

TRANSMITTAL

Date: 4/5/24

To: Town of North Castle
 Planning Board
 17 Bedford Road
 Armonk, NY 10504-189

Project: Menocal/ Swansburg Residence
 103 Mianus River Road
 Tax ID: 96.01-1-2

Copies	Drawing No.	Description	Date
1		Project Narrative	4/4/24
1		\$200.00 Application Fee Check	4/4/24
1		\$2,000.00 Escrow Fee Check	4/4/24
1		Letter of Authorization	4/3/24
1		Application for Site Plan Development Plan Approval	
1		Gross Land Coverage Calculations Worksheet	4/2/24
1		Floor Area Calculations Worksheet	4/2/24
1		Short Environmental Assessment Form	4/4/24
1		Architectural Project Summary	4/2/24
1		Project Photos	4/2/24
1	A-1	Floor Plans	3/1/24
1	A-2	Floor Plans	3/1/24
1	A-3	Exterior Elevations	3/1/24
1	A-4	Exterior Elevations	3/1/24
1	A-5	Exterior Elevations	3/1/24
1	S-1	Preliminary Site Plan	4/2/24
1	L-1	Preliminary Landscape Plan	4/2/24
1	GLC-1	Gross Land Coverage Worksheet Plan	4/2/24

April 4, 2024

Planning Board
Town of North Castle
17 Bedford Road
Armonk, NY 10504

RE: Menocal/ Swansburg Residence
103 Mianus River Road
Tax ID: 9601-1-2

Dear Chairman Carthy and Members of the Planning Board,

We are working with Kirtley Cameron, architect, (copied) on modifications to the existing residence at 103 Mianus River Road. Kirtley and I recently met with Adam Kaufman (copied) for a pre-application meeting to determine what approvals are going to be required. Adam confirmed that the property is located on a scenic road, which requires Site Plan Approval from the Planning Board for the architectural alterations. Adam also determined that a Front Yard Variance will need to be obtained from the Zoning Board of Appeals because the residence is pre-existing nonconforming as it relates to the front yard setback. The existing front yard setback is 68'-8" and the proposed front yard setback is 68'-4", where 75'-0" is required. With your approval, we respectfully ask that the Planning Board refer us to the Zoning Board of Appeals for this matter.

We are in discussions with Rod Christie at the Mianus River Gorge, who holds a Conservation Easement on the property to ensure that the proposed improvements are acceptable.

In closing, we believe that the proposed architectural modifications will be in keeping with the vernacular style of the existing residence. The building coverage will modestly increase by 44 s.f. and the gross land coverage will modestly increase by 106 s.f..

We look forward to presenting this project to the Planning Board at the April 25th meeting. In the meantime, please contact me with any questions or concerns.

Sincerely,



Glenn Ticehurst, RLA, ASLA
for B & T

Harriet Menocal and John Swansburg
103 Mianus River Road
Bedford, NY 10506

April 3, 2024

Town of North Castle
15 Bedford Road
Armonk, NY 10504

Re: 103 Mianus River Road

To Whom It Concerns:

I hereby authorize Benedek & Ticehurst, Landscape Architects and Site Planners, P.C., to represent me as the applicant in all aspects of our submissions to Town Boards.

Sincerely,

A handwritten signature in black ink, appearing to be a stylized 'H' or 'J' followed by a long horizontal stroke.

Harriet Menocal
John Swansburg



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

MEHOCAL / SWAHSBURG RESIDENCE
103 MIAMUS RIVER ROAD

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: HARRIET MEMOCAL AND JOHN SWANBURG
Mailing Address: 103 MIANUS RIVER ROAD, BEDFORD, NY 10506
Telephone: _____ Fax: _____ e-mail HAPPY@HAPPYMEMOCAL.COM
SWANBURG@GMAIL.COM

Name of Applicant (if different): BEHEDEK AND TICEHURST
Address of Applicant: 448H OLD POST RD, BEDFORD VILLAGE, NY 10506
Telephone: 914-234-9666 Fax: _____ e-mail seth@btlandarch.com
glenn@btlandarch.com
Interest of Applicant, if other than Property Owner:
LANDSCAPE ARCHITECT

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
BEHEDEK AND TICEHURST
Address: 448H OLD POST RD., BEDFORD VILLAGE, NY 10506
Telephone: 914-234-9666 Fax: _____ e-mail seth@btlandarch.com
glenn@btlandarch.com

Name of Other Professional: KIRKLEY CAMERON DESIGN
Address: BOX 605 BEDFORD, NY 10506
Telephone: 914-234-7635 Fax: _____ e-mail kirtley.cameron@gmail.com

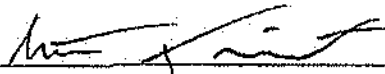
Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

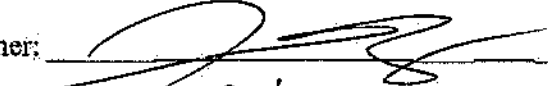
Applicant Acknowledgement


By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 4/2/24

Signature of Property Owner:  Date: 4/3/24

MUST HAVE BOTH SIGNATURES  4/3/24

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 103 MIAMUS RIVER ROAD

Location (in relation to nearest intersecting street):

1,400 feet north south, east or west) of SK. MARYS CHURCH ROAD

Abutting Street(s): _____

Tax Map Designation (NEW): Section 96.01 Block 1 Lot 2

Tax Map Designation (OLD): Section 96.01 Block 1 Lot 2

Zoning District: R-4A Total Land Area 8.537 ACRES

Land Area in North Castle Only (if different) _____

Fire District(s) BAKESVILLE INDEPENDENT School District(s) BEDFORD CENTRAL SCHOOL DISTRICT

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: SINGLE FAMILY RESIDENTIAL

Gross Floor Area: Existing 8,829 S.F. Proposed 8,873 S.F.

Proposed Floor Area Breakdown:

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential 8,873 S.F.;

Number of Dwelling Units: 1

Number of Parking Spaces: Existing N/A Required N/A Proposed N/A

Number of Loading Spaces: Existing N/A Required N/A Proposed N/A

Earthwork Balance: Cut N/A C.Y. Fill N/A C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- X Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- X Location of existing parking and truck loading areas, with access and egress drives thereto.
- X Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- X Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- N/A Location, size and design of existing signs.
- N/A Location, type, direction, power and time of use of existing outdoor lighting.
- N/A Location of existing outdoor storage, if any.
- X Existing topographical contours with a vertical interval of two (2) feet or less.
- X Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- N/A Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- X Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- X Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- N/A Proposed sight distance at all points of vehicular access.
- N/A Proposed number of employees for which buildings are designed
- N/A Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- N/A Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- N/A Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- X Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- N/A Location, size and design of all proposed signs.
- N/A Location, type, direction, power and time of use of proposed outdoor lighting.
- N/A Location and design of proposed outdoor garbage enclosure.
- N/A Location of proposed outdoor storage, if any.
- N/A Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- N/A Type of power to be used for any manufacturing
- N/A Type of wastes or by-products to be produced and disposal method
- N/A In multi-family districts, floor plans, elevations and cross sections.
- N/A The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- N/A Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- X Proposed soil erosion and sedimentation control measures.
- N/A For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- N/A For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- N/A For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00

Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.

Any amendment to previously approved applications requires new application forms and Fes



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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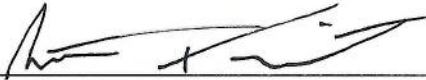
PLANNING DEPARTMENT
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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.


Applicant Signature

4/3/24
Date:



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Menocal / Swansburg Residence Date: April 2, 2024

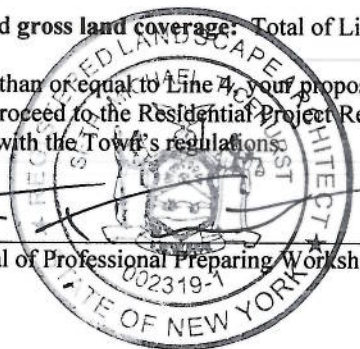
Tax Map Designation or Proposed Lot No.: 96.01 / 1 / 2

Gross Lot Coverage

1.	Total lot Area (Net Lot Area for Lots Created After 12/13/06):	<u>371,871.72 s.f.</u>
2.	Maximum permitted gross land coverage (per Section 355-26.C(1)(a)):	<u>40,165.129</u>
3.	BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
	Distance principal home is beyond minimum front yard setback _____ x 10 =	<u>0</u>
4.	TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	<u>40,165.129 s.f.</u>
5.	Amount of lot area covered by principal building: <u>2,510</u> existing + <u>-15</u> proposed =	<u>2,495</u>
6.	Amount of lot area covered by accessory buildings: <u>3,402</u> existing + <u>0</u> proposed =	<u>3,402</u>
7.	Amount of lot area covered by decks: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
8.	Amount of lot area covered by porches: <u>0</u> existing + <u>59</u> proposed =	<u>59</u>
9.	Amount of lot area covered by driveway, parking areas and walkways: <u>5,926</u> existing + <u>62</u> proposed =	<u>5,988</u>
10.	Amount of lot area covered by terraces: <u>1,007</u> existing + <u>0</u> proposed =	<u>1,007</u>
11.	Amount of lot area covered by tennis court, pool and mechanical equip: <u>0</u> existing + <u>0</u> proposed =	<u>0</u>
12.	Amount of lot area covered by all other structures: <u>169</u> existing + <u>0</u> proposed =	<u>169</u>
13.	Proposed gross land coverage: Total of Lines 5 – 12 =	<u>13,120 S.F.</u>

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet



4/2/24
 Date



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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FLOOR AREA CALCULATIONS WORKSHEET


Application Name or Identifying Title: Menocal / Swansburg Residence Date: April 2, 2024

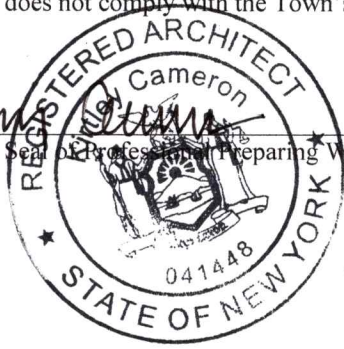
Tax Map Designation or Proposed Lot No.: 96.01 / 1 / 2

Floor Area

- | | | |
|-----|---|----------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>371,871.72 SF</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>19,535.95 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>2,510 SF</u> existing + <u>-15 SF</u> proposed = | <u>1,495 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>1,426 SF</u> existing + <u>0</u> proposed = | <u>1,426 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>0</u> existing + <u>59 SF</u> proposed = | <u>59 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
_____ existing + _____ proposed = | <u>N/A</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
_____ existing + _____ proposed = | <u>N/A</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>4,893 SF</u> existing + <u>0 SF</u> proposed = | <u>4,893 SF</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>8,873 SF</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.


 Signature and Seal of Professional Preparing Worksheet



4/2/24
 Date

FLOOR AREA CALCULATION WORKSHEET FOR 103 MAINUS RIVER ROAD
 APRIL 2, 2024

	EXISTING	PROPOSED	FINAL
PRINCIPAL DWELLING			
BASEMENT			N/A*
FIRST FLOOR			
IA	273	0	273
IB	796	0	796
IC	368	-8	360
ID	98	0	98
IE	213	-12	201
IF	367	9	376
IG	225	-4	391
IH	170		
TOTAL 1ST FLOOR:	2,510	-15	2,495
SECOND FLOOR			
2A	270	0	270
2B	796	0	796
2C	360	0	360
TOTAL 2ND FLOOR:	1,426	0	1,426
ATTIC			N/A*
TOTAL PRINCIPAL DW. FL. AREA	3,936 S.F.	-15	3,921 S.F.

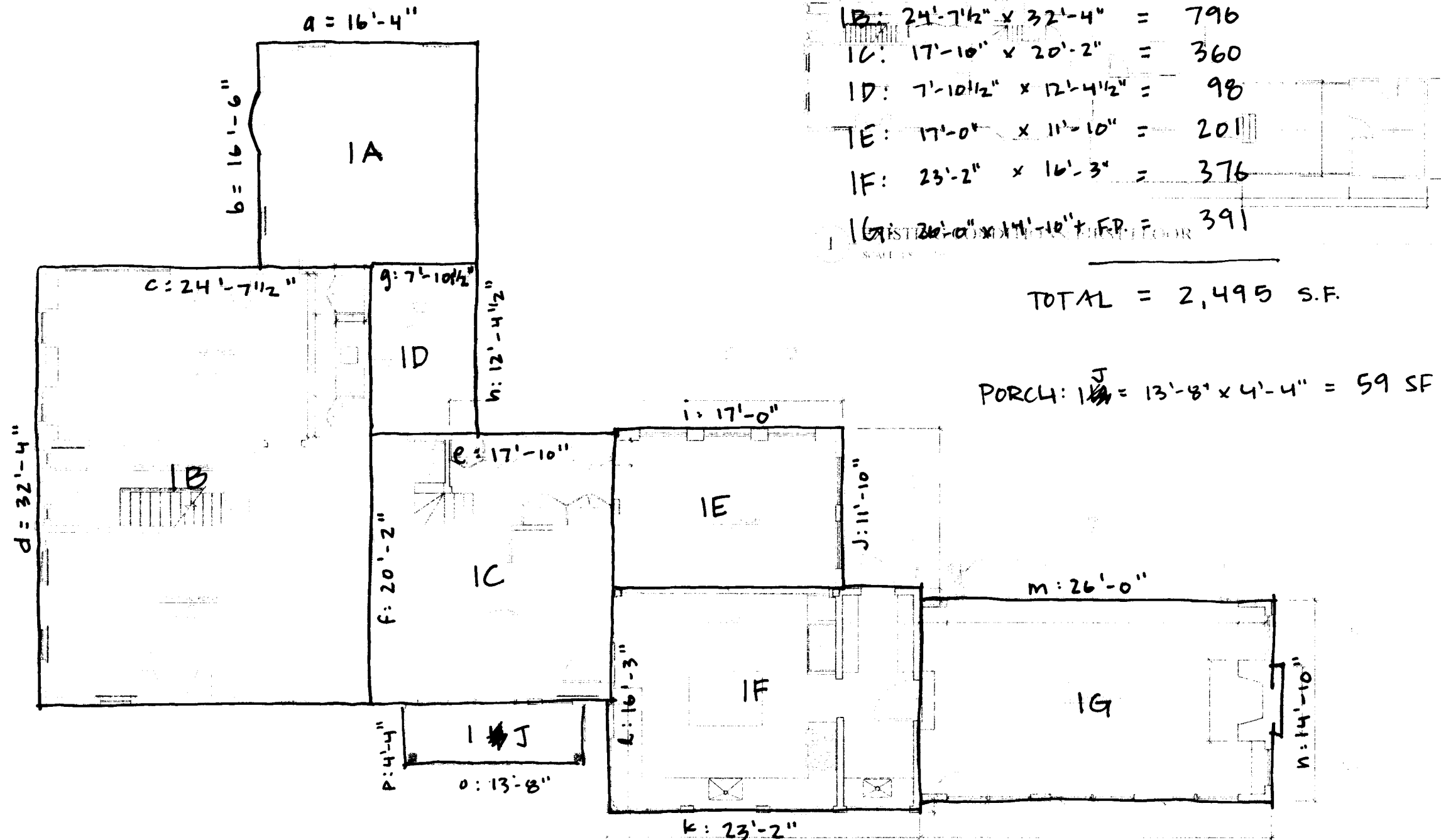
TOTAL PORCHES	0	59	59
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ACCESSORY BUILDINGS			
BARN			
FIRST FLOOR	1889	0	1889
SECOND FLOOR	1889	0	1889
TOTAL BARN:	3,778		3,778
SHED	278	0	278
SECOND BARN	837	0	837
TOTAL ACCESS. BUILDINGS	4,893 S.F.		4,893 S.F.

TOTAL FLOOR AREA	8,829 S.F.	44 S.F.	8,873 S.F.
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*ATTIC AND BASEMENT DO NOT MEET REQUIREMENTS TO BE INCLUDED IN GROSS FLOOR AREA

**1ST FLOOR : PROPOSED
AREA SCHEMATIC ILLUSTRATION**



- IA: $16'-4" \times 16'-6" + BAY = 273$
- IB: $24'-7\frac{1}{2}" \times 32'-4" = 796$
- IC: $17'-10" \times 20'-2" = 360$
- ID: $7'-10\frac{1}{2}" \times 12'-4\frac{1}{2}" = 98$
- IE: $17'-0" \times 11'-10" = 201$
- IF: $23'-2" \times 16'-3" = 376$
- IG: $26'-0" \times 14'-10" + F.P. = 391$

TOTAL = 2,495 S.F.

PORCH: $13'-8" \times 4'-4" = 59 SF$

PROPOSED FIRST FLOOR PLAN



MENOCAL-SWANSBURG RESIDENCE
103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

KIRTLEY CAMERON DESIGN
info@kirtleycamerondesign.com
Box 605 Bedford NY 10506
914-234-7635

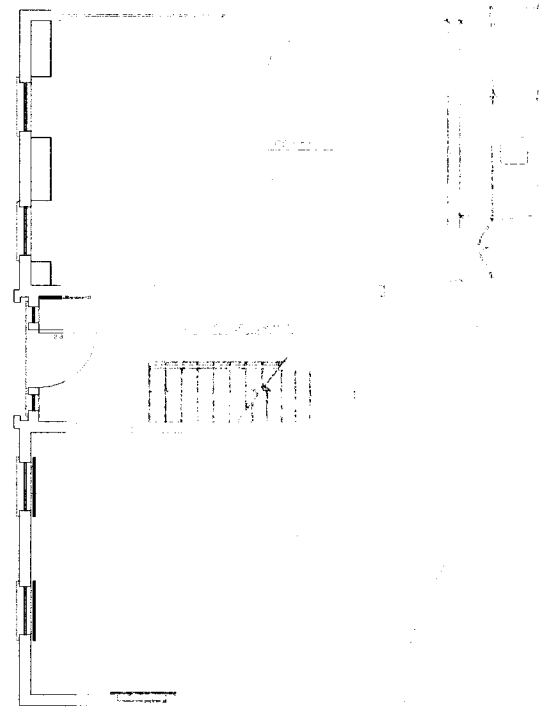
PROGRESS PRINT

DATE: 03/12/24
SCALE: AS NOTED
DRAWN BY: KC
REVISED BY:

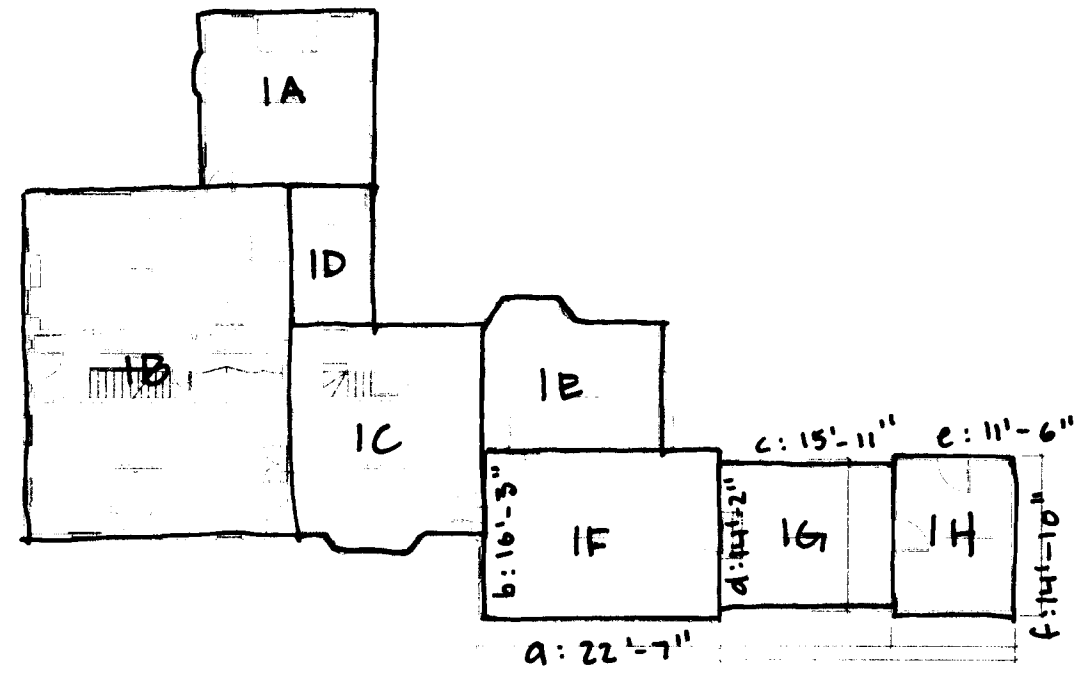
DATE	DESCRIPTION

FLOOR PLANS

A-1



SEE SCHEMATIC OF PROPOSED FOR SAME DIMENSIONS



EXISTING CONDITIONS: FIRST FLOOR

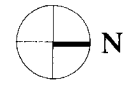
1ST. FLOOR: EXISTING AREA SCHEMATIC ILLUSTRATION

- IA: $16'-4" \times 16'-6" + \text{BAT} = 273$
- IB: $24'-7\frac{1}{2}" \times 32'-4" = 796$
- IC: $17'-10" \times 20'-2" + \text{BAT} = 368$
- ID: $7'-10\frac{1}{2}" \times 12'-4\frac{1}{2}" = 98$
- IE: $17'-0" \times 11'-10" + \text{BAT} = 213$
- IF: $22'-6" \times 16'-3" = 367$
- IG: $15'-11" \times 14'-2" = 225$
- IH: $11'-6" \times 14'-10" = 170$

TOTAL = 2,510 S.F.



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



MENOCAL-SWANSBURG RESIDENCE
103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

KIRTLEY CAMERON DESIGN
info@kirtleycamerondesign.com
Box 605 Bedford NY 10506
914-234-7635

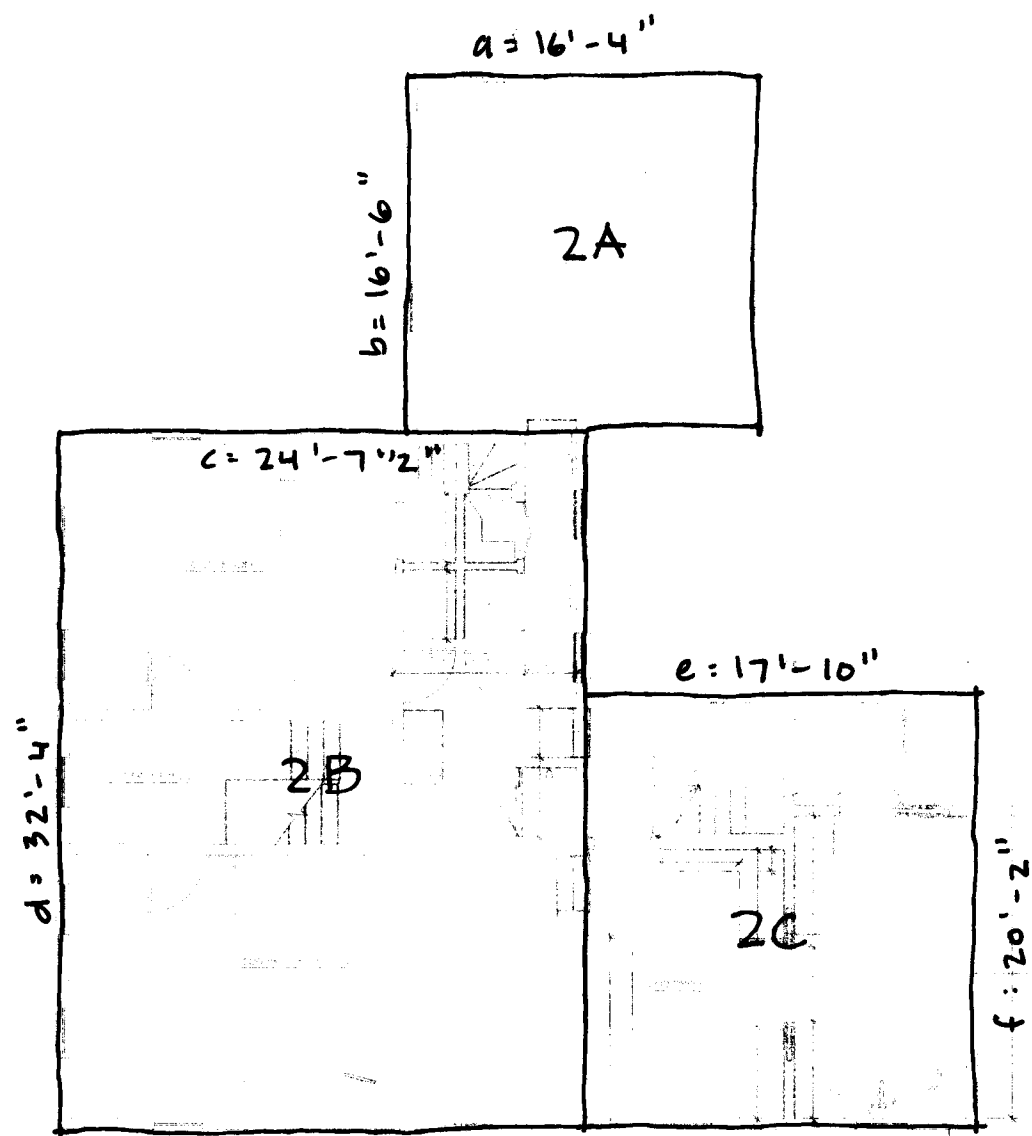
PROGRESS PRINT

DATE: 03/12/24
SCALE: AS NOTED
DRAWN BY: KC
REVISED BY:

DATE	DESCRIPTION

FLOOR PLANS

A-1



1 EXISTING CONDITIONS SECOND FLOOR
SCALE: 1/4" = 1'-0"

**2ND FLOOR: EXISTING + PROPOSED
AREA SCHEMATIC ILLUSTRATION**

$2A: 16'-4" \times 16'-6" = 270$
 $2B: 24'-7\frac{1}{2}" \times 32'-4" = 796$
 $2C: 17'-10" \times 20'-2" = 360$

TOTAL: 1,426 S.F.

2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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914-234-7635

PROGRESS PRINT

DATE: 3/12/24
SCALE: AS NOTED
DRAWN BY: KC
REVISED BY:

DATE	DESCRIPTION

FLOOR
PLANS

A-2

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Menocal / Swansburg Residence - Renovation			
Project Location (describe, and attach a location map): 103 Mlanus River Road, Bedford, N.Y.			
Brief Description of Proposed Action: Renovation of existing residence and entry walk.			
Name of Applicant or Sponsor: Benadek & Ticehurst, Landscape Architects, PC		Telephone: 914-234-9666 E-Mail: Seth@btlandarch.com	
Address: 448H Old Post Road			
City/PO: Bedford, N.Y.		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Zoning Board of Appeals		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		8.5370 acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.5370 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

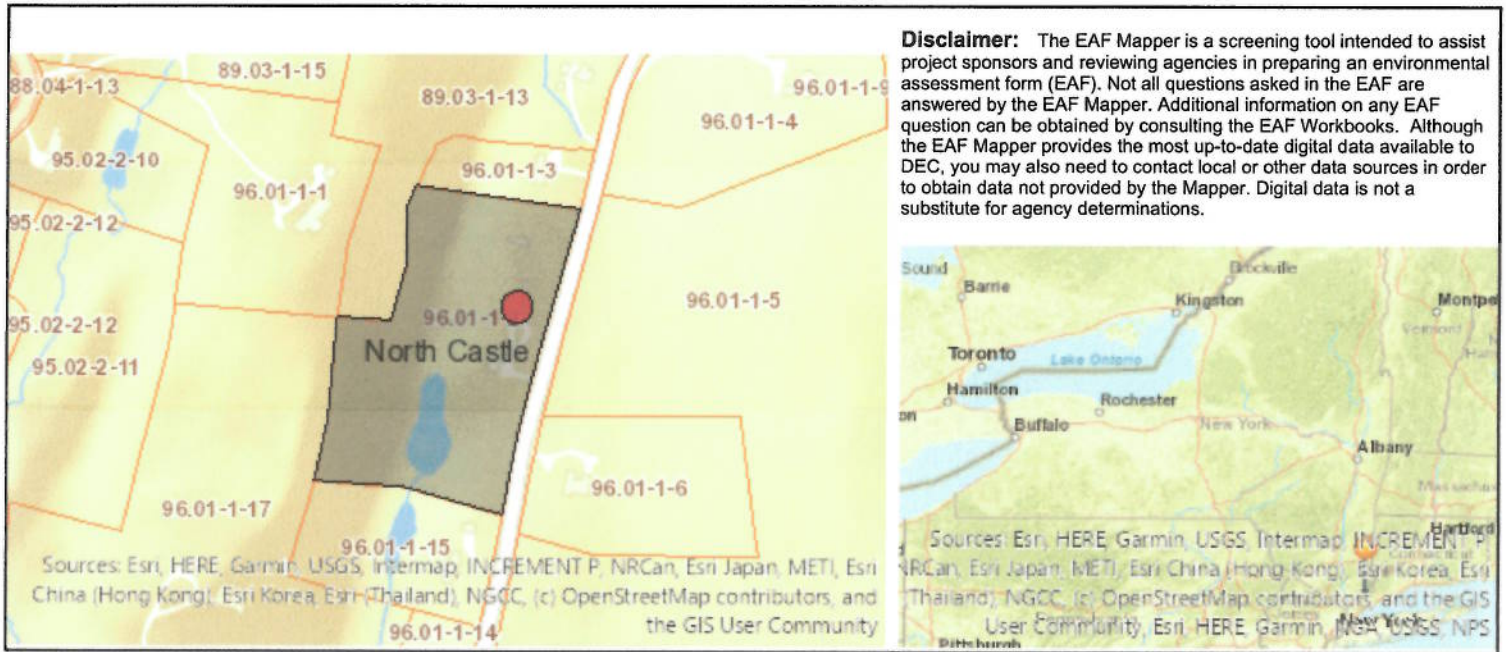
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Mark J. Selk, Wickhurst</u> Date: <u>4/4/24</u>		
Signature: <u>[Signature]</u> Title: <u>LANDSCAPE ARCHITECT</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



PROJECT SUMMARY

April 2, 2024

Address: 103 Mianus River Road, Bedford, NY 10506
Tax ID: 96.01-1-2

Owner: Happy Menocal & John Swansburg

Project Description: Update the historic home to better meet the needs of the Menocal-Swansburg family by replacing the relatively newer additions on the north end of the house with new spaces on the same footprint. Currently there is a "sun porch", greenhouse and garden shed that are not conditioned, have been in disrepair since they bought the house in 2020 and are unusable 6-8 months of the year.

Our goal is to create new energy efficient living spaces on the first floor, including kitchen and dining area, that respect and relate to the original historic home, improve the flow of the house and the connection to outside, and hopefully improve the overall view of the house from the street. We are also looking to create a entry point closer to the kitchen as the front door is currently the only access from the driveway into the house. There are no changes to the second floor.

Current footprint: 2,510 SF
Proposed footprint: 2,554 SF including a 59SF covered entry porch

Current bedrooms / bathrooms: 4 / 4.5
Proposed bedrooms / bathrooms: 3 / 3.5

See areas of work marked on plans and elevations for further detail.
Photos of existing conditions also included.

KCD KIRTLEY CAMERON DESIGN

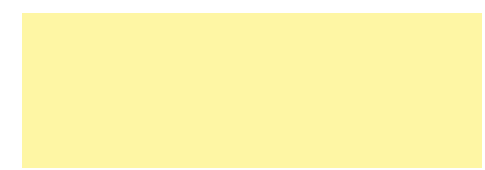
T. 914.234.7635 M. 917.647.9007
Box 605 Bedford, NY 10506
kirtleycamerondesign.com

PHOTOS OF 103 MIANUS RIVER ROAD
April 2, 2024

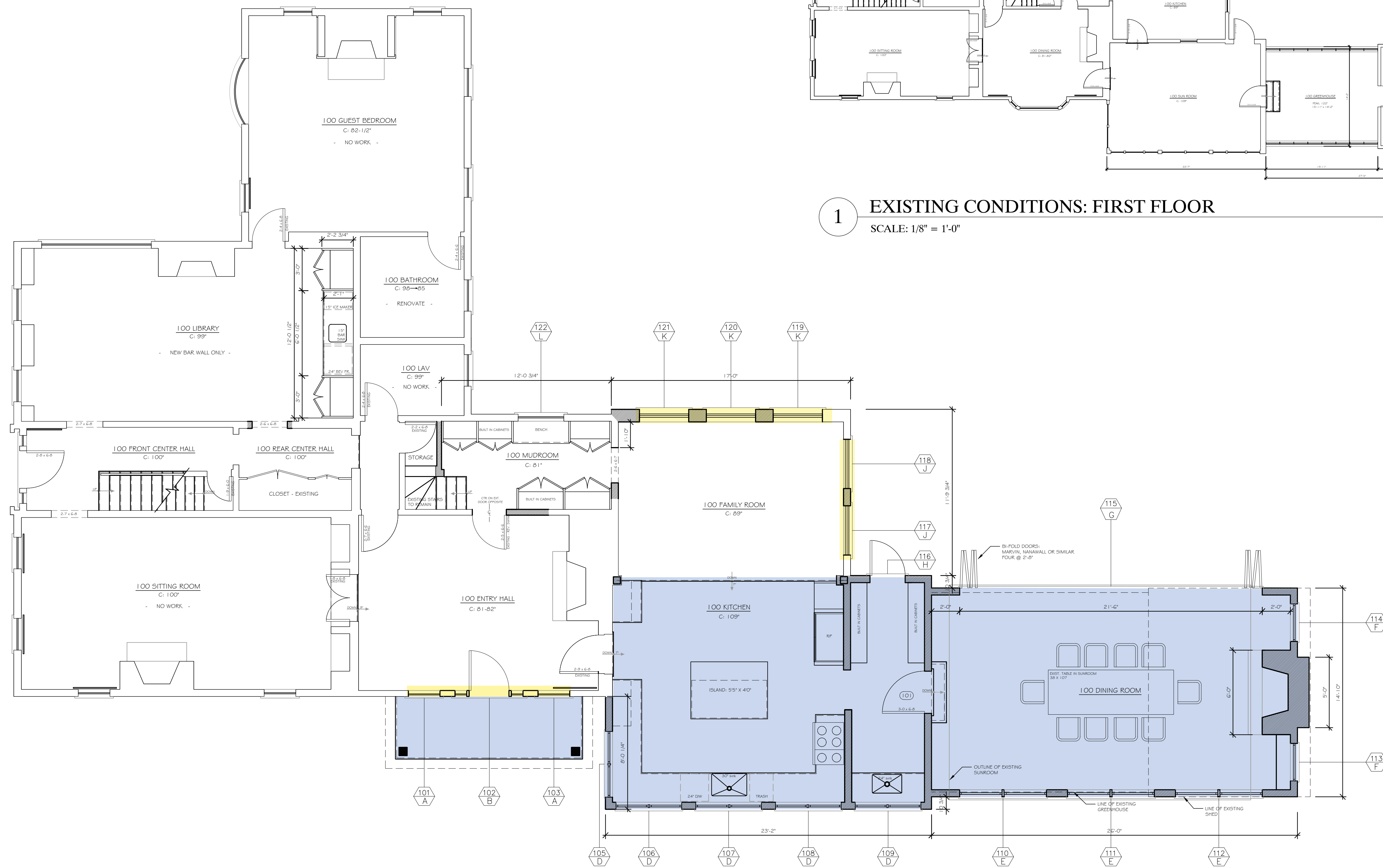




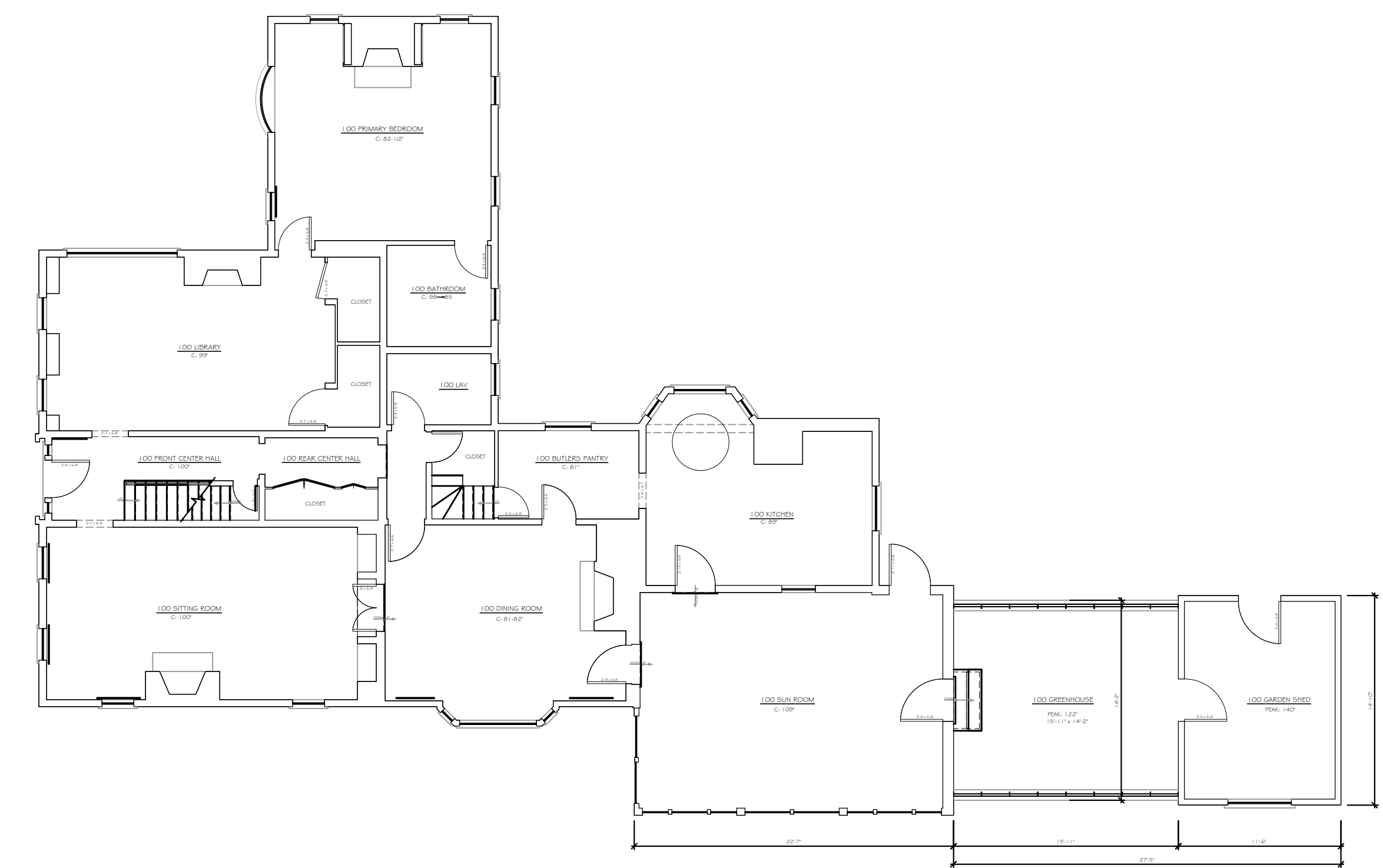
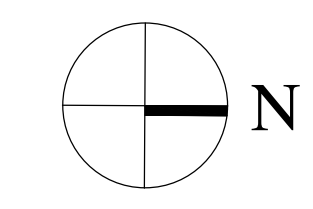
INDICATES NEW CONSTRUCTION
/ NEW FOUNDATION



INDICATES CHANGE TO
EXTERIOR



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING CONDITIONS: FIRST FLOOR
SCALE: 1/8" = 1'-0"

MENOCAL-SWANSBURG RESIDENCE
103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

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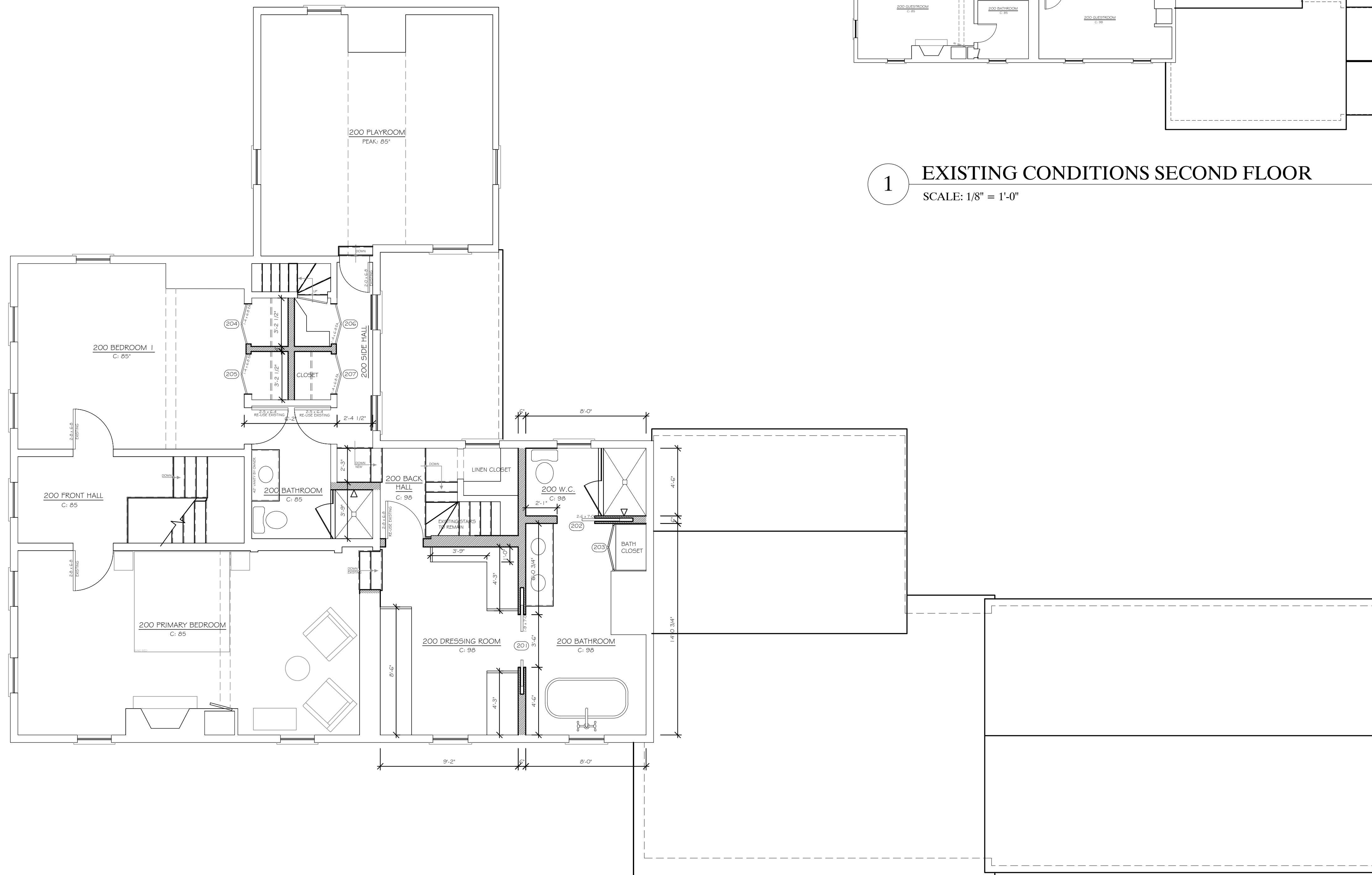
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REVISED BY:

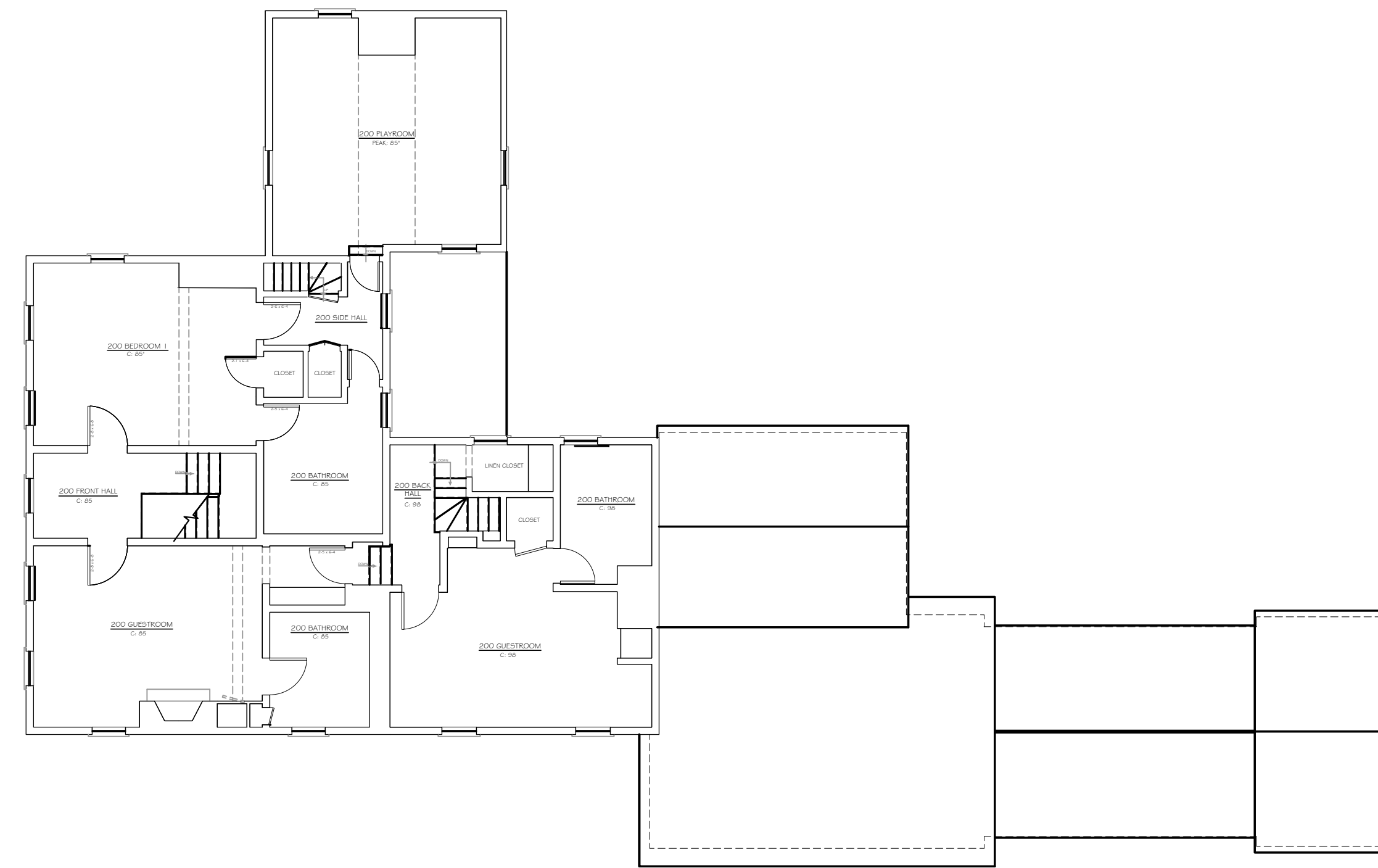
△	DATE	DESCRIPTION

FLOOR
PLANS

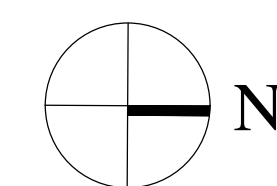
A-1



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING CONDITIONS SECOND FLOOR
SCALE: 1/8" = 1'-0"



MENOCAL-SWANSBURG RESIDENCE
103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

KIRTLEY CAMERON DESIGN
info@kirtleycamerondesign.com
Box 605 Bedford NY 10506
914-234-7635

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SCALE: AS NOTED
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REVISED BY:

△	DATE	DESCRIPTION

FLOOR PLANS

A-2



1 EXISTING SOUTH / FRONT ELEVATION
SCALE: 1/4" = 1'-0"

INDICATES NEW CONSTRUCTION / NEW FOUNDATION

INDICATES CHANGE TO EXTERIOR



2 PROPOSED SOUTH / FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MENOCAL-SWANSBURG RESIDENCE
103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

KIRTLEY CAMERON DESIGN
info@kirtleycamerondesign.com
Box 605 Bedford NY 10506
914-234-7635

PROGRESS PRINT

DATE: 3/12/24

SCALE: AS NOTED

DRAWN BY: KC

REVISED BY:

△	DATE	DESCRIPTION

EXTERIOR ELEVATIONS

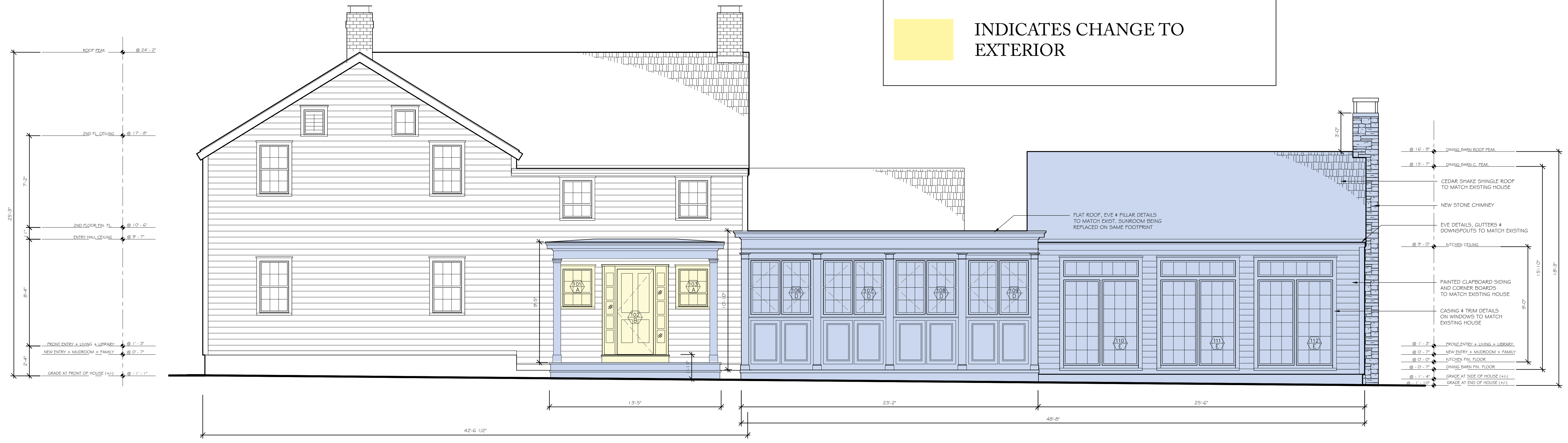
A-3



1 EXISTING EAST / ROAD ELEVATION
SCALE: 1/4" = 1'-0"

INDICATES NEW CONSTRUCTION / NEW FOUNDATION

INDICATES CHANGE TO EXTERIOR



2 PROPOSED EAST / ROAD ELEVATION
SCALE: 1/4" = 1'-0"

MENOCAL-SWANSBURG RESIDENCE
103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

KIRTLEY CAMERON DESIGN
info@kirtleycamerondesign.com
Box 605 Bedford NY 10506
914-234-7635

PROGRESS PRINT

DATE: 3/12/24
SCALE: AS NOTED
DRAWN BY: KC
REVISED BY:

△	DATE	DESCRIPTION

EXTERIOR ELEVATIONS



1 EXISTING NORTH / END ELEVATION
SCALE: 1/4" = 1'-0"

INDICATES NEW CONSTRUCTION / NEW FOUNDATION

INDICATES CHANGE TO EXTERIOR



2 PROPOSED NORTH / END ELEVATION
SCALE: 1/4" = 1'-0"

MENOCAL-SWANSBURG RESIDENCE

103 MIANUS RIVER ROAD
BEDFORD, NEW YORK

KIRTLEY CAMERON DESIGN

info@kirtleycamerondesign.com
Box 605 Bedford NY 10506
914-234-7635

DATE: 3/12/24

SCALE: AS NOTED

DRAWN BY: KC

REVISED BY:

△	DATE	DESCRIPTION

EXTERIOR ELEVATIONS

A-5

SURVEY INFORMATION TAKEN FROM DRAWING TITLED: "SURVEY OF PROPERTY PREPARED FOR JOHN R. SWANSBURG AND HARRIET P. MENOCA" AND HARRIET P. MENOCA, SITUATE IN THE TOWN OF NORTH CASTLE WESTCHESTER COUNTY, NEW YORK" MAP PREPARED OCTOBER 28, 2016 REVISED JUNE 9, 2020 PREPARED BY H. STANELY JOHNSON AND COMPLANT LAND SURVEYORS, P.C. 42 SMITH AVENUE P.O. BOX 93 MT. KISCO, NY 10549 TEL. 914-241-3872

EXISTING TOPOGRAPHY TAKEN FROM WESTCHESTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS

PROPERTY INFORMATION
 JOHN R. SWANSBURG AND HARRIET P. MENOCA
 103 MIANUS RIVER ROAD
 BEDFORD, NY 10506

LOT AREA: 0.531 ACRES
 SHEET 96.0, BLOCK 1, LOT 2
 R-4A ZONING DISTRICT
 BEDFORD CENTRAL SCHOOL DISTRICT
 BANKSVILLE INDEPENDENT FIRE COMPANY

R-4A ZONING REQUIREMENTS
 FRONT YARD SETBACK 15'-0"
 SIDE YARD SETBACK 50'-0"
 REAR YARD SETBACK 50'-0"

AREA OF DISTURBANCE: 2,830 SQ. FT.

SCHEDULE OF MINIMUM ZONING REQUIREMENTS R-4A ZONE

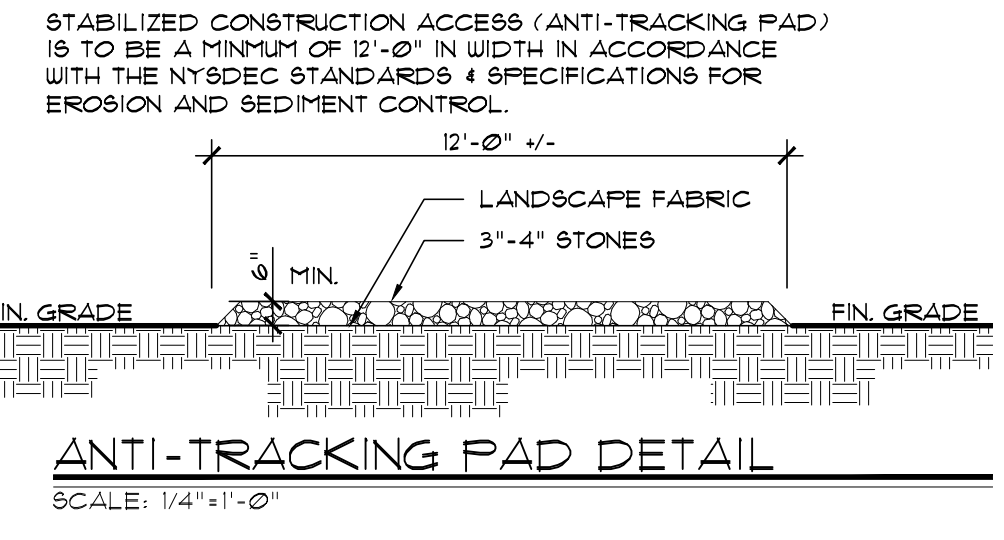
	EXISTING	PROPOSED	ALLOWABLE
MINIMUM LOT SIZE			
AREA	0.531 AC.	0.531 AC.	4 AC.
FRONTAGE	821'-4"	821'-4"	750'
WIDTH	821'-4"	821'-4"	250'
DEPTH	534'-8"	534'-8"	150'
MINIMUM YARDS			
FRONT	60'-0"	60'-4"	75'
SIDE	93'-8"	93'-8"	50'
REAR	267'-9"	267'-9"	50'

Approved by Town of North Castle Planning Board Resolution, Dated: _____ Date _____

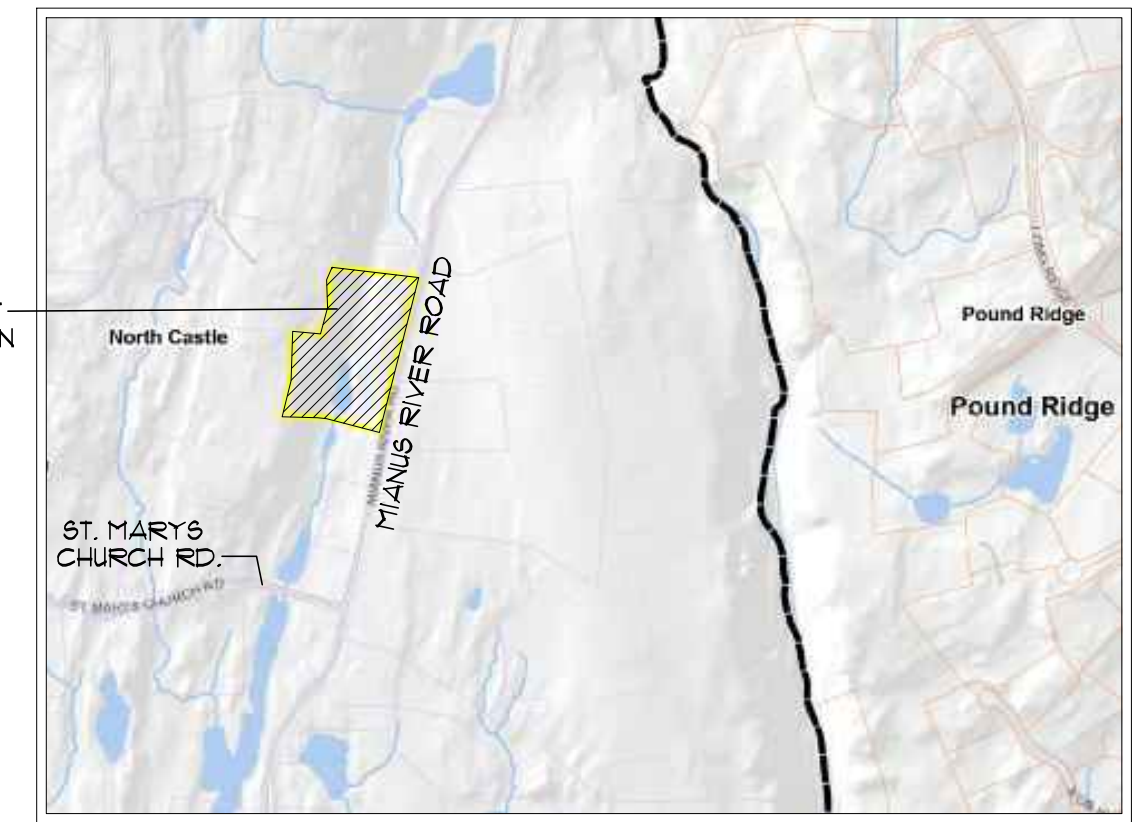
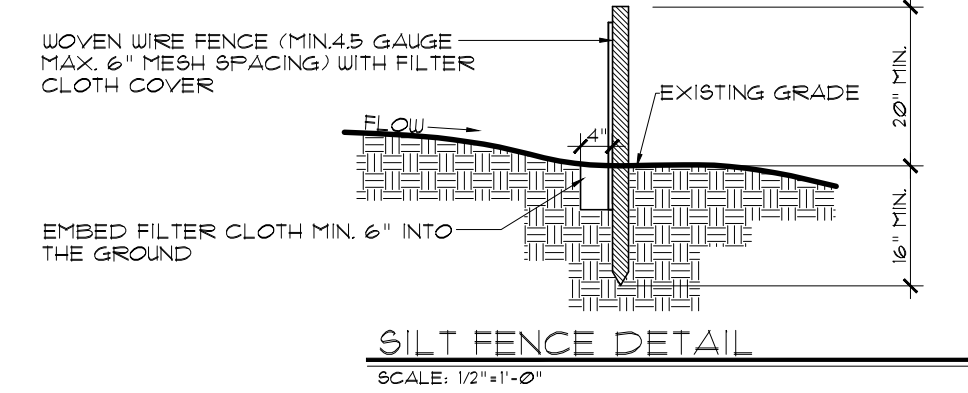
Christopher Carthy, Chairman, Town of North Castle Planning Board

Engineering Plans Reviewed for Conformance to Resolution: _____ Date _____

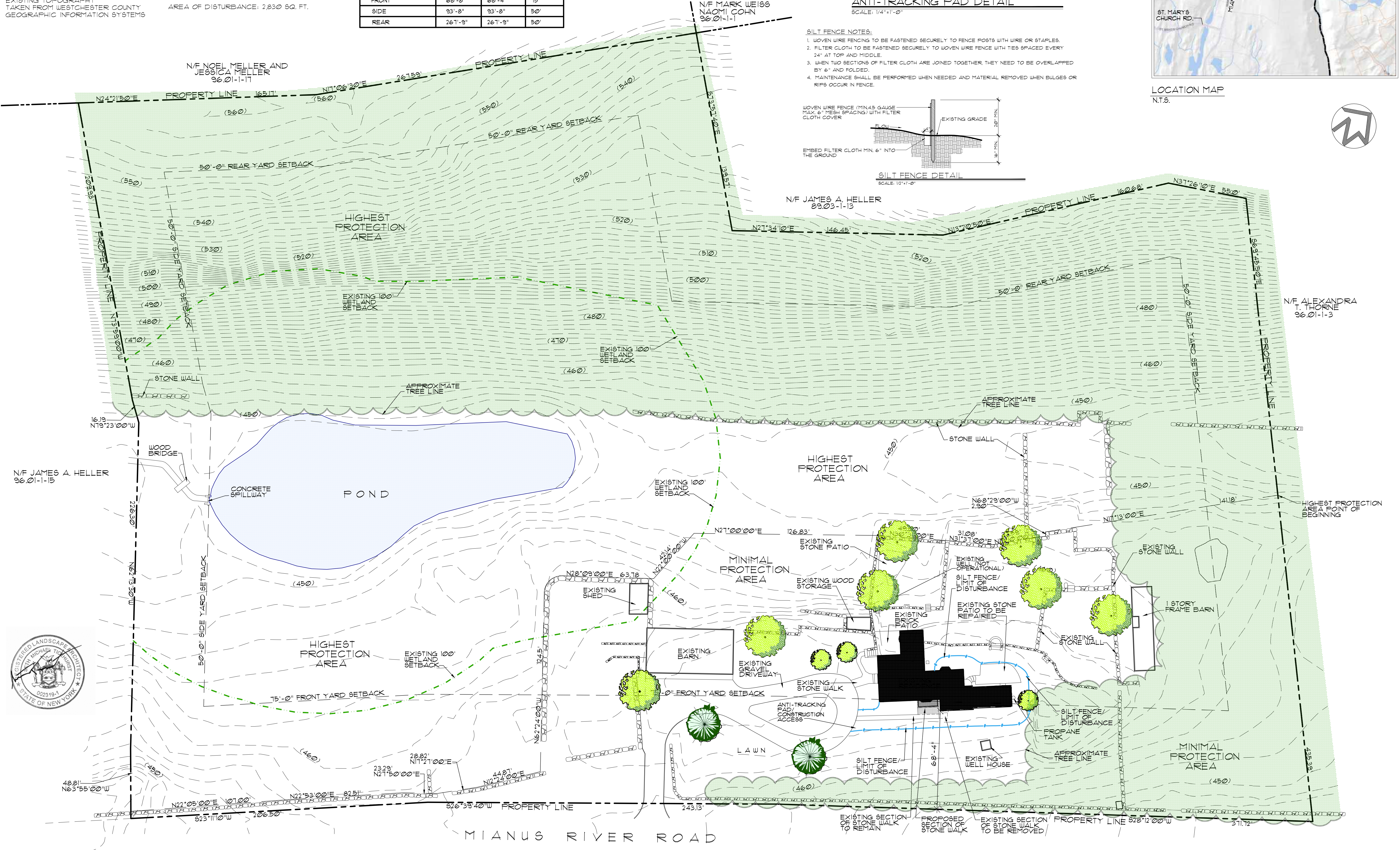
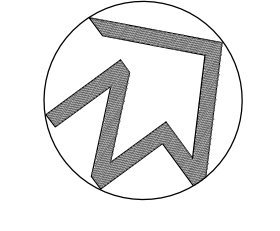
Joseph M. Cermele, PE
 Kellard Sessions Consulting
 Consulting Town Engineers



- SILT FENCE NOTES:**
1. WOVEN WIRE FENCING TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MIDDLE.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ARE JOINED TOGETHER, THEY NEED TO BE OVERLAPPED BY 6" AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED WHEN NEEDED AND MATERIAL REMOVED WHEN BULGES OR RIPS OCCUR IN FENCE.



LOCATION MAP N.T.S.



PRELIMINARY SITE PLAN
 FOR
MENOCA/ SWANSBURG RESIDENCE
 103 MIANUS RIVER ROAD
 TOWN OF NORTH CASTLE

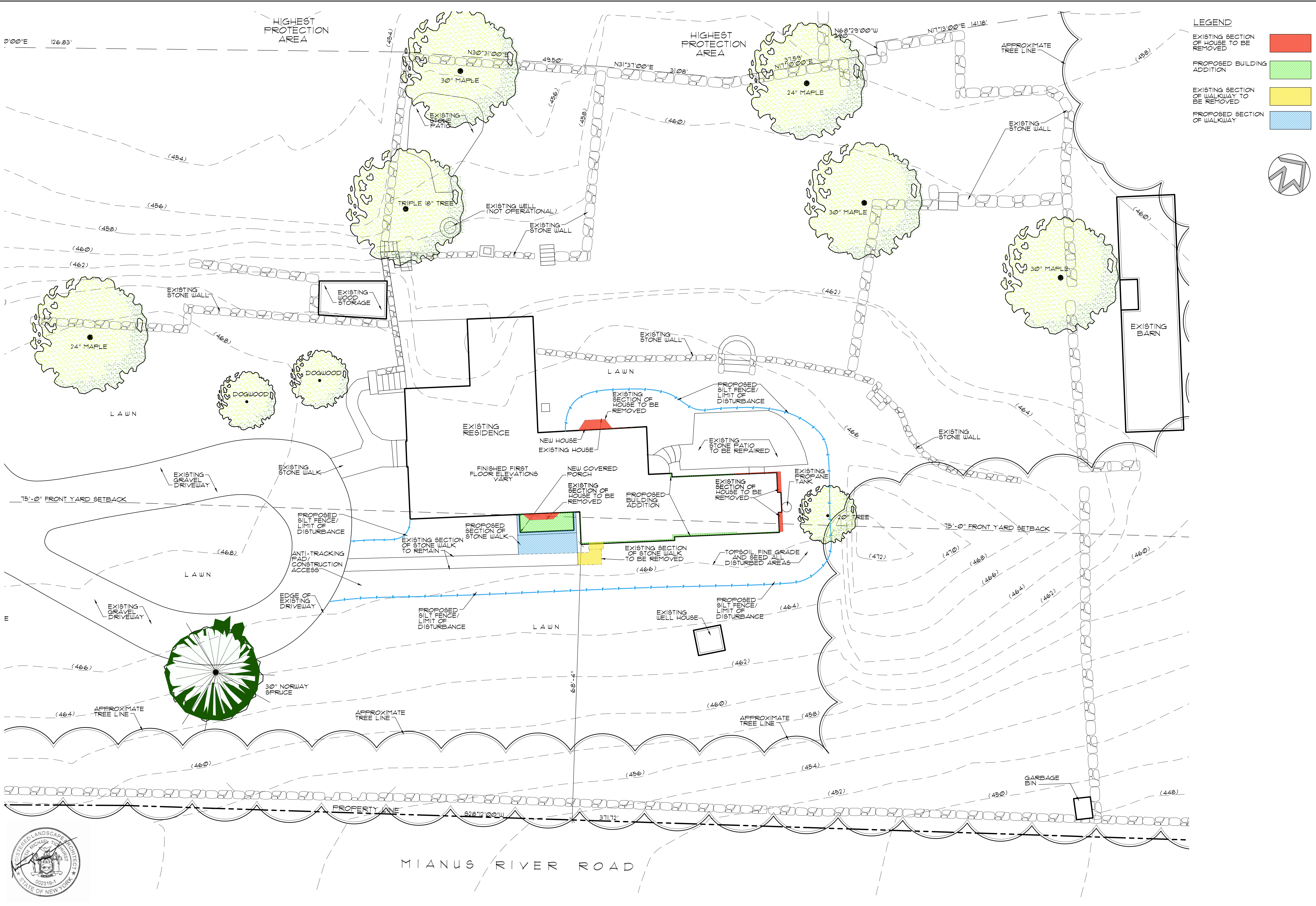
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 Drawn: S.T.
 Date: 4/2/24

Revisions:

Date	Item

BENEDEK & TICHEURST
 LANDSCAPE ARCHITECTS & SITE PLANNERS, P.C.
 4481 Old Post Road, Bedford Village, New York 10506
 P. 914.234.9666 / F. 914.234.6882
 www.btlandscape.com
 Members-American Society of Landscape Architects

Drawing Number: **S-1**



LEGEND

- EXISTING SECTION OF HOUSE TO BE REMOVED (Red)
- PROPOSED BUILDING ADDITION (Green)
- EXISTING SECTION OF WALKWAY TO BE REMOVED (Yellow)
- PROPOSED SECTION OF WALKWAY (Blue)

North Arrow

PRELIMINARY LANDSCAPE PLAN
 FOR
MENOCAL/ SWANSBURG RESIDENCE
 103 MIANUS RIVER ROAD
 TOWN OF NORTH CASTLE

Scale: 1"=10'-0"
 Drawn: S.T.
 Date: 4/2/24

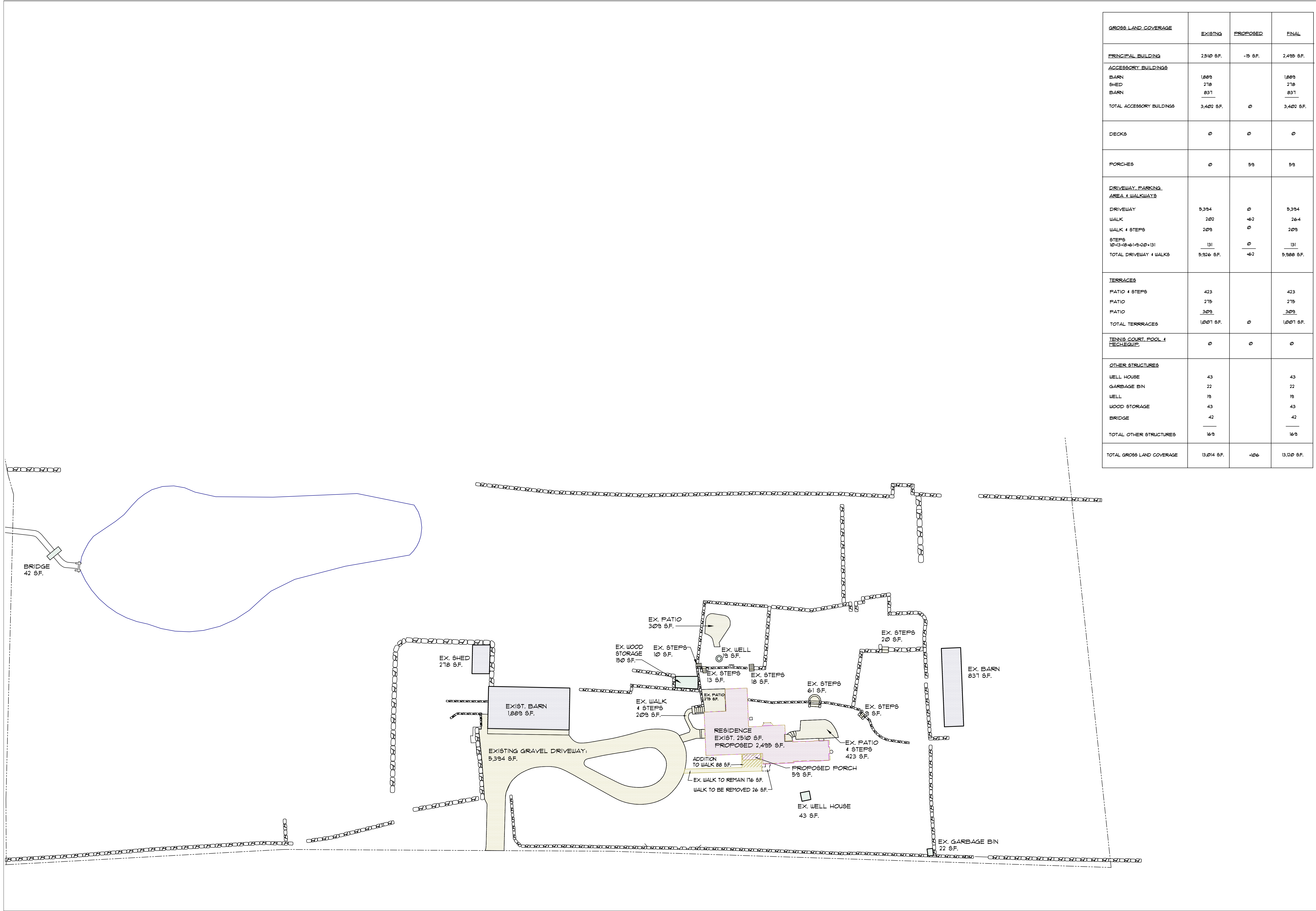
Revisions:

Date	Rev	Description

BENEDEK & TICEHURST
 LANDSCAPE ARCHITECTS & SITE PLANNERS, P.C.
 448H Old Post Road, Bedford Village, New York 10506
 P: 914.234.9666 / F: 914.234.6882
 www.btdlandarch.com
 Members-American Society of Landscape Architects

Drawing Number:
L-1





GROSS LAND COVERAGE	EXISTING	PROPOSED	FINAL
PRINCIPAL BUILDING	2,510 SF.	-15 SF.	2,495 SF.
ACCESSORY BUILDINGS	1,889		1,889
BARN	218		218
SHED	831		831
BARN			
TOTAL ACCESSORY BUILDINGS	3,402 SF.	0	3,402 SF.
DECKS	0	0	0
PORCHES	0	59	59
DRIVEWAY, PARKING AREA & WALKWAYS			
DRIVEWAY	5,394	0	5,394
WALK	202	+62	264
WALK & STEPS	209	0	209
STEPS	131	0	131
10+13+18+61+9+20+131			
TOTAL DRIVEWAY & WALKS	5,926 SF.	+62	5,988 SF.
TERRACES			
PATIO & STEPS	423		423
PATIO	218		218
PATIO	309		309
TOTAL TERRACES	1,007 SF.	0	1,007 SF.
TENNIS COURT, POOL & MECH/EQUIP.	0	0	0
OTHER STRUCTURES			
WELL HOUSE	43		43
GARBAGE BIN	22		22
WELL	19		19
WOOD STORAGE	43		43
BRIDGE	42		42
TOTAL OTHER STRUCTURES	169		169
TOTAL GROSS LAND COVERAGE	13,014 SF.	+106	13,120 SF.

GROSS LAND COVERAGE WORKSHEET

FOR

MENOCAL/ SWANSBURG RESIDENCE

103 MIANUS RIVER ROAD
TOWN OF NORTH CASTLE

Scale: 1"=40'-0"

Drawn: E.F.

Date: APRIL 2, 2024

Revisions:

Date	Item

BENEDEK & TICEHURST
 LANDSCAPE ARCHITECTS & SITE PLANNERS, P.C.
 448H Old Post Road, Bedford Village, New York 10506
 P: 914.234.9666 / F: 914.234.6882
 www.btlandscapearch.com
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Drawing Number:

GLC-1