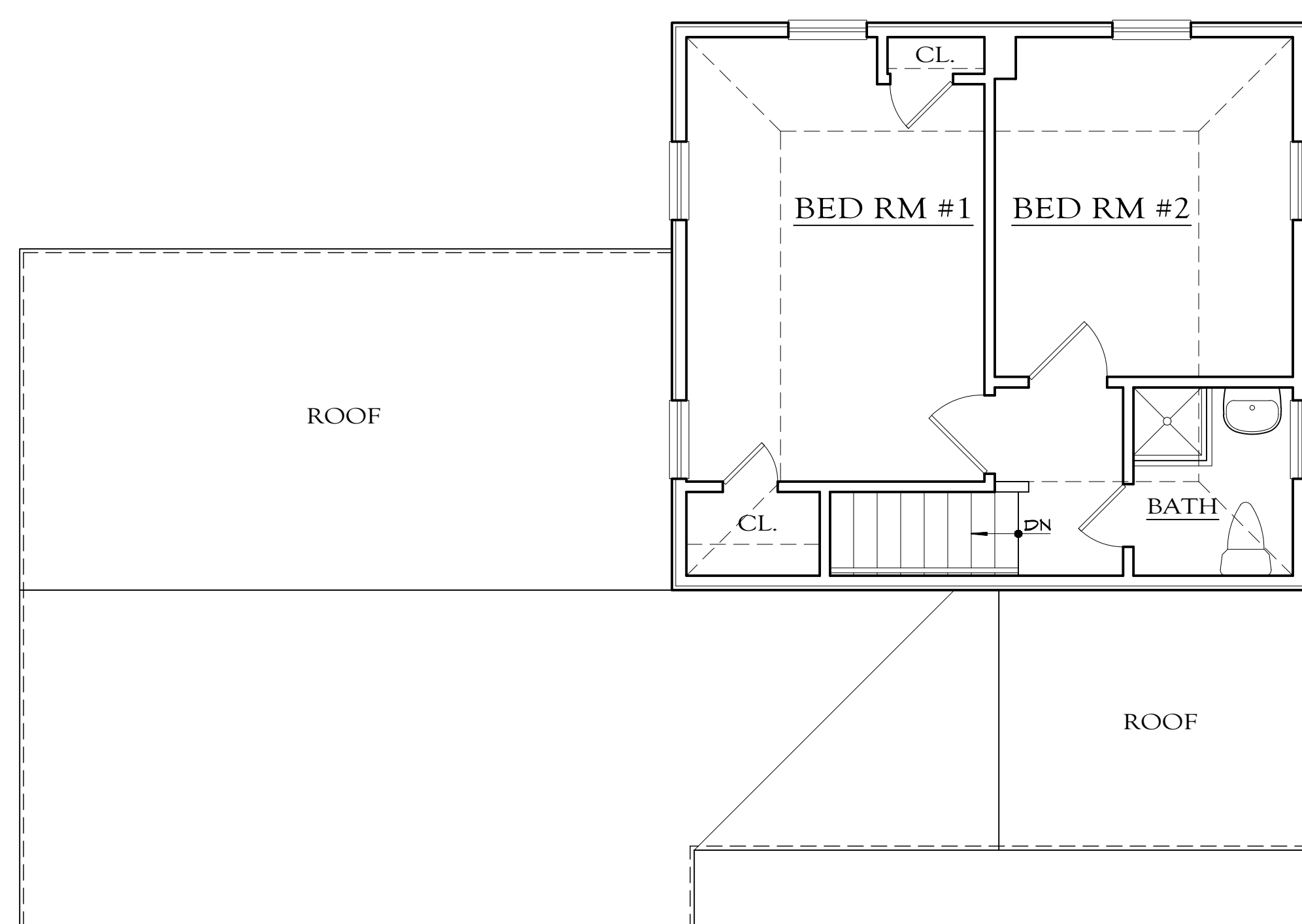


REAR ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



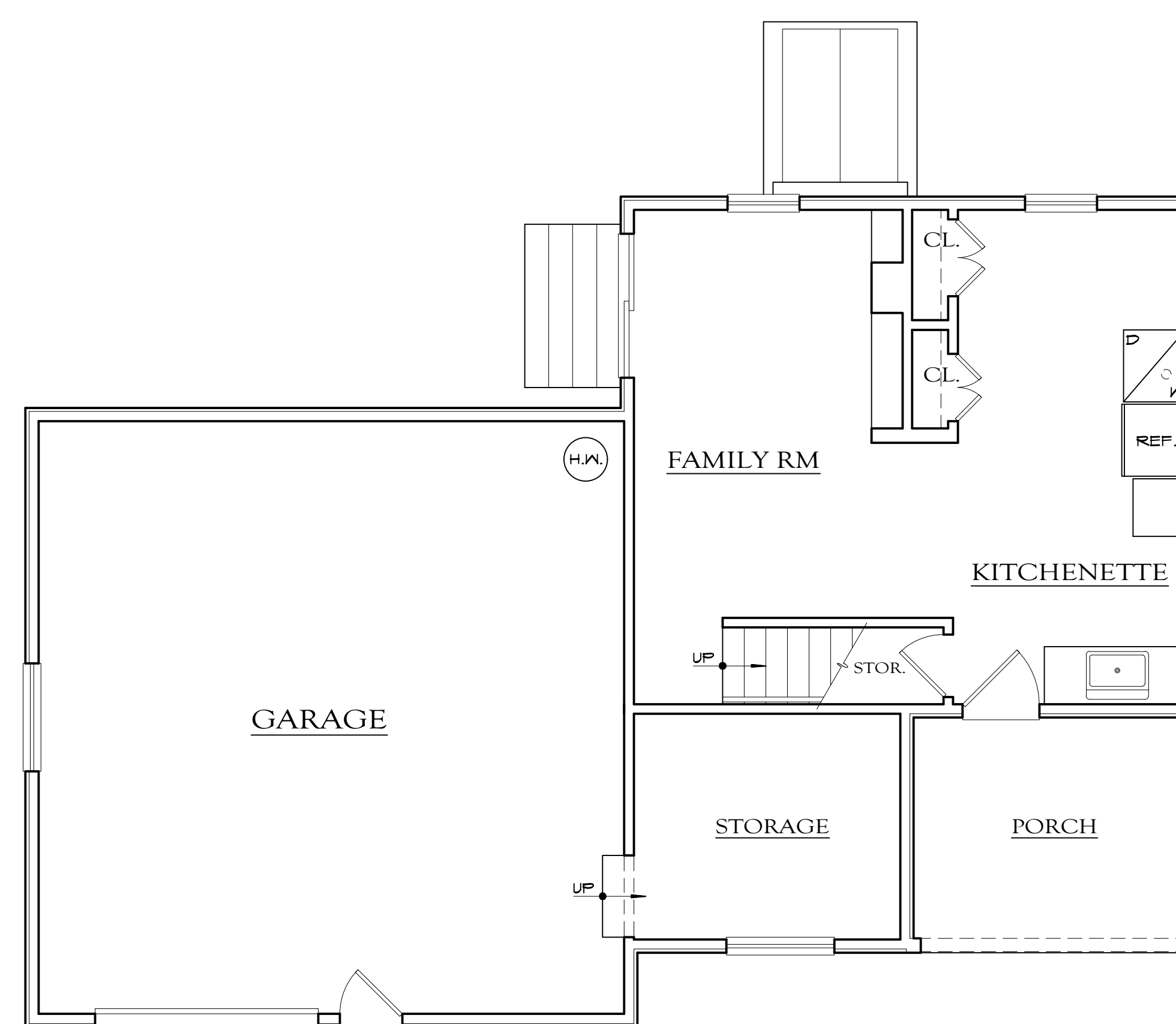
GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE RE-USED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" EXISTING



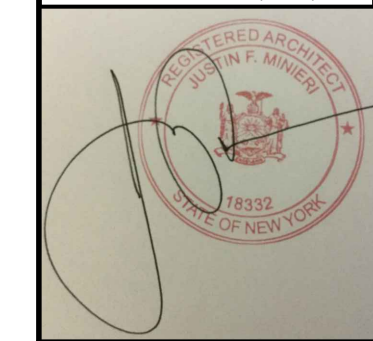
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" EXISTING

LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- WINDOW OR DOOR TO REMAIN
- WINDOW OR DOOR TO BE REMOVED
- WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR RE-USE)

DATE: 1/31/22
 REVISIONS: 6/3/22
 11/8/22 8/11/22
 8/30/22
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 9/30/22



DWG No. **B01**
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Rosenthal / 220079

Proposed Addition & Alteration to

Rosenthal Residence
 10 Creemer Road

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Armonk, NY

GENERAL NOTES

- SEE PLANS PREPARED BY DESIGNER FOR KITCHEN CABINET, PLUMBING FIXTURES AND APPLIANCE LAYOUT. G.C. SHALL PROVIDE CABINET SOFFITS AS REQUIRED.
- SEE WINDOW AND DOOR SCHEDULE FOR TYPES.
- PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF REVIEW WITH ARCHITECT.
- PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
- FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
- INSULATE ALL INTERIOR WALLS THROUGHOUT AS WELL AS ENTIRE FLOOR UNDER SECOND FLOOR ROOMS W/ "ROXUL" FOR SOUND DEADENING.
- PROVIDE 1/2" GYPSUM BOARD THROUGHOUT WALLS AND CEILING UNLESS OTHERWISE NOTED.
- FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE STRIP OAK AND MATCH EXISTING.
- STAIR SHALL BE SOLID WOOD CONSTRUCTION WITH OAK TREADS AND POPLAR RISERS. STAIR RAILING STYLE SHALL BE SELECTED BY OWNER. G.C. SHALL SUBMIT SAMPLES FOR OWNER'S APPROVAL.
- TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
- INTERIOR DOORS SHALL MATCH EXISTING.
- OWNER SHALL SELECT ALL CABINETRY.
- OWNER SHALL SELECT DOOR HARDWARE.
- PRIME AND PAINT DRYWALL (3 COATS, 1 PRIME & FINISH) STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER'S FOR REVIEW AND APPROVAL.

HVAC

- CONTRACTOR SHALL REVIEW HEATING AND AIR CONDITIONING REQUIREMENTS WITH OWNER. SUBMIT PROPOSED SYSTEM WITH SPECIFICATIONS FOR OWNER'S REVIEW AND APPROVAL.
- GARAGE SHALL BE HEATED ON A SEPARATE SYSTEM.
- HVAC CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL S CALCULATIONS.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE DETAILED DUCT PLAN IF REQUESTED BY LOCAL OFFICAL.

STAIR & RAILING

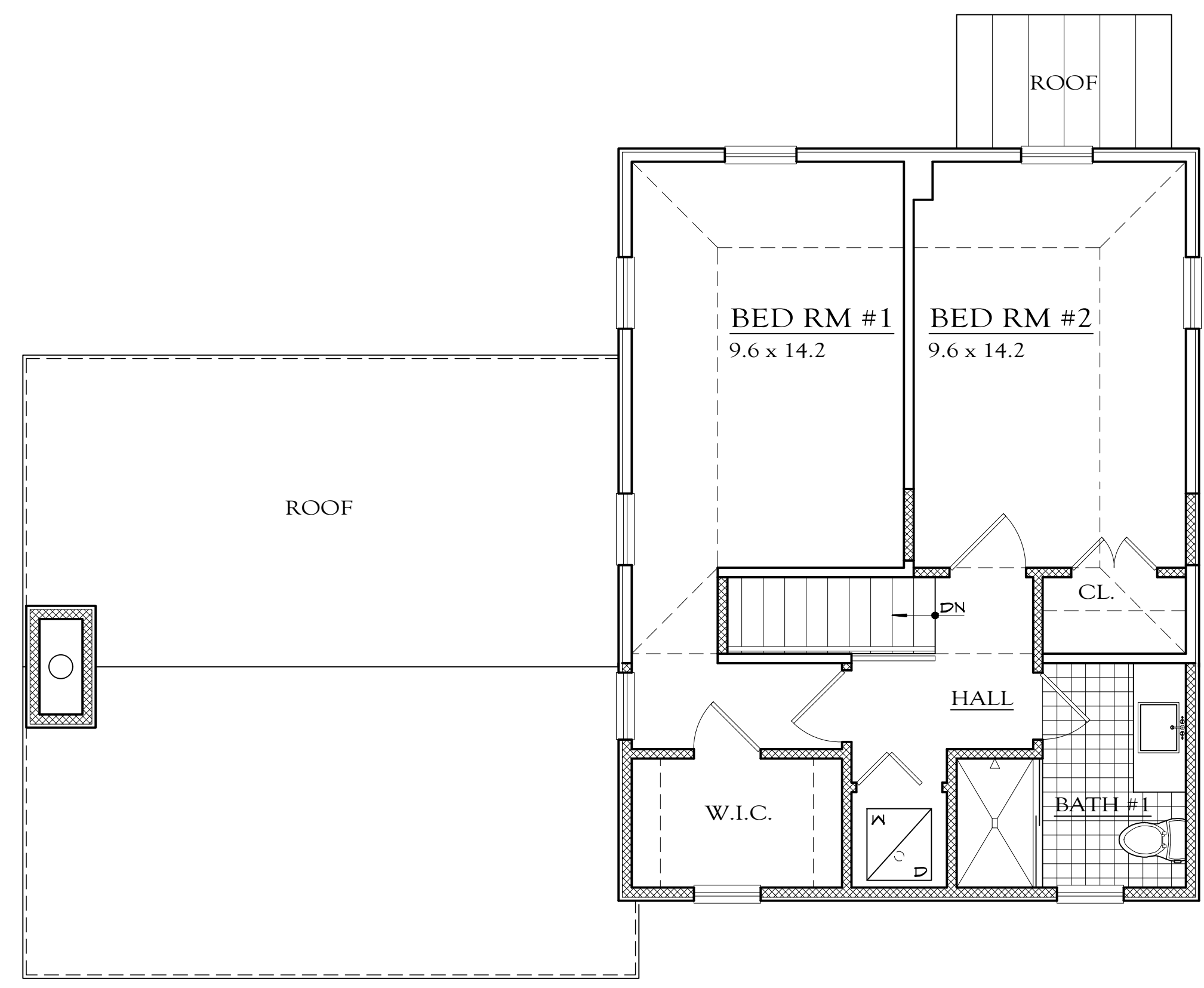
SHALL COMPLY WITH SECTION R311 OF THE 2020 RGNYS

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36" (SECTION R311.7.5)		
GUARDRAIL HEIGHT	42" (SECTION R312.1)		

LEGEND

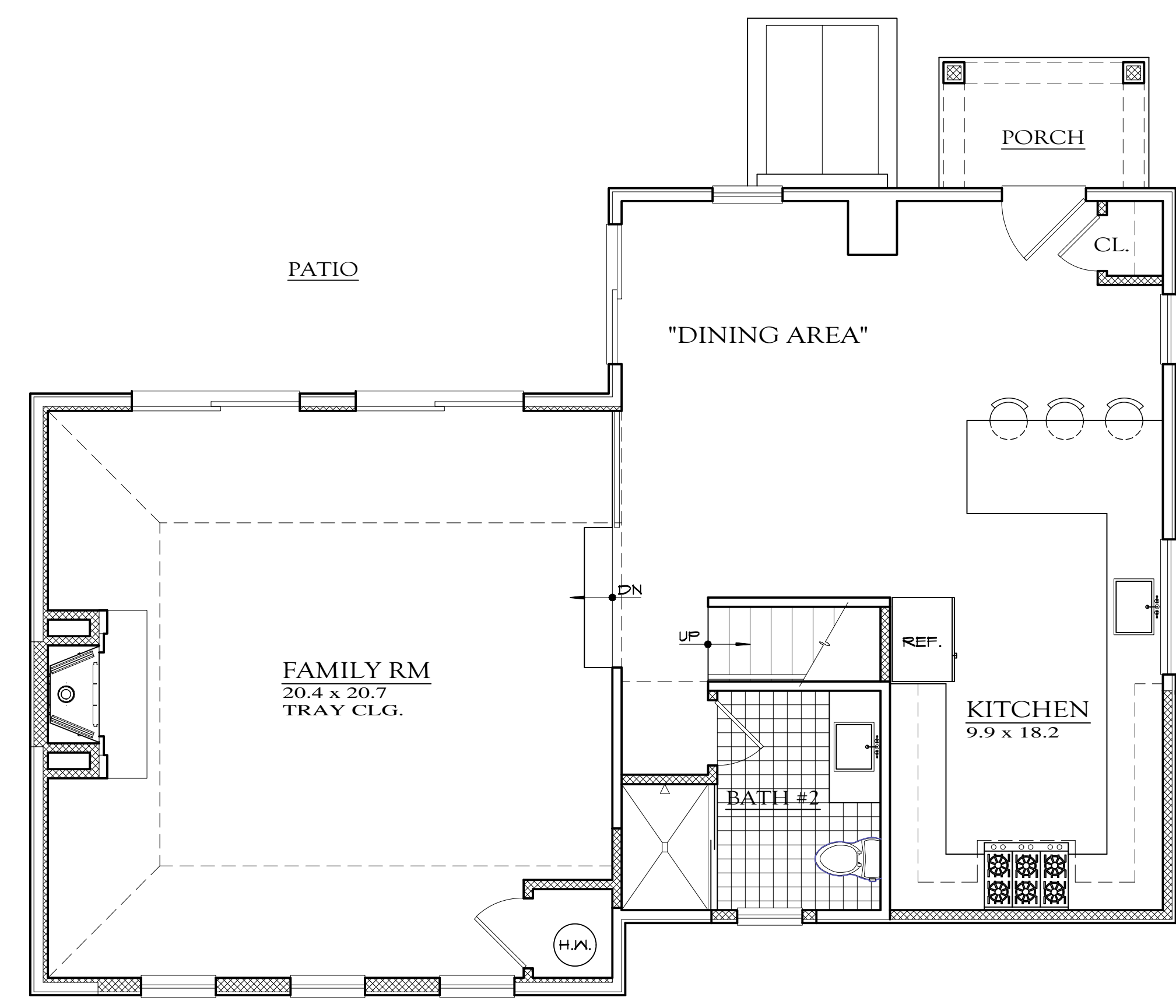
- EXISTING WALL (VERIFY IN FIELD)
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- POURED CONCRETE WALL
- CMU WALL (CEMENT GROUT SOLID)
- STONE VENEER
- BRICK VENEER
- DOOR SIZE (NOTED IN INCHES)
- WINDOW TYPE *
- EGRESS WINDOW *
- HEADER SIZE *
- LINTEL SIZE *
- COPPER SILL PAN
- NUMBER OF STUDS (MULL OR JACK)
- FROST FREE HOSE BIB
- EXHAUST FAN (50 CFM, MIN)
VENT TO EXTERIOR W/ METAL DUCT
- HEAT SENSOR
HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)
INTERCONNECTED, NFPA 72 COMPLIANCE
- SMOKE ALARM
HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)
INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM
HARD WIRED W/ BATTERY BACKUP (U.L. LISTED)
INTERCONNECTED, NFPA 72 COMPLIANCE

* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0" PROPOSED



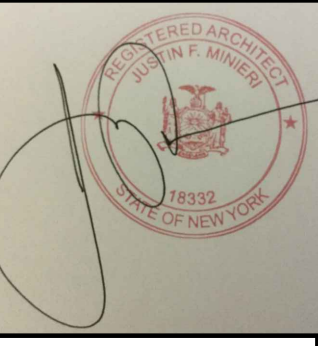
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" PROPOSED

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10802-0000
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DATE: 1/31/22

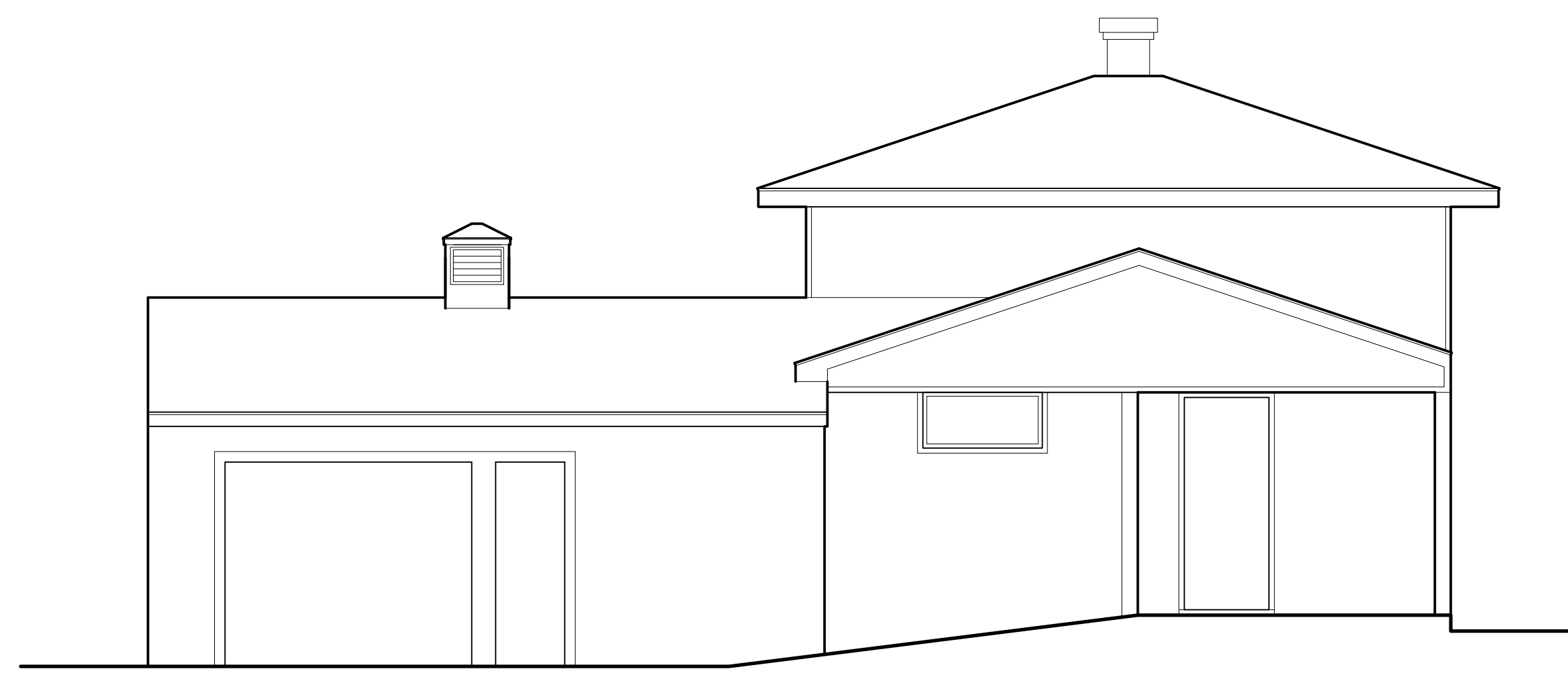
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11/8/22 8/11/22
8/30/22
9/21/22
9/30/22



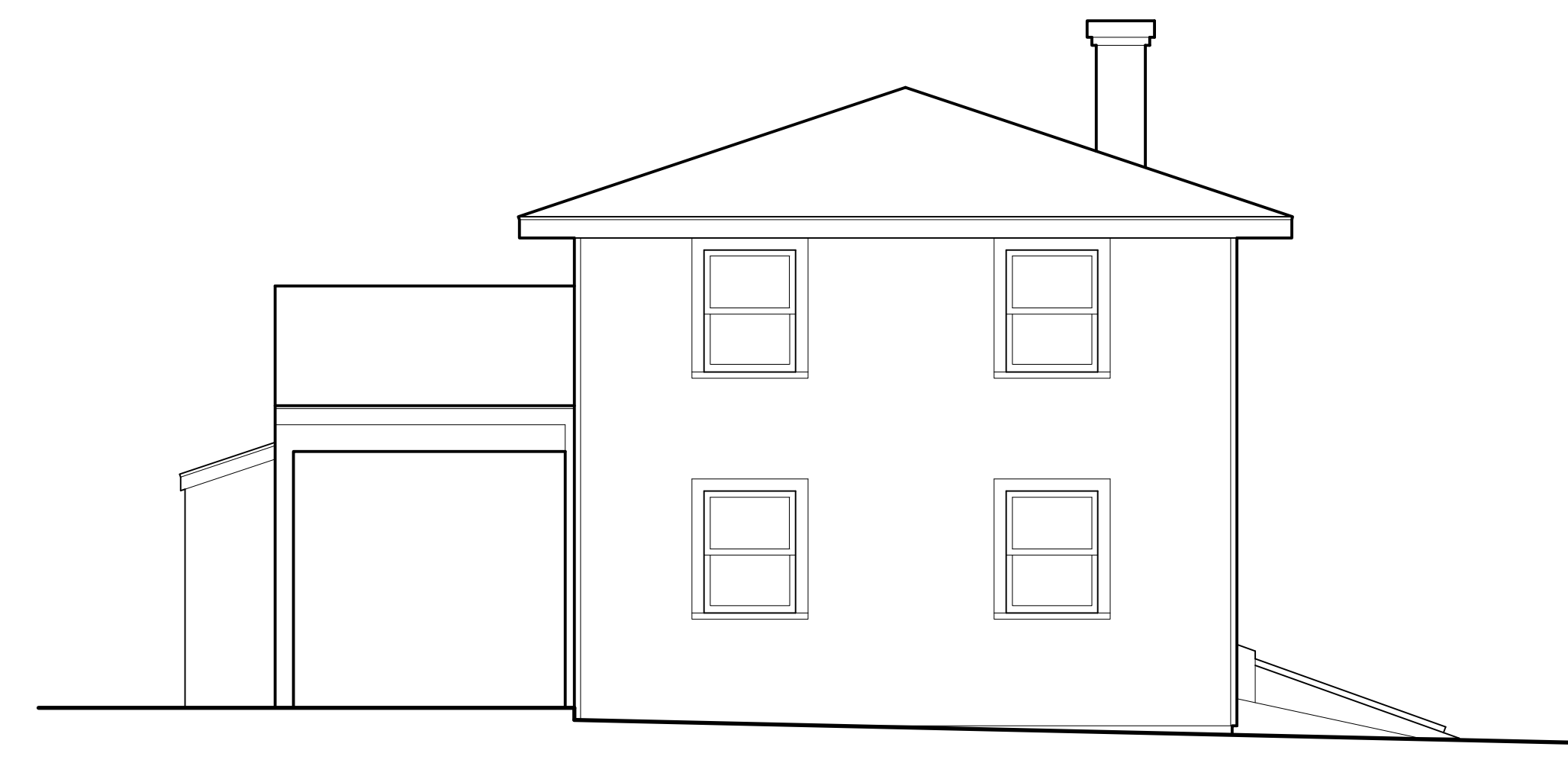
DWG No. **B04**
FLOOR PLAN

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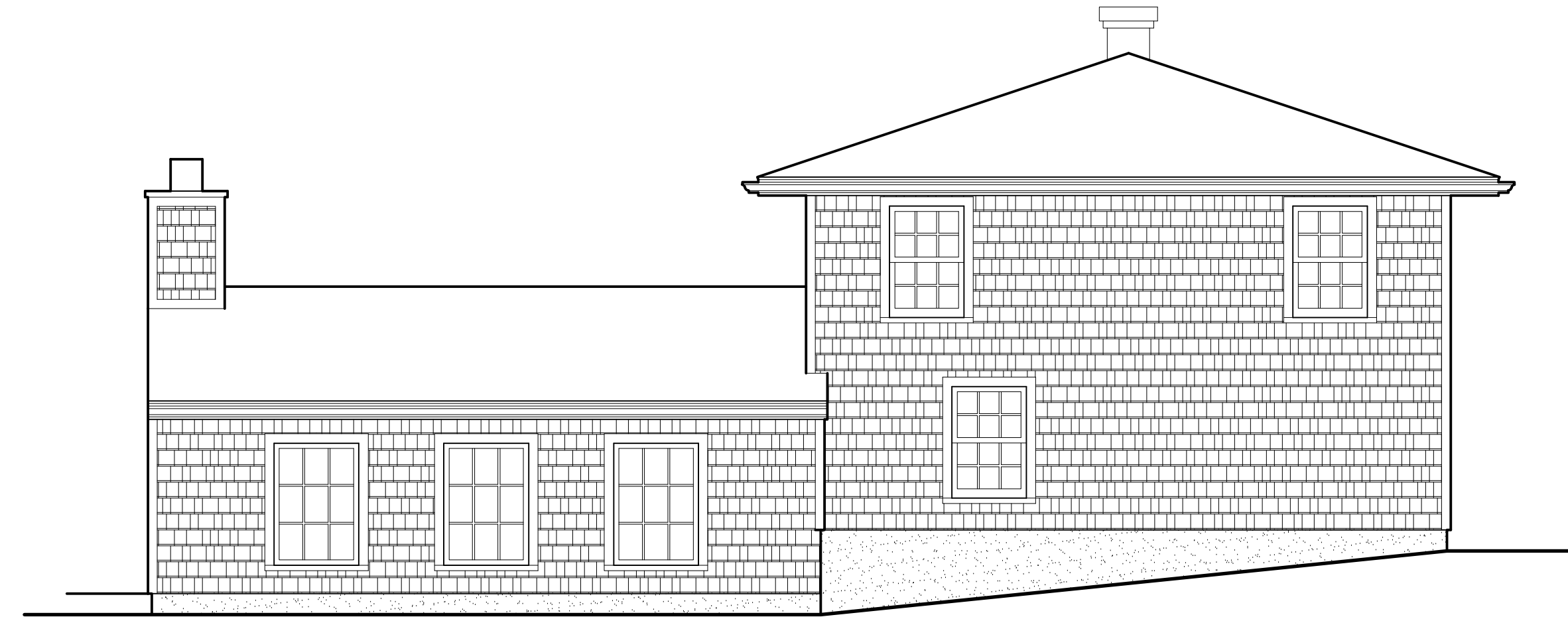
Rosenthal / 220079



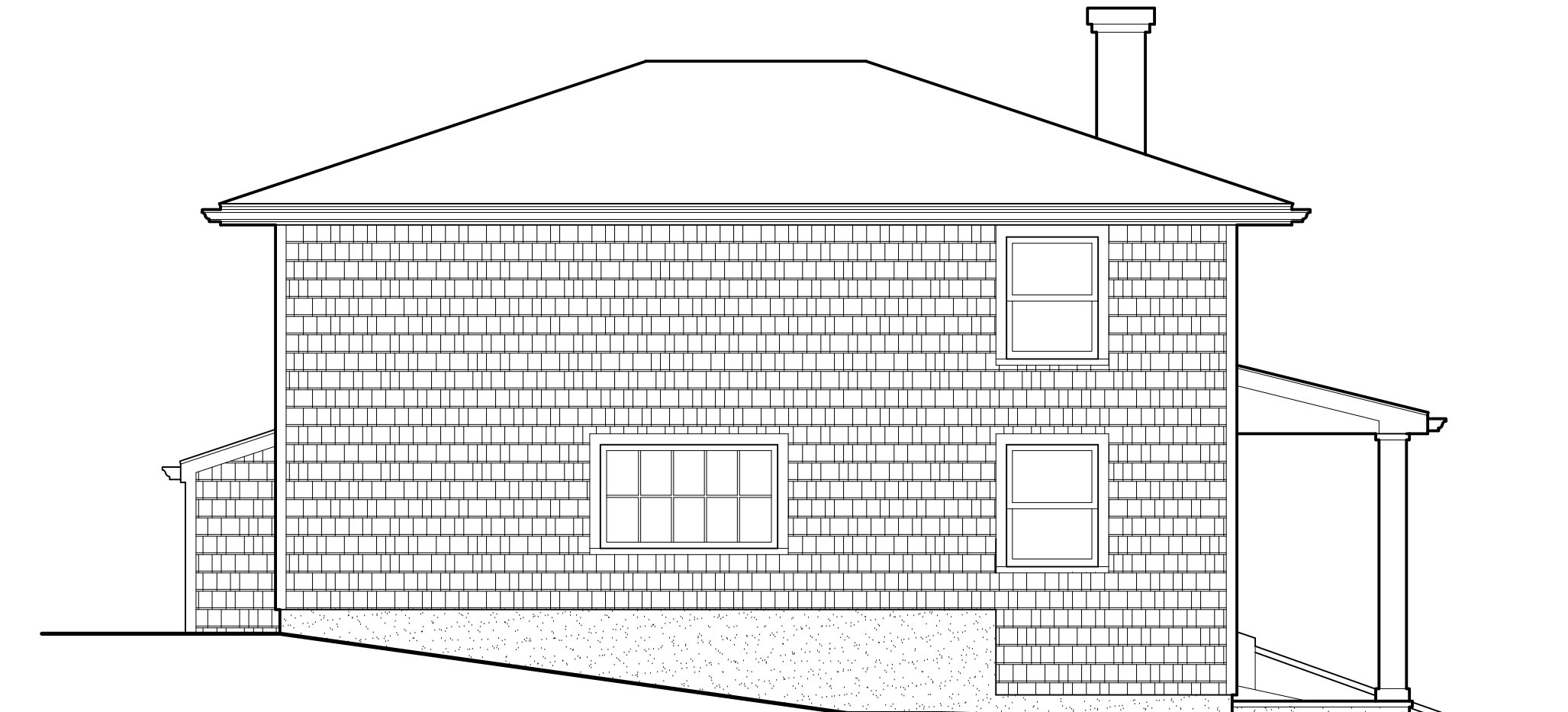
FRONT ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



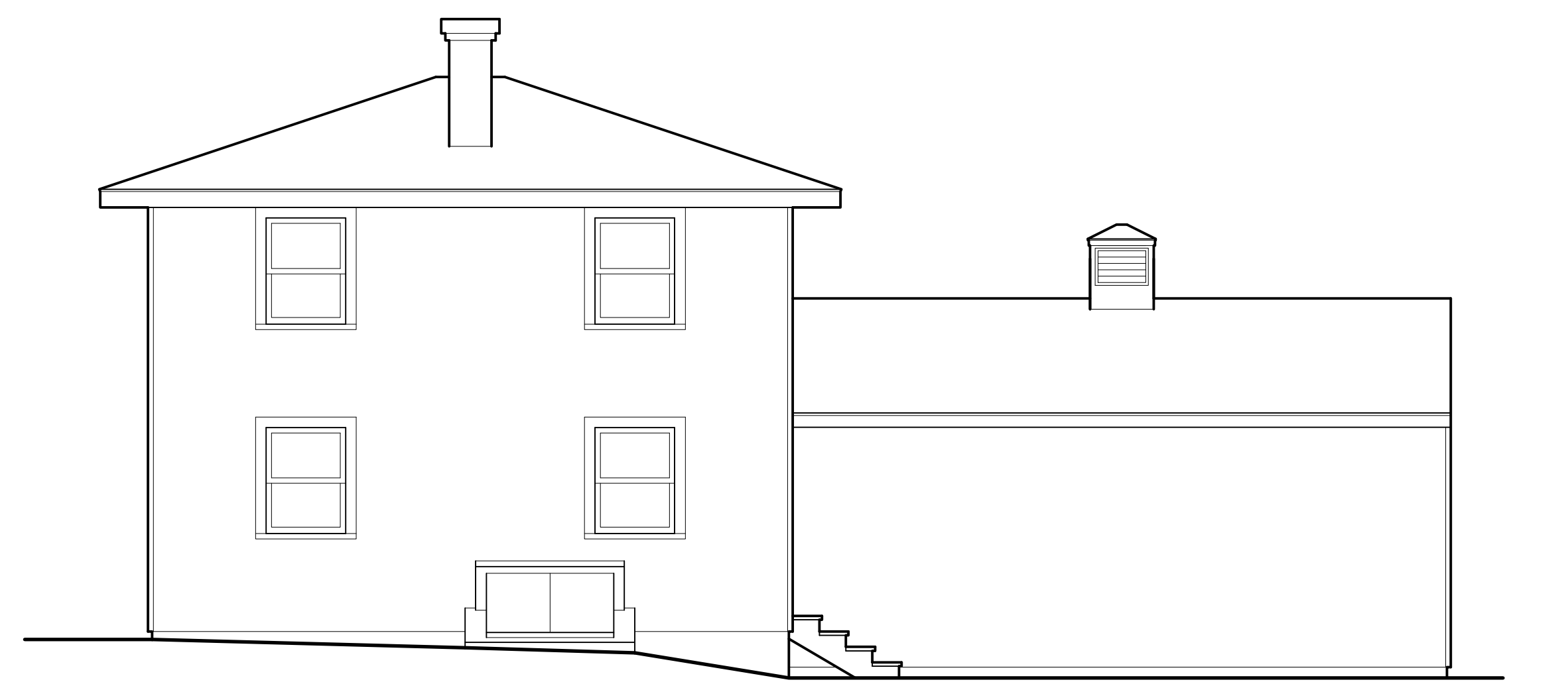
RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



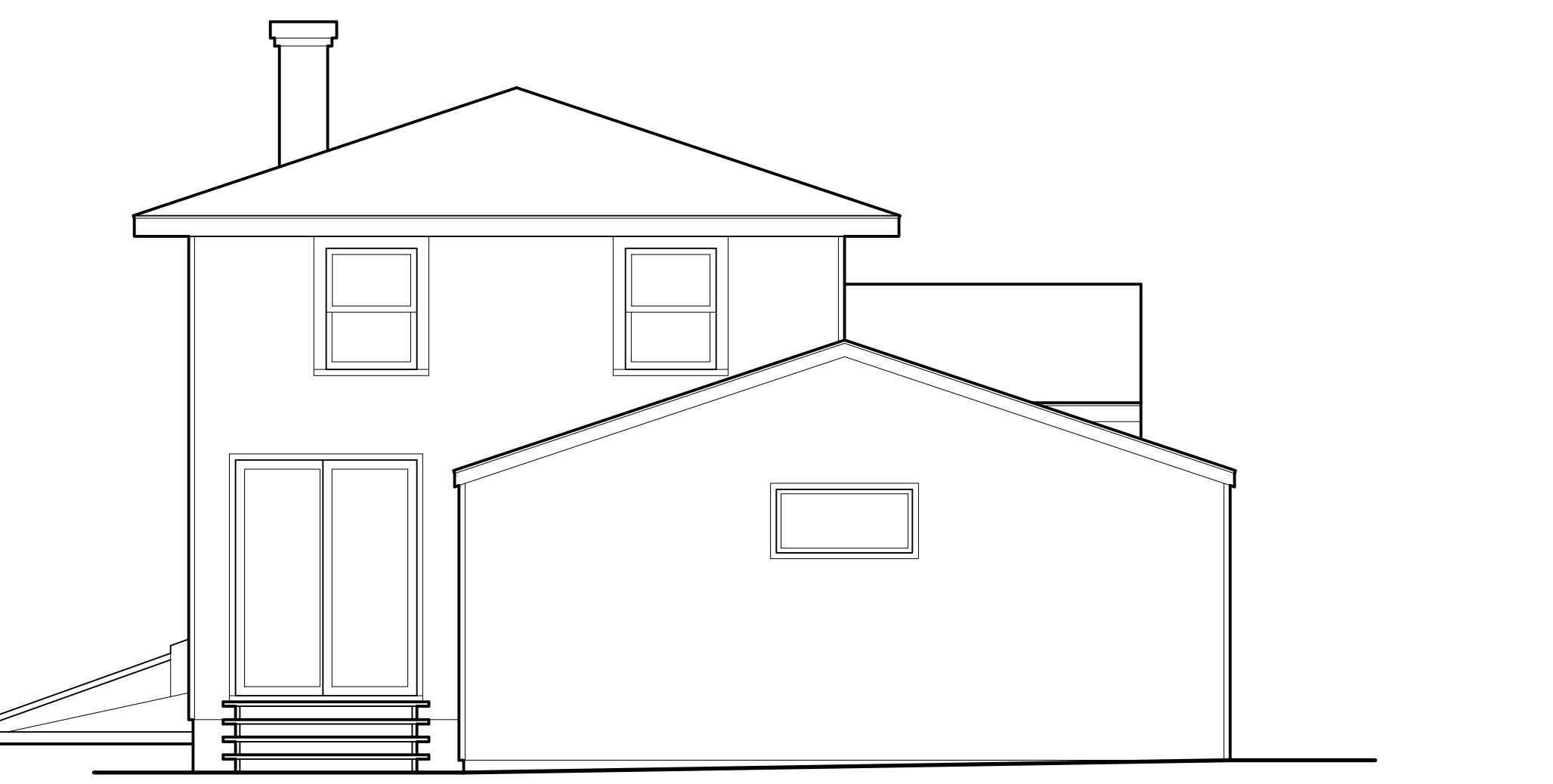
REAR ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



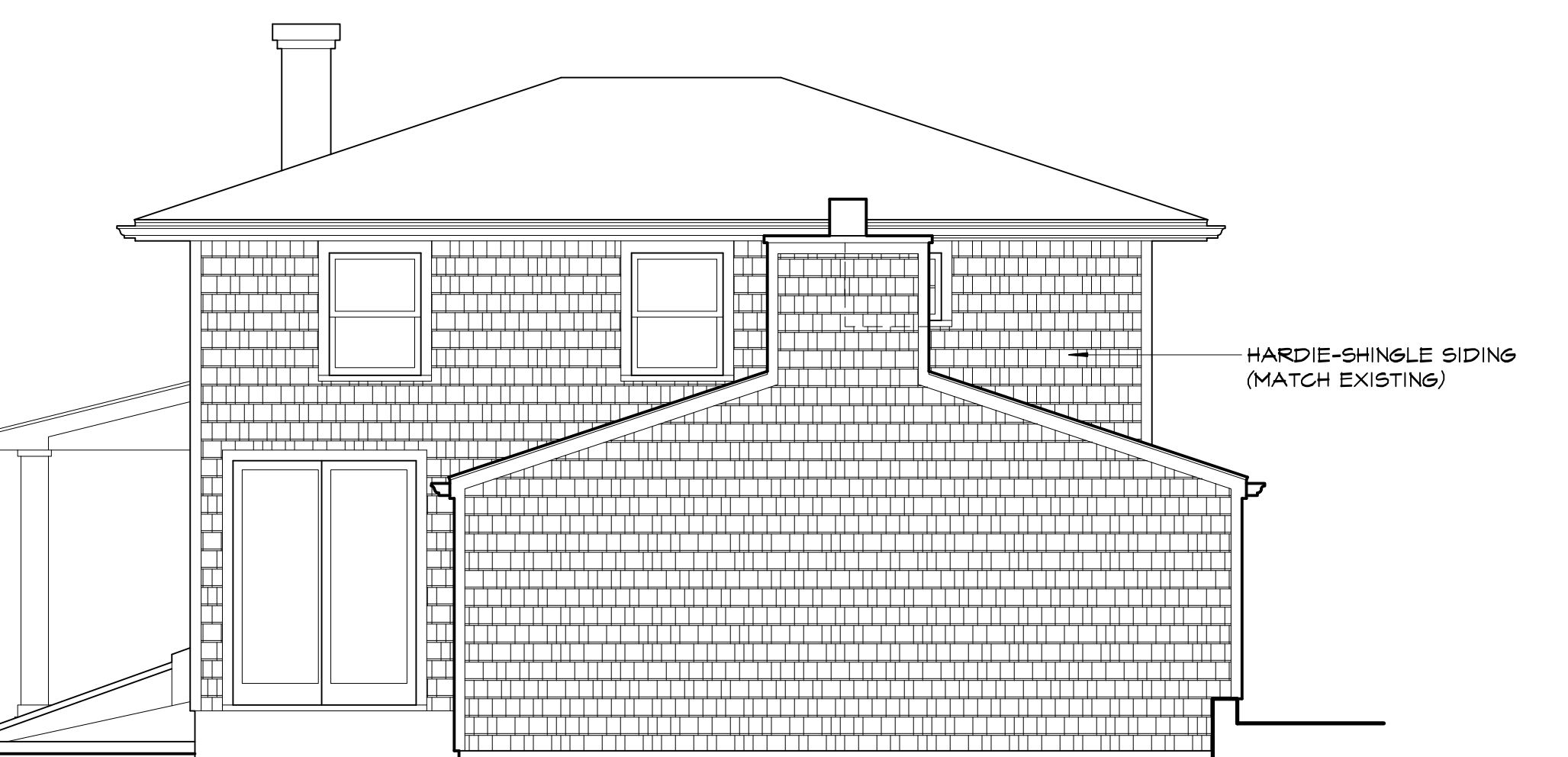
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LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



FRONT ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

GENERAL NOTES

1. PROVIDE "GRACE ICE & WATER SHIELD" SELF-ADHERED ROOFING UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOF. STANDARD "ICE-SHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ALL EXTERIOR TRIM SHALL BE "AZEK".
4. ROOFING SHALL BE ASPHALT SHINGLES.
5. GUTTERS & LEADERS SHALL BE BAKED ENAMEL ALUMINUM. GUTTER SHALL BE 6" K-STYLE.
6. FLASHING SHALL BE 16 OZ. COPPER.
7. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL, AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
8. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
9. RIDGE VENTS SHALL BE SHINGLEVENT BY AIRVENT, INC. OR EQUAL.
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12. SIDING SHALL BE HARDIE SHINGLE.
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15. PROVIDE "AZEK" JOISTS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC. AS PER DETAIL.
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THERMAL ENVELOPE
2020 RCNYS

LOCATION	TYPE	R-VALUE
ROOF	SPRAY FOAM (C)	R-49
CEILING	N/A	N/A
FLOOR (1)	SPRAY FOAM (C)	R-30 / R-49
FLOOR (2)	SPRAY FOAM (C)	R-21
WALLS (3)	SPRAY FOAM (C)	R-21
WALLS (4)	SPRAY FOAM (C)	R-21

(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
(3) EXTERIOR WALL (4) BASEMENT WALL PERIMETER
(C) OPEN CELL (C) CLOSED CELL
REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

BUILDING COMPONENT	NAME	TYPE	COLOR
ROOFING	GAF	ASPHALT	MATCH EXISTING
ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE-SHINGLE	MATCH EXISTING
TRIM	AZEK	FLAT STOCK & MOULDING PROFILES	WHITE
WINDOWS	ANDERSEN	CLAD	WHITE
ENTRY DOORS	COMPOSITE	RAISED PANEL	BLACK
GARAGE DOORS	N.A.		
MASONRY VENEER	N.A.		

Armonk, NY

Proposed Addition & Alteration to
Rosenthal Residence
10 Cremer Road

JUSTIN F. MINIERI, AIA
NCARB MEMBER
P.O. BOX 1494, NEW ROCHELLE, NY 10802
914.576.7387 TEL 914.555.5158 FAX
914.576.7387
Professional Seal and Stamp Expires the 31st day of June, 2025. AIA
endorsement by contract is hereby prohibited.

DATE: 1/31/22
REVISIONS:
6/3/22
11/8/22
8/23/22
9/30/22
9/21/22
9/30/22

DWG No.
B06
ELEVATION

Rosenthal / 220079

DO NOT SCALE PRINTS

C.O. FOR MAIN RESIDENCE

CERTIFICATE OF OCCUPANCY

DEPARTMENT OF ZONING AND BUILDING

No 218

TOWN OF NORTH CASTLE, N. Y.

To Kenshaw Berhards OwnerAddress 210 East 73th N.Y. 21149 Date June 26/48This is to certify that the Ward building located at.....
(Type of construction)Cramer Road is completeTown of North Castle, N. Y., Section 1 Block 9 Lot 17-7
conforms to the requirements of the Zoning ordinance and Building Code. The building is to be usedand occupied as Res. in a Res. Zone
district under the zoning ordinance subject to all the privileges, requirements, limitations and conditions prescribed by law.

This certificate does not in any way relieve the owners or any other person or persons in possession or control of the building or any part thereof, from obtaining such other permits or licenses as may be prescribed by law for the uses or purposes for which the building is designed or intended; nor from complying with any lawful order issued with the object of maintaining the building in a safe or lawful condition.

Permit No. 1339Approved Clarence Abrams

Building Inspector

SUPPORTING DOCUMENTS FOR COTTAGE

TOWN OF NORTH CASTLE

Armonk, New York

Application for a Building Permit

CLARENCE ABRAMS, BUILDING INSPECTOR
Orchard Drive—ARMONK, NEW YORK

Permit Number 581

Issued 3-10 1955

Building Permit Fee \$ 5.00

Certificate of Occupancy \$ 1.00

Total \$ 6.00

Fees: Less than \$200.00 no fee
 \$200 or over and does not exceed the sum of \$500.00.... \$2.00
 \$501 or over and does not exceed the sum of \$1,000.00 \$3.00
 In excess of \$1,000.00 an additional fee of \$1.00
 per \$1,000.00 or fraction thereof of such excess
 cost, will be made and required.

I hereby make application to the Building Inspector of the Town of North Castle for the approval of the plans and specifications herewith submitted, and for a permit to erect a building in accordance therewith. It is understood and agreed that any permit issued pursuant hereto is on the express condition that all provisions of the Building Code and Zoning Ordinance of the Town, and amendments thereto, shall apply and be complied with whether specified herein or not.

Note: Building Permit cannot be issued until sewage disposal system has been approved by the County Board of Health.

Mail Building Permit to - { NAME ROBERT D. BURBANK
 STREET CREEKER ROAD
 TOWN & STATE ARMONK N.Y.
 TELEPHONE (Important) A.U. 3, 3824

Location of Property—Street and Number CREEKER ROAD ARMONK N.Y.
 Nearest Cross-Street
 Tax Map Location—Section 1 Block 9 Lot Number 17-8
 Owner of Land ROBERT D. BURBANK
 Owner's Address CREEKER ROAD ARMONK N.Y.
 Owner of the Proposed Building ROBERT BURBANK
 Proposed Owner's Address SAME
 Name of Architect ROBERT D. BURBANK
 Address of Architect CREEKER ROAD ARMONK N.Y.
 Name of Contractor SELF
 Address of Contractor SAME
 Size of Lot 10 ACRES + Fronting on
 Square Foot Floor Area of Proposed Building 495 SQ. FT.
 Value of Proposed Building or Improvement 2500.00
 Number of Feet Front of Building 40'-4" Number of Feet Deep 21'-0"
 Distance of Building from Front Street or Lot Line 200' + feet.
 Distance of Proposed Building from Rear Lot Line 400' + feet.
 Distance from Side Lot Lines 200' + feet.
 Height of Building 11'-0" feet; Number of Stories 1
 Number of Stores Number of Families Number of Rooms 2
 Classification of Use and Purpose GARAGE & STORAGE
 Type of Construction — Frame Brick Concrete Stone Veneer
 Whether Roof will be Flat, Pitch, Mansard or Hip 4" PITCH
 Material of Roofing 210 # ASPHALT SHINGLES
 Exterior Walls to be Finished with TEXTURE # III PLYWOOD (USPC)

(OVER) 200
adding to existing office bldg by garage & storage room.

*1-9-17-8
 Robert D Burbank*

FOUNDATION

Size and Depth of Excavation NONE
 Size of Footing 1'-6" X 0'-8" Area of Footing _____
 Materials to be Used in Footing POURED CONC 1:2:4 MIX.
 Parts of Stone 4 Parts of Sand 2
 Parts of Cement 1 Parts Other Materials _____
 Whether Piers Are to be Used _____ Size _____ No. of Rows _____
 Depth of Footing Below Curb or Surface 3'-0" Area _____
 Depth of Foundation Wall Below Curb or Surface _____
 Thickness of Foundation Wall Below Grade or Curb 8"
 Thickness of Foundation Wall Above Grade or Curb 8"
 Materials of Foundation Wall Above Grade or Curb 5" CONC BLOCK.
 Materials Below Grade or Curb 8" CONC BLOCK.
 Height from Curb or Surface of Ground to First Floor 8"
 What Kind of Soil Will Foundation be Laid HARD PAN.
 Composition of Mortar 1:1:3

MISCELLANEOUS

Work to be Commenced IMED. Completed SOON AS POSSIBLE.
 Building to be Heated — Hot Water Steam Vapor Oil Coal (GAS)
 Fire Escapes be Provided _____
 Water Supply — Municipal Dug Well Artesian Well Spring
 Water Pipe — Iron Galvanized Brass Copper

FILL IN INSURANCE BLANK BELOW TO COMPLY WITH NEW YORK STATE LABOR LAWS.

Kind of Insurance	Policy No.	Expiration
Workmen's Compensation	<u>SELF - WORK BEING DONE BY SUB-CONTRACTORS.</u>	
Public Liability	}	
Contractors' Protective Liability	}	
Name of Assured	}	
Name of Insurance Company	}	

ATTACHED TO AND MADE A PART OF THIS APPLICATION, I SUBMIT THE FOLLOWING:

- Set of drawings including:
- a ground and typical floor plan of buildings with all necessary measurements, and
 - a longitudinal section with heights marked thereon, also showing front elevation.

CITY OF NEW YORK }
 COUNTY OF WESTCHESTER } ss.:

I swear that to the best of my knowledge, information and belief, the statements contained in this application, including the accompanying plans, specifications and amendments thereto, are a true and complete statement of all proposed work and construction to be done on the above premises and property, and that all provisions of the Building Code and Zoning Ordinance shall be complied with in all respects.

Feb. 28, 1955

Sworn to before me this Feb day of 1955

Jos T. Miller
 Notary Public
 Westchester County

Robert D. Bunk
 Applicant
Reveries Road
Carmunk N.Y.
 Mailing Address

BUILDING PERMIT

TOWN OF NORTH CASTLE, N. Y.

No. 581

Date 3-10-55 Fee \$ 5.00

Robert D. B... is hereby authorized and granted a permit to erect the following: Plans in file at an estimated cost of \$ 2500.

on property designated on the Town of North Castle Tax Maps as Section 1

Block 9 Lot 1758 and located

at ...

Such structure is to conform to plans and specifications submitted and filed with the Building Inspector, as approved, and to all provisions of the Zoning Ordinance, Building and Plumbing Codes of the Town of North Castle, N. Y. and amendments thereto.

NAME AND ADDRESS OF OWNER

NAME AND ADDRESS OF BUILDER

Robert D. B...
...

NOTE: It is unlawful to occupy the above building until a certificate of occupancy is obtained from the Building Inspector.

...
Building Inspector, Armonk, N. Y.

1A-1M-5-54

CERTIFICATE OF OCCUPANCY
DEPARTMENT OF ZONING AND BUILDING

No. 73

TOWN OF NORTH CASTLE, N. Y.

To Robert B. Bourke OWNER

Address Corner of W. ... Date 3-10-55

This is to certify that the wood building located at Corner Rd
(Type of construction)

is complete for storage & garage Lot 17-9

Town of North Castle, N. Y., Section 1 Block 1 Lot 17-9
conforms to the requirements of the Zoning ordinance and Building Code. The building is to be used
and occupied as garage & storage
district under the zoning ordinance subject to all the privileges, requirements, limitations and con-
ditions prescribed by law.

This certificate does not in any way relieve the owners or any other person or persons in pos-
session or control of the building or any part thereof, from obtaining such other permits or licenses
as may be prescribed by law for the uses or purposes for which the building is designed or intended;
nor from complying with any lawful order issued with the object of maintaining the building in a
safe or lawful condition.

Permit No. 581

Approved Charles Adams Building Inspector



TOWN OF NORTH CASTLE

15 Bedford Road - Town Hall

Armonk, New York 10504

Reestablished 1736

RESOLUTION

Telephone: (914) 278-3321

Passed at the November 24, 1986 Meeting
of the
North Castle Planning Board

RE: Special Permit for Accessory Apt.
PAMELA HEALEY
10 Creemer Road
Section 1, Block 9, Lot 17-18
Accessory Building/zone R2A

WHEREAS, a special permit application for an accessory apartment prepared by Anthony L. Mancini and dated October 27, 1986 was submitted to the Planning Board and an application fee was paid, and

WHEREAS, the application is for a two(2) bedroom accessory apartment in a detached accessory building dwelling unit on the lot, and

WHEREAS, in accordance with Section 440.121 of the Zoning Ordinance the proposed accessory apartment was inspected by the Building Inspector on November 19, 1986 and was found to be in compliance with current New York State Building Codes and with the intent of the accessory apartment requirements of the Zoning Ordinance, and

WHEREAS, a duly advertised public hearing was held on the special permit application at the Town Hall, 15 Bedford Road, Armonk, New York on November 24, 1986 at 7:45P.M. at which time all those wishing to be heard were given the opportunity to be heard and said public hearing was closed, and

WHEREAS, in accordance with Article 8 of the State Environmental Quality Review Law and 6 NYCRR Part 617 and the North Castle Town Environmental Quality Review Law, the Planning Board has made a determination that the proposed action is an unlisted action, and

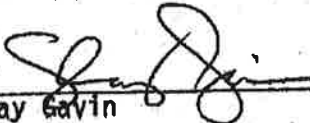
WHEREAS, the requirements of the Land Subdivision Regulations, the Zoning Ordinance and the Town Development Plan of the Town of North Castle have in all due respects been met by said application,

NOW, THEREFORE, BE IT FURTHER RESOLVED, that in accordance with Article 8 of the State Environmental Quality Review Law and 6 NYCRR Part 617 and the North Castle Town Environmental Quality Review Law, the Planning Board hereby makes a determination that the proposed development will not have a significant impact on the environment as any such impacts will be minimized or avoided through the design of the project as proposed and at the incorporation as conditions attached to the project approval those mitigating measures that have been identified,

RESOLUTION FOR PAMELA HEALEY - Special Permit for Accessory Apartment
Passed at the November 24, 1986 Planning Board Meeting

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the application for Pamela Healey for approval of a special permit application for an accessory apartment be and hereby is approved.

BLASLAND & BOUCK ENGINEERS, P.C.
Town Engineers

by: s/  12/4/86
Shay Gavin Date

STEPHENS, BUDERWITZ & BARONI
Town Counsel
"As to Form and Sufficiency"

by: s/  12/3/86
Roland A. Baroni, Esq.

CERTIFIED AS A TRUE COPY OF THE RESOLUTION
Adopted by the Planning Board

LD/

by: s/ 
Joan C. Vetare, Secretary
Planning Board

TOWN OF NORTH CASTLE

17 Bedford Road, Armonk, N. Y. 10504
(914) 273 8625

APPLICATION FOR BUILDING PERMIT

- Application for:
 - New Building
 - Addition
 - Alteration
 - Demolition
 - Pool-above/ground
 - Fence
 - Accessory Building

Zone	2	Use		
Setbacks			Shown	Required
Front				
Side				
Rear				

Permit # 6695
 Date Issued 11-24-86
 Permit Fee NA
 C/O Fee NA
 Total Paid NA
 C/O # 51
 Date Issued 10-5-80

(Do not write above this line)

I hereby make application to the Building Inspector of the Town of North Castle for the approval of the plan and specification herewith submitted and for a permit to perform such work in accordance therewith. It is understood and agreed that any permit issued pursuant herein is on the express condition that all provisions of the New York State Building Code and Zoning Ordinance of the Town of North Castle and amendments thereto shall apply and be complied with whether specified herein or not. NO CHANGES TO PLAN SPECIFICATIONS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE BUILDING DEPARTMENT.

Location of Property: 10 Creemer Road Zoning Dist: _____
 Section 1 Block 9 Lot 17-8 Property Area: _____

Owner Pamela L. Healey Address 10 Creemer Rd. Phone 273-8026
Armonk Zip 10504

Architect Anthony Marcini Address 7 Round Hill Rd. Phone _____
Armonk Zip 10504

Builder _____ Address _____ Phone _____
 Zip _____

Plumber _____ Address _____ Phone _____
 Zip _____

Electrician _____ Address _____ Phone _____
 Zip _____

Other _____ Address _____ Phone _____
 Zip _____

DESCRIPTION OF CONSTRUCTION Renovation Value \$3,000.00

800 Sq. Ft. living space less utility rooms, breezeway, open porches, garage.
0 Sq. Ft. total floor area of proposed construction.
 Number of families _____ Electrical work is involve
 Number of rooms _____ Plumbing work is involved
 Number of bedrooms _____ New heating system is invo

NOTE: Permit information, insurance requirements, inspection schedules, Certificate of Compliance or Occupancy information and other notes are on the attached supplementary sheets or are available in the Building Department. PLEASE DETACH AND RETAIN FOR YOUR REFERENCE



NOV 5 1986

STATE OF NEW YORK, COUNTY OF WESTCHESTER TOWN OF NORTH CASTLE, N. Y.

I swear that to the best of my knowledge, information and belief the statements contained in this application, including the accompanying plans and specifications and amendments thereto are a true and complete statement of all proposed work and construction to be done on the described premises and property, and that all provisions of the building code and Zoning Ordinance shall be complied with in all respects.

Dated: November 5, 1986
 Sworn to before me this 5 day
 of November 1986.

Pamela L. Healey
 Applicant's Signature

BUILDING PERMIT CHECKLIST - FROM APPLICATION TO CERTIFICATE OF OCCUPANCY

Applicant HEALEY, PAMELA Sec. 1 Block 9 Lot 17-8
 Site 10 CREEMER RD Application Date 11-5-86
 CONSTRUCTION OF INTERIOR ALTERATION

<u>Needed</u>		<u>Date Done</u>
<input checked="" type="checkbox"/>	Permit Application	<u>11-5-86</u>
<input checked="" type="checkbox"/>	Survey - Site Plan	
<input checked="" type="checkbox"/>	Health Department Approval ^{new} <u>Septic and Well</u>	
	Highway Department Approval <u>Curb Cut</u>	
<input checked="" type="checkbox"/>	Building Plans (Sealed/signed) <u>2</u> copies	<u>11-7-86</u>
<input type="checkbox"/>	Architectural Board of Review (Date _____)	
	Energy Code	
<input checked="" type="checkbox"/>	Planning Board Approval (Date _____) <u>Acc. Opt.</u>	<u>12-24-86</u>
	Wetland Approval _____ Permit _____	
	Erosion Approval _____ Permit _____	
	Engineer's Site Plan Approval _____	
<input checked="" type="checkbox"/>	Fee for Permit <u>512</u> Permit No. <u>6695</u>	<u>11-24-86</u>
<input checked="" type="checkbox"/>	Insurance Certificate of Affidavit/Insurance	<u>11-7-86</u>
	Contract Affidavit - all new residences	
.....		
	Footing Inspection	
	Survey of foundation walls	
	Footing drains - waterproofing inspection	
<input checked="" type="checkbox"/>	Plumbing Permit # <u>699</u>	<u>12-11-86</u>
<input checked="" type="checkbox"/>	Rough Plumbing Inspection	<u>12-29-86</u>
<input checked="" type="checkbox"/>	Framing Inspection	
<input checked="" type="checkbox"/>	Insulation Inspection	<u>12-30-86</u>
<input checked="" type="checkbox"/>	Final Inspection	<u>3-10-87</u> <u>HW</u>
.....		
<input checked="" type="checkbox"/>	Board of Health Certificate of Compliance	
<input checked="" type="checkbox"/>	Board of Fire Underwriters Certificate	<u>2-13-87</u>
	Final Highway Department Approval	
<input checked="" type="checkbox"/>	Final Plumbing Certificate	<u>2-10-87</u>
	Certified As-Built Survey	
	Certified As-Built Survey for Driveway	
<input checked="" type="checkbox"/>	CERTIFICATE OF OCCUPANCY NO. <u>5625</u>	<u>10-5-88</u>

Please note meeting minutes OKOP

AFTER CHECKING OFF "NEEDED" COLUMN IN BUILDING DEPARTMENT, RETAIN ONE COPY FOR APPLICANT'S FILE AND GIVE ONE COPY TO APPLICANT FOR HIS REFERENCE.



APPLICATION FOR PLUMBING PERMIT

Department of Zoning and Building
Town of North Castle
17 Bedford Road
Armonk, New York 10504

(914) 273-8625

Anthony Palamarek
Building Inspector

Permit # 699
Date Issued 12-11-86
Permit Fee \$ 35.00
License # N/A

Street Address of Property: 10 Cremer Rd, ARMONK

Section 1 Block 9 Lot 17-8

OWNER: PAMELA HEALEY ADDRESS: 10 Cremer Rd PHONE: 273-8026
ZIP:

CONTRACTOR: SAME AS ABOVE ADDRESS: SAME PHONE: SAME
ZIP:

Application is hereby made for a permit to perform the work herein specified or as shown on the drawings accompanying this application. It is desired to (alter - construct) the plumbing in the (new - existing) building. The proposed work outlined in this application shall conform to all the provisions of the N.Y.S. Plumbing Code and the Town of North Castle Plumbing Code. The building(s) 2 stories in height is now used as residential.
(residential, other) (business, public,

NUMBER OF FIXTURES ARE TO BE LOCATED ACCORDING TO THE FOLLOWING SCHEDULE

Table with 11 columns: W.C., Tubs, Showers, Basin, Sinks, Slop Sinks, Wash Tubs, Ho. Bibbs, Urinals, Fl. Drains, Other. Rows include Exterior, Basement, 1st Story, 2nd Story, 3rd Story.

Check for the following:

New Sprinkler System Number of Heads
New Fire Stand Pipe System
New Lawn Sprinkler System Number of Heads
Replacement of Equipment (Name)

PIPE SIZES, MATERIALS AND WORKMANSHIP ARE TO CONFORM TO ALL PROVISIONS OF THE N.Y. STATE PLUMBING CODES.

State of New York
County of Westchester

being duly sworn, desposes and says: That he is the person named as applicant in this application; that he is duly authorized as representative of the owner or leasee of the land and property herein mentioned and described to make application for persons to perform the work herein described and shown on detailed plans and amendments therein in said behalf, and that the statement contained herein are true to the best of his knowledge and belief

Sworn to before me this 11 day
of December, 19 86

Anna Maria Marrowe
(Notary Public - Westchester County)

Daniel J Fiorio

X Pamela L. Healey
Signature of Applicant

ANNA MARIA MARROWE
Notary Public, State of New York
No. 4852668
Qualified in Westchester County
Commission Expires 12-31-88

KITCHEN CANNOT BE DEVELOPED UNTIL APPROVAL GIVEN FOR ACCESSORY APARTMENT

BUILDING PERMIT NO. 6695

TOWN OF NORTH CASTLE, N.Y.

Date November 24, 1986

Fee \$ 42.00

Pamela L. Healey

is hereby authorized

and granted a permit to erect the following REnovation

containing 800 sq. ft. floor area, at an estimated value of \$ 8,000

on property designated on the Town of North Castle Tax Maps as:

Section 1 Block 9 Lot 17-8 Zone Area _____

and located at 10 Creemer Road

Such structure is to conform to plans and specifications submitted and filed with the Building Inspector, as approved, and to all provisions of the Zoning Ordinance of the Town of North Castle, N.Y. and New York State Building and plumbing codes and amendments thereto.

Name and Address of Owner

Pamela L Healey
10 Creemer Road

Name and Address of Builder

Owner

Armonk, N.Y. 10504

NOTE: *It is unlawful to occupy the above building until a certificate of occupancy is obtained from the Building Inspector.*

[Signature]
Building Inspector, Armonk, N.Y.

FEE: \$2.00 (paid)

Nº 5625

Certificate of Occupancy

DEPARTMENT OF ZONING AND BUILDING
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

Issued October 5, 1988

TO: Pamela L Healey

ADDRESS 10 Creemer Road

Armonk, N.Y. 10504

Premises located at: Above address

In zone area: R2A Type or Use Renovation

Tax map designation: Section 1 Block 9 Lot 17-B

This certifies that the aforementioned structure and/or premise conforms with the application, use and plans on file in the building department office of the Town of North Castle;

that said structure or use is in conformity with the Zoning Ordinance, Building Code and other applicable requirements of the Town of North Castle;

that permission is hereby granted for the use and/or occupancy as set forth herein;

that this Certificate of Occupancy is subject to revocation for non-compliance of any of the laws or ordinances applicable thereto;

that this certificate is further subject to compliance to any other governmental agencies having jurisdiction thereof;

that this certificate is issued subject to the following conditions:

Building Permit Number 6695 and date issued November 24, 1986

Approved by: *Anthony Palamerczuk*
Building Inspector

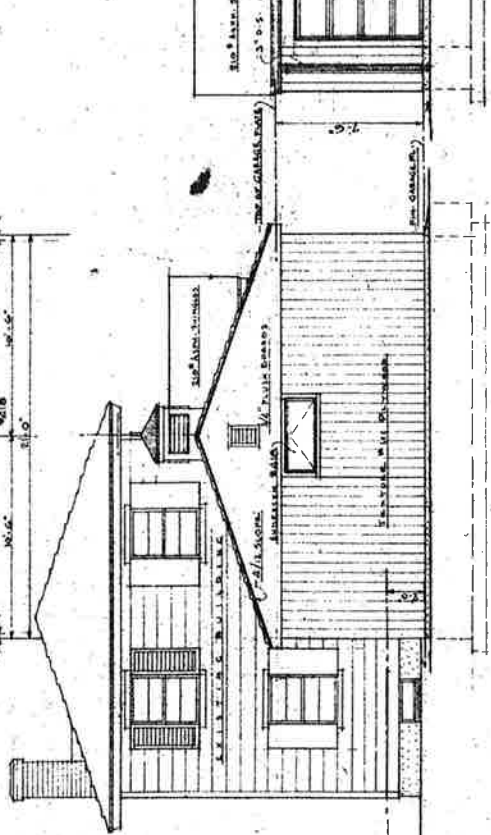
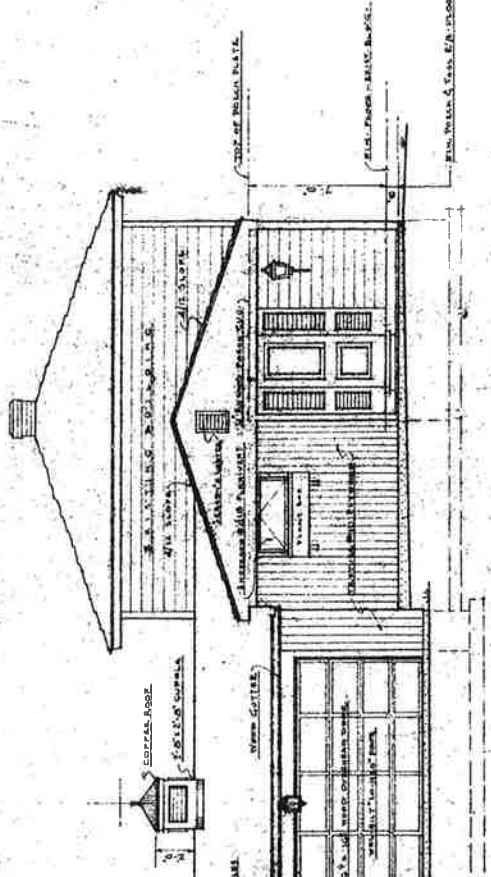
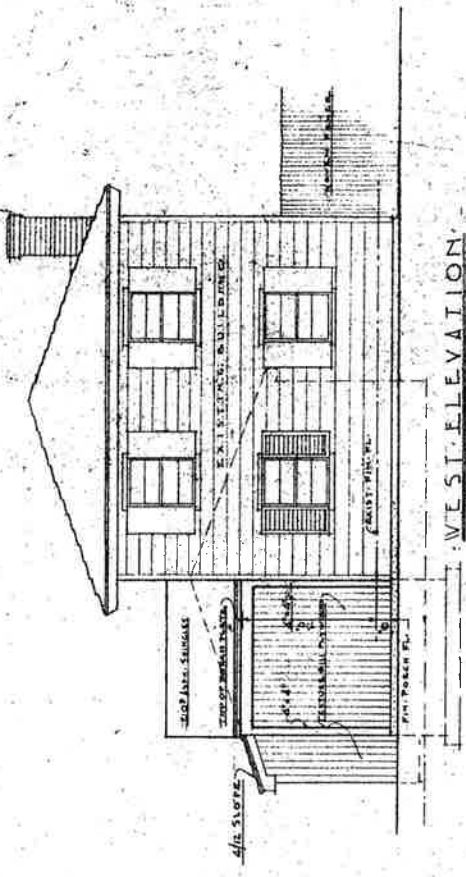
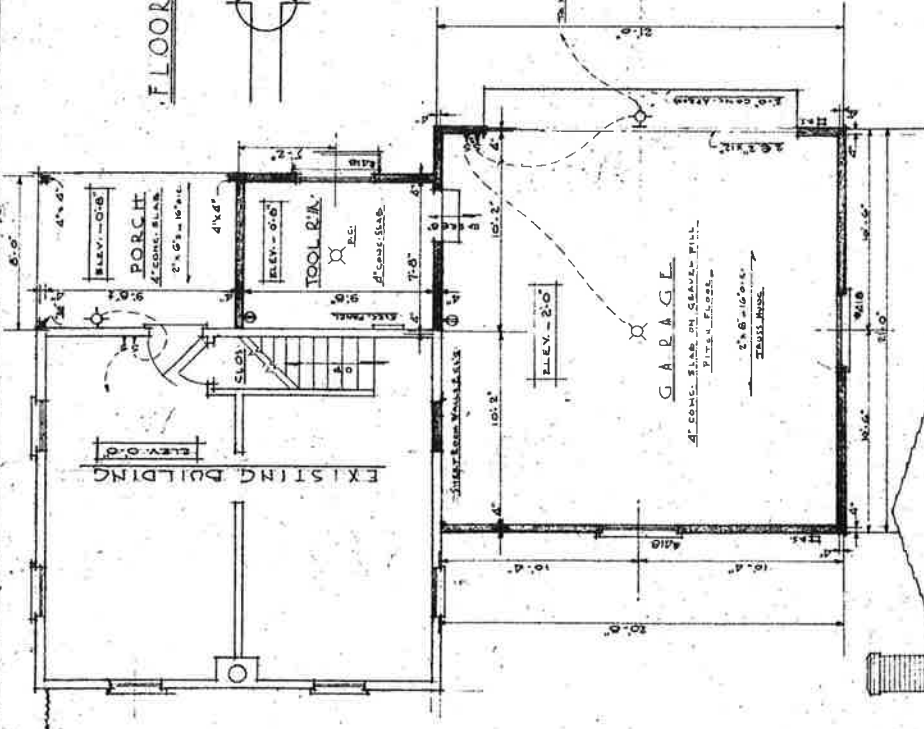
AS SHOWN BY
1372
ROBERT D. BURBANK
 ARCHITECT
 ARMONK, N.Y.
 ADDITIONS TO RESIDENCE
 AT CARROLL L. D. BURBANK
 SEAFORD, N.Y.
 DRAWING NO. **1**
 DATE
 5/27/1937
 SCALE
 1/2" = 1'-0"
 EXPIRES
 FEBRUARY 22, 1937



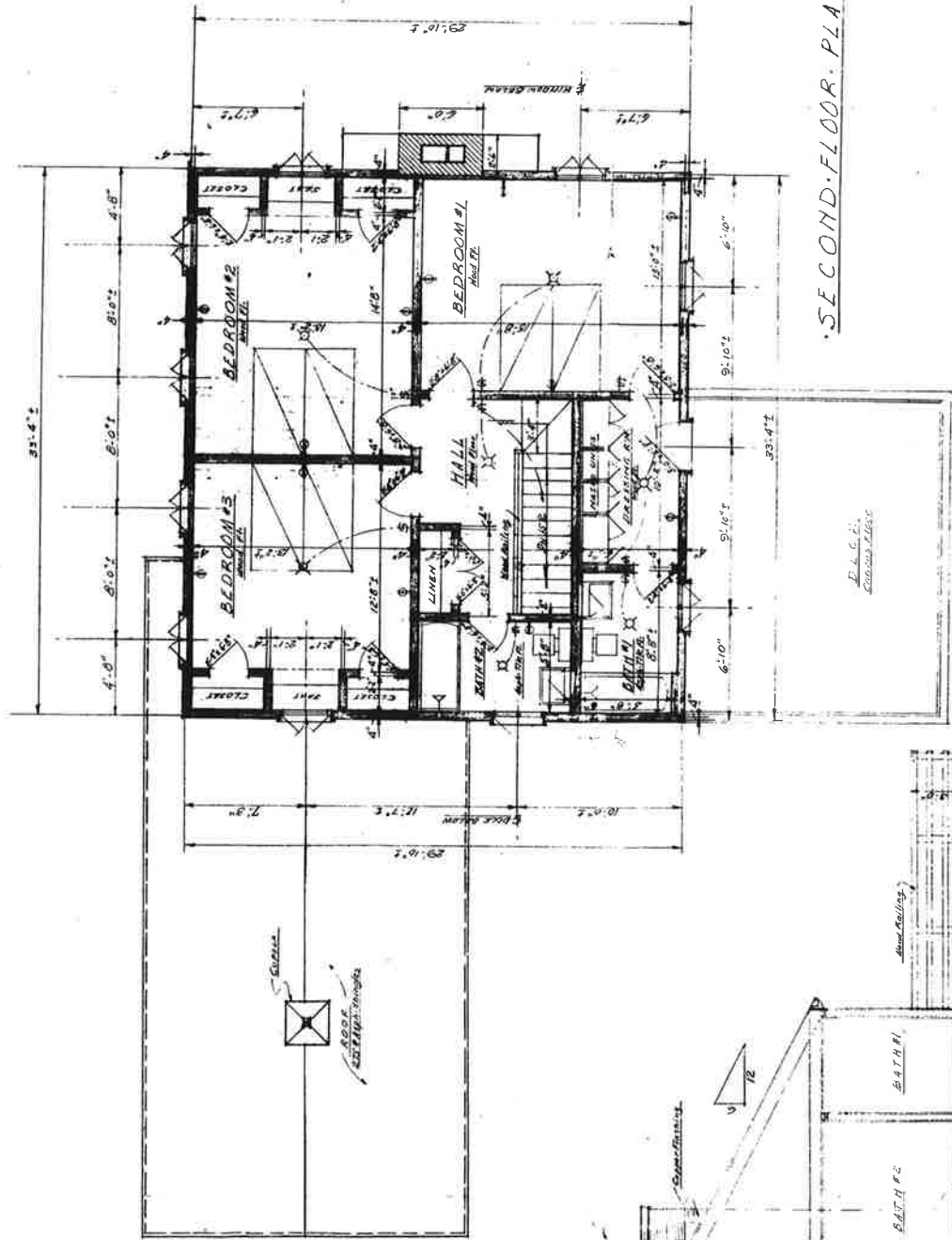
CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR COMPLIANCE OF ALL WORK SHOWN OR SPECIFIED HEREIN WITH ALL CITY ORDINANCES, HE SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES AT THE SITE AND SHALL MAINTAIN THE ADJACENT PROPERTY IN THE HANDS OF THE ADJACENT PROPERTY OWNER AT ALL TIMES.

GUEST HOUSE - ADDITION

FLOOR PLAN



PL. 13 Floor

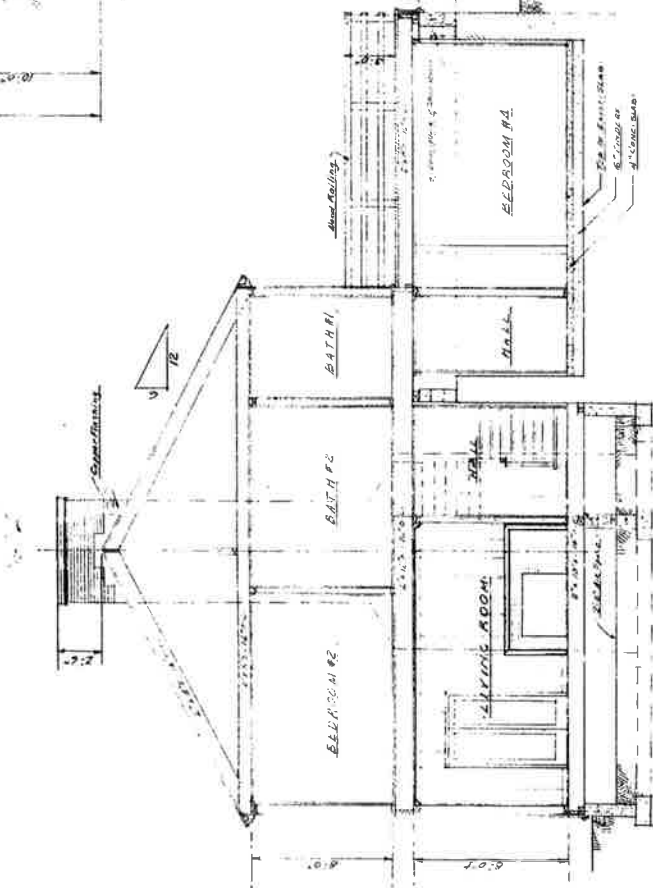


SECOND FLOOR PLAN

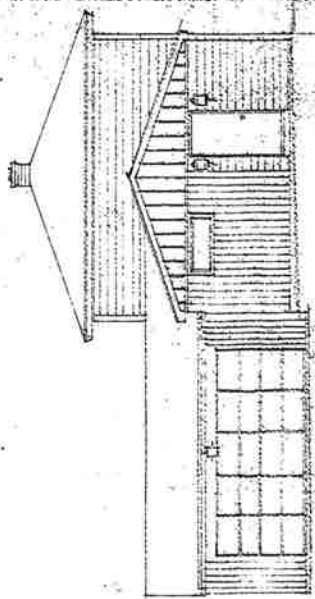
JOB NO.	234	DRWG. NO.	102
DESIGNER	ROBERT D. BURGAM	DATE	9/17/48
CLIENT	RESIDENCE, E.C.K.	SCALE	1/8" = 1'-0"
ADDRESS	31 EAST 81 ST STREET, NEW YORK	REVISIONS	
ARCHITECT	MR. J. H. KELSHAW BURBANK	REVISION 1	9/20/48
LOCATION	GREENWICH ROAD, NORTH CASTLE, N.Y.	REVISION 2	
SECOND FLOOR PLAN		SECTION	



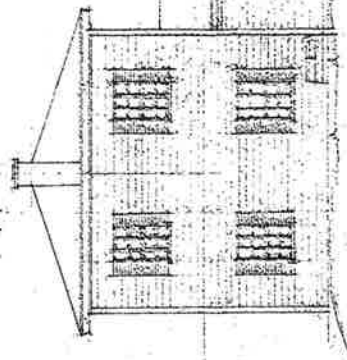
This plan is submitted as a condition of the City of New York, Department of Buildings, and is subject to the provisions of the City of New York Building Code. All dimensions and conditions at the site and shall be verified by the Architect in accordance with the requirements of the City of New York.



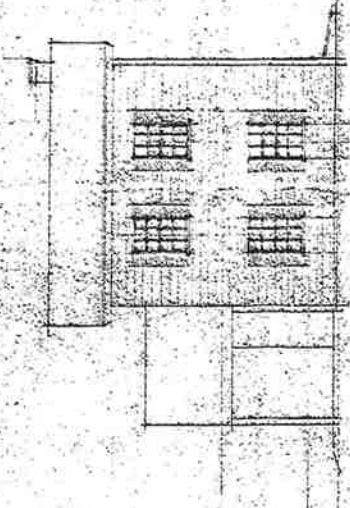
SECTION



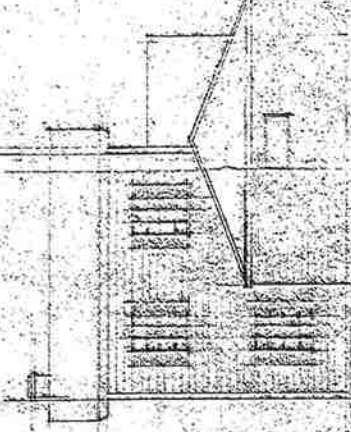
NORTH ELEVATION
PAGE 4-10



SOUTH ELEVATION
PAGE 4-10



WEST ELEVATION
PAGE 4-10



EAST ELEVATION
PAGE 4-10



O. S. Williams

NO. 100	PROJECT	WILLIAM L. WATSON - RESIDENT
DATE	DESIGNED BY	WILLIAM L. WATSON - RESIDENT
	APPROVED BY	
	CONTRACT NO.	
	PROJECT NO.	
	DATE	
	SCALE	
	BY	
	CHECKED BY	
	APPROVED BY	
	DATE	
	PROJECT	JAMES L. HEALY III
	ADDRESS	10 GREENWOOD ROAD, GREENSBORO, N.C.
	PROJECT NO.	2
	DATE	
	BY	
	CHECKED BY	
	APPROVED BY	
	DATE	



RECEIVED

MAY 13 1987

ANDREW P. O'ROURKE
County Executive

DEPARTMENT OF HEALTH

ANITA S. CURRAN, M.D., M.P.H.
Commissioner

Mr. Dan Fiorio
10 Creemer Road
Armonk, NY 10504

April 16, 1987

TOWN OF NORTH CASTLE, N. Y.
BUILDING DEPARTMENT

RE: Caretaker's Cottage
Property of Matthew Healey
10 Creemer Road
Sec. 1, Block 9, Lot 17-8
North Castle (T)

Dear Mr. Fiorio:

A recent site inspection of the above referenced property revealed no visual evidence of failure of the existing separate sewage disposal system.

I hope this information is sufficient for your use.

Very truly yours,

A handwritten signature in cursive script that reads "Rocco A. Mastronardi, Jr.".

Rocco A. Mastronardi, Jr.
Assistant Engineer (Public Health)
Bureau of Environmental Quality

RAM:gdr

cc: Bldg. Dept., North Castle (T)
File

RECEIVED

OCT 6 1987

Pamela L. Healey
Box 489
Armonk, New York

TOWN OF NORTH CASTLE, N.Y.
BUILDING DEPARTMENT

October 2, 1987

Mr. Anthony Palamarczuk
Town of North Castle
17 Bedford Road
Armonk, New York 10504

Re. Certificate of Occupancy

Dear Mr. Palamarczuk,

I am writing to ask whether or not you have had any luck sorting out the Health Department's failure to issue their approval of the existing septic system for the accessory building on my property. At my request, the Health Department sent a man to inspect the system last spring. The inspector dug up and inspected the distribution box. He questioned Ms. Ellen Meyers about the functioning of the septic system. Subsequent to that, he told Ms. Meyers that the system was in fine working condition. He also told her that the Department had located the plans of the system filed with the department at the time the system was installed. It was my understanding that, at that point, the Health Department would send you whatever certificates you need before you can issue a Certificate of Occupancy.

I really am confused about this situation, and I don't know how to resolve the question. The septic system works fine. I believe that there is no reason to put in a whole new system, especially since a representative of the Health Department has said that the system is fine. On the other hand, I need a Certificate of Occupancy.

I would appreciate any help you could give me with this problem. Thank you.

Very truly yours,

Pamela L. Healey



TOWN OF NORTH CASTLE

17 Bedford Road
Armonk, New York 10504
Established 1736

Anthony Palamarczuk
Building Inspector

Telephone: (914) 878-8625

October 7, 1987

Mr. Rocco Mastronardi
Westchester County Department of Health
Bureau of Environmental Quality
112 East Post Road
White Plains, New York 10601

RE: Pamela L. Healey Residence
10 Creemer Road
Section 7, Block 9, Lot 17-18
(Accessory Building)

Dear Mr. Mastronardi:

I am inquiring about the application for Pamela Healey which was referred to Louise Carosi back in November 1986.

Last spring, at Mrs. Healey's request, the Health Dept. sent a man to inspect the septic system for her residence. This person dug-up and inspected the distribution box and stated that the system was in fine working condition. It was Mrs. Healey's understanding that, at that point, the Health Department would send her and the Building Department a Certificate of Compliance so that this Department could issue a Certificate of Occupancy to Mrs. Healey.

To date, we still have not received approval from your Department. One of the Conditions of Approval for an Accessory Apartment is that the existing septic system meet the requirements of the Board of Health.

The Healey's application received approval by Special Permit from the North Castle Planning Board on November 24, 1986.

I would appreciate hearing from you as soon as possible about this application in order that the appropriate steps can be taken.

Thanking you in advance for your cooperation.

Sincerely,

Anthony Palamarczuk
Anthony Palamarczuk
Building Inspector

AP:ld

cc: Pamela Healey



TOWN OF NORTH CASTLE

17 Bedford Road

Armonk, New York 10504

Established 1786

Telephone: (914) 273-8625



Anthony Palamareczuk

Building Inspector

Hugh Watts

Fire Prevention Inspector

July 9, 1991

Mrs. Pamela Healey
10 Creemer Road
Armonk, N.Y. 10504

Re: Accessory Apartment Reinspection
Section 1, Block 9, Lot 17-8

Dear Mrs. Healey:

Please be advised that a reinspection of your Accessory Apartment was conducted on May 8, 1991. At that time it was noted that the smoke alarm on the second floor was in need of a new battery. Hopefully this matter has been handled, if not, see that it is done at once.

Please contact my office when this matter has been corrected.

Sincerely,

Hugh Watts
Fire Prevention Inspector
Assistant Building Inspector

HW:rb

A SMOKE DETECTOR COULD SAVE YOUR LIFE



Town of North Castle
17 Bedford Rd.
Armonk, NEW YORK 10504



William P. Richardson
Fire Prevention Officer
Code Enforcement Officer

Telephone: (914) 273-8625
Fax: (914) 273-3554

NOTICE OF INTENT TO INSPECT

5/27/2015

Owner:

**ROSENTHAL KEITH
ROSENTHAL ROBIN
10 CREEMER RD
ARMONK NY 10504**

Parcel ID: 108.02-2-60

Re: Accessory Apartment Inspection at: 10 CREEMER RD

To whom it may concern:

Please be advised that the North Castle Zoning Ordinance: Section 213-33-K-15, requires a re-inspection of your Accessory Apartment.

The inspection shall be conducted by the Building Department and is to be completed every (3) three years.

Please contact the Building Department to arrange a time convenient for everyone.

If this inspection is not completed in a reasonable time, a Violation Notice may be issued and a copy placed in your property file. This could cause a revocation of your Accessory Apartment Special Permit.

If you have any questions, or to arrange a time for an inspection, please contact the Building Department at 273-8625.

Sincerely,

William Richardson
Fire Inspector
Assistant Building Inspector

A SMOKE DETECTOR COULD SAVE YOUR LIFE