Site Design Consultants

Civil Engineers • Land Planners

September 26, 2023

Via Email: planning@northcastleny.com

RECEIVED
Sep 26 2023
TOWN OF NORTH CASTLE
PLANNING DEPARTMENT

Joseline Huerta
North Castle Planning Board
15 Bedford Road
Armonk, NY 10504

Re: Rosenthal property
10 Creemer Road
Section 108.2, Block 2, Lot 60

Dear Joseline:

Attached please find the following items we are submitting for review:

- NYS DEC Freshwater Wetlands permit application
- Response to Town of North Castle Planning Department comments
- Westchester County Department of Health Construction approval permit
- Mitigation Plan dated 10-01-21, last revised 1-12-23
- Rosenthal Site Plan set, dated 10-01-21, last revised 9-25-23
- Rosenthal Short Environmental Assessment form, signed
- Response letter to Kellard Sessions memorandum
- Rosenthal Architectural Plan

Yours Truly,

Joseph C. Riina, P.E.

JCR/dmd/enc./sdc 21-58

251-F Underhill Avenue • Yorktown Heights, New York 10598
60 Walnut Grove Road • Ridgefield, Connecticut 06877
(914) 962-4488 (203) 431-9504 Fax (914) 962-7386

Site Design Consultants

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September 26, 2023

Mr. Christopher Carthy, Chairman
Members of the Town of North Castle Planning Board
15 Bedford Road
Armonk, NY 10504

Re: Keith Rosenthal
10 Creemer Road,
Section 108.02, Block 2, Lot 60

Dear Chairman Carthy and Members of the Planning Board;

We are in receipt of the comment letters from John Kellard, Kellard Sessions and the Town of North Castle Planning Department, for the Rosenthal project. Please find attached a copy of the Revised Plan Set in addition to a comment-by-comment response to each of the review items in your comment letters.

Kellard Sessions Memorandum:

Comments

1. *A significant portion of the project site may be locally-regulated wetlands. The applicant will need to have a wetland delineation performed, surveyed and included on the Site Plan. Upon flagging of the wetlands and prior to surveying the flags, please contact our office to field verify the boundary. Once the delineation is included on the Site Plan, an accurate determination of wetlands and wetland buffers will be established.*

   The submission notes the plans have been revised to include wetland flagging by Steve Marino, PWS. The plan notes the survey was last updated December 21, 2020. Please confirm on the plan set that the wetland flags were surveyed and update the survey revision date.

   An intermittent watercourse has been included on the plan set. Please confirm the intermittent course was surveyed. Pease include the wetland buffer adjacent to the intermittent watercourses.

   Response: Comment addressed

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2. *NYSDEC Wetland K-24 appears to be in close proximity to the project site. The applicant should contact NYSDEC for an on-site confirmation of their jurisdiction. Please provide verification of their determination.*

Response: A copy of the NYC DEC permit is enclosed with this submittal.

3. *Please provide on the site plan the location of the existing septic system servicing the proposed residence.*

The applicant has included the existing septic system servicing the existing residence. The system appears to extend into the area shown as septic expansion area for the accessory structure. Please clarify.

Both existing septic systems are located within the wetland buffer, as well as the expansion area for the accessory structure. Expansion area for the main residence is proposed to be relocated to the top of the hill adjacent to the existing tennis court.

Improvements proposed for the septic system servicing the main residence, which are located within the wetland buffer, include a new septic tank and new piping, as well as a new pump tank and new force main for the future expansion system.

Response: A copy of the approved septic plan is part of the Plan set.

4. *Upon an accurate wetland determination, the applicant should verify with the Westchester County Department of Health (WCHD) their ability to permit the construction of the new septic system proposed to service the main residence.*

Also, the existing septic system servicing the cottage appears to be located within hydric soils. The applicant should verify with the WCHD their ability to permit the cottage expansion through the use of the existing septic system.

The applicant should provide the Planning Board with an update on the status of the WCHD Approval. The applicant should provide WCHD Approval of the proposed septic system improvements upon receipt of approval.

Response: A copy of the Westchester County Health Department permit.

5. *Upon determination of the wetland boundary and its regulated buffer, the applicant will need to establish the actual wetland and wetland buffer disturbances. A Wetland Mitigation Plan will need to be prepared which will quantify total wetlands and buffers on-site, total disturbances and total impervious cover within each. Mitigation will need to be provided at a minimum ratio of 2:1 of the disturbance.*

The applicant is proposing to continue use of two (2) existing septic systems located within the wetland buffer. In addition, the applicant is proposing a

portion of the building addition, site grading, stormwater piping, rain garden, new septic tank and gravity sewer piping within the local wetland buffer. Future work within the wetland buffer would include a sewage pump station and sewage force main.

The applicant should provide an evaluation of the proposed wetland buffer disturbances and prepare a wetland mitigation plan for the project. Upon preparation of the mitigation plan, the Planning Board should refer the application to the Town Conservation Board for their review and recommendation.

Response: A copy of the mitigation plan and wetlands report is enclosed.

6. *The applicant should show on the plan, trees which must be removed to implement the proposed improvements. The EAF should be revised accordingly.*

Response: A tree removal chart is provided on the erosion and sediment control plan. The EAF has been revised.

7. *The applicant should provide a cut and fill analysis of the proposed improvements.*

Response: Cut and fill quantities are noted on the plan.

8. *There does not appear to be any need to install the septic expansion area force main 15 feet below grade. Please correct the force main profile.*

9. *The septic plan indicates two (2) feet of fill or 3,058 c.f. of run of bank fill is required for the expansion system. The profile and plan should reflect the proposed fill. Please explain the need for labeling slope designation extending 107.8 feet below the proposed expansion area.*

10. *The applicant indicates 31,054 s.f. of site disturbance shall occur with the project. The applicant has prepared a Stormwater Pollution Prevention Plan (SWPPP) for the project. The SWPPP should mitigate the increase in runoff due to the proposed improvements. Please acknowledge the increase in impervious surfaces and update computations.*

A rain garden is proposed to mitigate stormwater runoff impacts.. Please submit updated stormwater computations used to design the rain garden mitigating water quality and water quantity for the project site.

11. *The applicant shall provide equipment staging locations, as well as realistic soil stockpile locations based on the cut/fill requirements for the project. Construction fencing should be provided along the disturbance limits bordering wetlands and wetland buffers. Please provide a stabilized construction entrance by the main residence.*

Response: Noted on the erosion and sediment control plan.

If you should have any questions regarding the above or require any additional information, do not hesitate to contact this office.

Sincerely,

Joseph C. Riina, P.E.

cc: K. Rosenthal

JCR / dmd / Enc. / sdc 21-28

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project:
Keith Rosenthal

Project Location (describe, and attach a location map):
10 Creemer Road, North Castle, Westchester County, New York 10504

Brief Description of Proposed Action:
The Proposed Project consists of site plan approval and special use permit approval for a house addition and an addition to an existing accessory building. This project is located within the R-2A (single family residential) zoning district within the Town of North Castle. The action will require a wetland permit from the Town and NYS DEC for adjacent area disturbance. There will be the removal of 10 trees as part of the action.

Name of Applicant or Sponsor:	Telephone: (914) 643 - 0321
Keith Rosenthal	E-Mail: krosenthal@phoenixrg.com

Address:
10 Creemer Road

City/PO:	State:	Zip Code:
Town of North Castle	NY	10504

	NO	YES
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	☑	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Department of Health, NYS DEC	☐	☑

3. a. Total acreage of the site of the proposed action? 5.66 acres
   b. Total acreage to be physically disturbed? 0.44 acres
   c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 5.66 acres

4. Check all land uses that occur on, are adjoining or near the proposed action:

5. ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☑ Residential (suburban)
   ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):
   ☐ Parkland

	NO	YES	N/A
5. Is the proposed action,			
a. A permitted use under the zoning regulations?	☐	☑	☐
b. Consistent with the adopted comprehensive plan?	☐	☑	☐

	NO	YES
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	☐	☑

	NO	YES
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		
If Yes, identify: _____	☑	☐

	NO	YES
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	☑	☐
b. Are public transportation services available at or near the site of the proposed action?	☑	☐
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☑	☐

	NO	YES
9. Does the proposed action meet or exceed the state energy code requirements?		
If the proposed action will exceed requirements, describe design features and technologies:	☑	☐

	NO	YES
10. Will the proposed action connect to an existing public/private water supply?		
If No, describe method for providing potable water: Existing private well	☑	☐

	NO	YES
11. Will the proposed action connect to existing wastewater utilities?		
If No, describe method for providing wastewater treatment: Proposed on-site septic system	☑	☐

	NO	YES
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	☑	☐
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☑	☐

	NO	YES
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	☐	☑
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☑	☐
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: Wetland buffer disturbed by 6,400 S.F.		

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional

☑ Wetland ☐ Urban ☑ Suburban

	NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	☑	☐
16. Is the project site located in the 100-year flood plan?	☑	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources?	☐	☑
If Yes, a. Will storm water discharges flow to adjacent properties?	☑	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☐	☑
If Yes, briefly describe: Proposed rain garden on site		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	☑	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	☑	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	☑	☐

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

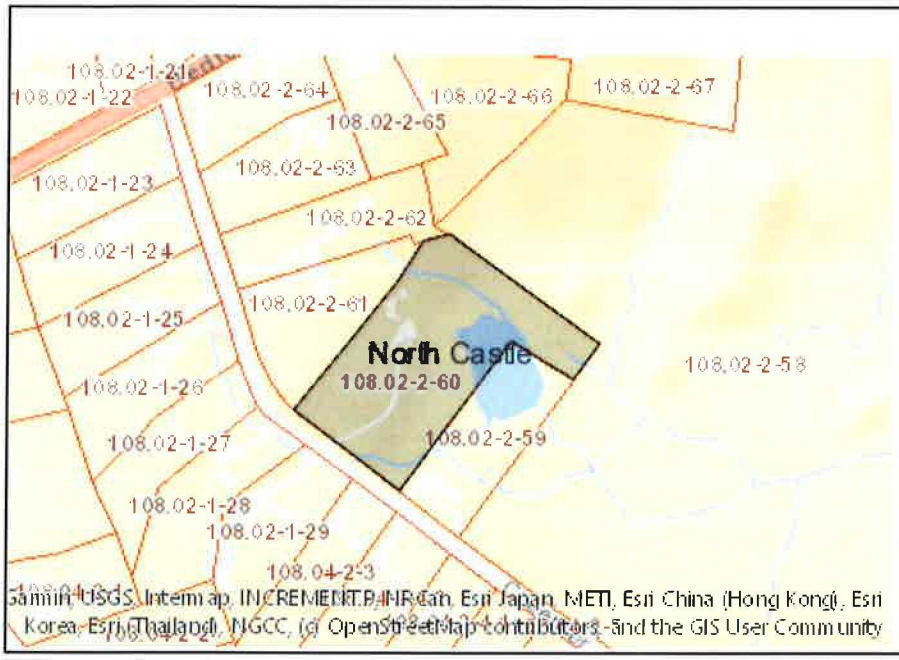
Applicant/sponsor/name: Joseph C. Riina, P.E. Date: 9/25/23

Signature: Title: Project Engineer

PRINT FORM

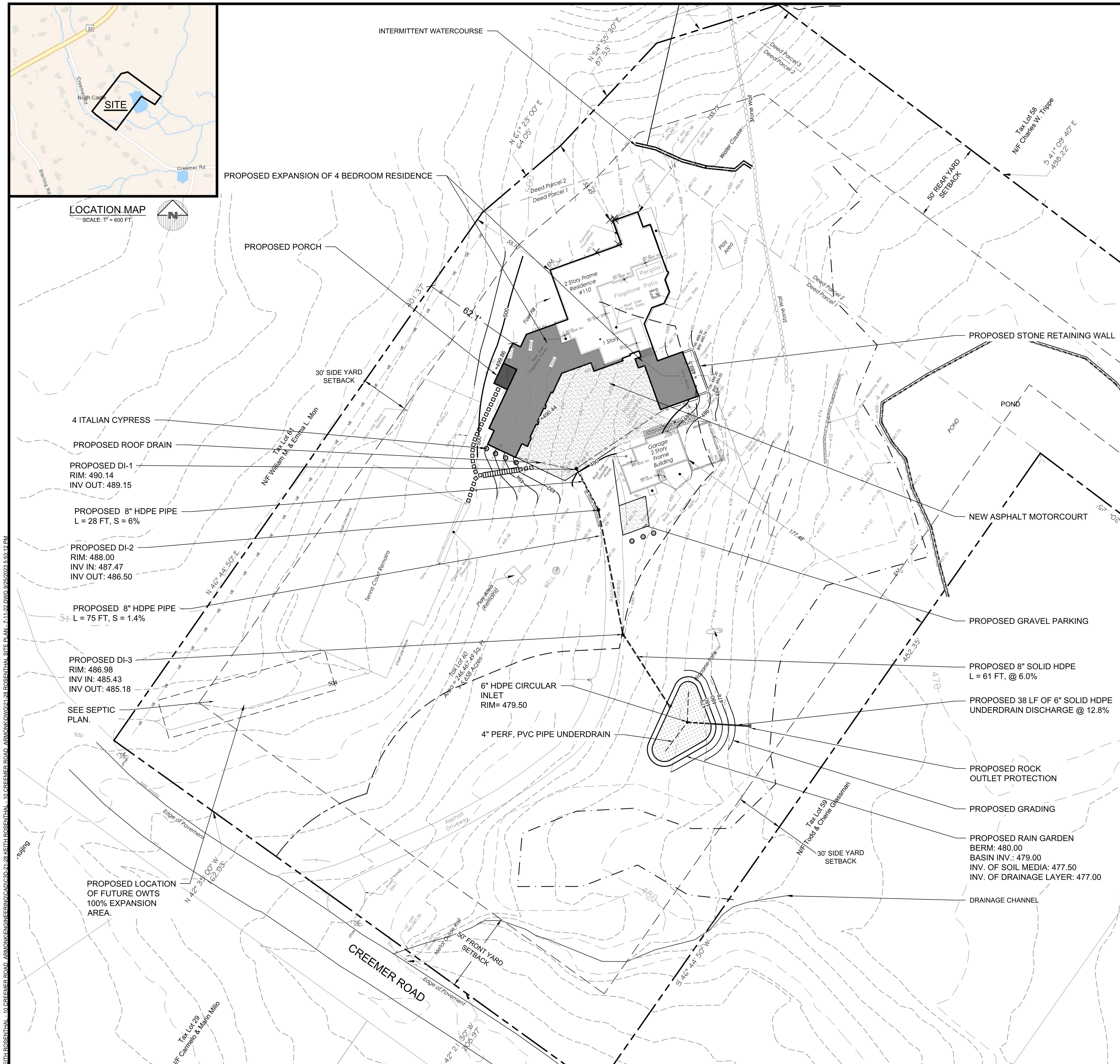
EAF Mapper Summary Report

Thursday, July 7, 2022 10:06 AM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



NOTE:
1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, L.S. DATED 12/03/20, LAST REVISED 12/21/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

SITE DATA:

OWNER / DEVELOPER:	KEITH ROSENTHAL
STREET ADDRESS	10 CREEMER ROAD ARMONK, NY 10504
PROJECT LOCATION:	10 CREEMER ROAD ARMONK, NY 10504
EXISTING TOWN ZONING:	R-2A SINGLE FAMILY RESIDENTIAL
TOWN TAX MAP DATA:	SECTION 108.02, BLOCK 2, LOT 60
SITE AREA :	5.66 ACRES (246,467 SF)
SEWAGE FACILITIES:	ONSITE WASTEWATER TREATMENT SYSTEM
WATER FACILITIES:	DRILLED WELL
FIRE DISTRICT:	#2
SCHOOL DISTRICT:	BYRAM HILLS
WATERSHED:	LONG ISLAND SOUND

ZONING SCHEDULE:

ZONING DISTRICT: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 acres)

DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	2 AC.	5.66 AC.	NONE
MINIMUM LOT FRONTAGE:	150 FT.	371 FT.	NONE
MINIMUM LOT WIDTH:	150 FT.	370 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	482 FT.	NONE
MINIMUM DWELLING SIZE:	1,400 S.F.	7,657 S.F.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	50 FT.	286 FT.	NONE
ONE SIDE YARD SETBACK:	30 FT.	62 FT.	NONE
COMBINED SIDE YARD SETBACK:	60 FT.	232 FT.	NONE
REAR YARD SETBACK:	50 FT.	156 FT.	NONE
MAXIMUM BUILDING HEIGHT:			
PRINCIPAL BUILDING - STORIES:	--	2 STORIES	NONE
PRINCIPAL BUILDING - FEET:	30 FEET	> 30 FEET	NONE
MAXIMUM BUILDING COVERAGE:			
PRINCIPAL BUILDING :	8% OF LOT AREA	3.1% OF LOT AREA	NONE

LIST OF DRAWINGS:

SHEET 1 OF 6:	SITE PLAN
SHEET 2 OF 6:	EXISTING CONDITIONS
SHEET 3 OF 6:	SEPTIC PLAN
SHEET 4 OF 6:	EROSION PLAN
SHEET 5 OF 6:	EROSION AND SMW DETAILS
SHEET 6 OF 6:	SEPTIC DETAILS

WETLAND 100' ADJACENT AREA DISTURBANCE

TYPE OF DISTURBANCE	AMOUNT OF DISTURBANCE	PROPOSED MITIGATION
RAIN GARDEN AND DRAINAGE	5,390 SF	SEE MITIGATION PLAN
SEPTIC TANK AND PIPING	660 SF	
ADDITION TO RESIDENCE	350 SF	

EARTHWORK: CUT 315 CY - FILL 755 CY = NET 440 FILL

SITE PLAN NOTES:

1) THE WETLAND DELINEATION WAS DONE BY STEVE MARINO, PLS OF TIM MILLER ASSOCIATESIN APRIL 21, 2022 AND WAS SURVEYED BY T.C. MERRITTS LAND SURVEYORS MAY 5, 2022.
2) THE WETLAND DELEGATION WAS CONFORMED BY SARA PAWLICZAK BIOLOGIST NYS DEC, DECEMBER 5, 2022.

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED:____________________

____________________ Date: ____________________
CHRISTOPHER CARTHY, CAHIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:
____________________ Date: ____________________
JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

0 15 30 60
SCALE: 1"=30'-0"

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Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

PROJECT # 21-28

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Revisions:

No.	Date	Comments:
1	1-7-21	HD Department
2	2-14-22	HD Department
3	3-4-22	HD Department
4	3-12-22	Plan updates
5	6-3-22	Plan updates
6	7-11-22	Plan updates
7	10-28-22	Town Comments
8	1-12-23	HD Department
9	4-3-23	HD Department
10	4-24-23	HD Department
11	9-25-23	Town Comments

SCALE: 1" = 30'
DRAWN BY: CS
DATE: 10/01/21

SITE PLAN

SITE PLAN
PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle Westchester County, New York

Sheet 1 of 6

INTERMITTENT WATERCOURSE

EXISTING 2 - STORY 4 BEDROOM FRAME RESIDENCE

N 6° 1' 23.00" E 64.05'

100' INTERMITTENT WATERCOURSE BUFFER

N 54° 5' 30" E 61.53'

Deed Parcel 3
Deed Parcel 2

Stone Wall

Water Course

Tax Lot 68
N/F Charles W. Trippe

S 41° 09' 40" E 435.22'

50' REAR YARD SETBACK

EXISTING SEWER LINE TO BE RE-ROUTED INTERNAL TO THE ADDITION AND CONNECTED TO THE NEW TANK

EXISTING SEPTIC TANK TO BE REMOVED

Deed Parcel 2
Deed Parcel 1

TR* 48 TREE
TR* 8 MAPLE
TR* 10 MAPLE
TR* 10 MAPLE
TR* 30 MAPLE
TR* 22 PINE
TR* 72 TREE
TR* 6 TREE
TR* 92 TREE
TR* 10 TWIN MAPLE
TR* 6 TREE
TR* 32 PINE
TR* 18 QUAD MAPLE
TR* 8 TREE
TR* 132 TWIN TREE
TR* 16 ASH
TR* 16 ASH
TR* 14 MAPLE
TR* 14 MAPLE
TR* 10 MAPLE
TR* 10 MAPLE
TR* 10 MAPLE
TR* 8 MAPLE
TR* 12 MAPLE
TR* 14 MAPLE
TR* 16 TRIPLE MAPLE
TR* 14 MAPLE
TR* 12 QUAD MAPLE
TR* 14 ASH
TR* 12 ASH
TR* 8 CHERRY
TR* 8 MAPLE

2 Story Frame Residence #110
Pergola
Flagstone Patio
1 Story
Roof Over Prog. Patio
Garage 2 Story Frame Building
Roof Over Garage Porch
Asphalt Driveway
Play Area

100' WETLAND BUFFER
100' WETLAND & STREAM BUFFER
100' WETLAND & STREAM BUFFER
177.48'
100' WETLAND BUFFER

WETLANDS FLAGGED BY STEVE MARINO, PWS APRIL 21, 2022

POND
POND

30' SIDE YARD SETBACK

Tax Lot 61
N/F William M. & Emma L. Mon

40' 37"
62.71'

N 46° 44' 50" E

Tennis Court Remains

EXISTING 2 BEDROOM COTTAGE

WELL

100% SEPTIC EXPANSION AREA

Propane Tank

TOT LOT 60
AREA = 246,467 SQ. FT.
5.659 ACRES

Tax Lot 69
N/F Todd & Cherie Glassman

30' SIDE YARD SETBACK

DRAINAGE CHANNEL

N 42° 31' 00" W 63.83'

Edge of Pavement

CREEMER ROAD

Metal Guide Rail

50' FRONT YARD SETBACK

S 46° 44' 50" W

N 42° 21' 30" W 438.57'

Tax Lot 29
N/F Carmela & Marlin Millio

204.25'

N 79° 40' W

455.35'

510
500
490
480
470

NOTE:
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DATED:_____

_____Date: _____
CHRISTOPHER CARTHY, CAHIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:
_____Date: _____
JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

0 15 30 60
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NY Industrial Code Rule 753 requires no less than two working days notice, but not more than ten days notice.
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PROJECT # 21-28

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STATE OF NEW YORK JOSEPH CARLO RIINA 049749 LICENSED PROFESSIONAL ENGINEER
Engineer
Joseph L. Riina, P.E.
NYS Lic. No. 64431

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SCALE: 1" = 30'
DRAWN BY: CS
DATE: 10/01/21

EXISTING CONDITIONS PLAN

SITE PLAN
PREPARED FOR
KEITH ROSENTHAL

10 CREEMER ROAD
Town of North Castle Westchester County, New York

Sheet 2 of 6

F:\2021\21-28\KEITH ROSENTHAL - 10 CREEMER ROAD, ARMONK\ENGINEERING\CAD\CSD-21-28 KEITH ROSENTHAL - 10 CREEMER ROAD, ARMONK\DWG\21-28 ROSENTHAL SITE PLAN - 7-11-22.DWG 9/25/2023 5:53:12 PM

GENERAL EROSION CONTROL NOTES:

1. Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
2. Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
3. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
4. The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
5. All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
6. Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
7. All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
8. The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
9. Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
10. All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
11. All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
12. Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
13. To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
14. Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
15. Contractor shall be responsible for construction inspections as per NYSDEC GP-0-20-001 and Town of North Castle Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

N.Y.S.D.E.C. GP-0-20-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

1. Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
2. Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
3. Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
4. Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
5. For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
6. All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
7. All sites shall be stabilized with erosion control materials within 7 days of final grading.
8. Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/ REPLACE	REMOVE
PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE
C. ENTRANCE	---	INSP.	INSP.	INSP.	CLEAN/ REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

1. A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal.
2. Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated Details.
3. Cut and clear trees within work area. Timbered trees, wood chips, and stumps shall be removed off-site. Strip site and place topsoil in stockpile locations shown on the plan.
4. Start construction of project access points, set-up staging areas as shown on Erosion and Sediment Control Plan.
5. Begin rough grading the site.
6. Rough grade of foundation for additions. Soil shall be stockpiled as shown and stabilized the next day if they are to be left alone for over seven days.
7. Begin excavation of building foundations, wall, and utilities. Protect open excavations. Where applicable, place fill on the up-slopes and side edges of fill area. Fill should be pushed in place and stabilized with tracking perpendicular to the slope. Place soil stockpiles in locations shown on the Erosion and Sediment Control Plans and associated Details.
8. Septic system may be constructed at any point after step 7.
9. Begin construction of the house addition.
10. Upon completion of foundation, backfill to grade and immediately stabilize areas that will not receive traffic or disturbance within seven (7) days.
11. Begin the excavation and installation of utilities and drainage system. Protect trenches and open excavations from erosion. All drainage inlets shall be protected from sediment entering. There shall be no direct unfiltered discharge into the stormwater systems. The stormwater outlet shall be blocked until all upstream areas have been permanently stabilized.
12. During building and site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
13. Installation of proposed raingarden.
14. Topsoil, rake, seed and mulch all disturbed areas. Once all proposed disturbances are completed, begin full stabilization of the site. Once the site has been stabilized, remove all temporary erosion control measures. This shall be done during optimum weather conditions to avoid sediment transport. A site shall be considered stabilized when it has a minimum uniform 80% perennial vegetation cover or other permanent non vegetative cover with a density sufficient to resist accelerated surface erosion. Once final stabilization has been achieved, unblock piping to infiltrators in order to allow flow to enter.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

NOTE:

1. *THIS IS NOT A SURVEY.* ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, L.S, DATED 12/03/20, LAST REVISED 12/21/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

1. The pH of the material shall be 5.5 to 7.6.
2. The organic content shall not be less than 2% or more than 70%.
3. Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

1. Site preparation:
   - 1.1. Install erosion control measures.
   - 1.2. Scarify compacted soil areas.
   - 1.3. Lime as required to ph 6.5.
   - 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F.
   - 1.5. Incorporate amendments into soil with disc harrow.
2. Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREEPING RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREEPING RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20

3. SEEDING
   - 1.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
   - 1.2. Apply soil amendments and integrate into soil.
   - 1.3. Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
   - 1.4. Stabilize seeded areas in drainage swales.
   - 1.5. Irrigate to fully saturate soil layer, but not to dislodge planting soil.
   - 1.6. Seed between April 1st and May 15th or August 15th and October 15th.
   - 1.7. Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

1. Install erosion control measures.
2. Scarify areas of compacted soil.
3. Fertilize with 10-10-10 at 400/acre.
4. Lime as required to ph 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:
Same as permanent vegetative cover

TREES TO BE REMOVED

LOCATION	TYPE	SIZE	QUANTITY
HOUSE ADDITION			
	UNKNOWN	6"	2
	UNKNOWN	12"	2
	PINE	22"	1
	PINE	32"	1
RAIN GARDEN			
	MAPLE	8"	1
	CHERRY	8"	1
	MAPLE	12"	1
	*ASH	12"	1
SEPTIC SYSTEM			
	MAPLE	12"	1
TOTAL			10

*NOT INCLUDED IN COUNT

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED:______________________

____________________________________Date: __________________________
CHRISTOPHER CARTHY, CAHIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:
____________________________________Date: __________________________
JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

0 10 20 40
SCALE: 1"=20'-0"

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F:\2021\21-28 KEITH ROSENTHAL - 10 CREEMER ROAD ARMONK\ENGINEERING\CAD\C3D-21-28 KEITH ROSENTHAL - 10 CREEMER ROAD ARMONK\DWG\21-28 ROSENTHAL SITE PLAN - 7-11-22.DWG 9/25/2023 5:53:12 PM

PROJECT # 21-28

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

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Engineer:
STATE OF NEW YORK · JOSEPH CARLO RIINA · NO. 64431 · LICENSED PROFESSIONAL ENGINEER
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments:
1	1-7-21	HD Department
2	2-14-22	HD Department
3	3-4-22	HD Department
4	3-12-22	Plan updates
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8	1-12-23	HD Department
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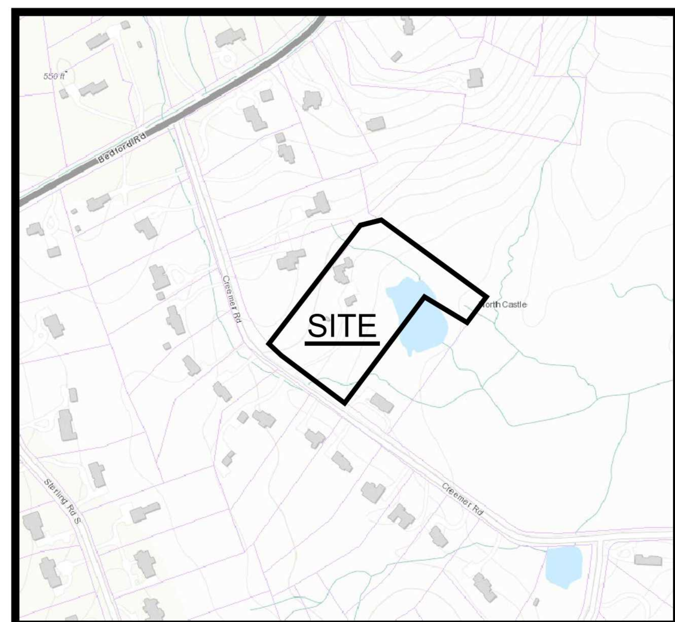
10	4-24-23	HD Department
11	9-25-23	Town Comments

SCALE: 1" = 20'
DRAWN BY: CS
DATE: 10/01/21

EROSION AND SEDIMENT CONTROL PLAN

SITE PLAN
PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle Westchester County, New York



LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER / DEVELOPER:	KEITH ROSENTHAL
STREET ADDRESS	10 CREEMER ROAD ARMONK, NY 10504
PROJECT LOCATION:	10 CREEMER ROAD ARMONK, NY 10504
EXISTING TOWN ZONING:	R-2A SINGLE FAMILY RESIDENTIAL
TOWN TAX MAP DATA:	SECTION 108.02, BLOCK 2, LOT 60
SITE AREA :	5.66 ACRES (246,467 SF)
SEWAGE FACILITIES:	ONSITE WASTEWATER TREATMENT SYSTEM
WATER FACILITIES:	DRILLED WELL
WATERSHED:	LONG ISLAND SOUND

LIST OF DRAWINGS:

SHEET 1 OF 6: SITE PLAN
SHEET 2 OF 6: EXISTING CONDITIONS
SHEET 3 OF 6: SEPTIC PLAN
SHEET 4 OF 6: EROSION PLAN
SHEET 5 OF 6: EROSION AND SMW DETAILS
SHEET 6 OF 6: SEPTIC DETAILS

Table 1
Separation Distances from Wastewater Sources

Wastewater Sources	Drilled Well or Section Line (g) (ft.)	Stream, Lake, Watercourse (b) or Wetland (ft.)	Dwelling (ft.)	Property Line (ft.)	Drainage Ditch/Rain Garden (h)(ft.)	Inground Pool (ft.)
House Sewer	25 CIP 50 Other	25	3	10	10	10
Septic Tank	50	50	10 (h)	10	10	20
Effluent Line/Force Main	50	50	10	10	10	10
Distribution Box/Junction Box	100	100	20 (d)	10	20	20
Absorption Fields (f)	100 (a)	100	20 (d)	10	20	35
Seepage Pit	150 (a)	100	20 (d)	10	20	50
Dry Well(d)						
Roof + Footings	50	25	20	10	10	20
Roads + Driveway	100	25	20	10	10	20

(a) Wells located in general path of an OWTS must be located 200 feet or more away. All public water supply wells must be 200 feet or more away.
(b) Mean high water mark of defined stream or lake.
(c) Drywells are not allowed above OWTS (drywells, Storm water infiltrator units or other subsurface storm water infiltration units)
(d) For slab on grade foundations with no drains, distance can be reduced in half
(e) For all systems involving placement of fill, separation distances are measured from the toe of slope of the fill.
(f) Closest part of OWTS shall be located at least ten (10) feet from any water service line (i.e. – PWS main, water service connection, well)
(g) Recommended
(h) Septic tanks are not permitted beneath raised decks and require a minimum of five (5) separation from deck piers (sonotubes)

Additional Separation Distances from Absorption Area to:	
Piped Drainage	25 ft.
Open Channel Drainage	50 ft.
Curtain Drain (upgrade from OWTS)	15 ft.
Curtain Drain (downgrade from OWTS)	50 ft.
Catch Basin	50 ft.
Driveway	5 ft.
Storm Water Basin	100 ft. (high water elevation)
Above Ground Pool	10 ft.
Deck with Pilings/sonotube	10 ft.
Slab on Grade Foundation	10 ft.
Roof and Footing Drain Discharge Pipe	10 ft.

DESIGN BASIS CALCULATIONS FOR 100% EXPANSION:

4 BEDROOM RESIDENCE @ 110 GAL/BDRM = 440 GAL

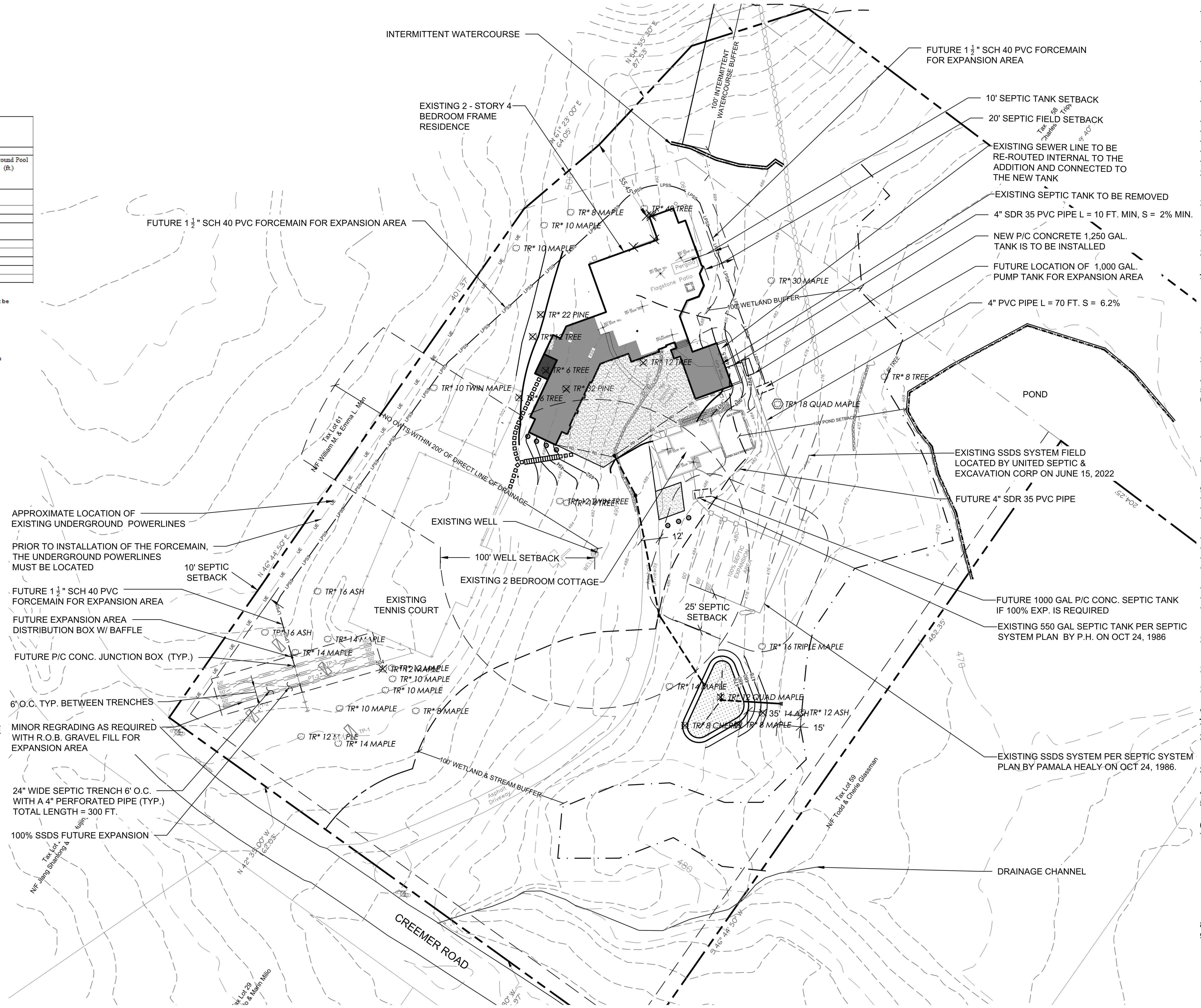
2 BEDROOM COTTAGE @ 110 GAL/BDRM = 220 GAL x 1.25 (25% INCREASE) = 275 GAL

TOTAL DESIGN FLOW = 715 GAL.

LENGTH OF FIELDS FOR EXPANSION:

PERCOLATION DESIGN RATE: 1-5 MIN/IN
APPLICATION RATE: 1.2 GPD/SF
L = (715 GPD / 1.2 GPD/SF)/ 2 SF/LF = 298 LF REQUIRED

*ALL NEW PLUMBING FIXTURES SHALL BE WATER SAVING MODELS AND ALL EXISTING PLUMBING FIXTURES WILL BE REPLACED WITH WATER SAVING MODELS AT THE TIME THE 100% EXPANSION AREA IS REQUIRED.



SOILS CLASSIFICATIONS			
TYPE	NAME	DESCRIPTION	HYDROLOGICAL GROUP
Ce	CATDEN	MUCK	B/D
CsD	CHATFIELD-CHARTON	VERY ROCKY	B
NcA	NATCHAUG	MUCK	B/D
PnB	PAXTON	FINE SANDY LOAM	C
PnC	PAXTON	FINE SANDY LOAM	C
Sh	SUN	LOAM	C/D
W	WATER	-	-

HEALTH DEPARTMENT SEPTIC SCHEDULE FOR 100% EXPANSION AREA

S.S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC. RATE (MIN/IN)	DESIGN DATA: MIN. DESIGN RATE	APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE	TANK SIZE	REQD. TRENCH LENGTH	PROVIDED TRENCH LENGTH	LENGTH PER TRENCH	BANK RUN FILL DEPTH	BANK RUN FILL VOLUME	CURTAIN DRAIN DEPTH	CURTAIN DRAIN LENGTH	REMARKS
2,500 S.F.	246,467 S.F.	TP-#1	6" T.SOIL, 6"-84" FINE MED SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"	——	——	5.8 %	PT-1	1.2 MIN.	1-5 MIN.	1.2	4 BDRM + 2 BDRM	715 GPD	1,250 GAL MAIN RES. + 1,000 GAL FUTURE FOR THE COTTAGE	298 LF	300 LF	50 LF	0-1 FT MINOR GRADING	<100 CY	——	——	DOSING REQ'D.
		TP-#2	6" T.SOIL, 6"-84" FINE MED SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"	——	——		PT-2	3 MIN.													
		TP-#3	6" T.SOIL, 6"-84" FINE MED SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"	——	——		PT-3	3 MIN.													
		TP-#4	12" T.SOIL, 12"-84" FINE SANDY LOAM, NO ROCK, NO GROUNDWATER	7'-0"	——	——																

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GENERAL NOTES:

1. A written permit and/or approval issued by the WCHD to construct an individual sewerage system shall terminate and therefore be null and void unless construction is undertaken within one (1) year of the date of issuance.
2. If for any reason the approved construction plan cannot be followed, a revised plan must be prepared, submitted and approved by the WCHD.
3. All construction to be in accordance with these plans and last revised set of WCHD Rules and Regulations
4. All SSTS and wells shall be located in the exact location as shown on this plan unless otherwise authorized by the WCHD.
5. Existing wells and SDS shown on this map were installed prior to approval date and are not part of this approval.
6. All laundry and kitchen wastes shall be discharged into the SSTS.
7. No cellar, roof or footing drains shall be discharged into the SSTS or within 25' of any well.
8. The WCHD shall be notified WITHIN 24 HOURS prior to the backfilling of any completed SSTS so that a final inspection can be made. Upon completion of any backfilling, the area shall be covered with a minimum of 4" of topsoil, seeded and mulched.
9. Prior to commencement of operation, a Certificate of Compliance must be applied for and received from WCHD.
10. The proposed SSDS shall be isolated and protected against damage by erosion, storage of earth or materials, displacement,compaction or other adverse physical change in the characteristics of the soil or in the drainage of area
11. Proposed septic area to be kept free of traffic and debris during house construction and install adequate drainage to prevent erosion after septic is installed.
12. Any modifications or deviations from this plan must be approved by the Design Engineer and WCHD prior to construction.
13. The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
14. All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
15. All written dimensions on the drawings shall take precedence over any scaled dimensions.
16. The Design Engineer shall supervise the construction of the SSTS and make an open works inspection.
17. The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
18. The Contractor must have a valid license from the WCHD.
19. Contractor to verify all substructures encountered during construction.
20. The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
21. The Contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
22. Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.
23. Survey and topographical information shown hereon prepared by surveyor: DANIEL T. MERRITS

SEPTIC CONSTRUCTION REQUIREMENTS:

1. The construction of the septic system shall meet all requirements of the latest publications and amendments of "The Westchester County Health Department Rules and Regulations for The Design and Construction of Residential Subsurface Sewage Treatment Systems and Drilled Wells in Westchester County" and "The Rules and Regulations of The New York State Department of Health" as set form in 10 NYCRR, Part 75, Appendix75-A.
2. The Westchester County Health Department approval expires one year from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the department.
3. All work performed including new installations, repairs, relocations, etc. shall have all current required permits or approvals.
4. No regrading in OWTS area except as shown on this plan.
5. Boulders, if any on surface of ground shall be cleared away prior to construction of the OWTS.
6. The house sewer to tank connection shall be a minimum 4" diameter at a minimum slope of 2.0%. The pipe shall be cast iron, ductile iron, or sewer grade PVC. All materials shall comply to the NYS Uniform Fire Prevention and Building Code(9NYCRR). The house trap shall have a cleanout and fresh air intake having a minimum diameter of one-half.
7. If cover exceeds 2 ft over any installed tank or chamber, a manhole and collar to grade is required for access. Minimum requirement of 6-12" of cover over all tanks and chambers.
8. Absorption Fields to be constructed of 4" perforated PVC pipe or equal, encased in crushed stone over pipe with standard precast junction boxes at influent connection and 4" solid PVC pipe running from septic tank outlet to and between junction boxes.
9. Minimum Trench Depth = 18", Trench Width = 24".
10. Total depth of stone in trench = 12" (washed gravel 3/4" to 1 1/2").
11. Maximum backfill over trench - 14".
12. All septic field laterals shall be of equal length (60' max. w/o dosing and 100' max. if dosed) and parallel to contours at a slope rate of 1/32" per foot or 0.25%.
13. All pipes connecting to tank and boxes shall be cut flush with the inside wall of box.
14. PVC pipe to meet minimum standards of ASTM D-2729.
15. Absorption trenches shall not be installed or backfilled in wet, frozen, frost or snow covered soils.
16. Backfill material for the trenches shall contain no particles with any dimension greater than 4". Backfill septic material must be inspected and approved by the WCHD before installation.
17. No laterals shall be placed beneath a driveway or paved areas.
18. End caps to be placed at end of all 4" perforated P.V.C. pipe in absorption fields.
19. Run of bank sand and gravel and impervious material to be inspected and approved by the Design Engineer prior to installation of the proposed system. Fill shall contain no particles greater than 4" in diameter. Fill shall be placed over expansion area where shown as required by WCHD.
20. Fill stabilization may not be achieved by mechanical compaction Only by a natural settling, for a period required by W.C.H.D. which may include a freeze-thaw cycle. Percolation tests must be done in stabilized fill and must meet the design rate.
21. Prior to submission of Certificate of Compliance to WCHD, fill section must be stabilized with grass seed and hay cover.
22. Spa pool drainage and filter backwash will not discharge to any SSTA.

WCHD NOTES:

1. The design professional shall supervise the construction of the OWTS and make an open works inspection.
2. Within 24-hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to the Department.
3. There are DEC wetlands on site nor within 200' of OWTS. There are streams, ponds etc. with in 200' of SSTS. There are no reservior/reservior stems or controlled lake with in 500' of OWTS.
4. There is19,100 sqft of proposed disturbance.
5. There are no existing or proposed wells within 100 feet of the proposed OWTS nor within 200 feet in the line of drainage.
6. There are no existing OWTS within 200 ft of well unless otherwise shown on this plan.
7. Estimated construction and completion date: May 2023 to May 2024.
   a) Within 24 hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health (WCDH) that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to WCDH.
   b) That no backfilling of a completed OWTS can occur until after it has been inspected and accepted by the Westchester County Department of Health.
   c) After backfilling the OWTS, the area shall be covered with a minimum of 4 inches of clean top soil, seeded and mulched.
8. There shall be no trees within 10' of the OWTS.
9. Prior to any excavation, all underground utilities must be located. Call 1-800-962-7962.

MINIMUM RESTRICTIVE DISTANCES TO WELL:

1. Property Line 10 feet
2. Sewage System Tankage 50 feet
3. Foundation 10 feet
4. Swimming Pools 10 feet
5. Watercourse or Waterbody 50 feet
6. Absorption Trench 100 feet; 200 feet general path of drainage
7. Seepage Pit 150 feet; 200 feet general path of drainage
8. Tri-gallery, 4x4 150 feet; 200 feet general path of drainage
9. Flow Diffusor 100 feet; 200 feet general path of drainage

SEPTIC DESIGN AREA:	SLOPE
EXISTING EXPANSION SYSTEM AREA	10.0%
PROPOSED EXPANSION SYSTEM AREA	5.8%

0 20 40 80
SCALE: 1"=40'-0"

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PROJECT # 21-28

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
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www.sitedesignconsultants.com

Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

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SCALE: 1" = 40'
DRAWN BY: CS
DATE: 10/01/21

OWTS TANK RELOCATION & 100% EXPANSION DESIGN

SITE PLAN
PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle Westchester County, New York

Sheet 3 of 6

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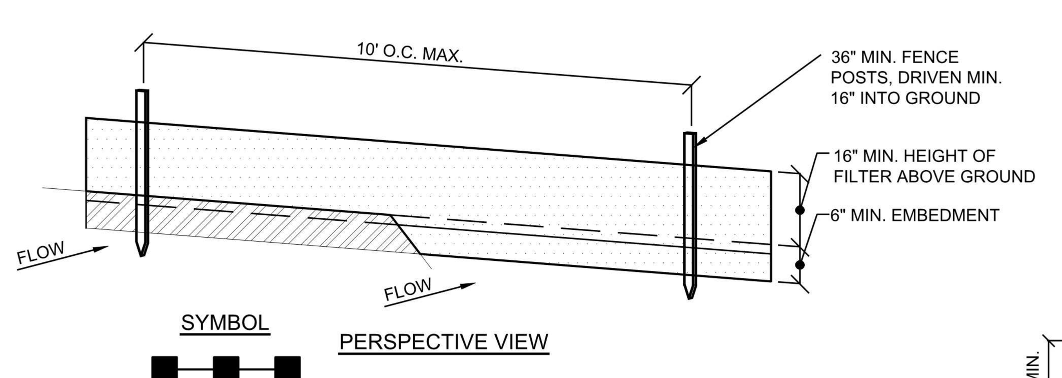
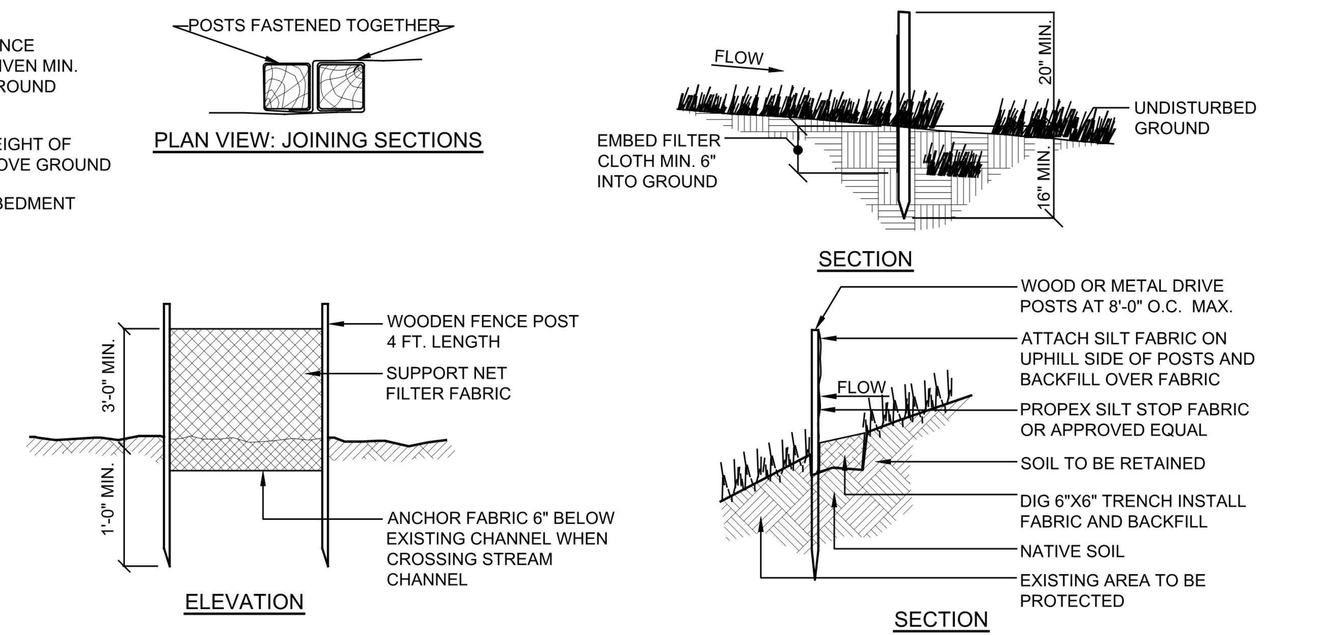
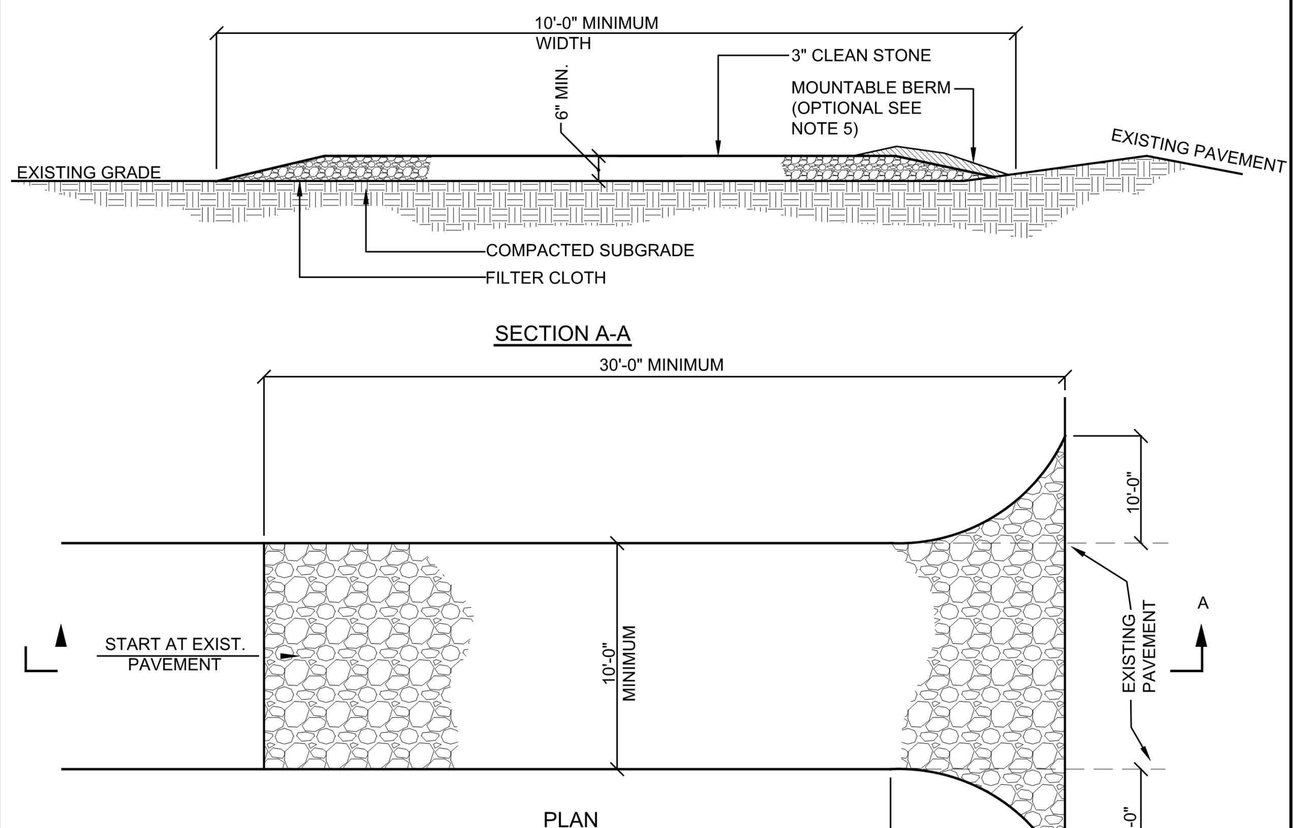




NOTES:
1. Filter cloth to be fastened securely to post: steel either t or u type or 2" hardwood posts at top and mid section.
2. When two sections of filter cloth adjoin each other they shall be overlapped by 6 inches and folded. Filter cloth shall be mirafi 100x, stabilinka t140n or approved equal
3. Maintenance shall be performed as needed and material removed when "bulges" develop in the silt fence.
4. Excavate 4 inch trench along the lower perimeter of the site.
5. Unroll a section at a time and position the post against the back (downstream) wall of the trench (net side away from direction of flow).
6. Drive the post into the ground until the netting is approximately 2 inches from the trench bottom.
7. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tamp the soil. Steeper slopes require an intercept trench.
8. Join sections as shown above.

E-1 SILT FENCE DETAIL

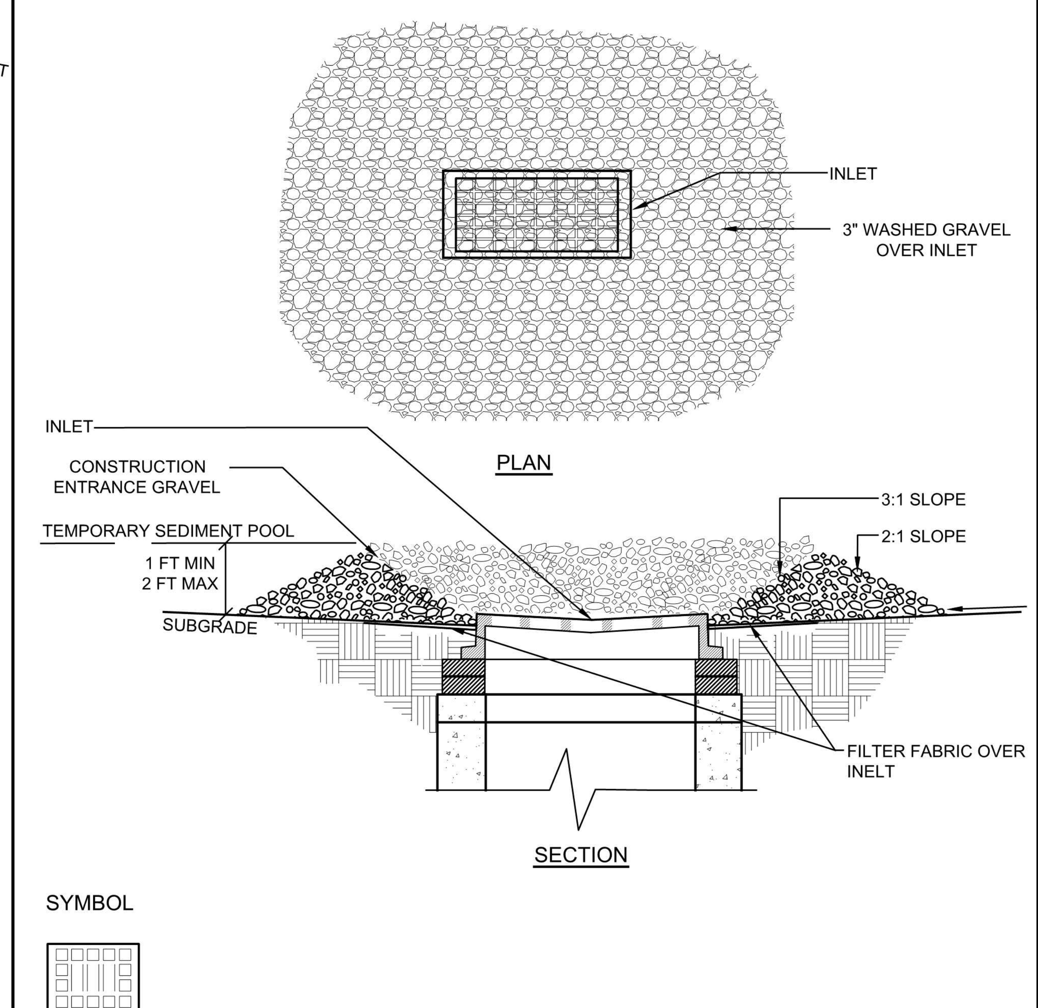
NOT TO SCALE



INSTALLATION NOTES:
1. Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
2. Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply.
3. Thickness - not less than six (6) inches.
4. Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
5. Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
6. Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
7. Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
8. Periodic inspection and needed maintenance shall be provided after each rain

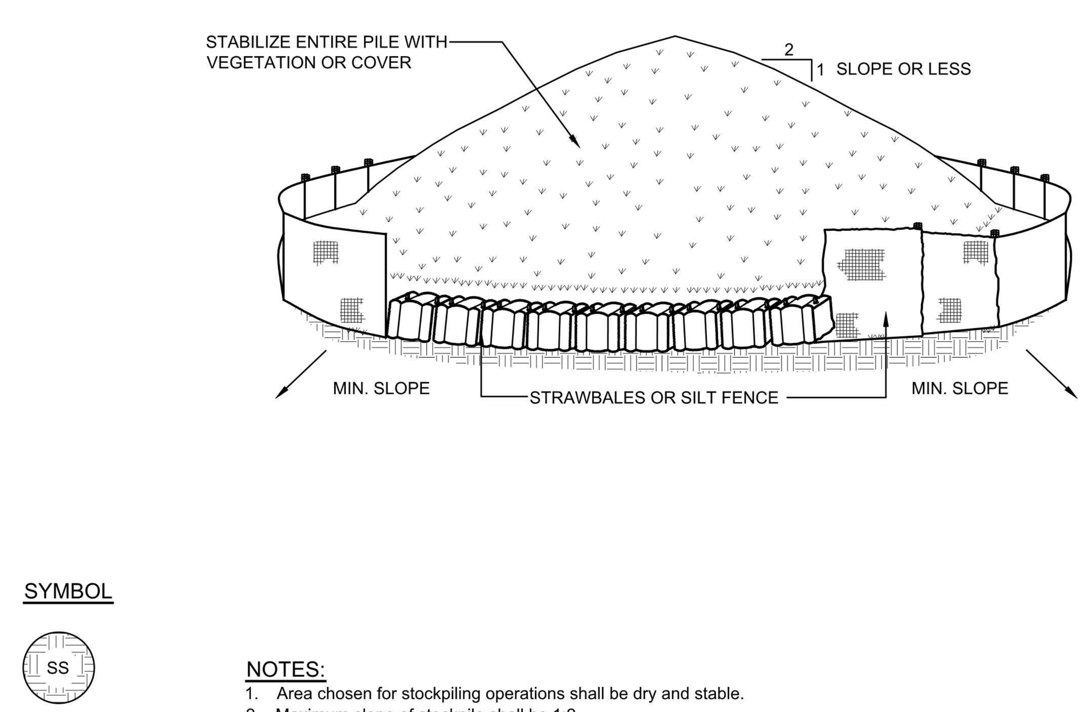
E-2 STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



E-3 INLET PROTECTION DETAIL

NOT TO SCALE



NOTES:
1. Area chosen for stockpiling operations shall be dry and stable.
2. Maximum slope of stockpile shall be 1:2.
3. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
4. See detail for installation of silt fence.

E-4 SOIL STOCKPILE DETAIL

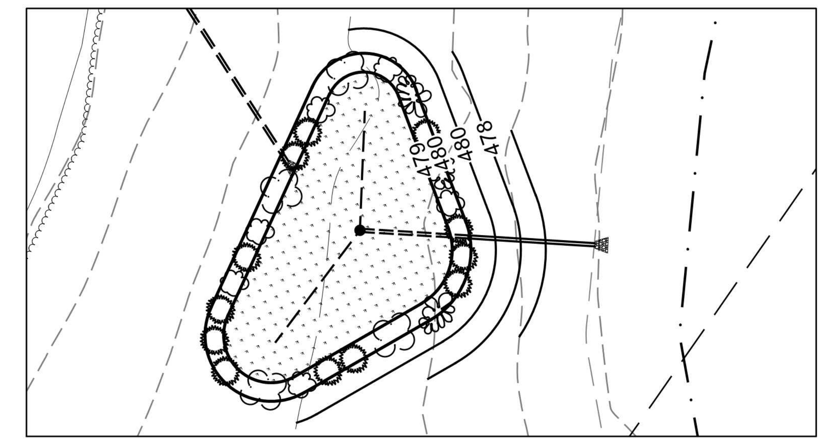
NOT TO SCALE

RAINGARDEN WORKSHEET

DA:	RAIN GARDEN	WQv (cf)	Nsm	Dsm (ft)	Vsm	Ndl	Ddl (ft)	Vdl	Dp (ft)	Af Required (sf)
1	1	914	0.2	2	433.2	0.4	0.5	216.6	0.5	830.91

Af Provided (sf)	Volume Provided (cf)	RRv provided		Total Area(ac):	Impervious Area(ac):
1083	1191.3	476.52	0.011	0.1465	0.1465

SW-3 RAIN GARDEN WORKSHEET



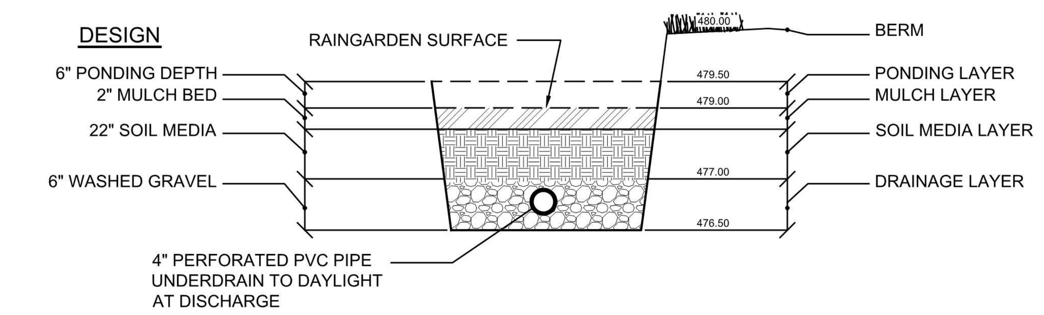
PLANT SPECIFICATIONS:

Suggested Shrubs List
WITCH HAZEL(Hamemelis virginiana)
WINTERBERRY(Ilex verticillata)
ARROWWOOD (Viburnum dentatum)
BROOK-SIDE ALDER (Alnus serrulata)
RED-OISER DOGWOOD (Cornus stolonifera)
SWEET PEPPERBUSH (Clethra alnifolia)

Suggested Herbaceous Plant List
CINNAMON FERN (Osmunda cinnamomea)
CUTLEAF CONEFLOWER (Rudbeckia laciniata)
WOOLGRASS (Scirpus cyperinus)
NEW ENGLAND ASTER (Aster novea-angliae)
FOX SEDGE (Carex culpinoidea)
SPOTTED JOE-PYE WEED (Eupatorium maculatum)
SWITCH GRASS (Panicum virgatum)
GREAT BLUE LOBELIA (Lobelia siphatica)
WILD BERGAMOT (Monarda fisulosa)
RED MILKWEED (Asclepias incarnata)

PLANTING SOIL SPECIFICATIONS:

- CLASSIFICATION	SM OR ML-UNIFIED SOIL CLASSIFICATION SYSTEM
- PERMEABILITY	1.0 FEET PER DAY OR 0.5% INCHES PER HOUR
- PH RANGE	5.2 TO 7.0%
- ORGANIC MATTER	1.5 TO 4.0%
- MAGNESIUM	35 LBS / ACRE PER MIN.
- PHOSPHORUS	75 LBS / ACRE PER MIN.
- POTASSIUM	85 LBS / ACRE PER MIN.
- SOLUBLE SALTS	< 500 PPM
- CLAY	UP TO 5%
- SILT	UP TO 30%
- SAND	UP TO 70%



SOIL MEDIA SPECIFICATIONS:

THE SOIL FOR RAIN GARDEN AREAS SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER OBJECTS LARGER THAN 50 MM IN DIAMETER. THE RAIN GARDEN SOIL SHALL BE VISIBLY FREE OF NOXIOS WEEDS. RAIN GARDEN SOIL SHALL BE A WELL BLENDED MIXTURE OF THREE(3) PARTS SAND AND ONE(1) PART TOPSOIL BY VOLUME. SAND SHALL MEET THE REQUIREMENTS OF DOT §703-07 CONCRETE SAND. TOPSOIL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF §713-01 TOPSOIL FOR TOPSOIL TYPE A, EXCEPT AS FOLLOWS:

- ALL TOPSOIL SHALL BE SAMPLED AND TESTED, REGARDLESS OF THE SOURCE
- SAMPLING OF TOPSOIL, AMENDED TOPSOIL, AND THE RAIN GARDEN SOIL SHALL BE DONE BY THE CONTRACTOR/ SUPPLIER. SAMPLING PROTOCOLS SHALL BE IN ACCORDANCE WITH §713-01 TOPSOIL.

THE RAIN GARDEN SOIL SHALL HAVE A PH RANGE OF 5.2 TO 7.6, AND AN ORGANIC CONTENT OF 3-7%. SOIL AMENDEMENTS TO INCREASE ORGANIC CONTENT SHALL BE PEAT MOSS IN ACCORDANCE WITH §713-15 ORGANIC MATTER.

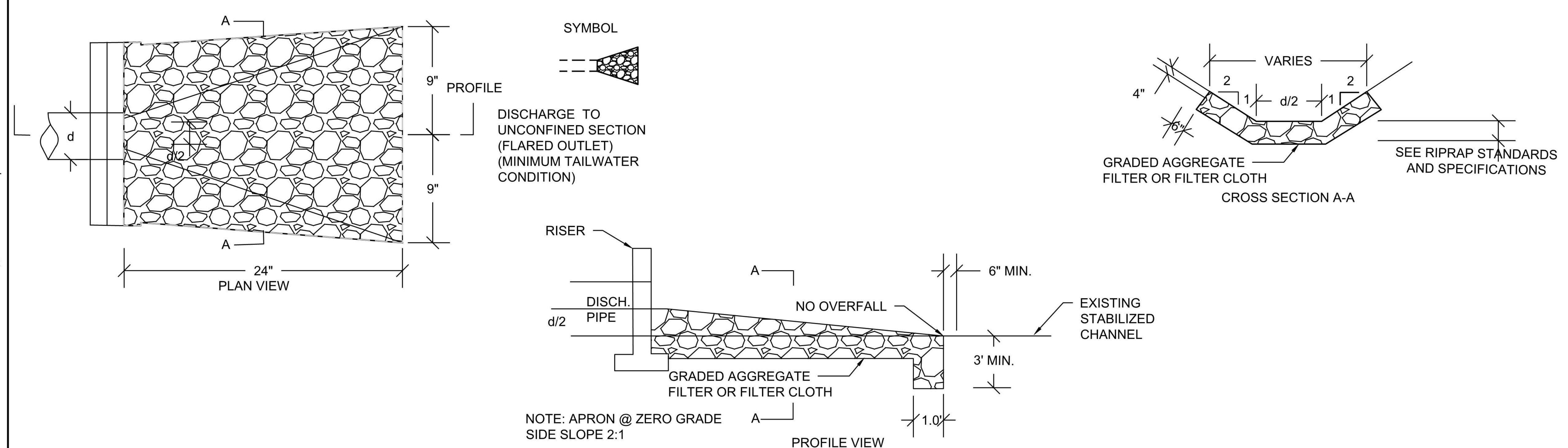
DRAINAGE LAYER SPECIFICATIONS:

POROSITY - 0.40

NOTE:
1. All shrubs shall be placed 5' O.C., and herbacious plants shall be spaced 18" O.C.
2. The upland side of the rain garden shall be protected from upgradient subsurface conditions with the installation of either a 12" thick clay barrier or placement of 6 mil polyethylene sheeting along the excavated side-walls of the drainage layers.

SW-1 RAIN GARDENS DETAIL

NOT TO SCALE



SW-2 RIP-RAP DETAIL

NOT TO SCALE

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION
DATED:____________________
______________________________ Date: ____________________
CHRISTOPHER CARTHY, CAHIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:
______________________________ Date: ____________________
JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

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PROJECT # 21-28

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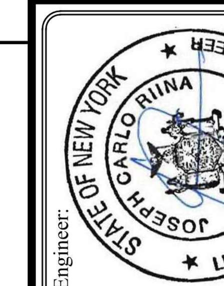
Engineer:



Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments:
1	1-7-21	HD Department
2	2-14-22	HD Department
3	3-4-22	HD Department
4	3-12-22	Plan updates
5	6-3-22	Plan updates
6	7-11-22	Plan updates
7	10-28-22	Town Comments
8	1-12-23	HD Department
9	4-3-23	HD Department
10	4-24-23	HD Department
11	9-25-23	Town Comments

SCALE: AS NOTED
DRAWN BY: CS
DATE: 10/01/21

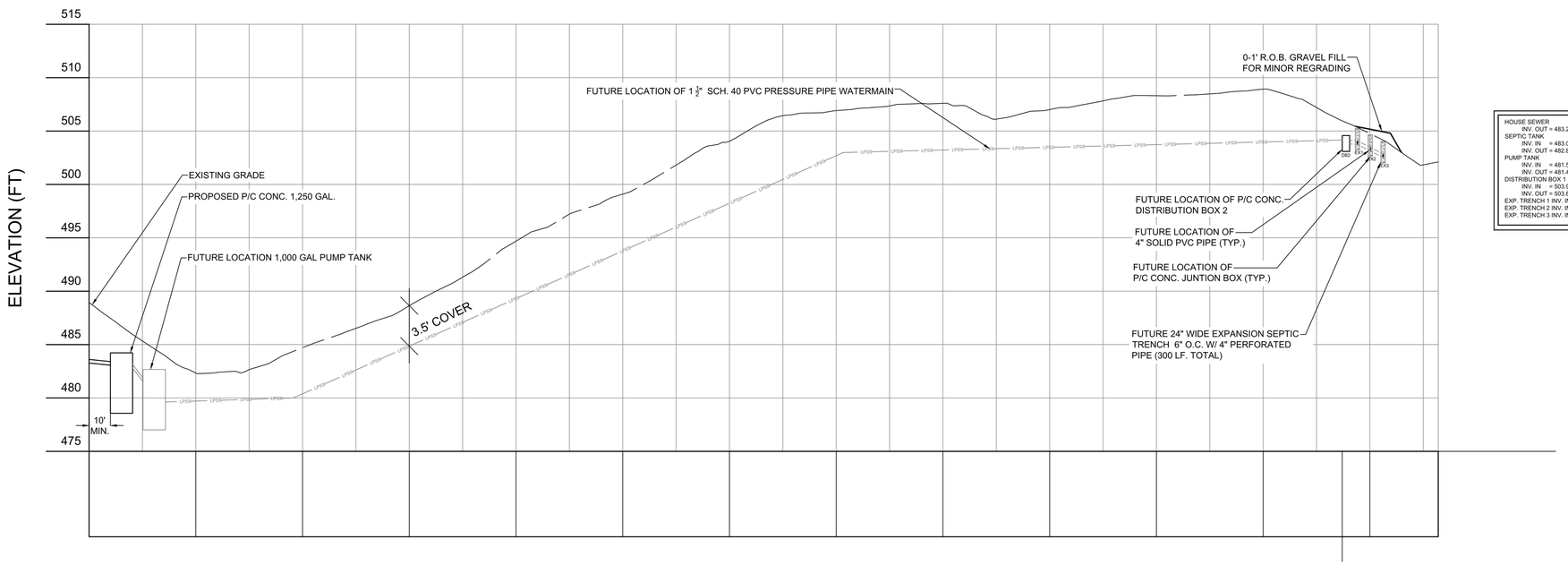
EROSION AND STORMWATER DETAILS

SITE PLAN
PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle Westchester County, New York

Sheet 5 of 6

F:\2021\21-28 KEITH ROSENTHAL - 10 CREEMER ROAD ARMONK\ENGINEERING\CAD\C3D 21-28 KEITH ROSENTHAL - 10 CREEMER ROAD ARMONK\DWG\21-28 ROSENTHAL SITE PLAN - 7-11-22.DWG 9/25/2023 5:53:12 PM

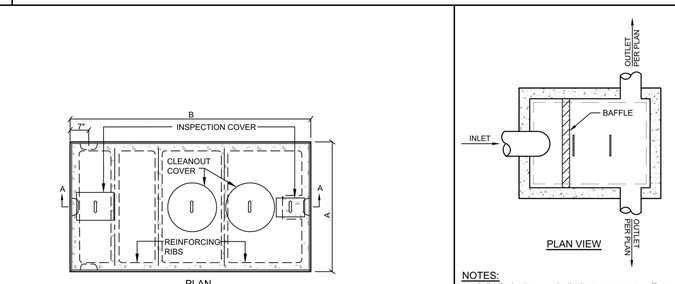
NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



Septic Profile

S-1 SEPTIC SYSTEM 100% EXPANSION PROFILE DETAIL

SCALE 1" = 30'



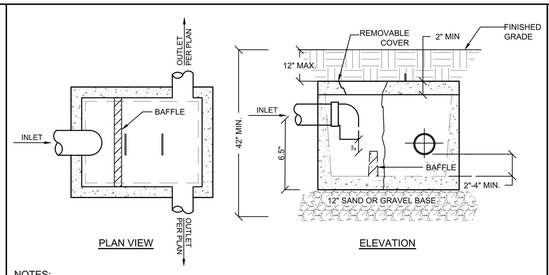
SEPTIC TANK SPECIFICATIONS & CAPACITIES												
LIQUID CAPACITY	A	B	C	D	E	F	G	H	I	J	K	
1,000 Gal.	58"	162"	67"	56"	48"	12"	3"	5"	4"	6"x9"	20"Ø	10"x14"
1,250 Gal.	60"	120"	67"	56"	48"	12"	3"	5"	4"	6"x9"	20"Ø	10"x14"
1,500 Gal.	65"	120"	67"	56"	48"	12"	3"	5"	4"	6"x9"	20"Ø	10"x14"
2,000 Gal.	78"	144"	67"	56"	48"	12"	3"	5"	4"	6"x9"	30"Ø	10"x14"

NOTE: Add 4" to H for H-20 Loading

NOTES:
1. The minimum required fill cover above the septic tank shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the septic tank is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
2. The dual compartment baffle is required on all septic tanks with a length "B" equal to or greater than 10 feet.
3. For installations that require an overflow tank, a tank the same size as the septic tank shall be used. Dual compartment baffles are not required on overflow tanks regardless of the size.
4. All pipes connecting to the tank shall be cut flush with the inside wall.
5. Septic tank has a top loading capacity of 300 psf
6. Tank shall be manufactured by Mid Hudson Concrete Products, Inc.

S-2 PRECAST CONCRETE SEPTIC TANK DETAIL AND OVERFLOW TANK DETAIL

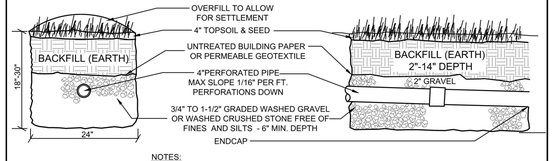
NOT TO SCALE



NOTES:
1. A distribution box evenly distributes wastewater effluent to subsurface absorption areas or seepage pits.
2. Distribution boxes shall be waterproof and constructed of concrete and the concrete shall have a minimum compressive strength of 2,500 pounds per square inch at 28 day set.
3. For accessibility, it is necessary that the distribution box be located and have a removable cover not more than twelve (12) inches below grade. Where, due to site conditions, a distribution box must be greater than twelve (12) inches below the surface, an extension collar shall be installed to within twelve (12) inches of the surface.
4. All outlets from the distribution box shall be at the same level to insure the even distribution of flow.
5. To minimize frost action and reduce the possibility of movement after the distribution box has been installed, distribution boxes must be set on a bed of sand or pea gravel at twelve (12) inches thick. In addition, the bottom of the box must be set level and supported solidly to below the frost line and the footing is to extend to 42 inches below ground level.
6. All distribution boxes shall be equipped with a 90 degree elbow facing down on the inlet pipe and a baffle.
7. The drop between the inlet and outlet inverts shall be at least two (2) inches.
8. There shall be a minimum two (2) inch clearance between the inverts of the outlets and the bottom of the box to prevent short circuiting and reduce solids carry-over.
9. Speed leveler devices on the outlets are recommended to ensure equal flow to each lateral.
10. Distribution boxes should be inspected periodically to ensure equal flow to all absorption lines and to check for solids leaving the septic tank.
11. Tight joint pipe from the septic tank, discharge line from dose chamber, or forcemain from pump chamber to inlet side of distribution box.
12. Tight joint pipe between all boxes.
13. Outlet pipes to be cut flushwith inside of distribution box

S-3 DISTRIBUTION BOX DETAIL

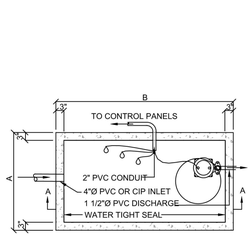
NOT TO SCALE



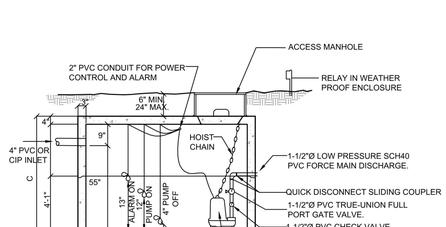
NOTES:
1. Ends of all trenches are to be capped.
2. Minimum 5' of soil between the bottom of absorption trench and presence of groundwater table and/or creviced rock.
3. Maximum slope, 4 inch gravity distribution lines (1/16" per ft) 0.5% maximum.
4. Maximum slope, when dosing is provided (1/32" per ft) 0.25% maximum.

S-4 PERFORATED PIPE TRENCH DETAIL

NOT TO SCALE



PUMP TANK SPECIFICATIONS & CAPACITIES			
LIQUID CAPACITY	A	B	C
1000 Gal.	58"	102"	68"



S-5 PUMP CHAMBER DETAIL

NOT TO SCALE

VOLUME TO BE PUMPED TO SYSTEM:

REQUIRED VOLUME	= 0.5 GAL. / L.F. X 276 L.F.
	= 138 GAL.
	= 138 GAL./7.48 GAL./C.F. = 18.45 C.F.
BACKFLOW VOLUME	= 3.14 X .0625^2 X 325 L.F. = 3.98
TOTAL VOLUME PUMPED	= 18.45 + 3.98 = 22.43 CF
PUMP CHAMBER INTERIOR DIMENSIONS:	
	= 8.0' X 4.33' = 34.67 S.F PER FOOT OF HEIGHT
THEREFORE, REQUIRED DISTANCE BETWEEN ON/OFF FLOAT SWITCH:	
	= 22.43C.F./ 34.67 S.F. PER FOOT
	= 0.65' OR 8"
PUMP CHAMBER STORAGE VOLUME:	
	= 34.67 S.F. X 3.5' X 7.48 GAL/CF = 907 GAL. > 715 GAL.

PUMP CALCULATIONS:

TOTAL FLOW: 715 GAL. /DAY
LENGTH OF FIELDS: 276 L.F. W/24" TRENCHES
RATE OF PUMPING: 0.5 GAL./L.F.

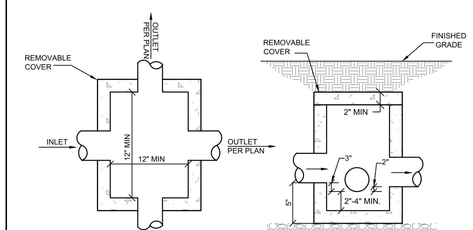
HEAD LOSS CALCULATION:

TOTAL HEAD LOSS = STATIC LOSS + FRICTION LOSS + MINOR LOSS
FROM DESIGN CALCULATIONS:
TDH = 29' + 4' = 33'

NOTES:
1. The minimum required fill cover above the pump chamber shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the pump chamber is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
2. Pump shall be Hydromatic pump Model SHEF 45, 2" discharge, 0.5 HP, single phase, 3,450 RPM, 3/4" solids handling, rated capacity of 25 GPM @ 33 Ft TDH.
3. The Contractor shall provide one (1) spare pump of equal size to be maintained on site at all times.
4. Pump chamber as manufactured by Mid Hudson Concrete Products Inc.
5. Pump settings may vary for tanks whose dimensions differ from those shown above. Contractor shall notify engineer of any change.
6. All pipes connecting to the chamber shall be cut flush with the inside wall.
5. Contractor shall supply and install control / alarm panel within building basement or other approved location.
6. Electrical Underwriters Certificate is required for all installations.

S-6 JUNCTION BOX DETAIL

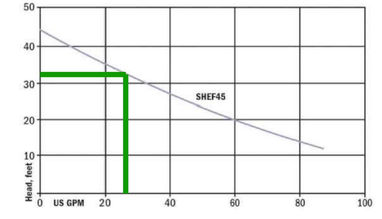
NOT TO SCALE



NOTES:
1. Bottom of junction box must be level and firmly supported below frost line.
2. Junction box footing shall extend to 36" below ground level.
3. Junction boxes shall be placed on single branch distributors.
4. Junction boxes shall be constructed of waterproofed masonry construction.
5. Tight joint pipe shall be used between the septic tank and junction box and between all junction boxes and laterals.
4. All pipes connecting to the junction box shall be cut flush with the inside wall.
5. Maximum cover above junction boxes shall be 12 inches.
6. The clear inside dimension of junction boxes shall be a minimum of 12" x 12".
7. All pipes shall be cut flush with inside of junction box.
8. First foot of pipe from junction box to trenches will be non-perforated.

S-7 PUMP CURVE DETAIL

NOT TO SCALE



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Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
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PROJECT # 21-28

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Engineer: STATE OF NEW YORK JOSEPH CARLO RINA LICENSED PROFESSIONAL ENGINEER 64431

Joseph L. Rina, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments:
1	1-12-23	HD Department
2	2-14-23	HD Department
3	3-4-23	HD Department
4	3-17-23	Plan updates
5	6-1-23	Plan updates
6	10-12-23	Plan updates
7	10-26-23	Town Comments
8	1-12-23	HD Department
9	4-3-23	HD Department
10	4-24-24	HD Department
11	9-23-24	Town Comments

SCALE: AS NOTED

DRAWN BY: CS

DATE: 10/01/21

SEPTIC DETAILS

SITE PLAN PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle Westchester County, New York

Sheet 6 of 6

F:\2021\21-28 KEITH ROSENTHAL - 10 CREEMER ROAD ARMONK\ENGINEERING\CAD\CSD-21-28 KEITH ROSENTHAL - 10 CREEMER ROAD ARMONK.DWG 8/25/2023 5:53:12 PM - 7-11-22 DWG 8/25/2023

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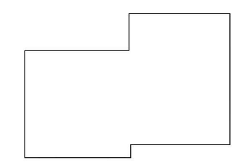
Rosenthal

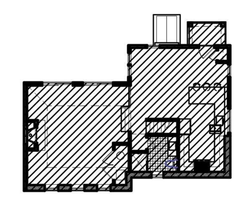
10 Creemer Road   Armonk, NY

GUEST HOUSE FLOOR PLANS

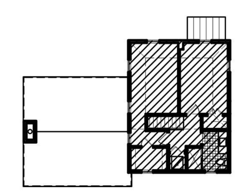
(NOT TO SCALE)



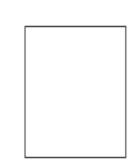
BASEMENT FLOOR: N.A.



FIRST FLOOR: 993 S.F.



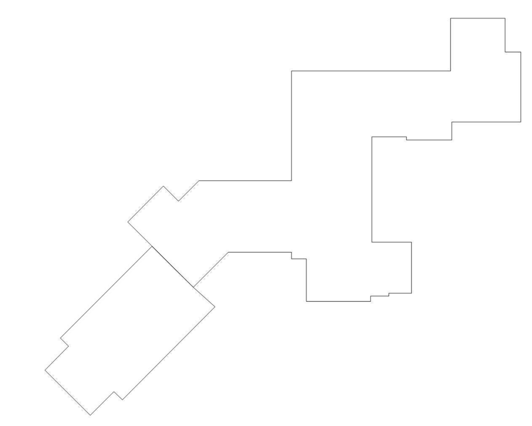
SECOND FLOOR: 520 S.F.



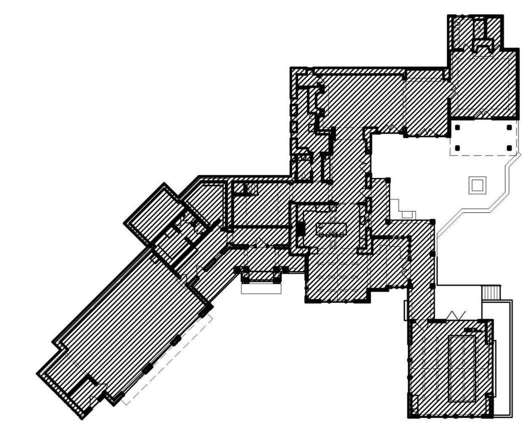
ATTIC FLOOR: 0 S.F.

MAIN HOUSE FLOOR PLANS

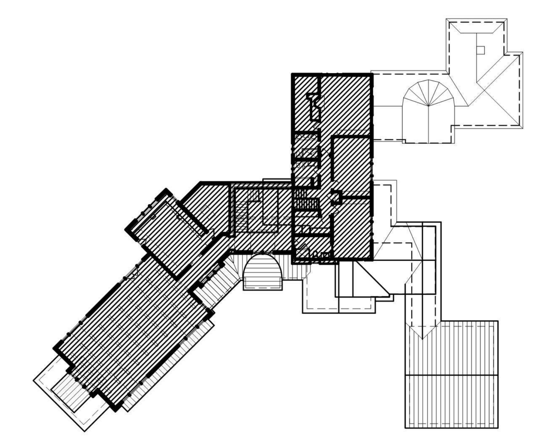
(NOT TO SCALE)



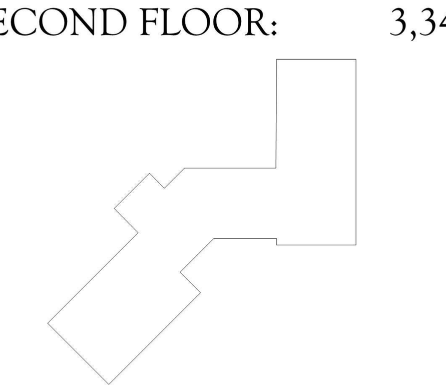
BASEMENT FLOOR: N.A.



FIRST FLOOR: 6,467 S.F.



SECOND FLOOR: 3,347 S.F.



ATTIC FLOOR: 0 S.F.

F.A.R. SCHEDULE (GUEST HOUSE)

ZONE: R-2A	FAR: WORKSHEET	NET LOT: 233,3921 SF
PERMITTED FLOOR AREA:		15,397 SF
FLOOR AREA CALCULATIONS AS CURRENTLY DEFINED IN THE TOWN OF NORTH CASTLE ZONING CODE		
	EXISTING	PROPOSED
BASEMENT FLOOR	0 SF	0 SF
FIRST FLOOR	881 SF	993 SF
SECOND FLOOR	357 SF	520 SF
ATTIC FLOOR	0 SF	0 SF
TOTAL FLOOR AREA	1,238 SF	1,513 SF
MAIN HOUSE		9,814 SF
CODE:	15,397 SF >	11,327 SF

F.A.R. SCHEDULE (MAIN HOUSE)

ZONE: R-2A	FAR: WORKSHEET	NET LOT: 233,921 SF
PERMITTED FLOOR AREA:		15,397 SF
FLOOR AREA CALCULATIONS AS CURRENTLY DEFINED IN THE TOWN OF NORTH CASTLE ZONING CODE		
	EXISTING	PROPOSED
BASEMENT FLOOR	0 SF	0 SF
FIRST FLOOR	2,776 SF	6,467 SF
SECOND FLOOR	1,329 SF	3,347 SF
ATTIC FLOOR	0 SF	0 SF
TOTAL FLOOR AREA	4,105 SF	9,814 SF
GUEST HOUSE		1,513 SF
CODE:	15,397 SF >	11,327 SF

MAX. ACCESSORY APT. : 660 SF SIZE FIRST 2,000 SF   MAX. ACCESSORY APT. : 1,950.25 SF SIZE OVER 2,000 SF   TOTAL MAX. PERMITTED : 2,610.25 SF APT. SIZE

MAIN HOUSE: 9,814 SF / GUEST HOUSE: 1,513 SF = 15.41%
15.41% < 25% MAX PERMITTED

SECTION: 108.02   BLOCK: 02   LOT: 60

SHEET INDEX

MAIN HOUSE No.	DRAWING	GUEST HOUSE No.	DRAWING
A01	TITLE SHEET		
A02	DEMOLITION PLAN	B01	DEMOLITION PLAN
A03	DEMOLITION PLAN	B02	FOUNDATION / PLAN
A04	FOUNDATION PLAN	B03	FOUNDATION DETAILS
A05	FOUNDATION DETAILS	B04	FLOOR PLANS
A06	FOUNDATION DETAILS	B05	FRAMING LAYOUTS
A07	FIRST FLOOR PLAN	B06	ELEVATIONS
A08	SECOND FLOOR PLAN	B07	WINDOW & DOOR SCHEDULE
A09	FRAMING LAYOUT (FLOOR)	B08	DETAILS
A10	FRAMING LAYOUT (CEILING)		
A11	FRAMING LAYOUT (ROOF)		
A12	ELEVATIONS		
A13	ELEVATIONS		
A14	ELEVATIONS		
A15	ELEVATIONS		
A16	WINDOW & DOOR SCHEDULE		
A17	DETAILS		
A18	DETAILS		
A19	DETAILS		
P01	PLUMBING RISER DIAGRAM	BP01	PLUMBING RISER DIAGRAM
E01	ELECTRICAL FIXTURE LAYOUT	BE01	ELECTRICAL FIXTURE LAYOUT
E02	ELECTRICAL FIXTURE LAYOUT	BE02	ELECTRICAL FIXTURE LAYOUT

STATEMENT OF COMPLIANCE

THE ARCHITECT, JUSTIN F. MINIERI A.I.A. (N.Y.S. LIC. NO. 18332) HAS PREPARED THE CONSTRUCTION DOCUMENTS, WRITTEN & FIGURATIVELY IN COMPLIANCE WITH THE LATEST APPLICABLE SECTIONS OF LOCAL AND STATE BUILDING CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE.

TRUSS IDENTIFICATION SIGN

REQUIRED SYMBOL: V FR

- THE SIGN SHALL BE IN CONFORMANCE WITH NYCRR SECTION 1265 FOR ONE & TWO FAMILY DWELLINGS.
- THE SIGN SHALL BE SECURELY AFFIXED TO THE EXTERIOR ELECTRIC METER OR AN ALTERNATE LOCATION APPROVED BY CODE, WHENEVER IT IS NOT POSSIBLE TO DO SO. REVIEW LOCATION WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.

GENERAL NOTES

1. G.C. SHALL REVIEW PLANS AND SPECIFICATIONS PRIOR TO START OF WORK. ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCY.
2. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS. LARGE SCALE DETAILS AND DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
3. G.C. SHALL INCLUDE ALL LABOR, MATERIAL, AND EQUIPMENT FOR ALL SHOWN OR SPECIFIED, INCLUDING TEMPORARY FACILITIES AND/OR SUPPORTING STRUCTURES.
4. G.C. SHALL BE RESPONSIBLE TO SECURE ALL PERMITS FOR CONSTRUCTION.
5. G.C. SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SUBMIT TO OWNER.
6. G.C. SHALL CHECK ALL EXISTING CONDITIONS PRIOR TO START OF WORK. G.C. SHALL BE RESPONSIBLE TO VERIFY THE LOCATION OF ALL VISIBLE AND NON-VISIBLE UTILITY SERVICES.
7. ALL LABOR, MATERIALS, AND CONSTRUCTION SHALL COMPLY AND CONFORM WITH ALL RULES, REGULATIONS, CODES AND ORDINANCES OF ALL FEDERAL, STATE AND AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
8. THE G.C. SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL, RUBBISH, IMPLEMENTS AND SURPLUS MATERIALS. THE G.C. SHALL LEAVE THE BUILDING BROOM CLEAN.
9. G.C. SHALL PROVIDE UNDERSLAB PIPING FOR FUTURE RADON MITIGATION MAKE AND PROVISIONS FOR FUTURE VENTING. G.C. SHALL BE RESPONSIBLE FOR ALL RADON TESTING.
10. THE H.V.A.C. SYSTEM SHALL BE DESIGNED BY A QUALIFIED, CERTIFIED H.V.A.C. CONTRACTOR AND / OR MECHANICAL ENGINEER RETAINED BY THE G.C. ALL APPROVALS SHALL BE OBTAINED BY THE G.C. HVAC CONTRACTORSHALL PROVIDE COMPLETE MANUEL J & MANUEL S CALCULATIONS.
11. ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL & NATIONAL FIRE UNDERWRITER CODES & LOCAL UTILITY CO.
12. A MINIMUM OF 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH EFFICACY LAMPS PER 404.1 OF 2020 RCNYS.
13. ALL CHIMNEYS, FLUES AND GAS VENTS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTERS 10 AND 18 OF THE NYS RESIDENTIAL CODE.
14. FIREPLACES SHALL BE COMPLETE WITH FRESH AIR INTAKE DUCT. ALL HEARTHS TO BE 20 - IN. DEEP (MIN.). PROVIDE TIGHT-FITTING NON-COMBUSTIBLE GLASS DOORS AT EACH FIREPLACE IN CONFORMANCE WITH N1102.4.2 (R402.4.2) OF THE 2020 RCNYS. OWNER SHALL SELECT DOOR TYPE.
15. G.C. SHALL INSTALL A COMPLETE SMOKE AND CARBON MONOXIDE ALARM SYSTEM THROUGHOUT HOUSE. PROVIDE A SMOKE ALARM UNIT IN EACH BEDROOM AND SMOKE/CARBON ALARM(S) ON EACH FLOOR INCLUDING BASEMENT IN COMPLIANCE WITH N.Y.S. RESIDENTIAL CODE, SECTION R 317.1.1. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACK - UP. ALL ALARMS SHALL ACTUATE SIMULTANEOUSLY BUT DISTINCTIVE ALARM SIGNAL SHALL BE USED TO DIFFERENTIATE EACH TYPE OF ALARM. ALARMS SHALL BE CODE APPROVED AND U.L. LISTED.
16. G.C. SHALL HAVE PROFESSIONAL APPLIED CHEMICAL-TERMICIDE TREATMENT TO SOIL FOR PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER R318.2 OF THE 2020 RCNYS. G.C. SHALL PROVIDE ALL REQUIRED DOCUMENTATIONS TO LOCAL MUNICIPALITY.
17. G.C. SHALL BE RESPONSIBLE TO RETAIN THE SERVICES OF A CERTIFIED "HERS" RATER. THE "HERS" RATER SHALL PROVIDE A COPY OF PROJECTED COMPLIANCE REPORT PER 2020 RCNYS AND PERFORM THE DOOR BLOWER TEST AND PROVIDE REQUIRED CERTIFICATIONS.

MANUAL J DESIGN CRITERIA

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECT. FACTOR	INDOOR DESIGN TEMP.	DESIGN TEMP. COOLING	HEATING TEMP. DIFF.	COOLING TEMP. DIFF.	WIND VELOCITY HEATING	WIND VELOCITY COOLING	COINCIDENT WET BULB	DAILY RANGE	WINTER HUMIDITY	SUMMER HUMIDITY
439	41	12	87		70	75	68	20				M	30	

DESIGN LOADS

SOIL BEARING:	4000 PSF	
FLOOR:	60 PSF	(40 L + 20 D)
ATTIC: (4'-6" AND GREATER HEADROOM)	45 PSF	(30 L + 15 D)
ATTIC: (LESS THAN 4'-6" HEADROOM)	30 PSF	(20 L + 10 D)
ROOF: (SNOW LOAD)	60 PSF	(45 L + 15 D)
PORCH & DECK:	70 PSF	(60 L + 10 D)
GUARDRAILS & HANDRAILS:	200 PLF	

MATERIAL STRENGTHS

CONCRETE:	4000 PSI
DIMENSIONAL LUMBER:	950 PSI
ENGINEERED LUMBER:	
• GLULAM	2400 PSI
• LAMINATED VENEER LUMBER	2600 PSI
• PARALLEL STRAND LUMBER	2900 PSI
STRUCTURAL STEEL:	36,000 PSI

2020 ECCCNYS

BUILDING TYPE: ONE & TWO FAMILY DWELLING   DESIGN TEMPERATURE: 0 DEGREES F. / 72 DEGREES F.
DESIGN DEGREE DAYS: 5000 - 6000   CODE DESIGN METHOD: CHAPTER 4; PRESCRIPTIVE BUILDING ENVELOPE (SECTIONS 402.1-402.3)

TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR[b]	SKYLIGHT[b] U-FACTOR	GLAZED FENESTRATION SHGC[b,e]	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT[c] WALL R-VALUE	SLAB[d] R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
4	0.31	0.55	0.40	49	20 or 13 + 5	8/13	19	10/13	10, 2 FT	10/13

a. R-VALUES ARE MINIMUMS. U-FACTORS & SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN THE CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.

b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATES ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.

c. "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.

d. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTHS SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN ZONES 1 THROUGH 3 FOR HEATED SLABS.

e. THERE IS NO SHGC REQUIREMENTS IN THE MARINE ZONE.

h. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.

i. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.

I, JUSTIN F. MINIERI, AIA (N.Y.S. LIC. NO. 18332) CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE SECTIONS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE .

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

TABLE R301.2(1)

GROUND SNOW LOAD	WIND DESIGN: SPEED	TOPO GRAPHIC EFFECTS	SPECIAL REGION WINDS	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM: WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
20 PSF	115-120 MPH	NONE	YES	YES	B	SEVERE	42"	MODERATE TO HEAVY	0°- 10° F	YES	YES (ZONE X)	1000 OR LESS	52.2 F

Armonk, NY

Proposed Addition & Alteration to
Rosenthal Residence
10 Creemer Road

JUSTIN F. MINIERI, AIA
NCARB MEMBER
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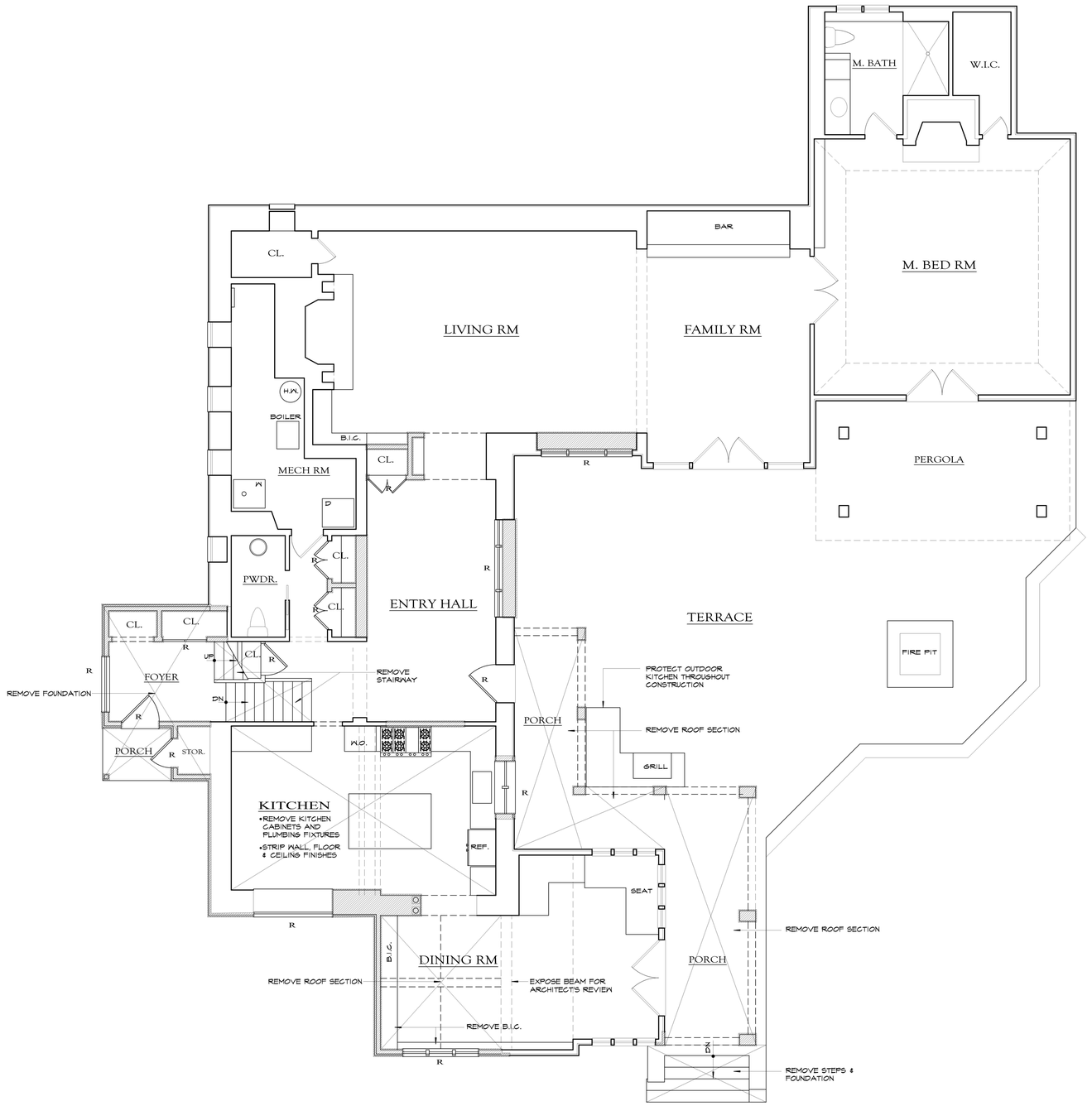
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A01
TITLE

Rosenthal / 220079



DEMOLITION PLAN

SCALE: 1/4"= 1'-0" FIRST FLOOR

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE RE-USED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.

LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- E — WINDOW OR DOOR TO REMAIN
- R — WINDOW OR DOOR TO BE REMOVED
- S — WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR RE-USE)

DO NOT SCALE PRINTS

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

JUSTIN F. MINIERI, AIA
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DATE: 1/31/22

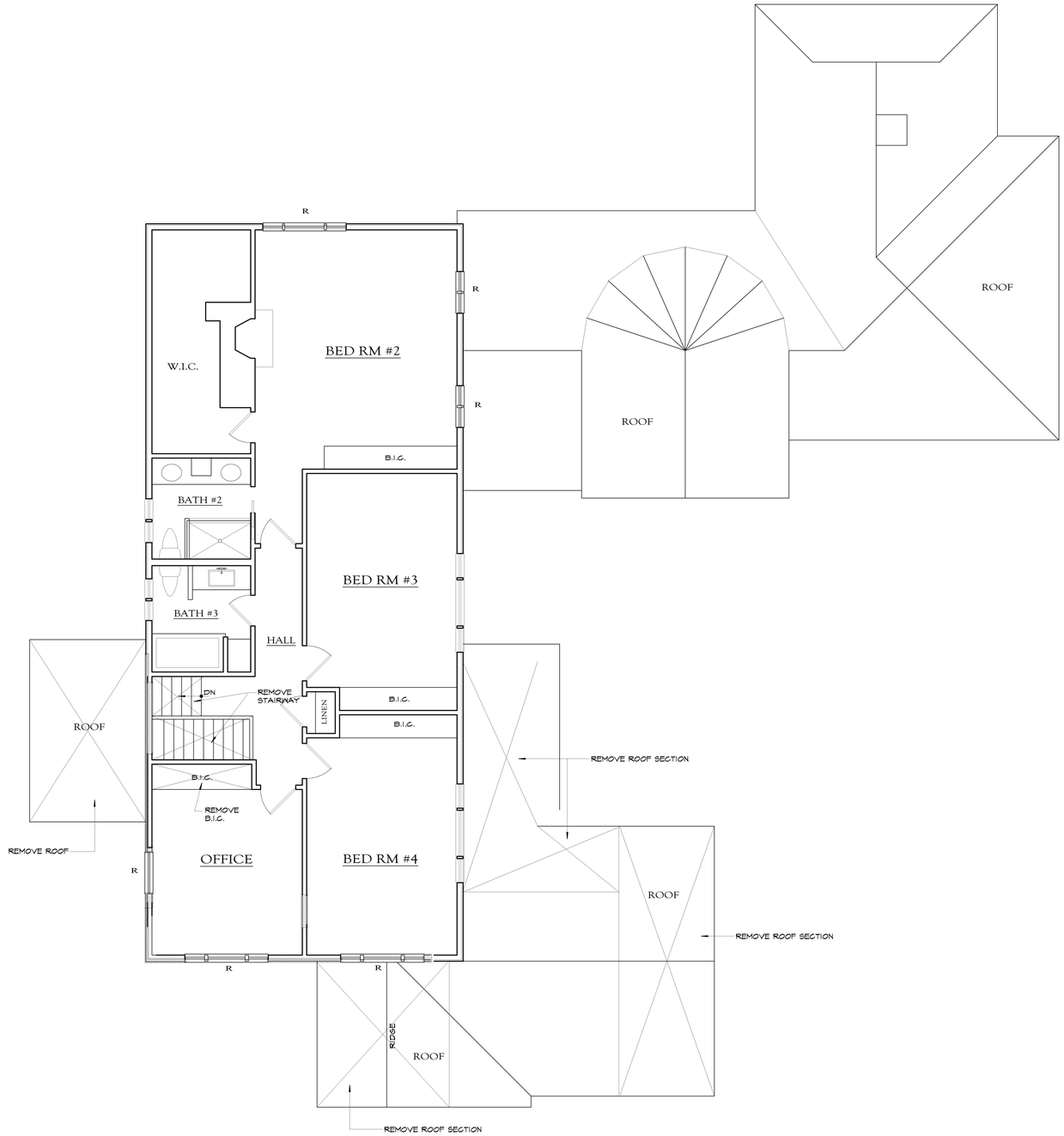
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A02

DEMO PLAN

Rosenthal / 220079



DEMOLITION PLAN

SCALE: 1/4"= 1'-0" SECOND FLOOR

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
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8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
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10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
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LEGEND

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- EXISTING WALL TO BE REMOVED
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DATE: 1/31/22

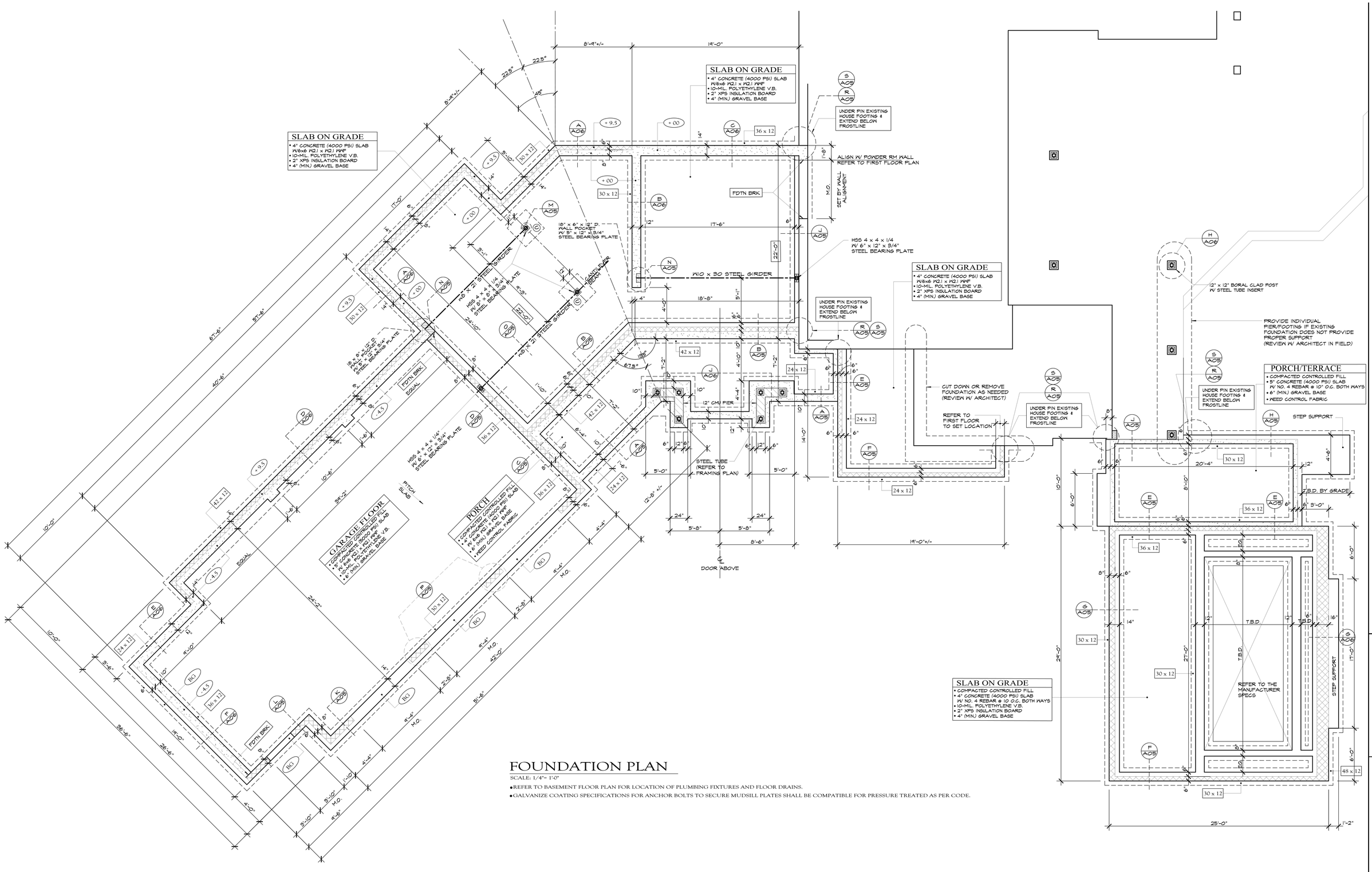
REVISIONS: 8/25/23

ORIGINAL ARCHITECTS SEAL IN RED INK

DWG No. A03

DEMO PLAN

Rosenthal / 220079



FOUNDATION PLAN

SCALE: 1/4"= 1'-0"

- REFER TO BASEMENT FLOOR PLAN FOR LOCATION OF PLUMBING FIXTURES AND FLOOR DRAINS.
- GALVANIZE COATING SPECIFICATIONS FOR ANCHOR BOLTS TO SECURE MUDSILL PLATES SHALL BE COMPATIBLE FOR PRESSURE TREATED AS PER CODE.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT ALL FOUNDATION DIMENSIONS ARE ACCURATE & CLOSE PRIOR TO PLACING CONCRETE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

2. ALL FOOTINGS MUST BEAR ON SOLID, UNDISTURBED "VIRGIN" SOIL BELOW FROSTLINE.

3. DESIGN OF ALL CONCRETE SHALL CONFORM TO THE LATEST EDITION OF ACI SPECIFICATIONS AND PRODUCED IN APPROVED MIXING PLANT IN ACCORDANCE WITH ASTM REQUIREMENTS. CONCRETE STRENGTH FOR VARIOUS USES SHALL BE AS SPECIFIED IN THE FOLLOWING SCHEDULE; (MIN. COMPRESSIVE STRENGTH, f'c AT 28 DAYS)

- FOOTINGS, FOUNDATIONS & INTERIOR FLOOR SLABS.....4000 PSI
- GARAGE & EXTERIOR FLOOR SLABS.....5000 PSI

4. STEEL BEAMS SHALL CONFORM TO ASTM SPECIFICATIONS A36 FOR STRUCTURAL STEEL. (Fy = 36 KSI)

5. STEEL COLUMNS SHALL BE STANDARD STEEL PIPE AND CONFORM TO ASTM SPECIFICATIONS A53 GRADE B FOR STRUCTURAL STEEL. (Fy = 35 KSI)

6. FOUNDATION WALL FOOTINGS SHALL BE REINFORCED CONCRETE (SEE WALL SECTION). 12-IN. DEEP AND 12-IN. (MIN) WIDER THAN WIDTH OF FOUNDATION, UNLESS NOTED OTHERWISE.

7. CMU SHALL BE LOAD BEARING CONCRETE BLOCK LAID LEVEL AND PLUMB IN A FULL BED OF CEMENT MORTAR. ALL JOINTS SHALL BE FILLED AND PROPERLY TOOLED. HORIZONTAL JOINTS SHALL BE REINFORCED WITH DUR-O-WALL WIRE @ 16-IN ON CENTER. CEMENT GROUT SOLID CORES WITH REBAR.

8. BAR REINFORCING STEEL FOR CONCRETE SHALL BE GRADE 60 DEFORMED BARS EXCEPT FOR TIES, WHICH MAY BE PLAIN, SHALL CONFORM TO ASTM SPECIFICATIONS. REINFORCEMENT STEEL BARS (REBAR) SHALL BE NO. 4 UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS AND DETAILS FOR REBAR PLACEMENT.

9. PROVIDE WALL AND/OR FOOTING SLEEVES AS REQUIRED FOR UTILITIES.

10. FOUNDATION WALL SHELVES FOR MASONRY VENEER BEARING SHALL BE BELOW FINISH GRADE.

11. PROVIDE 1/2-IN. DIAMETER x 18-IN. GALVANIZED ANCHOR J-BOLT W/ WASHERS AT 48-IN. O.C. (MAX.) TO SECURE MUD SILL PLATES TO TOP OF FOUNDATION WALL.

12. FILLED AREAS TO BE MECHANICALLY COMPACTED.

13. PROVIDE FOOTING DRAINS TO APPROVED STORM DRAINAGE SYSTEM.

14. PROVIDE PRESSURE TREATED (PT) 2x SUB-FRAME AT WINDOW AND DOOR MASONRY OPENINGS.

15. FLATWORK SCHEDULE WHERE APPLICABLE:

- BASEMENT FLOOR SLAB .....4-IN. THICK
- INTERIOR FLOOR SLAB .....4-IN. THICK
- CRAWL SPACE FLOOR SLAB .....2-IN. THICK
- GARAGE FLOOR SLAB .....5-IN. THICK
- EXTERIOR FLOOR SLAB .....5-IN. THICK

15. ALL SLABS EXCEPT AT CRAWL SPACE SHALL BE REINFORCED WITH 6 x 6 W2.1 x W2.1 W.W.F. PITCH GARAGE AND EXTERIOR SLABS FOR FOR DRAINAGE. PROVIDE GRAVEL BASE (4-IN. MIN.) BENEATH ALL CONCRETE SLABS.

16. PROVIDE 6-MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL INTERIOR FLOOR SLABS INCLUDING GARAGE.

17. ALL STEEL GIRDER, COLUMN, PLATES, ETC.....SHALL BE SHOP PRIMED WITH (1) COAT OF RUST PROHIBITOR AND A SECOND COAT APPLIED IN THE FIELD.

18. PROVIDE COPPER TERMITE SHIELD AT TOP OF FOUNDATION WALLS ENCLOSING CRAWL SPACE(IF ANY), AS SHOWN ON THE WALL SECTION. MAINTAIN SEPARATION FROM P.T. MUDSILL WITH E.P.S. SILL SEALER.

COLD WEATHER

THE MIX, PLACING AND CURING OF STRUCTURAL CONCRETE SHALL COMPLY WITH SPECIFICATIONS OUTLINED IN THE ACI 306R (LATEST EDITION), GUIDE TO COLD WEATHER CONCRETING. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE ADHERANCE TO ALL APPLICABLE SECTIONS.

FOOTING SCHEDULE

FOOTING REINFORCEMENT SHALL BE NO. 4 REBAR @ 9" O.C. EACH WAY (MAT REINFORCMENT)

◯	FOOTING SIZE		
(X)	EXISTING FOOTING (G.C. SHALL BE RESPONSIBLE TO VERIFY IN FIELD)		
(A)	24" x 24" x 12" D. CONCRETE FOOTING	(F)	24" x L x 12" D. CONCRETE FOOTING *
(B)	30" x 30" x 12" D. CONCRETE FOOTING	(G)	30" x L x 12" D. CONCRETE FOOTING *
(C)	36" x 36" x 15" D. CONCRETE FOOTING	(H)	36" x L x 15" D. CONCRETE FOOTING *
(D)	42" x 42" x 15" D. CONCRETE FOOTING	(J)	42" x L x 15" D. CONCRETE FOOTING *
(E)	48" x 48" x 15" D. CONCRETE FOOTING	(K)	48" x L x 15" D. CONCRETE FOOTING *

* NOTE: THE LENGTH (L) OF FOOTING SHALL BE THE COLUMN SPACING DISTANCE PLUS THE FOOTING WIDTH.

LEGEND

- EXISTING FOUNDATION WALL (VERIFY IN FIELD)
- POURED CONCRETE FOUNDATION WALL W/ REINFORCED POURED CONCRETE FOOTING
- CMU FOUNDATION WALL W/ REINFORCED POURED CONCRETE FOOTING
- FOUNDATION WALL SHELF FOR MASONRY VENEER BEARING (SET SHELF 6" MIN. BELOW FINISHED GRADE)
- FOUNDATION STEM WALL (SEE DETAIL)
- BEAM WALL POCKET 12" x 5" x 3/4" STEEL BEARING PLATE
- POURED CONCRETE CYLINDRICAL PIER
- EXISTING STEEL COLUMN (VERIFY IN FIELD)
- * 4" O.D. STANDARD STEEL PIPE COLUMN BASE PLATE: 8" x 8" x 3/4" STEEL PLATE TOP PLATE: 10" x 5 1/2" x 3/4" STEEL PLATE
- * HSS 4 x 4 x 1/4 BASE PLATE: 8" x 8" x 3/4" STEEL PLATE TOP PLATE: 10" x 5 1/2" x 3/4" STEEL PLATE
- * UNLESS NOTED OTHERWISE ON PLANS.
- 24 x 12 — FOOTING SIZE (W x D INCHES)
- + 00 — TOP OF WALL ELEVATION (INCHES)
- BG — TOP OF WALL BELOW FINISH GRADE (6" MIN.)
- AG — TOP OF WALL ABOVE FINISH GRADE (8" MIN.)

PD-A04-A-1-111307

DO NOT SCALE PRINTS

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

JUSTIN F. MINIERI, AIA
NCARB MEMBER
P.O. BOX 1439 - NEW ROCHELLE NY 10802
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DATE: 1/31/22

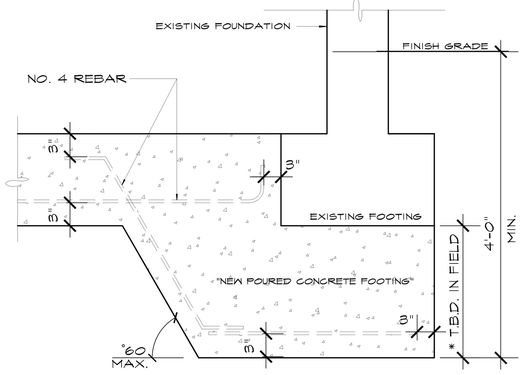
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

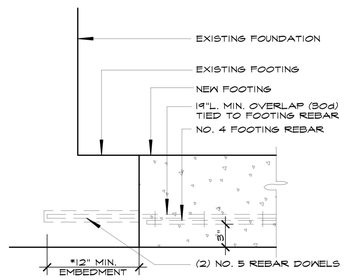
DWG No. A04

FOUNDATION

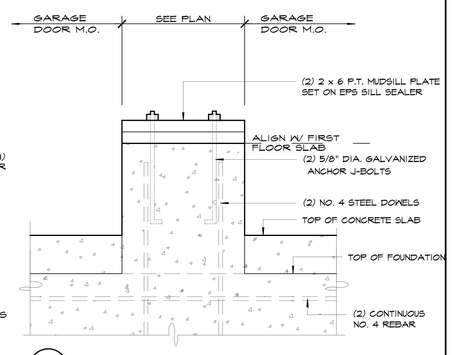
Rosenthal / 220079



S * UNDER PIN EXISTING HOUSE FOOTING & EXTEND BELOW FROSTLINE



R * INJECT DRILLED HOLES PRIOR TO INSTALLATION OF DOWELS WITH "HILTI HY200" EPOXY



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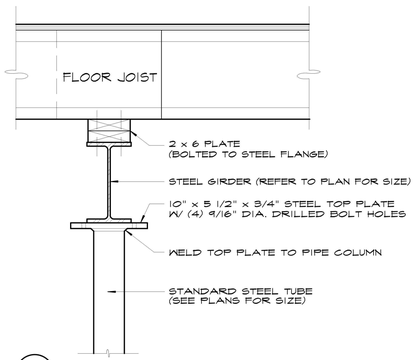
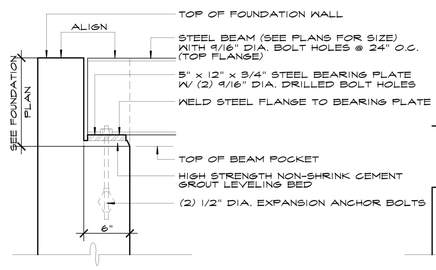


O STEEL SHALL BE ASTM A36 AND SHOP PRIMED WITH RUST INHIBITOR



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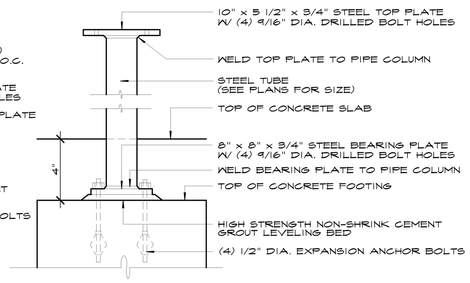

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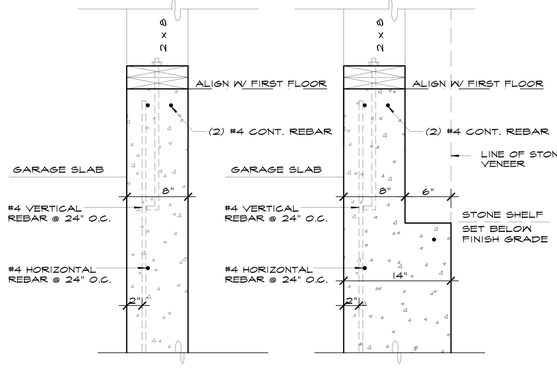

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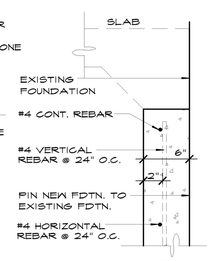

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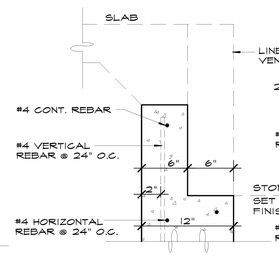

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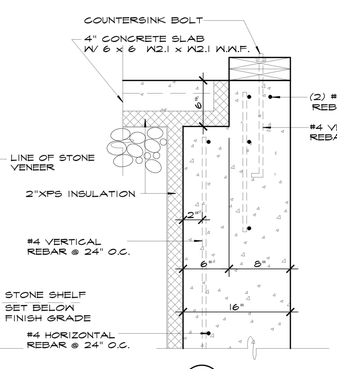

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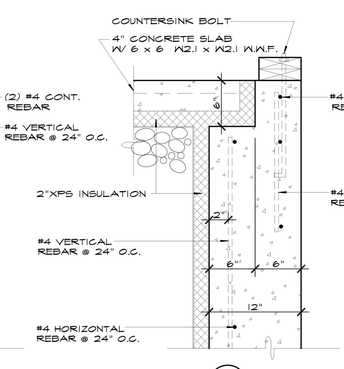

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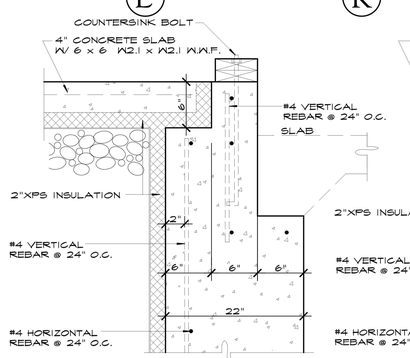

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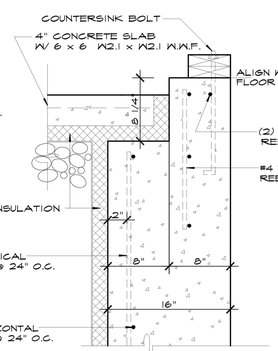

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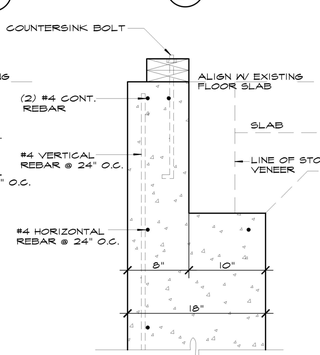

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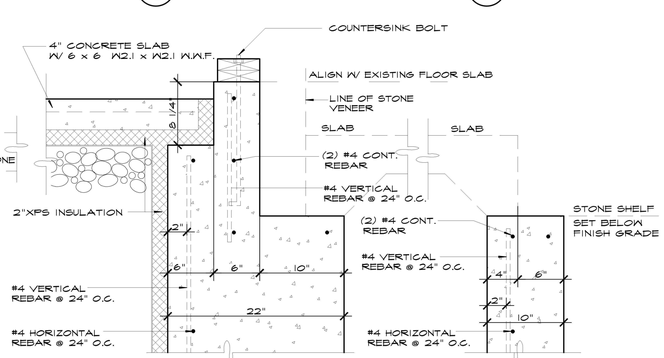
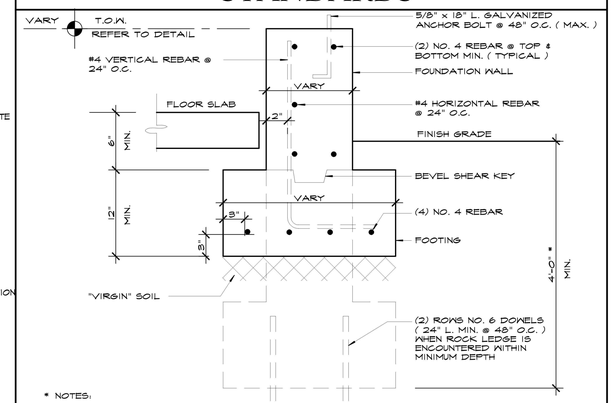


B A

FOUNDATION WALL DETAILS

MUDSILL PLATES SHALL BE SECURED TO FOUNDATION WITH 5/8" DIA. x 18" L. GALVANIZED ANCHOR J-BOLT W/ WASHERS @ 48" O.C. - MAXIMUM SPACING

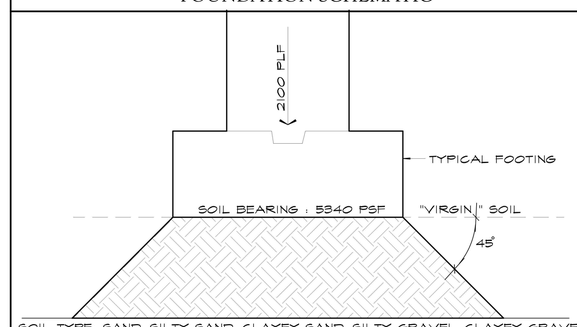
STANDARDS



* NOTES:

1. EXTEND FOOTINS FURTHER AS REQUIRED TO BEAR ON SOLID UNDISTURBED "VIRGIN" SOIL
2. STEPPED FOOTINGS SHALL BEAR ON "VIRGIN" SOILS WITH SLOPES NO GREATER THAN 1:3
3. REFER TO WALL SECTIONS FOR ADDITIONAL DETAILS

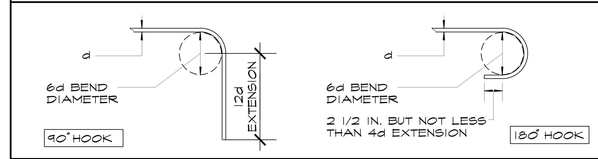
FOUNDATION SCHEMATIC



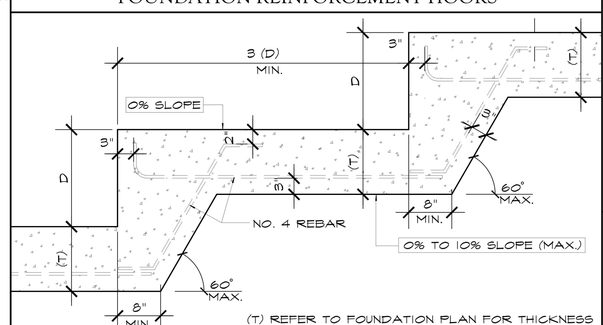
SOIL TYPE: SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, CLAYEY GRAVEL

SOIL BEARING CAPACITY : 2,000 PSF

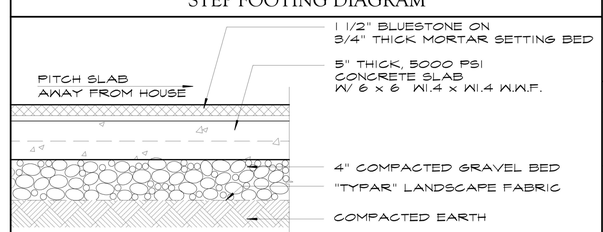
FOOTING DESIGN



FOUNDATION REINFORCEMENT HOOKS



STEP FOOTING DIAGRAM



EXTERIOR "PATIO" SLAB

SCALE : NONE

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

JUSTIN F. MINIERI, AIA
NCARB MEMBER
P.O. BOX 1439 • NEW ROCHELLE NY 10802
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DATE: 1/31/22

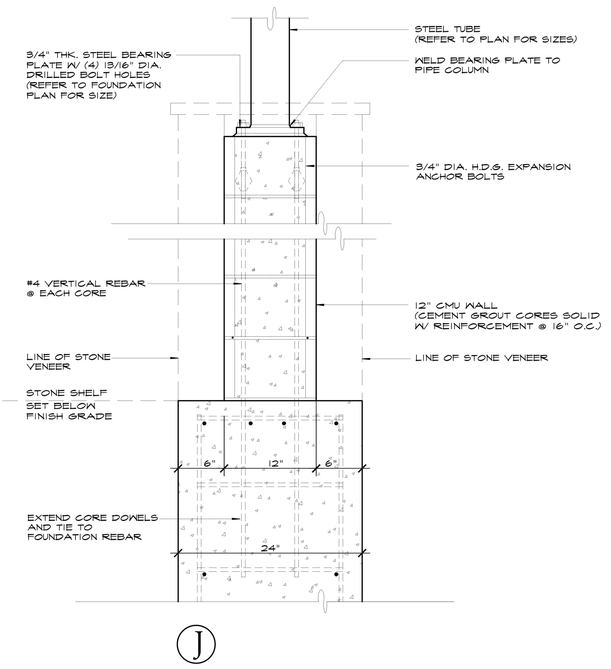
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A05

FDTN. DETAILS

Rosenthal / 220079



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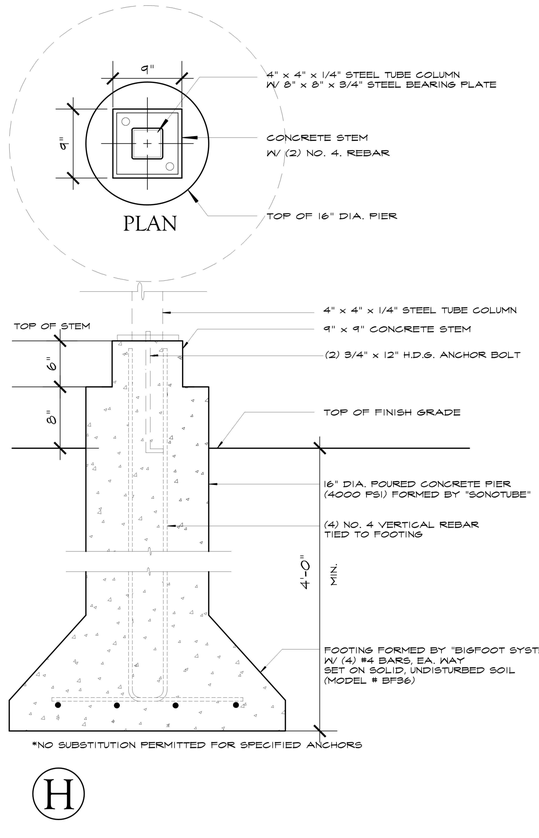

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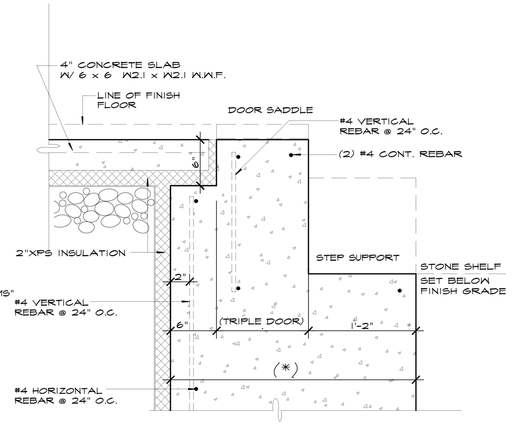
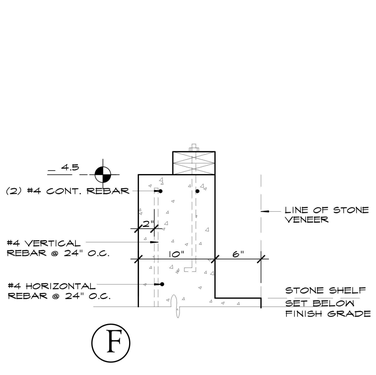


G REFER TO MANUFACTURE'S SPECIFICATION



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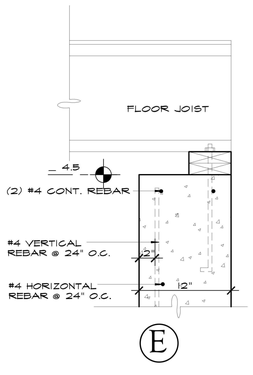

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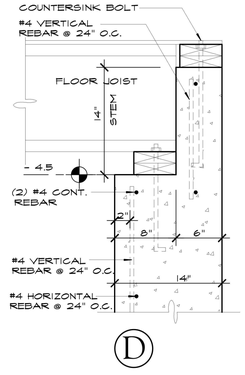

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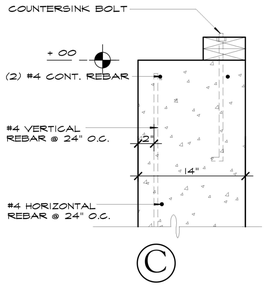

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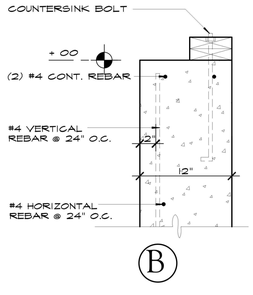

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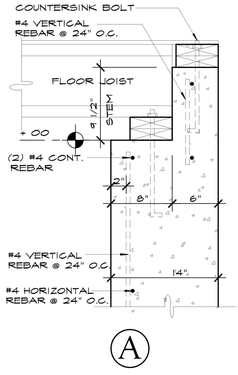

A

FOUNDATION WALL DETAILS

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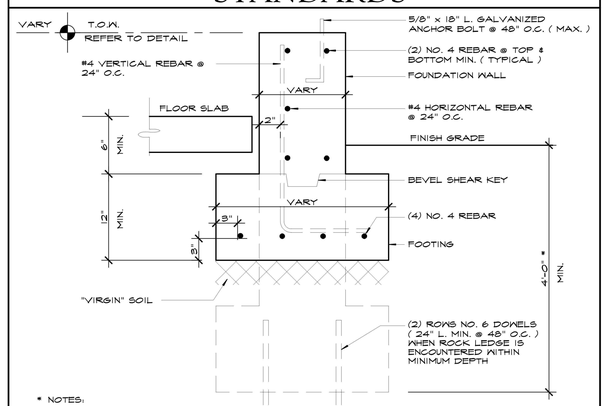
STANDARDS



* NOTES:

1. EXTEND FOOTINGS FURTHER AS REQUIRED TO BEAR ON SOLID UNDISTURBED "VIRGIN" SOIL
2. STEPPED FOOTINGS SHALL BEAR ON "VIRGIN" SOILS WITH SLOPES NO GREATER THAN 1:3
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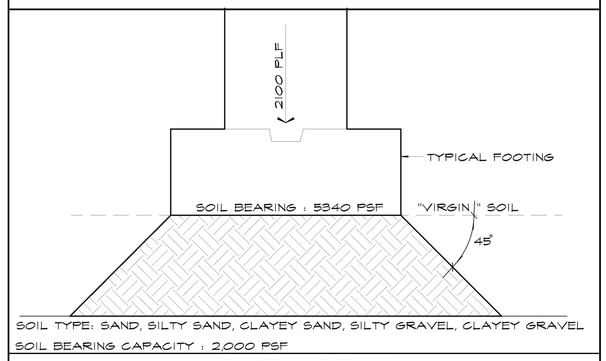
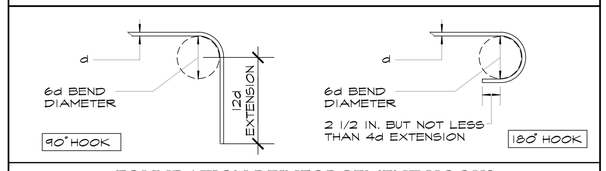
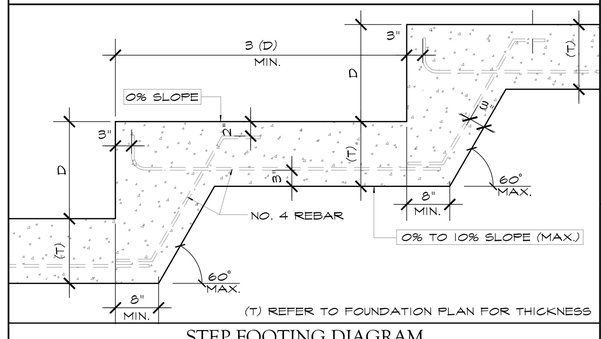
FOUNDATION SCHEMATIC



FOOTING DESIGN

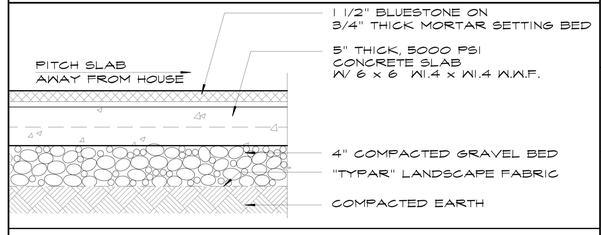


FOUNDATION REINFORCEMENT HOOKS



(T) REFER TO FOUNDATION PLAN FOR THICKNESS

STEP FOOTING DIAGRAM



EXTERIOR "PATIO" SLAB

SCALE : NONE

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NCARB MEMBER
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DATE: 1/31/22

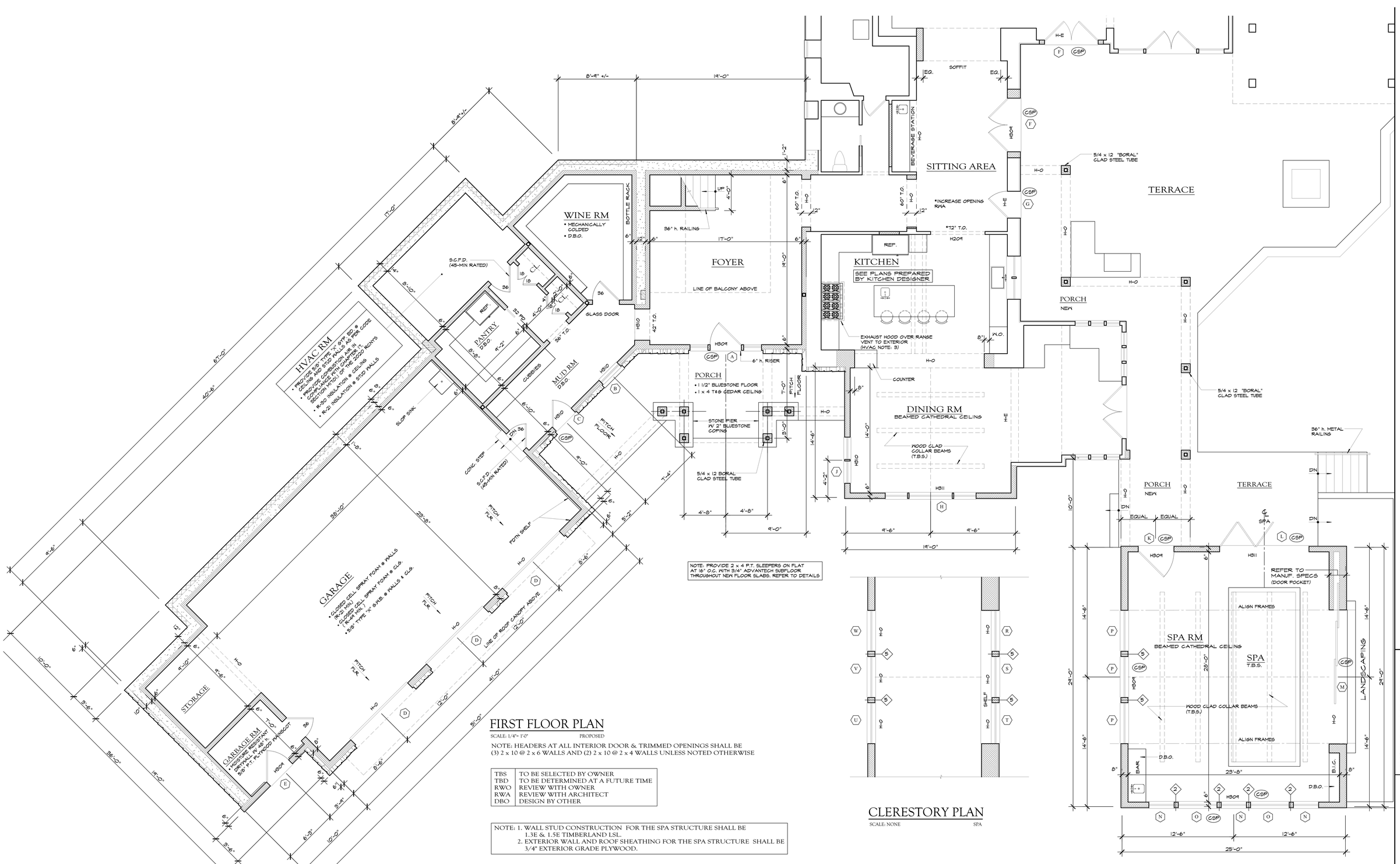
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A06

FDTN. DETAILS

Rosenthal / 220079



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" PROPOSED

NOTE: HEADERS AT ALL INTERIOR DOOR & TRIMMED OPENINGS SHALL BE (3) 2 x 10 @ 2 x 6 WALLS AND (2) 2 x 10 @ 2 x 4 WALLS UNLESS NOTED OTHERWISE

TBS	TO BE SELECTED BY OWNER
TBD	TO BE DETERMINED AT A FUTURE TIME
RWO	REVIEW WITH OWNER
RWA	REVIEW WITH ARCHITECT
DBO	DESIGN BY OTHER

NOTE: 1. WALL STUD CONSTRUCTION FOR THE SPA STRUCTURE SHALL BE 1.3E & 1.5E TIMBERLAND LSL.
2. EXTERIOR WALL AND ROOF SHEATHING FOR THE SPA STRUCTURE SHALL BE 3/4" EXTERIOR GRADE PLYWOOD.

CLERESTORY PLAN

SCALE: NONE SPA

GENERAL NOTES

1. SEE PLANS PREPARED BY KITCHEN DESIGNER FOR CABINET, PLUMBING FIXTURE AND APPLIANCE LAYOUT. CONTRACTOR SHALL PROVIDE CABINET SOFFIT WORK AS REQUIRED.
2. BATH ROOM VANITIES, CABINETRY AND PLUMBING FIXTURES SHALL BE SELECTED BY CONTRACTOR SHALL PROVIDE CABINET SOFFIT WORK AS REQUIRED.
3. REFER TO WINDOW AND DOOR SCHEDULE FOR TYPES.
4. PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF (REVIEW WITH ARCHITECT).
5. PROVIDE "AIR & VAPOR BARRIER" BY "W.R. GRACE" WRAP AT ALL WINDOW AND DOOR OPENINGS AS PER DETAIL.
6. PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
7. FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
8. PROVIDE FROST-FREE TYPE HOSE BIBS THROUGHOUT. REVIEW LOCATIONS WITH OWNER.
9. PROVIDE EXHAUST FAN IN EACH BATHROOM AND VENT TO EXTERIOR WITH FLEXIBLE METAL DUCT & SCREENED DAMPER.
10. VENT COOKING RANGE TO EXTERIOR, WITH PROPERLY SIZED RIGID METAL DUCTWORK.
11. PROVIDE 5/8" TYPE-X GYPSUM BOARD AT ALL WALLS AND CEILING THROUGHOUT HOUSE.
12. PATCH & MATCH FLOOR WALL AND CEILING FINISHES IN EXISTING AREAS UNLESS NOTED OTHERWISE. REVIEW WITH OWNER.
13. DRYWALL IN BATHROOMS AND LAUNDRY ROOM SHALL BE MOISTURE RESISTANT TYPE.
14. DRYWALL IN THE SPA ROOM SHALL BE 5/8" PAPERLESS GYPSUM BOARD (FIBERGLASS MAT FACE).
15. FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE OAK PLANKING REFER TO OWNER FOR PLANK WIDTH
16. FLOORING IN MUD ROOM, LAUNDRY ROOM, POWDER ROOMS AND EACH BATHROOM SHALL BE TILED.
17. CLOTHES DRYER'S EXHAUST VENT TERMINATION SHALL BE MORE THAN 3 FT FROM ANY BUILDING OPENING AS PER SECTION M1502.3.1 (2020 RCNYS)
18. TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
19. INTERIOR DOORS SHALL BE SOLID MDF BY "TRUSTILE" OR EQUAL WITH SMOOTH FINISH. DOOR STYLE SHALL BE BY OWNER.
20. OWNER SHALL SELECT DOOR HARDWARE.
21. PRIME AND PAINT ALL DRYWALL (3 COATS; 1 PRIME & 2 FINISH). STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER FOR REVIEW AND APPROVAL.

INSULATION

1. INSULATION SHALL BE CLOSED CELL SPRAY FOAM. INSTALLER SHALL PROVIDE ALL DOCUMENTATION AND CERTIFICATES AS REQUIRED BY THE BUILDING OFFICIAL.
2. INSULATE ALL INTERIOR WALLS THROUGHOUT AS WELL AS ENTIRE FLOOR AT EACH LEVEL W/ SOUND BATTS BY "ROXUL"

HVAC

1. CONTRACTOR SHALL REVIEW HEATING AND AIR CONDITIONING REQUIREMENTS WITH OWNER. SUBMIT PROPOSED SYSTEM WITH SPECIFICATIONS FOR OWNER'S REVIEW AND APPROVAL.
2. GARAGE SHALL BE UN-HEATED.
3. PROVIDE A MAKE-UP AIR SYSTEM FOR RANGE EXHAUST HOOD GREATER THAN 400 CFM AS PER CODE.
4. HVAC CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL S CALCULATIONS.
5. HVAC CONTRACTOR SHALL PROVIDE A COMPLETE WHOLE - HOUSE MECHANICAL VENTILATION SYSTEM AS PER CODE.
6. PROVIDE AN ELECTRIC RADIANT FLOOR HEATING SYSTEM AT SPA ROOM.
7. HVAC CONTRACTOR SHALL PROVIDE A PROPERLY SIZED WALL MOUNTED DEHUMIDIFICATION SYSTEM IN THE SPA ROOM. REVIEW LOCATION WITH OWNER.

STAIR & RAILING

SHALL COMPLY WITH SECTIONS OF THE BUILDING CODE

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36"		
GUARDRAIL HEIGHT	42"		

LEGEND

- EXISTING WALL (VERIFY IN FIELD)
- NEW WOOD STUD WALL (2 x @ 16" O.C.)
- NEW STEEL STUD WALL (3 1/2" @ 16" O.C.)
- POURED CONCRETE WALL
- CMU WALL
- STONE VENEER
- BRICK VENEER

- 32 DOOR SIZE (NOTED IN INCHES)
- A WINDOW / DOOR TYPE *
- A EGRESS WINDOW *
- H-1 HEADER SIZE *
- L-1 LINTEL SIZE *
- CSP COPPER SILL PAN (REFER TO DETAIL)

- 1 NUMBER OF STUD (MULL OR JACK)
- H FROST FREE HOSE BIB
- SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- H HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- E EXHAUST FAN (50 CFM, MIN.) VENT TO EXTERIOR W/ METAL DUCT
- L WALL MOUNTED EXTERIOR LIGHT FIXTURE

* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

DO NOT SCALE PRINTS

Proposed Addition & Alteration to Rosenthal Residence

10 Creemer Road
Armonk, NY

JUSTIN F. MINIERI, AIA
NCARB MEMBER
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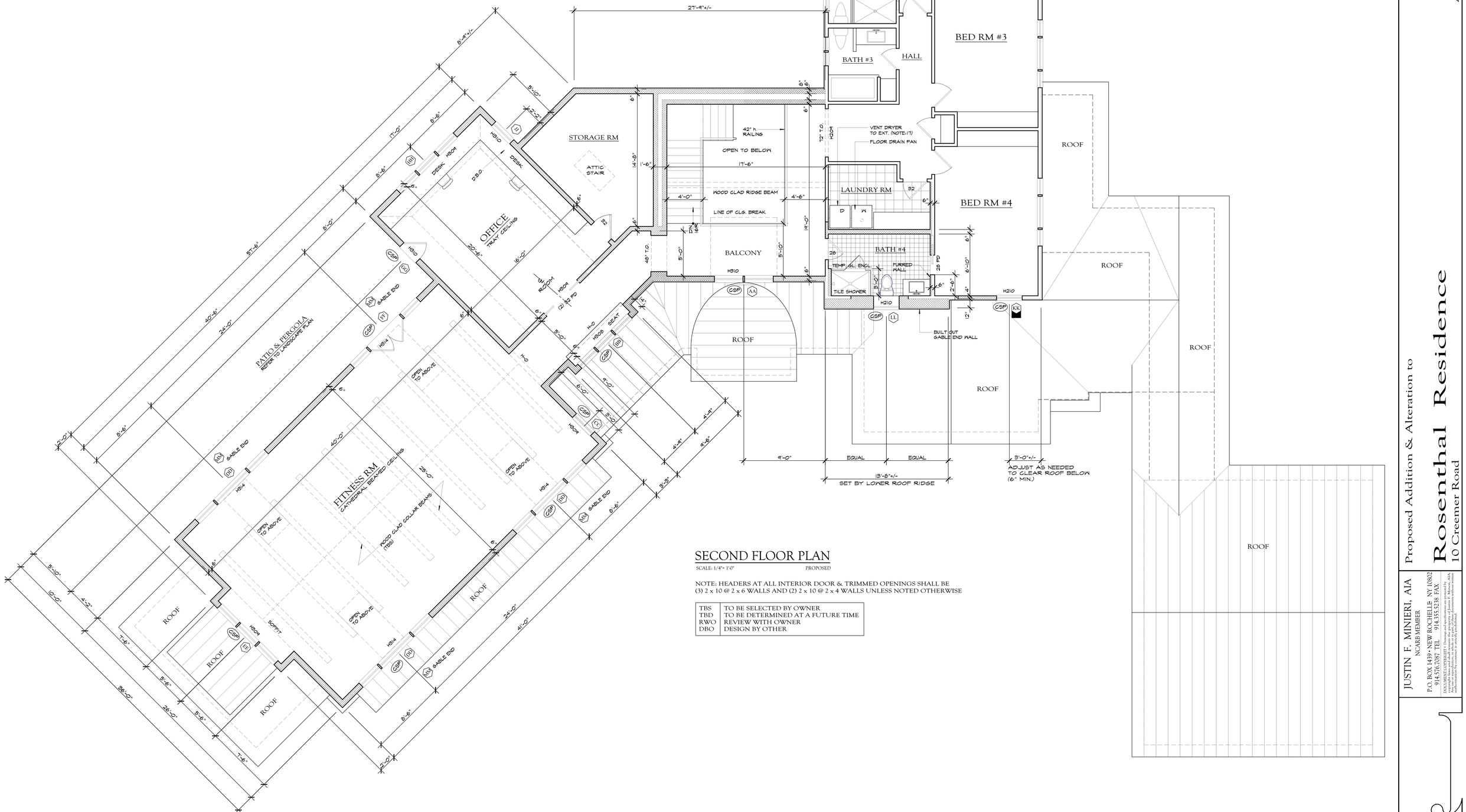
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A07
FLOOR PLAN

Rosenthal / 220079



SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0" PROPOSED

NOTE: HEADERS AT ALL INTERIOR DOOR & TRIMMED OPENINGS SHALL BE (3) 2 x 10 @ 2 x 6 WALLS AND (2) 2 x 10 @ 2 x 4 WALLS UNLESS NOTED OTHERWISE

TBS	TO BE SELECTED BY OWNER
TBD	TO BE DETERMINED AT A FUTURE TIME
RWO	REVIEW WITH OWNER
DBO	DESIGN BY OTHER

GENERAL NOTES

1. SEE PLANS PREPARED BY KITCHEN DESIGNER FOR CABINET, PLUMBING FIXTURE AND APPLIANCE LAYOUT. CONTRACTOR SHALL PROVIDE CABINET SOFFIT WORK AS REQUIRED.
2. BATH ROOM VANITIES, CABINETRY AND PLUMBING FIXTURES SHALL BE SELECTED BY CONTRACTOR SHALL PROVIDE CABINET SOFFIT WORK AS REQUIRED.
3. REFER TO WINDOW AND DOOR SCHEDULE FOR TYPES.
4. PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF (REVIEW WITH ARCHITECT).
5. PROVIDE "AIR & VAPOR BARRIER" BY "W.R. GRACE" WRAP AT ALL WINDOW AND DOOR OPENINGS AS PER DETAIL.
6. PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
7. FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
8. PROVIDE FROST-FREE TYPE HOSE BIBS THROUGHOUT. REVIEW LOCATIONS WITH OWNER.
9. PROVIDE EXHAUST FAN IN EACH BATHROOM AND VENT TO EXTERIOR WITH FLEXIBLE METAL DUCT & SCREENED DAMPER.
10. VENT COOKING RANGE TO EXTERIOR, WITH PROPERLY SIZED RIGID METAL DUCTWORK.
11. PROVIDE 5/8" TYPE-X GYPSUM BOARD AT ALL WALLS AND CEILING THROUGHOUT HOUSE.
12. PATCH & MATCH FLOOR WALL AND CEILING FINISHES IN EXISTING AREAS UNLESS NOTED OTHERWISE. REVIEW WITH OWNER.
13. DRYWALL IN BATHROOMS AND LAUNDRY ROOM SHALL BE MOISTURE RESISTANT TYPE.
14. DRYWALL IN THE SPA ROOM SHALL BE 5/8" PAPERLESS GYPSUM BOARD (FIBERGLASS MAT FACE).
15. FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE OAK PLANKING REFER TO OWNER FOR PLANK WIDTH
16. FLOORING IN MUD ROM, LAUNDRY ROOM, POWDER ROOMS AND EACH BATHROOM SHALL BE TILED.
17. CLOTHES DRYER'S EXHAUST VENT TERMINATION SHALL BE MORE THAN 3 FT FROM ANY BUILDING OPENING AS PER SECTION M1502.3.1 (2020 RCNYS)
18. TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
19. INTERIOR DOORS SHALL BE SOLID MDF BY "TRUSTILE" OR EQUAL WITH SMOOTH FINISH. DOOR STYLE SHALL BE BY OWNER.
20. OWNER SHALL SELECT DOOR HARDWARE.
21. PRIME AND PAINT ALL DRYWALL (3 COATS; 1 PRIME & 2 FINISH). STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER FOR REVIEW AND APPROVAL.

INSULATION

1. INSULATION SHALL BE CLOSED CELL SPRAY FOAM. INSTALLER SHALL PROVIDE ALL DOCUMENTATION AND CERTIFICATES AS REQUIRED BY THE BUILDING OFFICIAL.
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5. HVAC CONTRACTOR SHALL PROVIDE A COMPLETE WHOLE - HOUSE MECHANICAL VENTILATION SYSTEM AS PER CODE.
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STAIR & RAILING

SHALL COMPLY WITH SECTIONS OF THE BUILDING CODE

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36"		
GUARDRAIL HEIGHT	42"		

LEGEND

- EXISTING WALL (VERIFY IN FIELD)
- NEW WOOD STUD WALL (2 x @ 16" O.C.)
- NEW STEEL STUD WALL (3 1/2" @ 16" O.C.)
- POURED CONCRETE WALL
- CMU WALL
- STONE VENEER
- BRICK VENEER

- 32 — DOOR SIZE (NOTED IN INCHES)
- A — WINDOW / DOOR TYPE *
- A — EGRESS WINDOW *
- H-1 — HEADER SIZE *
- L-1 — LINTEL SIZE *
- CSP — COPPER SILL PAN (REFER TO DETAIL)
- I — NUMBER OF STUD (MULL OR JACK)
- H — FROST FREE HOSE BIB
- SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- H — HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- E — EXHAUST FAN (50 CFM, MIN.) VENT TO EXTERIOR W/ METAL DUCT
- L — WALL MOUNTED EXTERIOR LIGHT FIXTURE

* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

DO NOT SCALE PRINTS

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DATE: 1/31/22

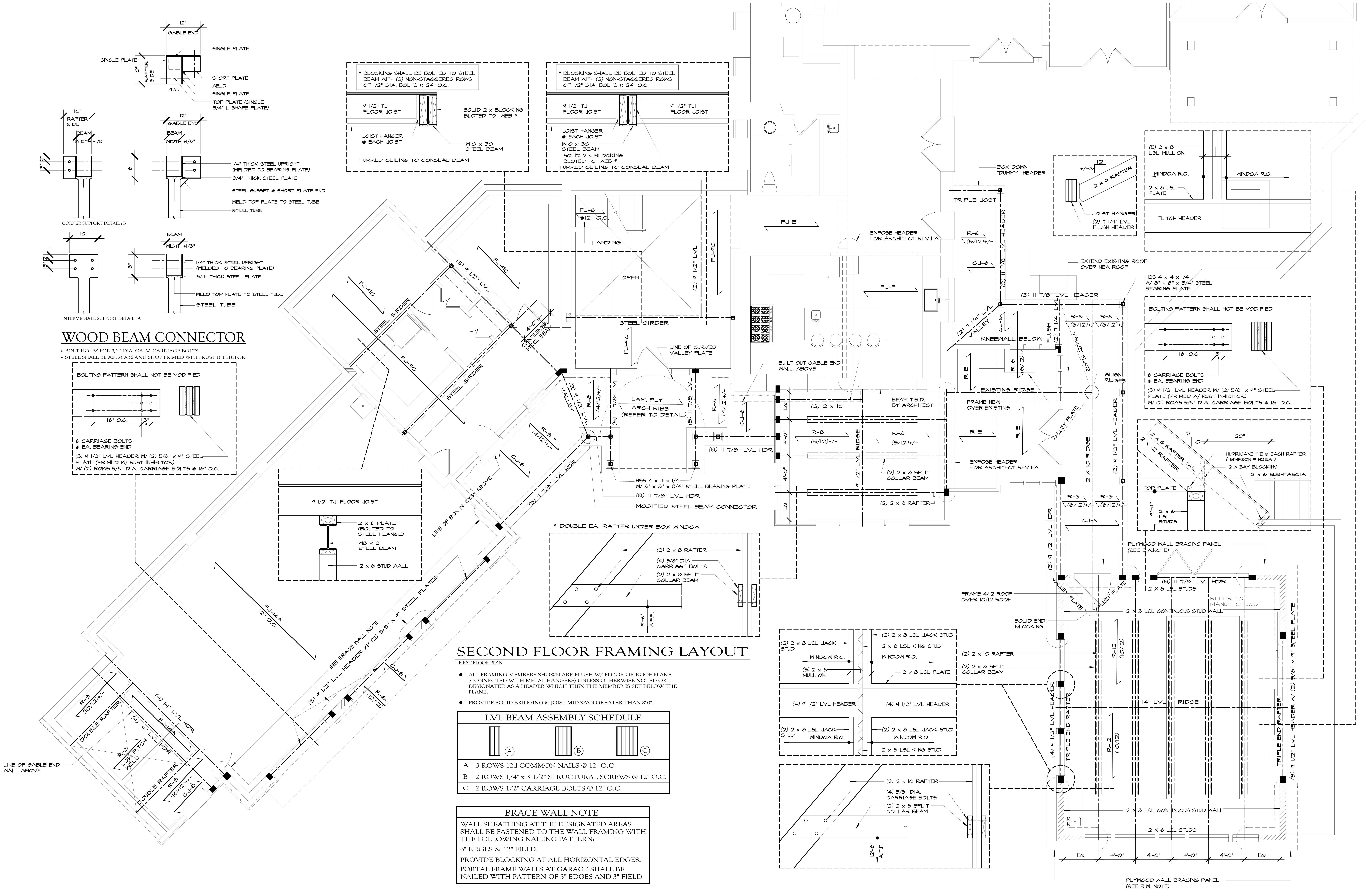
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A08

FLOOR PLAN

Rosenthal / 220079



SECOND FLOOR FRAMING LAYOUT

FIRST FLOOR PLAN

- ALL FRAMING MEMBERS SHOWN ARE FLUSH W/ FLOOR OR ROOF PLANE (CONNECTED WITH METAL HANGERS) UNLESS OTHERWISE NOTED OR DESIGNATED AS A HEADER WHICH THEN THE MEMBER IS SET BELOW THE PLANE.
- PROVIDE SOLID BRIDGING @ JOIST MID-SPAN GREATER THAN 8'-0".

LVL BEAM ASSEMBLY SCHEDULE

A	3 ROWS 12d COMMON NAILS @ 12" O.C.
B	2 ROWS 1/4" x 3 1/2" STRUCTURAL SCREWS @ 12" O.C.
C	2 ROWS 1/2" CARRIAGE BOLTS @ 12" O.C.

BRACE WALL NOTE

WALL SHEATHING AT THE DESIGNATED AREAS SHALL BE FASTENED TO THE WALL FRAMING WITH THE FOLLOWING NAILING PATTERN:

6" EDGES & 12" FIELD.

PROVIDE BLOCKING AT ALL HORIZONTAL EDGES.

PORTAL FRAME WALLS AT GARAGE SHALL BE NAILED WITH PATTERN OF 3" EDGES AND 3" FIELD

GENERAL NOTES

1. MUD SILLS PLATES AND ALL OTHER LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE - TREATED AGAINST DECAY IN ACCORDANCE WITH AWPA U1, (R317 OF THE 2020 RCNYS)
2. ALL STEEL, INCLUDING BEARING PLATES SHALL BE SHOP PRIMED AND RECEIVE A SECOND COAT IN THE FIELD UPON COMPLETION.
3. TOP FLANGE OF STEEL GIRDERS TO BE FLUSH WITH TOP OF FOUNDATION WALL. COLUMNS TO BE STANDARD STEEL PIPE.
4. COLUMNS SHALL BE STANDARD STEEL PIPE OR STEEL TUBE.
5. STEEL SHALL HAVE PRE-DRILLED HOLES FOR 1/2-IN. DIA. BOLTS @ TOP FLANGE FOR 2 ROWS @ 24-IN. O.C.
7. SUBFLOOR SHALL BE GLUED AND NAILED TO FLOOR JOIST W/ CONTECH PL400.
8. PROVIDE GALVANIZED METAL JOIST HANGERS AT ALL FLUSH CONNECTIONS.
9. ALL SOLID AND BUILT-UP WOOD POSTS SHALL BE CONTINUOUS (W/ SOLID BLOCKING AS REQUIRED) TO FOUNDATION WALLS, PIERS, OR STEEL GIRDERS.
10. ALL EXTERIOR METAL ANCHORS, FASTENERS, BOLTS, ETC......SHALL BE HOT DRIPPED GALVANIZED (HDG) STEEL.
11. PROVIDE 2 x FIRESTOPPING AT DROP CEILINGS AND AT ALL AREAS REQUIRED BY CODE. REVIEW WITH LOCAL BUILDING OFFICIALS.
12. PROVIDE HURRICANE ANCHORS AT ALL RAFTERS, SIMPSON # H2.5A.
13. FLOOR I-JOIST, LVL, PSL & LSL SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL. G.C. SHALL BE RESPONSIBLE TO SUBMIT SPECIFICATIONS FOR SUBSTITUTED MANUFACTURER TO ARCHITECT FOR REVIEW PRIOR TO MATERIAL ORDER.

WALL BRACING

WALL BRACING SHALL BE IN ACCORDANCE WITH METHOD CS-WSP (TABLE 602.10.4) AND TABLE 602.10.3 IN COMPLIANCE OF THE 2020 RCNYS.

SHEATHING

SUBFLOOR:	3/4"	ADVANTECH
WALL:	1/2"	EXTERIOR GRADE PLYWOOD
ROOF (ASPHALT):	5/8"	EXTERIOR GRADE PLYWOOD
ROOF (OTHER):	3/4"	EXTERIOR GRADE PLYWOOD

FLOOR JOIST

A= 560 SERIES B= 360 SERIES C= 230 SERIES

FJ-E	EXISTING FLOOR JOIST (VERIFY SIZE & DIRECTION IN FIELD)		
FJ-5	5 1/2" LVL	FJ-11	11 7/8" TJI
FJ-6	2 x 6 D.F.	FJ-12	2 x 12 D.F.
FJ-7	7 1/4" LVL	FJ-14	14" TJI
FJ-8	2 x 8 D.F.	FJ-16	16" TJI
FJ-9	9 1/2" TJI	FJ-18	18" TJI
FJ-10	2 x 10 D.F.	FJ-20	20" TJI
FJ-S.D.	1 1/2" 16 Ga. GALVANIZED COMPOSITE STEEL DECK (Fy=40KSI)		

CEILING JOIST

CJ-E	EXISTING CEILING JOIST
CJ-6	2 x 6 D.F.
CJ-8	2 x 8 D.F.
CJ-9	9 1/2" LSL
CJ-10	2 x 10 D.F.
CJ-11	11 7/8" LSL
CJ-12	2 x 12 D.F.
CJ-S	2 x 6 D.F. SLOPED

ROOF RAFTER

R-E	EXISTING ROOF RAFTER
R-6	2 x 6 D.F.
R-8	2 x 8 D.F.
R-10	2 x 10 D.F.
R-11	11 7/8" LSL
R-12	2 x 12 D.F.
R-14	14" LSL

JOIST AND RAFTER SPACING IS 16" ON CENTER UNLESS OTHERWISE NOTED ON THE FRAMING LAYOUT

LEGEND

I-JOIST, LVL, PSL & LSL SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL. G.C. SHALL BE RESPONSIBLE TO SUBMIT SPECIFICATIONS OF SUBSTITUTED MANUFACTURER TO THE ARCHITECT FOR REVIEW PRIOR TO MATERIAL ORDER.

TJI	TRUSS JOIST I-JOIST
L.S.L.	LAMINATED STRAND LUMBER (TIMBERSTRAND) 1.55E (Fb = 2,325 PSI)
L.V.L.	LAMINATED VENEER LUMBER (MICROLLAM) 2.0 E (Fb = 2,600 PSI)
P.S.L.	PARALLEL STRAND LUMBER (PARALLAM) 2.0 E (Fb = 2,900 PSI)
L.J.	LSL FLOOR JOISTS (1 1/2" THICKNESS) 1.5E (Fb = 2,250 PSI)
D.F.	DIMENSIONAL FRAMING LUMBER NO. 2 DOUGLAS FIR (Fb = 950 PSI)
P.T.	PRESSURE TREATED LUMBER NO. 1 S.Y.P. (Fb = 1050 PSI)

FRAMING MEMBER (FLOOR JOIST) — FJ-11B — JOIST SIZE (11 7/8" TJI), JOIST SERIES (360 SERIES)
PITCH (ROOF RAFTER) — (12/12) — DIRECTION OF JOIST (16" O.C.)

INTERIOR BEARING WALL

BUILT-UP 2 x POST CONTINUOUS DOWN TO FOUNDATION WALL AND / OR STEEL GIRDER. (MINIMUN POST WIDTH SHALL BE THE BEAM WIDTH PLUS 2 STUDS)

BUILT-UP POST ABOVE ON BEAM

0'-0" CEILING HEIGHT (ROUGH FRAMING)

DO NOT SCALE PRINTS

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Proposed Addition & Alteration to
Rosenthal Residence
10 Creemer Road
Armonk, NY

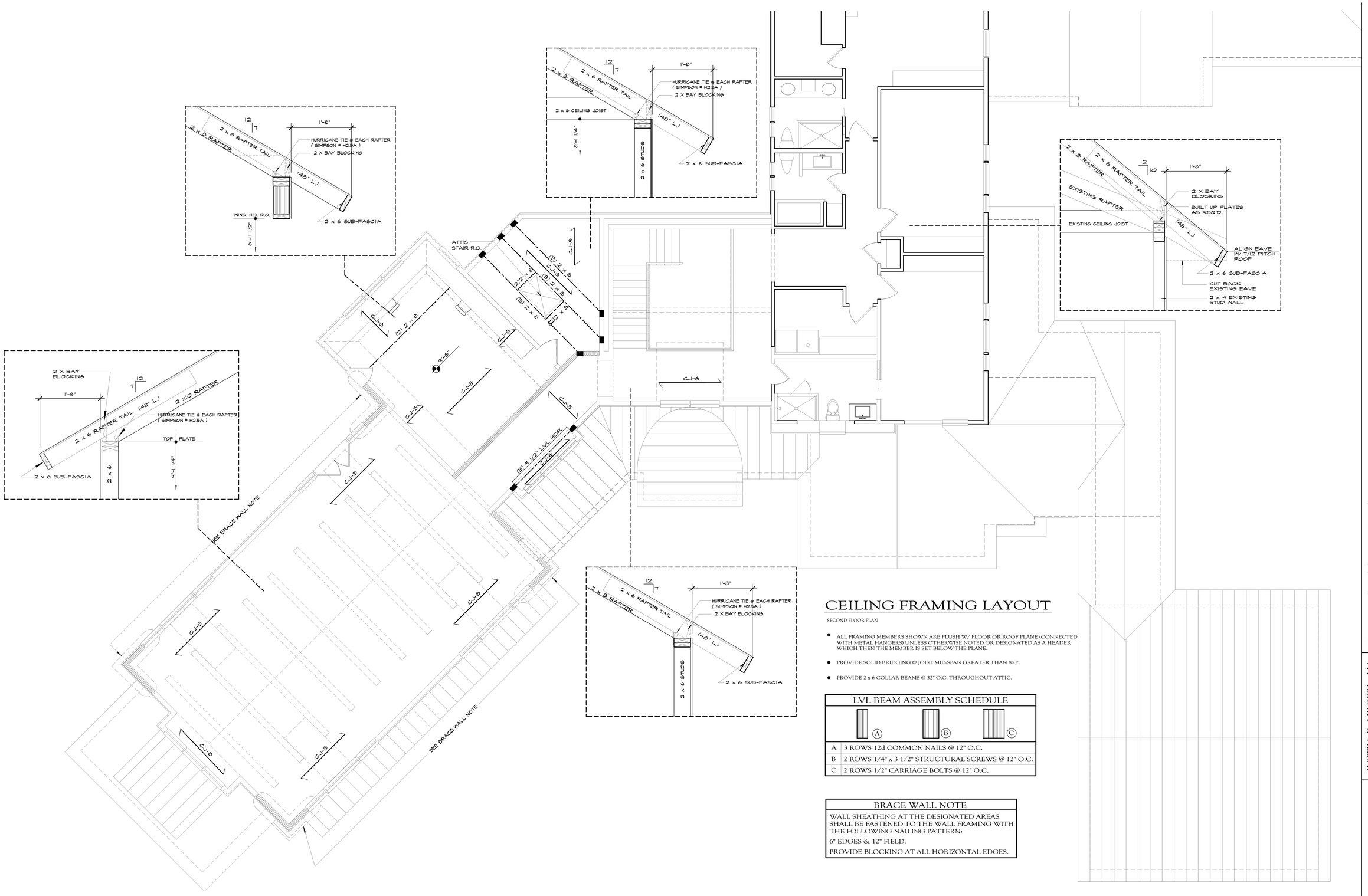
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A09
FLOOR FRAMING

Rosenthal / 220079

PD-A8-S-0121807



CEILING FRAMING LAYOUT

SECOND FLOOR PLAN

- ALL FRAMING MEMBERS SHOWN ARE FLUSH W/ FLOOR OR ROOF PLANE (CONNECTED WITH METAL HANGERS) UNLESS OTHERWISE NOTED OR DESIGNATED AS A HEADER WHICH THEN THE MEMBER IS SET BELOW THE PLANE.
- PROVIDE SOLID BRIDGING @ JOIST MID-SPAN GREATER THAN 8'-0".
- PROVIDE 2 x 6 COLLAR BEAMS @ 32" O.C. THROUGHOUT ATTIC.

LVL BEAM ASSEMBLY SCHEDULE

A	3 ROWS 12d COMMON NAILS @ 12" O.C.
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8. PROVIDE GALVANIZED METAL JOIST HANGERS AT ALL FLUSH CONNECTIONS.
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12. PROVIDE HURRICANE ANCHORS AT ALL RAFTERS, SIMPSON # H2.5A.
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ROOF RAFTER

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R-11	11 7/8" LSL
R-12	2 x 12 D.F.
R-14	14" LSL

JOIST AND RAFTER SPACING IS 16" ON CENTER UNLESS OTHERWISE NOTED ON THE FRAMING LAYOUT

LEGEND

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BUILT-UP POST ABOVE ON BEAM

0'-0" CEILING HEIGHT (ROUGH FRAMING)

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DO NOT SCALE PRINTS

DATE: 1/31/22

REVISIONS: 8/25/23

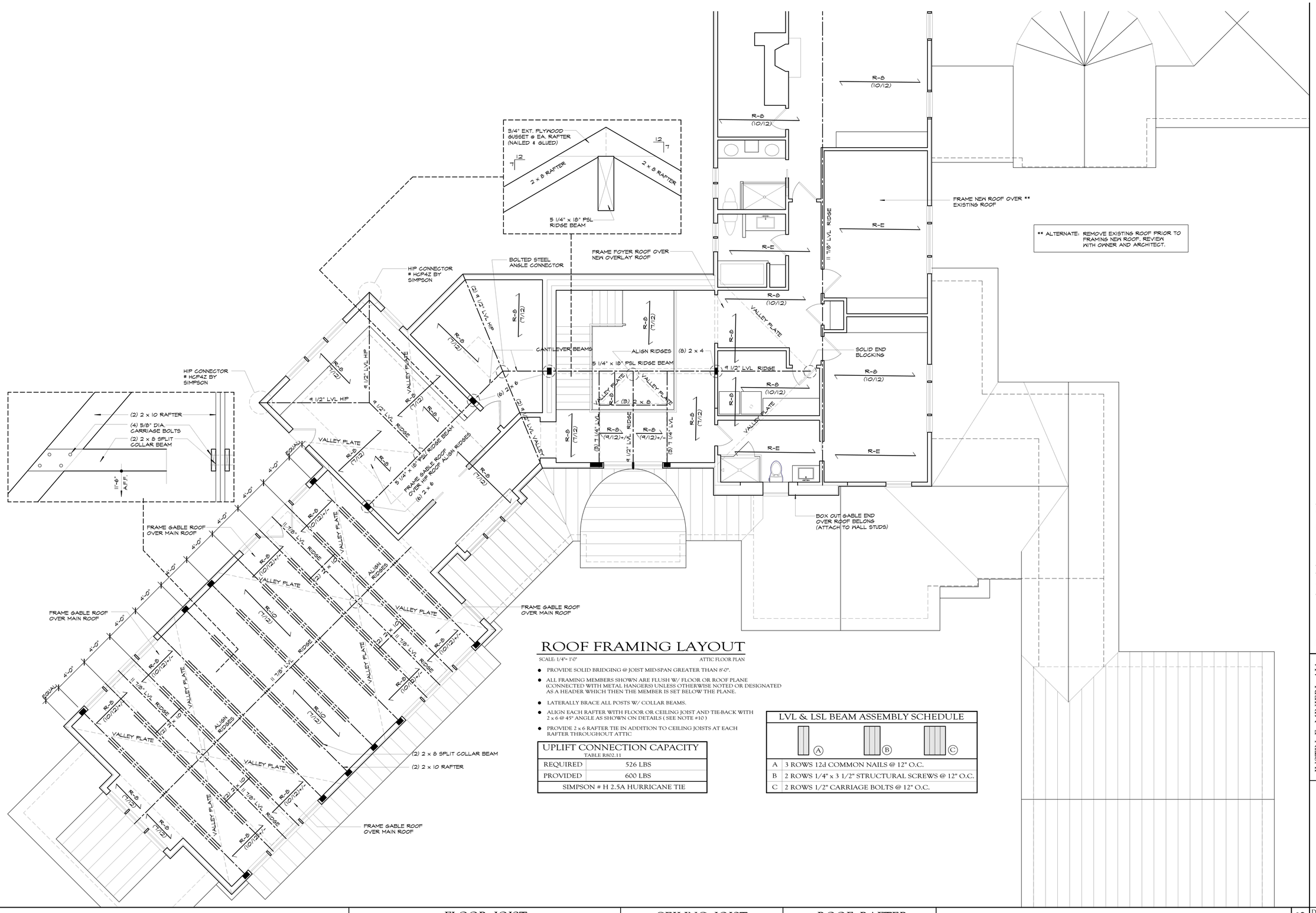
ORIGINAL ARCHITECTS SEAL IN RED INK

DWG No. A10

FLOOR FRAMING

Rosenthal / 220079

A8-PD-121807



ROOF FRAMING LAYOUT

SCALE: 1/4"= 1'-0" ATTIC FLOOR PLAN

- PROVIDE SOLID BRIDGING @ JOIST MID-SPAN GREATER THAN 8'-0".
- ALL FRAMING MEMBERS SHOWN ARE FLUSH W/ FLOOR OR ROOF PLANE (CONNECTED WITH METAL HANGERS) UNLESS OTHERWISE NOTED OR DESIGNATED AS A HEADER WHICH THEN THE MEMBER IS SET BELOW THE PLANE.
- LATERALLY BRACE ALL POSTS W/ COLLAR BEAMS.
- ALIGN EACH RAFTER WITH FLOOR OR CEILING JOIST AND TIE-BACK WITH 2 x 6 @ 45° ANGLE AS SHOWN ON DETAILS (SEE NOTE #10)
- PROVIDE 2 x 6 RAFTER TIE IN ADDITION TO CEILING JOISTS AT EACH RAFTER THROUGHOUT ATTIC

UPLIFT CONNECTION CAPACITY TABLE R802.11	
REQUIRED	526 LBS
PROVIDED	600 LBS
SIMPSON # H 2.5A HURRICANE TIE	

LVL & LSL BEAM ASSEMBLY SCHEDULE

A	3 ROWS 12d COMMON NAILS @ 12" O.C.
B	2 ROWS 1/4" x 3 1/2" STRUCTURAL SCREWS @ 12" O.C.
C	2 ROWS 1/2" CARRIAGE BOLTS @ 12" O.C.

GENERAL NOTES

1. MUD SILLS PLATES AND ALL OTHER LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE - TREATED AGAINST DECAY IN ACCORDANCE WITH AWPA U1, (R317 OF THE 2020 RCNYS)
2. ALL STEEL, INCLUDING BEARING PLATES SHALL BE SHOP PRIMED AND RECEIVE A SECOND COAT IN THE FIELD UPON COMPLETION.
3. TOP FLANGE OF STEEL GIRDERS TO BE FLUSH WITH TOP OF FOUNDATION WALL. COLUMNS TO BE STANDARD STEEL PIPE.
4. COLUMNS SHALL BE STANDARD STEEL PIPE OR STEEL TUBE.
5. STEEL SHALL HAVE PRE-DRILLED HOLES FOR 1/2-IN. DIA. BOLTS @ TOP FLANGE FOR 2 ROWS @ 24-IN. O.C.
7. SUBFLOOR SHALL BE GLUED AND NAILED TO FLOOR JOIST W/ CONTECH PL400.
8. PROVIDE GALVANIZED METAL JOIST HANGERS AT ALL FLUSH CONNECTIONS.
9. ALL SOLID AND BUILT-UP WOOD POSTS SHALL BE CONTINUOUS (W/ SOLID BLOCKING AS REQUIRED) TO FOUNDATION WALLS, PIERS, OR STEEL GIRDERS.
10. ALL EXTERIOR METAL ANCHORS, FASTENERS, BOLTS, ETC.....SHALL BE HOT DRIPPED GALVANIZED (HDG) STEEL.
11. PROVIDE 2 x FIRESTOPPING AT DROP CEILINGS AND AT ALL AREAS REQUIRED BY CODE. REVIEW WITH LOCAL BUILDING OFFICIALS.
12. PROVIDE HURRICANE ANCHORS AT ALL RAFTERS, SIMPSON # H2.5A.
13. FLOOR JOIST, LVL, PSL & LSL SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL. G.C. SHALL BE RESPONSIBLE TO SUBMIT SPECIFICATIONS FOR SUBSTITUTED MANUFACTURER TO ARCHITECT FOR REVIEW PRIOR TO MATERIAL ORDER.

WALL BRACING

WALL BRACING SHALL BE IN ACCORDANCE WITH METHOD CS-WSP (TABLE 602.10.4) AND TABLE 602.10.3 IN COMPLIANCE OF THE 2020 RCNYS.

SHEATHING

SUBFLOOR:	3/4"	ADVANTECH
WALL:	1/2"	EXTERIOR GRADE PLYWOOD
ROOF (ASPHALT):	5/8"	EXTERIOR GRADE PLYWOOD
ROOF (OTHER):	3/4"	EXTERIOR GRADE PLYWOOD

FLOOR JOIST

A= 560 SERIES		B= 360 SERIES		C= 230 SERIES
FJ-E	EXISTING FLOOR JOIST (VERIFY SIZE & DIRECTION IN FIELD)			
FJ-5	5 1/2" LVL	FJ-11	11 7/8" TJI	
FJ-6	2 x 6 D.F.	FJ-12	2 x 12 D.F.	
FJ-7	7 1/4" LVL	FJ-14	14" TJI	
FJ-8	2 x 8 D.F.	FJ-16	16" TJI	
FJ-9	9 1/2" TJI	FJ-18	18" TJI	
FJ-10	2 x 10 D.F.	FJ-20	20" TJI	
FJ-3.D.	1 1/2" 16 Ga. GALVANIZED COMPOSITE STEEL DECK (Fy=40KSI)			

CEILING JOIST

CJ-E	EXISTING CEILING JOIST
CJ-6	2 x 6 D.F.
CJ-8	2 x 8 D.F.
CJ-9	9 1/2" LSL
CJ-10	2 x 10 D.F.
CJ-11	11 7/8" LSL
CJ-12	2 x 12 D.F.
CJ-S	2 x 6 D.F. SLOPED

ROOF RAFTER

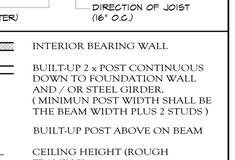
R-E	EXISTING ROOF RAFTER
R-6	2 x 6 D.F.
R-8	2 x 8 D.F.
R-10	2 x 10 D.F.
R-11	11 7/8" LSL
R-12	2 x 12 D.F.
R-14	14" LSL

JOIST AND RAFTER SPACING IS 16" ON CENTER UNLESS OTHERWISE NOTED ON THE FRAMING LAYOUT

LEGEND

I-JOIST, LVL, PSL & LSL SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL. G.C. SHALL BE RESPONSIBLE TO SUBMIT SPECIFICATIONS OF SUBSTITUTED MANUFACTURER TO THE ARCHITECT FOR REVIEW PRIOR TO MATERIAL ORDER.

TJI	TRUSS JOIST I-JOIST
L.S.L.	LAMINATED STRAND LUMBER (TIMBERSTRAND) 1.55E (Fb = 2,325 PSI)
L.V.L.	LAMINATED VENEER LUMBER (MICROLLAM) 2.0 E (Fb = 2,600 PSI)
P.S.L.	PARALLEL STRAND LUMBER (PARALLAM) 2.0 E (Fb = 2,900 PSI)
L.J.	LSL FLOOR JOISTS (1 1/2" THICKNESS) 1.5E (Fb = 2,250 PSI)
D.F.	DIMENSIONAL FRAMING LUMBER NO. 2 DOUGLAS FIR (Fb = 950 PSI)
P.T.	PRESSURE TREATED LUMBER NO. 1 S.Y.P. (Fb = 1050 PSI)



INTERIOR BEARING WALL

BUILT-UP 2 x POST CONTINUOUS DOWN TO FOUNDATION WALL AND / OR STEEL GIRDER. (MINIMUN POST WIDTH SHALL BE THE BEAM WIDTH PLUS 2 STUDS)

BUILT-UP POST ABOVE ON BEAM

9'-0" CEILING HEIGHT (ROUGH FRAMING)

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

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DO NOT SCALE PRINTS

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REVISIONS: 8/25/23

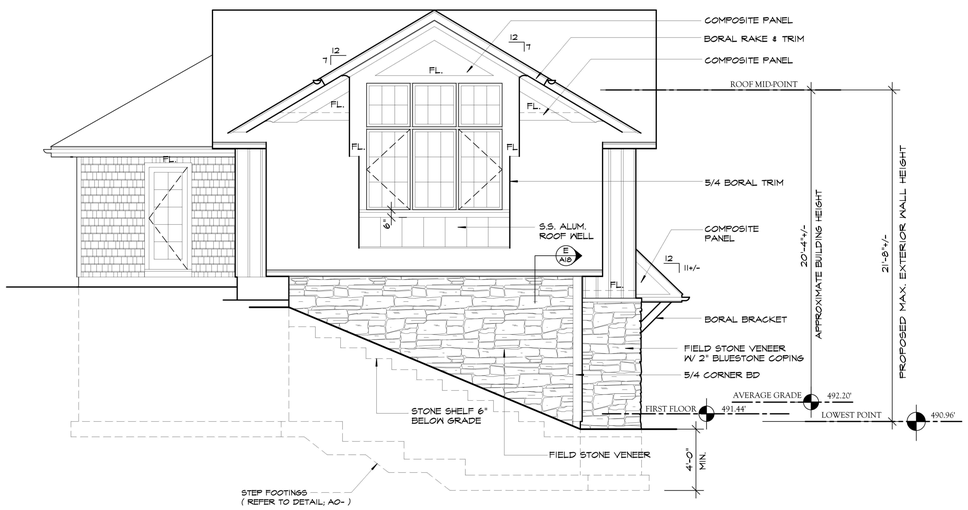
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A11

ROOF FRAMING

Rosenthal / 220079

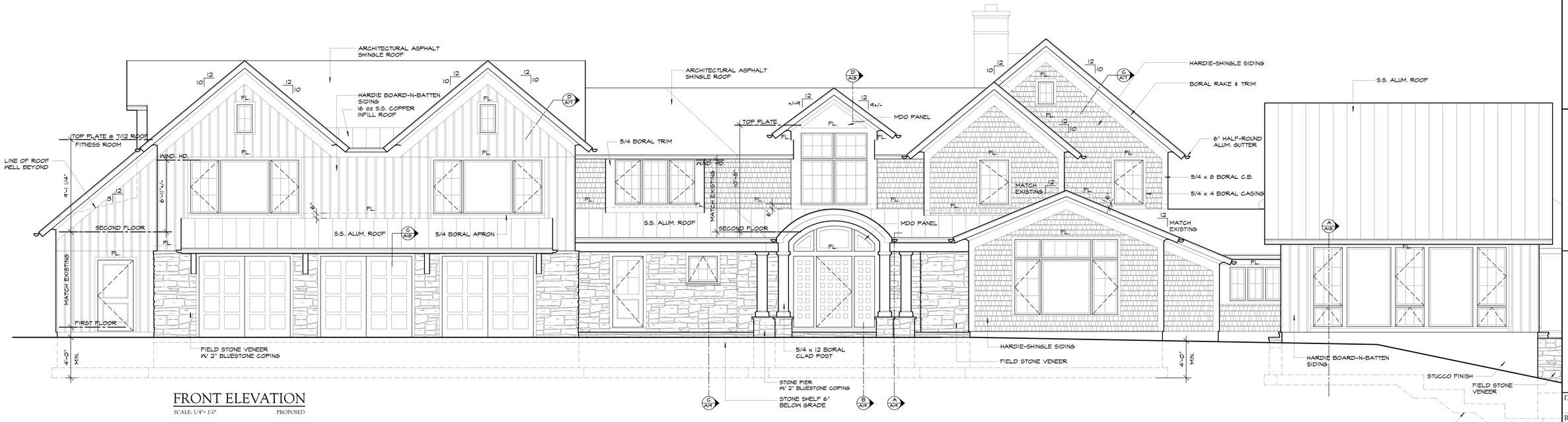
FD-A10-S-121807



LEFTSIDE ELEVATION

FRONT ELEVATION

SCALE: 1/4"= 1'-0" EXISTING



FRONT ELEVATION

SCALE: 1/4"= 1'-0" PROPOSED

FLATTEN OUT

Proposed Addition & Alteration to

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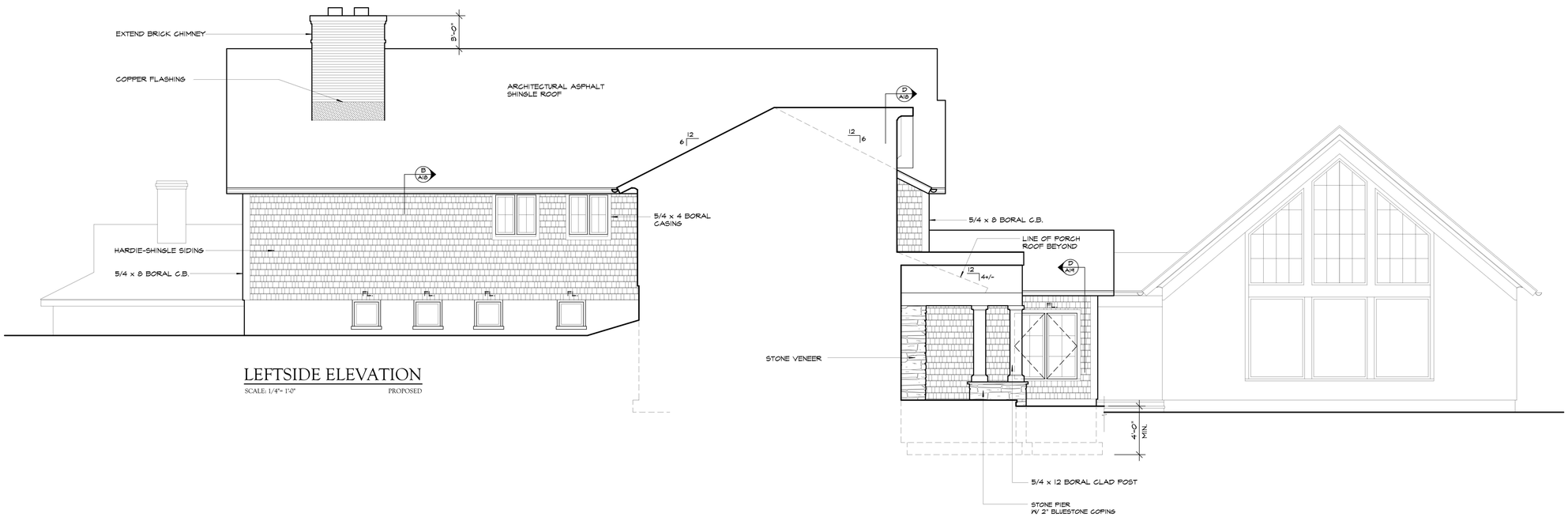
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A12

ELEVATION

Rosenthal / 220079

LEFTSIDE ELEVATION
SCALE: 1/4"= 1'-0" EXISTING



LEFTSIDE ELEVATION
SCALE: 1/4"= 1'-0" PROPOSED

GENERAL NOTES

THERMAL ENVELOPE
2020 RCNYS

LOCATION	TYPE	R-VALUE
ROOF	SPRAY FOAM (C)	R-49
CEILING	N/A	N/A
FLOOR (1)	SPRAY FOAM (C)	R-30 / R-49
FLOOR (2)	SPRAY FOAM (C)	R-21
WALLS (3)	SPRAY FOAM (C)	R-21
WALLS (4)	SPRAY FOAM (C)	R-21

(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
(3) EXTERIOR WALL (4) BASEMENT WALL PERIMETER
(O) OPEN CELL (C) CLOSED CELL
REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

BUILDING COMPONENT	NAME	TYPE	COLOR
ROOFING	GAF	ASPHALT	CHARCOAL
ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE - SHINGLE HARDIE BOARD-N-BATTEN	WHITE/GRAY WHITE
TRIM	BORAL	FLAT STOCK & MOULDING PROFILES	WHITE
WINDOWS	ANDERSEN	CLAD	WHITE
ENTRY DOORS	CUSTOM	MAHOGANY	DARK MAHOGANY
GARAGE DOORS	CUSTOM	COMPOSITE	WHITE
MASONRY VENEER	STONE	CONNECTICUT	MATCH EXISTING

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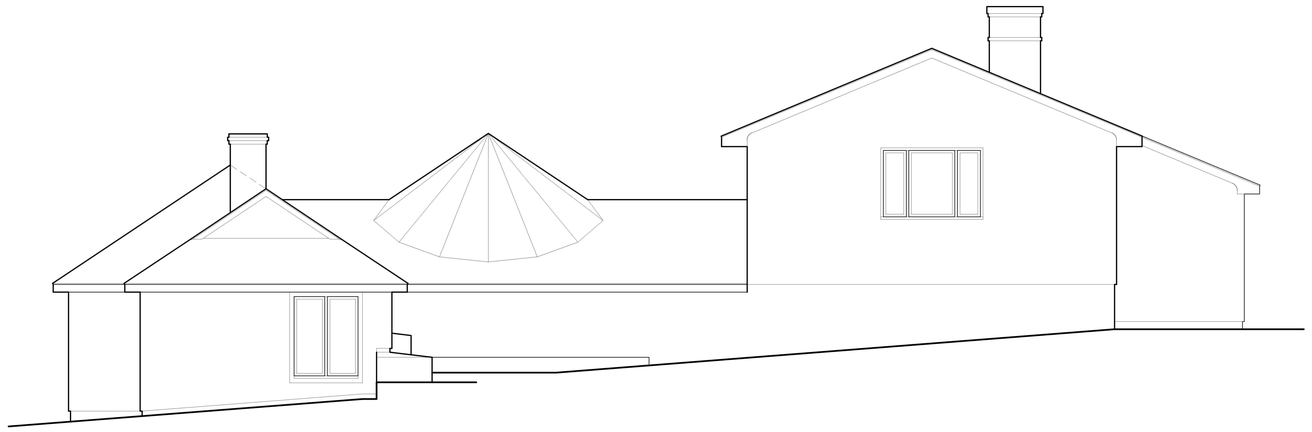
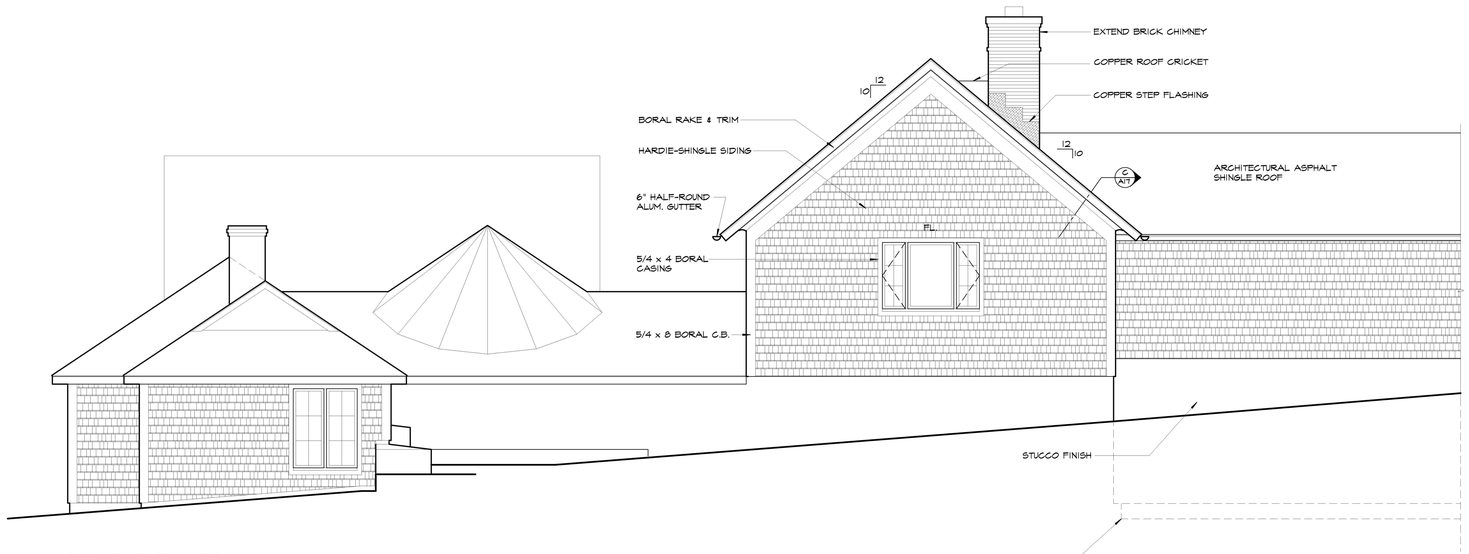
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No.
A13
ELEVATION

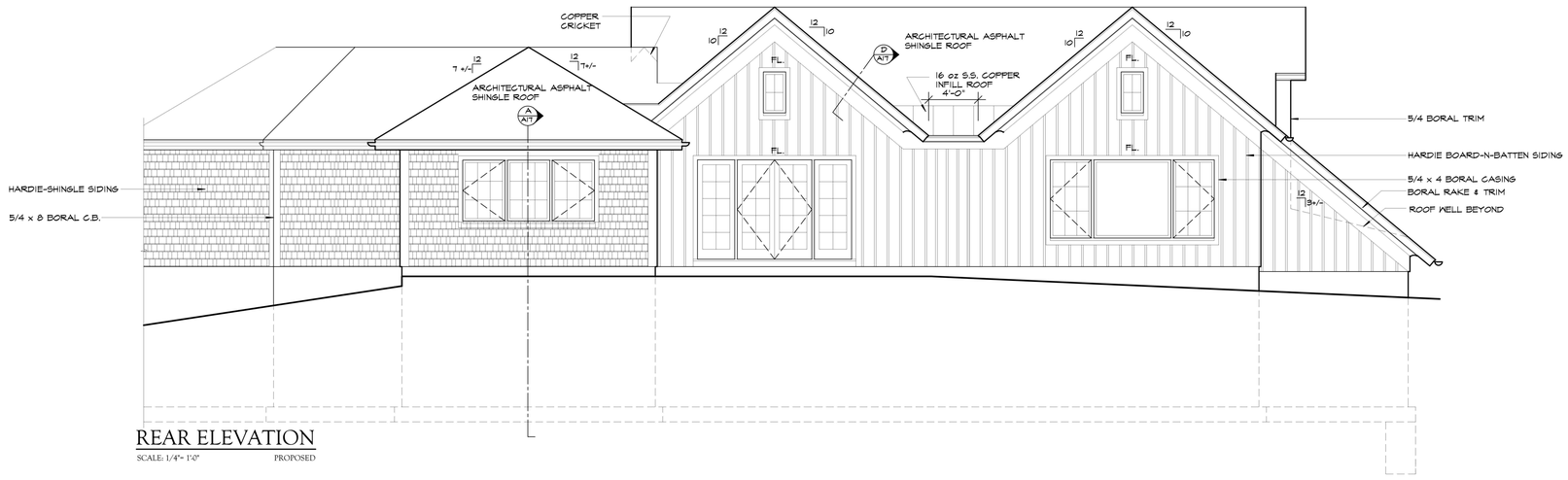
Rosenthal / 220079



REAR ELEVATION
SCALE: 1/4"= 1'-0" EXISTING



REAR ELEVATION
SCALE: 1/4"= 1'-0" PROPOSED



REAR ELEVATION
SCALE: 1/4"= 1'-0" PROPOSED

GENERAL NOTES

THERMAL ENVELOPE
2020 RCNYS

LOCATION	TYPE	R-VALUE
ROOF	SPRAY FOAM (C)	R-49
CEILING	N/A	N/A
FLOOR (1)	SPRAY FOAM (C)	R-30 / R-49
FLOOR (2)	SPRAY FOAM (C)	R-21
WALLS (3)	SPRAY FOAM (C)	R-21
WALLS (4)	SPRAY FOAM (C)	R-21

(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
(3) EXTERIOR WALL (4) BASEMENT WALL PERIMETER
(O) OPEN CELL (C) CLOSED CELL

REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

BUILDING COMPONENT	NAME	TYPE	COLOR
ROOFING	GAF	ASPHALT	CHARCOAL
ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE - SHINGLE HARDIE BOARD-N-BATTEN	WHITE/GRAY WHITE
TRIM	BORAL	FLAT STOCK & MOULDING PROFILES	WHITE
WINDOWS	ANDERSEN	CLAD	WHITE
ENTRY DOORS	CUSTOM	MAHOGANY	DARK MAHOGANY
GARAGE DOORS	CUSTOM	COMPOSITE	WHITE
MASONRY VENEER	STONE	CONNECTICUT	MATCH EXISTING

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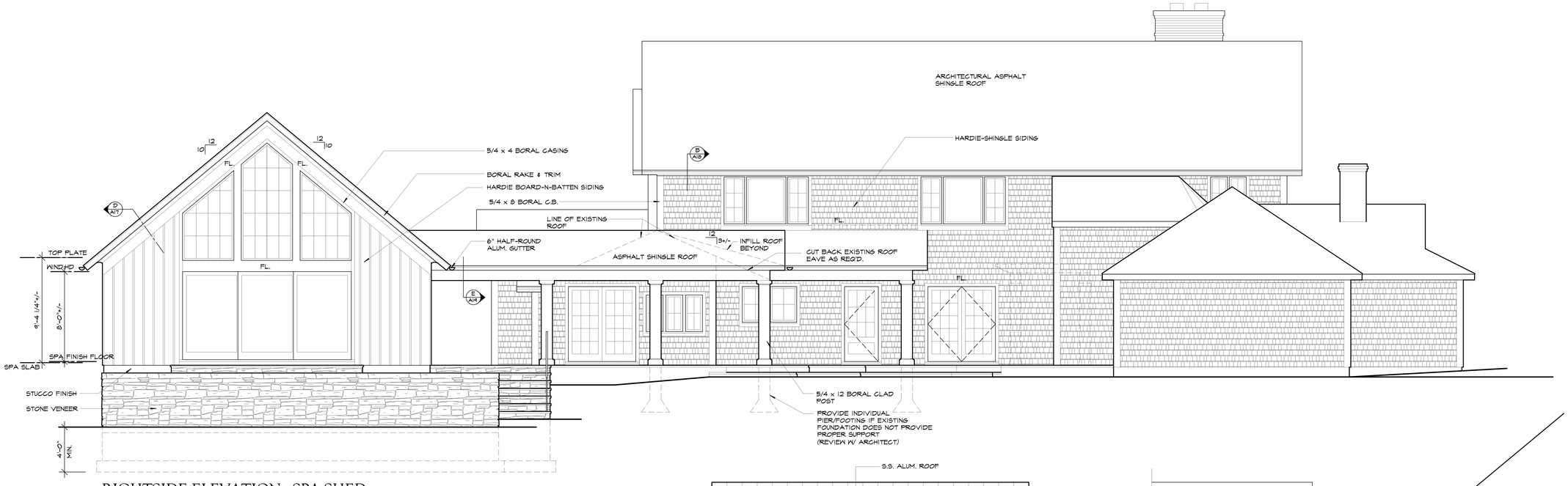
ORIGINAL ARCHITECT'S SEAL IN RED INK

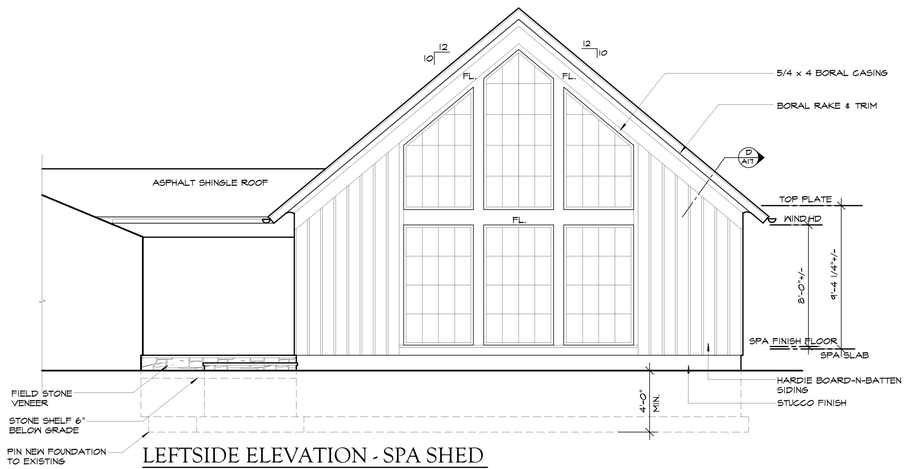
DWG No.
A14
ELEVATION

Rosenthal / 220079

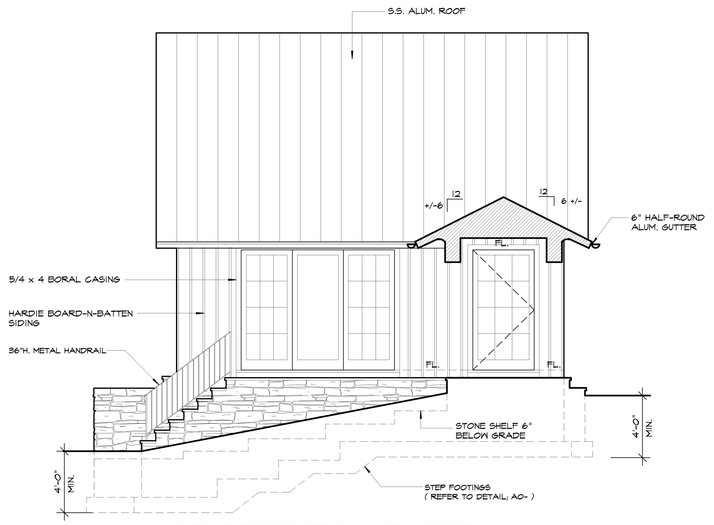
RIGHTSIDE ELEVATION
SCALE: 1/4"= 1'-0" EXISTING



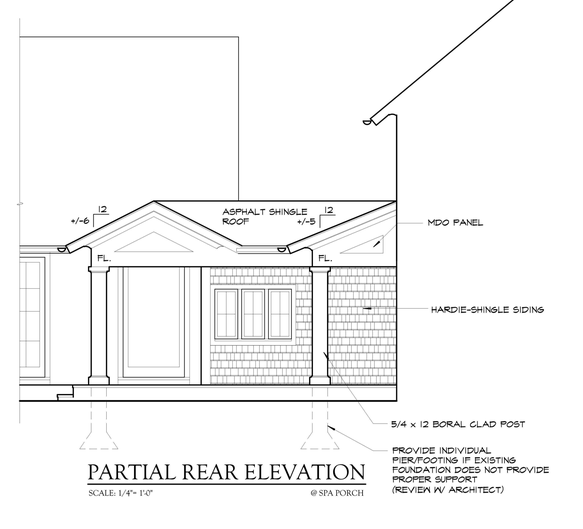
RIGHTSIDE ELEVATION - SPA SHED
SCALE: 1/4"= 1'-0" PROPOSED



LEFTSIDE ELEVATION - SPA SHED
SCALE: 1/4"= 1'-0" PROPOSED



REAR ELEVATION - SPA SHED
SCALE: 1/4"= 1'-0" PROPOSED



PARTIAL REAR ELEVATION
SCALE: 1/4"= 1'-0" @ SPA PORCH

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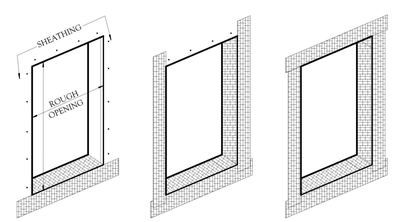
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. A15
ELEVATION

Rosenthal / 220079

WINDOW & EXTERIOR DOOR SCHEDULE

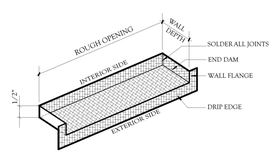
EGRESS: CLEAR OPENING (SQUARE FEET)	EGRESS: MIN. OPENING W	EGRESS: MIN. OPENING H	EGRESS: MIN. OPENING SILL		MANUFACTURER'S UNIT NUMBER	GLASS: U-VALUE	GLASS: SHGC	GLASS: TEMPERED	EXTERIOR CASING: 2" BMC (NOTE:16)	EXTERIOR CASING: 3 1/2" BMC	EXTERIOR CASING: 3 1/2" FLAT	EXTERIOR CASING: 5 1/2" FLAT	EXTERIOR CASING: CUSTOM ENTRANCE TRIM	EXTERIOR CASING: 5/4 x 10 FLAT ARCH HEAD	EXTERIOR CASING: NONE (FIELD APPLIED)	EXTERIOR CASING: MATCH EXISTING	NOTES
				A	42" x 84" x 2 1/4" MAHOGANY DOOR & (2) 24" w. SIDELIGHTS	0.27	0.19	●			●						
				B	AX 351	0.24	0.21	●									
				C	36" x 84" x 1 3/4" RAISED PANEL MAHOGANY DOOR	0.27	0.19	●									
				D	9'-0" x 8'-0" "CARRIAGE STYLE" GARAGE DOOR	0.32	0.19										20
				E	36" x 84" x 1 3/4" RAISED PANEL COMPOSITE DOOR	0.27	0.19										
				F	FWH 60611	0.26	0.17	●									
				G	36" x 80" x 1 3/4" RAISED PANEL MAHOGANY DOOR	0.27	0.19	●									
				H	CX 155 • P 5055 • CX 155 / A 31 • A 51 • A 31 (STATIONARY TRANSOM)	0.24	0.21	●									
				J	CX 155 - 2	0.24	0.21	●									
				K	FWH 4080 (CUSTOM SIZE)	0.26	0.17	●									19
				L	OUTSWING FOLDING DOOR 3380 - 3 PANEL	0.26	0.17	●									16, 18
				M	MULTIGLIDE DOOR 5080 - 3 PANEL	0.26	0.17	●									16, 17
				N	CXW 16 / AN 31	0.24	0.21	●									
				O	CUSTOM PICTURE WINDOW (48" w. FRAME & HEIGHT MATCH WINDOW "N")	0.24	0.21	●									
				P	CUSTOM PICTURE WINDOW (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				R	TRAPEZOID (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				S	PEAKED PENTAGON WINDOW (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				T	TRAPEZOID (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				U	TRAPEZOID (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				V	PEAKED PENTAGON WINDOW (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				W	TRAPEZOID (DIMENSION T.B.D. IN FIELD)	0.24	0.21	●									
				AA	P 3545 - 2 / AX 351 - 2 (STATIONARY AWNING TRANSOM)	0.24	0.21	●									
				BB	CX 145 - 3	0.24	0.21										
				CC	CXW 155	0.24	0.21	●									
				DD	CXW 155 • P 5055 • CXW 155	0.24	0.21	●									
				EE	CXW 155 - 3 / AXW 31 - 3 (STATIONARY AWNING TRANSOM)	0.24	0.21										
				FF	FWH 29611 S • 54611 • 29 611 S	0.26	0.17	●									
				GG	FWH 29611	0.26	0.17	●									
				HH	CXW 14 - 3	0.24	0.21										
				JJ	CXW 14	0.24	0.21										
8.80	26	47	52	KK	CXW 145	0.24	0.21										
				LL	CXW 145	0.24	0.21	●									
				MM	CN 13 (STATIONARY)	0.24	0.21										



1. APPLY WRAP TO SILL & FOLD 6 IN. DOWN, EXTENDING 4 IN. TO EACH SIDE. LAP LOWER EDGE OVER AIR INFILTRATION BARRIER
2. APPLY WRAP TO JAMBS OF ROUGH OPENING & FOLD 6 IN. OVER SHEATHING & 6IN. ABOVE & BELOW ROUGH OPENING.
3. REPEAT STEP 2, BUT FOR TOP OF ROUGH OPENING LEAVE OUTER EDGES UNSTAPLED FOR FUTURE INTEGRATION WITH AIR INFILTRATION BARRIER

NOTE: WRAP SHALL BE "AIR & VAPOR BARRIER WRAP" BY W.R. GRACE

Ⓐ WINDOW & DOOR ROUGH OPENING WRAP DETAIL
SCALE: NONE
(INSTALL AIR-INFILTRATION BARRIER, EG. "HYDROGAP" BY BENJAMIN OBDYKE PRIOR TO ROUGH-OPENING WRAP)



Ⓑ WINDOW & DOOR SILL PAN DETAIL
SCALE: NONE
NOTE: • SILL PAN SHALL BE 16 OZ. COPPER.
• PAN SHALL BE INSTALLED OVER 15# ROUGH OPENING WRAP.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT WINDOW SUBSTITUTIONS, IF ANY WHETHER BY MODEL OR MANUFACTURER COMPLY WITH STATE CODE FOR EGRESS AS DESIGNATED ABOVE.

NOTES

1. See floor plans for location of windows and doors.
2. Windows and French doors shall be "400 SERIES". by ANDERSEN WINDOWS Window manufacturer shall provide complete shop drawings for review and approval.
3. Window & door glazing shall be insulated glass with 7/8" simulated divided lites (SDL) . Insulated glass shall be Low-E3 w/ERS glass and Argon gas.
4. Refer to exterior elevations for window & door muntin pattern
5. Windows shall be prepared for "full" stools. Stools shall be field applied.
6. Windows and French doors to be factory primed.
7. Windows to be complete with screens, white sash lock and white jamb hardware.
8. Single stud pocket.
9. Double stud pocket.
10. Glazing for radius and custom windows shall be in sash.
11. Provide heavy duty track and hardware at each garage door, complete with electric opener and key pads. Review key pad locations with Owner.
12. Hardware shall be complete for all doors. Owner shall select hardware and finishes.
13. Each pane of safety glass shall have type of glazing designation laser etched and visible.
14. Garage doors must meet the latest edition of The Energy Code and the minimum required U-factor.
15. Exterior doors shall be selected by Owner.
16. Traditional stile and rails (rails match FWH)
17. On-floor drainage sill.
18. Standard sill.
19. Alternate: pivot door or by another door manufacturer. Review options with owner.
20. Review door design and specifications with owner.

EXISTING WINDOWS

1. Provide grilles to match new windows. Refer to elevations for pattern.
2. Review with owner prior to ordering.

WINDOW FALL PROTECTION

1. Operable windows with top of sill less than 24 inches above finished floor and greater than 72 inches above exterior finished grade shall be outfitted with opening an control device.
2. Window opening control device shall be supplied by the window manufacturer and comply with ASTM F 2090.
3. G.C. shall be responsible to verify in field windows that require control devices and install accordingly.

LINTEL SCHEDULE

L	SIZE	MINIMUM BEARING
L-E	EXISTING LINTEL (EXPOSE & VERIFY IN FIELD AS REQUIRED)	
L-0	SEE FLOOR PLAN'S FRAMING LAYOUT FOR LINTEL SIZE	
L-1	4" x 4" x 5/16" GALVANIZED STEEL ANGLE	6" (EACH END)
L-2	6" x 4" x 3/8" GALVANIZED STEEL ANGLE	6" (EACH END)
L-3	7" x 4" x 3/8" GALVANIZED STEEL ANGLE	8" (EACH END)
L-4	8" x 4" x 1/2" GALVANIZED STEEL ANGLE	8" (EACH END)
NOTES	1. STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A-36 FOR STRUCTURAL STEEL 2. STEEL ANGLE LINTEL SHALL BE HOT DIPPED GALVANIZED STEEL 3. WIDE FLANGE STEEL BEAM LINTEL SHALL RECEIVE (2) COATS OF RUST INHIBITOR (1 SHOP COAT & 1 FIELD COAT)	

HEADER SCHEDULE

H	SIZE				
H-0	SEE FLOOR PLAN'S FRAMING LAYOUT FOR HEADER SIZE				
H-E	EXISTING HEADER (EXPOSE & VERIFY IN FIELD AS REQUIRED)				
H305	(3) 5 1/2" L.V.L	H205	(2) 5 1/2" L.V.L	H109	5 1/4" x 9 1/2" P.S.L
H306	(3) 2 x 6 D.F.	H206	(2) 2 x 6 D.F.	H111	5 1/4" x 11 7/8" P.S.L
H307	(3) 7 1/4" L.V.L	H207	(2) 7 1/4" L.V.L	H114	5 1/4" x 14" P.S.L
H308	(3) 2 x 8 D.F.	H208	(2) 2 x 8 D.F.	H116	5 1/4" x 16" P.S.L
H309	(3) 9 1/2" L.V.L.	H209	(2) 9 1/2" L.V.L.	H118	5 1/4" x 18" P.S.L
H310	(3) 2 x 10 D.F.	H210	(2) 2 x 10 D.F.		
H311	(3) 11 7/8" L.V.L.	H211	(2) 11 7/8" L.V.L.	H009	3 1/2" x 9 1/2" P.S.L
H312	(3) 2 x 12 D.F.	H212	(2) 2 x 12 D.F.	H011	3 1/2" x 11 7/8" P.S.L
H314	(3) 14" L.V.L	H214	(2) 14" L.V.L	H014	3 1/2" x 14" P.S.L
H316	(3) 16" L.V.L	H216	(2) 16" L.V.L	H016	3 1/2" x 16" P.S.L
H318	(3) 18" L.V.L	H218	(2) 18" L.V.L	H018	3 1/2" x 18" P.S.L
D.F.	DIMENSIONAL FRAMING LUMBER NO. 2 DOUGLAS FIR (Fb = 950 psi, MIN)				
L.V.L.	LAMINATED VENEER LUMBER 1.9 E (Fb = 2,600 PSI)				
P.S.L.	PARALLEL STRAND LUMBER 2.0 E (Fb = 2,900 PSI)				
NOTES	1. FLUSH L.V.L. HEADERS SHALL BE BOLTED TOGETHER AS PER MANUFACTURER'S SPECIFICATIONS. 2. DOUBLE JACK STUD @ ROUGH OPENINGS 4 FEET AND GREATER 3. TRIPLE JACK STUD @ ROUGH OPENINGS 8 FEET AND GREATER 4. ADD ONE (1) ADDITIONAL JACK STUD AT OPENINGS WITH POINT LOADED HEADERS				

Proposed Addition & Alteration to
Rosenthal Residence
10 Creemer Road
Armonk, NY

JUSTIN F. MINIERI, AIA
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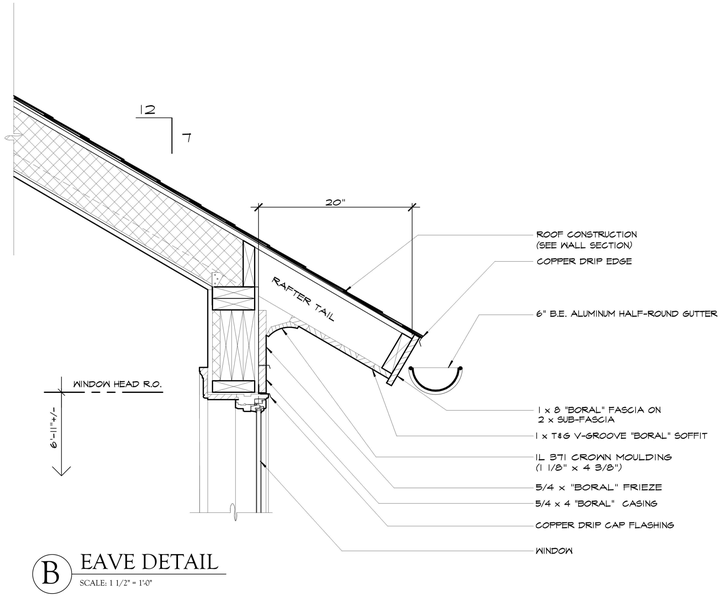
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECTS SEAL IN RED INK

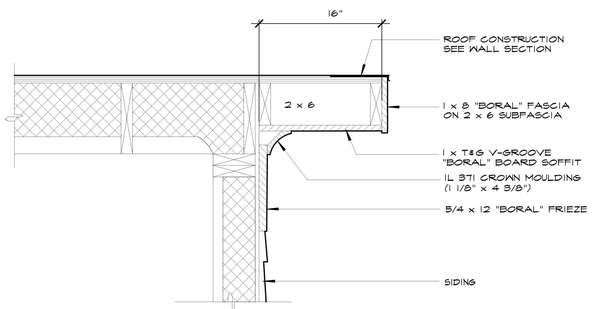
DWG No. A16
WINDOW SCHED.

Rosenthal / 220079

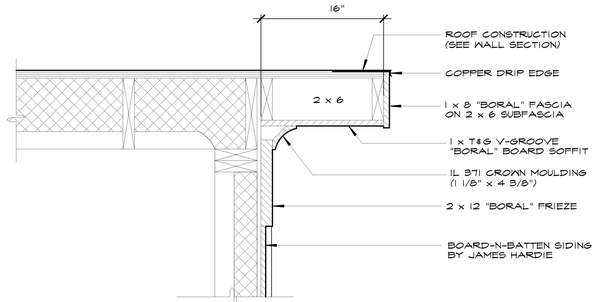
A15PDWS091009



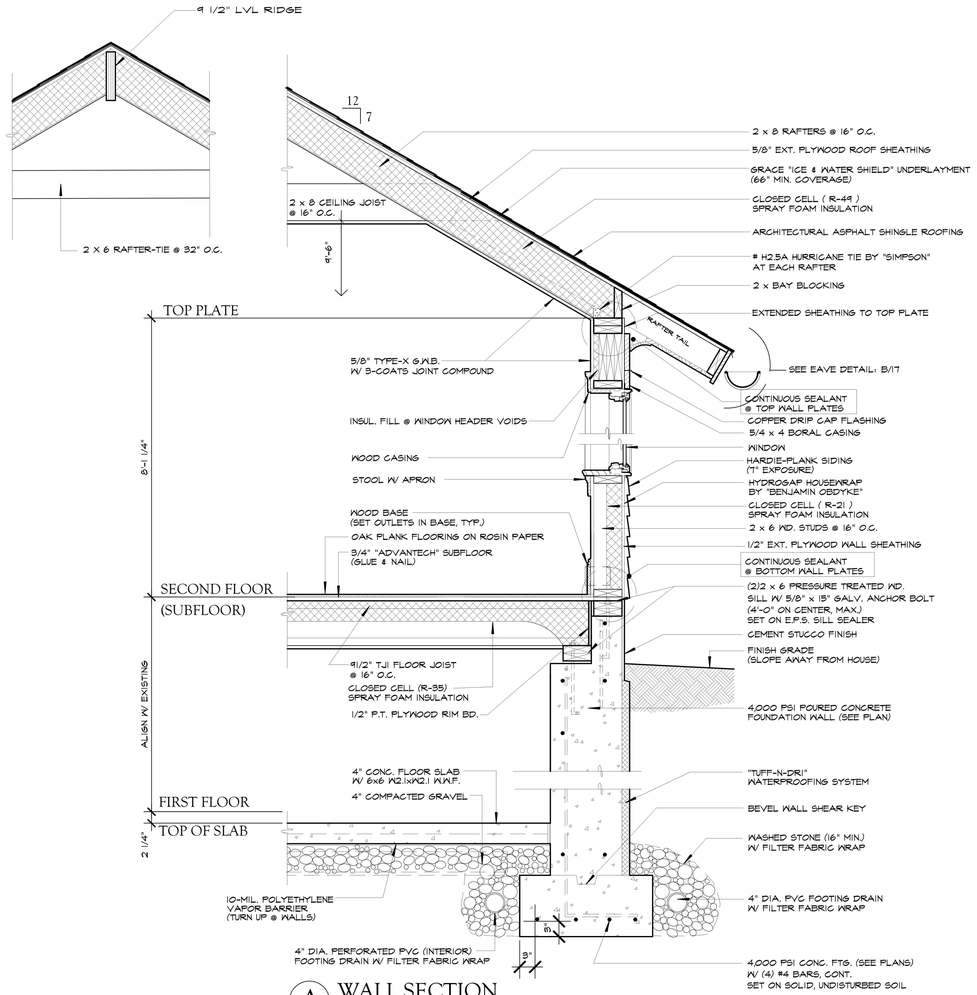
B EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



C RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



D RAKE DETAIL
SCALE: 1 1/2" = 1'-0"



A WALL SECTION
SCALE: 1" = 1'-0"

- ALL EXTERIOR SIDING AND TRIM SHALL BE THOROUGHLY PRIMED, AS WELL AS BACK PRIMED, INCLUDING ALL EDGES.
- CAULK AROUND ALL WINDOW AND DOOR OPENINGS
- PROVIDE "AIR & VAPOR BARRIER" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL ON WINDOW SCHEDULE

G.C. SHALL PROVIDE UNDER SLAB PERFORATED 4" PVC THROUGHOUT FOR FUTURE RADON MITIGATION. G.C. SHALL LOCATE STUD-UPS (capped) TO ALLOW FOR FUTURE INSTALLATION OF IN-LINE FAN AND VENTING TO EXTERIOR.

Proposed Addition & Alteration to

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Armonk, NY

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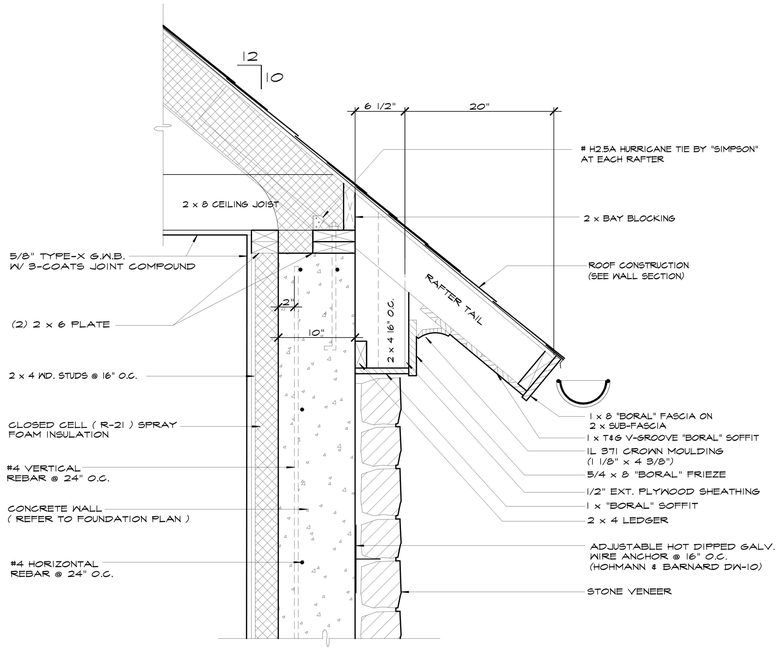
REVISIONS: 8/25/23

ORIGINAL ARCHITECTS SEAL IN RED INK

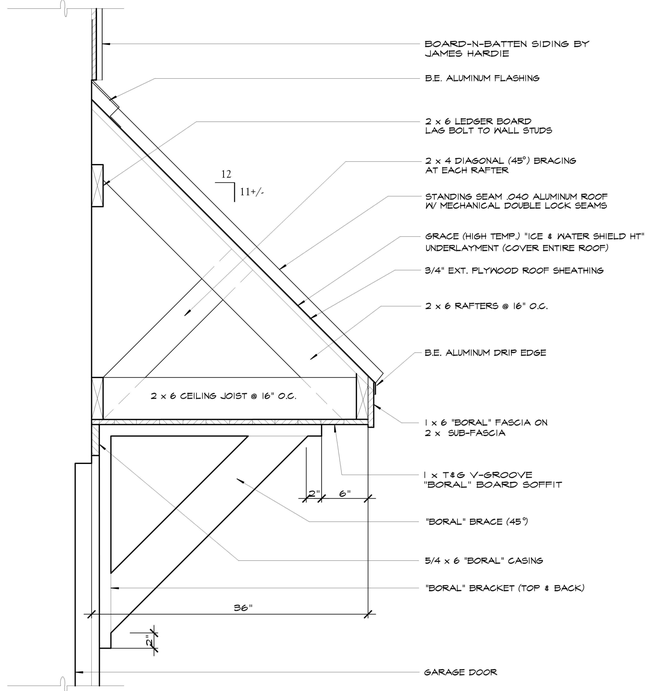
DWG No. A17

DETAILS

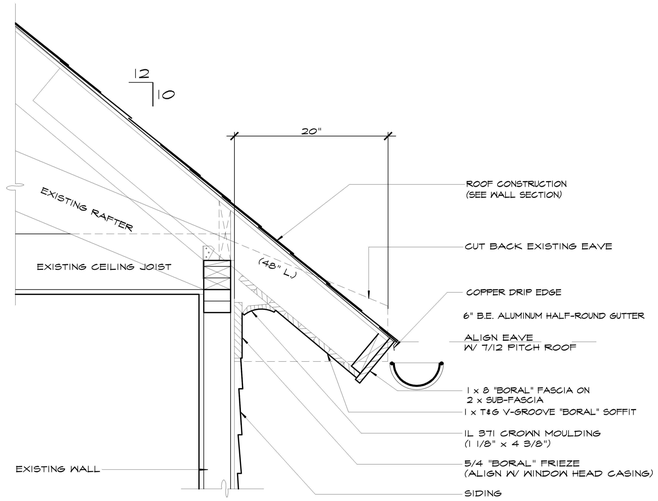
Rosenthal / 220079



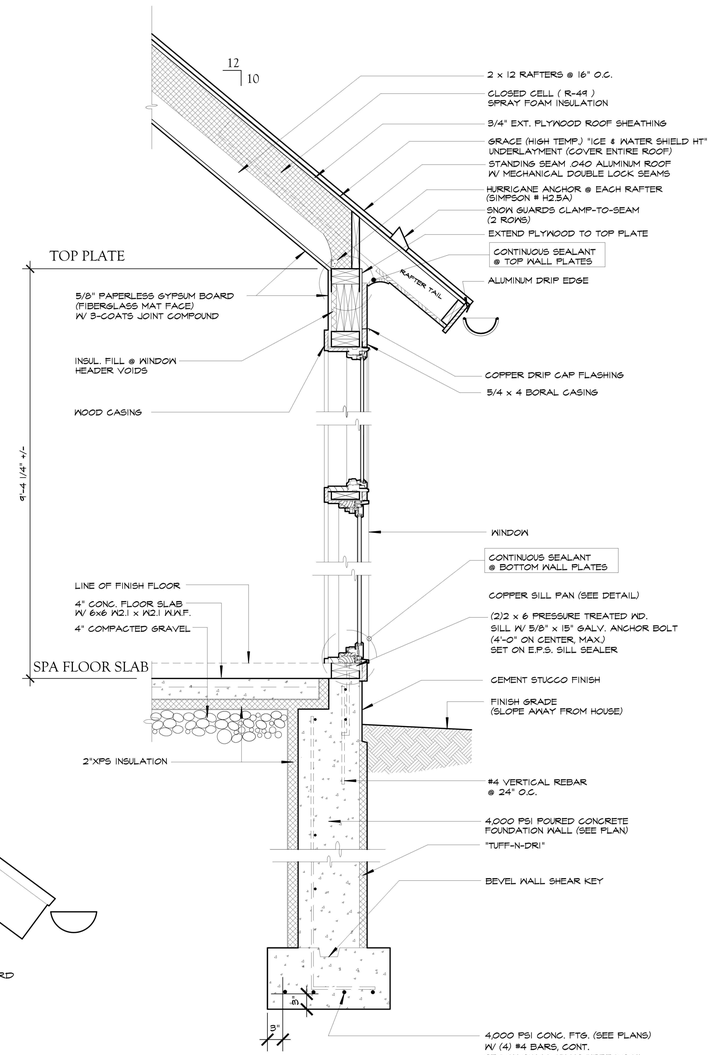
E EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



C DOOR CANOPY DETAIL
SCALE: 1 1/2" = 1'-0"

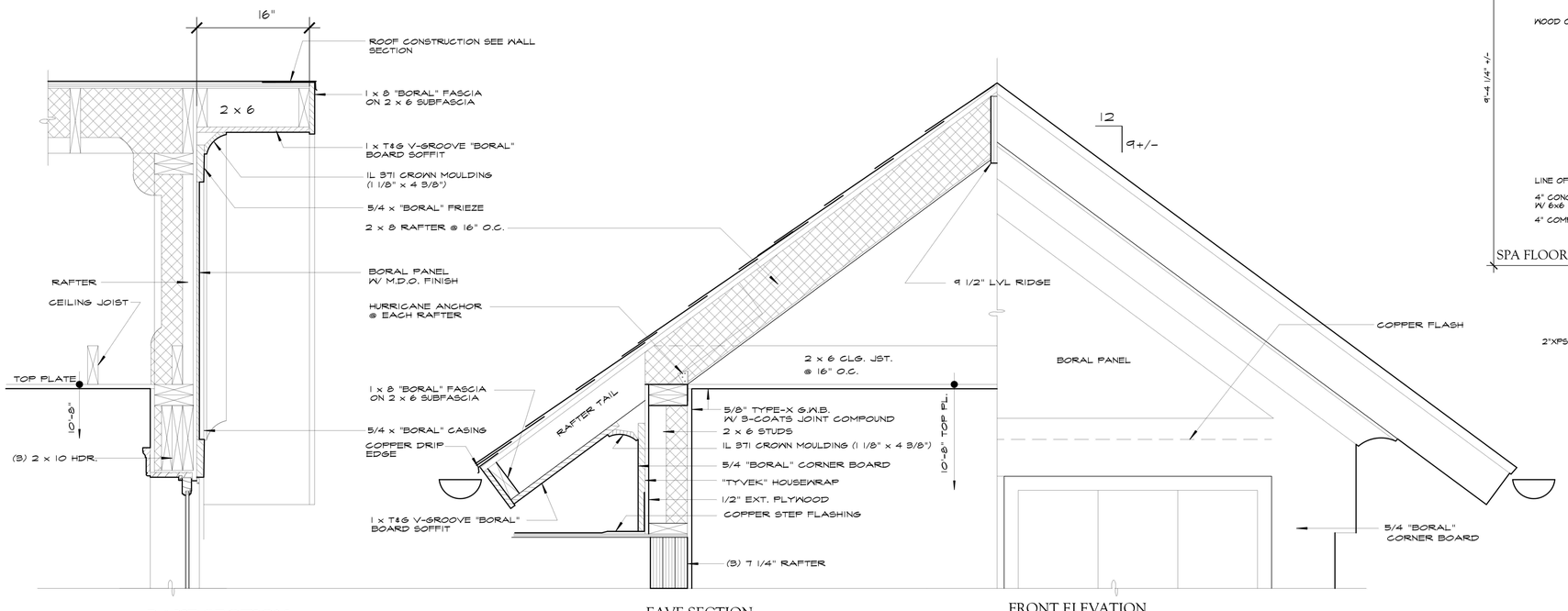


B EAVE DETAIL
SCALE: 1 1/2" = 1'-0"



A WALL SECTION
SCALE: 1" = 1'-0"

- ALL EXTERIOR SIDING AND TRIM SHALL BE THOROUGHLY PRIMED, AS WELL AS BACK PRIMED, INCLUDING ALL EDGES.
- CAULK AROUND ALL WINDOW AND DOOR OPENINGS
- PROVIDE "AIR & VAPOR BARRIER" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL ON WINDOW SCHEDULE



RAKE SECTION

EAVE SECTION

FRONT ELEVATION

D DORMER DETAILS / ELEVATION
SCALE: 1 1/2" = 1'-0"

5/8" TYPE-X G.W.B.
W/ 3 COATS JOINT COMPOUND

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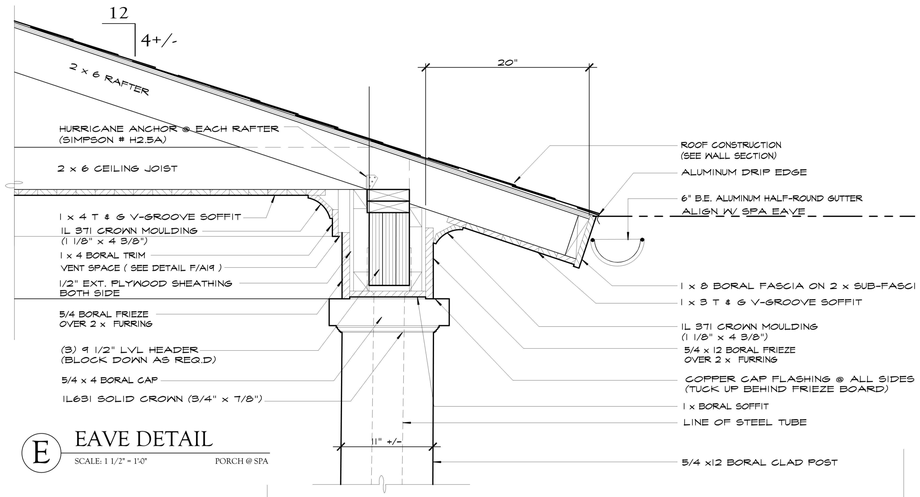
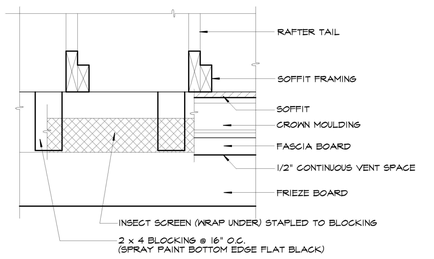
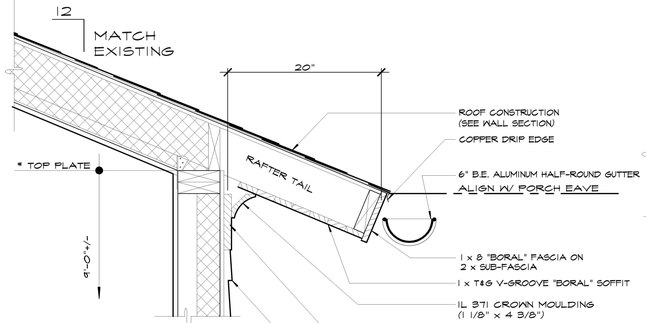
ORIGINAL ARCHITECTS SEAL IN RED INK
DWG No. A18
DETAILS
Rosenthal / 220079



E EAVE DETAIL
SCALE: 1 1/2" = 1'-0" PORCH @ SPA

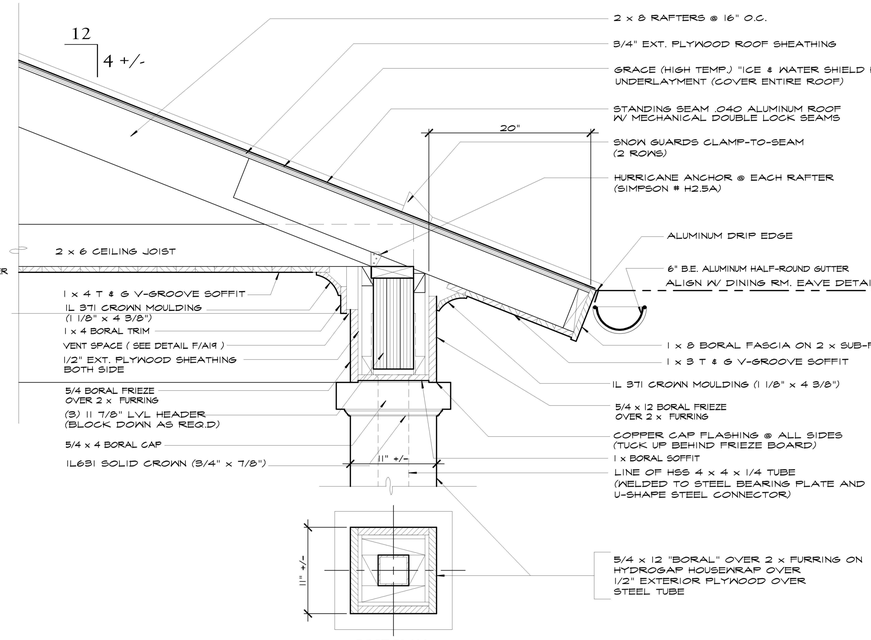


F TYPICAL EAVE VENT DETAIL
SCALE: NONE

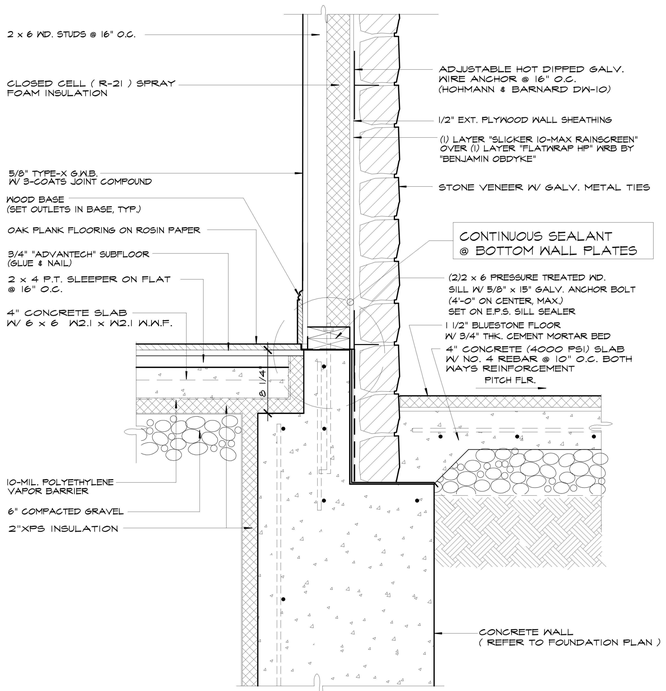


D EAVE DETAIL
SCALE: 1 1/2" = 1'-0"

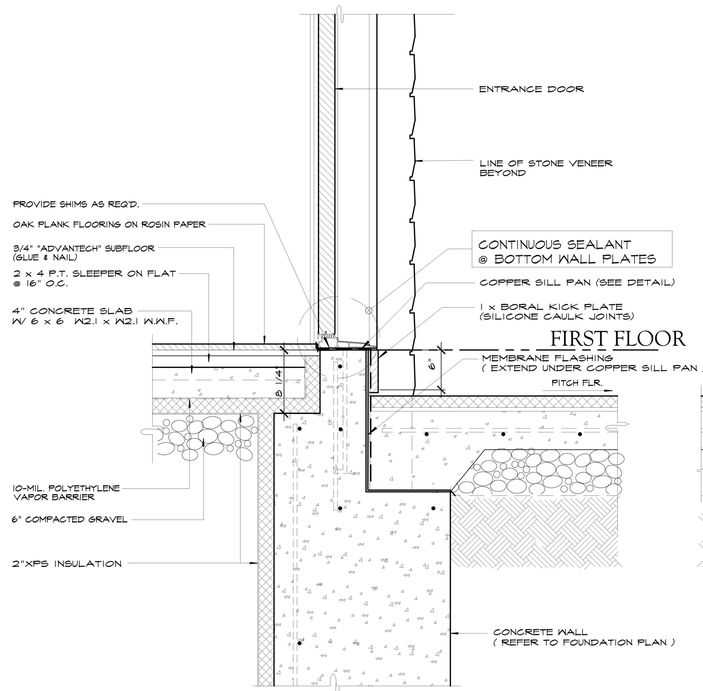
* SET BY EXISTING TOP PLATE
AT DINING ROOM ROOF BEAM



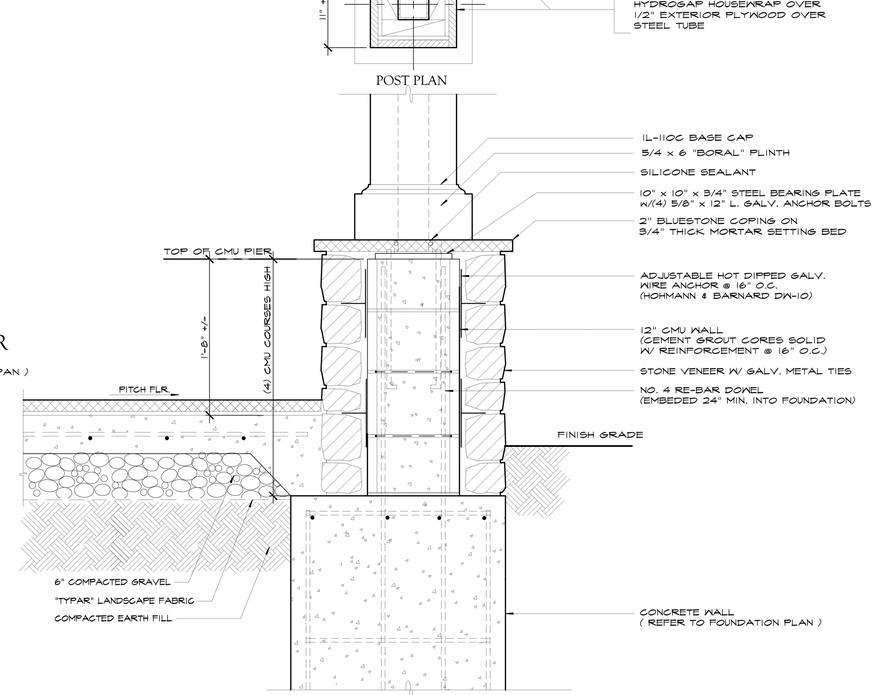
POST PLAN



C SECTION THROUGH PORCH
SCALE: 1 1/2" = 1'-0"



B SECTION THROUGH PORCH
SCALE: 1 1/2" = 1'-0"



A SECTION THROUGH PORCH
SCALE: 1 1/2" = 1'-0"

Proposed Addition & Alteration to Rosenthal Residence
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Armonk, NY

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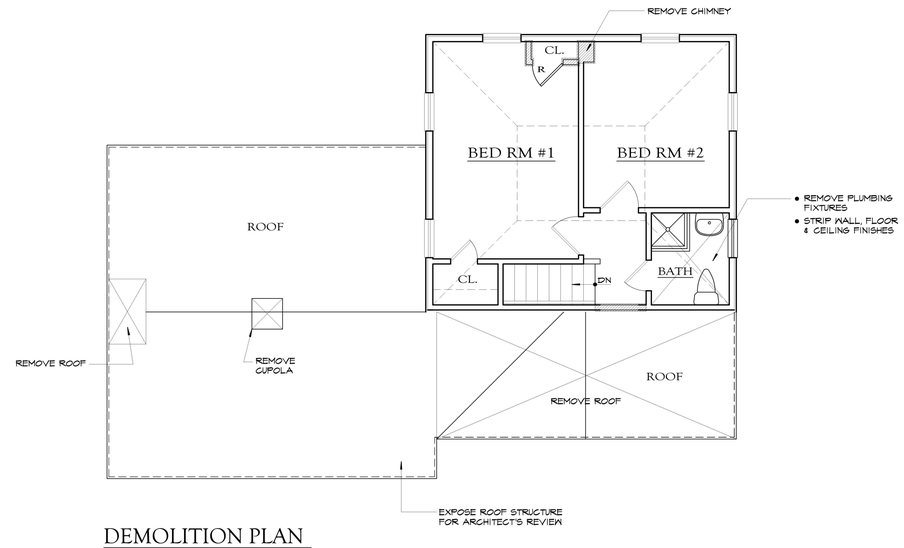
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

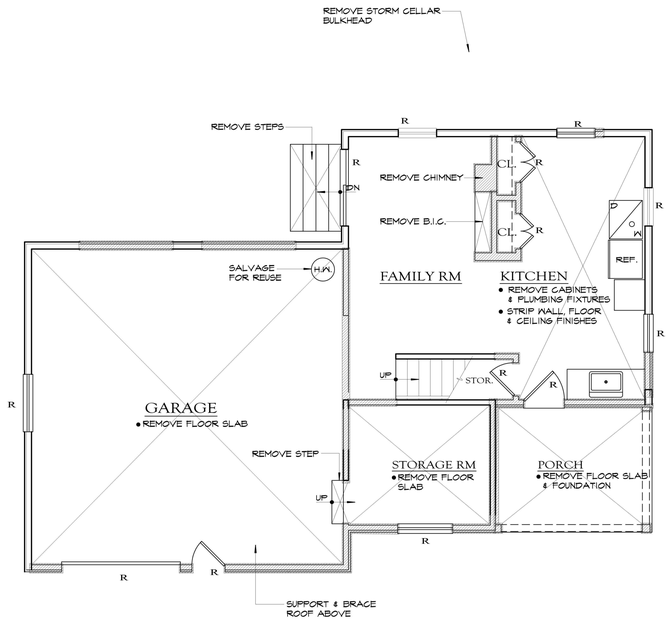
DWG No. A19
DETAILS

Rosenthal / 220079



DEMOLITION PLAN

SCALE: 1/4"= 1'-0" SECOND FLOOR



DEMOLITION PLAN

SCALE: 1/4"= 1'-0" FIRST FLOOR

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO ALL RULES AND REGULATIONS HAVING JURISDICTION.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY ALL EXISTING CONDITIONS INCLUDING CONCEALED AREAS IF POSSIBLE, PRIOR TO START OF WORK.
3. G.C. SHALL LOCATE AND IDENTIFY UNDERGROUND UTILITY LINES, IF ANY, PRIOR TO START OF EXCAVATION. G.C. SHALL BE RESPONSIBLE TO REPAIR DAMAGED OR INTERRUPTED SERVICES RESULTING FROM THE WORK BEING PERFORMED.
4. G.C. SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY AND/OR DISCOVERY OF AN UNKNOWN CONDITION.
5. MATERIALS OR ITEMS NOTED TO BE RE-USED, SHALL BE CAREFULLY REMOVED, PROTECTED AND STORED ON SITE.
6. G.C. SHALL OBTAIN FROM THE OWNER A LIST OF ITEMS, IF ANY, TO BE SALVAGED AND CLAIMED BY THE OWNER. ITEMS SHALL BE STORED AND PROTECTED ON SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.
7. G.C. SHALL PROVIDE REQUIRED SHORING, BRACING, TEMPORARY RAILS, FENCES, AND ENCLOSURES AS REQUIRED TO MAINTAIN PUBLIC SAFETY CONTINUOUSLY DURING CONSTRUCTION.
8. PROVIDE TARPS AS REQUIRED TO PROTECT STRUCTURE(S) FROM WEATHER. MAINTAIN TARPS IN GOOD CONDITION AND REPLACE WHEN DAMAGED.
9. IDENTIFY HAZARDOUS MATERIALS, IF ANY, PRIOR TO DEMOLITION. REMOVAL AND/OR CONTAINMENT AS REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH GUIDELINES SET BY THE APPLICABLE GOVERNING AGENCIES.
10. REMOVE AND REPLACE ANY DAMAGED OR ROTTED LUMBER. REVIEW QUESTIONABLE CONDITIONS WITH ARCHITECT.
11. ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE REMOVED AND LEGALLY DISPOSED OFF-SITE BY G.C.
12. G.C. SHALL PROTECT ALL AREAS NOT WITHIN THE SCOPE OF WORK FROM DAMAGE OR DUST DURING DEMOLITION AND CONSTRUCTION.
13. WINDOW AND DOOR REMOVAL SHALL INCLUDE FRAMES, EXPOSING ROUGH OPENING UNLESS OTHERWISE NOTED.
14. UTILITIES SERVING OCCUPIED SPACES SHALL NOT BE INTERRUPTED WITHOUT THE OWNER'S PERMISSION AND PROVIDE TEMPORARY UTILITIES AS NECESSARY.
15. HEATING SYSTEM SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION DURING HEATING SEASON WHETHER OR NOT THE RESIDENCE IS OCCUPIED UNLESS CIRCUMSTANCES MADE KNOWN TO THE OWNER DICTATE OTHERWISE.
16. REMOVE ALL ABANDONED PLUMBING AND ELECTRICAL LINES.
17. REPLACE PLUMBING AND/OR ELECTRICAL LINES WITHIN THE CONSTRUCTION AREA THAT ARE FOUND TO BE NON-CONFORMING WITH APPLICABLE CODES.

LEGEND

- EXISTING WALL REMAIN (VERIFY WALL TYPE IN FIELD)
- EXISTING WALL TO BE REMOVED
- E — WINDOW OR DOOR TO REMAIN
- R — WINDOW OR DOOR TO BE REMOVED
- S — WINDOW OR DOOR TO BE SALVAGED (STORE ON SITE FOR RE-USE)

DO NOT SCALE PRINTS

Proposed Addition & Alteration to

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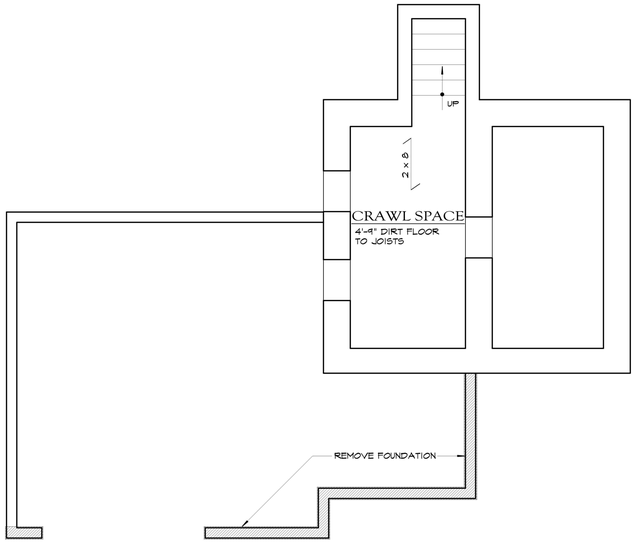
DATE: 1/31/22

REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

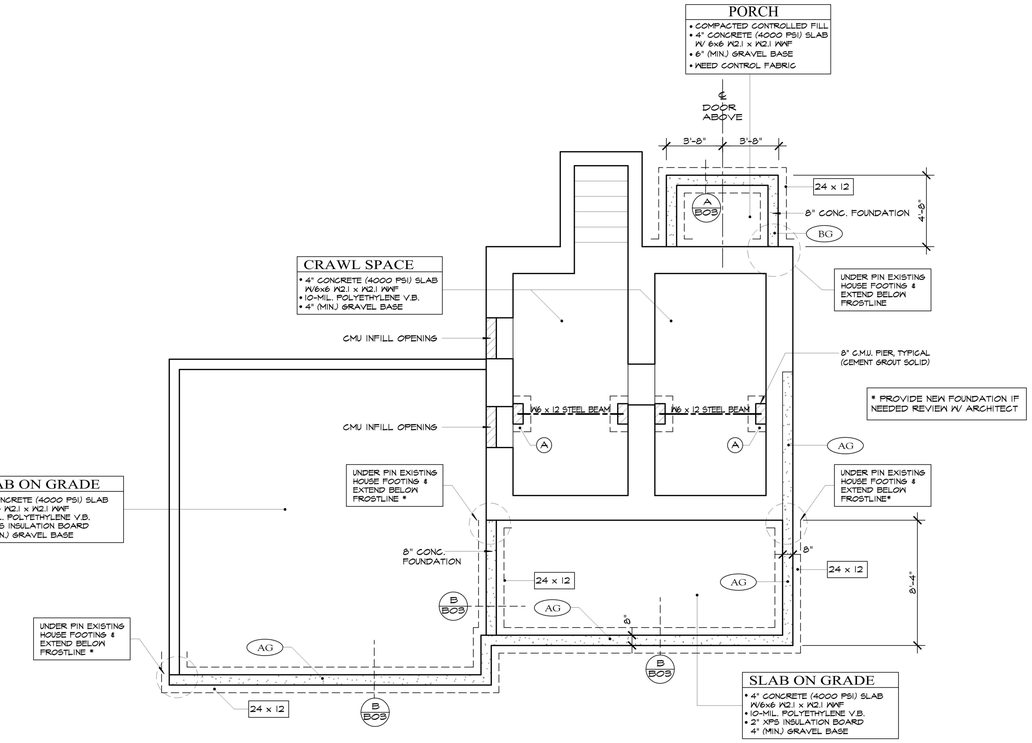
DWG No. B01 EXISTING

Rosenthal / 220079



FOUNDATION PLAN

SCALE: 1/4"= 1'-0" EXISTING



FOUNDATION PLAN

SCALE: 1/4"= 1'-0"

•GALVANIZE COATING SPECIFICATIONS FOR ANCHOR BOLTS TO SECURE MUDSILL PLATES SHALL BE COMPATIBLE FOR PRESSURE TREATED AS PER CODE.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT ALL FOUNDATION DIMENSIONS ARE ACCURATE & CLOSE PRIOR TO PLACING CONCRETE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

2. ALL FOOTINGS MUST BEAR ON SOLID, UNDISTURBED "VIRGIN" SOIL BELOW FROSTLINE.

3. DESIGN OF ALL CONCRETE SHALL CONFORM TO THE LATEST EDITION OF ACI SPECIFICATIONS AND PRODUCED IN APPROVED MIXING PLANT IN ACCORDANCE WITH ASTM REQUIREMENTS. CONCRETE STRENGTH FOR VARIOUS USES SHALL BE AS SPECIFIED IN THE FOLLOWING SCHEDULE; (MIN. COMPRESSIVE STRENGTH, f'c AT 28 DAYS)

- FOOTINGS, FOUNDATIONS & INTERIOR FLOOR SLABS.....4000 PSI
- GARAGE & EXTERIOR FLOOR SLABS.....5000 PSI

4. STEEL BEAMS SHALL CONFORM TO ASTM SPECIFICATIONS A36 FOR STRUCTURAL STEEL. (Fy = 36 KSI)

5. STEEL COLUMNS SHALL BE STANDARD STEEL PIPE AND CONFORM TO ASTM SPECIFICATIONS A53 GRADE B FOR STRUCTURAL STEEL. (Fy = 35 KSI)

6. FOUNDATION WALL FOOTINGS SHALL BE REINFORCED CONCRETE (SEE WALL SECTION), 12-IN. DEEP AND 12-IN. (MIN) WIDER THAN WIDTH OF FOUNDATION, UNLESS NOTED OTHERWISE.

7. CMU SHALL BE LOAD BEARING CONCRETE BLOCK LAID LEVEL AND PLUMB IN A FULL BED OF CEMENT MORTAR. ALL JOINTS SHALL BE FILLED AND PROPERLY TOOLED. HORIZONTAL JOINTS SHALL BE REINFORCED WITH DUR-O-WALL WIRE @ 16-IN ON CENTER. CEMENT GROUT SOLID CORES WITH REBAR.

8. BAR REINFORCING STEEL FOR CONCRETE SHALL BE GRADE 60 DEFORMED BARS EXCEPT FOR TIES, WHICH MAY BE PLAIN, SHALL CONFORM TO ASTM SPECIFICATIONS. REINFORCEMENT STEEL BARS (REBAR) SHALL BE NO. 4 UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS AND DETAILS FOR REBAR PLACEMENT.

9. PROVIDE WALL AND/OR FOOTING SLEEVES AS REQUIRED FOR UTILITIES.

10. FOUNDATION WALL SHELVES FOR MASONRY VENEER BEARING SHALL BE BELOW FINISH GRADE.

11. PROVIDE 1/2-IN. DIAMETER x 18-IN. GALVANIZED ANCHOR J-BOLT W/ WASHERS AT 48-IN. O.C. (MAX.) TO SECURE MUD SILL PLATES TO TOP OF FOUNDATION WALL.

12. FILLED AREAS TO BE MECHANICALLY COMPACTED.

13. PROVIDE FOOTING DRAINS TO APPROVED STORM DRAINAGE SYSTEM.

14. PROVIDE PRESSURE TREATED (PT) 2x SUB-FRAME AT WINDOW AND DOOR MASONRY OPENINGS.

15. FLATWORK SCHEDULE WHERE APPLICABLE:

- BASEMENT FLOOR SLAB .....4-IN. THICK
- INTERIOR FLOOR SLAB .....4-IN. THICK
- CRAWL SPACE FLOOR SLAB .....2-IN. THICK
- GARAGE FLOOR SLAB .....5-IN. THICK
- EXTERIOR FLOOR SLAB .....5-IN. THICK

15. ALL SLABS EXCEPT AT CRAWL SPACE SHALL BE REINFORCED WITH 6 x 6 W2.1 x W2.1 W.W.F. PITCH GARAGE AND EXTERIOR SLABS FOR FOR DRAINAGE. PROVIDE GRAVEL BASE (4-IN. MIN.) BENEATH ALL CONCRETE SLABS.

16. PROVIDE 6-MIL. POLYETHYLENE VAPOR BARRIER UNDER ALL INTERIOR FLOOR SLABS INCLUDING GARAGE.

17. ALL STEEL GIRDER, COLUMN, PLATES, ETC.....SHALL BE SHOP PRIMED WITH (1) COAT OF RUST PROHIBITOR AND A SECOND COAT APPLIED IN THE FIELD.

18. PROVIDE COPPER TERMITE SHIELD AT TOP OF FOUNDATION WALLS ENCLOSING CRAWL SPACE (IF ANY), AS SHOWN ON THE WALL SECTION. MAINTAIN SEPARATION FROM P.T. MUDSILL WITH E.P.S. SILL SEALER.

COLD WEATHER

THE MIX, PLACING AND CURING OF STRUCTURAL CONCRETE SHALL COMPLY WITH SPECIFICATIONS OUTLINED IN THE ACI 306R (LATEST EDITION), GUIDE TO COLD WEATHER CONCRETING. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE ADHERANCE TO ALL APPLICABLE SECTIONS.

FOOTING SCHEDULE

FOOTING REINFORCEMENT SHALL BE NO. 4 REBAR @ 9" O.C. EACH WAY (MAT REINFORCMENT)

◯	FOOTING SIZE		
Ⓧ	EXISTING FOOTING (G.C. SHALL BE RESPONSIBLE TO VERIFY IN FIELD)		
Ⓐ	24" x 24" x 12" D. CONCRETE FOOTING	Ⓕ	24" x L x 12" D. CONCRETE FOOTING *
Ⓑ	30" x 30" x 12" D. CONCRETE FOOTING	Ⓖ	30" x L x 12" D. CONCRETE FOOTING *
Ⓒ	36" x 36" x 15" D. CONCRETE FOOTING	Ⓗ	36" x L x 15" D. CONCRETE FOOTING *
Ⓓ	42" x 42" x 15" D. CONCRETE FOOTING	Ⓙ	42" x L x 15" D. CONCRETE FOOTING *
Ⓔ	48" x 48" x 15" D. CONCRETE FOOTING	Ⓚ	48" x L x 15" D. CONCRETE FOOTING *

* NOTE: THE LENGTH (L) OF FOOTING SHALL BE THE COLUMN SPACING DISTANCE PLUS THE FOOTING WIDTH.

LEGEND

	EXISTING FOUNDATION WALL (VERIFY IN FIELD)
	POURED CONCRETE FOUNDATION WALL W/ REINFORCED POURED CONCRETE FOOTING
	CMU FOUNDATION WALL W/ REINFORCED POURED CONCRETE FOOTING
SHELF	FOUNDATION WALL SHELF FOR MASONRY VENEER BEARING (SET SHELF 6" MIN. BELOW FINISHED GRADE)
STEM	FOUNDATION STEM WALL (SEE DETAIL)
	BEAM WALL POCKET 12" x 5" x 3/4" STEEL BEARING PLATE
◯	POURED CONCRETE CYLINDRICAL PIER
○	EXISTING STEEL COLUMN (VERIFY IN FIELD)
●	* 4" O.D. STANDARD STEEL PIPE COLUMN BASE PLATE: 8" x 8" x 3/4" STEEL PLATE TOP PLATE: 10" x 5 1/2" x 3/4" STEEL PLATE
□	* HSS 4 x 4 x 1/4 BASE PLATE: 8" x 8" x 3/4" STEEL PLATE TOP PLATE: 10" x 5 1/2" x 3/4" STEEL PLATE
	* UNLESS NOTED OTHERWISE ON PLANS.
24 x 12	FOOTING SIZE (W x D INCHES)
+ 00	TOP OF WALL ELEVATION (INCHES)
BG	TOP OF WALL BELOW FINISH GRADE (6" MIN.)
AG	TOP OF WALL ABOVE FINISH GRADE (8" MIN.)

DO NOT SCALE PRINTS

PD-A04-A-1-111307

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

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DATE: 1/31/22

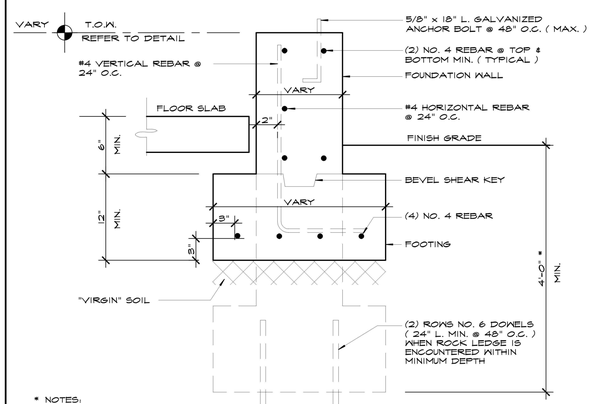
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. B02 FOUNDATION

Rosenthal / 220079

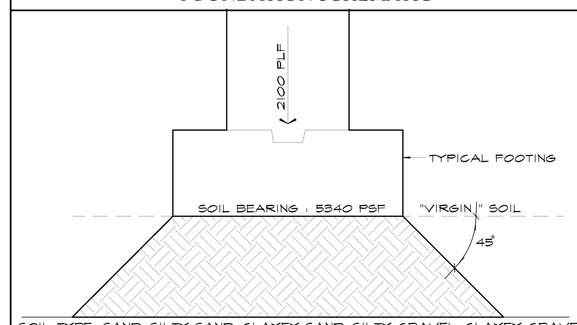
STANDARDS



* NOTES:

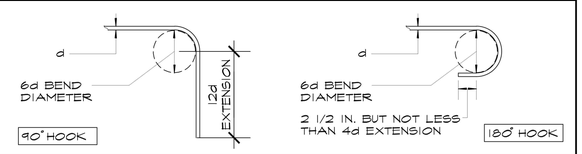
1. EXTEND FOOTINGS FURTHER AS REQUIRED TO BEAR ON SOLID UNDISTURBED "VIRGIN" SOIL
2. STEPPED FOOTINGS SHALL BEAR ON "VIRGIN" SOILS WITH SLOPES NO GREATER THAN 1:3
3. REFER TO WALL SECTIONS FOR ADDITIONAL DETAILS

FOUNDATION SCHEMATIC

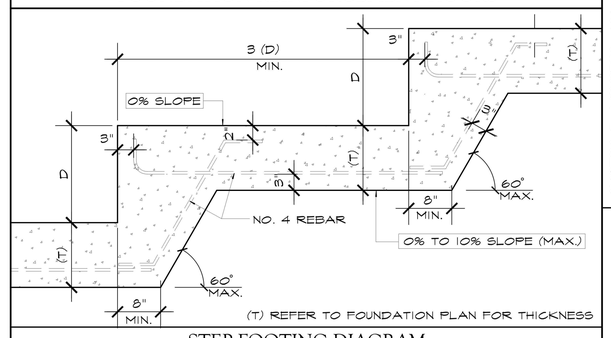


SOIL TYPE: SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, CLAYEY GRAVEL
SOIL BEARING CAPACITY : 2,000 PSF

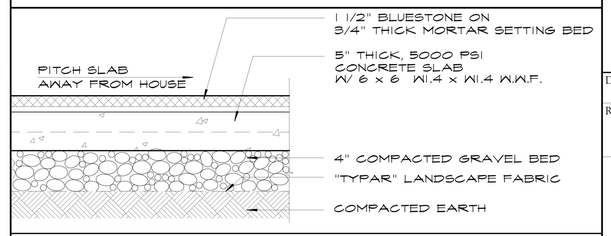
FOOTING DESIGN



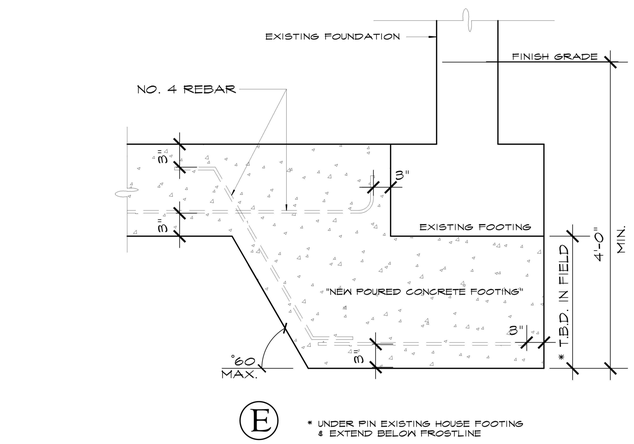
FOUNDATION REINFORCEMENT HOOKS



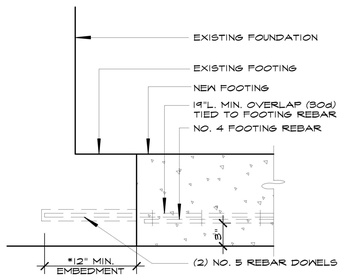
STEP FOOTING DIAGRAM



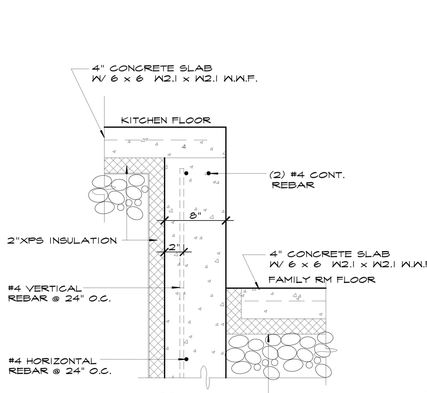
EXTERIOR "PATIO" SLAB



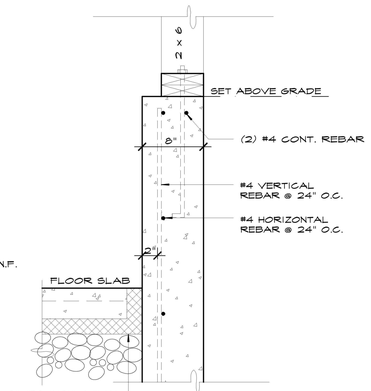
E * UNDER PIN EXISTING HOUSE FOOTING & EXTEND BELOW FROSTLINE



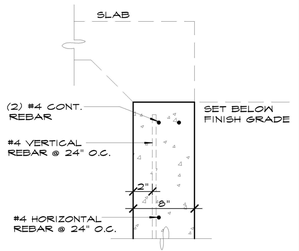
D * INJECT DRILLED HOLES PRIOR TO INSTALLATION OF DOWELS WITH "HILTI HY200" EPOXY



C



B



A

FOUNDATION WALL DETAILS

MUDSILL PLATES SHALL BE SECURED TO FOUNDATION WITH 5/8" DIA. x 18" L. GALVANIZED ANCHOR J-BOLT W/ WASHERS @ 48" O.C. - MAXIMUM SPACING

SCALE : NONE

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DATE: 1/31/22

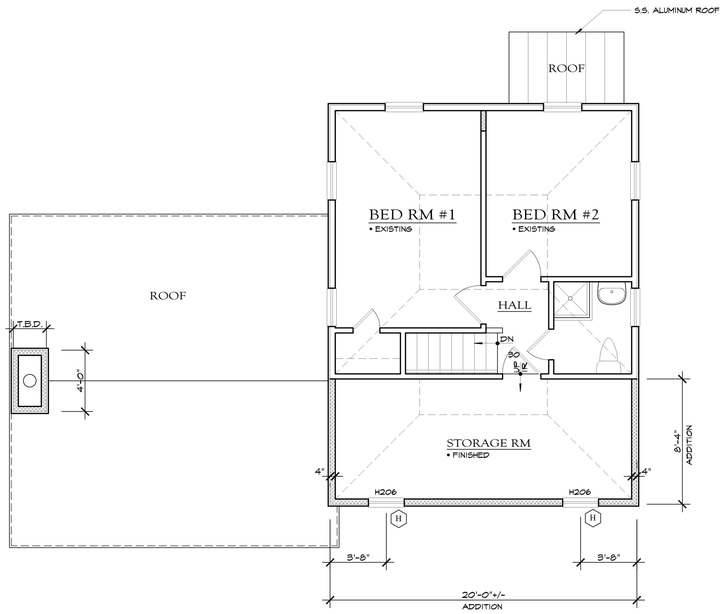
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. B03

FDTN. DETAILS

Rosenthal / 220079

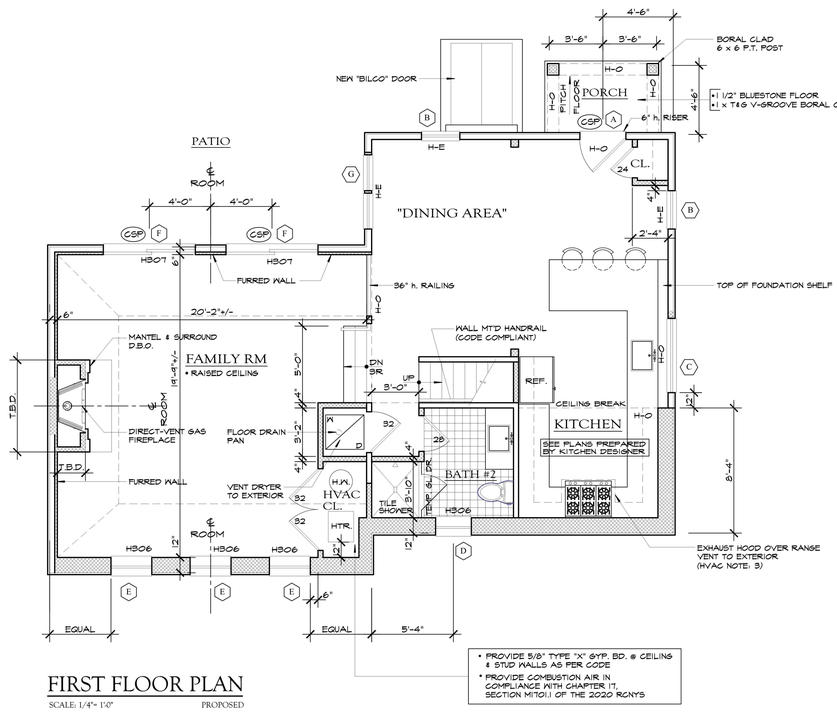


SECOND FLOOR PLAN

SCALE: 1/4"= 1'0" PROPOSED

NOTE: HEADERS AT ALL INTERIOR DOOR & TRIMMED OPENINGS SHALL BE (3) 2 x 10 @ 2 x 6 WALLS AND (2) 2 x 10 @ 2 x 4 WALLS UNLESS NOTED OTHERWISE

TBS	TO BE SELECTED BY OWNER
TBD	TO BE DETERMINED AT A FUTURE TIME
RWO	REVIEW WITH OWNER
DBO	DESIGN BY OTHER



FIRST FLOOR PLAN

SCALE: 1/4"= 1'0" PROPOSED

NOTE: HEADERS AT ALL INTERIOR DOOR & TRIMMED OPENINGS SHALL BE (3) 2 x 10 @ 2 x 6 WALLS AND (2) 2 x 10 @ 2 x 4 WALLS UNLESS NOTED OTHERWISE

TBS	TO BE SELECTED BY OWNER
TBD	TO BE DETERMINED AT A FUTURE TIME
RWO	REVIEW WITH OWNER
DBO	DESIGN BY OTHER

• PROVIDE 5/8" TYPE "X" GYP. BD. @ CEILING & STUD WALLS AS PER CODE

• PROVIDE COMBUSTION AIR IN COMPLIANCE WITH CHAPTER 17, SECTION M1701.1 OF THE 2020 RCNYS

GENERAL NOTES

1. SEE PLANS PREPARED BY DESIGNER FOR KITCHEN CABINET, PLUMBING FIXTURES AND APPLIANCE LAYOUT. G.C. SHALL PROVIDE CABINET SOFFIT AS REQUIRED.
2. SEE WINDOW AND DOOR SCHEDULE FOR TYPES.
3. PROVIDE 16 OZ. COPPER SILL PAN FLASHING AT ALL EXTERIOR DOOR ROUGH OPENINGS AND AT WINDOWS IMMEDIATELY ABOVE A ROOF (REVIEW WITH ARCHITECT).
4. PROVIDE FIREBLOCKING AT ALL SOFFITS AND TUBS.
5. FLUE CHASES SHALL BE FIREBLOCKED AT EACH FLOOR LEVEL INCLUDING ATTIC.
6. INSULATE ALL INTERIOR WALLS THROUGHOUT AS WELL AS ENTIRE FLOOR UNDER SECOND FLOOR ROOMS W/ "ROXUL" FOR SOUND DEADENING.
7. PROVIDE 1/2" GYPSUM BOARD THROUGHOUT WALLS AND CEILING UNLESS OTHERWISE NOTED.
8. FLOORING IN NON-TILED ROOMS UNLESS NOTED OTHERWISE SHALL BE STRIP OAK AND MATCH EXISTING.
9. STAIR SHALL BE SOLID WOOD CONSTRUCTION WITH OAK TREADS AND POPLAR RISERS. STAIR RAILING STYLE SHALL BE SELECTED BY OWNER G.C. SHALL SUBMIT SAMPLES FOR OWNER'S APPROVAL.
10. TILE WORK SHALL BE AS PER TCA SPECS (LATEST EDITION).
11. INTERIOR DOORS SHALL MATCH EXISTING.
12. OWNER SHALL SELECT ALL CABINETRY.
13. OWNER SHALL SELECT DOOR HARDWARE.
14. PRIME AND PAINT DRYWALL (3 COATS; 1 PRIME & FINISH) STAIN AND POLYURETHANE ALL OAK WOOD (FURNITURE QUALITY FINISH). REVIEW TYPES AND COLORS WITH OWNER PRIOR TO START OF WORK. SUBMIT SAMPLES TO OWNER'S FOR REVIEW AND APPROVAL.

HVAC

1. CONTRACTOR SHALL REVIEW HEATING AND AIR CONDITIONING REQUIREMENTS WITH OWNER. SUBMIT PROPOSED SYSTEM WITH SPECIFICATIONS FOR OWNER'S REVIEW AND APPROVAL.
2. GARAGE SHALL BE HEATED ON A SEPARATE SYSTEM.
3. HVAC CONTRACTOR SHALL PROVIDE COMPLETE MANUAL J & MANUAL S CALCULATIONS.
4. HVAC CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE DETAILED DUCT PLAN IF REQUESTED BY LOCAL OFFICAL

STAIR & RAILING

SHALL COMPLY WITH SECTION R311 OF THE 2020 RCNYS

STAIR LOCATION	MAIN	BACK	BASEMENT
WIDTH	48"	N.A.	N.A.
TREAD	9"		
RISER	7.6" +/-		
HEADROOM	80" <		
HANDRAIL GRIP	TYPE 1		
BALUSTER SPACING	LESS THAN 4" O.C.		
HANDRAIL HEIGHT	36" (SECTION R311.7.8)		
GUARDRAIL HEIGHT	42" (SECTION R312.1)		

LEGEND

- EXISTING WALL (VERIFY IN FIELD)
- NEW WOOD STUD WALL 2 x @ 16" O.C.
- POURED CONCRETE WALL
- CMU WALL (CEMENT GROUT SOLID)
- STONE VENEER
- BRICK VENEER
- 32 — DOOR SIZE (NOTED IN INCHES)
- A — WINDOW TYPE *
- A — EGRESS WINDOW *
- H-I — HEADER SIZE *
- L-I — LINTEL SIZE *
- CSP — COPPER SILL PAN
- I — NUMBER OF STUDS (MULL OR JACK)
- H — FROST FREE HOSE BIB
- E — EXHAUST FAN (50 CFM, MIN.) VENT TO EXTERIOR W/ METAL DUCT
- H — HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
- CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U. L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE

* REFER TO WINDOW & DOOR SCHEDULE SHEET FOR SCHEDULES AND SPECIFICATIONS

DO NOT SCALE PRINTS

Proposed Addition & Alteration to

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DATE: 1/31/22

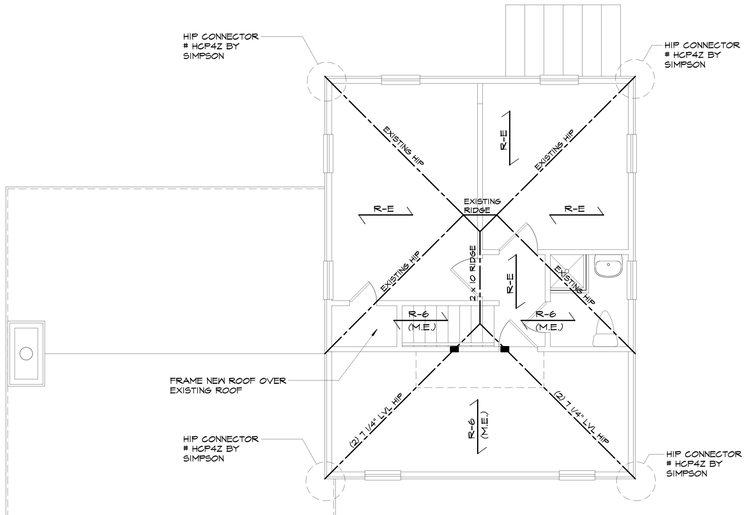
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. B04

FLOOR PLAN

Rosenthal / 220079

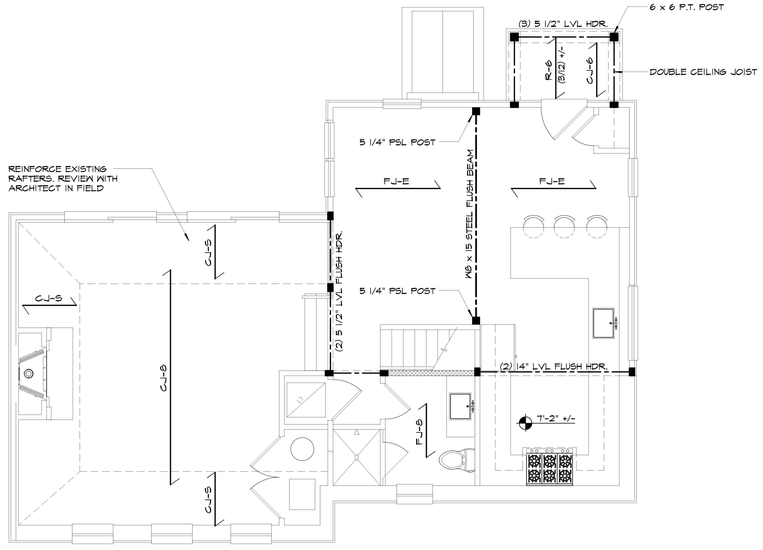


ROOF FRAMING LAYOUT

SCALE: 1/4"= 1'-0" SECOND FLOOR PLAN

- PROVIDE SOLID BRIDGING @ JOIST MID-SPAN GREATER THAN 8'-0".
- ALL FRAMING MEMBERS SHOWN ARE FLUSH W/ FLOOR OR ROOF PLANE (CONNECTED WITH METAL HANGERS) UNLESS OTHERWISE NOTED OR DESIGNATED AS A HEADER WHICH THEN THE MEMBER IS SET BELOW THE PLANE.
- LATERALLY BRACE ALL POSTS W/ COLLAR BEAMS.
- ALIGN EACH RAFTER WITH FLOOR OR CEILING JOIST AND TIE-BACK WITH 2 x 6 @ 45° ANGLE AS SHOWN ON DETAILS (SEE NOTE #10)
- PROVIDE 2 x 6 RAFTER TIE IN ADDITION TO CEILING JOISTS AT EACH RAFTER THROUGHOUT ATTIC

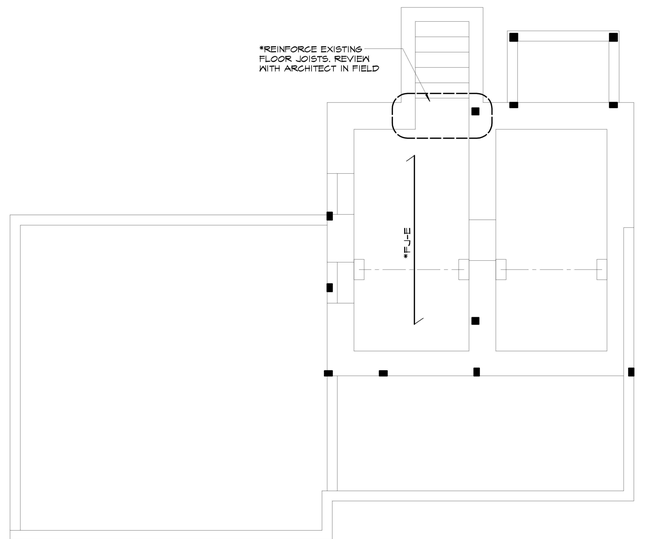
UPLIFT CONNECTION CAPACITY TABLE R802.11	
REQUIRED	526 LBS
PROVIDED	600 LBS
SIMPSON # H 2.5A HURRICANE TIE	



CEILING FRAMING LAYOUT

FIRST FLOOR PLAN

- ALL FRAMING MEMBERS SHOWN ARE FLUSH W/ FLOOR OR ROOF PLANE (CONNECTED WITH METAL HANGERS) UNLESS OTHERWISE NOTED OR DESIGNATED AS A HEADER WHICH THEN THE MEMBER IS SET BELOW THE PLANE.
- PROVIDE SOLID BRIDGING @ JOIST MID-SPAN GREATER THAN 8'-0".
- PROVIDE 2 x 6 COLLAR BEAMS @ 32" O.C. THROUGHOUT ATTIC.



FIRST FLOOR FRAMING LAYOUT

SCALE : 1/4" = 1'-0" BASEMENT FLOOR PLAN

- PSL BEAMS (WHERE SHOWN ON PLAN) SHALL NOT BE SUBSTITUTED WITH A BUILT-UP LVL BEAM.
- ALL FRAMING MEMBERS SHOWN ARE FLUSH W/ FLOOR OR ROOF PLANE (CONNECTED WITH METAL HANGERS) UNLESS OTHERWISE NOTED OR DESIGNATED AS A HEADER WHICH THEN THE MEMBER IS SET BELOW THE PLANE.
- SOLID BRIDGING @ MID-SPAN

G.C. SHALL LAYOUT PLUMBING FIXTURES PRIOR TO FLOOR FRAMING TO MINIMIZE THE NEED FOR JOIST HEADERS AT PLUMBING WASTE LINES.

LVL BEAM ASSEMBLY SCHEDULE	
A	3 ROWS 12d COMMON NAILS @ 12" O.C.
B	2 ROWS 1/4" x 3 1/2" STRUCTURAL SCREWS @ 12" O.C.
C	2 ROWS 1/2" CARRIAGE BOLTS @ 12" O.C.

MODULUS OF ELASTICITY	
NO. 1 D.F. (12% M.C.) DIMENSIONAL LUMBER	E=1.7 x 10^6 PSI
LVL ENGINEERED LUMBER	E=1.9 x 10^6 PSI
PSL ENGINEERED LUMBER	E=2.0 x 10^6 PSI

GENERAL NOTES

1. MUD SILLS PLATES AND ALL OTHER LUMBER IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE-TREATED AGAINST DECAY IN ACCORDANCE WITH AWPA U1, (R317 OF THE 2020 RCNYS)
2. ALL STEEL, INCLUDING BEARING PLATES SHALL BE SHOP PRIMED AND RECEIVE A SECOND COAT IN THE FIELD UPON COMPLETION.
3. TOP FLANGE OF STEEL GIRDERS TO BE FLUSH WITH TOP OF FOUNDATION WALL. COLUMNS TO BE STANDARD STEEL PIPE.
4. COLUMNS SHALL BE STANDARD STEEL PIPE OR STEEL TUBE.
5. STEEL SHALL HAVE PRE-DRILLED HOLES FOR 1/2-IN. DIA. BOLTS @ TOP FLANGE FOR 2 ROWS @ 24-IN. O.C.
7. SUBFLOOR SHALL BE GLUED AND NAILED TO FLOOR JOIST W/ CONTECH PL400.
8. PROVIDE GALVANIZED METAL JOIST HANGERS AT ALL FLUSH CONNECTIONS.
9. ALL SOLID AND BUILT-UP WOOD POSTS SHALL BE CONTINUOUS (W/ SOLID BLOCKING AS REQUIRED) TO FOUNDATION WALLS, PIERS, OR STEEL GIRDERS.
10. ALL EXTERIOR METAL ANCHORS, FASTENERS, BOLTS, ETC.....SHALL BE HOT DRIPPED GALVANIZED (HDG) STEEL.
11. PROVIDE 2 x FIRESTOPPING AT DROP CEILINGS AND AT ALL AREAS REQUIRED BY CODE. REVIEW WITH LOCAL BUILDING OFFICIALS.
12. PROVIDE HURRICANE ANCHORS AT ALL RAFTERS, SIMPSON # H2.5A.
13. FLOOR I-JOIST, LVL, PSL & LSL SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL. G.C. SHALL BE RESPONSIBLE TO SUBMIT SPECIFICATIONS FOR SUBSTITUTED MANUFACTURER TO ARCHITECT FOR REVIEW PRIOR TO MATERIAL ORDER.

WALL BRACING

WALL BRACING SHALL BE IN ACCORDANCE WITH METHOD CS-WSP (TABLE 602.10.4) AND TABLE 602.10.3 IN COMPLIANCE OF THE 2020 RCNYS.

SHEATHING

SUBFLOOR:	3/4"	ADVANTECH
WALL:	1/2"	EXTERIOR GRADE PLYWOOD
ROOF (ASPHALT):	5/8"	EXTERIOR GRADE PLYWOOD
ROOF (OTHER):	3/4"	EXTERIOR GRADE PLYWOOD

FLOOR JOIST

A= 560 SERIES B= 360 SERIES C= 230 SERIES

FJ-E	EXISTING FLOOR JOIST (VERIFY SIZE & DIRECTION IN FIELD)		
FJ-5	5 1/2" LVL	FJ-11	11 7/8" TJI
FJ-6	2 x 6 D.F.	FJ-12	2 x 12 D.F.
FJ-7	7 1/4" LVL	FJ-14	14" TJI
FJ-8	2 x 8 D.F.	FJ-16	16" TJI
FJ-9	9 1/2" TJI	FJ-18	18" TJI
FJ-10	2 x 10 D.F.	FJ-20	20" TJI
FJ-S.D.	1 1/2" 16 Ga. GALVANIZED COMPOSITE STEEL DECK (Fy=40KSI)		

CEILING JOIST

CJ-E	EXISTING CEILING JOIST
CJ-6	2 x 6 D.F.
CJ-8	2 x 8 D.F.
CJ-9	9 1/2" LSL
CJ-10	2 x 10 D.F.
CJ-11	11 7/8" LSL
CJ-12	2 x 12 D.F.
CJ-S	2 x 6 D.F. SLOPED

ROOF RAFTER

R-E	EXISTING ROOF RAFTER
R-6	2 x 6 D.F.
R-8	2 x 8 D.F.
R-10	2 x 10 D.F.
R-11	11 7/8" LSL
R-12	2 x 12 D.F.
R-14	14" LSL

JOIST AND RAFTER SPACING IS 16" ON CENTER UNLESS OTHERWISE NOTED ON THE FRAMING LAYOUT

LEGEND

I-JOIST, LVL, PSL & LSL SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL. G.C. SHALL BE RESPONSIBLE TO SUBMIT SPECIFICATIONS OF SUBSTITUTED MANUFACTURER TO THE ARCHITECT FOR REVIEW PRIOR TO MATERIAL ORDER.

TJI	TRUSS JOIST I-JOIST
L.S.L.	LAMINATED STRAND LUMBER (TIMBERSTRAND) 1.55E (Fb = 2,325 PSI)
L.V.L.	LAMINATED VENEER LUMBER (MICROLLAM) 2.0 E (Fb = 2,600 PSI)
P.S.L.	PARALLEL STRAND LUMBER (PARALLAM) 2.0 E (Fb = 2,900 PSI)
L.J.	LSL FLOOR JOISTS (1 1/2" THICKNESS) 1.5E (Fb = 2,250 PSI)
D.F.	DIMENSIONAL FRAMING LUMBER NO. 2 DOUGLAS FIR (Fb = 950 PSI)
P.T.	PRESSURE TREATED LUMBER NO. 1 S.Y.P. (Fb = 1050 PSI)

INTERIOR BEARING WALL

BUILT-UP 2 x POST CONTINUOUS DOWN TO FOUNDATION WALL AND / OR STEEL GIRDER. (MINIMUN POST WIDTH SHALL BE THE BEAM WIDTH PLUS 2 STUDS)

BUILT-UP POST ABOVE ON BEAM

0'-0" CEILING HEIGHT (ROUGH FRAMING)

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10 Creemer Road Armonk, NY

DO NOT SCALE PRINTS

DATE: 1/31/22

REVISIONS: 8/25/23

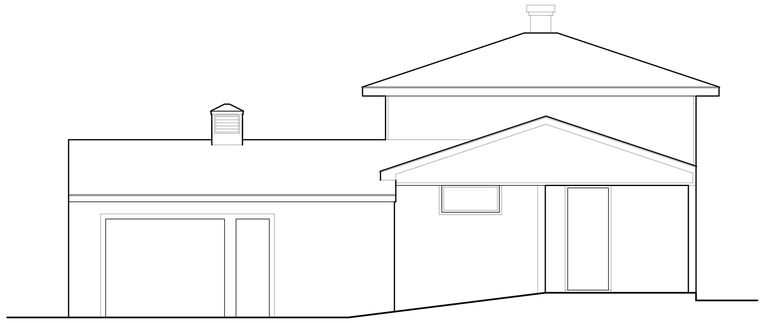
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. B05

FRAMING PLAN

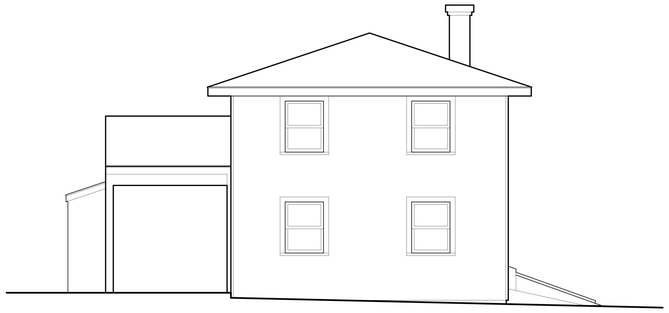
Rosenthal / 220079

FDA10S121807



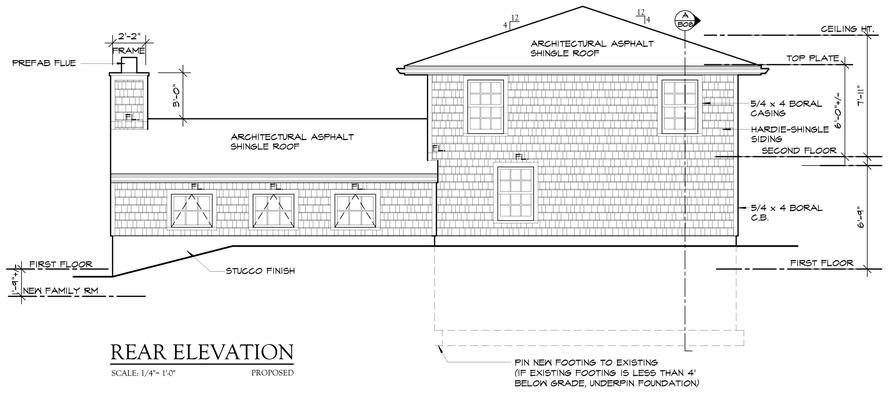
FRONT ELEVATION

SCALE: 1/4"= 1'-0" EXISTING



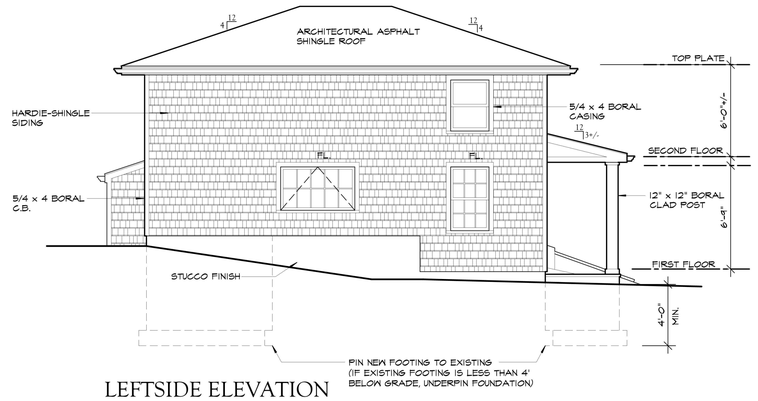
RIGHTSIDE ELEVATION

SCALE: 1/4"= 1'-0" EXISTING

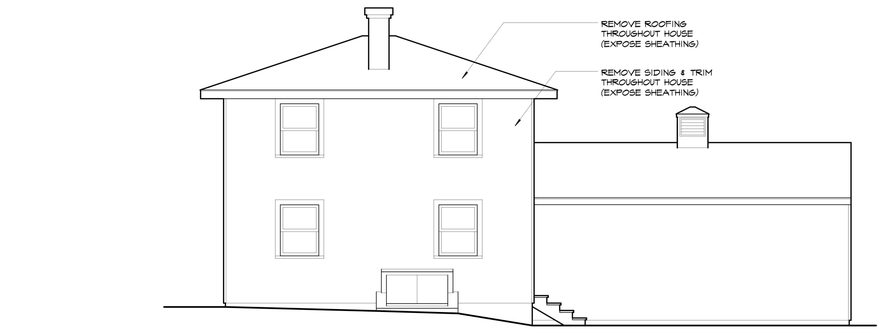


REAR ELEVATION

SCALE: 1/4"= 1'-0" PROPOSED



LEFTSIDE ELEVATION

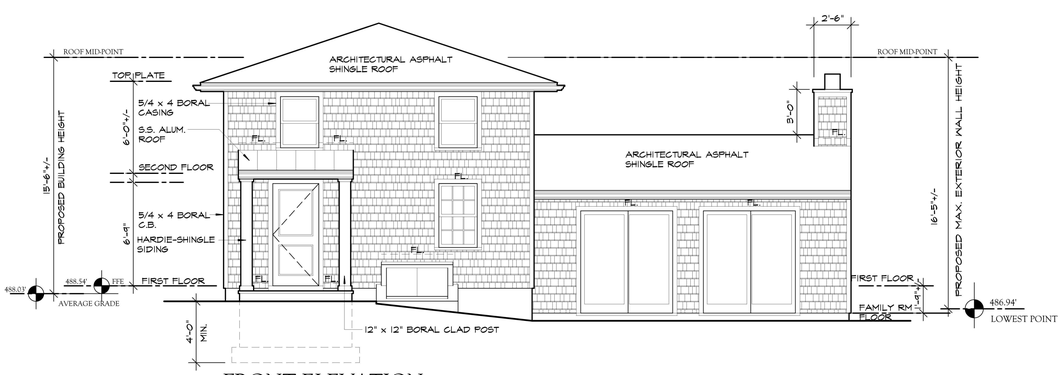


REAR ELEVATION

SCALE: 1/4"= 1'-0" EXISTING

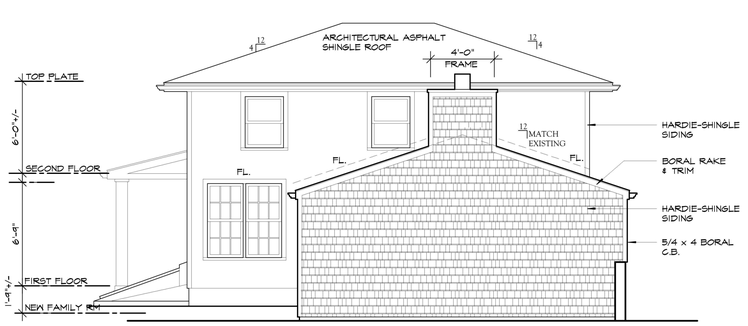
LEFTSIDE ELEVATION

SCALE: 1/4"= 1'-0" EXISTING



FRONT ELEVATION

SCALE: 1/4"= 1'-0" PROPOSED



RIGHTSIDE ELEVATION

SCALE: 1/4"= 1'-0" PROPOSED

GENERAL NOTES

1. PROVIDE "GRACE ICE & WATER SHIELD" SELF-ADHERED ROOFING UNDERLAYMENT AT ALL EAVES, VALLEYS AND CRICKETS. COVER ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
2. PROVIDE HIGH TEMPERATURE UNDERLAYMENT AT METAL ROOF. STANDARD "ICE-SHIELD" IS NOT PERMITTED FOR USE. UNDERLAYMENT SHALL BE "GRACE ICE & WATER SHIELD HT" ENTIRE INFILL LOW-PITCH ROOF WITH WATERPROOF MEMBRANE.
3. ROOFING SHALL BE STANDING SEAM ALUMINUM W/ MECHANICAL DOUBLE LOCK SYSTEM. ALUMINUM PANELS SHALL BE .032 IN. WITH KYNAR 500/ HYLAR 5000 FINISH. SUBMIT SAMPLES FOR OWNER'S REVIEW & APPROVAL.
4. PROVIDE (2) ROWS OF SNOW GUARDS AT ALL METAL ROOFS. GUARDS SHALL BE MECHANICALLY FASTENED CLAMP-TO-SEAM. GUARDS SHALL BE METALLURGICALLY COMPATIBLE WITH ROOFING MATERIAL. SUBMIT SAMPLES FOR ARCHITECT'S REVIEW.
5. ALL EXTERIOR TRIM SHALL BE "AZEK".
6. ROOFING SHALL BE ASPHALT SHINGLES.
7. GUTTERS & LEADERS SHALL BE BAKED ENAMEL ALUMINUM. GUTTER SHALL BE 6"w. K-STYLE.
8. FLASHING SHALL BE 16 OZ. COPPER.
9. PROVIDE 16 OZ. COPPER SILL PAN FLASHING, AS PER DETAIL, AT ALL EXTERIOR DOOR OPENINGS AND WINDOWS WITHIN MASONRY OPENINGS, WINDOWS DIRECTLY ON TOP OF A LOWER ROOF AND DORMERS.
10. PROVIDE COPPER DRIP EDGE AT ALL EAVES.
11. RIDGE VENTS SHALL BE SHINGLEVENT BY AIRVENT, INC. OR EQUAL.
12. PROVIDE "AIR & VAPOR BARRIER" WRAP BY "GRACE" AT ALL WINDOW AND DOOR ROUGH OPENINGS AS PER DETAIL.
13. EXTERIOR WALL SHEATHING SHALL BE WRAPPED WITH "HYDROGAP" HOUSEWRAP BY BENJAMIN OBDYKE. ALL SEAMS SHALL BE TAPPED AS PER MANUFACTURER'S SPECIFICATIONS.
14. SIDING SHALL BE HARDIE SHINGLE.
15. PROVIDE 5/4 COMPOSITE KICK BOARD AT EACH DOORSILL.
16. PROVIDE COPPER DRIP EDGE FLASHING AT ALL FRIEZES, COLUMN CAPS, AND WINDOW & DOOR HEAD TRIM.
17. PROVIDE "AZEK" J-BLOCKS AT EXTERIOR WALLS FOR MOUNTING OF LANTERNS, HOSE BIBS, ELECTRICAL OUTLETS, ETC. AS PER DETAIL.
18. REFER TO SPECIFICATIONS FOR PAINTING AND STAINING SCHEDULE SUBMIT SAMPLES AS REQUESTED, FOR REVIEW AND APPROVAL.

THERMAL ENVELOPE
2020 RCNYS

LOCATION	TYPE	R-VALUE
ROOF	SPRAY FOAM (C)	R-49
CEILING	N/A	N/A
FLOOR (1)	SPRAY FOAM (C)	R-30 / R-49
FLOOR (2)	SPRAY FOAM (C)	R-21
WALLS (3)	SPRAY FOAM (C)	R-21
WALLS (4)	SPRAY FOAM (C)	R-21

(1) OVER UNHEATED SPACE (2) EXTERIOR PERIMETER
(3) EXTERIOR WALL (4) BASEMENT WALL PERIMETER
(O) OPEN CELL (C) CLOSED CELL

REFER TO WALL SECTION FOR DETAIL

FINISH SCHEDULE

BUILDING COMPONENT	NAME	TYPE	COLOR
ROOFING	GAF	ASPHALT	CHARCOAL
ROOFING	STANDING SEAM	ALUMINUM	BLACK
SIDING	JAMES HARDIE	HARDIE - SHINGLE	WHITE/GRAY
		HARDIE BOARD-N-BATTEN	WHITE
TRIM	BORAL	FLAT STOCK & MOULDING PROFILES	WHITE
WINDOWS	ANDERSEN	CLAD	WHITE
ENTRY DOORS	CUSTOM	MAHOGANY	DARK MAHOGANY
GARAGE DOORS	CUSTOM	COMPOSITE	WHITE
MASONRY VENEER	STONE	CONNECTICUT	MATCH EXISTING

DO NOT SCALE PRINTS

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

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DATE: 1/31/22

REVISIONS: 8/25/23

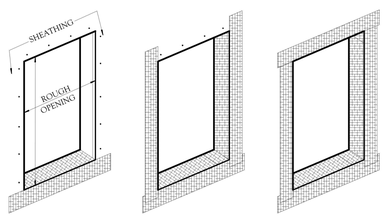
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. B06
ELEVATION

Rosenthal / 220079

WINDOW & EXTERIOR DOOR SCHEDULE

EGRESS: CLEAR OPENING (SQUARE FEET)	EGRESS: MIN. OPENING W	EGRESS: MIN. OPENING H	EGRESS: MIN. OPENING SILL	⬡	MANUFACTURER'S UNIT NUMBER	GLASS: U-VALUE	GLASS: SHGC	GLASS: TEMPERED	EXTERIOR CASING: 2" BMC (NOTE:16)	EXTERIOR CASING: 3 1/2" BMC	EXTERIOR CASING: 3 1/2" FLAT	EXTERIOR CASING: 5 1/2" FLAT	EXTERIOR CASING: CUSTOM ENTRANCE TRIM	EXTERIOR CASING: 5/4 x 10 FLAT ARCH HEAD	EXTERIOR CASING: NONE (FIELD APPLIED)	EXTERIOR CASING: MATCH EXISTING	NOTES
				A	36" x 80" x 1 3/4" COMPOSITE DOOR (V.I.F. HEIGHT)	0.27	0.19										
				B	TW 2642	0.27	0.27	●									
				C	AXW 451	0.24	0.21	●									
				D	TW 2636	0.27	0.27	●									
				E	AW 281	0.24	0.21										
				F	FWH 60611 (OR FWH 6068) V.I.F. PRIOR TO ORDER	0.26	0.17	●									
				G	TW 2452 - 2	0.27	0.27	●									
				H	TW 2636	0.27	0.27										



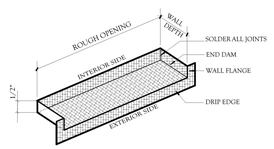
1. APPLY WRAP TO SILL & FOLD 6 IN. DOWN, EXTENDING 6 IN. TO EACH SIDE. LAP LOWER EDGE OVER AIR INFILTRATION BARRIER
2. APPLY WRAP TO JAMBS OF ROUGH OPENING & FOLD 6-IN. OVER SHEATHING & 6-IN. ABOVE & BELOW ROUGH OPENING.
3. REPEAT STEP 2, BUT FOR TOP OF ROUGH OPENING LEAVE OUTER EDGES UNSTAPLED FOR FUTURE INTEGRATION WITH AIR INFILTRATION BARRIER

NOTE: WRAP SHALL BE "AIR & VAPOR BARRIER WRAP" BY W.R. GRACE

Ⓐ WINDOW & DOOR ROUGH OPENING WRAP DETAIL

SCALE: NONE

(INSTALL AIR-INFILTRATION BARRIER, EG. "HYDROGAP" BY BENJAMIN OBDYKE PRIOR TO ROUGH-OPENING WRAP)



Ⓑ WINDOW & DOOR SILL PAN DETAIL

SCALE: NONE

NOTE: •SILL PAN SHALL BE 16 OZ. COPPER.
•PAN SHALL BE INSTALLED OVER 15# ROUGH OPENING WRAP.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT WINDOW SUBSTITUTIONS, IF ANY WHETHER BY MODEL OR MANUFACTURER COMPLY WITH STATE CODE FOR EGRESS AS DESIGNATED ABOVE.

NOTES

1. See floor plans for location of windows and doors.
2. Windows and French doors shall be "400 SERIES". by ANDERSEN WINDOWS Window manufacturer shall provide complete shop drawings for review and approval.
3. Window & door glazing shall be insulated glass with 7/8" simulated divided lites (SDL) . Insulated glass shall be Low-E3 w/ERS glass and Argon gas.
4. Refer to exterior elevations for window & door muntin pattern
5. Windows shall be prepared for "full" stools. Stools shall be field applied.
6. Windows and French doors to be factory primed.
7. Windows to be complete with screens, white sash lock and white jamb hardware.
8. Single stud pocket.
9. Double stud pocket.
10. Hardware shall be complete for all doors. Owner shall select hardware and finishes.
11. Each pane of safety glass shall have type of glazing designation laser etched and visible.
12. Exterior doors shall be selected by Owner.

EXISTING WINDOWS

1. Provide grilles to match new windows. Refer to elevations for pattern.
2. Review with owner prior to ordering.

WINDOW FALL PROTECTION

1. Operable windows with top of sill less than 24 inches above finished floor and greater than 72 inches above exterior finished grade shall be outfitted with opening an control device.
2. Window opening control device shall be supplied by the window manufacturer and comply with ASTM F 2090.
3. G.C. shall be responsible to verify in field windows that require control devices and install accordingly.

LINTEL SCHEDULE

L	SIZE	MINIMUM BEARING
L-E	EXISTING LINTEL (EXPOSE & VERIFY IN FIELD AS REQUIRED)	
L-0	SEE FLOOR PLAN'S FRAMING LAYOUT FOR LINTEL SIZE	
L-1	4" x 4" x 5/16" GALVANIZED STEEL ANGLE	6" (EACH END)
L-2	6" x 4" x 3/8" GALVANIZED STEEL ANGLE	6" (EACH END)
L-3	7" x 4" x 3/8" GALVANIZED STEEL ANGLE	8" (EACH END)
L-4	8" x 4" x 1/2" GALVANIZED STEEL ANGLE	8" (EACH END)
NOTES	1. STEEL SHALL CONFORM TO ASTM SPECIFICATIONS A-36 FOR STRUCTURAL STEEL 2. STEEL ANGLE LINTEL SHALL BE HOT DIPPED GALVANIZED STEEL 3. WIDE FLANGE STEEL BEAM LINTEL SHALL RECEIVE (2) COATS OF RUST INHIBITOR (1 SHOP COAT & 1 FIELD COAT)	

HEADER SCHEDULE

H	SIZE				
H-0	SEE FLOOR PLAN'S FRAMING LAYOUT FOR HEADER SIZE				
H-E	EXISTING HEADER (EXPOSE & VERIFY IN FIELD AS REQUIRED)				
H305	(3) 5 1/2" L.V.L	H205	(2) 5 1/2" L.V.L	H109	5 1/4" x 9 1/2" P.S.L
H306	(3) 2 x 6 D.F.	H206	(2) 2 x 6 D.F.	H111	5 1/4" x 11 7/8" P.S.L
H307	(3) 7 1/4" L.V.L	H207	(2) 7 1/4" L.V.L	H114	5 1/4" x 14" P.S.L
H308	(3) 2 x 8 D.F.	H208	(2) 2 x 8 D.F.	H116	5 1/4" x 16" P.S.L
H309	(3) 9 1/2" L.V.L.	H209	(2) 9 1/2" L.V.L.	H118	5 1/4" x 18" P.S.L
H310	(3) 2 x 10 D.F.	H210	(2) 2 x 10 D.F.		
H311	(3) 11 7/8" L.V.L.	H211	(2) 11 7/8" L.V.L.	H009	3 1/2" x 9 1/2" P.S.L
H312	(3) 2 x 12 D.F.	H212	(2) 2 x 12 D.F.	H011	3 1/2" x 11 7/8" P.S.L
H314	(3) 14" L.V.L	H214	(2) 14" L.V.L	H014	3 1/2" x 14" P.S.L
H316	(3) 16" L.V.L	H216	(2) 16" L.V.L	H016	3 1/2" x 16" P.S.L
H318	(3) 18" L.V.L	H218	(2) 18" L.V.L	H018	3 1/2" x 18" P.S.L

D.F.	DIMENSIONAL FRAMING LUMBER NO. 2 DOUGLAS FIR (Fb = 950 psi, MIN)
L.V.L.	LAMINATED VENEER LUMBER 1.9 E (Fb = 2,600 PSI)
P.S.L.	PARALLEL STRAND LUMBER 2.0 E (Fb = 2,900 PSI)
NOTES	1. FLUSH L.V.L. HEADERS SHALL BE BOLTED TOGETHER AS PER MANUFACTURER'S SPECIFICATIONS. 2. DOUBLE JACK STUD @ ROUGH OPENINGS 4 FEET AND GREATER 3. TRIPLE JACK STUD @ ROUGH OPENINGS 8 FEET AND GREATER 4. ADD ONE (1) ADDITIONAL JACK STUD AT OPENINGS WITH POINT LOADED HEADERS

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Armonk, NY

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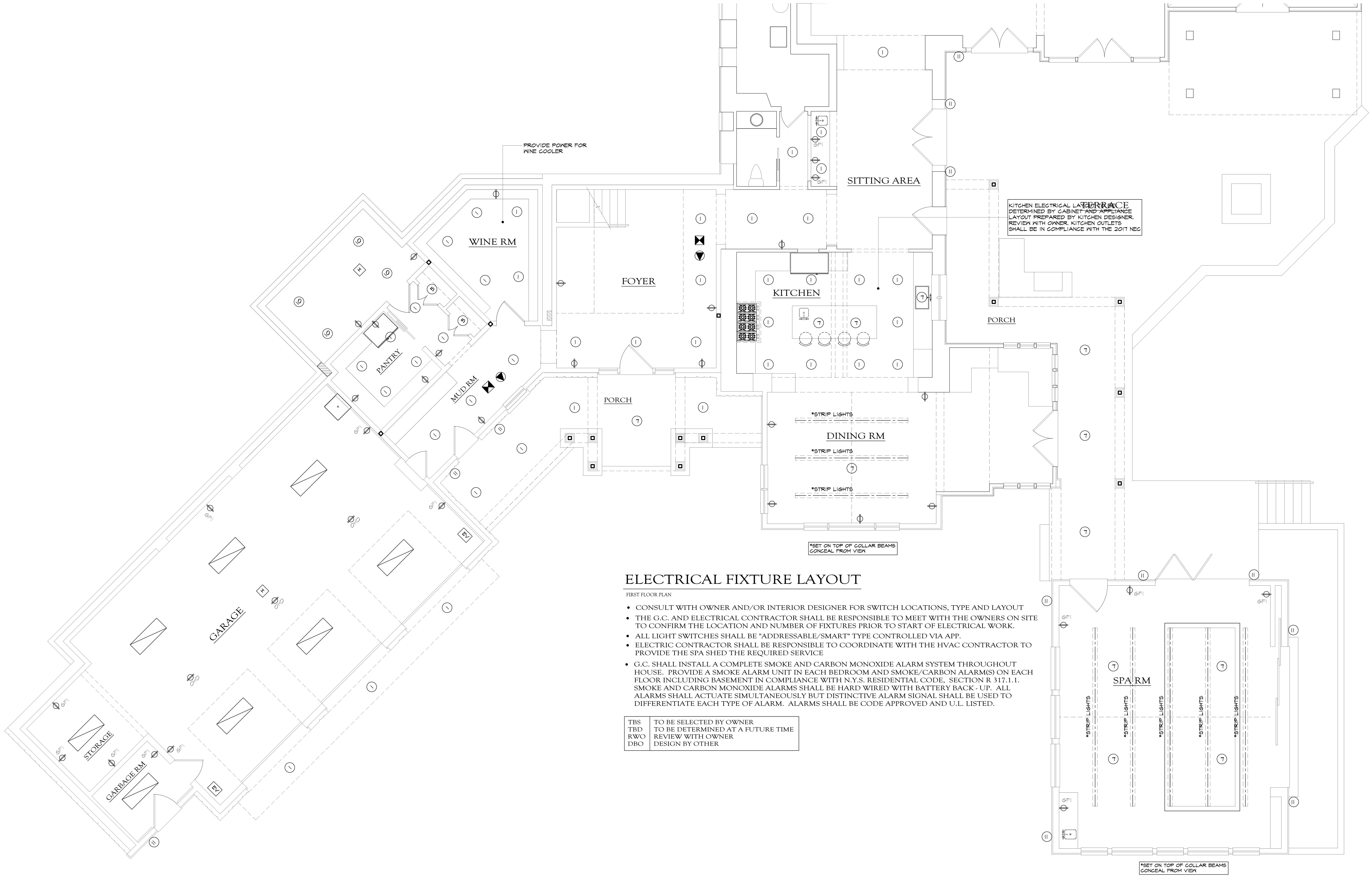
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. B07
WINDOW SCHED.

Rosenthal / 220079

A151PLWSCHD0109



ELECTRICAL FIXTURE LAYOUT

FIRST FLOOR PLAN

- CONSULT WITH OWNER AND/OR INTERIOR DESIGNER FOR SWITCH LOCATIONS, TYPE AND LAYOUT
- THE G.C. AND ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO MEET WITH THE OWNERS ON SITE TO CONFIRM THE LOCATION AND NUMBER OF FIXTURES PRIOR TO START OF ELECTRICAL WORK.
- ALL LIGHT SWITCHES SHALL BE "ADDRESSABLE/SMART" TYPE CONTROLLED VIA APP.
- ELECTRIC CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE HVAC CONTRACTOR TO PROVIDE THE SPA SHED THE REQUIRED SERVICE
- G.C. SHALL INSTALL A COMPLETE SMOKE AND CARBON MONOXIDE ALARM SYSTEM THROUGHOUT HOUSE. PROVIDE A SMOKE ALARM UNIT IN EACH BEDROOM AND SMOKE/CARBON ALARM(S) ON EACH FLOOR INCLUDING BASEMENT IN COMPLIANCE WITH N.Y.S. RESIDENTIAL CODE, SECTION R 317.1.1. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACK - UP. ALL ALARMS SHALL ACTUATE SIMULTANEOUSLY BUT DISTINCTIVE ALARM SIGNAL SHALL BE USED TO DIFFERENTIATE EACH TYPE OF ALARM. ALARMS SHALL BE CODE APPROVED AND U.L. LISTED.

TBS	TO BE SELECTED BY OWNER
TBD	TO BE DETERMINED AT A FUTURE TIME
RWO	REVIEW WITH OWNER
DBO	DESIGN BY OTHER

GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL AND NATIONAL FIRE UNDERWRITER CODES AND THE LOCAL UTILITY COMPANY.
2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT THE EXISTING SERVICE WILL PROPERLY HANDLE THE INCREASED DEMAND FROM THE PROPOSED WORK. SHOULD THE CAPACITY OF THE EXISTING SYSTEM PROVE TO BE INADEQUATE, THEN THE CONTRACTOR SHALL SUBMIT A DETAILED PROPOSAL COMPLETE WITH SPECIFICATIONS FOR UPGRADE OR REPLACEMENT. REVIEW WITH OWNER FOR APPROVAL.
3. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND CONFIRM ELECTRICAL LAYOUT WITH OWNER PRIOR TO START OF WORK. REVISE FIXTURE LOCATIONS IF REQUIRED, AS DIRECTED BY OWNER.
4. RECESS LIGHTING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. FIXTURE SHALL BE BY "LIGHTOLIER" OR EQUAL AS APPROVED BY OWNER. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW LAMP OPTIONS WITH OWNER PRIOR TO INSTALLATION. OWNER SHALL SELECT ALZAK & TRIM FINISHES.
5. DECORATIVE LIGHT FIXTURES, SURFACE MOUNTED AND HANGING FIXTURES SHALL BE SELECTED AND SUPPLIED BY OWNER. FIXTURES SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR AS PER MANUFACTURER'S SPECIFICATION.
6. SWITCHES & RECEPTACLES SHALL BE DECORA PLUS OR APPROVED EQUAL. REVIEW WITH OWNER ON THE TYPE AND LOCATION OF ANY SPECIALTY SWITCHES, E.G. ~ DIMMERS. OWNER SHALL SELECT SWITCH AND RECEPTACLE PLATE COVER COLORS.
7. PROVIDE GFIC RECEPTACLES IN WET OR DAMP AREAS, SUCH AS BATHROOMS.
8. PROVIDE DIMMER SWITCHES AS REQUIRED BY OWNER.
9. PROVIDE TELEPHONE AND CATV JACKS THROUGHOUT, AS PER OWNER'S REQUIREMENTS.
10. PROVIDE HARD-WIRED SMOKE AND CARBON MONOXIDE ALARMS WITH A BATTERY BACK-UP WHERE SHOWN ON PLANS AND AS REQUIRED BY CODE. ALL ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS SIMULTANEOUSLY. ALARMS SHALL BE CODE APPROVED AND UL LISTED. PROVIDE A HEAT SENSOR IN THE UTILITY ROOM OR ADJACENT TO THE HEATING EQUIPMENT IN THE BASEMENT AND WIRED TO A CENTRAL ALARM SYSTEM. REVIEW WITH OWNER WHETHER FIRE ALARM SYSTEM WILL BE CONNECTED TO A PRIVATE SECURITY SERVICE OR THE LOCAL FIRE DEPARTMENT.

PD-E1-032403

LEGEND

Symbol	Fixture Type	Symbol	Fixture Type	Symbol	Fixture Type	Symbol	Fixture Type
(X)	EXISTING LIGHT FIXTURE	(10)	UTILITY LIGHT FIXTURE	T	TRACK LIGHT		SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
(1)	RECESSED DOWNLIGHT	(11)	CARRIAGE LANTERN (WALL MOUNT ON J-BLOCK)	C	COVE STRIP LIGHT		CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
(2)	RECESSED DOWNLIGHT (SLOPE CEILING ADAPTOR)	(12)	CARRIAGE LANTERN (POST OR PIER MOUNTED)	U	UNDER CABINET LIGHT	H	HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
(3)	RECESSED DOWNLIGHT (WALL WASHER)	(13)	WALL RECESS STEP LIGHT (OUTDOOR)		LED LIGHT FIXTURE (SURFACE MOUNTED)	E	EXHAUST FAN (1.5 SONES MAX.) VENT TO EXTERIOR W/ METAL DUCT
(4)	RECESSED DOWNLIGHT (LOW VOLTAGE)	(14)	SPOT LIGHT (OUTDOOR)	$	FIXTURE SWITCH (STANDARD WALL MOUNTED)	P	PADDLE FAN
(5)	RECESSED DOWNLIGHT (LENS COVER)	H	HALOGEN LAMP	$J	FIXTURE SWITCH (DOOR JAMB MOUNTED)		
(6)	RECESSED DOWNLIGHT (SUITABLE FOR WET LOCATIONS)	A	ADJUSTABLE RECESSED FIXTURE		DUPLEX RECEPTACLE		
(7)	CHANDELIER / PENDANT LIGHT	L	MOTORIZED CHANDELIER LIFT	GFI	GROUND FAULT CIRCUIT INTERUPTER (GFCI)		
(8)	SURFACE MOUNTED CEILING LIGHT	M	MOTION SENSOR	WP	WEATHER PROTECTED RECEPTACLE (GFCI)		
(9)	SURFACE MOUNTED WALL SCONCE			OHD	OVERHEAD GARAGE DOOR OPERATOR		

DO NOT SCALE PRINTS

Armonk, NY

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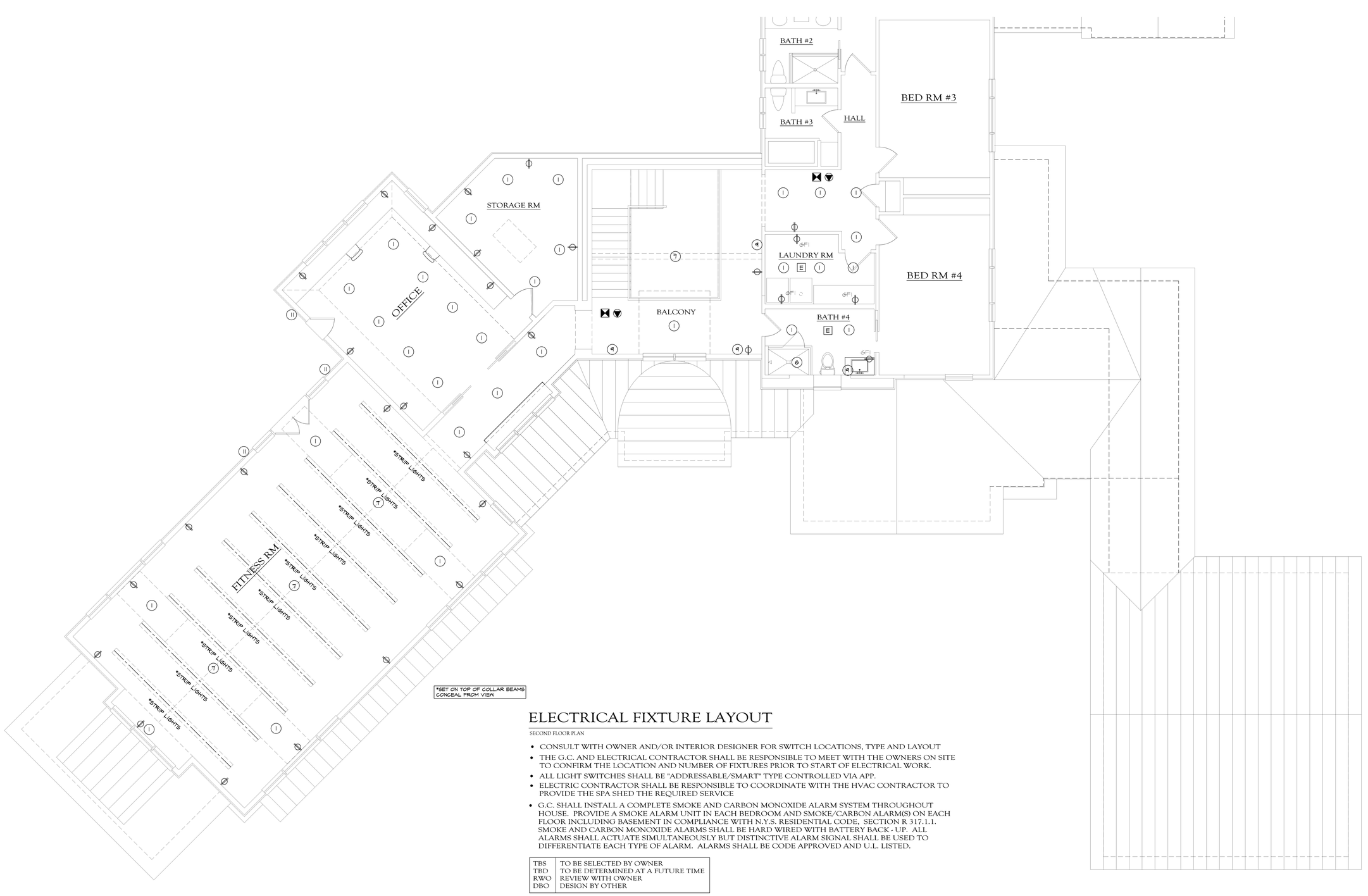
DATE: 1/31/22
REVISIONS: 8/25/23

ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. E01
ELECTRICAL

Rosenthal / 220079



ELECTRICAL FIXTURE LAYOUT

SECOND FLOOR PLAN

- CONSULT WITH OWNER AND/OR INTERIOR DESIGNER FOR SWITCH LOCATIONS, TYPE AND LAYOUT
- THE G.C. AND ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO MEET WITH THE OWNERS ON SITE TO CONFIRM THE LOCATION AND NUMBER OF FIXTURES PRIOR TO START OF ELECTRICAL WORK.
- ALL LIGHT SWITCHES SHALL BE "ADDRESSABLE/SMART" TYPE CONTROLLED VIA APP.
- ELECTRIC CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE HVAC CONTRACTOR TO PROVIDE THE SPA SHED THE REQUIRED SERVICE
- G.C. SHALL INSTALL A COMPLETE SMOKE AND CARBON MONOXIDE ALARM SYSTEM THROUGHOUT HOUSE. PROVIDE A SMOKE ALARM UNIT IN EACH BEDROOM AND SMOKE/CARBON ALARM(S) ON EACH FLOOR INCLUDING BASEMENT IN COMPLIANCE WITH N.Y.S. RESIDENTIAL CODE, SECTION R 317.1.1. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACK - UP. ALL ALARMS SHALL ACTUATE SIMULTANEOUSLY BUT DISTINCTIVE ALARM SIGNAL SHALL BE USED TO DIFFERENTIATE EACH TYPE OF ALARM. ALARMS SHALL BE CODE APPROVED AND U.L. LISTED.

TBS	TO BE SELECTED BY OWNER
TBD	TO BE DETERMINED AT A FUTURE TIME
RWO	REVIEW WITH OWNER
DBO	DESIGN BY OTHER

GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL AND NATIONAL FIRE UNDERWRITER CODES AND THE LOCAL UTILITY COMPANY.
2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO CHECK AND VERIFY THAT THE EXISTING SERVICE WILL PROPERLY HANDLE THE INCREASED DEMAND FROM THE PROPOSED WORK. SHOULD THE CAPACITY OF THE EXISTING SYSTEM PROVE TO BE INADEQUATE, THEN THE CONTRACTOR SHALL SUBMIT A DETAILED PROPOSAL COMPLETE WITH SPECIFICATIONS FOR UPGRADE OR REPLACEMENT. REVIEW WITH OWNER FOR APPROVAL.
3. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND CONFIRM ELECTRICAL LAYOUT WITH OWNER PRIOR TO START OF WORK. REVISE FIXTURE LOCATIONS IF REQUIRED, AS DIRECTED BY OWNER.
4. RECESS LIGHTING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY ELECTRICAL CONTRACTOR. FIXTURE SHALL BE BY "LIGHTOLIER" OR EQUAL AS APPROVED BY OWNER. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW LAMP OPTIONS WITH OWNER PRIOR TO INSTALLATION. OWNER SHALL SELECT ALZAK & TRIM FINISHES.
5. DECORATIVE LIGHT FIXTURES, SURFACE MOUNTED AND HANGING FIXTURES SHALL BE SELECTED AND SUPPLIED BY OWNER. FIXTURES SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR AS PER MANUFACTURER'S SPECIFICATION.
6. SWITCHES & RECEPTACLES SHALL BE DECORA PLUS OR APPROVED EQUAL. REVIEW WITH OWNER ON THE TYPE AND LOCATION OF ANY SPECIALTY SWITCHES, E.G. - DIMMERS. OWNER SHALL SELECT SWITCH AND RECEPTACLE PLATE COVER COLORS.
7. PROVIDE GFIC RECEPTACLES IN WET OR DAMP AREAS, SUCH AS BATHROOMS.
8. PROVIDE DIMMER SWITCHES AS REQUIRED BY OWNER.
9. PROVIDE TELEPHONE AND CATV JACKS THROUGHOUT, AS PER OWNER'S REQUIREMENTS.
10. PROVIDE HARD-WIRED SMOKE AND CARBON MONOXIDE ALARMS WITH A BATTERY BACKUP WHERE SHOWN ON PLANS AND AS REQUIRED BY CODE. ALL ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL THE ALARMS SIMULTANEOUSLY. ALARMS SHALL BE CODE APPROVED AND UL LISTED. PROVIDE A HEAT SENSOR IN THE UTILITY ROOM OR ADJACENT TO THE HEATING EQUIPMENT IN THE BASEMENT AND WIRED TO A CENTRAL ALARM SYSTEM. REVIEW WITH OWNER WHETHER FIRE ALARM SYSTEM WILL BE CONNECTED TO A PRIVATE SECURITY SERVICE OR THE LOCAL FIRE DEPARTMENT.

LEGEND

Symbol	Fixture Type	Symbol	Fixture Type	Symbol	Fixture Type	Symbol	Fixture Type
X	EXISTING LIGHT FIXTURE	10	UTILITY LIGHT FIXTURE	T	TRACK LIGHT		SMOKE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
1	RECESSED DOWNLIGHT	11	CARRIAGE LANTERN (WALL MOUNT ON J-BLOCK)	C	COVE STRIP LIGHT		CARBON MONOXIDE ALARM HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
2	RECESSED DOWNLIGHT (SLOPE CEILING ADAPTOR)	12	CARRIAGE LANTERN (POST OR PIER MOUNTED)	U	UNDER CABINET LIGHT	H	HEAT SENSOR HARD WIRED W/ BATTERY BACKUP (U.L. LISTED) INTERCONNECTED, NFPA 72 COMPLIANCE
3	RECESSED DOWNLIGHT (WALL WASHER)	13	WALL RECESS STEP LIGHT (OUTDOOR)		LED LIGHT FIXTURE (SURFACE MOUNTED)	E	EXHAUST FAN (1.5 SONES MAX) VENT TO EXTERIOR W/ METAL DUCT
4	RECESSED DOWNLIGHT (LOW VOLTAGE)	14	SPOT LIGHT (OUTDOOR)		FIXTURE SWITCH (STANDARD WALL MOUNTED)	F	PADDLE FAN
5	RECESSED DOWNLIGHT (LENS COVER)	H	HALOGEN LAMP	J	FIXTURE SWITCH (DOOR JAMB MOUNTED)		
6	RECESSED DOWNLIGHT (SUITABLE FOR WET LOCATIONS)	A	ADJUSTABLE RECESSED FIXTURE		DUPLEX RECEPTACLE		
7	CHANDELIER / PENDANT LIGHT	L	MOTORIZED CHANDELIER LIFT	GFI	GROUND FAULT CIRCUIT INTERUPTER (GFCI)		
8	SURFACE MOUNTED CEILING LIGHT	M	MOTION SENSOR	WP	WEATHER PROTECTED RECEPTACLE (GFCI)		
9	SURFACE MOUNTED WALL SCONCE			OHD	OVERHEAD GARAGE DOOR OPERATOR		

DO NOT SCALE PRINTS

Proposed Addition & Alteration to

Rosenthal Residence

10 Creemer Road

Armonk, NY

JUSTIN F. MINIERI, AIA
NCARB MEMBER
P.O. BOX 1439 • NEW ROCHELLE NY 10802
914.576.0087 TEL 914.355.5238 FAX

These drawings and specifications are the property of Justin F. Minieri, AIA, and are not to be used in any way without the permission of the author. Unauthorized use, reproduction or distribution without written authorization by contract is strictly prohibited.

DATE: 1/31/22

REVISIONS: 8/25/23

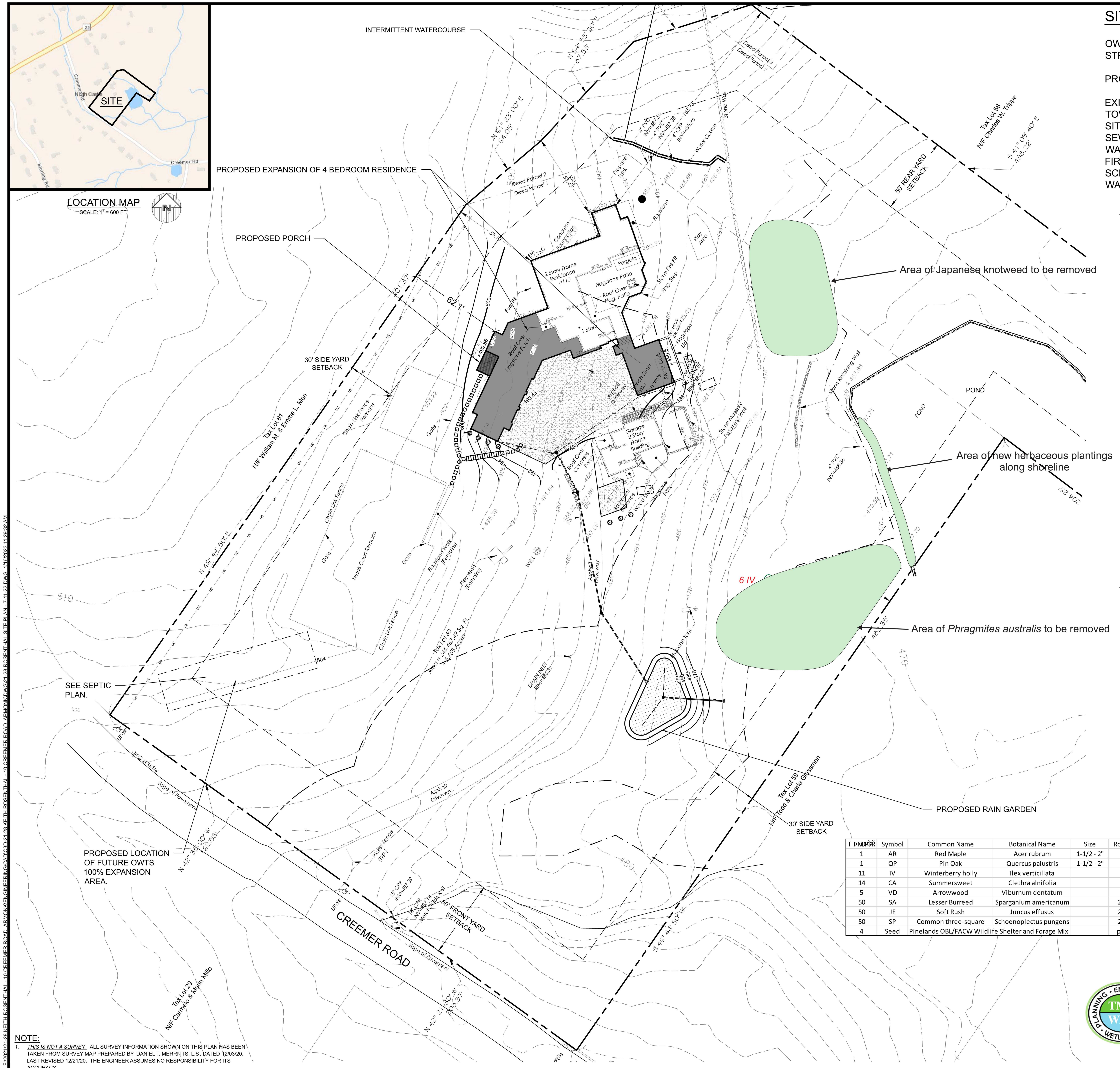
ORIGINAL ARCHITECT'S SEAL IN RED INK

DWG No. E02

ELECTRICAL

Rosenthal / 220079

PD:E3-E2-121907



SITE DATA:

OWNER / DEVELOPER:	KEITH ROSENTHAL
STREET ADDRESS	10 CREEMER ROAD ARMONK, NY 10504
PROJECT LOCATION:	10 CREEMER ROAD ARMONK, NY 10504
EXISTING TOWN ZONING:	R-2A SINGLE FAMILY RESIDENTIAL
TOWN TAX MAP DATA:	SECTION 108.02, BLOCK 2, LOT 60
SITE AREA :	5.66 ACRES (246,467 SF)
SEWAGE FACILITIES:	ONSITE WASTEWATER TREATMENT SYSTEM
WATER FACILITIES:	DRILLED WELL
FIRE DISTRICT:	#2
SCHOOL DISTRICT:	BYRAM HILLS
WATERSHED:	LONG ISLAND SOUND

Invasive Species Monitoring and Control Program

Phragmites australis, Japanese knotweed and multifloral rose are all noted as present within and adjacent to the wetlands on the project site. These invasive species favor areas of disturbed soils and edge areas. This plan will implement an invasive species monitoring and manual control program for the duration of construction and development of the project.

Those areas of the site that are closest to the existing wetlands and watercourses have been disturbed and re-graded over the years. These are the portions of the site that are known to support invasive species which are altering the character of the wetlands and adjacent areas and represent a long term risk to the native vegetative community.

By controlling exotic vegetation, and reducing deer populations due to increased human activity on the site, nearby native plants will have less competition and therefore have more resources available for their own growth. An invasive species monitoring and control program will be implemented at the project site as part of the overall development plan. Species targeted for removal include the following:

Tree-of-heaven (Ailanthus altissima)
Multiflora rose (Rosa multiflora)
Mugwort (Artemisia vulgaris)
Autumn olive (Eleagnus umbellata)
Garlic mustard (Alliaria petiolata)
Purple loosestrife (Lythrum salicara)
Common reed (Phragmites australis)
Oriental bittersweet (Celastrus orbiculatus)
Porcelainberry (Ampelopsis brevipedunculata)
Japanese Barberry (Berberis thunbergii)
Japanese Stilt Grass (Microstegium vimeneum)
Winged Euonymus (Euonymus alatus)

The above listed species and all other invasive non-native plants that are detrimental to the ecology of the project site will be removed during site development to the extent practicable. The goal of this program is to reduce the presence of exotic/invasive species to a threshold of less than ten percent total cover within the areas shown on the Wetland Restoration and Buffer Enhancement Plan (the "Plan"). A qualified biologist/botanist will supervise the removal of invasive species. These species will be removed by hand or small machine, initally without the applciation of herbicides. If it is later determined that herbicides are necessary to complete the eradication of the identified species, an application permit will be applied for prior to site use.

Monitoring and Maintenance Schedule

Following development of the site, a maintenance plan will include the regular inspection of undisturbed areas as shown on the Plan, and removal of these species as necessary. This represents the transitional areas that are most susceptible to opportunistic settling of invasive species. It is anticipated that a schedule of inspections three times a year for the first three years following full project build out (early, mid and late growing season) will be adequate for the identification and removal of the invasive species in this area.

The Town Building Inspector and Wetlands Inspector will be consulted prior to the proposed removal of invasive species within the controlled area. In addition, all activities related to invasive species control, monitoring and assessment of achievement of the 10 percent tolerance threshold for coverage by all invasive species on the project site will be coordinated with the Environmental Site Monitor. These inspections will include the mapping and identification of locations and extent of cover of invasive species, and identify the methods to be used for the subsequent removal. Following treatment, a brief report outlining extent, location and removal method for each species shall be prepared and filed with the Town Planning Office.

WETLAND 100' ADJACENT AREA DISTURBANCE		
TYPE OF DISTURBANCE	AMOUNT OF DISTURBANCE	PROPOSED MITIGATION
RAIN GARDEN AND DRAINAGE	3,365 SF	+/- 10,000 SF
SEPTIC TANK AND PIPING	660 SF	
ADDITION TO RESIDENCE	350 SF	

EARTHWORK: CUT 315 CY - FILL 755 CY = NET 440 FILL

SITE PLAN NOTES:

1) THE WETLAND DELINEATION WAS DONE BY STEVE MARINO, PWS OF TIM MILLER ASSOCIATES ON APRIL 21, 2022 AND WAS SURVEYED BY T.C. MERRITTS LAND SURVEYORS MAY 5, 2022.

2) THE WETLAND DELINEATION WAS CONFIRMED BY SARA PAWLICZAK BIOLOGIST NYS DEC, DECEMBER 5, 2022.

Ï ÞMŌPÒŘ	Symbol	Common Name	Botanical Name	Size	Root type
1	AR	Red Maple	Acer rubrum	1-1/2 - 2"	15 gal
1	QP	Pin Oak	Quercus palustris	1-1/2 - 2"	15 gal
11	IV	Winterberry holly	Ilex verticillata		3 gal
14	CA	Summersweet	Clethra alnifolia		3 gal
5	VD	Arrowwood	Viburnum dentatum		5 gal
50	SA	Lesser Burreed	Sparganium americanum		2" plug
50	JE	Soft Rush	Juncus effusus		2" plug
50	SP	Common three-square	Schoenoplectus pungens		2" plug
4	Seed	Pinelands OBL/FACW Wildlife Shelter and Forage Mix			pounds

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION
DATED:________________
________________________________Date: ________________
CHRISTOPHER CARTHY, CAHIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:
________________________________Date: ________________
JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

Tim Miller Associates, Inc.
Environmental and Planning Services
10 North Street, Cold Spring, NY
845 265 4400

SCALE: 1"=30'-0"

SAFE DIG
Before You Dig, Drill or Blast!

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY DANIEL T. MERRITTS, L.S., DATED 12/03/20, LAST REVISED 12/21/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

PROJECT # 21-28

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Engineer:
Joseph C. Riina, P.E.
NYS Lic. No. 64431

Revisions:

No.	Date	Comments:
1	1-7-21	HD Department
2	2-14-22	HD Department
3	3-4-22	HD Department
4	3-12-22	Plan updates
5	6-3-22	Plan updates
6	7-11-22	Plan updates
7	10-28-22	Town Comments
8	1-12-23	HD Department

SCALE: 1" = 30'
DRAWN BY: CS
DATE: 10/01/21

WETLAND ENHANCEMENT/ RESTORATION PLAN

SITE PLAN
PREPARED FOR
KEITH ROSENTHAL
10 CREEMER ROAD
Town of North Castle Westchester County, New York

Sheet 1 of 1

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Westchester gov.com

Westchester County Department of Health
Bureau of Environmental Quality
CONSTRUCTION APPROVAL APPLICATION

(WCDOH OFFICE USE ONLY)

WCDH File # NOC 2023-10 Municipality: North Castle Fee Amount: $500

Watershed Basin Name: Long Island Sound If NYCDEP Watershed: Joint Review ☐ Delegated Review ☐

☐ On-site Wastewater Treatment System ☐ Private Water Supply ☐ Residential ☐ Commercial

Is property in a Water District: Y☐ N ☒ Name: _____ Is property in a Sewer District: Y☐ N ☒ Name: _____

Property Information:

Property Name Keith Rosenthal

Property Address 10 Creemer Road, Armonk, NY Zip Code 10504

TMD: Section 108.02 Block 2 Lot 60 R.S. Lot _____ Lot Area 5.66 Acres

Realty Subdivision: _____ Map # _____ Date Filed _____

Owner Name: Keith Rosenthal Owner Email: jrosenthal@phoenixrg.com

Address: 10 Creemer Road, Armonk State NY Zip Code: 10504

Building Type: 2-story frame main res. + 2 story cottage # of Bedrooms: 4+ 2 cottage Total Habitable Space: _____ Sq. Ft.

On-site Wastewater Treatment System (OWTS) Information:

Design Flow: 440 + 275 for expansion area gpd Soil Percolation Rate: 3 min./in Slope of OWTS Area: 5.8 % Septic Tank Size: 1250 / 1000 Gallons

Absorption Trench(es): Length: 300 Lin. Ft. Trench Width: 2 Ft. Area: 1,529 Sq. Ft.

Absorption Pit(s): # Pits _____ Diameter: _____ Ft. Depth: _____ Ft. Area: _____ Sq. Ft.

Other (circle or specify): Tri-Galleys 4X4 Galleys Flow Diffusers Other: _____

Number _____ Length: _____ Lin. Ft. Width: _____ Ft. Area: _____ Sq.Ft./Lin Ft.

ETU/ATU Make & Model _____

Other Requirements:

Pump System: Pump/Siphon Chamber: Size: 1000 / 1000 Gal. Dose Draw and Volume 8 inches _____ Gal.

Curtain Drain: Depth: _____ Ft. Width: _____ Ft. R.O.B. Sand and Gravel Fill Section: Depth: _____ Ft.

Separate Sewage Contractor (SSC): Name: Tony Ferreiera WCDH SSC License # 27

Water Supply System Information: ☒ Private Water Supply Existing ☐ Public Water Supply Name: _____

Well Driller Name: _____ NYSDEC Reg # _____

Other Requirements/Conditions: _____

I represent that I am wholly and completely responsible for the design and location of the proposed system(s): 1] that the on-site wastewater treatment system above described will be constructed as shown on the approved plan or approved amendments thereto and in accordance with the standards, rules and regulations of the Westchester County Department of Heath; that on completion thereof, a "Certificate of Construction Compliance" satisfactory to the Commissioner of Health will be submitted to the Department and a written guarantee will be furnished the owner, his successors, heirs or assigns, by the builder that said builder will place in good operating condition any part of said OWTS which fails to operate for a period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the OWTS or any repairs thereto; 2] that the drilled well described above will be located as shown on the approved plan and that said well will be installed in accordance with the standards, rules and regulations of the Westchester County Department of Health and requirements of the WCDOH Private Well Testing Law..

Date: _____ Signed: _____ P.E./R.A.Seal _____

APPROVED FOR CONSTRUCTION

This approval expires one (1) year from the date issued unless construction of the building has been undertaken, and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any change or alteration of construction requires a new permit.

Date: 5/19/23 Approved By: _____

Commissioner, Westchester County Department of Health

Rev. 1/2022

STAFF REPORT - TOWN OF NORTH CASTLE PLANNING DEPARTMENT
November 17, 2022

APPLICATION NUMBER - NAME	SBL
#2022-010 – 10 Creemer Road - Accessory Apartment Special Permit, Site Plan and Wetlands Permit Approvals	108.02-2-60
MEETING DATE November 28, 2022	PROPERTY ADDRESS/LOCATION 10 Creemer Rd

BRIEF SUMMARY OF REQUEST

Proposed expansion and additions to an existing single-family residence and guest cottage. In addition, the Applicant is seeking approval for an Accessory Apartment Special Use Permit.

PENDING ACTION: ■ Plan Review ☐ Town Board Referral ☐ Preliminary Discussion

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS	SIZE OF PROPERTY
R-2A One-Family Residence District (2 acre)	Existing home and accessory apartment	Residential	House and apartment expansion	5.66 acres

PROPERTY HISTORY

Existing Single Family Home with accessory buildings

1986 – Pamela Healey received Planning Board approval for accessory apartment.

COMPATIBILITY with the COMPREHENSIVE PLAN

- Continue to take neighborhood context into account in approving new single-family homes.
- Continue to protect natural resources and environmentally sensitive areas such as rivers, streams, lakes, ponds, wetlands, flood plains, aquifers, wildlife habitats, steep slopes and forested areas, significant trees, and woodlands, among others, from unnecessary and avoidable impacts.
- Continue strong protection of tree cover through the tree removal permitting process.
- Preserve the current overall development pattern of North Castle and its neighborhoods. Be sure new development responds to environmental constraints, particularly for preservation of the New York City watershed.
- Maintain the quality-of-life created by physical and natural attributes, by structuring development that promotes sound conservation measures.
- The Town should encourage residential development that is compatible in scale, density, and character with its neighborhood and natural environment.

STAFF RECOMMENDATIONS

1. The Applicant should be directed to address all outstanding staff and consultant's comments.

Procedural Comments	Staff Notes
1. The Proposed Action would be classified as a Type II Action pursuant to the State Environmental Quality Review Act (SEQRA).	
2. A public hearing regarding the proposed special permit, site plan and wetlands permit will need to be scheduled.	
3. The application for special permit approval requires referral to the Westchester County Planning Board pursuant to § 239-m of New York State General Municipal Law (GML) since a special permit is being requested.	The referral was made on March 29, 2022
4. The Applicant will need to obtain Architectural Review Board approval for the structures.	
5. Pursuant to Section 340-5.B of the Town Code, the Conservation Board is required to review the proposed wetland application and, within 45 days of receipt thereof, file a written report and its recommendation concerning the application with the Planning Board. Such report is required to evaluate the proposed regulated activity in terms of the findings, intent and standards of Chapter 340.	
General Comments	
1. Accessory apartments are not permitted to be located in an accessory structure unless the structure was constructed prior to October 11, 1984.	The Applicant has submitted a 1955 CO for the garage demonstrating that the structure existed prior to 1984.
2. Pursuant to Section 355-40.K(5) of the Town Code, only one accessory apartment is permitted per lot. The Applicant should confirm that other accessory apartments are not located on the property.	The Applicant has confirmed that the property contains only one accessory apartment.
3. The site plan depicts the construction of a retaining wall, a small portion of the addition and a stormwater basin within the Town-regulated wetland buffer. The site plan should be revised to quantify (in sq. ft.) the proposed amount of disturbance within the Town-regulated buffer and prepare a mitigation plan that is twice the size of the proposed amount of disturbance.	The Conservation Board and the Planning Board will need to determine whether the proposed amount of Town-regulated wetland buffer disturbance is acceptable.
4. The site plan should identify any trees proposed to be removed for the proposed septic system. A tree removal schedule should be provided. If no trees are proposed to be removed, the site plan should be revised to contain a note stating such. ***Response: Provided on the erosion and sediment control plan.***	We will need a tree survey
5. Section 355-40.K(7) of the Town Code prohibits the establishment of an accessory apartment on a lot that contains a professional office or home occupation use. The Applicant should confirm that the site does not contain a professional office or home occupation use.	The Applicant has confirmed that the property does not contains a professional office or home occupation.

6. Pursuant to Section 355-40.K(3) of the Town Code, the owner of the lot on which the accessory apartment is located shall occupy either of the dwelling units on the premises. Owner occupancy of one of the units shall continue for the duration of the special permit	The Applicant has confirmed that property owner will reside in the main residence. Justin to address
7. The Applicant has demonstrated that the accessory building does not exceed 25% of the floor area (not coverage) of the main building. ***Response: See the updated Architectural Plan.***	
8. Pursuant to Section 355-40.K(4)(b) of the Town Code, the Applicant has provided documentation that the principal dwelling CO was issued more than four years ago and that the Applicant has owned the property for two years.	

9. Pursuant to Section 355-40.K(11) of the Town Code, the Applicant will need to demonstrate that the size of the apartment conforms to the Town Code. Specifically, where the gross floor area of the dwelling is less than or equal to 2,000 square feet, the accessory apartment shall in no case exceed 33% of such area. Where the gross floor area of the dwelling is greater than 2,000 square feet, the permitted maximum size of the accessory apartment may be increased by 25% of the gross floor area in excess of 2,000 square feet. Based upon the submitted information, the proposed expanded apartment size is below the maximum amount permitted.

Response: See the updated Architectural Plan.

10. Pursuant to Section 355-40.K(12) of the Town Code, within 30 days of receipt of a completed application which indicates conformance to all dimensional standards, the Building Inspector and the Fire Inspector shall conduct an on-site inspection of the residence and shall report on such inspection to the Planning Board and shall include in these reports the compliance of the proposed accessory unit with the requirements of this subsection, as well as building and fire codes, and other information as may be requested by the Planning Board.

Response: The building inspector has stated that his approval will follow the Planning Board approvals.

11. Pursuant to Section 355-40.K(14) of the Town Code, prior to the issuance of a building permit for the establishment of an accessory apartment, the existing septic disposal system shall be reviewed by the Westchester County Department of Health, except where public sewer is provided. The Building Inspector shall reject all applications for building permits for accessory apartments in those cases where the Health Department report indicates that the septic system is inadequate for the requested use, or contains recommendations for improvements to the system until such time as such recommended improvements are installed. The applicant shall demonstrate to the Building Inspector that the septic disposal system has been cleaned within one year of the date of application. For properties provided with water supply from an on-site well, the applicant shall also collect a sample of well water for microbiological analysis to determine the presence of the coliform group. Such sample shall be analyzed by a state-approved laboratory, and the results shall be reported to the Building Inspector and Health Department.

Response: The building inspector has stated that his approval will follow the Planning Board approvals.

12. Pursuant to Section 355-40.K(15) of the Town Code, accessory apartments which have been approved by the Planning Board, following due notice and public hearing, shall be reinspected by the Building Inspector every three years. The purpose of such continuing reinspection of the accessory unit shall be to determine if all required conditions of approval continue to be complied with, and report on such findings to the Planning Board. At the same time of such inspection, the Building Inspector shall also review and report on compliance with off-street parking requirements. If the Building Inspector finds that additional parking is necessary for the lot, he shall report such finding to the Planning Board and recommend the number of additional spaces to be provided. On the recommendation of the Building Inspector, the Planning Board may make a finding that the original conditions of special permit approval continue to be complied with, modify the conditions of special permit approval in accordance with the Building Inspector's recommendations or revoke the accessory apartment special permit approval.

Response: The building inspector has stated that his approval will follow the Planning Board approvals.

13. Pursuant to Section 355-40.K(16) of the Town Code, a special permit uses for accessory apartments shall terminate upon change of ownership.

Response: The building inspector has stated that his approval will follow the Planning Board approvals.

The following calculation should be placed on the plans

Justin

	Sq Ft
Main House	9801
Accessory Apartment	1513
Max Accessory Apt Size First 2,000 sq. ft.	660
Max Accessory Apt Size Over 2,000 sq. ft.	1950.25
Total Max Permitted Apt Size	2610.25

Keith is this up to date?

Keith / Joe

Keith

This is problematic unless Keith has kept up to date on this.

14. Pursuant to Section 355-37 of the Town Code, the Planning Board must determine that:

- The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.

- The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.

- Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.

- Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.
- Where required, the provisions of the Town Flood Hazard Ordinance.

- The Board finds that the proposed special permit use will not have a significant adverse effect on the environment.

Response: No response required.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

If a permit notice sign is enclosed, you must post it at the work site with appropriate weather protection, as well as a copy of the permit per General Condition 1.

If the permit is associated with a project that will entail construction of new water pollution control facilities or modifications to existing facilities, plan approval for the system design will be required from the appropriate Department's regional Division of Water or delegated local Health Department, as specified in the State Pollutant Discharge Elimination System (SPDES) permit.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Alysse Devine
Division of Environmental Permits, Region 3
Telephone (845) 240-7806

☐ Applicable only if checked. Please note all work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.

☐ Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: http://www.dec.ny.gov/chemical/43133.html

☐ Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505.

NEW YORK STATE OF OPPORTUNITY | Department of Environmental Conservation

PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
KEITH B ROSENTHAL
10 Creemer Rd
Armonk, NY 10504

Facility:
Rosenthal Property
10 Creemer Rd
Armonk, NY 10504

Facility Location: in NORTH CASTLE in WESTCHESTER COUNTY
Facility Principal Reference Point: NYTM-E: 610.391 NYTM-N: 4553.736
Latitude: 41°07'38.7" Longitude: 73°41'05.6"
Project Location: 10 Creamer Road
Authorized Activity: This permit authorizes disturbances to the 100-foot adjacent area of NYS Freshwater Wetland K-24, Class 2, associated with the construction of a stormwater basin, rain garden, removal of invasive species, and the addition of native plantings. This project includes the expansion of an existing residence outside the regulated area. All work must be conducted in strict accordance with plans referenced in Natural Resource Condition #1 and #2.

Permit Authorizations

Freshwater Wetlands - Under Article 24
Permit ID 3-5538-00091/00005
New Permit Effective Date: 8/29/2023 Expiration Date: 12/31/2030

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: TRACEY L O'MALLEY, Deputy Regional Permit Administrator
Address: NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY 12561

Authorized Signature: Tracey L. M. O'Malley Digitally signed by Tracey L. M. O'Malley Date: 2023.08.28 14:26:31 -04'00' Date 8 / 28 /2023

Distribution List

Steve Marino
Sarah Pawliczak, NYSDEC Bureau of Ecosystem Health
Town of North Castle Clerk

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Permit Attachments

Permit Sign

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: FRESHWATER WETLANDS

1. Conformance With Plans All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by Site Design Consultants and consist of the plans listed in Natural Resource Condition #2.

2. Approved Plans The approved plans, titled "Site Plan Prepared for Keith Rosenthal", consist of the following items:

1. Wetland Enchancement/Restoration Plan (Sheet 1 of 1) dated 10-01-21 and last revised 1-12-23;
2. Site Plan (Sheet 1 of 6) dated 10-01-21 and last revised 1-12-23;
3. Existing Conditions Plan (Sheet 2 of 6) dated 10-01-21 and last revised 1-12-23;
4. OWTS Tank Relocation & 100% Expansion Design (Sheet 3 of 6) dated 10-01-21 and last revised 1-12-23;
5. Erosion and Sediment Control Plan (Sheet 4 of 6) dated 10-01-21 and last revised 1-12-23;
6. Erosion and Stormwater Details (Sheet 5 of 6) dated 10-01-21 and last revised 10-28-22;
7. Septic Details (Sheet 6 of 6) dated 10-01-21 and last revised 1-12-23.

3. Post Permit Sign The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.

4. **Notify DEC 48 Hrs Prior to Work** The permittee or a representative must contact by telephone Sarah Pawliczak, NYSDEC Bureau of Ecosystem Health, at 845-256-3050, or by email at Sarah.Pawliczak@dec.ny.gov at least 48 hours prior to the commencement of the project authorized herein.

5. **Prior Approval of Changes** If the permittee desires to make any minor changes to the scope of work shown in the approved plans or seeks minor changes to timeframes or deadlines in any conditions of this permit, the permittee shall submit a request via email to Sarah Pawliczak, NYSDEC Bureau of Ecosystem Health, at Sarah.Pawliczak@dec.ny.gov to make such proposed changes. The proposed changes shall not be implemented unless authorized in writing by the Department. Issuance of such approval without modification of the permit is at the Department's discretion.

6. **No Equipment in Wetland** Heavy equipment, including bulldozers, backhoes, payloaders, etc., shall not be operated in the wetland.

7. **Clean Fill Only** All fill shall consist of clean soil, sand and/or gravel that is free of the following substances: asphalt, slag, flyash, broken concrete, demolition debris, garbage, household refuse, tires, woody materials including tree or landscape debris, and metal objects. The introduction of materials toxic to aquatic life is expressly prohibited.

8. **Install Controls as Shown on Plans** Prior to commencement of the activities authorized herein, the permittee shall install securely anchored silt fencing and/or continuous staked straw bales as shown on the plans or drawings referenced in this permit.

9. **Maintain Erosion Controls** These erosion control devices shall be maintained until all disturbed land is fully vegetated to prevent any silt or sediment from entering the freshwater wetland or its adjacent area. Silt fencing, hay bales and any accumulated silt or sediment shall be completely removed for disposal at an appropriate upland site.

10. **Seed, Mulch Disturbed Areas** All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass, and mulched with straw immediately upon completion of the project, within two days of final grading, or by the expiration of the permit, whichever is first.

11. **Disposal of Material** Any demolition debris, excess construction materials, and/or excess excavated materials shall be immediately and completely disposed of on an approved upland site more than 100 feet from any regulated waterbody or wetland. These materials shall be suitably stabilized so as not to re-enter any water body, wetland, or wetland adjacent area; and must be disposed of in accordance with all local, state, and federal statutes, regulations, or ordinances.

12. **Stockpile Areas** Excavated materials and/or fill materials shall be stockpiled more than 100 feet landward of the wetland or water body and shall be contained by straw bales or silt fencing to prevent erosion.

13. **Equipment Cleaning** Before equipment and materials are used in any project work area involving regulated waters or wetlands, the equipment must be inspected for, and cleaned of, any visible soils, vegetation, and debris to prevent the potential introduction of invasive species into regulated waters or wetlands from other areas.

14. **Vegetation Debris Disposal** Invasive species, host material and attached soil material that has been removed from vehicles, equipment, and materials, or generated from cleaning operations shall be rendered incapable of any growth or reproduction by placing in plastic bags at least 3 mil thick, hauled in a covered truck, and properly disposed of offsite; or the material shall be managed within the infested project area, provided that no filling of any wetland or adjacent area will occur. A list of prohibited and regulated invasive species is contained within 6 NYCRR Part 575 and available at https://www.dec.ny.gov/animals/99141.html.

15. **Long Term Survival of Wetland/Adjacent Area Plantings** The permittee is responsible for replacement of lost wetland and/or wetland adjacent area plantings if the survival rate of the initial plantings is less than 85% within one year after planting. During the subsequent years of monitoring the success of these plantings as required by this permit, if the survival rate of these plantings remains less than 85% or invasive species are noted at levels greater than 10-15%, the permittee must evaluate the reasons for these results and develop and implement a remediation plan approved by the Department to ensure a successful plantings mitigation.

16. **Precautions Against Contamination of Waters** All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

17. **State Not Liable for Damage** The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

18. **State May Order Removal or Alteration of Work** If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

19. **State May Require Site Restoration** If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. **Facility Inspection by The Department** The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. **Relationship of this Permit to Other Department Orders and Determinations** Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. **Applications For Permit Renewals, Modifications or Transfers** The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. **Submission of Renewal Application** The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Freshwater Wetlands.

5. **Permit Modifications, Suspensions and Revocations by the Department** The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The grounds for modification, suspension or revocation include:

a. materially false or inaccurate statements in the permit application or supporting papers;

b. failure by the permittee to comply with any terms or conditions of the permit;

c. exceeding the scope of the project as described in the permit application;

d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;

e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. **Permit Transfer** Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification
The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit
The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits
The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights
This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.

New York State

Department of Environmental Conservation

NOTICE

The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: Keith Rosenthal

Permit No. 3-5538-00091/00005

Effective Date: 08/29/2023

Expiration Date: 12/31/2030

☐ **Applicable if checked. No instream work allowed between October 1 & April 30**

NOTE: This notice is NOT a permit.