

July 11, 2022

Mr. Christopher Carthy, Chairman
Members of the Town of North Castle Planning Board
15 Bedford Road
Armonk, NY 10504

Re: Keith Rosenthal
10 Creemer Road,
Section 108.02, Block 2, Lot 60

Dear Chairman Carthy and members of the Planning Board;

We are in receipt of the comment letters from Adam Kaufman, Kellard Sessions and the Westchester County Department of Health, for the Rosenthal project. Please find attached a copy of the revised plan set in addition to a comment by comment response to each of the review items in your comment letters.

Town Planner Staff Report *March 17th*

Procedural Comments

1. Comment noted.
2. Comment noted.
3. Comment noted.
4. Comment noted

General Comments

1. Please find the Special Use Permit application attached.
2. Based on our last meeting, the town was able to find evidence that the cottage existed prior to October 11, 1984.
3. Please see C.O. attached.
4. There is only one accessory apartment proposed.
5. This will be provided at a later time.
6. The Site Plan has been revised to show the top of wall elevation and bottom wall elevations.
7. The house elevations and accessory apartment elevations were revised in the architectural plans to depict the building height and maximum interior wall height.
8. See response #7.
9. The accessory apartment will not contain a professional office.



10. The owner will remain to occupy the property for the duration of the special permit.
11. As shown in the architectural plans (attached), the cottage occupies 15.5% of the main building area.
12. See answer #3.
13. The Site plan has been revised to the off-street parking for the accessory apartment.
14. The gross floor area for the main house is 9,754 S.F. as shown in the architect's plan F.A.R. schedule. The accessory apartment will not exceed more then 15.5% of this area.
15. Comment noted.
16. Comment noted.
17. Comment noted.
18. Comment noted.
19. Comment noted.

Kellard Sessions Review Memo *March 25th*

General Comments

1. The plan set has been revised to include the wetland flags by Steve Marino, PWS.
2. Please find attached a NYSDEC verification for on-site confirmation.
3. The approximate location of the existing septic is shown in the plans.
4. The proposed septic area will be located southwest of the property. This location out of the existing wetland and wetland buffer.
The existing septic system will continue to provide for the cottage as the number of existing bedrooms will remain the same.
5. A wetland mitigation plan will be provided at a later date.

Westchester County Department of Health *April 9th*

1. The existing septic system that serves the main house has been located. As the number of bedrooms will not be increased, the applicant proposes to continue to use the existing system. A new septic tank will be required and is shown in the plan set. The area previously tested for the septic system will be the designated area for the 100% expansion system. The Septic Schedule table has been revised to show the required linear feet of the In addition, the 100% expansion area was revised to meet the new standards for onsite wastewater treatment of the Westchester County Department of Health.
2. The application has been revised accordingly.

Enclosed please find the following items for review:

- Short form EAF;
- Special Use Permit Application;
- One set of architectural plans;



- Certificate of Occupancy;
- Project description;
- National Floor Hazard Layer FIRMETTE;
- One set of plans titled Site Plan last revised 7-11-22

If you should have any questions regarding the above or require any additional information, do not hesitate to contact this office.

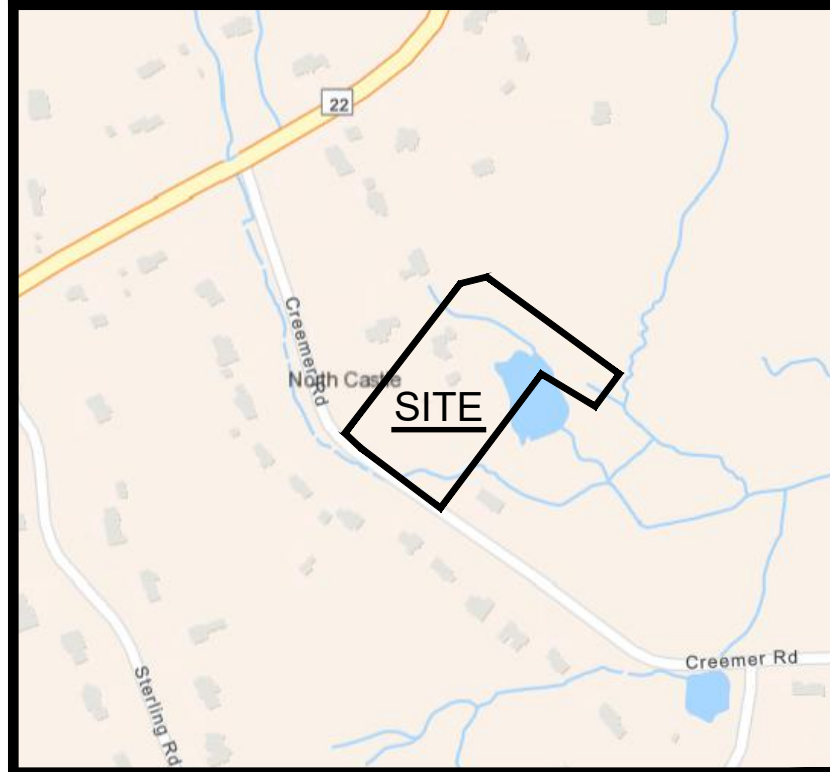
Sincerely,

Joseph C. Riina, P.E.

Cc: K. Rosenthal

JCR/cm / Enc. / sdc 21-28





LOCATION MAP
SCALE: 1" = 600 FT.



SITE DATA:

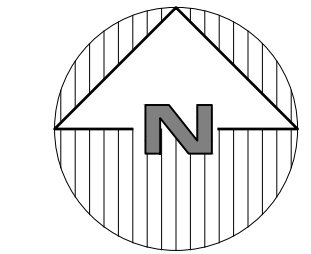
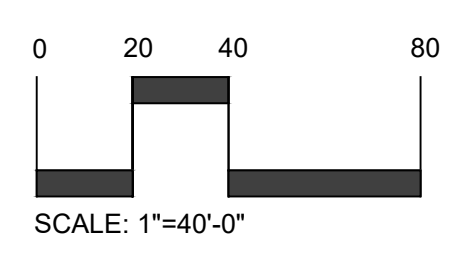
OWNER / DEVELOPER: KEITH ROSENTHAL
 STREET ADDRESS: 10 CREEMER ROAD, ARMONK, NY 10504
 PROJECT LOCATION: 10 CREEMER ROAD, ARMONK, NY 10504
 EXISTING TOWN ZONING: R-2A SINGLE FAMILY RESIDENTIAL
 TOWN TAX MAP DATA: SECTION 108.02, BLOCK 2, LOT 60
 SITE AREA: 5.66 ACRES (246,467 SF)
 SEWAGE FACILITIES: ONSITE WASTEWATER TREATMENT SYSTEM
 WATER FACILITIES: DRILLED WELL
 FIRE DISTRICT: #2
 SCHOOL DISTRICT: BYRAM HILLS
 WATERSHED: LONG ISLAND SOUND
 ZONING SCHEDULE:

ZONING DISTRICT: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 acres)			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	2 AC.	5.66 AC.	NONE
MINIMUM LOT FRONTAGE:	150 FT.	371 FT.	NONE
MINIMUM LOT WIDTH:	150 FT.	370 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	482 FT.	NONE
MINIMUM DWELLING SIZE:	1,400 S.F.	7,657 S.F.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	50 FT.	286 FT.	NONE
ONE SIDE YARD SETBACK:	30 FT.	55 FT.	NONE
COMBINED SIDE YARD SETBACK:	60 FT.	232 FT.	NONE
REAR YARD SETBACK:	50 FT.	156 FT.	NONE
MAXIMUM BUILDING HEIGHT:			
PRINCIPAL BUILDING - STORIES:	-	2 STORIES	NONE
PRINCIPAL BUILDING - FEET:	30 FEET	> 30 FEET	NONE
MAXIMUM BUILDING COVERAGE:			
PRINCIPAL BUILDING :	8% OF LOT AREA	3.1% OF LOT AREA	NONE

LIST OF DRAWINGS:

- SHEET 1 OF 6: SITE PLAN
- SHEET 2 OF 6: EXISTING CONDITIONS
- SHEET 3 OF 6: SEPTIC PLAN
- SHEET 4 OF 6: EROSION PLAN
- SHEET 5 OF 6: EROSION AND SMW DETAILS
- SHEET 6 OF 6: SEPTIC DETAILS

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ Date: _____
 CHRISTOPHER CARTHY, CAHIRMAN,
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ Date: _____
 JOSEPH M. CERMELE, PE
 KELLARD SESSIONS CONSULTING
 CONSULTING TOWN ENGINEERS

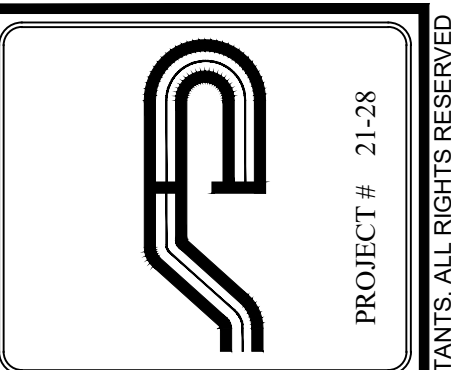


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NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY SCOTT GRAY, DATED 12/03/20, LAST REVISED 12/21/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.



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Revisions:

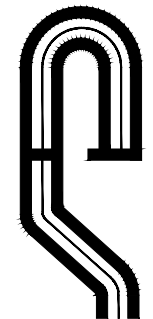
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3	3-4-22	HD Department
4	5-1-22	Plan updates
5	6-3-22	Plan updates
6	7-11-22	Plan updates

SCALE: 1" = 40'
 DRAWN BY: CS
 DATE: 10/01/21

SITE PLAN

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
 10 CREEMER ROAD
 Town of North Castle, Westchester County, New York

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PROJECT # 21-28

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SCALE:	1" = 40'
DRAWN BY:	CS
DATE:	10/01/21

EXISTING CONDITIONS PLAN

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle, Westchester County, New York

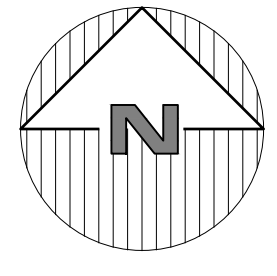
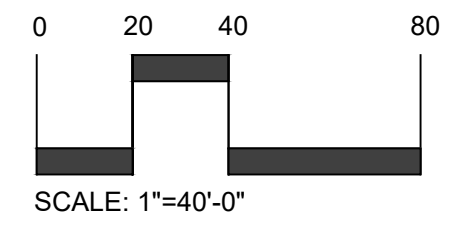
Sheet 2 of 6



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GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSDEC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-20-001 and Town of North Castle Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-20-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE
C. ENTRANCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) shall be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal.
- Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated details.
- Cut and clear trees within work area. Timbered trees, wood chips, and stumps shall be removed off-site. Strip site and place topsoil in stockpile locations shown on the plan.
- Start construction of project access points, set-up staging areas as shown on Erosion and Sediment Control Plan.
- Begin rough grading the site.
- Rough grade of foundation for additions. Soil shall be stockpiled as shown and stabilized the next day if they are to be left alone for over seven days.
- Begin excavation of building foundations, wall, and utilities. Protect open excavations. Where applicable, place fill on the up-slopes and side edges of fill area. Fill should be pushed in place and stabilized with tracking perpendicular to the slope. Place soil stockpiles in locations shown on the Erosion and Sediment Control Plans and associated details.
- Septic system may be constructed at any point after step 7.
- Begin construction of the house addition.
- Upon completion of foundation, backfill to grade and immediately stabilize areas that will not receive traffic or disturbance within seven (7) days.
- Begin the excavation and installation of utilities and drainage system. Protect trenches and open excavations from erosion. All drainage inlets shall be protected from sediment entering. There shall be no direct unfiltered discharge into the stormwater systems. The stormwater outlet shall be blocked until all upstream areas have been permanently stabilized.
- During building and site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Installation of proposed raingarden.
- Topsoil, rake, seed and mulch all disturbed areas. Once all proposed disturbances are completed, begin full stabilization of the site. Once the site has been stabilized, remove all temporary erosion control measures. This shall be done during optimum weather conditions to avoid sediment transport. A site shall be considered stabilized when it has a minimum uniform 80% perennial vegetation cover or other permanent non vegetative cover with a density sufficient to resist accelerated surface erosion. Once final stabilization has been achieved, unblock piping to infiltrators in order to allow flow to enter.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that whenever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

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TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREeping RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREeping RED FESCUE 20
	REDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20

3. SEEDING

- Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
- Apply soil amendments and integrate into soil.
- Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
- Stabilize seeded areas in drainage swales.
- Irrigate to fully saturate soil layer, but not to dislodge planting soil.
- Seed between April 1st and May 15th or August 15th and October 15th.
- Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to pH 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

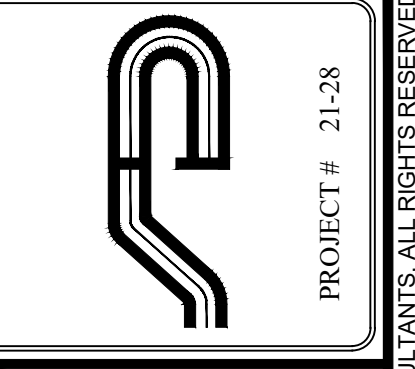
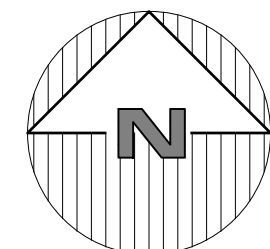
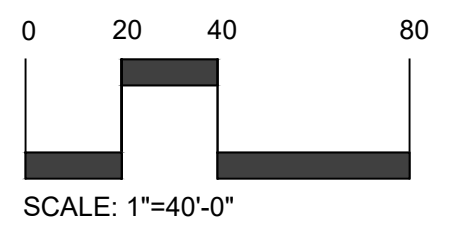
Same as permanent vegetative cover

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____

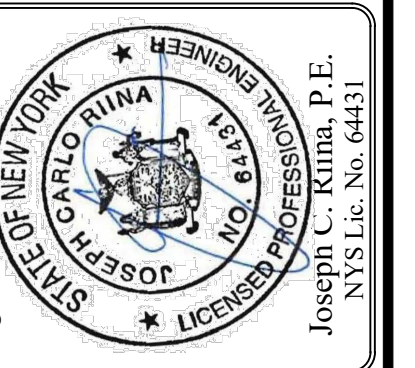
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DRAWN BY: CS
DATE: 10/01/21

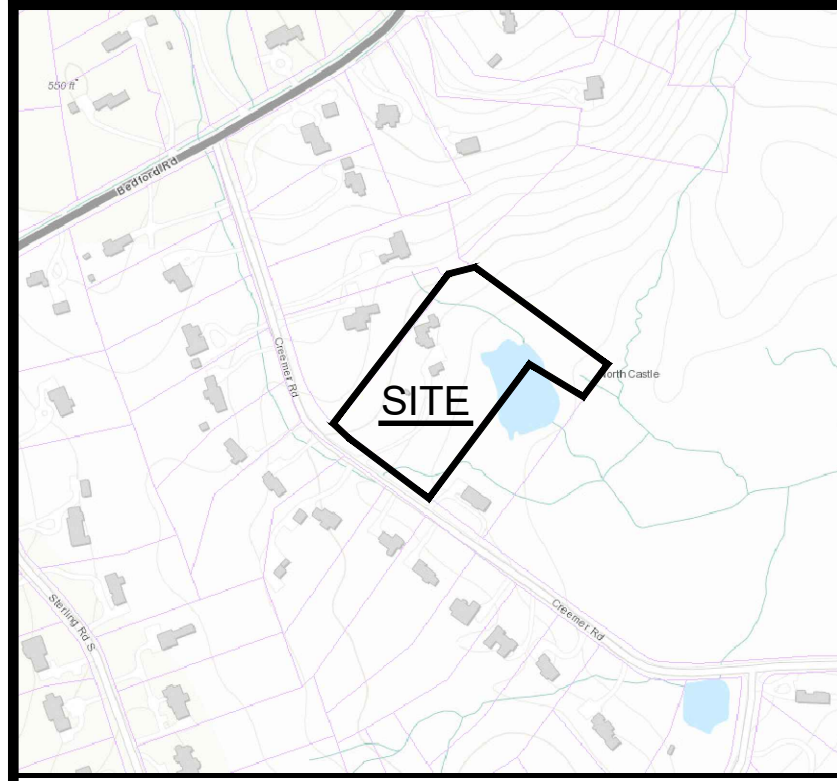
EROSION AND SEDIMENT CONTROL PLAN

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Westchester County, New York

E:\2024\24-02\KEITH ROSENTHAL - 10 CREEMER ROAD - ARBONKING ENGINEERING\CD\24-02-28 KEITH ROSENTHAL - 10 CREEMER ROAD - ARBONKING ENGINEERING\CD\24-02-28.DWG, 11-11-22, DWG, 6/20/2022, 5:20:26 PM

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STREET ADDRESS

KEITH ROSENTHAL
10 CREEMER ROAD
ARMONK, NY 10504

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R-2A SINGLE FAMILY RESIDENTIAL
SECTION 108.02, BLOCK 2, LOT 60

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DRILLED WELL
LONG ISLAND SOUND

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WATER FACILITIES:
WATERSHED:

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- SHEET 6 OF 6: SEPTIC DETAILS

GENERAL NOTES:

- A written permit and/or approval issued by the WCHD to construct an individual sewerage system shall terminate and therefore be null and void unless construction is undertaken within one (1) year of the date of issuance.
- If for any reason the approved construction plan cannot be followed, a revised plan must be prepared, submitted and approved by the WCHD.
- All construction to be in accordance with these plans and last revised set of WCHD Rules and Regulations.
- All SSTS and wells shall be located in the exact location as shown on this plan unless otherwise authorized by the WCHD.
- Existing wells and SDS shown on this map were installed prior to approval date and are not part of this approval.
- All laundry and kitchen wastes shall be discharged into the SSTS.
- No cellar, roof or footing drains shall be discharged into the SSTS or within 25' of any well.
- The WCHD shall be notified WITHIN 24 HOURS prior to the backfilling of any completed SSTS so that a final inspection can be made. Upon completion of any backfilling, the area shall be covered with a minimum of 4" of topsoil, seeded and mulched.
- Prior to commencement of operation, a Certificate of Compliance must be applied for and received from WCHD.
- The proposed SSTS shall be isolated and protected against damage by erosion, storage of earth or materials, displacement, compaction or other adverse physical change in the characteristics of the soil or in the drainage of area.
- Proposed septic area to be kept free of traffic and debris during house construction and install adequate drainage to prevent erosion after septic is installed.
- Any modifications or deviations from this plan must be approved by the Design Engineer and WCHD prior to construction.
- The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- The Design Engineer shall supervise the construction of the SSTS and make an open works inspection.
- The Contractor must have a valid license from the WCHD.
- Contractor to verify all substructures encountered during construction.
- The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- The Contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
- Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.
- Survey and topographical information shown hereon prepared by surveyor: SCOTT GRAY

SEPTIC CONSTRUCTION REQUIREMENTS:

- The construction of the septic system shall meet all requirements of the latest publications and amendments of "The Westchester County Health Department Rules and Regulations for The Design and Construction of Residential Subsurface Sewage Treatment Systems and Drilled Wells in Westchester County" and "The Rules and Regulations of The New York State Department of Health" as set forth in 10 NYCRR, Part 75, Appendix 75-A.
- The Westchester County Health Department approval expires one year from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the department.
- All work performed including new installations, repairs, relocations, etc. shall have all current required permits or approvals.
- No grading in OWTS area except as shown on this plan.
- Boulders, if any on surface of ground shall be cleared away prior to construction of the OWTS.
- The house sewer to tank connection shall be a minimum 4" diameter at a minimum slope of 2.0%. The pipe shall be cast iron, ductile iron, or sewer grade PVC. All materials shall comply to the NYS Uniform Fire Prevention and Building Code (NYGRCR). The house trap shall have a cleanout and fresh air intake having a minimum diameter of one-half.
- If cover exceeds 2 feet over any installed tank or chamber, a manhole and collar to grade is required for access. Minimum requirement of 6-12" of cover over all tanks and chambers.
- Absorption Fields to be constructed of 4" perforated PVC pipe or equal, encased in crushed stone over pipe with standard precast junction boxes at inflow connection and 4" solid PVC pipe running from septic tank outlet to and between junction boxes.
- Minimum Trench Depth = 18", Trench Width = 24".
- Total depth of stone in trench = 12" (washed gravel 3/4" to 1 1/2").
- Maximum backfill over trench = 14".
- All septic field laterals shall be of equal length (60' max. w/o dosing and 100' max. if dosed) and parallel to contours at a slope rate of 1/32" per foot or 0.25%.
- All pipes connecting to tank and boxes shall be cut flush with the inside wall of box.
- PVC pipe to meet minimum standards of ASTM D-2729.
- Absorption trenches shall not be installed or backfilled in wet, frozen, frost or snow covered soils.
- Backfill material for the trenches shall contain no particles with any dimension greater than 4". Backfill septic material must be inspected and approved by the WCHD before installation.
- No laterals shall be placed beneath a driveway or paved areas.
- End caps to be placed at end of all 4" perforated P.V.C. pipe in absorption fields.
- Run of bank sand and gravel and impervious material to be inspected and approved by the Design Engineer prior to installation of the proposed system. Fill shall contain no particles greater than 4" in diameter. Fill shall be placed over expansion area where shown as required by WCHD.
- Fill stabilization may not be achieved by mechanical compaction. Only by a natural settling, for a period required by W.C.H.D. which may include a freeze-thaw cycle. Percolation tests must be done in stabilized fill and must meet the design rate.
- Prior to submission of Certificate of Compliance to WCHD, fill section must be stabilized with grass seed and hay cover.
- Spa pool drainage and filter backwash will not discharge to any SSTA.

WCHD NOTES:

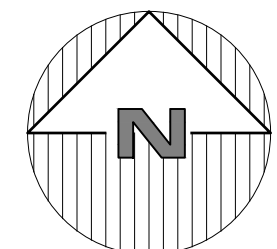
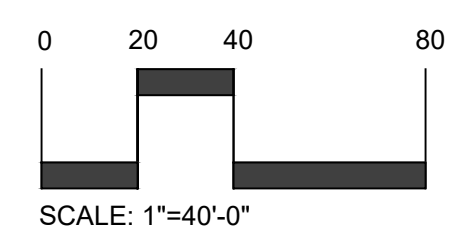
- The design professional shall supervise the construction of the OWTS and make an open works inspection.
- Within 24-hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to the Department.
- There are no DEC wetlands on site nor within 200' of OWTS. There are streams, ponds etc. with in 200' of SSTS. There are no reservoir/reservoir stems or controlled lake with in 500' of OWTS.
- There is 31,054 sqft of proposed disturbance.
- There are no existing or proposed wells within 100 feet of the proposed OWTS nor within 200 feet in the line of drainage.
- There are no existing OWTS within 200 ft of well unless otherwise shown on this plan.
- Estimated construction and completion date: January 2022 to January 2023.
 - Within 24 hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health (WCHD) that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to WCHD.
 - That no backfilling of a completed OWTS can occur until after it has been inspected and accepted by the Westchester County Department of Health.
 - After backfilling the OWTS, the area shall be covered with a minimum of 4 inches of clean top soil, seeded and mulched.
- There shall be no trees within 10' of the OWTS.
- Prior to any excavation, all underground utilities must be located. Call 1-800-962-7962.

MINIMUM RESTRICTIVE DISTANCES TO WELL:

- | | |
|-----------------------------|---|
| 1. Property Line | 10 feet |
| 2. Sewage System Tankage | 50 feet |
| 3. Foundation | 10 feet |
| 4. Swimming Pools | 10 feet |
| 5. Watercourse or Waterbody | 50 feet |
| 6. Absorption Trench | 100 feet; 200 feet general path of drainage |
| 7. Seepage Pit | 150 feet; 200 feet general path of drainage |
| 8. Tri-gallery, 4x4 | 150 feet; 200 feet general path of drainage |
| 9. Flow Diffuser | 100 feet; 200 feet general path of drainage |

SEPTIC DESIGN AREA:
EXISTING EXPANSION SYSTEM AREA
PROPOSED EXPANSION SYSTEM AREA

SLOPE
10.0%
5.8%



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Table 1
Separation Distances from Wastewater Sources

Wastewater Sources	Drilled Well or Section Line (g) (ft)	Stream, Lake, Watercourse (l) or Wetland (ft)	Dwelling (ft)	Property Line (ft)	Drainage Ditch/Rain Garden (b)(ft)	Inground Pool (ft)
House Sewers	35 CIP 50 Other	25	3	10	10	10
Septic Tank	50	50	10 (a)	10	10	20
Effluent Line/Force Main	50	50	10	10	10	10
Distribution Box/Junction Box	100	100	20 (d)	10	20	20
Absorption Fields (f)	100 (a)	100	20 (d)	10	20	35
Seepage Pit	150 (a)	100	20 (d)	10	20	50
Dry Well(d)	50	25	20	10	10	20
Roof - Downspout	100	25	20	10	10	20

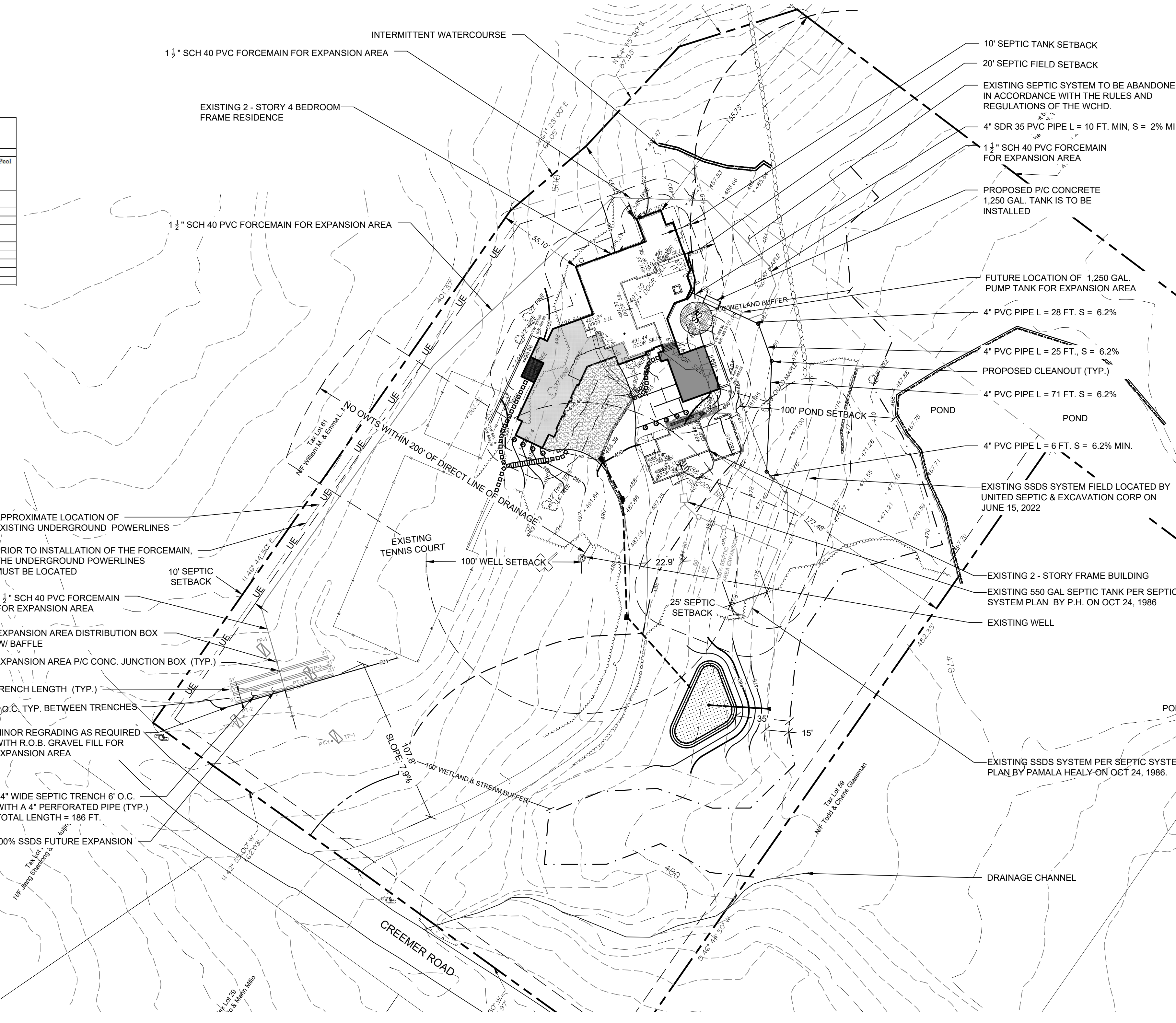
- (a) Wells located in general path of an OWTS must be located 200 feet or more away. All public water supply wells must be 200 feet or more away.
- (b) Mean high water mark of defined stream or lake.
- (c) Drywells are not allowed above OWTS (sprawls, storm water infiltration units or other subsurface storm water infiltration units).
- (d) For slab on grade foundations with no drains, distance can be reduced to half.
- (e) For all systems involving placement of fill, separation distances are measured from the toe of slope of the fill.
- (f) Closest part of OWTS shall be located at least ten (10) feet from any water service line (i.e. - PWS main, water service connection, well).
- (g) Recommended.
- (h) Septic tanks are not permitted beneath raised decks and require a minimum of five (5) separation from deck piers (sootubes).
- Additional Separation Distances from Absorption Area to:
- Piped Drainage: 25 ft
 - Open Channel Drainage: 50 ft
 - Curtain Drain (upgrade from OWTS): 15 ft
 - Curtain Drain (downgrade from OWTS): 50 ft
 - Catch Basin: 50 ft
 - Driveway: 5 ft
 - Storm Water Basin Above Ground Pool: 10 ft
 - Deck with Piling/Screen: 10 ft
 - Slab on Grade Foundation: 10 ft
 - Roof and Footing Drain Discharge Pipe: 10 ft

E:\2023\12-28\KEITH ROSENTHAL - 10 CREEMER ROAD - ARMONK\ENGINEERING\CAD\CAD-21-28\KEITH ROSENTHAL - 10 CREEMER ROAD - ARMONK\DWG\20231228\20231228.DWG



SOILS CLASSIFICATIONS

TYPE	NAME	DESCRIPTION	HYDROLOGICAL GROUP
Ce	CATDEN	MUCK	B/D
CsD	CHATFIELD-CHARTON	VERY ROCKY	B
NcA	NATCHAUG	MUCK	B/D
PnB	PAXTON	FINE SANDY LOAM	C
PnC	PAXTON	FINE SANDY LOAM	C
Sh	SUN	LOAM	C/D
W	WATER	-	-



HEALTH DEPARTMENT SEPTIC SCHEDULE

S.S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC RATE (MIN)	MIN. DESIGN RATE	APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE	TANK SIZE	REQD. TRENCH LENGTH	PROVIDED TRENCH LENGTH	LENGTH PER TRENCH	BANK RUN FILL PER TRENCH	CURTAIN DRAIN DEPTH	REMARKS	
																					DESIGN RATE
1,529 S.F.	246,467 S.F.	TP-#1	6" T.SOIL, 6"-84" FINE MED SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"				PT-1	1.2 MIN.	1-5 MIN.	1.2	4 BRM	440 GPD	1,250 GAL	184 LF	186 LF	31 LF	2 FT	3,058 FT ³		DOSING REQ'D.
		TP-#2	6" T.SOIL, 6"-84" FINE MED SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"			8.7 %	PT-2	3 MIN.												
		TP-#3	6" T.SOIL, 6"-84" FINE MED SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"				PT-3	3 MIN.												
		TP-#4	12" T.SOIL, 12"-84" FINE SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"																	

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY SCOTT GRAY, DATED 12/03/20, LAST REVISED 12/21/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

PROJECT # 21-28

Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Revisions:	No.	Date	Comments
	1	1-7-21	HD Department
	2	2-14-22	HD Department
	3	3-4-22	HD Department
	4	6-3-22	Plan updates
	5	6-3-22	Plan updates
	6	7-11-22	Plan updates

SCALE: 1" = 40'

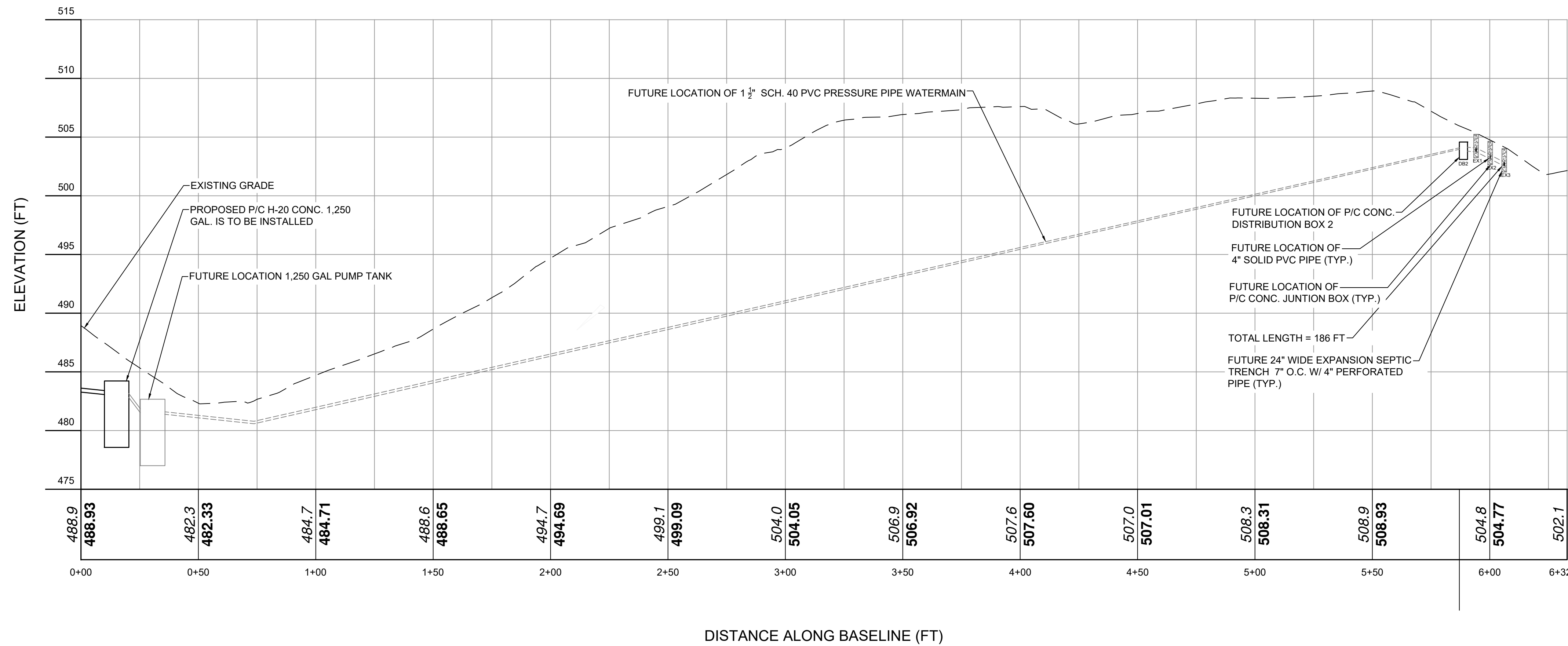
DRAWN BY: CS

DATE: 10/01/21

OWTS TANK RELOCATION & 100% EXPANSION DESIGN

KEITH ROSENTHAL
SITING PLAN PREPARED FOR
10 CREEMER ROAD
Westchester County, New York

Sheet 3 of 6



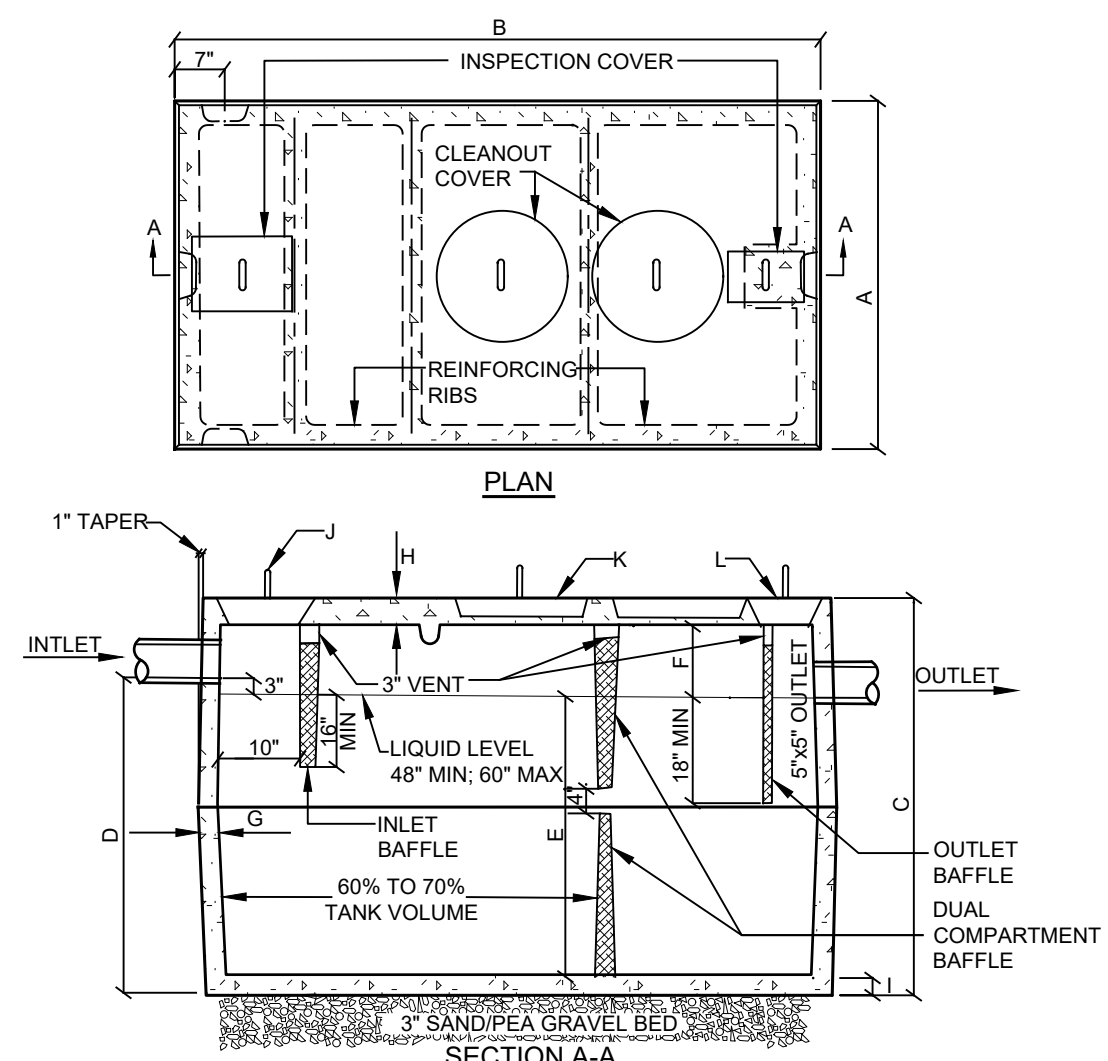
HOUSE SEWER	INV. OUT = 483.27'
SEPTIC TANK	INV. IN = 483.07'
	INV. OUT = 482.81'
PUMP TANK	INV. IN = 481.52'
	INV. OUT = 481.47'
DISTRIBUTION BOX 1	INV. IN = 503.96'
	INV. OUT = 503.80'
EXP. TRENCH 1	INV. IN = 503.74'
EXP. TRENCH 2	INV. IN = 503.14'
EXP. TRENCH 3	INV. IN = 502.52'

Septic Profile
VERT. SCALE: 1" = 8
HORIZ. SCALE: 1" = 40

SEPTIC SYSTEM 100% EXPANSION PROFILE DETAIL

SCALE 1" = 30'

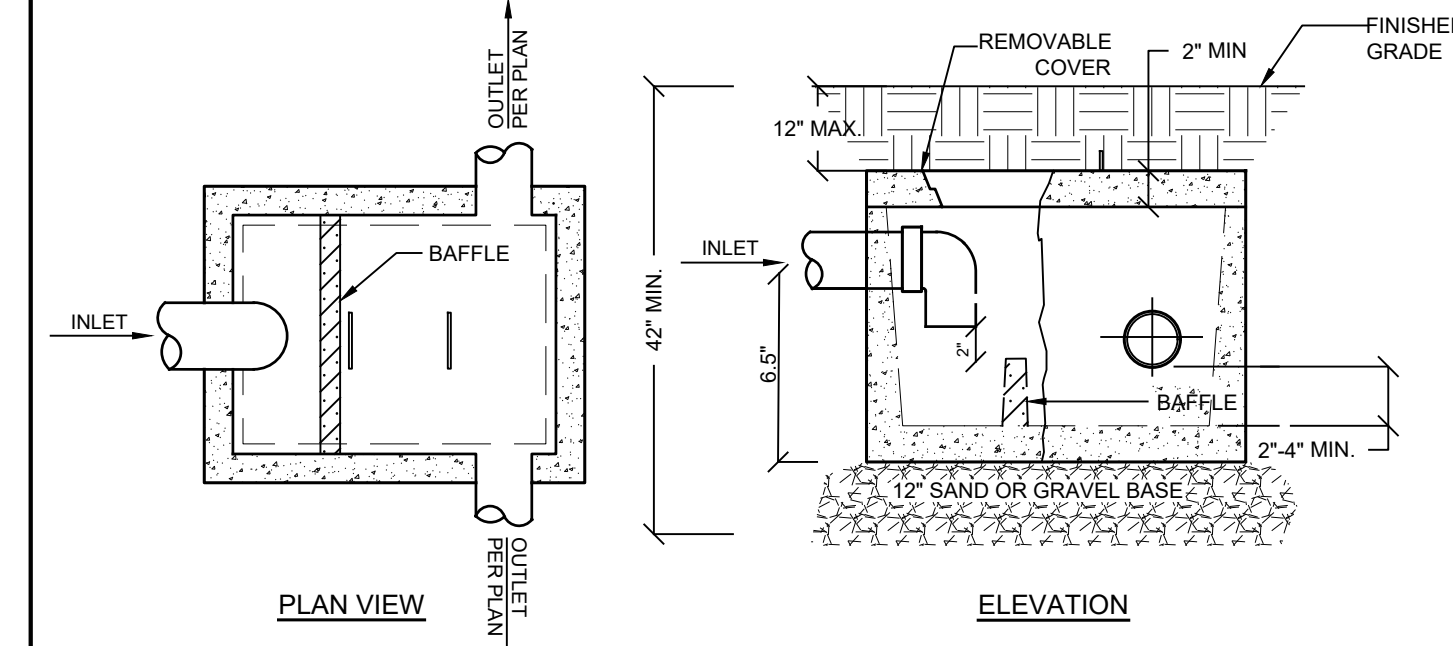
S-1



LIQUID CAPACITY	A	B	C	D	E	F	G	H	I	J	K
1,000 Gal.	60"	100"	67"	50"	40"	12"	3"	5"	4"	6'x0"	20'x0"
1,250 Gal.	60"	120"	67"	58"	48"	12"	3"	5"	4"	6'x0"	20'x14"
1,500 Gal.	65"	120"	67"	58"	48"	12"	3"	5"	4"	6'x0"	20'x14"
2,000 Gal.	78"	144"	67"	68"	48"	12"	3"	5"	4"	6'x0"	20'x14"

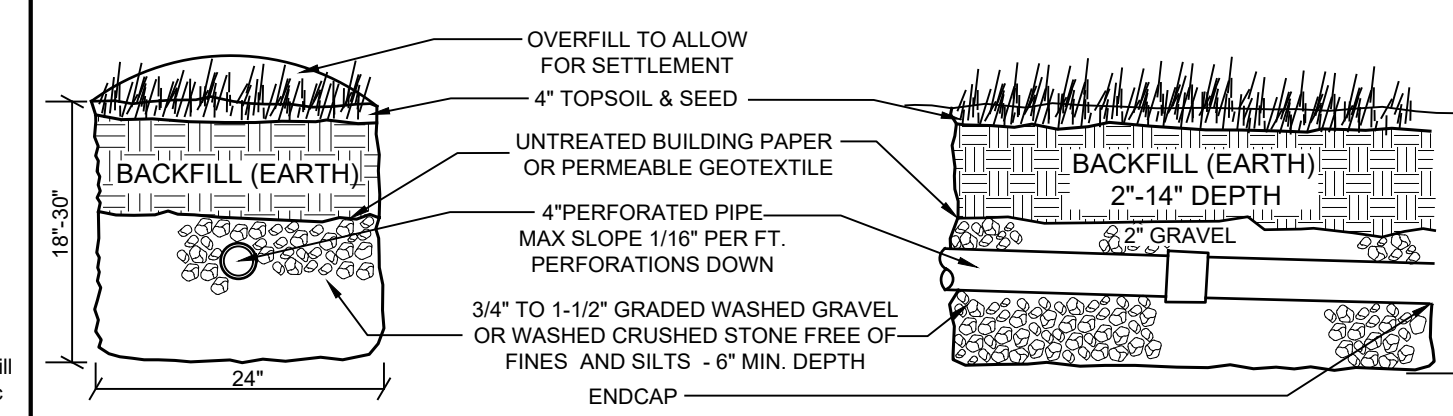
- NOTES:**
- The minimum required fill cover above the septic tank shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the septic tank is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - The dual compartment baffle is required on all septic tanks with a length "B" equal to or greater than 10 feet.
 - For installations that require an overflow tank, a tank the same size as the septic tank shall be used. Dual compartment baffles are not required on overflow tanks regardless of the size.
 - All pipes connecting to the tank shall be cut flush with the inside wall.
 - Septic tank has a top loading capacity of 300 gpd.
 - Tank shall be manufactured by Mid Hudson Concrete Products, Inc.

S-2 PRECAST CONCRETE SEPTIC TANK DETAIL AND OVERFLOW TANK DETAIL NOT TO SCALE



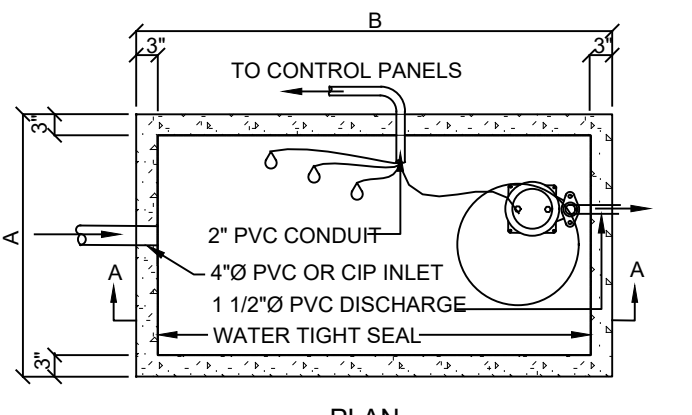
- NOTES:**
- A distribution box evenly distributes wastewater effluent to subsurface absorption areas or seepage pits.
 - Distribution boxes shall be waterproof and constructed of concrete and the concrete shall have a minimum compressive strength of 2,500 pounds per square inch at 28 day set.
 - For accessibility, it is necessary that the distribution box be located and have a removable cover not more than twelve (12) inches below grade. Where, due to site conditions, a distribution box must be greater than twelve (12) inches below the surface, an extension collar shall be installed to within twelve (12) inches of the surface.
 - All outlets from the distribution box shall be at the same level to insure the even distribution of flow.
 - To minimize frost action and reduce the possibility of movement after the distribution box has been installed, distribution boxes must be set on a bed of sand or pea gravel at twelve (12) inches thick. In addition, the bottom of the box must be set level and supported solidly to below the frost line and the footing is to extend to 42 inches below ground level.
 - All distribution boxes shall be equipped with a 90 degree elbow facing down on the inlet pipe and a baffle.
 - The drop between the inlet and outlet inverts shall be at least two (2) inches.
 - There shall be a minimum two (2) inch clearance between the inverts of the outlets and the bottom of the box to prevent short circuiting and reduce solids carry-over.
 - Speed leveler devices on the outlets are recommended to ensure equal flow to each lateral.
 - Distribution boxes should be inspected periodically to ensure equal flow to all absorption lines and to check for solids leaving the septic tank.
 - Tight joint pipe from the septic tank, discharge line from dose chamber, or force main from pump chamber to inlet side of distribution box.
 - Tight joint pipe between all boxes.
 - Outlet pipes to be cut flush with inside of distribution box.

S-3 DISTRIBUTION BOX DETAIL NOT TO SCALE



- NOTES:**
- Ends of all trenches are to be capped.
 - Minimum 5' of soil between the bottom of absorption trench and presence of groundwater table and/or creviced rock.
 - Maximum slope, 4 inch gravity distribution lines (1/16" per ft) 0.5% maximum.
 - Maximum slope, when dosing is provided (1/32" per ft) 0.25% maximum.

S-4 PERFORATED PIPE TRENCH DETAIL NOT TO SCALE



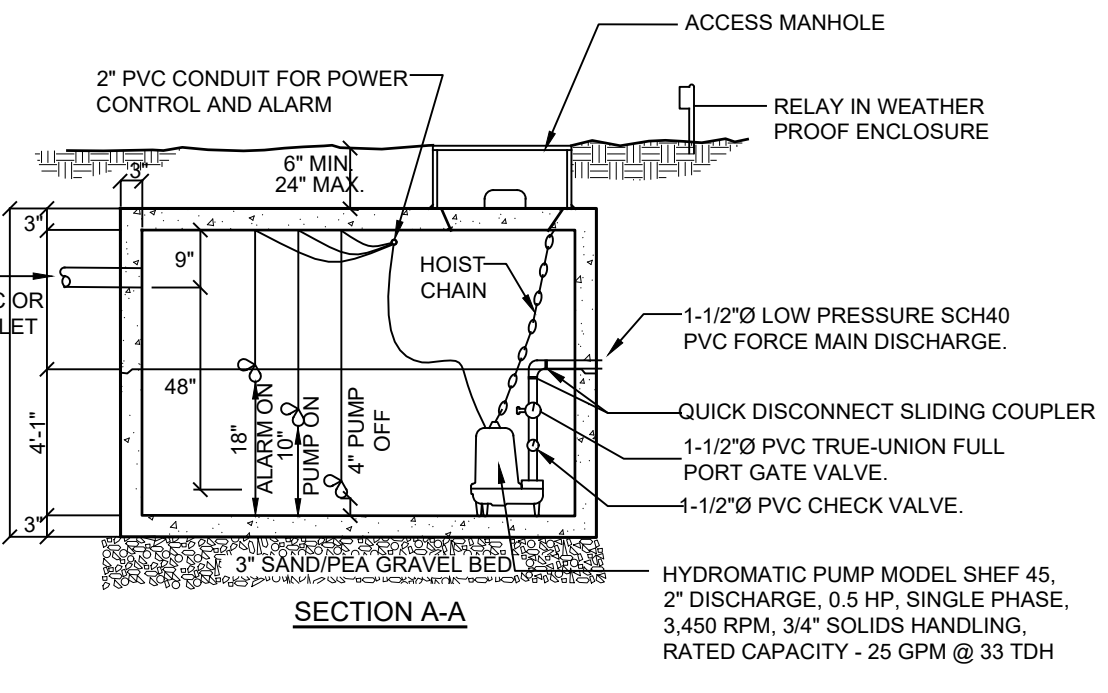
LIQUID CAPACITY	A	B	C
1,250 Gal.	60"	120"	67"

PUMP CALCULATIONS:
TOTAL FLOW = 300 GAL./DAY
LENGTH OF FIELDS: 340 L.F. W/2" TRENCHES
RATE OF PUMPING: 0.5 GAL./L.F.

HEAD LOSS CALCULATION:
TOTAL HEAD LOSS = STATIC LOSS + FRICTION LOSS + MINOR LOSS
FROM DESIGN CALCULATIONS:
TDH = 29' + 4" = 33'

- NOTES:**
- The minimum required fill cover above the pump chamber shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the pump chamber is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - Pump shall be Hydromatic pump Model SHEF 45, 2" discharge, 0.5 HP, single phase, 3,450 RPM, 3/4" solids handling, rated capacity of 25 GPM @ 33 FT TDH.
 - The Contractor shall provide one (1) spare pump of equal size to be maintained on site at all times.
 - Pump chamber as manufactured by Mid Hudson Concrete Products Inc.
 - Pump settings may vary for tanks whose dimensions differ from those shown above. Contractor shall notify engineer of any change.
 - All pipes connecting to the chamber shall be cut flush with the inside wall.
 - Contractor shall supply and install control / alarm panel within building basement or other approved location.
 - Electrical Underwriters Certificate is required for all installations.

S-5 PUMP CHAMBER DETAIL NOT TO SCALE



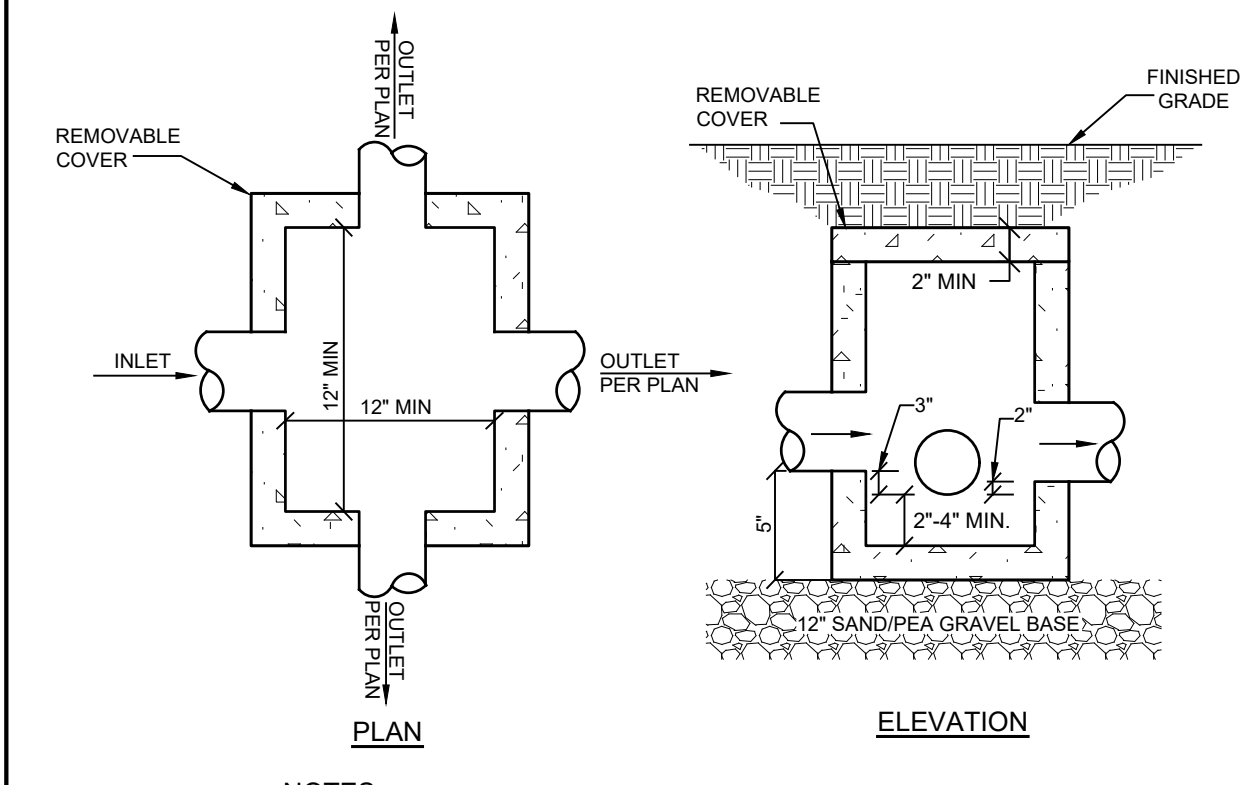
VOLUME TO BE PUMPED TO SYSTEM:
REQUIRED VOLUME = 0.5 GAL. / L.F. X 340 L.F. = 170 GAL.
= 170 GAL./7.48 GAL./C.F. = 22.7 C.F.

PUMP CHAMBER INTERIOR DIMENSIONS:
= 4.5' X 9.5' = 42.75 S.F PER FOOT OF HEIGHT
THEREFORE, REQUIRED DISTANCE BETWEEN ON/OFF FLOAT SWITCH: = 22.7 C.F. / 42.75 S.F. PER FOOT = 0.5' OR 6"

PUMP CHAMBER STORAGE VOLUME:
= 42.75 S.F. X 4' X 7.48 GAL./C.F. = 1279 GAL. > 1,250 GAL.

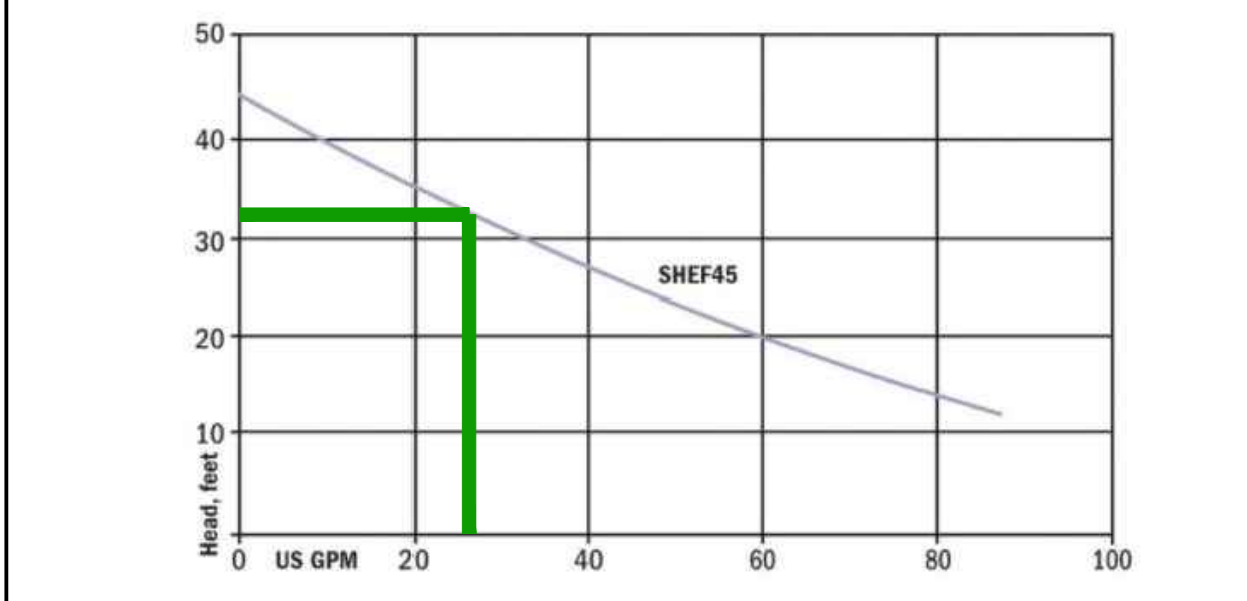
STORAGE VOLUME:
BETWEEN ALARM-ON ELEVATION AND INVERT OF INLET PIPE:
STORAGE = 2.8' (9.5' X 4.5') = 119.7 C.F.
119.7 C.F. X (7.48 GAL./C.F.) = 895 GAL.

S-6 JUNCTION BOX DETAIL NOT TO SCALE

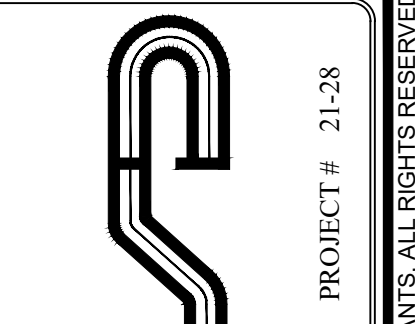


- NOTES:**
- Bottom of junction box must be level and firmly supported below frost line.
 - Junction box footing shall extend to 36" below ground level.
 - Junction boxes shall be placed on single branch distributors.
 - Junction boxes shall be constructed of waterproof masonry construction.
 - Tight joint pipe shall be used between the septic tank and junction box and between all junction boxes and laterals.
 - All pipes connecting to the junction box shall be cut flush with the inside wall.
 - Maximum cover above junction boxes shall be 12 inches.
 - The clear inside dimension of junction boxes shall be a minimum of 12" x 12".
 - All pipes shall be cut flush with inside of junction box.
 - First foot of pipe from junction box to trenches will be non-perforated.

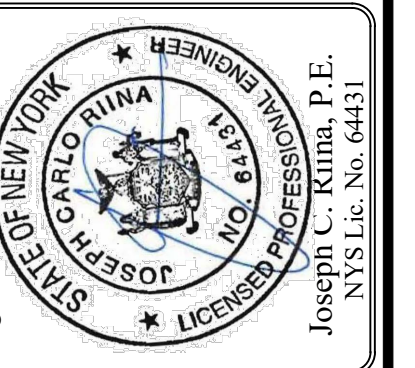
S-6 JUNCTION BOX DETAIL NOT TO SCALE



S-7 PUMP CURVE DETAIL NOT TO SCALE



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	4	6-3-22	Plan updates
	5	6-3-22	Plan updates
	6	7-11-22	Plan updates

SCALE: AS NOTED
DRAWN BY: CS
DATE: 10/01/21

SEPTIC DETAILS

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Westchester County, New York
Town of North Castle

E:\2024\12-28\KEITH ROSENTHAL - 10 CREEMER ROAD, ARMONK\ENGINEERING\241228\ROSENTHAL SITE PLAN_21-11-22.DWG, 6/20/22, 5:20:28 PM

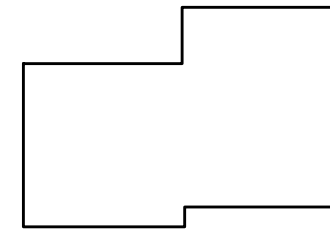
Rosenthal



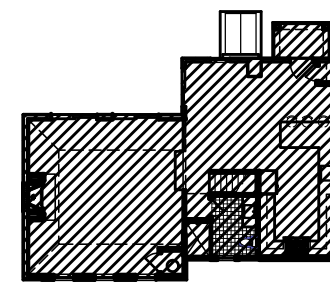
10 Cremer Road Armonk, NY

GUEST HOUSE FLOOR PLANS

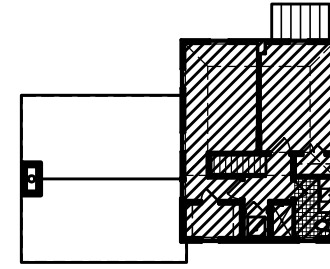
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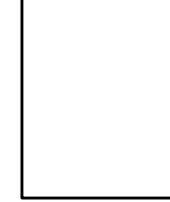
BASEMENT FLOOR: 0 S.F.



FIRST FLOOR: 993 S.F.



SECOND FLOOR: 520 S.F.



ATTIC FLOOR: 0 S.F.

F.A.R. SCHEDULE

ZONE: R-2A FAR: WORKSHEET NET LOT: 233,3921 SF

PERMITTED FLOOR AREA: 15,397 SF

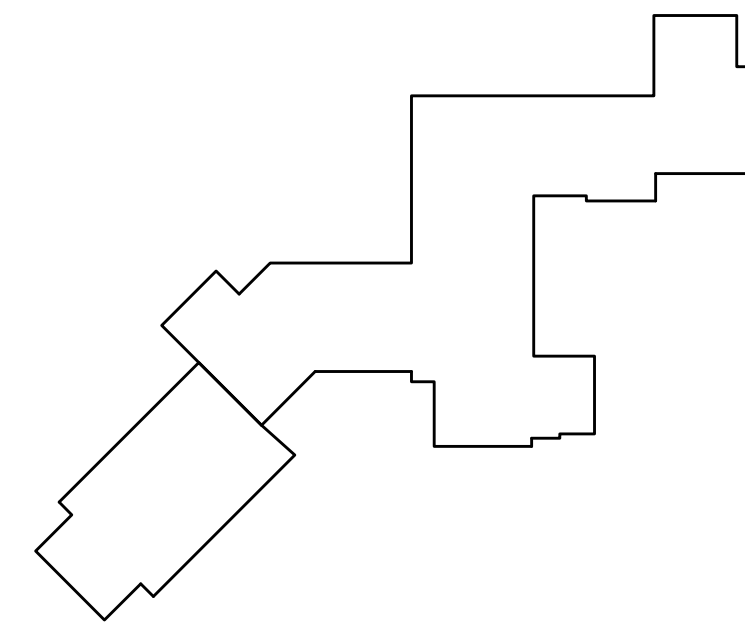
FLOOR AREA CALCULATIONS AS CURRENTLY DEFINED IN THE TOWN OF NORTH CASTLE ZONING CODE

	EXISTING	PROPOSED
BASEMENT FLOOR	0 SF	0 SF
FIRST FLOOR	881 SF	993 SF
SECOND FLOOR	357 SF	520 SF
ATTIC FLOOR	0 SF	0 SF
TOTAL FLOOR AREA	1,238 SF	1,513 SF
MAIN HOUSE		9,754 SF
CODE:	15,397 SF	> 11,267 SF

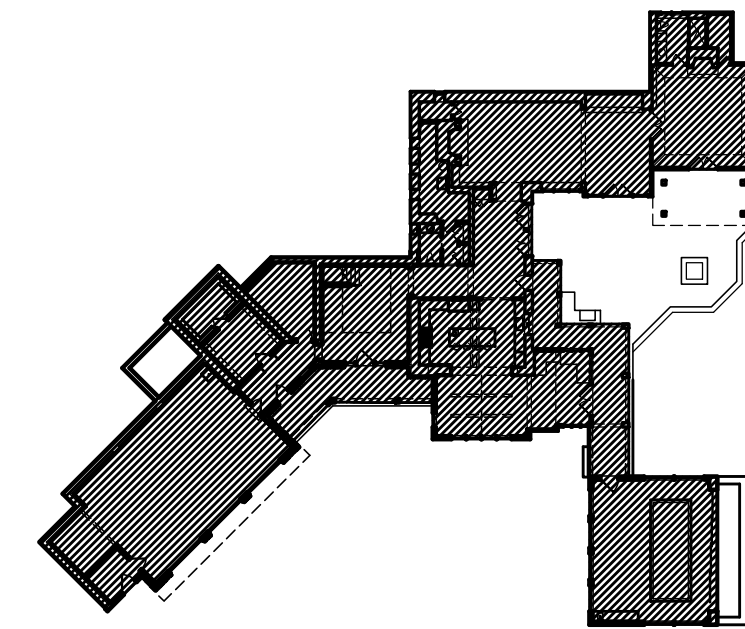
SECTION: 108.02

MAIN HOUSE FLOOR PLANS

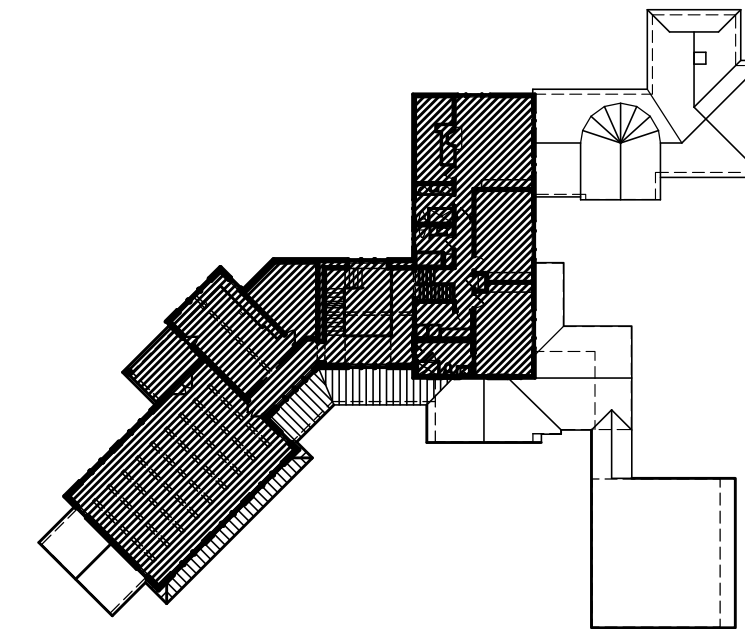
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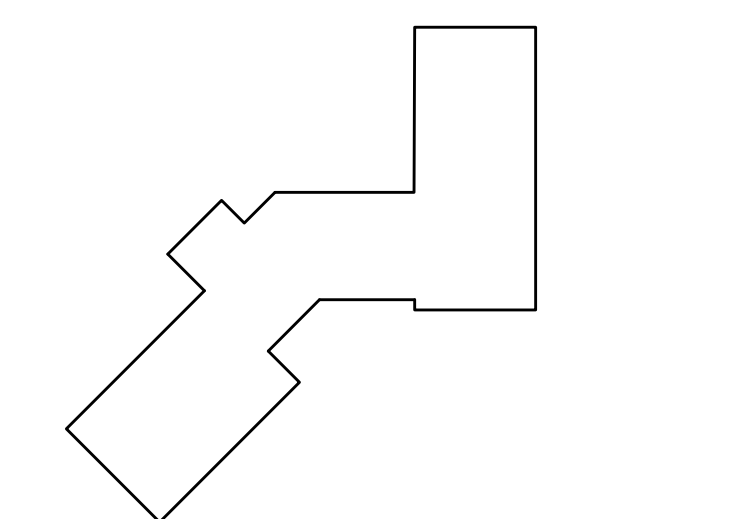
BASEMENT FLOOR: 0 S.F.



FIRST FLOOR: 6,319 S.F.



SECOND FLOOR: 3,435 S.F.



ATTIC FLOOR: 0 S.F.

F.A.R. SCHEDULE

ZONE: R-2A FAR: WORKSHEET NET LOT: 233,3921 SF

PERMITTED FLOOR AREA: 15,397 SF

FLOOR AREA CALCULATIONS AS CURRENTLY DEFINED IN THE TOWN OF NORTH CASTLE ZONING CODE

	EXISTING	PROPOSED
BASEMENT FLOOR	0 SF	0 SF
FIRST FLOOR	2,776 SF	6,319 SF
SECOND FLOOR	1,329 SF	3,435 SF
ATTIC FLOOR	0 SF	0 SF
TOTAL FLOOR AREA	4,105 SF	9,754 SF
GUEST HOUSE		1,513 SF
CODE:	15,397 SF	> 11,267 SF

BLOCK: 02

LOT: 60

SHEET INDEX

No.	DRAWING	
	MAIN HOUSE	GUEST HOUSE
A01	TITLE SHEET	
A02	DEMOLITION PLAN	B01 DEMOLITION PLAN
A03	DEMOLITION PLAN	B02
A04		B03
A05		B04 FLOOR PLANS
A06		B05
A07	FIRST FLOOR PLAN	B06 ELEVATIONS
A08	SECOND FLOOR PLAN	
A09		
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A14	ELEVATIONS	
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STATEMENT OF COMPLIANCE

THE ARCHITECT, JUSTIN F. MINIERI A.I.A. (N.Y.S. LIC. NO. 18332) HAS PREPARED THE CONSTRUCTION DOCUMENTS, WRITTEN & FIGURATIVELY IN COMPLIANCE WITH THE LATEST APPLICABLE SECTIONS OF LOCAL AND STATE BUILDING CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE.

REQUIRED SYMBOL	TRUSS IDENTIFICATION SIGN
	<ul style="list-style-type: none"> THE SIGN SHALL BE IN CONFORMANCE WITH NYCRR SECTION 1265 FOR ONE & TWO FAMILY DWELLINGS. THE SIGN SHALL BE SECURELY AFFIXED TO THE EXTERIOR ELECTRIC METER OR AN ALTERNATE LOCATION APPROVED BY CODE, WHENEVER IT IS NOT POSSIBLE TO DO SO, REVIEW LOCATION WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.

GENERAL NOTES

- G.C. SHALL REVIEW PLANS AND SPECIFICATIONS PRIOR TO START OF WORK. ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCY.
- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS. LARGE SCALE DETAILS AND DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- G.C. SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT FOR ALL SHOWN OR SPECIFIED, INCLUDING TEMPORARY FACILITIES AND/OR SUPPORTING STRUCTURES.
- G.C. SHALL BE RESPONSIBLE TO SECURE ALL PERMITS FOR CONSTRUCTION.
- G.C. SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SUBMIT TO OWNER.
- G.C. SHALL CHECK ALL EXISTING CONDITIONS PRIOR TO START OF WORK. G.C. SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ALL VISIBLE AND NON-VISIBLE UTILITY SERVICES.
- ALL LABOR, MATERIALS, AND CONSTRUCTION SHALL COMPLY AND CONFORM WITH ALL RULES, REGULATIONS, CODES AND ORDINANCES OF ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- THE G.C. SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, RUBBISH, IMPLEMENTS AND SURPLUS MATERIALS. THE G.C. SHALL LEAVE THE BUILDING BROOM CLEAN.
- G.C. SHALL PROVIDE UNDERSLAB PIPING FOR FUTURE RADON MITIGATION MAKE AND PROVISIONS FOR FUTURE VENTING. G.C. SHALL BE RESPONSIBLE FOR ALL RADON TESTING.
- THE H.V.A.C. SYSTEM SHALL BE DESIGNED BY A QUALIFIED, CERTIFIED H.V.A.C. CONTRACTOR AND / OR MECHANICAL ENGINEER RETAINED BY THE G.C. ALL APPROVALS SHALL BE OBTAINED BY THE G.C. H.V.A.C. CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL J'S CALCULATIONS.
- ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL & NATIONAL FIRE UNDERWRITER CODES & LOCAL UTILITY CO.
- A MINIMUM OF 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH EFFICACY LAMPS PER 404.1 OF 2020 RCNYS.
- ALL CHIMNEYS, FLUES AND GAS VENTS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTERS 10 AND 18 OF THE NYS RESIDENTIAL CODE.
- FIREPLACES SHALL BE COMPLETE WITH FRESH AIR INTAKE DUCT. ALL HEARTHES TO BE 20" IN. DEEP (MIN.). PROVIDE TIGHT-FITTING NON-COMBUSTIBLE GLASS DOORS AT EACH FIREPLACE IN CONFORMANCE WITH NH102.4.2 (B)4.4.2 OF THE 2020 RCNYS. OWNER SHALL SELECT DOOR TYPE.
- G.C. SHALL INSTALL A COMPLETE SMOKE AND CARBON MONOXIDE ALARM SYSTEM THROUGHOUT HOUSE. PROVIDE A SMOKE ALARM UNIT IN EACH BEDROOM AND SMOKE / CARBON MONOXIDE ALARMS ON EACH FLOOR INCLUDING BASEMENT IN COMPLIANCE WITH NYS RESIDENTIAL CODE, SECTION R 317.1.1. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACK-UP. ALL ALARMS SHALL ACTIVATE SIMULTANEOUSLY BUT DISTINCTIVE ALARM SIGNAL SHALL BE USED TO DIFFERENTIATE EACH TYPE OF ALARM. ALARMS SHALL BE CODE APPROVED AND U.L. LISTED.
- G.C. SHALL HAVE PROFESSIONAL APPLIED CHEMICAL-TERMICIDE TREATMENT TO SOIL FOR PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER §318.1 OF THE 2020 RCNYS. G.C. SHALL PROVIDE ALL REQUIRED DOCUMENTATIONS TO LOCAL MUNICIPALITY.
- G.C. SHALL BE RESPONSIBLE TO RETAIN THE SERVICES OF A CERTIFIED "HERS" RATER. THE "HERS" RATER SHALL PROVIDE A COPY OF PROJECTED COMPLIANCE REPORT PER 2020 RCNYS AND PERFORM THE DOOR BLOWER TEST AND PROVIDE REQUIRED CERTIFICATIONS.

MANUAL J DESIGN CRITERIA

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECT FACTOR	INDOOR DESIGN TEMP.	DESIGN COOLING	HEATING TEMP. DIFF.	COOLING TEMP. DIFF.	WIND VELOCITY HEATING	WIND VELOCITY COOLING	CONCIDENT BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY
439	41	12	87		70	75	68	20				M	30	

DESIGN LOADS

SOIL BEARING:	4000 PSF
FLOOR:	60 PSF (40 L + 20 D)
ATTIC (4'-6" AND GREATER HEADROOM)	45 PSF (30 L + 15 D)
ATTIC (LESS THAN 4'-6" HEADROOM)	30 PSF (20 L + 10 D)
ROOF (SNOW LOAD)	60 PSF (45 L + 15 D)
PORCH & DECK:	70 PSF (60 L + 10 D)
GUARDRAILS & HANDRAILS:	200 PLF

MATERIAL STRENGTHS

CONCRETE:	4000 PSI
DIMENSIONAL LUMBER:	950 PSI
ENGINEERED LUMBER:	
• GLULAM	2400 PSI
• LAMINATED VENEER LUMBER	2600 PSI
• PARALLEL STRAND LUMBER	2900 PSI
STRUCTURAL STEEL:	36,000 PSI

2020 ECCCNS

CLIMATE ZONE	PENETRATION U-FACTOR ¹	SKYLIGHT ² U-FACTOR	GLAZED PENETRATION SHGC ^{3a}	CEILING DESIGN R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE	SLAB ⁴ R-VALUE	CRAWL SPACE R-VALUE	DESIGN TEMPERATURE: 0 DEGREES F / 72 DEGREES F. CODE DESIGN METHOD: CHAPTER 4, PRESCRIPTIVE BUILDING ENVELOPE (SECTIONS 402.1.402.3)	
											INSULATION	FENESTRATION REQUIREMENTS BY COMPONENT
4	0.31	0.55	0.40	49	20 or 13 + 5	8/13	19	10/13	10, 2 FT	10/13		

- R-VALUES ARE MINIMUMS. U-FACTORS & SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN THE CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
 - THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATES ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.
 - "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "10/13" SHALL BE PERMITTED TO MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
 - R-5 SHALL BE ADDED TO THE REQUIRED DRAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTHS SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN ZONES 1 THROUGH 3 FOR HEATED SLABS.
 - THERE IS NO SHGC REQUIREMENTS IN THE MARINE ZONE.
 - THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.
 - THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
- I, JUSTIN F. MINIERI, AIA (N.Y.S. LIC. NO. 18332) CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE SECTIONS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED	TOPO GRAPHIC EFFECTS	SPECIAL REGION WINDS	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES					
20 PSF	115-120 MPH	NONE	YES	YES	B	SEVERE	4"	MODERATE TO HEAVY	0° - 10°F	YES	YES (ZONE X)	1000 OR LESS	52.2 F

Armonk, NY

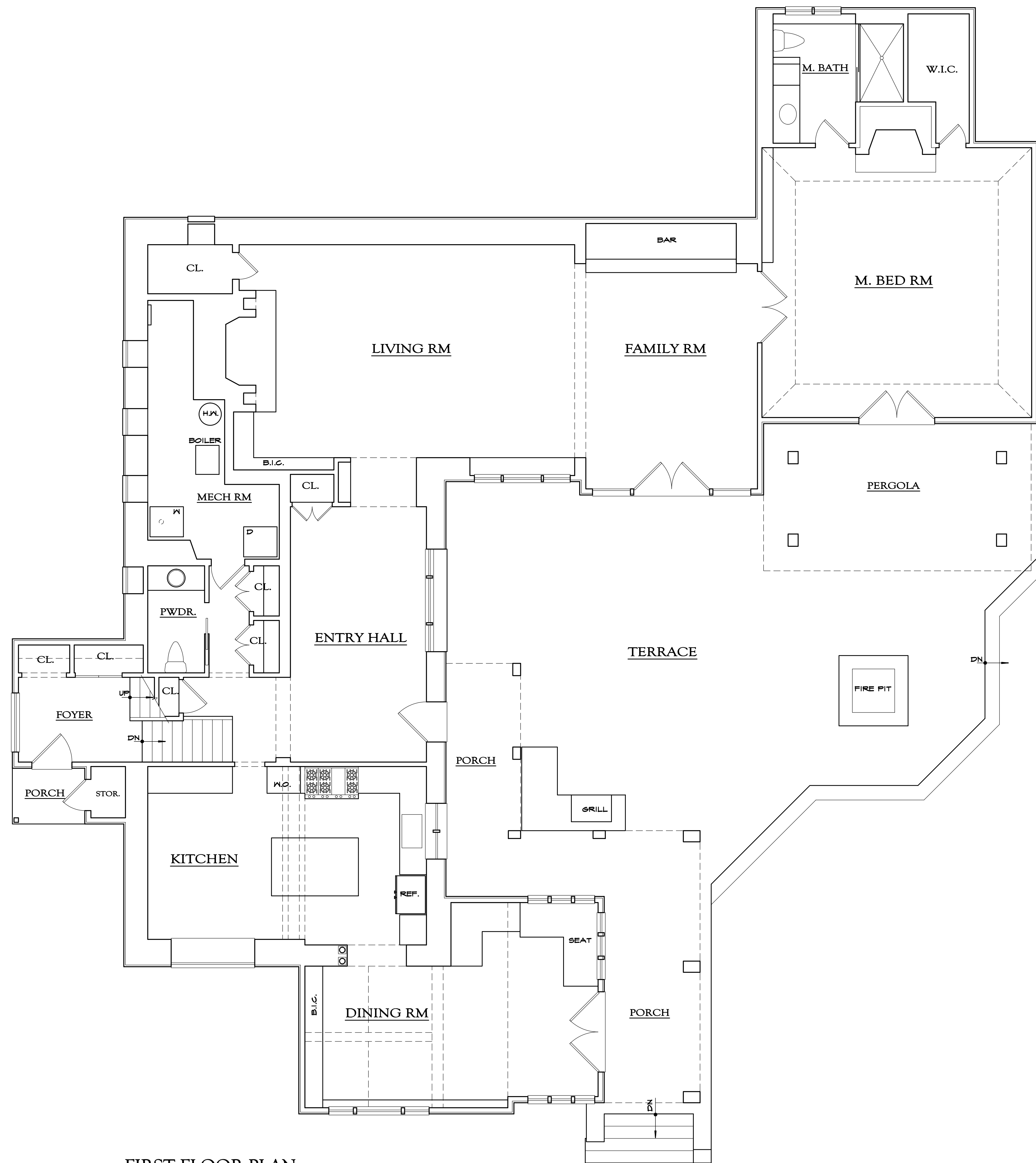
Proposed Addition & Alteration to
Rosenthal Residence
10 Cremer Road

JUSTIN F. MINIERI, AIA
NCARB MEMBER
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DATE: 1/31/22
REVISIONS:



DWG No.
A01
Rosenthal / 220079



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" EXISTING

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE REUSED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.

Armonk, NY

Proposed Addition & Alteration to

Rosenthal Residence
10 Creemer Road

JUSTIN F. MINIERI, AIA
NCARB MEMBER

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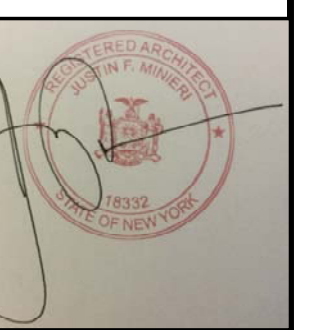
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LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- WINDOW OR DOOR TO REMAIN
- WINDOW OR DOOR TO BE REMOVED
- WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR REUSE)

DATE: 1/31/22

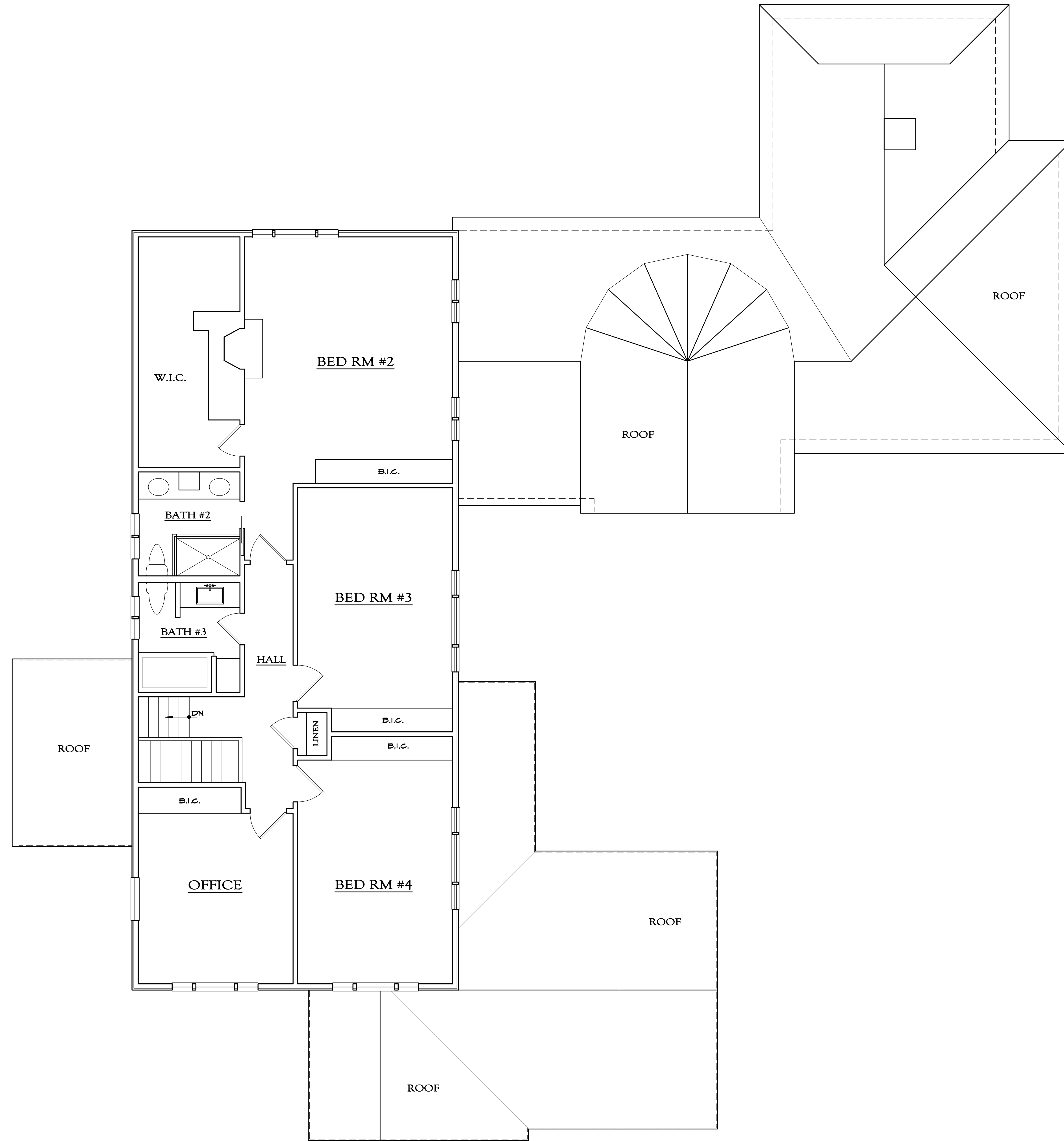
REVISIONS:



DWG No.
A02
FLOOR PLAN

DO NOT SCALE PRINTS

Rosenthal / 220079



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" EXISTING

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
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8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTEN LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.

Armonk, NY

Proposed Addition & Alteration to

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10 Creemer Road

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DOCUMENTS PREPARED BY JUSTIN F. MINIERI, AIA
ARCHITECTURE, INC. 1000 WEST 10TH STREET, SUITE 100, NEW ROCHELLE, NY 10801

LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- WINDOW OR DOOR TO REMAIN
- WINDOW OR DOOR TO BE REMOVED
- WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR REUSE)

DATE: 1/31/22

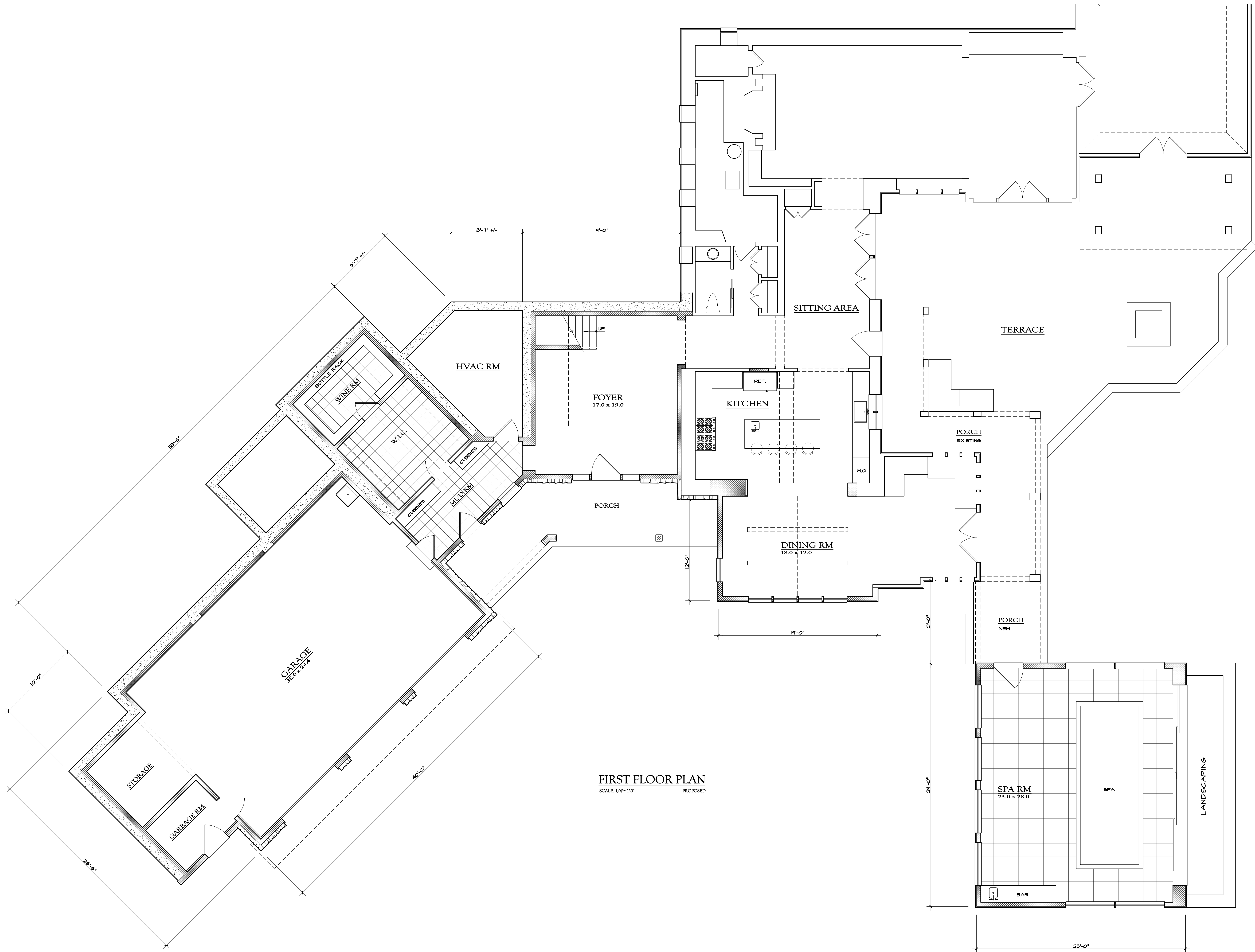
REVISIONS:



DWG No.
A03
FLOOR PLAN

DO NOT SCALE PRINTS

Rosenthal / 220079



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
PROPOSED

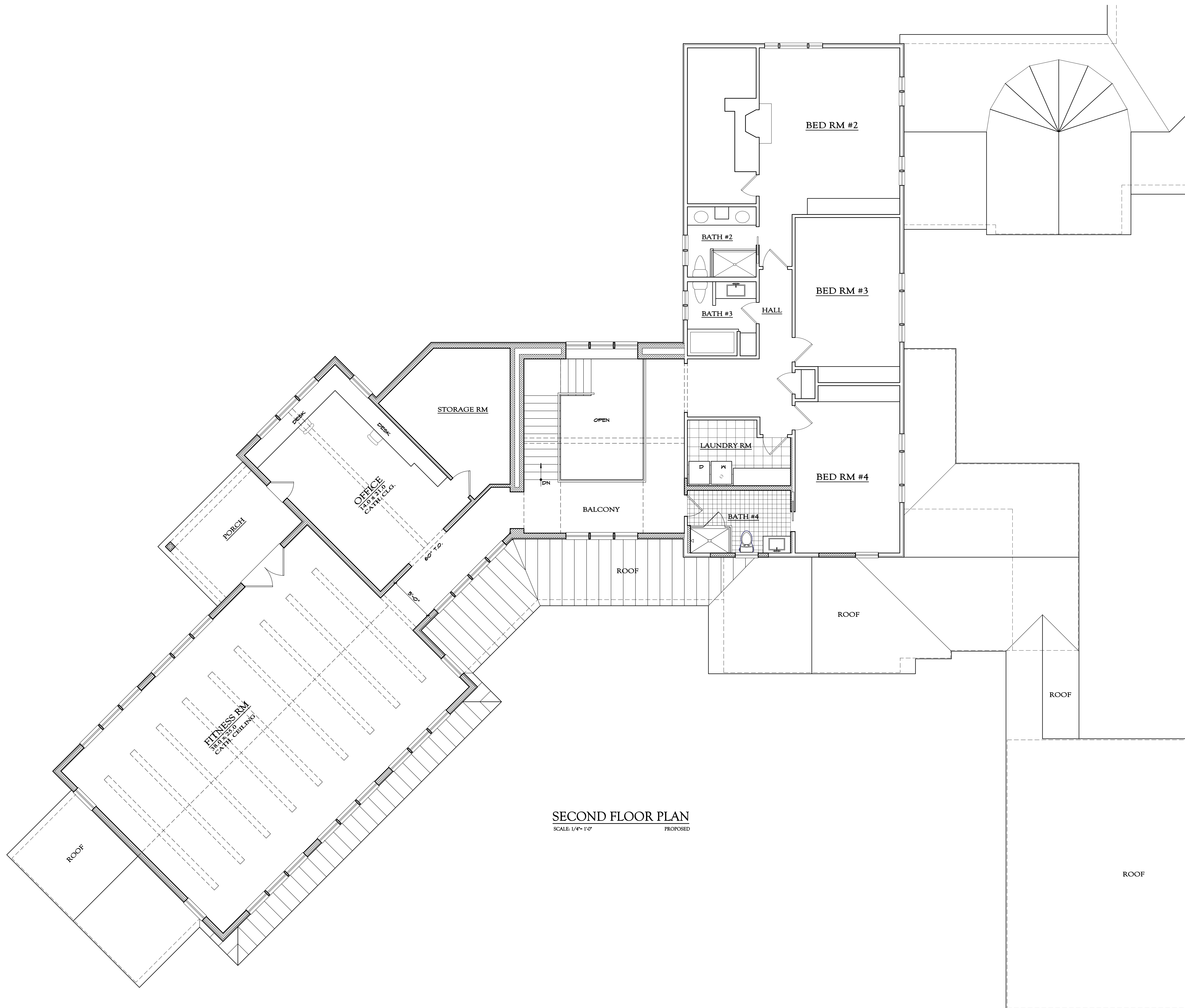
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DATE: 1/31/22
REVISIONS:

DWG No.
A07
FLOOR PLAN
Rosenthal / 220079



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" PROPOSED

GENERAL NOTES

- SEE PLANS PREPARED BY DESIGNER FOR KITCHEN CABINET, PLUMBING FIXTURES AND APPLIANCE LAYOUT. G.C. SHALL PROVIDE CABINET SOFFIT AS REQUIRED.
- SEE WINDOW AND DOOR SCHEDULE FOR TYPES.
- PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF (REVIEW WITH ARCHITECT).
- PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
- FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
- INSULATE ALL INTERIOR WALLS THROUGHOUT AS WELL AS ENTIRE FLOOR UNDER SECOND FLOOR ROOMS W/ "ROXUL" FOR SOUND DEADENING.
- PROVIDE 1/2" GYPSUM BOARD THROUGHOUT WALLS AND CEILING UNLESS OTHERWISE NOTED.
- FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE STRIP OAK AND MATCH EXISTING.
- STAIR SHALL BE SOLID WOOD CONSTRUCTION WITH OAK TREADS AND POPLAR RISERS. STAIR RAILING STYLE SHALL BE SELECTED BY OWNER. G.C. SHALL SUBMIT SAMPLES FOR OWNER'S APPROVAL.
- TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
- INTERIOR DOORS SHALL MATCH EXISTING.
- OWNER SHALL SELECT ALL CABINETRY.
- OWNER SHALL SELECT DOOR HARDWARE.
- PRIME AND PAINT DRYWALL (3 COATS, 1 PRIME & FINISH) STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER'S FOR REVIEW AND APPROVAL.

HVAC

- CONTRACTOR SHALL REVIEW HEATING AND AIR CONDITIONING REQUIREMENTS WITH OWNER. SUBMIT PROPOSED SYSTEM WITH SPECIFICATIONS FOR OWNER'S REVIEW AND APPROVAL.
- GARAGE SHALL BE HEATED ON A SEPARATE SYSTEM.
- HVAC CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL S CALCULATIONS.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE DETAILED DUCT PLAN IF REQUESTED BY LOCAL OFFICAL.

STAIR & RAILING

SHALL COMPLY WITH SECTION R311 OF THE 2020 RCNYS

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36" (SECTION R311.7.8)		
GUARDRAIL HEIGHT	42" (SECTION R312.1)		

LEGEND

- EXISTING WALL (VERIFY IN FIELD)
- NEW WOOD STUD WALL 2 x @ 16" O.C.
- POURED CONCRETE WALL
- CMU WALL (CEMENT GROUT SOLID)
- STONE VENEER
- BRICK VENEER
- DOOR SIZE (NOTED IN INCHES)
- WINDOW TYPE *
- EGRESS WINDOW *
- HEADER SIZE *
- LINTEL SIZE *
- COPPER SILL PAN
- NUMBER OF STUDS (MULL OR JACK)
- FROST FREE HOSE BIB
- EXHAUST FAN (50 CFM. MIN.) VENT TO EXTERIOR W/ METAL DUCT
- HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE

* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

DO NOT SCALE PRINTS

Armonk, NY

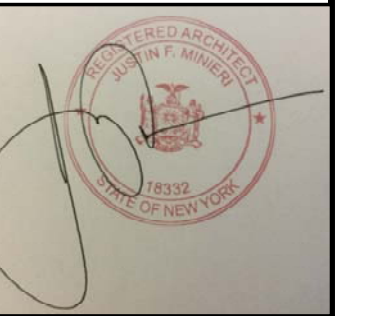
Proposed Addition & Alteration to

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JUSTIN F. MINIERI, AIA
NCARB MEMBER

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DATE: 1/31/22
REVISIONS:



DWG No. **A08**

FLOOR PLAN

Rosenthal / 220079



FRONT ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



FRONT ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

FRONT ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED

Proposed Addition & Alteration to

JUSTIN F. MINIERI, AIA
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DOCUMENT PREPARED BY JUSTIN F. MINIERI, AIA
ARCHITECTURE INC. 10 CREEMER ROAD
ARMONK, NY 10504

Rosenthal Residence
10 Creemer Road

Armonk, NY

DATE: 1/31/22
REVISIONS:



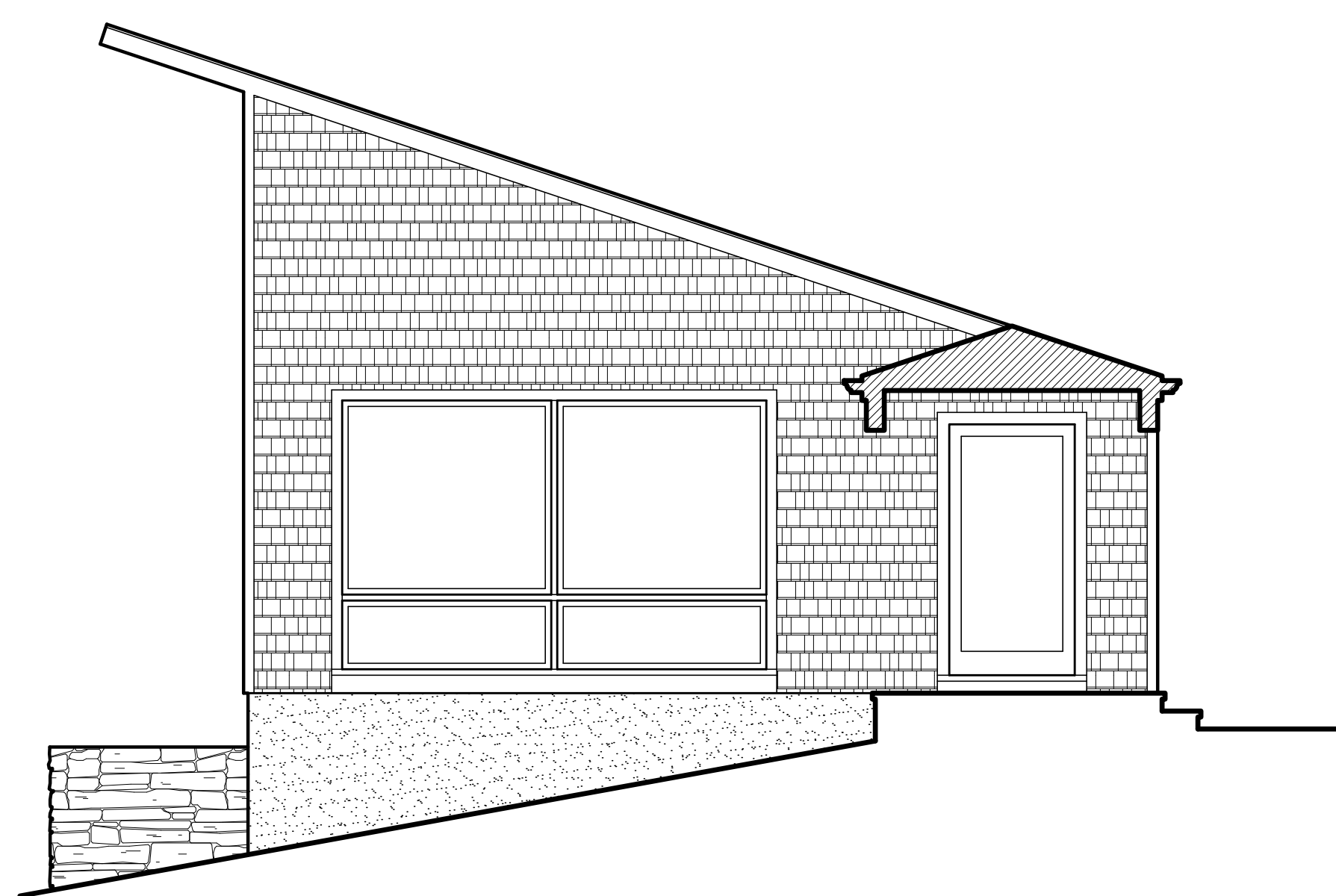
DWG No.
A13
ELEVATION
Rosenthal / 220079



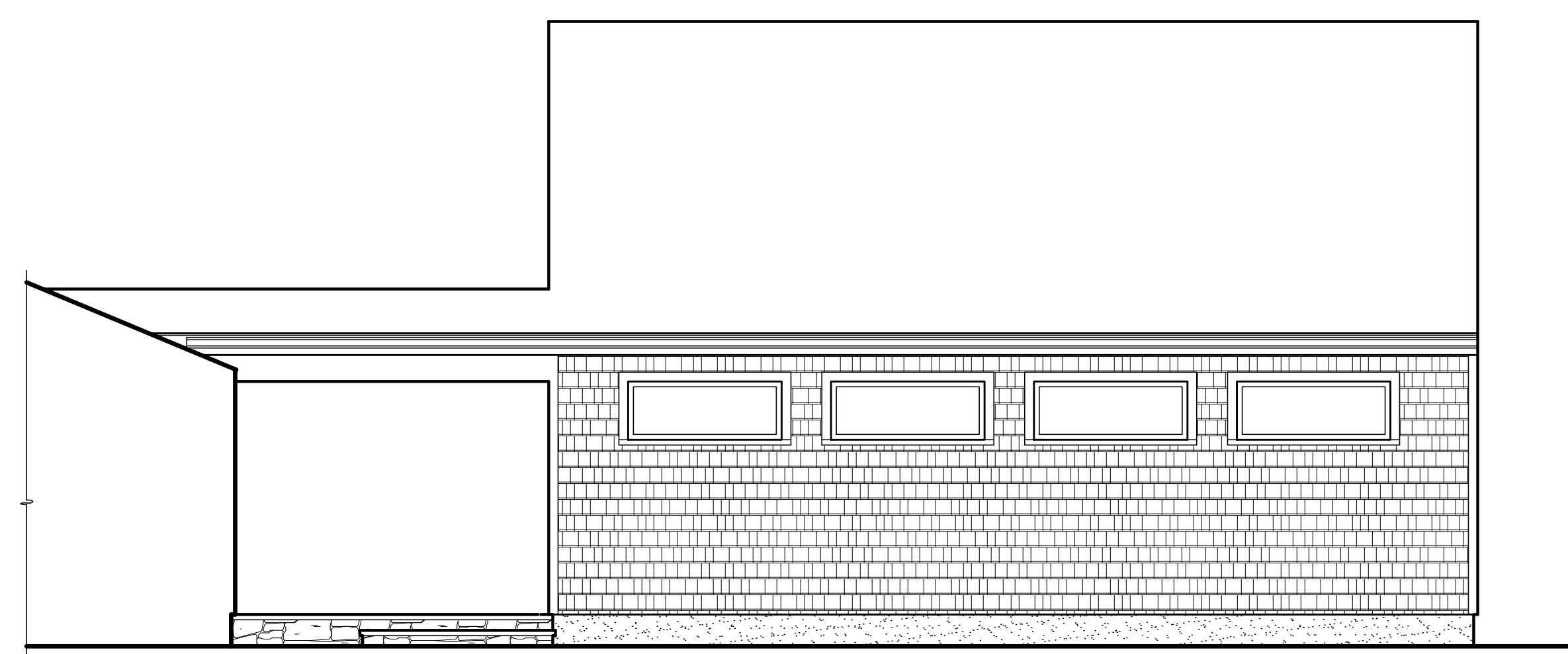
RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



RIGHTSIDE ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED



REAR ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED



LEFTSIDE ELEVATION - SPA SHED
SCALE: 1/4" = 1'-0" PROPOSED

GENERAL NOTES

1. PROVIDE "GRACE ICE & WATER SHIELD" SELF-ADHERED ROOFING UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOF. STANDARD "ICE-SHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ALL EXTERIOR TRIM SHALL BE "AZEK".
4. ROOFING SHALL BE ASPHALT SHINGLES.
5. GUTTERS & LEADERS SHALL BE BAKED ENAMEL ALUMINUM. GUTTER SHALL BE 6" K STYLE.
6. FLASHING SHALL BE 16 OZ. COPPER.
7. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL, AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
8. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
9. RIDGE VENTS SHALL BE SHINGLEVENT BY AIRVENT, INC. OR EQUAL.
10. PROVIDE "AIR & VAPOR BARRIER" WRAP BY "GRACE" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL.
11. EXTERIOR WALL SHEATHING SHALL BE WRAPPED WITH "HYDROGAP" HOUSEWRAP BY BENJAMIN OBDYKE. ALL SEAMS SHALL BE TAPPED AS PER MANUFACTURER'S SPECIFICATIONS.
12. SIDING SHALL BE HARDIE SHINGLE.
13. PROVIDE 5/4 COMPOSITE KICK BOARD AT EACH DOORSILL.
14. PROVIDE COPPER DRIP EDGE FLASHING AT ALL FRIEZES, COLUMN CAPS, AND WINDOW & DOOR HEAD TRIM.
15. PROVIDE "AZEK" J-BLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC. AS PER DETAIL.
16. REFER TO SPECIFICATIONS FOR PAINTING AND STAINING SCHEDULE. SUBMIT SAMPLES AS REQUESTED, FOR REVIEW AND APPROVAL.

**THERMAL ENVELOPE
2020 RCNYS**

LOCATION	TYPE	R-VALUE
ROOF	SPRAY FOAM (C)	R-49
CEILING	N/A	N/A
FLOOR (1)	SPRAY FOAM (C)	R-30 / R-49
FLOOR (2)	SPRAY FOAM (C)	R-21
WALLS (3)	SPRAY FOAM (C)	R-21
WALLS (4)	SPRAY FOAM (C)	R-21

(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
(3) EXTERIOR WALL (4) BASEMENT WALL PERIMETER
(O) OPEN CELL (C) CLOSED CELL

REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

BUILDING COMPONENT	NAME	TYPE	COLOR
ROOFING	GAF	ASPHALT	MATCH EXISTING
ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE-SHINGLE	MATCH EXISTING
TRIM	AZEK	FLAT STOCK & MOULDING PROFILES	WHITE
WINDOWS	ANDERSEN	CLAD	WHITE
ENTRY DOORS	CUSTOM	MAHOGANY	DARK MAHOGANY
GARAGE DOORS	CUSTOM	COMPOSITE	WHITE
MASONRY VENEER	STONE	CONNECTICUT	MATCH EXISTING

Proposed Addition & Alteration to

Rosenthal Residence
10 Creemer Road

Armonk, NY

JUSTIN F. MINIERI, AIA
NCARB MEMBER

P.O. BOX 1439 - NEW ROCHELLE, NY 10802
914-576-1081 TEL 914-555-5238 FAX
ARCHITECTURAL CONSULTANTS & ENGINEERS AND ENVIRONMENTAL DESIGNERS
ARCHITECTURE, INTERIOR DESIGN, ENVIRONMENTAL DESIGN, ENGINEERING, PLANNING, AND CONSTRUCTION SERVICES

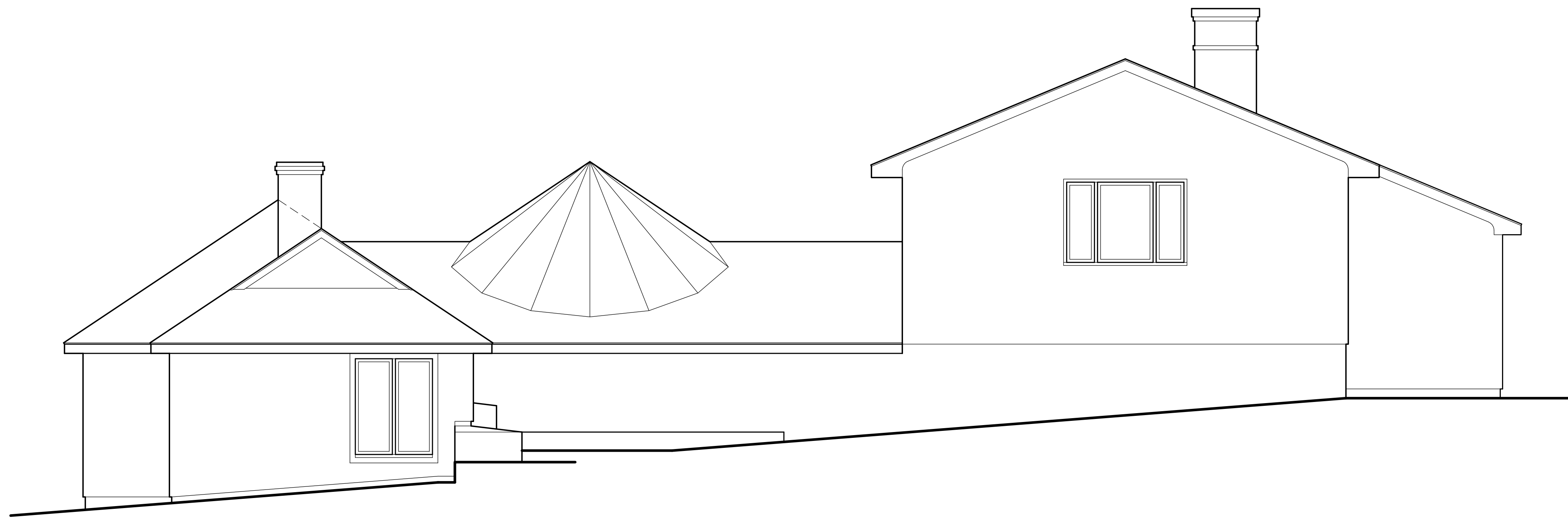
DATE: 1/31/22
REVISIONS:



DWG No. **A14**
ELEVATION

DO NOT SCALE PRINTS

Rosenthal / 220079



REAR ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



REAR ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

Proposed Addition & Alteration to

Rosenthal Residence
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Armonk, NY

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DATE: 1/31/22

REVISIONS:

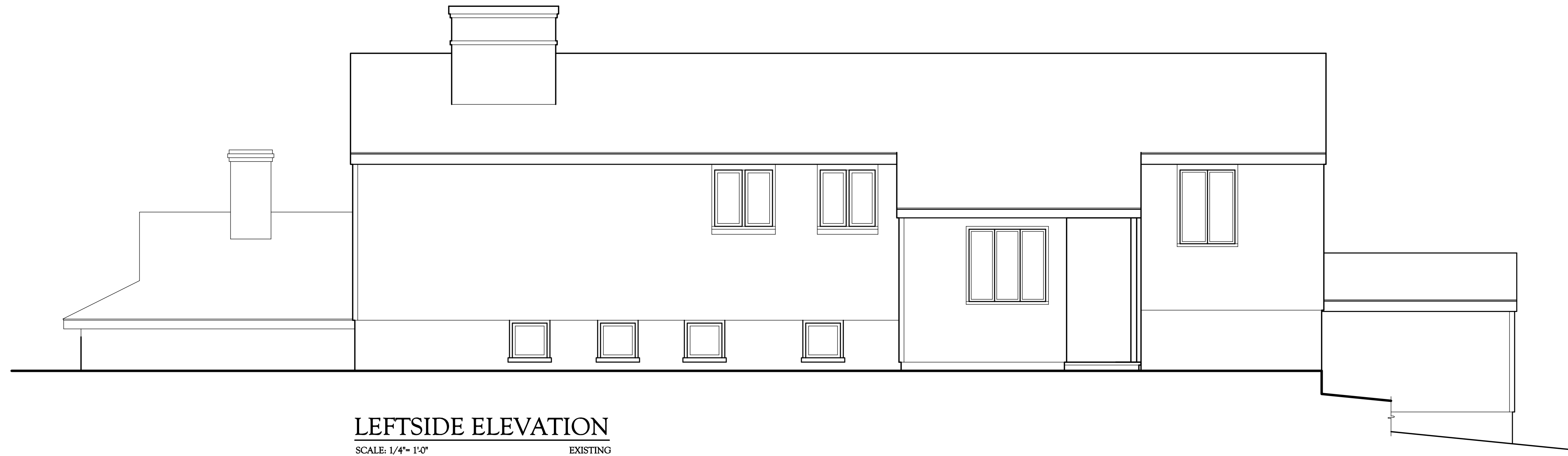


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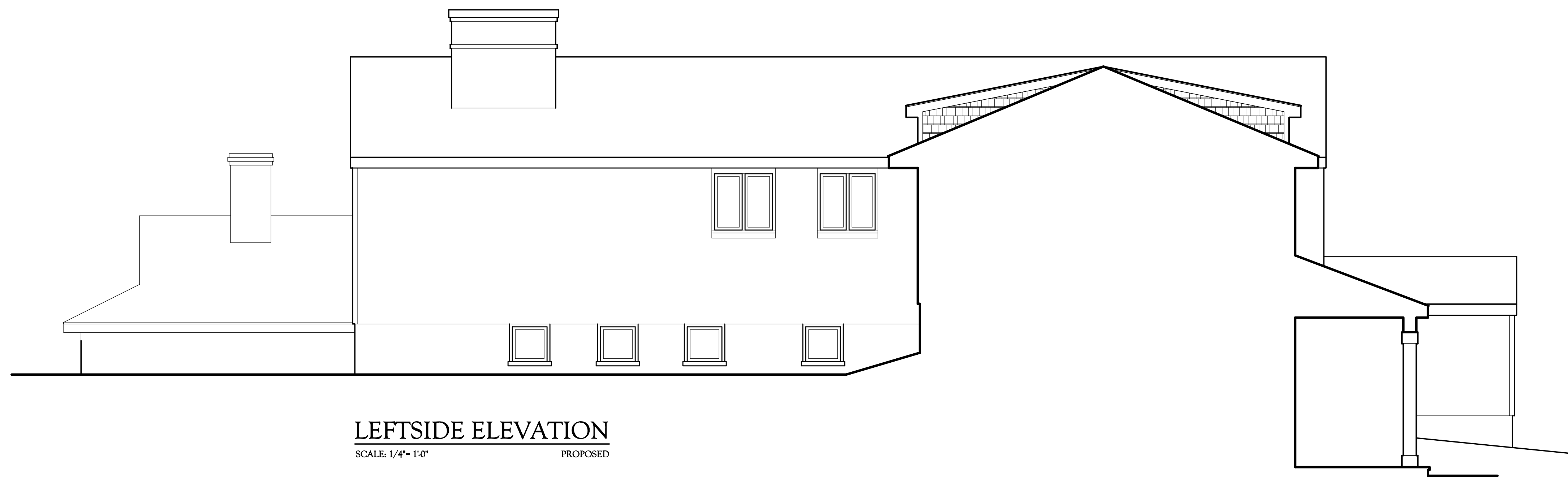
A15

ELEVATION

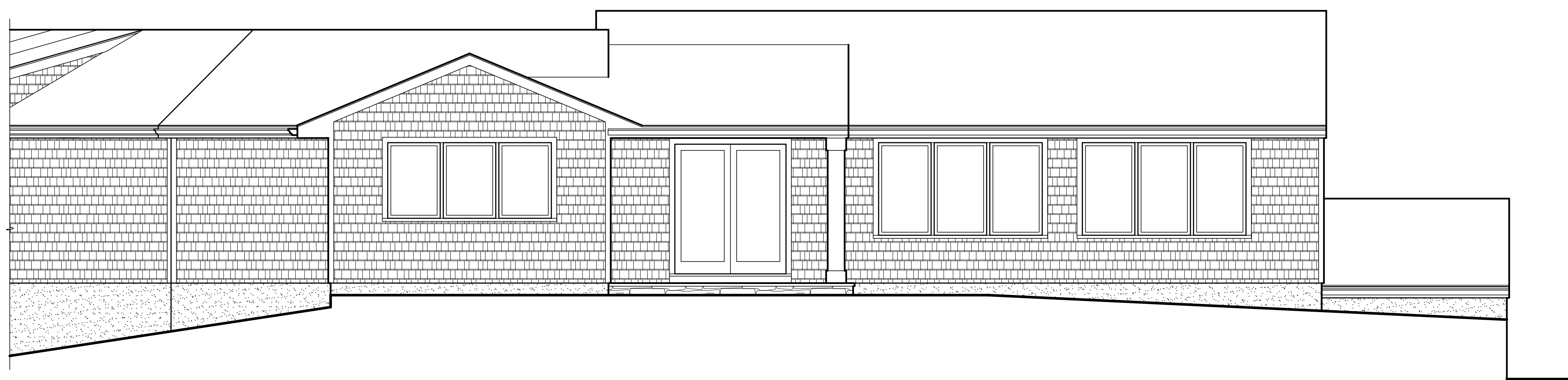
Rosenthal / 220079



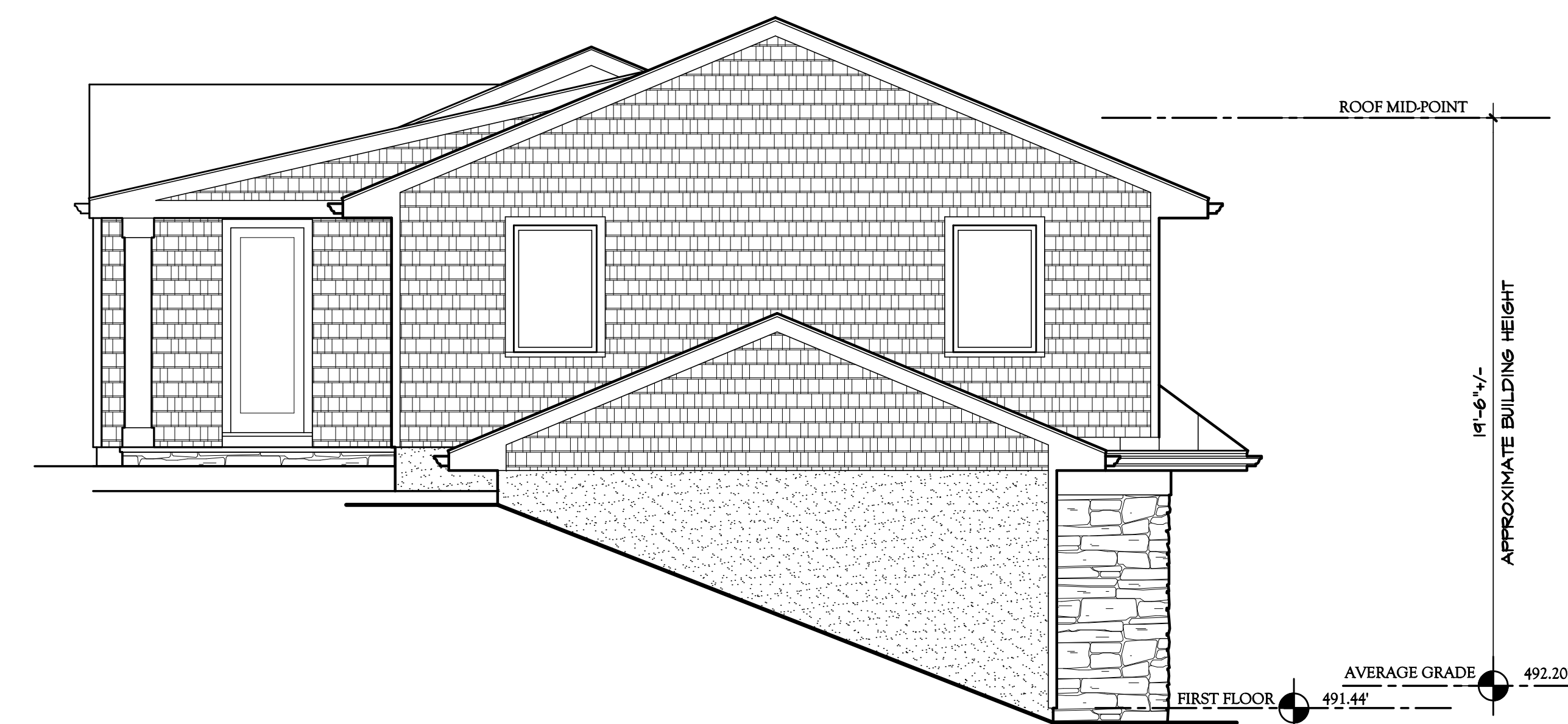
LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



REAR ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

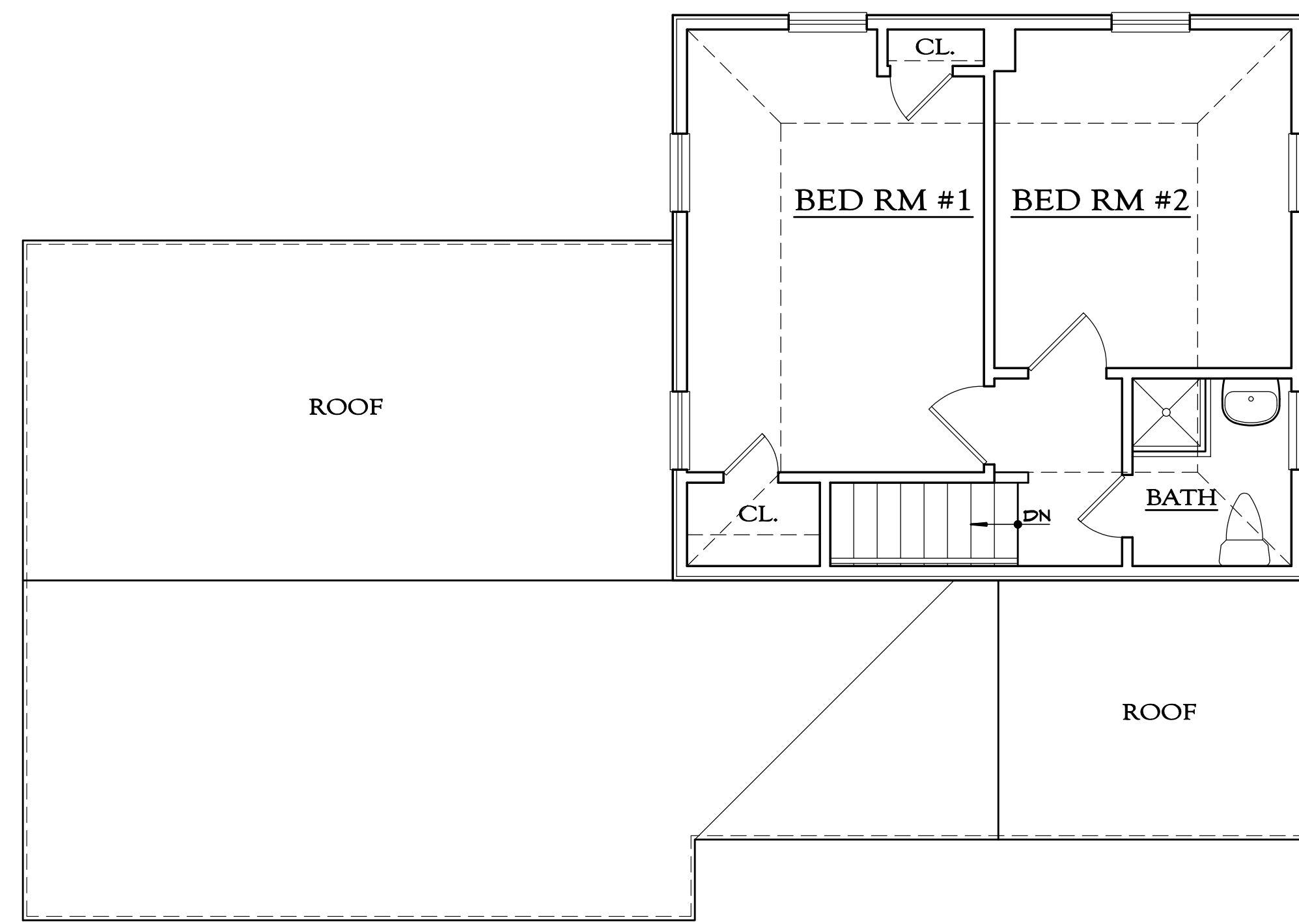


RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

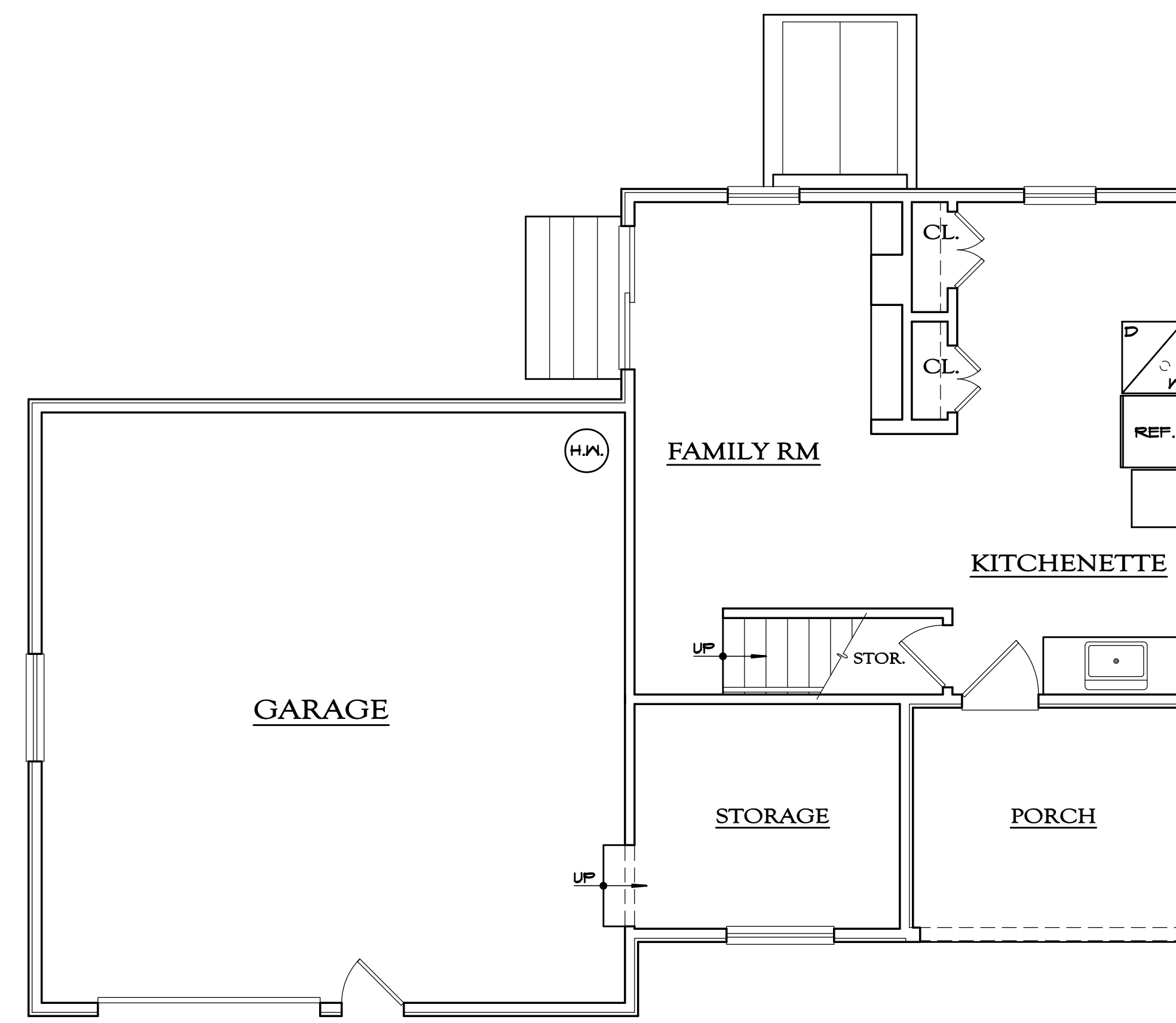


GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE REUSED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTEN LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" EXISTING



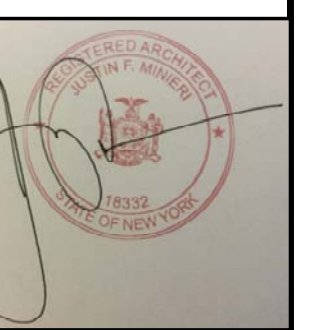
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" EXISTING

LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- WINDOW OR DOOR TO REMAIN
- WINDOW OR DOOR TO BE REMOVED
- WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR REUSE)

DATE: 1/31/22

REVISIONS:



DWG No.
B01
EXISTING

DO NOT SCALE PRINTS

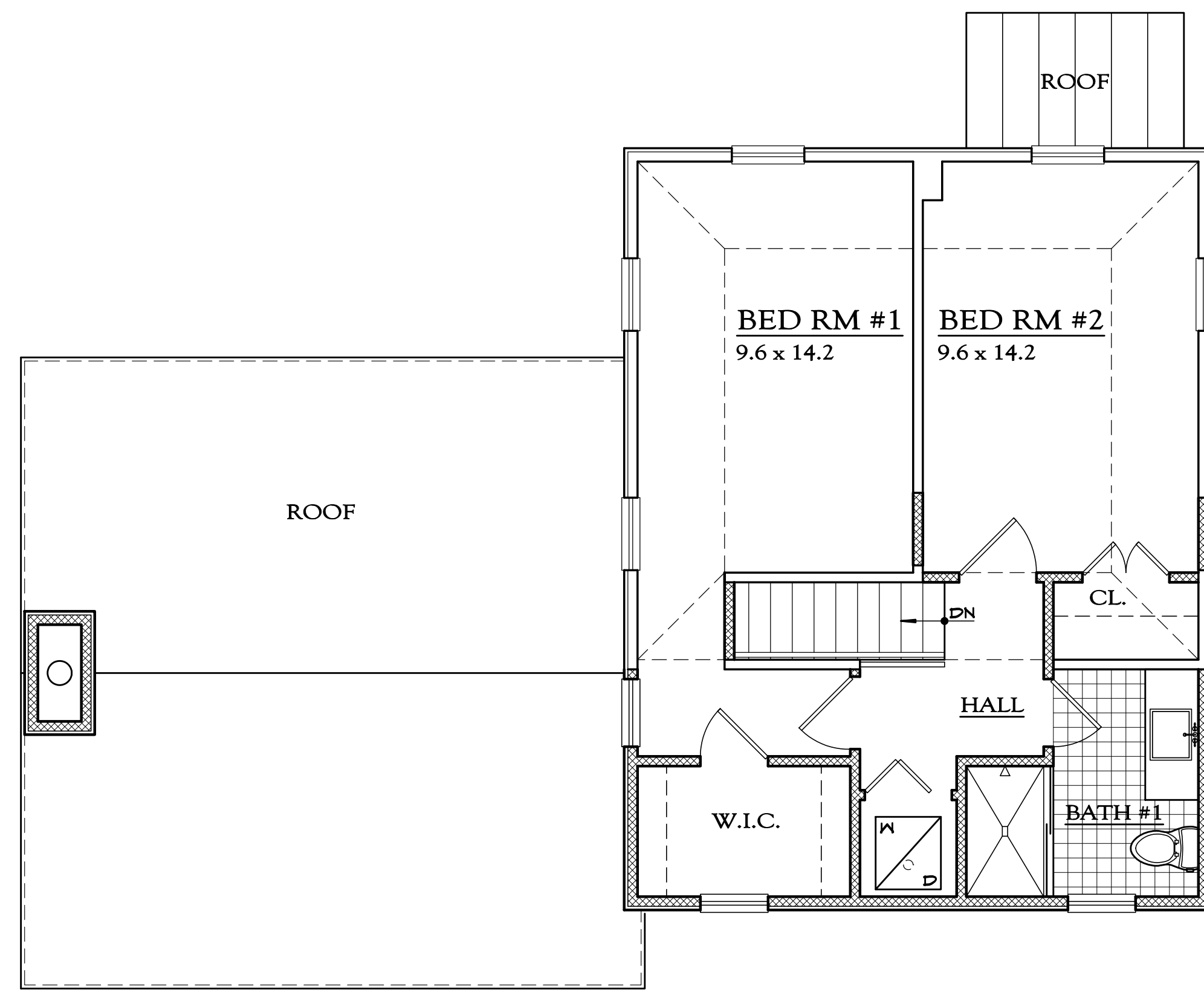
Rosenthal / 220079

Proposed Addition & Alteration to

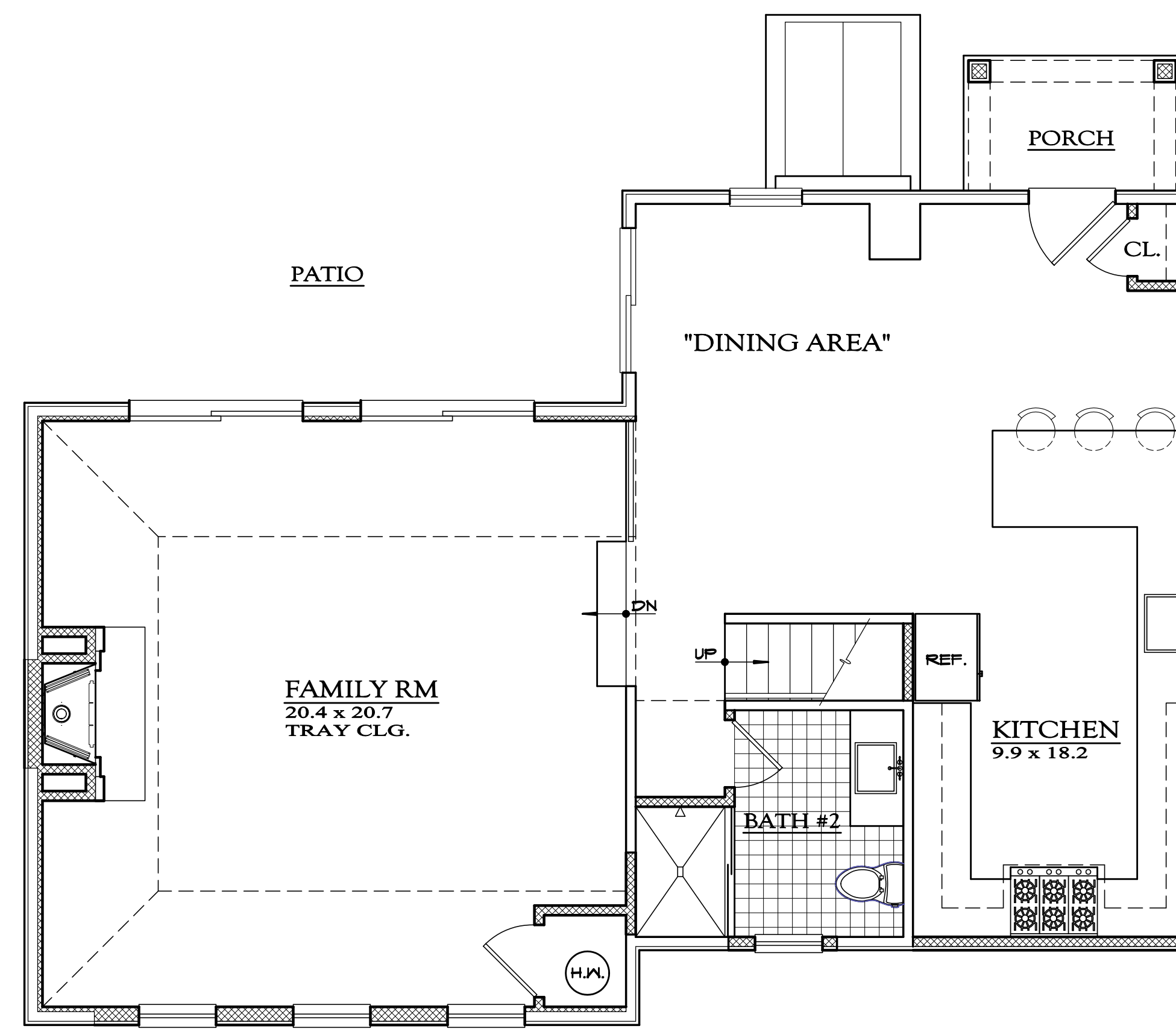
Rosenthal Residence
10 Cremer Road

JUSTIN F. MINIERI, AIA
NCARB MEMBER
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914.576.7087 TEL 914.555.5238 FAX
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Armonk, NY



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" PROPOSED



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" PROPOSED

GENERAL NOTES

- SEE PLANS PREPARED BY DESIGNER FOR KITCHEN CABINET, PLUMBING FIXTURES AND APPLIANCE LAYOUT. G.C. SHALL PROVIDE CABINET SOFFIT AS REQUIRED.
- SEE WINDOW AND DOOR SCHEDULE FOR TYPES.
- PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF (REVIEW WITH ARCHITECT).
- PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
- FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
- INSULATE ALL INTERIOR WALLS THROUGHOUT AS WELL AS ENTIRE FLOOR UNDER SECOND FLOOR ROOMS W/ "ROXUL" FOR SOUND DEADENING.
- PROVIDE 1/2" GYPSUM BOARD THROUGHOUT WALLS AND CEILING UNLESS OTHERWISE NOTED.
- FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE STRIP OAK AND MATCH EXISTING.
- STAIR SHALL BE SOLID WOOD CONSTRUCTION WITH OAK TREADS AND POPLAR RISERS. STAIR RAILING STYLE SHALL BE SELECTED BY OWNER. G.C. SHALL SUBMIT SAMPLES FOR OWNER'S APPROVAL.
- TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
- INTERIOR DOORS SHALL MATCH EXISTING.
- OWNER SHALL SELECT ALL CABINETRY.
- OWNER SHALL SELECT DOOR HARDWARE.
- PRIME AND PAINT DRYWALL (3 COATS, 1 PRIME & FINISH) STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER'S FOR REVIEW AND APPROVAL.

HVAC

- CONTRACTOR SHALL REVIEW HEATING AND AIR CONDITIONING REQUIREMENTS WITH OWNER. SUBMIT PROPOSED SYSTEM WITH SPECIFICATIONS FOR OWNER'S REVIEW AND APPROVAL.
- GARAGE SHALL BE HEATED ON A SEPARATE SYSTEM.
- HVAC CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL S CALCULATIONS.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE DETAILED DUCT PLAN IF REQUESTED BY LOCAL OFFICAL.

STAIR & RAILING

SHALL COMPLY WITH SECTION R311 OF THE 2020 RCNYS

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36" (SECTION R311.7.8)		
GUARDRAIL HEIGHT	42" (SECTION R312.1)		

LEGEND

- EXISTING WALL (VERIFY IN FIELD)
- NEW WOOD STUD WALL 2 x @ 16" O.C.
- POURED CONCRETE WALL
- CMU WALL (CEMENT GROUT SOLID)
- STONE VENEER
- BRICK VENEER
- DOOR SIZE (NOTED IN INCHES)
- WINDOW TYPE *
- EGRESS WINDOW *
- HEADER SIZE *
- LINTEL SIZE *
- COPPER SILL PAN
- NUMBER OF STUDS (MULL OR JACK)
- FROST FREE HOSE BIB
- EXHAUST FAN (50 CFM. MIN.) VENT TO EXTERIOR W/ METAL DUCT
- HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE

* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

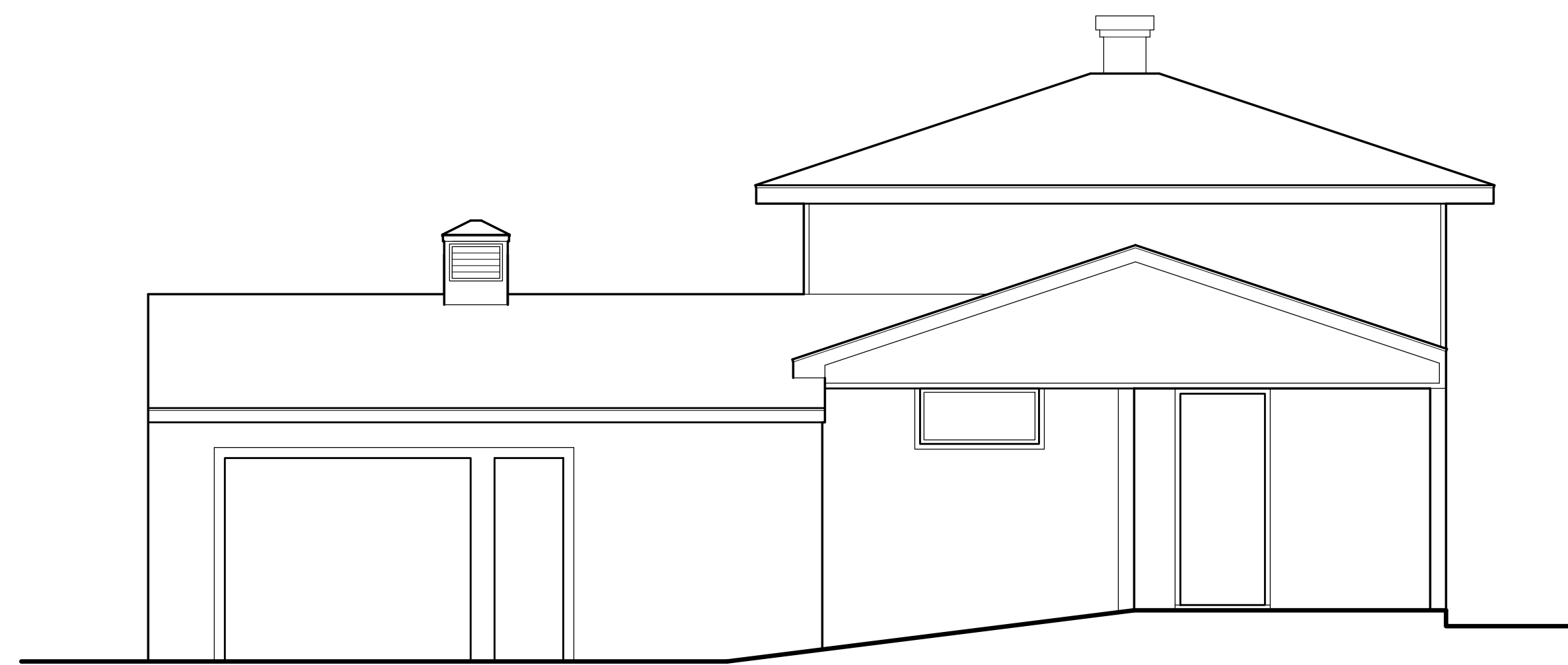
DO NOT SCALE PRINTS

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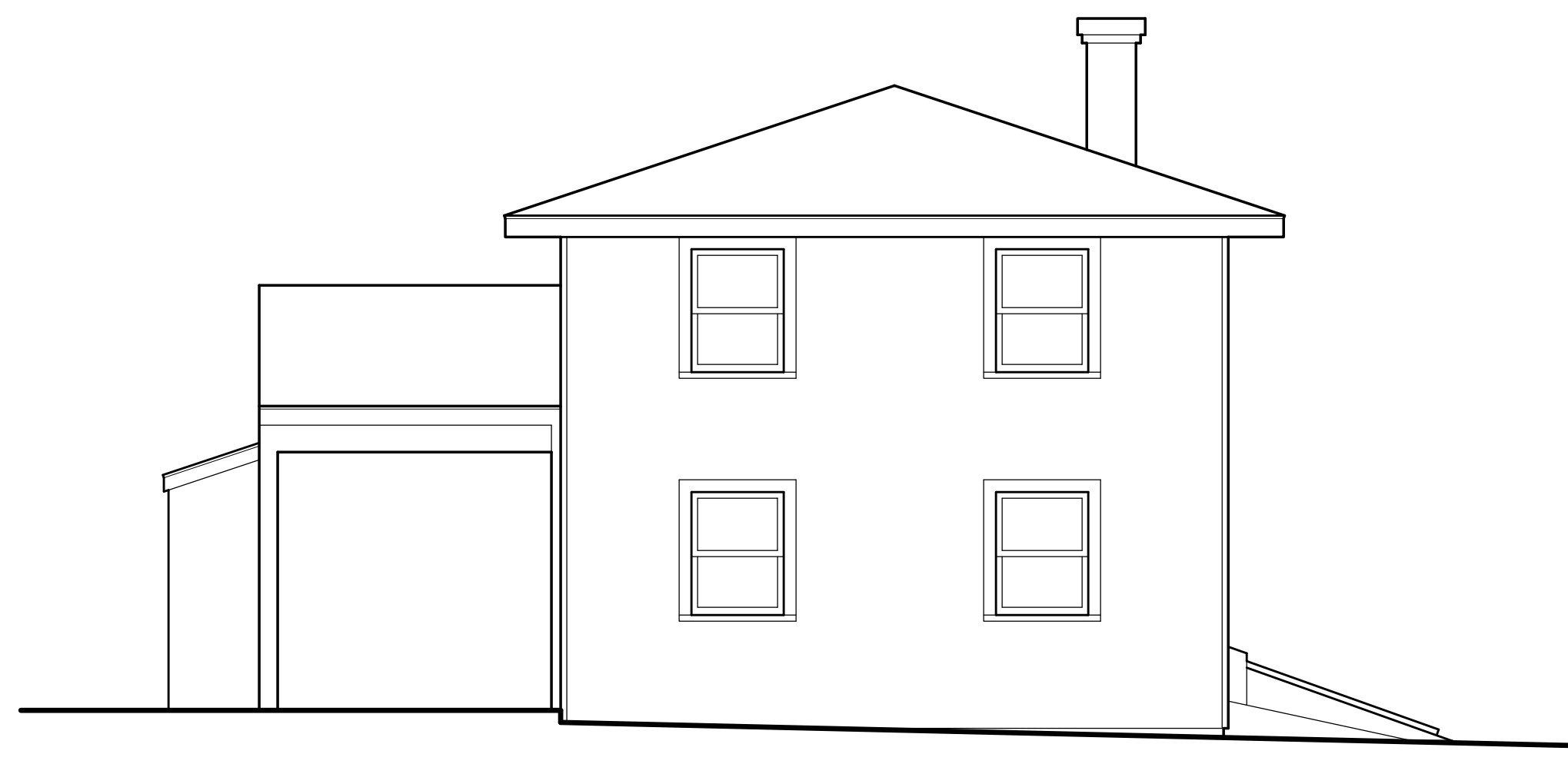
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REVISIONS:



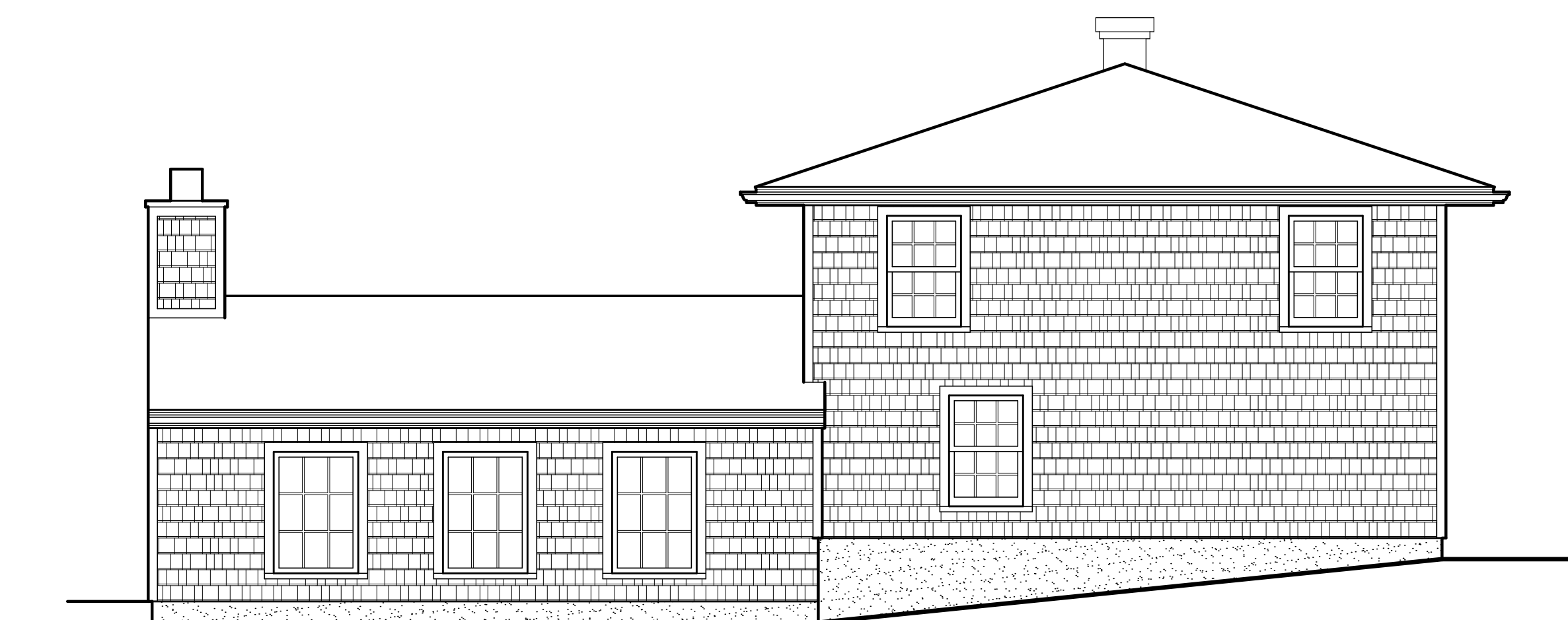
DWG No.
B04
FLOOR PLAN



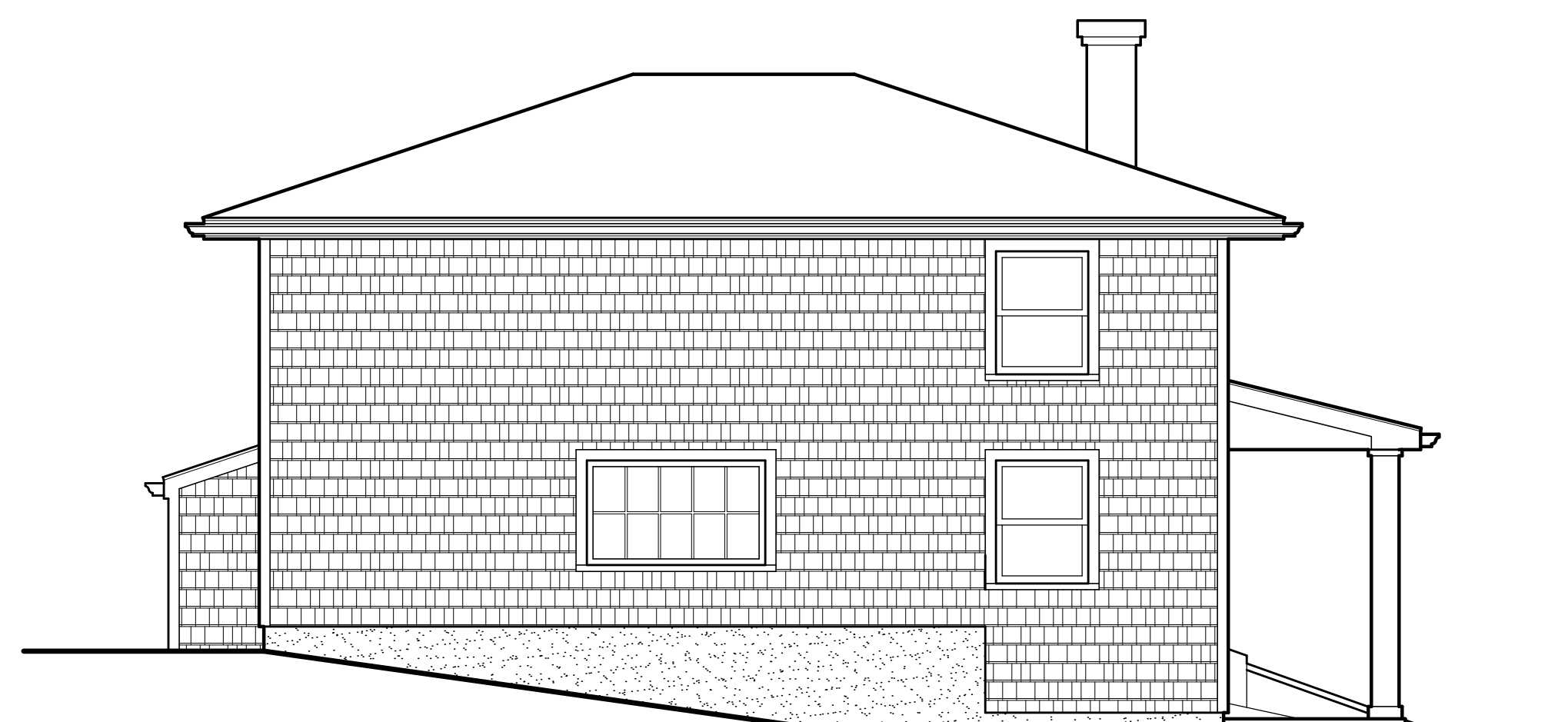
FRONT ELEVATION
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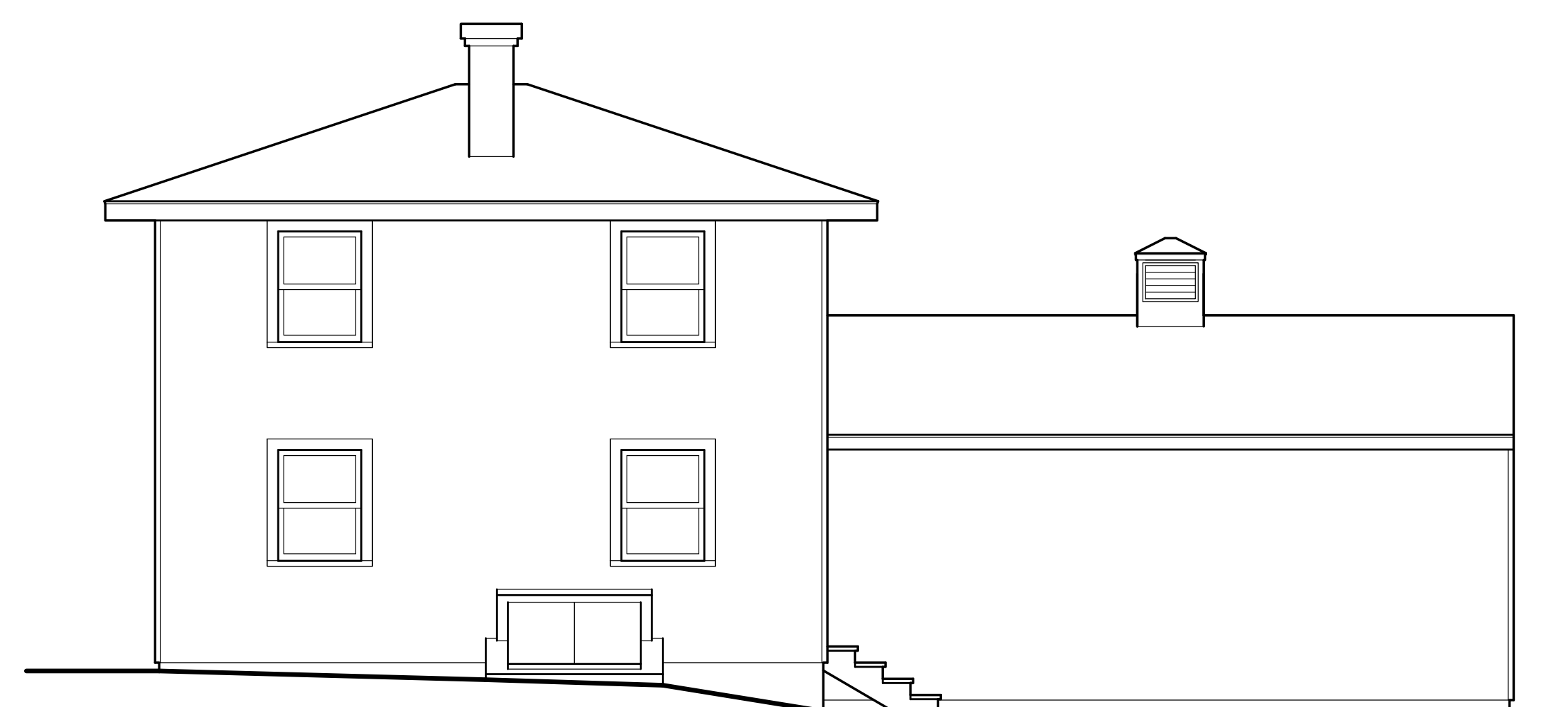
RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



REAR ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



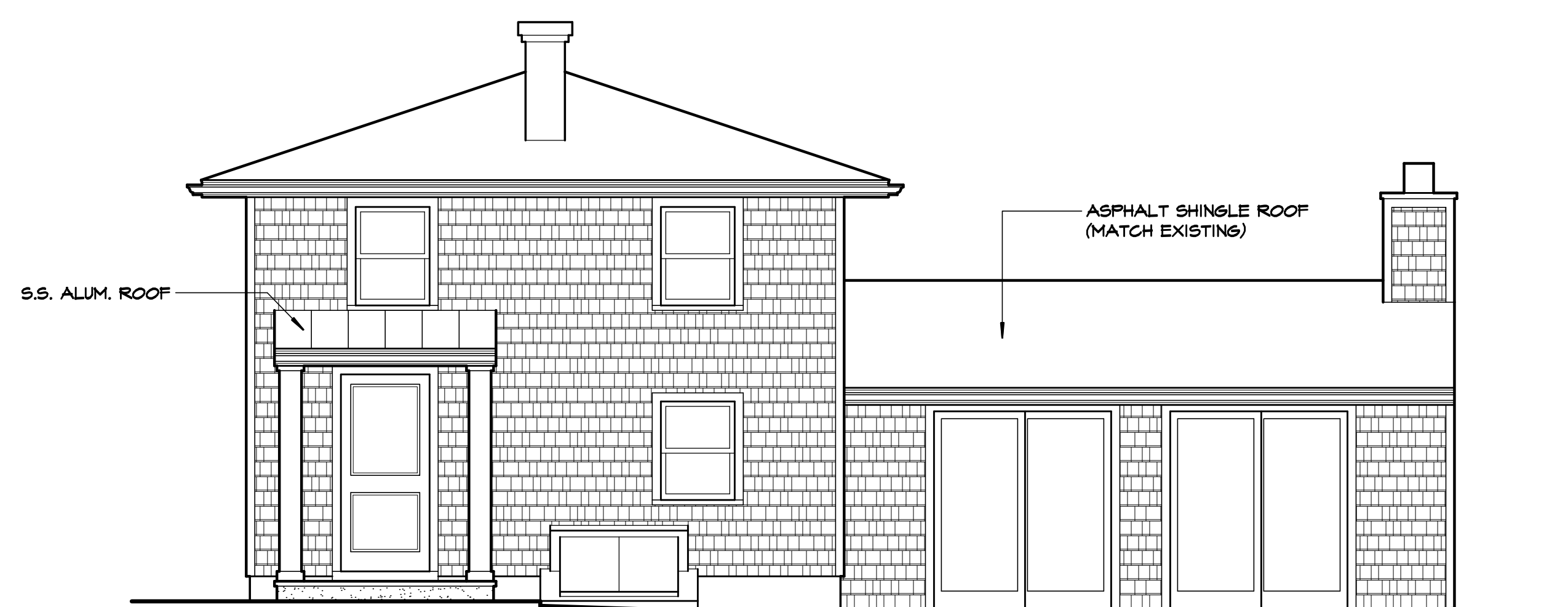
LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



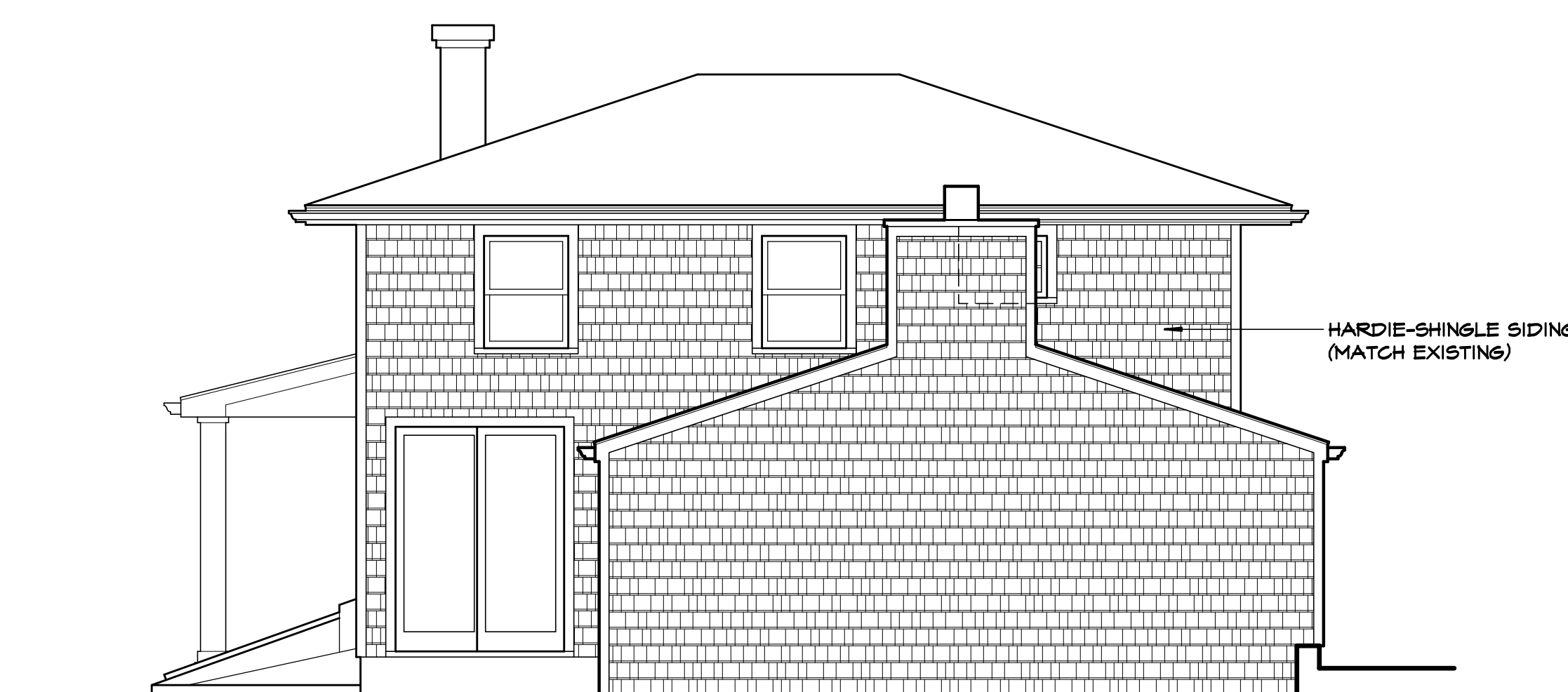
REAR ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0" EXISTING



FRONT ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED



RIGHTSIDE ELEVATION
SCALE: 1/4" = 1'-0" PROPOSED

GENERAL NOTES

1. PROVIDE "GRACE ICE & WATER SHIELD" SELF-ADHERED ROOFING UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOF. STANDARD "ICE-SHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ALL EXTERIOR TRIM SHALL BE "AZEK".
4. ROOFING SHALL BE ASPHALT SHINGLES.
5. GUTTERS & LEADERS SHALL BE BAKED ENAMEL ALUMINUM. CUTTER SHALL BE 6" x KSTYLE.
6. FLASHING SHALL BE 16 OZ. COPPER.
7. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL, AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
8. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
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THERMAL ENVELOPE 2020 RCNYS

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(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
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(C) OPEN CELL (C) CLOSED CELL

REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

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ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE-SHINGLE	MATCH EXISTING
TRIM	AZEK	FLAT STOCK & MOULDING PROFILES	WHITE
WINDOWS	ANDERSEN	CLAD	WHITE
ENTRY DOORS	CUSTOM	MAHOGANY	DARK MAHOGANY
GARAGE DOORS	CUSTOM	COMPOSITE	WHITE
MASONRY VENEER	STONE	CONNECTICUT	MATCH EXISTING

Proposed Addition & Alteration to

Rosenthal Residence
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ARCHITECTURAL CONSULTANTS & ENGINEERS AND INTERIORS DESIGNERS
ARCHITECTURE, INTERIORS, ENGINEERING, ENVIRONMENTAL SCIENCE

DATE: 1/31/22
REVISIONS:

DWG No. **B06**
ELEVATION

DO NOT SCALE PRINTS

Rosenthal / 220079

Armonk, NY

FEE: \$2.00 (paid)

Nº 5625

Certificate of Occupancy

DEPARTMENT OF ZONING AND BUILDING
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

Issued October 5, 1988

TO: Pamela L Healey
ADDRESS 10 Creemer Road
Armonk, N.Y. 10504

Premises located at: Above address

In zone area: R2A Type or Use Renovation

Tax map designation: Section 1 Block 9 Lot 17-8

This certifies that the aforementioned structure and/or premise conforms with the application, use and plans on file in the building department office of the Town of North Castle;

that said structure or use is in conformity with the Zoning Ordinance, Building Code and other applicable requirements of the Town of North Castle;

that permission is hereby granted for the use and/or occupancy as set forth herein;

that this Certificate of Occupancy is subject to revocation for non-compliance of any of the laws or ordinances applicable thereto;

that this certificate is further subject to compliance to any other governmental agencies having jurisdiction thereof;

that this certificate is issued subject to the following conditions:

Building Permit Number 6695 and date issued November 24, 1986

Approved by: Anthony Palamerczuk
Building Inspector

Keith Rosenthal
10 Creemer Road
North Castle, NY

Project Description:

The subject property located at 10 Creemer Road in the Town of North Castle, Westchester County, New York. The tax parcel is identified as tax lot 108.02-2-60 and has a total site area is 5.66 acres. The site is within the R-2A Single Family Residential zoning ordinance, which requires a minimum lot size of 2 acres. Uses adjoining the parcel consist of other one family residences. Current coverage of the site consists of a two-story one-family residence, an accessory apartment, forested area, grassed areas, a local pond located at the northeast section of the parcel, and an intermittent drainage channel runs through the south-east section of the parcel. An existing driveway to the south of the site provides access to the existing residence. The parcel is located within the ZONE X of FEMA digital flood maps. This designation includes 0.2% annual chance flood hazard, areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile.

The current property owner desires to improve the existing residence by adding livable space to the existing house and accessory apartment. The improvements in the main house include a three-car garage, a spa, storage rooms, office space, porches, a fitness room plus a few other rooms. For the accessory apartment, a garage will be added (currently family room), and the existing kitchen and bathroom will be expanded. Since additional stories are not proposed, the existing buildings will conserve their existing height. A new septic system will service the main house and the existing septic system for the accessory apartment will continue servicing the apartment. As necessary, drainage improvements will be made providing stormwater management as required. The limit of disturbance for this project will be of approximately 0.72 acre.

National Flood Hazard Layer FIRMMette



73°41'15"W 41°7'50"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/24/2022 at 2:16 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

73°40'38"W 41°7'23"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Short Environmental Assessment Form

Part 1 - Project Information

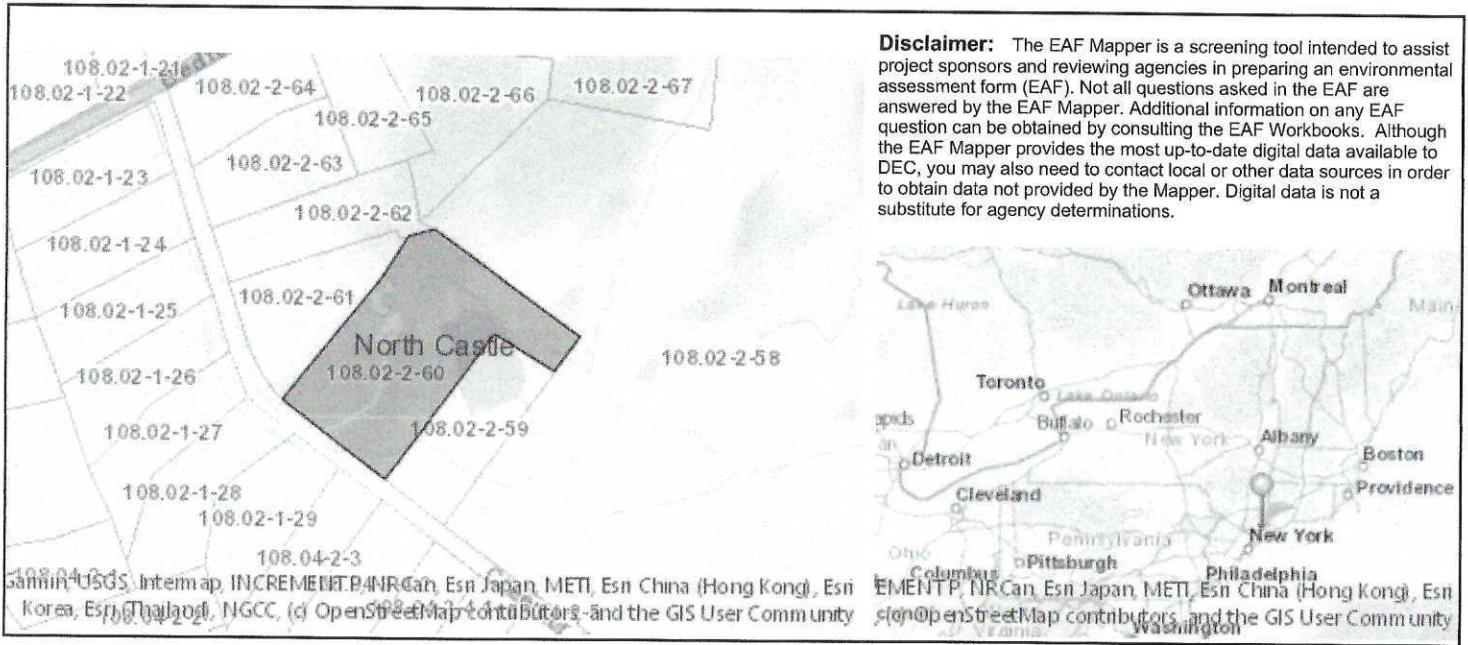
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Keith Rosenthal			
Project Location (describe, and attach a location map): 10 Creemer Road, North Castle, Westchester County, New York 10504			
Brief Description of Proposed Action: The Proposed Project consists of site plan approval and special use permit approval for a house addition and an addition to an existing accessory building. This project is located within the R-2A (single family residential) zoning district within the Town of North Castle.			
Name of Applicant or Sponsor: Keith Rosenthal		Telephone: (914) 643 - 0321	
Address: 10 Creemer Road		E-Mail: krosenthal@phoenixrg.com	
City/PO: Town of North Castle		State: NY	Zip Code: 10504
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Department of Health			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 5.66 acres			
b. Total acreage to be physically disturbed? _____ 1.0 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 5.66 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Existing private well _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Proposed on-site septic system _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Wetland buffer disturbed by 11,347 S.F. _____ _____			



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

**Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com**

Application for Special Use Permit Approval

Application Name

Keith Rosenthal



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Important General Information

- Prior to submitting an application, the "Notice to Applicants" should be reviewed.
- To appear before the Planning Board, all required application materials shall be submitted not later than **12:00 P.M., Monday, fourteen (14) days** prior to the date of the Planning Board meeting at which the application is scheduled to be heard or as otherwise noted by the Planning Board Secretary. Continuing Business can be submitted 12 days prior to the Next Planning Board meeting by the close of business. Except where noted.

If all required application materials, including the pertinent application fee and escrow monies are not submitted by that deadline, the application shall be automatically removed from the agenda.

At the discretion of the Planning Board Chairman, the application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Without prior authorization from the Planning Board, application submissions shall not be accepted at Planning Board meetings.

- At the time of submission, all required application materials shall be submitted. **Piecemeal** submissions **shall not** be accepted. Substitution of previously submitted materials shall not be permitted.
- All submissions shall be dated, with revision dates identified on new submissions.
- All submissions shall be accompanied by a cover letter describing the project and/or any changes as compared to previous submissions.
- For distribution purposes and mailing to the Planning Board Members and others (as required), multiple copies of application materials shall be collated into separate sets, each containing one copy of every submitted document. All application materials shall be submitted in a form that fits into a **12" x 17" envelope**. Plans shall be **folded** and **rubber banded** as necessary.
- To be considered complete for Planning Board hearing purposes, an application package shall contain the information identified in Parts IV and V of this application form.
- For purposes of completing this application form, all responses provided shall be printed, except as otherwise specified.



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**AT THE TIME OF SUBMISSION TO THE PLANNING DEPARTMENT
PLEASE MAKE SURE THE FOLLOWING IS PROVIDED**

- ✓ SUBMISSION OF A SINGLE PDF FILE (PLANS, APPLICATION FORM, OTHER PAPERWORK) ON A DISK, THUMBDRIVE OR EMAIL

- ✓ COVER LETTER DESCRIBING THE PROJECT OR CHANGES TO THE PROJECT

- ✓ ALL PLANS ARE SIGNED AND SEALED BY A LICENSED NYS PROFESSIONAL

- ✓ ALL PLANS SHALL BE COLLATED AND FOLDED INTO 8 INDIVIDUAL SETS



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NOTICE TO APPLICANTS

In the Town of North Castle, the Planning Board is responsible for the review and approval of all applications concerning site plans, subdivisions and lot line changes; some applications concerning special use permits, wetlands permits and tree removal permits; and the environmental review of those applications over which it has jurisdiction. The Planning Board may also have an advisory role in connection with some applications before the Town Board, such as those involving other categories of special use permits and zoning amendments.

The Planning Board is composed of five volunteer members – all residents of North Castle – who are appointed by the Town Board for five-year terms. As part of the review of some applications, the Planning Board is assisted on an as-needed basis by other lay boards of the Town, such as the Conservation Board (CB), the Zoning Board of Appeals (ZBA), the Open Space Committee and the Architectural Review Board (ARB). As part of the review of most applications, the Planning Board is also assisted by the Director of Planning, the Town Engineer, the Town Attorney and other special consultants when required.

FEES:

If you submit an application for Planning Board review, you will be required to reimburse the Town for the cost of professional review services, including legal and engineering services, incurred in connection with the review of your application. The charges for professional planning review services have been \$120/hour. If other types of professional consultant review services are required, those charges will be in accord with fees usually charged for such services and pursuant to a contractual agreement between the Town and such professional.

At the time of submission of an application, the Planning Board will require the establishment of an escrow account from which withdrawals shall be made to reimburse the Town for the cost of consultant fees and professional staff services.

ESCROW ACCOUNT:

Escrow Accounts are established for each application. Monies will be deducted from the account for professional review services rendered. Monthly escrow disbursement summaries will be mailed for your reference regarding your project. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, a letter will be mailed to the applicant and the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit. Additional information on these requirements is provided in the North Castle Town Code (see Sections 355-79B and 275-36.C).



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PROCEDURE:

Prior to submitting an application to the Planning Board for review and approval, prospective applicants should schedule an appointment with the Planning Board Secretary at (914) 273-3542 for a consultation with the Town Planner and the Town Engineer. When the appointment is made, a verbal description of the proposal should be provided to the Planning Board Secretary. The Town of North Castle is providing the services of the Director of Planning and the Town Engineer for *initial* consultation at no cost to the applicant so that it is possible to conduct the application review as efficiently as possible for the benefit of the applicant as well as the Planning Board.

After meeting with the Town Planner and Town Engineer, prospective applicants should prepare one complete set of application documents and plans. This set will be reviewed for completeness by the Town Planner. If determined to be incomplete, the Planning Department will submit a checklist indicating which items have not been adequately addressed. If determined to be complete, the checklist will be initialed and the Applicant should submit the remainder of the required application packages.

Once the checklist has been initialed and all application packages have been submitted, the Planning Board Secretary will schedule the application for the first available opening on the Planning Board's meeting agenda. However, if the required application material packages, including the pertinent application fee are not received at the Planning Board office by 12:00 PM, Monday, 14 days prior to the date of the Planning Board meeting at which you are scheduled to appear (or otherwise scheduled by the Planning Board Secretary), your application will be automatically removed from the agenda. At the discretion of the Planning Board Chairman, your application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Additional requirements pertinent to each type of application are provided on the individual application forms, which you should carefully review prior to submitting your application.

When an application is deemed complete and submitted for review, it will be forwarded to the Planning Board Members and its professional advisors in advance of the meeting to allow adequate time for review, preparation of written reports and site inspections as necessary. Your application may also be forwarded to other boards and staff of the Town as well as to agencies outside of the Town, if required. Compliance with State Environmental Quality Review (SEQR) procedures is also required as part of the processing of all applications.

At your first appearance before the Planning Board, the Applicant will describe the project and the Planning Board will discuss any preliminary issues. The Planning Board discussion may be continued at future meetings, or if the Planning Board review has progressed sufficiently, the Application may be scheduled for a public hearing (if one is required) The public hearing may occur at a single Planning Board meeting, or it may be adjourned and continued at another Planning Board meeting. Because the nature and complexity of each application varies



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considerably, it is not possible to predict in advance the length of time needed to secure Planning Board approval. There are certain steps that you can take, however, to expedite the review process. These include, but are not limited to, the following:

- Be thoroughly familiar with the requirements pertinent to your application. Carefully review relevant provisions of the North Castle Town Code and the application form for your particular type of application. Be sure to check on what other types of approvals may be required in addition to that of the Planning Board. Approvals by other Town boards or departments as well as agencies outside of the Town may be required before you will be allowed to proceed with your project.
- Make sure that your application materials are accurately prepared and contain all required information. The information that we initially request is required, so make sure that your submission is complete. If supplementary information is requested as the review process continues, make sure that it is submitted in a timely fashion so the Planning Board can continue to move your application along.
- Follow up to make sure that your application materials are being submitted on time, or deliver them to the Planning office yourself.
- Attend the Planning Board meeting at which your application will be discussed and be on time for the meeting. If you cannot appear personally, make sure that your representative will be there and is thoroughly familiar with your application.

If the Application is approved by the Planning Board, a resolution of approval will be adopted by the Planning Board. It is the Applicant's responsibility to address any and all conditions of approval. Permits from the Building Department cannot be issued until all conditions have been addressed and the plans have been signed by the Planning Board Chair and the Town Engineer.

**ON LINE AGENDAS & PLANNING DEPARTMENT MEMORANDA CAN BE
REVIEWED AT**

WWW.NORTHCASTLENY.COM



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INFORMATION REGARDING PUBLIC HEARINGS

1. The North Castle Assessor's Office shall prepare a list of neighbors to be notified for the neighbor notifications and public hearings - **A minimum of one week's notice is required** . The fee is \$50.00 which includes the list of neighbors and two sets of labels for mailing. The Assessor's Office may be reached Monday – Friday from 8:30 a.m.– 4:30 p.m. at 273-3324. You may also e-mail your request to assessor@northcastleny.com

When requesting your list please reference the list of application types below so that you can tell the Assessor's office how many feet on all sides of the property to create the list for.

Subdivisions - All lots zoned R-10, R-5 and R-2F shall notice all neighbors within 200 feet from all sides of their property. All other zoning districts shall notice neighbors within 500 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Special Use Permit for Structures over 800 sq ft. & Accessory Apartment - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Site Plan, Non Residential - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Site Plan, Residential/ Neighbor Notification – All zoning districts R-3/4A or smaller shall notice all neighbors within 250' from all sides of their property. All zoning districts zoned R-1A or larger shall notice all neighbors within 500' from all sides of the property. No public hearing required, no publication in the newspaper required.

Wetlands Permit - All Zoning Districts shall notice all abutting property owners. Public hearing notice must be published in the newspaper.

2. The Director of Planning will prepare a Public Notice. The applicant and or professional will review, sign, date and return to the Planning Department Secretary. If there are any changes necessary, please edit and return for corrections. The corrections will be made and emailed back to the applicant who will forward it to the Journal Newspaper, when applicable.

If notification to the newspaper is not required, please continue to #3.



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You may email your public notice to legals@lohud.com. Please request an affidavit of publication which must be submitted to the Planning Board secretary prior to the public hearing. The Journal News requires three days prior notice before 12 noon, not counting weekends and holidays, for ad placement. Make sure the notice placement of the ad in the Greater Westchester Area. This notice cannot be published any sooner than 20 days prior to the meeting and must be published no less than 10 days prior to the meeting.

If you have any questions regarding your publication you may call 888-516-9220:
Email Address: legals@lohud.com

It is suggested that you purchase the newspaper for your records the day the notice is published.

3. Send out the Public Hearing Notice/ Neighbor Notification by First Class Mail. Notice shall be mailed by the applicant in official envelopes provided by the North Castle Planning Department; the list of noticed neighbors will be prepared by the Assessor's Office. This must be sent out no less than 10 days prior to the meeting and no more than 20 days prior to the meeting date. A Certificate of Mailing (PS Form 3817 or 3877) shall be filled out and post marked by the Post Office on the day of mailing. Neighbor Notifications – no publication in the newspaper required.
4. The Friday before the meeting or no later than 12:00 p.m. the day of the meeting the following **must** be submitted.
 - List of Neighbors prepared by the Assessor's Office
 - Certificate of Mailing – PS form 3817 or 3877 post marked by the US Post Office
 - Affidavit of publication from the Newspaper (only if published in the newspaper)



Firm Mailing Book For Accountable Mail

Name and Address of Sender		Check type of mail or service		Affix Stamp Here <i>(if issued as an international certificate of mailing or for additional copies of this receipt). Postmark with Date of Receipt.</i>												
		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail		Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
		1.														
2.																
3.																
4.																
5.																
6.																
7.																
8.																
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)														



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APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fes



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

7-11-22

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Keith Rosenthal

Mailing Address: 10 Creemer Road, Town of North Castle, NY 10504

Telephone: (914) 643-0321 Fax: _____ e-mail krosenthal@phoenixrg.com

Name of Applicant (if different): Same as above

Address of Applicant: _____

Telephone: _____ Fax: _____ e-mail _____

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
Site Design Consultants c/o Joseph C. Riina, P.E.

Address: 251 #F Underhill Avenue, Yorktown Heights, NY 10598

Telephone: (914) 962-4488 Fax: _____ e-mail Jriina@sitedesignconsultants.com

Name of Other Professional: Justin F. Minieri, A.I.A

Address: 55 Webster Avenue, Loft 404, New Rochelle, NY 10801

Telephone: (914) 576-7087 Fax: _____ e-mail Tracepaper@aol.com

Name of Attorney (if any): _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 7-11-22

Signature of Property Owner:  Date: 7-11-22

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 10 Creemer Road, North Castle NY 10504

Location (in relation to nearest intersecting street):

893 feet (north, south, east or west) of Bedford Road

Abutting Street(s): _____

Tax Map Designation (NEW): Section 108.02 Block 2 Lot 60

Tax Map Designation (OLD): Section 108.02 Block 2 Lot 60

Zoning District: R-2A Total Land Area 5.66 acres

Land Area in North Castle Only (if different) _____

Fire District(s) Armonk F.D. School District(s) Byram Hills School District

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Special Use Permit:

Accessory Apartment

Accessory Structure over 800 square feet _____

Gross Floor Area: Existing 1,238 S.F. Proposed 1,513 S.F.

Number of Parking Spaces: Existing _____ Proposed 2

Earthwork Balance: Cut N/A C.Y. Fill N/A C.Y. _____

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No _____ Yes

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The special use permit application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the special use permit application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary special use permit checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the special use permit application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SPECIAL USE PERMIT SITE PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the special use permit plan for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 355 Article VII of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for special use permit approval.

The application for special use permit approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location use and design of existing buildings, identifying first floor elevation, and other structures.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- N/A Location, type, direction, power and time of use of existing outdoor lighting.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor plans and elevations.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- N/A Proposed sight distance at all points of vehicular access.
- N/A Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- N/A Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- N/A Location, type, direction, power and time of use of proposed outdoor lighting.

TBD Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.

N/A The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.

✓ Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.

✓ Proposed soil erosion and sedimentation control measures.

N/A For all proposed plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.

N/A For all proposed plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.

N/A For all proposed plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

The special use permit application package shall also include a narrative document that demonstrates compliance with the following:

✓ The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such use.

✓ The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

✓ Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.

✓ Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.

✓ Where required, The provisions of the Town Flood Hazard Ordinance shall be met.

✓ The proposed special permit use will not have a significant adverse effect on the environment.

Short Environmental Assessment Form


Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO	YES
			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO	YES
			<input type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ acres		
b. Total acreage to be physically disturbed?		_____ acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres		
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____				
<input type="checkbox"/> Parkland				

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>Keith Rosenthal</u></p>	<p>Date: <u>7-11-22</u></p>	
<p>Signature: <u></u></p>		