

June 27, 2022

Christopher Carthy, Chairman
Members of the Town of North Castle Planning Board
15 Bedford Road
Armonk, NY 10504

Re: Paul Eisenberg
47 Windmill Road
Section 102.03, Block 1, Lot 1

Dear Chairman Carthy and Members of the Planning Board:

At the June 13, 2022 planning board meeting we presented a revised plan to address the concerns regarding the motor court proposed for the project. We are now submitting a full set of plans based on this concept. We have received the comment letters from Adam Kaufman the town planner and Kellard Sessions the town's consulting engineer and offer the following responses:

Kellard Sessions Memo

1. This will be provided at a later date.
2. A flood permit application will be provided in the next submission.
3. This has been added to the erosion and sediment control plan.
4. This will be provided at a later date.
5. This has been provided on the Site Plan.
6. The walls have been revised since the last revision. Design calculations will be provided at a later date.
7. See note 6 above.
8. The Limit of disturbance has been revised to include the areas required to construct the retaining walls and site improvements.
9. The cultec units are not being proposed as infiltration chambers, but as detention chambers for attenuation of peak flows. Testing was done at the locations shown on the plans that did not show groundwater or bedrock. An updated SWPPP will be provided at a later date that reflects this. Infiltration will be removed from the model in that submission.
10. Details for all site improvements have been included in this submission.
11. Alternate Site Plan
 - A driveway profile has been provided in this submission
 - This has been removed from the plans in this submission.
 - Retaining wall heights have been reduced to the greatest extent possible in this submission.

Town Planner Memo

General Comments

1. The site plan has been revised to reduce the impacts to steep slopes and the wetlands.



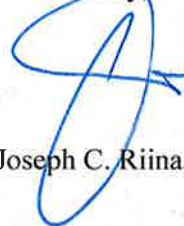
2. A table indicating the disturbance to steep slopes has been added to the plans.
3. The plans have been revised and this has been reduced to 10,204 sf
4. See note 3 above. A mitigation plan will be provided at a later date.
5. See note 3 above. There is no longer a motor court as part of the plans.
6. This will be provided at a later date.
7. The plans have been revised and all floor are and GLC numbers are in conformance with the town code.
8. This has been provided in this submission.
9. The floodplain application will be provided at a later date.
10. This will be provided at a later date.

We are including the following in this submission.

- An updated RPRC application form
- The Plan Sheets titled "Site Plan prepared for Paul Eisenberg" Sheets 1 through 6 of 6, dated 3-12-22, last revised 6/27/22;
- The plan sheets titled "Proposed Addition and Alteration for Mr. and Mrs. Eisenberg" Sheets 2, 3, 5, 6, 7, and 8 of 8 dated 10/29/20, last revised 6/23/22;

Please contact us if you have any questions. We have provided this submission in an email to Valerie Desimone in pdf format. Thank you.

Yours Truly

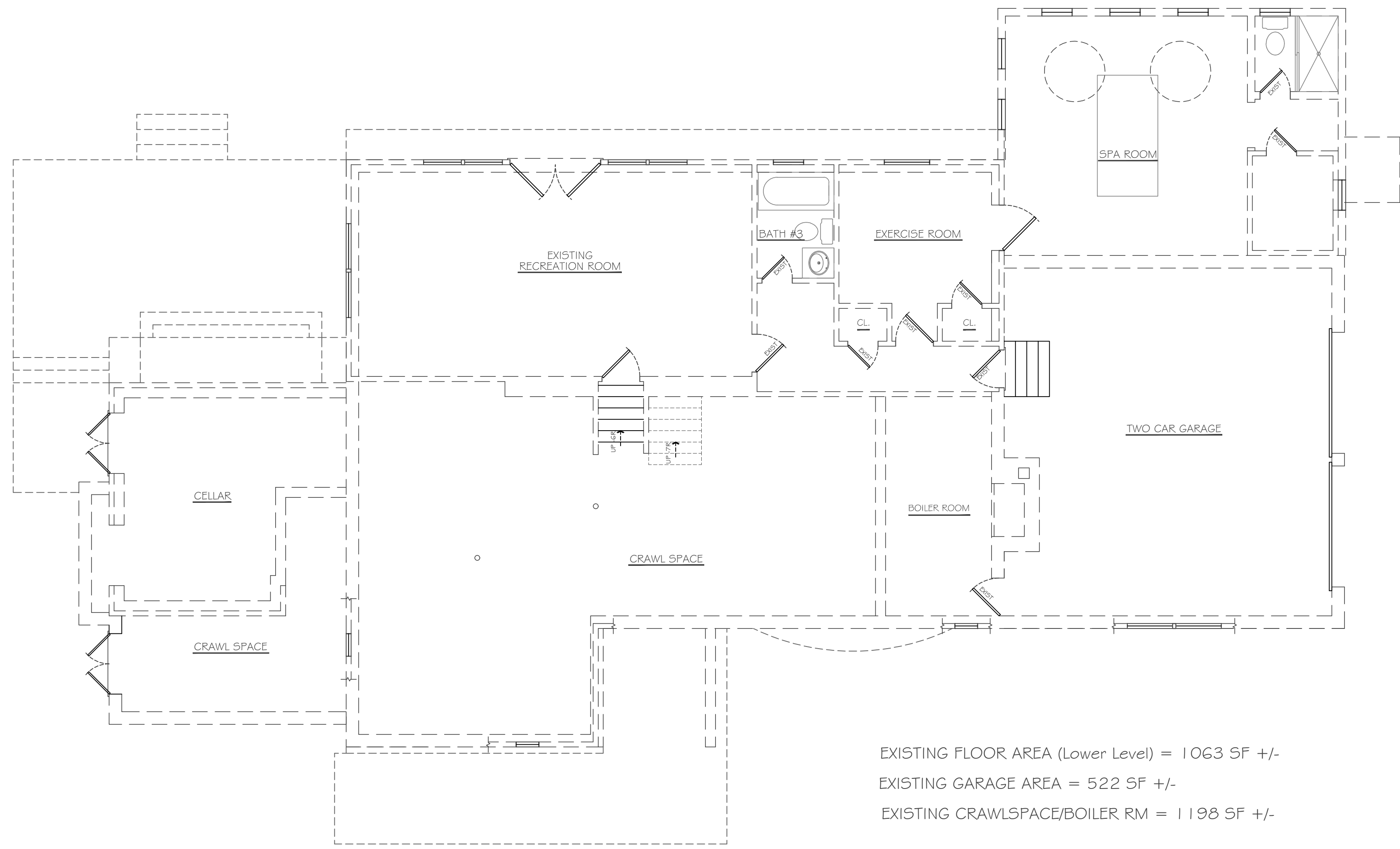


Joseph C. Riina, P.E.

Cc: Planning Department

JCR/cm/enc./sdc 21-54





EXISTING FLOOR AREA (Lower Level) = 1063 SF +/-
 EXISTING GARAGE AREA = 522 SF +/-
 EXISTING CRAWLSPACE/BOILER RM = 1198 SF +/-

EXISTING FIRST FLOOR PLAN - (Lower & Garage Level)

1
5

3/16" = 1'-0"

NOTE:
 1. UNAUTHORIZED ADDITIONS, ALTERATIONS OR USE OF THIS PLAN IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
 2. THIS PLAN SHALL BE NULL & VOID UNLESS BEARING THE ORIGINAL SEAL & SIGNATURE OF THE DESIGN ARCHITECT/ENGINEER.
 3. DO NOT SCALE PLANS.

NO.	DESCRIPTION	DATE
1.	Issued For RPRC	1.26.22
2	Planning Board Revisions	6.23.22

• ENGINEERING
 • ARCHITECTURE
 • LAND PLANNING

1 SCOTT'S LANE
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 Tel. 914.755.0877

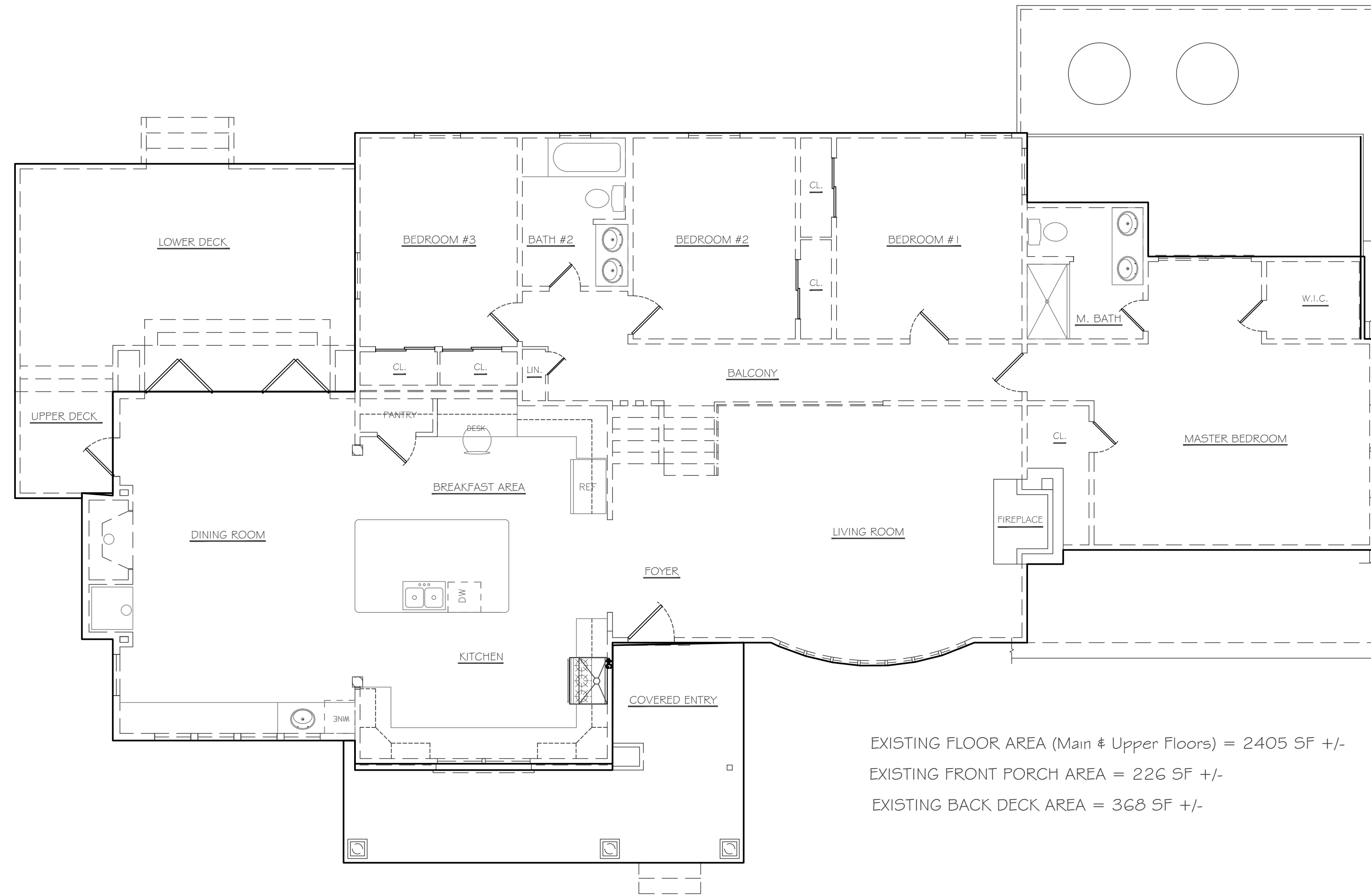
**SIMONE
 DESIGN
 GROUP**

PROJECT: PROPOSED ADDITION AND ALTERATION
 FOR MR. & MRS. EISENBERG
 47 Windmill Road Armonk, NY
 Town Of North Castle, NY

SHEET TITLE:
 EXISTING FIRST FLOOR PLAN
 (Lower & Garage Level)

DRAWN BY: CS
 CHECKED BY: DS
 SHEET: 5
 OF: 8

SCALE: AS SHOWN
 DATE: 10.29.20



EXISTING CONDITIONS

EXISTING SECOND FLOOR PLAN - (Main & Upper Level)

1/6

3/16" = 1'-0"

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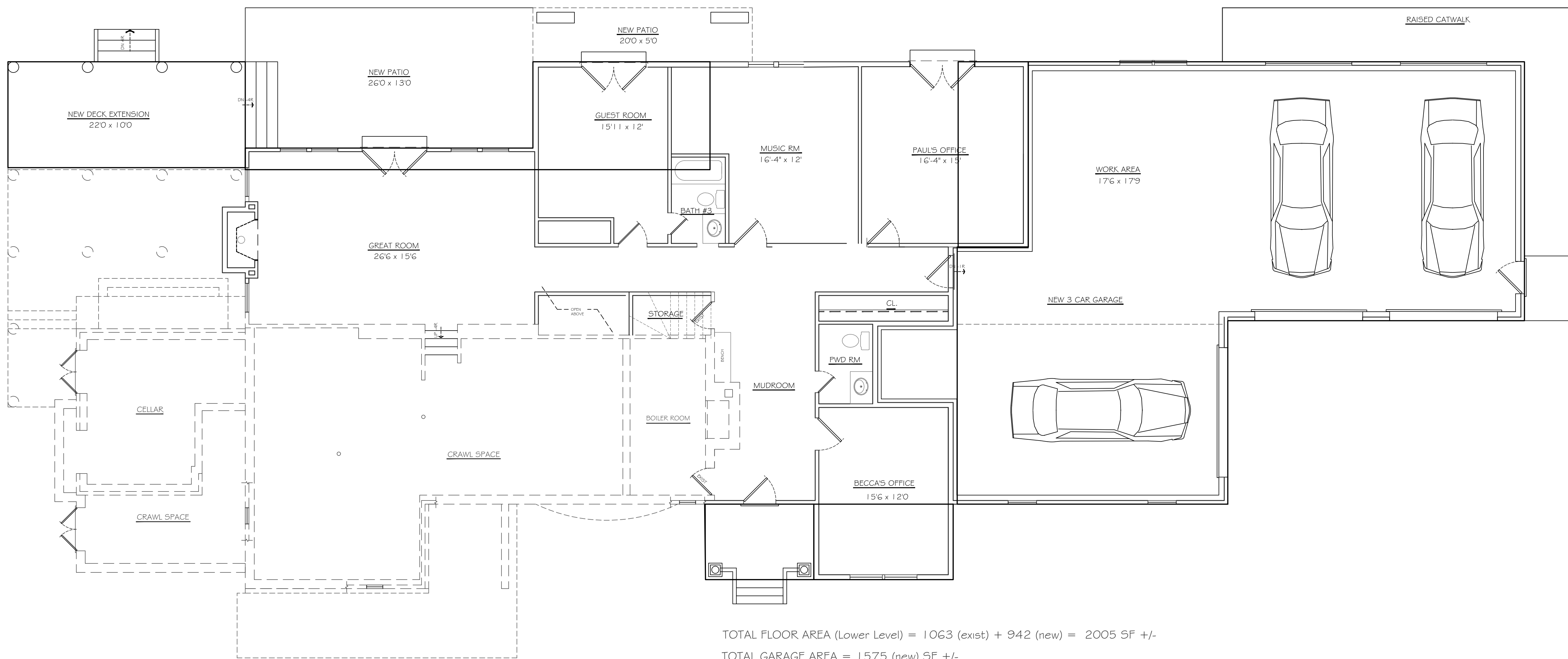
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 47 Windmill Road Armonk, NY
 Town Of North Castle, NY

SHEET TITLE: EXISTING SECOND FLOOR PLAN (Main & Upper Level)

DRAWN BY: CS
 CHECKED BY: DS
 SHEET: 6 OF 8
 SCALE: AS SHOWN
 DATE: 10.29.20



TOTAL FLOOR AREA (Lower Level) = 1063 (exist) + 942 (new) = 2005 SF +/-
 TOTAL GARAGE AREA = 1575 (new) SF +/-
 TOTAL CRAWLSPACE/BOILER RM = 1198 (exist) SF +/-
 TOTAL DECK AREAS = 368 (exist) + 220 (new) = 588 SF +/-
 TOTAL PORCH AREAS = 226 (exist) + 70 (new) = 296 SF +/-
 TOTAL PATIO/TERRACE AREAS = 240 (exist) + 200 (new) = 440 SF +/-

PROPOSED FIRST FLOOR PLAN - (Lower & Garage Level)

7
8

3/16" = 1'-0"

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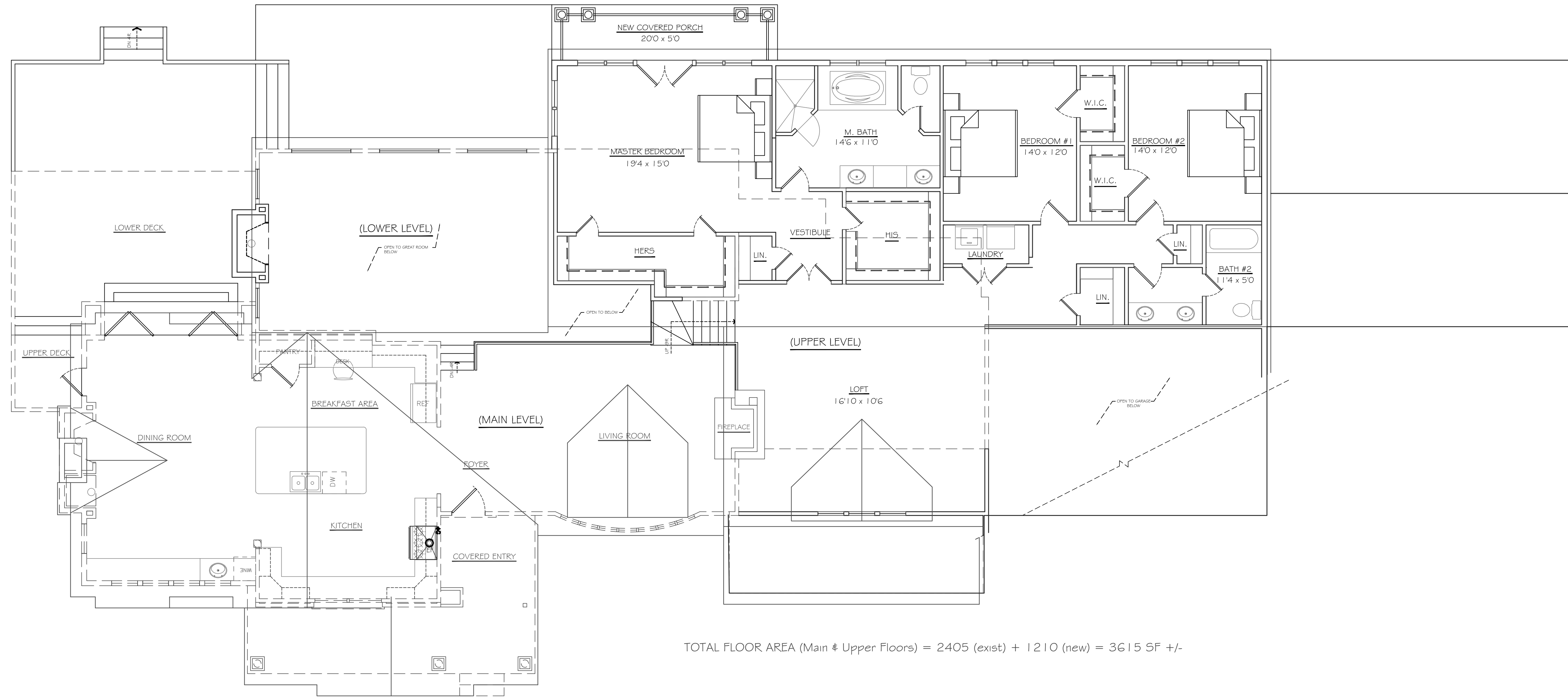
PROPOSED ADDITION AND ALTERATION
 FOR MR. & MRS. EISENBERG
 47 Windmill Road Armonk, NY
 Town Of North Castle, NY

PROPOSED FIRST FLOOR PLAN
 (Lower & Garage Level)

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DRAWN BY: CS	SCALE: AS SHOWN
CHECKED BY: DS	DATE: 10.29.20
SHEET: OF	7 8



TOTAL FLOOR AREA (Main & Upper Floors) = 2405 (exist) + 1210 (new) = 3615 SF +/-

PROPOSED SECOND FLOOR PLAN - (Main & Upper Level)

1/8

3/16" = 1'-0"

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PROPOSED ADDITION AND ALTERATION
 FOR MR. & MRS. EISENBERG
 47 Windmill Road Armonk, NY
 Town Of North Castle, NY

PROPOSED SECOND FLOOR PLAN
 (Main & Upper Level)

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1
 2
PROPOSED FRONT ELEVATION
 3/16" = 1'-0"



2
 2
PROPOSED REAR ELEVATION
 3/16" = 1'-0"

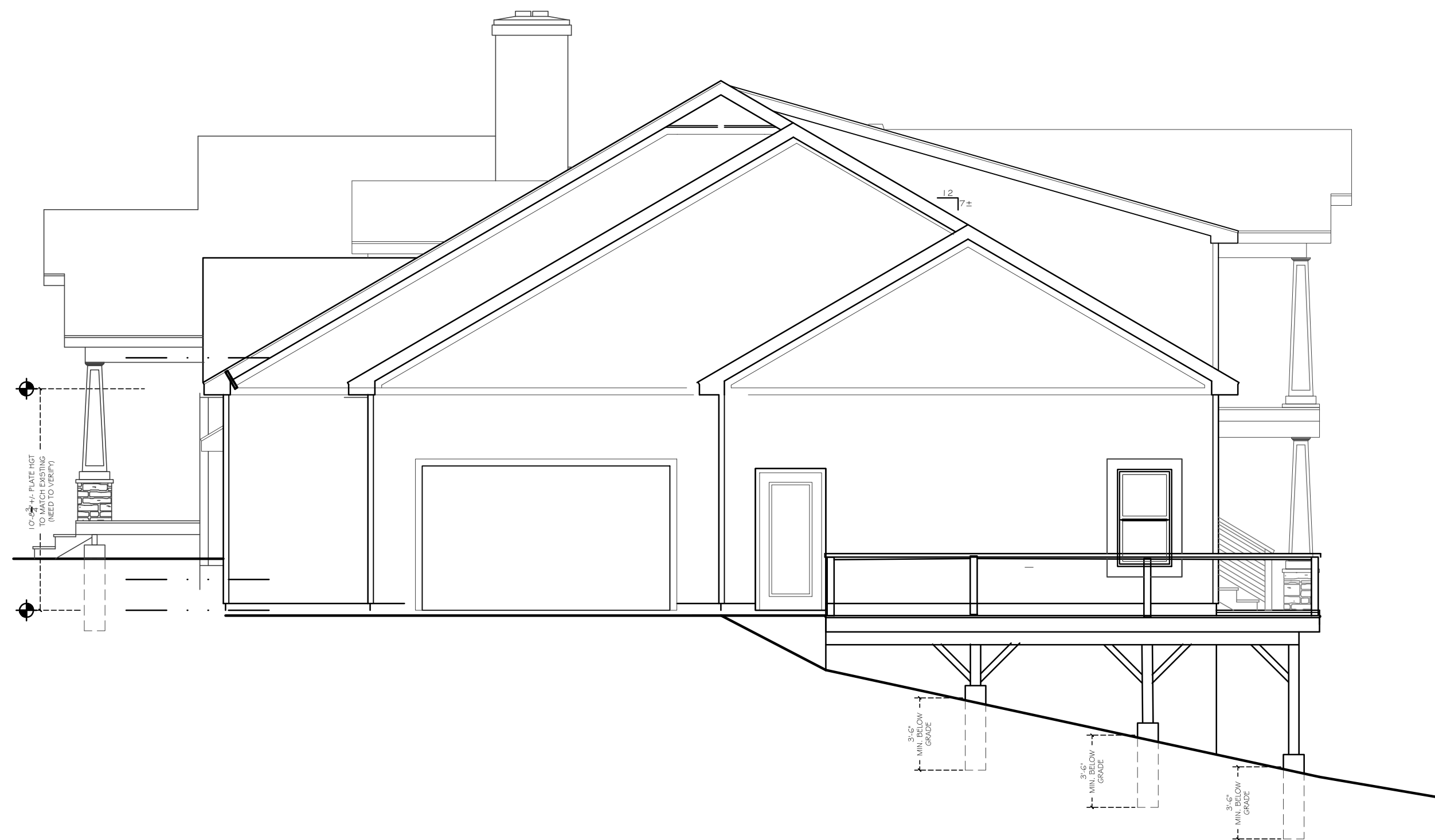
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PROJECT: **PROPOSED ADDITION AND ALTERATION FOR MR. & MRS. EISENBERG**
 47 Windmill Road Armonk, NY
 Town Of North Castle, NY

SHEET TITLE: **PROPOSED FRONT AND REAR ELEVATIONS**

DRAWN BY: CS	SCALE: AS SHOWN
CHECKED BY: DS	DATE: 10.29.20
SHEET: OF	2 8



PROPOSED RIGHTSIDE ELEVATION

1
3

3/16" = 1'-0"



PROPOSED LEFTSIDE ELEVATION

2
3

3/16" = 1'-0"

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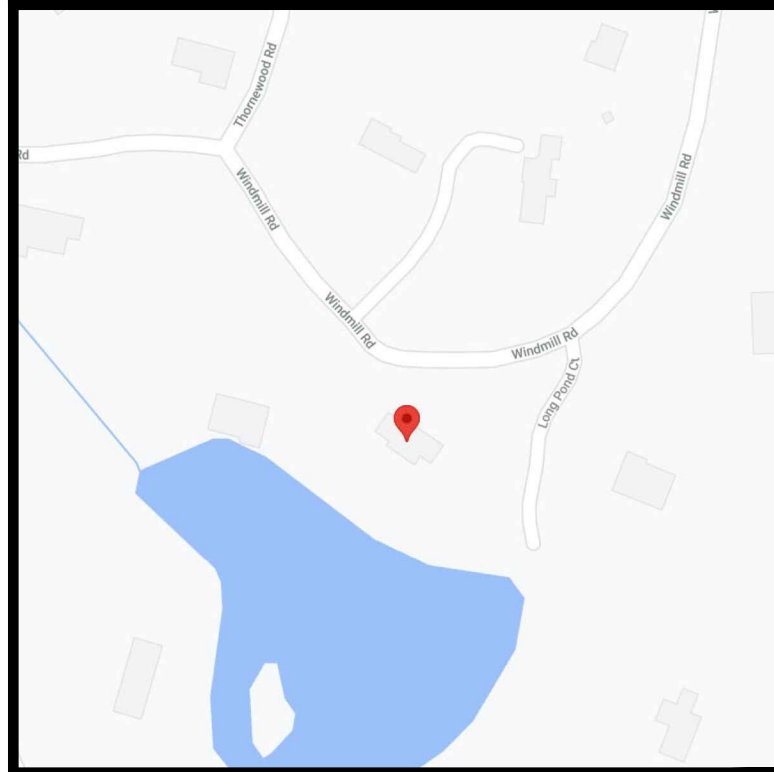
PROJECT: PROPOSED ADDITION AND ALTERATION
FOR MR. & MRS. EISENBERG
47 Windmill Road Armonk, NY
Town Of North Castle, NY

SHEET TITLE:
PROPOSED
RIGHT AND LEFT SIDE ELEVATIONS

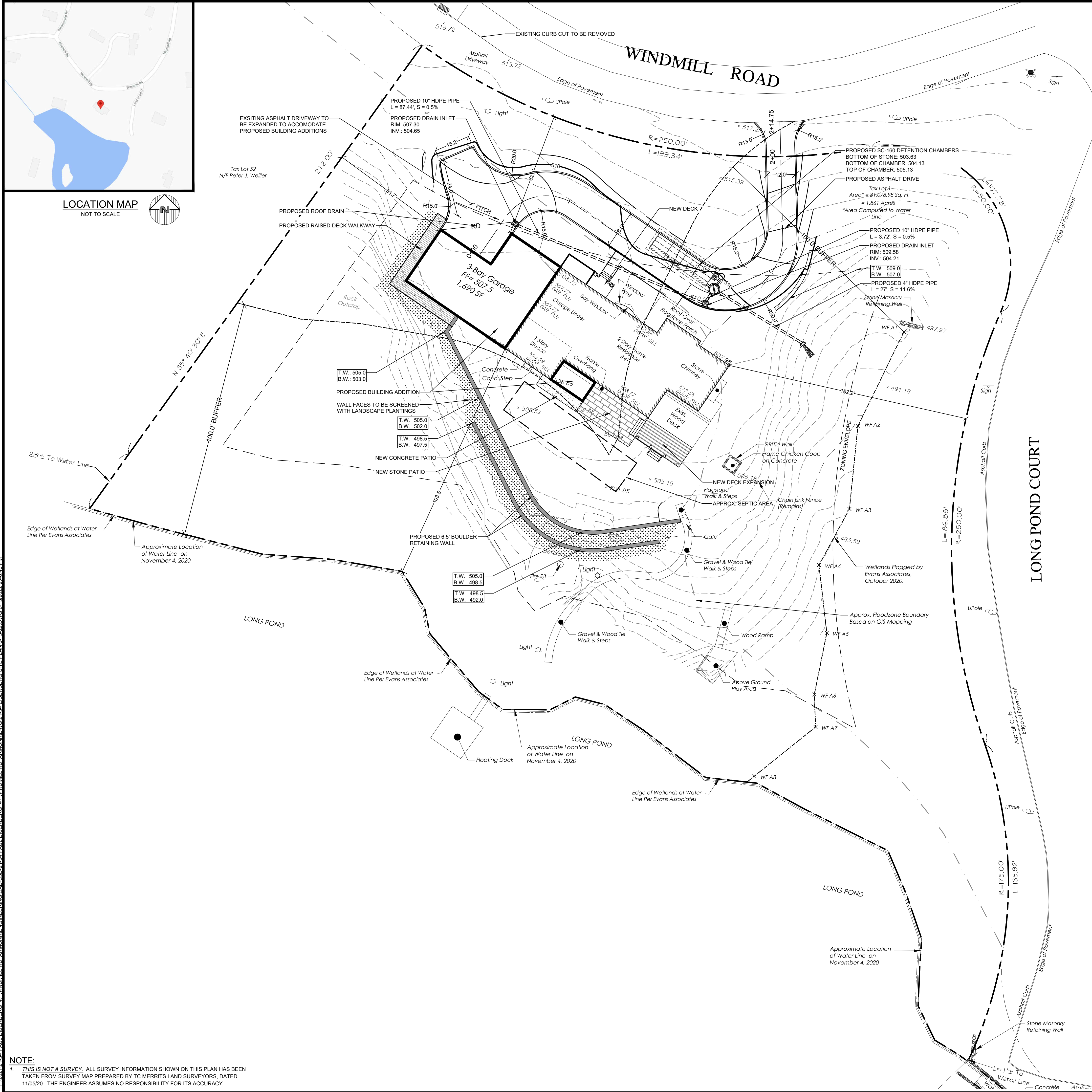
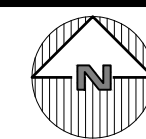
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CHECKED BY: DS	DATE: 10.29.20
SHEET: OF	3 8



LOCATION MAP
NOT TO SCALE



SITE DATA:

OWNER / DEVELOPER: PAUL EISENBERG
47 WINDMILL ROAD
ARMONK, NY 10504

PROJECT LOCATION: 47 WINDMILL ROAD
ARMONK, NY 10504

EXISTING TOWN ZONING: R-1.5A, RESIDENTIAL
PROPOSED USE: SECTION 102.03, BLOCK 1, LOT 1
TOWN TAX MAP DATA: 1.86 ACRES (81,078 SF)

SITE AREA : 1.86 ACRES (81,078 SF)
SEWAGE FACILITIES: ONSITE SSTS
WATER FACILITIES: PUBLIC WATER FACILITIES
SCHOOL DISTRICT: BYRAM HILLS
FIRE DISTRICT: FD#2

ZONING SCHEDULE:

ZONING DISTRICT: R-1.5A, SINGLE FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	65,340 SF.	81,078 SF.	NONE
MINIMUM LOT WIDTH:	150 FT.	268 FT.	NONE
MINIMUM LOT FRONTAGE:	150 FT.	570 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	50 FT.	52.4 FT.	NONE
REAR YARD SETBACK:	40 FT.	103.5 FT.	NONE
SIDE YARD SETBACK:	30 FT.	51.7 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	10% OF LOT AREA	5.9 % OF LOT AREA	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	30 FEET	30 FT MAX	NONE
PRINCIPAL BUILDING - STORIES:	2 1/2	2 1/2 MAX	NONE

TABLE OF BUFFER DISTURBANCE

Description	Surface Area (SF)		
	Non-impervious	Impervious	Disturbance
Existing	5,705	2,530	8,235
Proposed	6,469	3,735	10,204
Net Change	+764	+1,205	+1,969

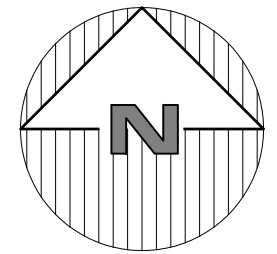
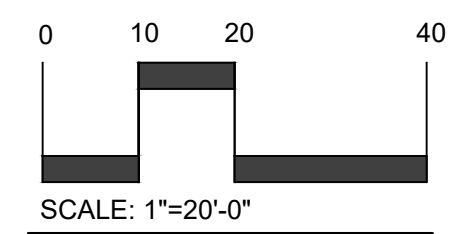
APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ Date: _____

CHRISTOPHER CARTHY, CHAIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ Date: _____

JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

LEGEND

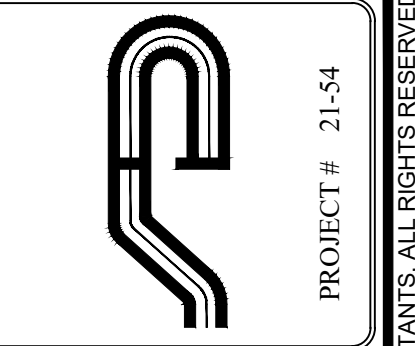
- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 — PROPOSED GRADING
- — — PROPERTY LINE / RIGHT OF WAY
- - - - - EDGE OF WETLAND
- - - - - 100' WETLAND BUFFER
- ⊙ EXISTING FIRE HYDRANT
- — — — — PROPOSED DRAINAGE LINE
- ⊕ PROPOSED CATCH BASIN
- ⊙ PROPOSED DRAINAGE MANHOLE
- ⊕ PROPOSED HEADWALL WITH RIP RAP
- RD — PROPOSED ROOF DRAIN
- — — — — PROPOSED HOUSE AND DRIVE
- — — — — PROPOSED RETAINING WALLS



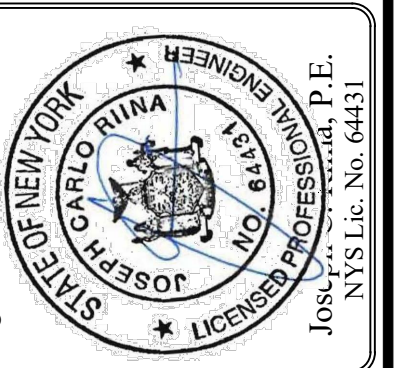
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NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY TC MERRITS LAND SURVEYORS, DATED 11/05/20. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



Revisions:	No.	Date	Comments
	1	6/27/22	Town Comments

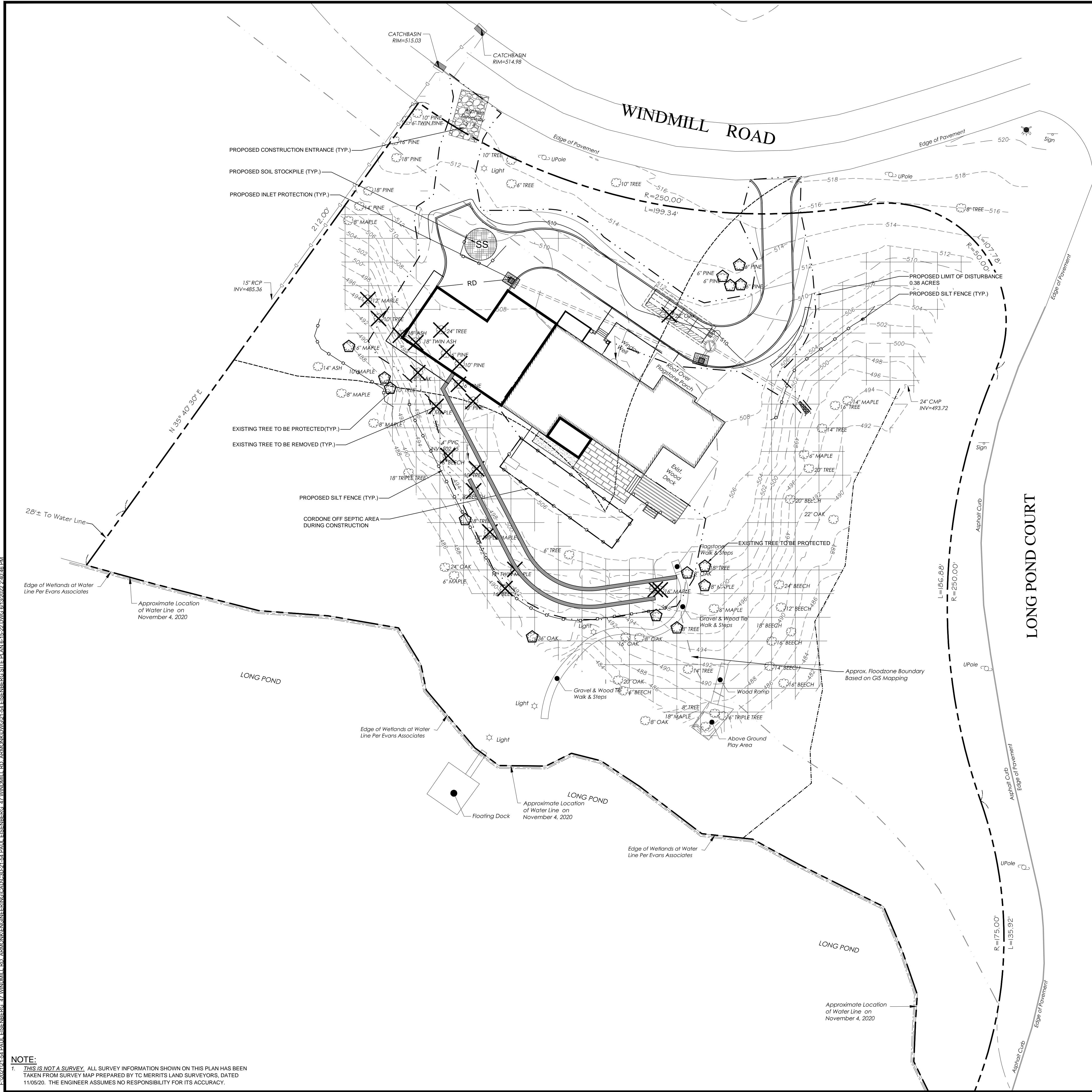
SCALE: 1" = 20'
DRAWN BY: TK
DATE: 03-12-22

SITE PLAN

SITE PLAN PREPARED FOR
PAUL EISENBERG
47 WINDMILL ROAD
Town of North Castle, Westchester County, New York

Sheet 1 of 6

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APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____

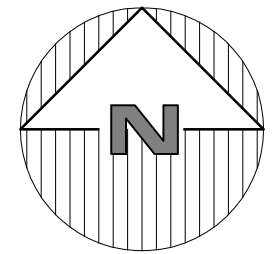
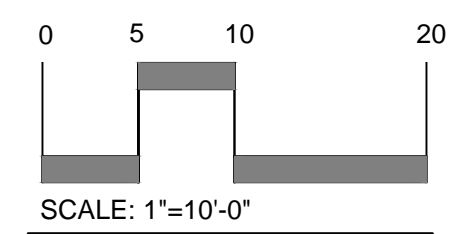
CHRISTOPHER CARTHY, CAHIRMAN, TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____

JOSEPH M. CERMELE, PE
 KELLARD SESSIONS CONSULTING
 CONSULTING TOWN ENGINEERS

Slopes Table

Slope	Acres	Color
>25.00%	0.10 ac.	

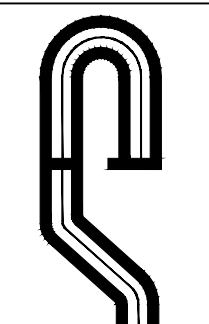
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 - PROPOSED ROOF DRAIN
 - PROPOSED HOUSE AND DRIVE
 - PROPOSED RETAINING WALLS
 - PROPOSED SOIL STOCKPILES
 - PROPOSED SILT FENCE
 - PROPOSED STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED LIMIT OF DISTURBANCE
 - EXISTING TREE TO BE PROTECTED
 - EXISTING TREE TO BE REMOVED



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 Call 811


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 www.sitedesignconsultants.com



Engineer:
 JOSEPH M. CERMELE, P.E.
 License No. 64431

Revisions:	No.	Date	Comments
	1	6/27/22	Town Comments

SCALE: 1" = 20'

DRAWN BY: TK

DATE: 03-12-22

EROSION & SEDIMENT CONTROL PLAN

SITE PLAN PREPARED FOR
PAUL EISENBERG
 47 WINDMILL ROAD
 Town of North Castle, Westchester County, New York

Sheet 3 of 6

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder grading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufacturers requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-20-001 and Town of North Castle Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-20-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 - Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 - Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 - Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 - For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 - All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 - All sites shall be stabilized with erosion control materials within 7 days of final grading.
 - Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
WHEEL CLEANER	CLEAN	---	---	---	REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

REFER TO THE PLAN SET FOR ALL PLANS AND DETAILS WHICH RELATE TO CONSTRUCTION SEQUENCE.

- A LICENSED SURVEYOR MUST DEFINE INFRASTRUCTURE LOCATIONS, LIMITS OF DISTURBANCE, STORMWATER BASIN LIMITS, AND GRADES IN THE FIELD PRIOR TO START OF ANY CONSTRUCTION. LIMITS OF DISTURBANCE SHALL BE MARKED WITH THE INSTALLATION OF CONSTRUCTION OR APPROVED EQUAL.
- INSTALL ALL PERIMETER EROSION CONTROL MEASURES, CONSTRUCTION ENTRANCE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND THE ASSOCIATED DETAILS.
- CUT AND CLEAR TREES WITHIN WORK AREA. TIMBERED TREES, WOOD CHIPS, AND STUMPS SHALL BE REMOVED OFF-SITE. STRIP SITE AND PLACE TOPSOIL IN STOCKPILE LOCATIONS SHOWN ON THE PLAN.
- START CONSTRUCTION OF PROJECT ACCESS POINTS, SET-UP STAGING AREAS AS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN.
- BEGIN DEMOLITIONS, REMOVALS AND ROUGH GRADING THE SITE.
- ROUGH GRADE OF FOUNDATION FOR ADDITIONS. SOIL SHALL BE STOCKPILED AS SHOWN AND STABILIZED THE NEXT DAY IF THEY ARE TO BE LEFT ALONE FOR OVER SEVEN DAYS.
- BEGIN EXCAVATION OF BUILDING FOUNDATIONS, WALL, AND UTILITIES. PROTECT OPEN EXCAVATIONS. WHERE APPLICABLE, PLACE FILL ON THE UP-SLOPES AND SIDE EDGES OF FILL AREA. FILL SHOULD BE PUSHED IN PLACE AND STABILIZED WITH TRACKING PERPENDICULAR TO THE SLOPE. PLACE SOIL STOCKPILES IN LOCATIONS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS AND ASSOCIATED DETAILS.
- BEGIN CONSTRUCTION OF THE HOUSE ADDITION.
- UPON COMPLETION OF FOUNDATION, BACKFILL TO GRADE AND IMMEDIATELY STABILIZE AREAS THAT WILL NOT RECEIVE TRAFFIC OR DISTURBANCE WITHIN SEVEN (7) DAYS.
- BEGIN INSTALLATION OF RETAINING WALLS. INSTALLATION OF STORMWATER MANAGEMENT SYSTEM SHALL NOT BE INSTALLED UNTIL ADJACENT WALLS HAVE BEEN COMPLETED.
- BEGIN INSTALLATION OF SUBSURFACE INFILTRATION CHAMBERS. BLOCK ENTRY INTO CHAMBERS UNTIL FINAL SITE STABILIZATION.
- BEGIN THE EXCAVATION AND INSTALLATION OF UTILITIES AND DRAINAGE SYSTEM. PROTECT TRENCHES AND OPEN EXCAVATIONS FROM EROSION. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SEDIMENT ENTERING. THERE SHALL BE NO DIRECT UNFILTERED DISCHARGE INTO THE STORMWATER SYSTEMS. THE STORMWATER OUTLET SHALL BE BLOCKED UNTIL ALL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.
- DURING BUILDING AND SITE CONSTRUCTION MAINTAIN AND RE-ESTABLISH AS REQUIRED EROSION CONTROL AND STABILIZATION MEASURES AS REQUIRED BY THE SITE PLAN AND DETAILS.
- TOPSOIL, RAKE, SEED AND MULCH ALL DISTURBED AREAS. ONCE ALL PROPOSED DISTURBANCES ARE COMPLETED, BEGIN FULL STABILIZATION OF THE SITE. ONCE THE SITE HAS BEEN STABILIZED, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES. THIS SHALL BE DONE DURING OPTIMUM WEATHER CONDITIONS TO AVOID SEDIMENT TRANSPORT. A SITE SHALL BE CONSIDERED STABILIZED WHEN IT HAS A MINIMUM UNIFORM 80% PERENNIAL VEGETATION COVER OR OTHER PERMANENT NON VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION. ONCE FINAL STABILIZATION HAS BEEN ACHIEVED, UNBLOCK PIPING TO INFILTRATORS IN ORDER TO ALLOW FLOW TO ENTER.

WINTER STABILIZATION NOTES:

- IF CONSTRUCTION ACTIVITIES ARE EXPECTED TO EXTEND INTO OR OCCUR DURING THE WINTER SEASON THE CONTRACTOR SHALL ANTICIPATE PROPER STABILIZATION AND SEQUENCING. CONSTRUCTION SHALL BE SEQUENCED SUCH THAT WHEREVER POSSIBLE AREAS OF DISTURBANCE THAT CAN BE COMPLETED AND PERMANENTLY STABILIZED SHALL BE DONE BY APPLYING AND ESTABLISHING PERMANENT VEGETATIVE COVER BEFORE THE FIRST FROST. AREAS SUBJECT TO TEMPORARY DISTURBANCE THAT WILL NOT BE WORKED FOR AN EXTENDED PERIOD OF TIME SHALL BE TREATED WITH TEMPORARY SEED, MULCH, AND/OR EROSION BLANKETS.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE		LBS/ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREeping RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREeping RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20

SEEDING

- Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
- Apply soil amendments and integrate into soil.
- Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
- Stabilize seeded areas in drainage swales.
- Irrigate to fully saturate soil layer, but not to dislodge planting soil.
- Seed between April 1st and May 15th or August 15th and October 15th.
- Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/acre.
- Lime as required to pH 6.5.

SEED SPECIES:

MIXTURE	LBS/ACRE
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:

Same as permanent vegetative cover

CONTRACTOR CERTIFICATION STATEMENT

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 29, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: _____
 Name and Title (please print): _____
 Signature of Contractor: _____
 Company / Contracting Firm: _____
 Name of Company: _____
 Address of Company: _____
 Telephone Number / Cell Number: _____
 Site Information:
 Address of Site: _____

 Today's Date: _____

OWNER / OPERATOR CERTIFICATION

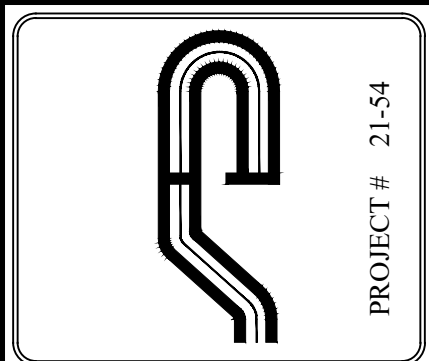
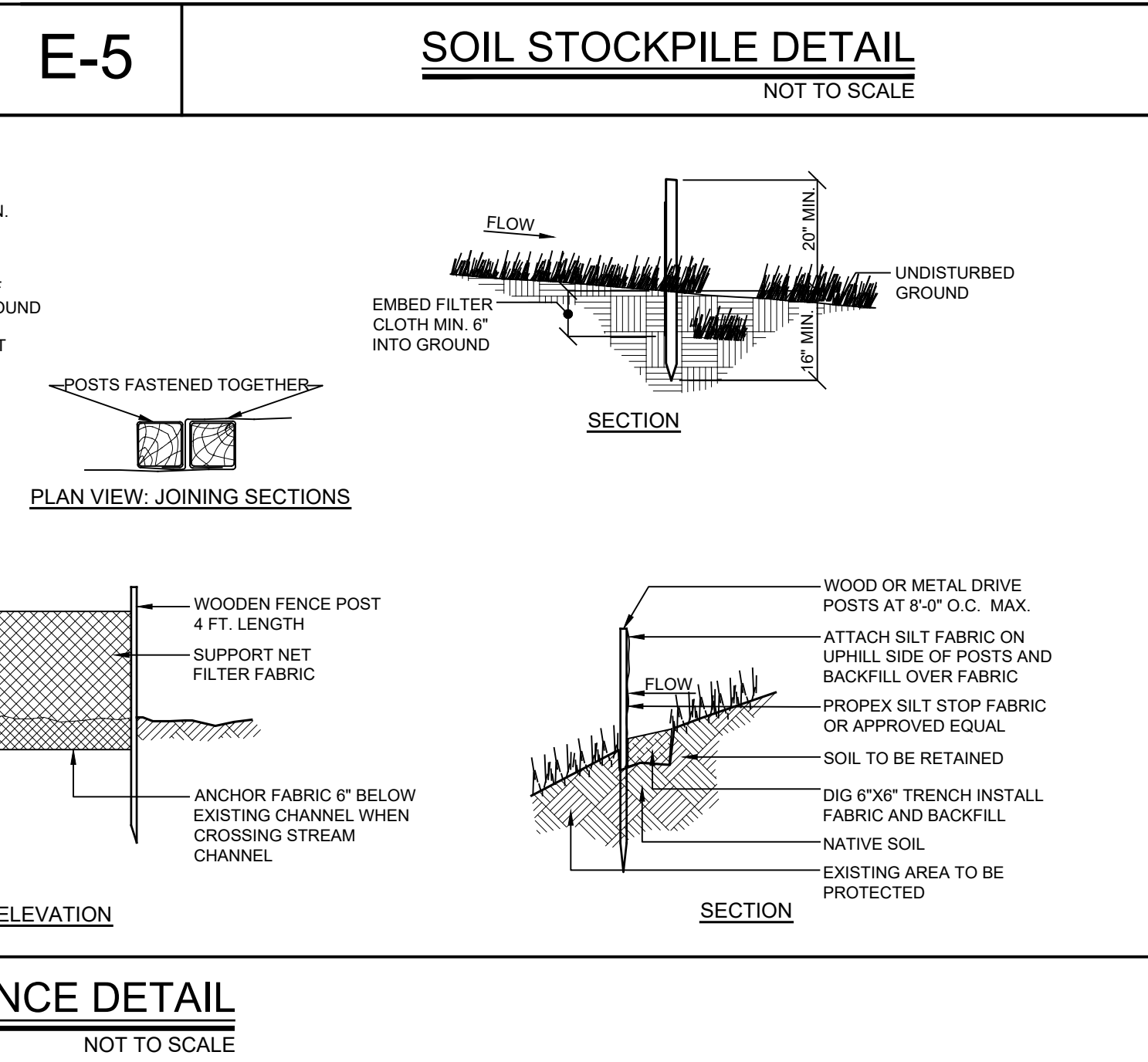
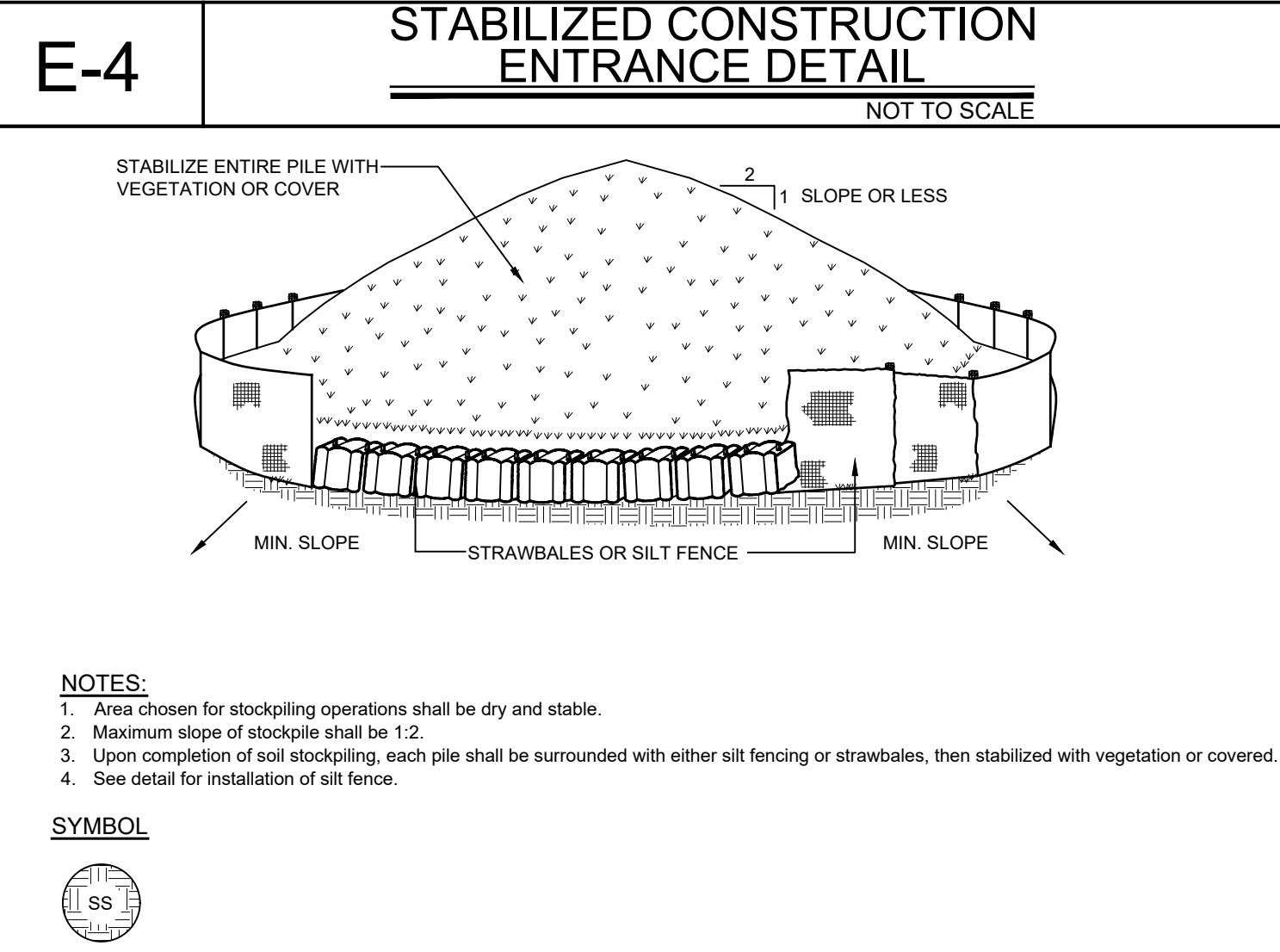
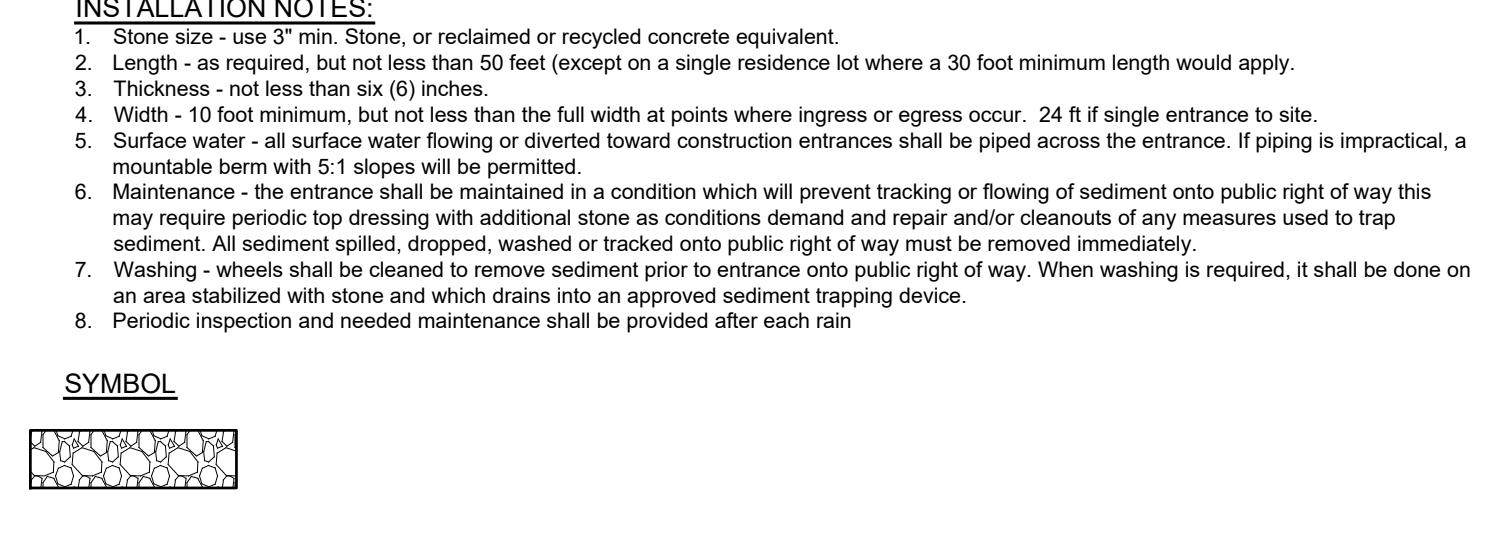
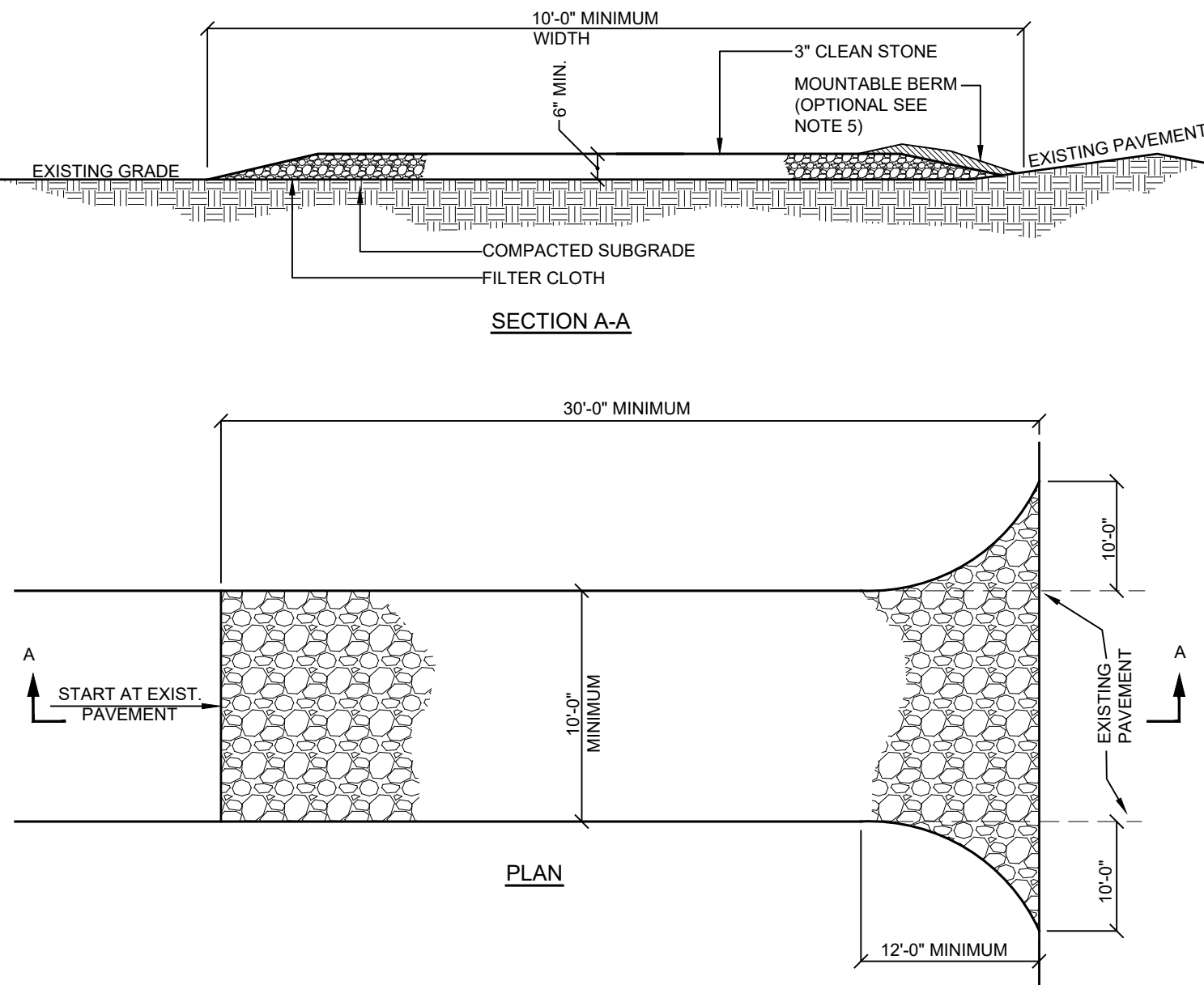
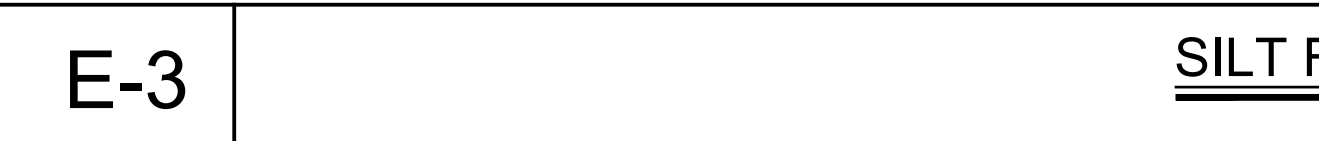
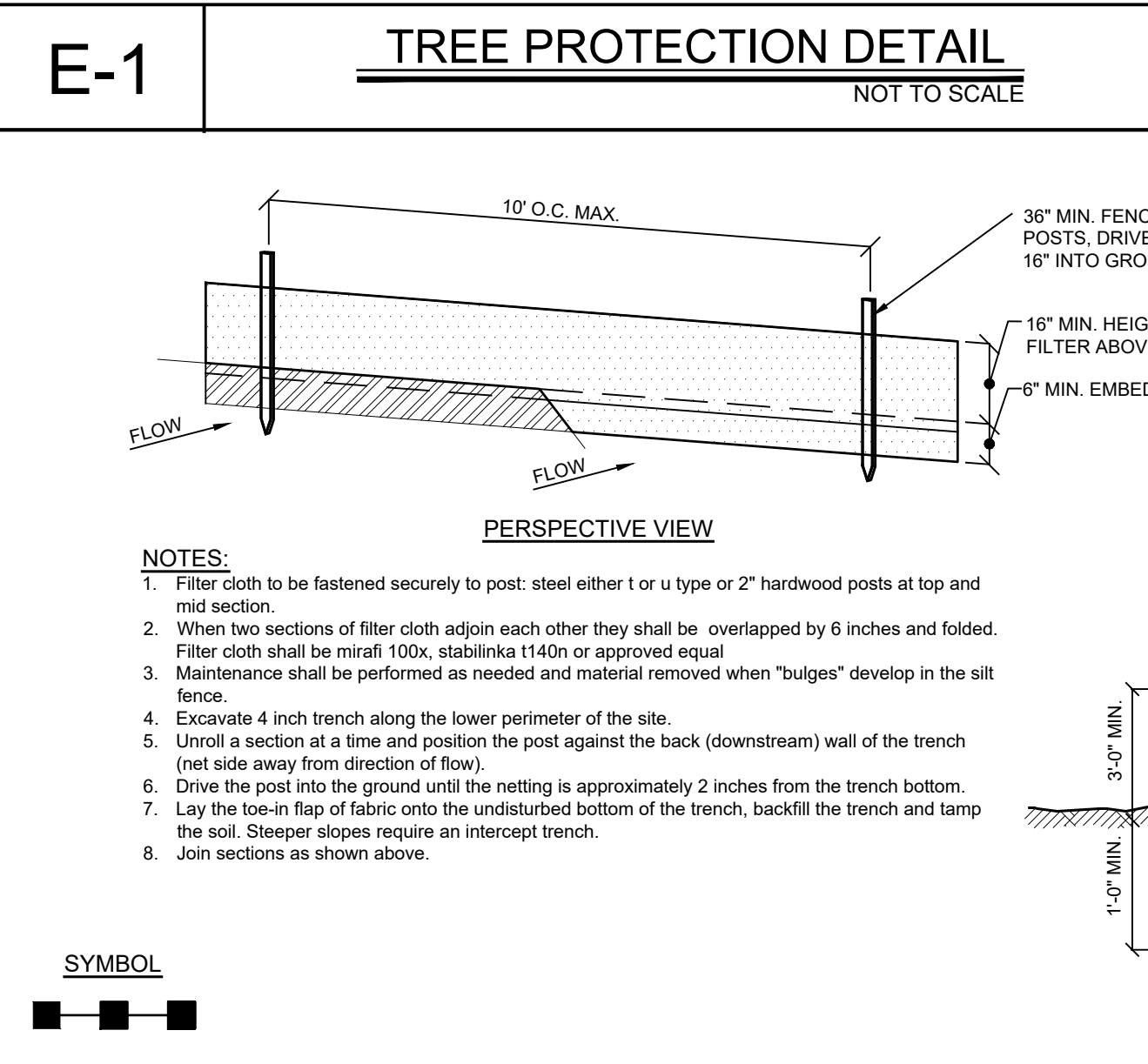
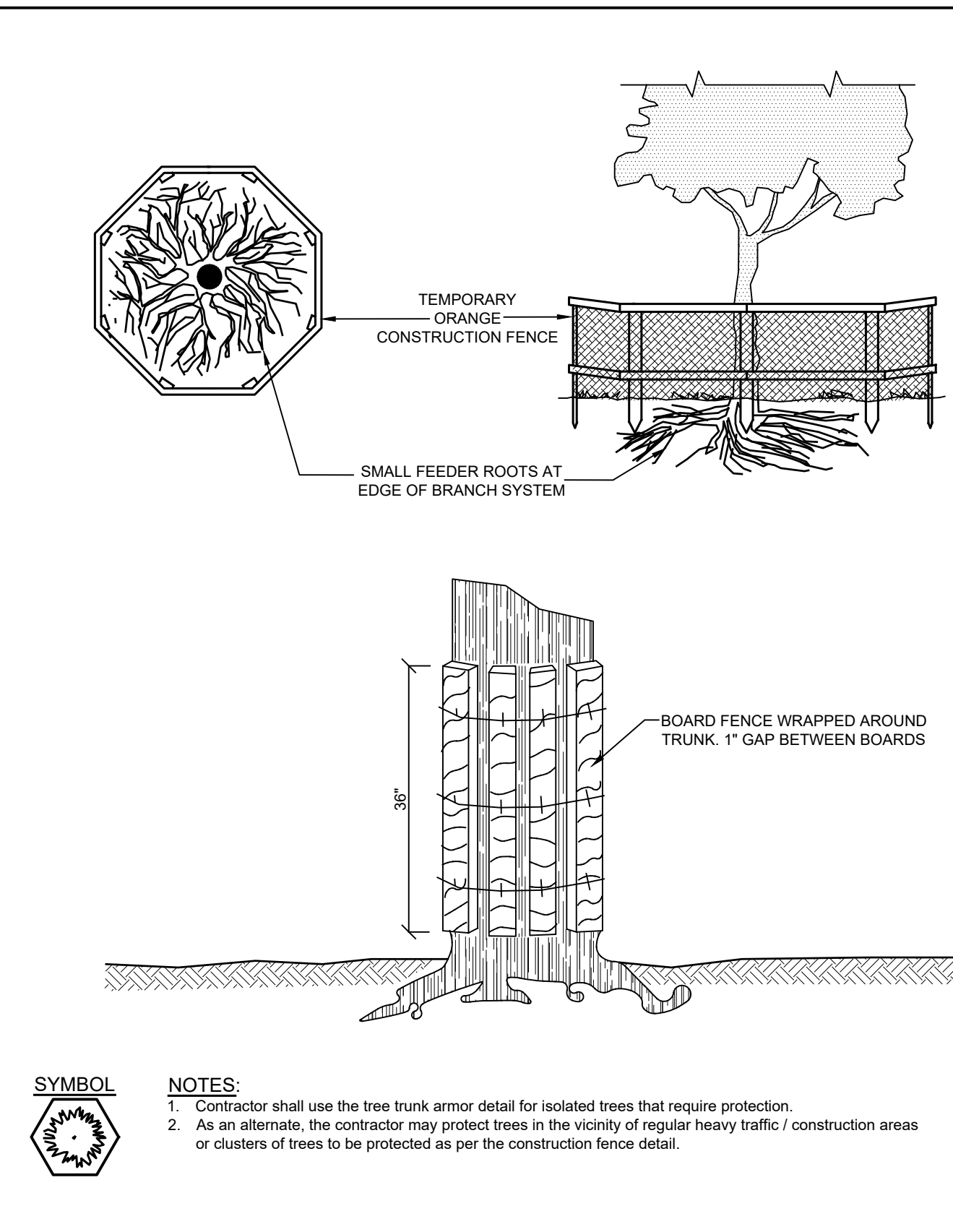
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): _____
 Title: _____
 Date: _____
 Address: _____
 Phone: _____
 E-mail: _____
 Signature: _____

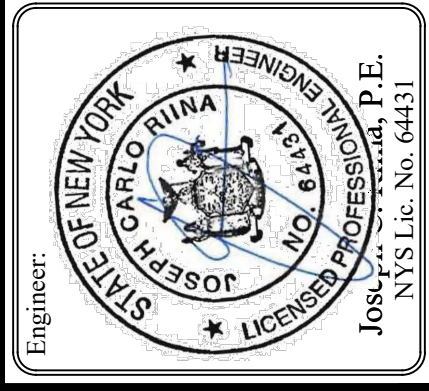
APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ Date: _____

CHRISTOPHER CARTHY, CAHIRMAN,
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:
 Date: _____

JOSEPH M. CERMELE, PE
 KELLARD SESSIONS CONSULTING
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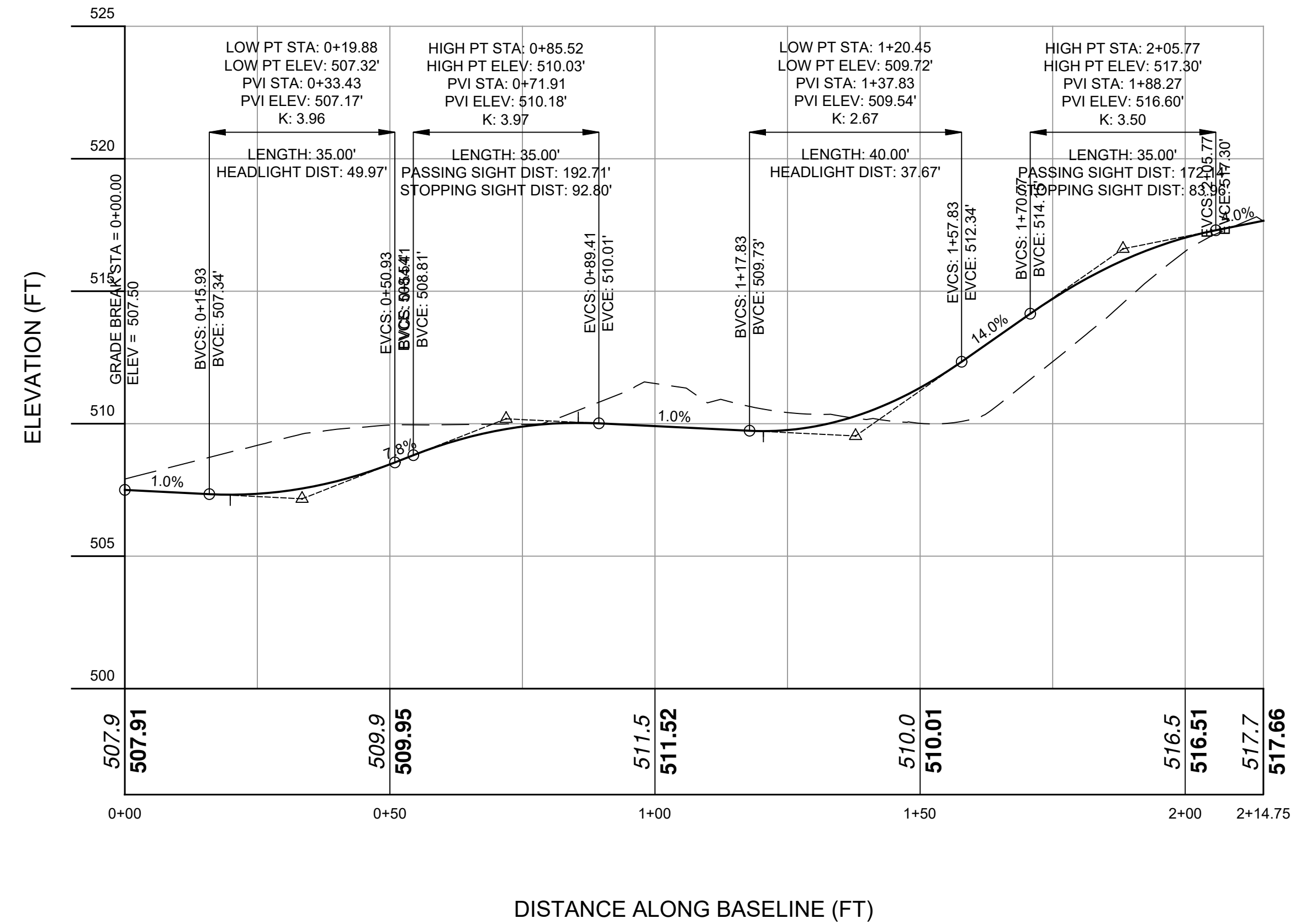


Revisions:	No.	Date	Comments
	1	6/27/22	Town Comments

E&SC NOTES AND DETAILS

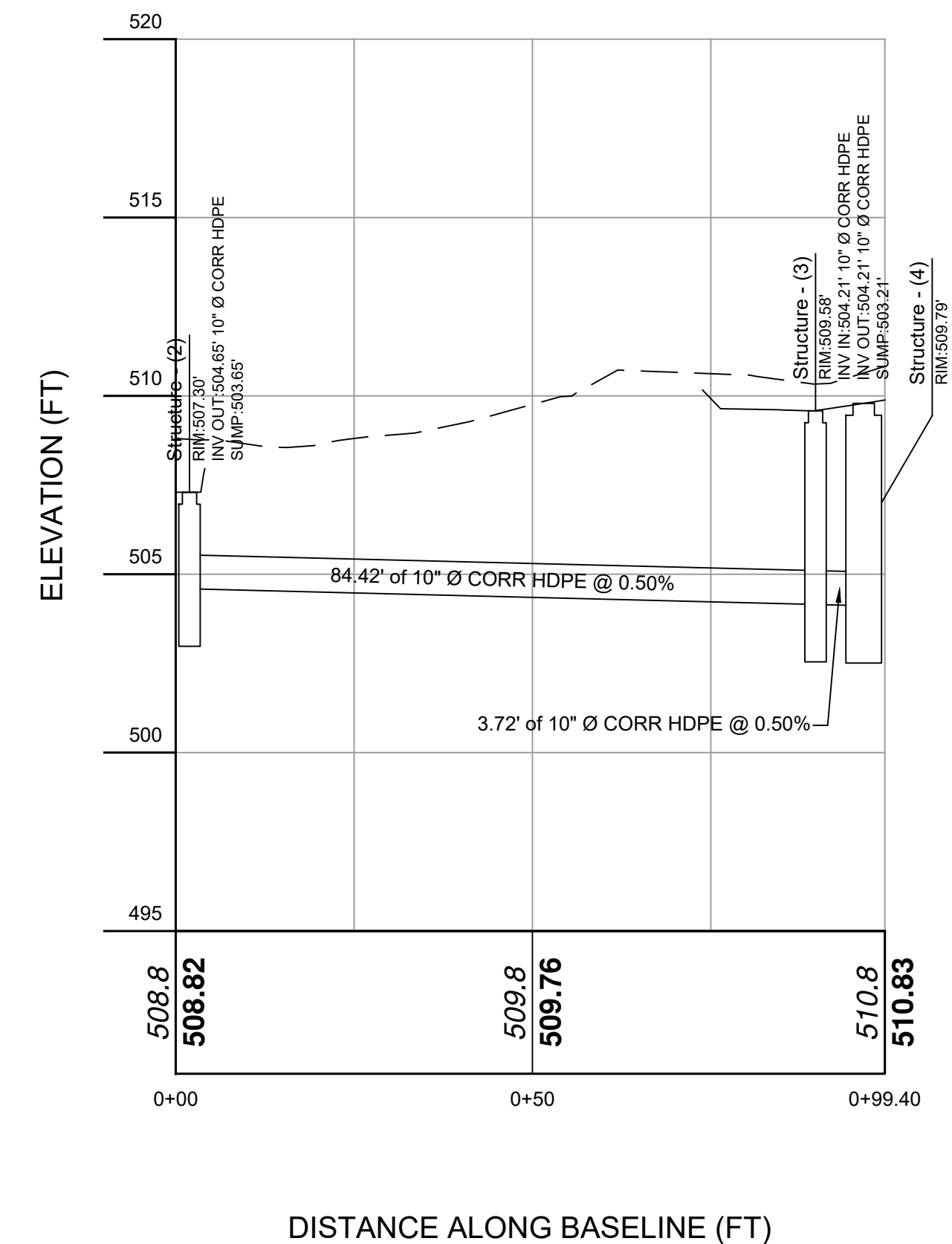
SITE PLAN PREPARED FOR
PAUL EISENBERG
 47 WINDMILL ROAD
 Westchester County, New York

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 1209 (2) OF THE NEW YORK STATE EDUCATION LAW.



DISTANCE ALONG BASELINE (FT)

LOOPED DRIVE
VERT. SCALE: 1" = 4
HORIZ. SCALE: 1" = 20



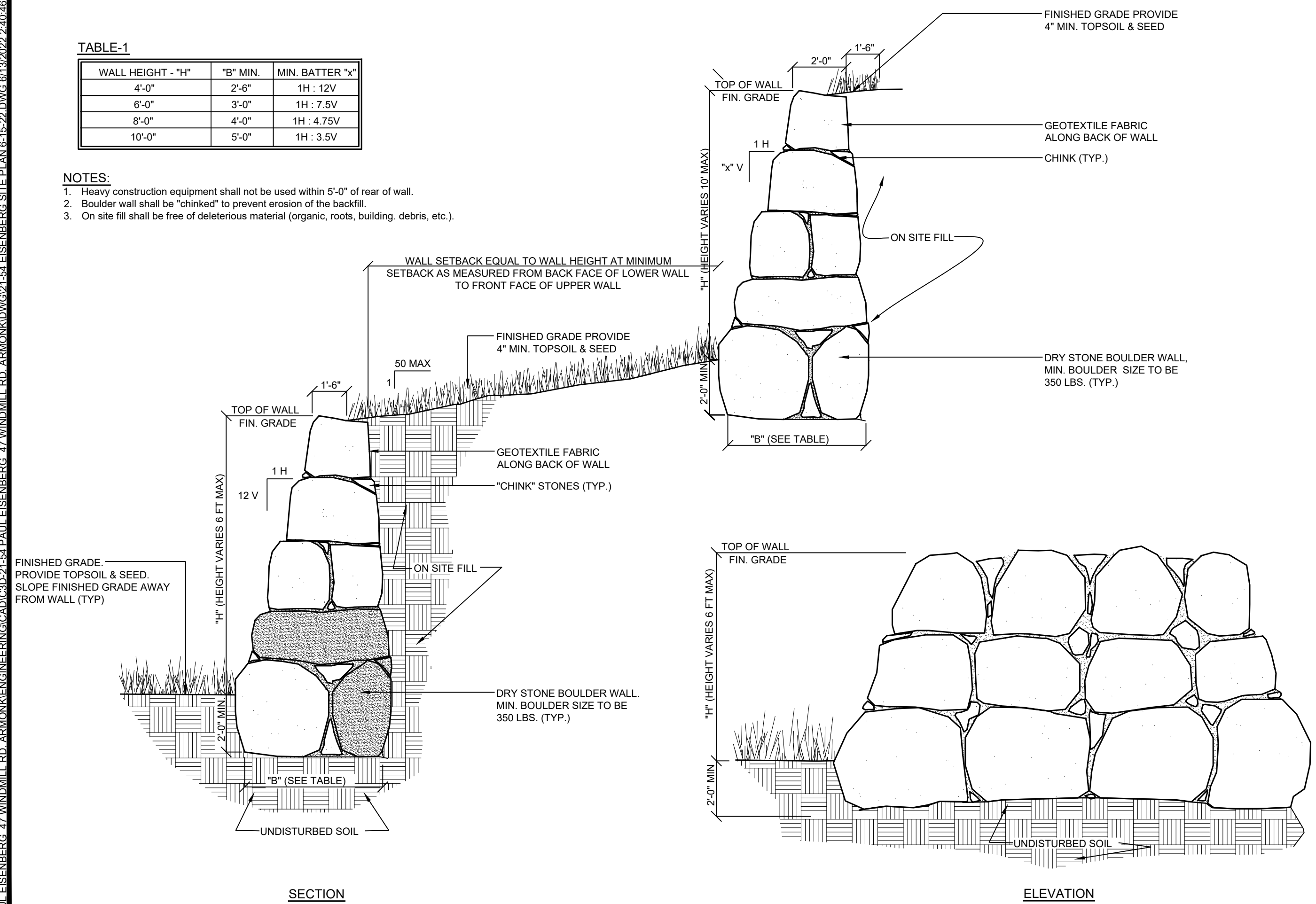
DISTANCE ALONG BASELINE (FT)

drainage cl
VERT. SCALE: 1" = 4
HORIZ. SCALE: 1" = 20

TABLE-1

WALL HEIGHT - "H"	"B" MIN.	MIN. BATTER "x"
4'-0"	2'-6"	1H : 12V
6'-0"	3'-0"	1H : 7.5V
8'-0"	4'-0"	1H : 4.75V
10'-0"	5'-0"	1H : 3.5V

- NOTES:
1. Heavy construction equipment shall not be used within 5'-0" of rear of wall.
 2. Boulder wall shall be "chinked" to prevent erosion of the backfill.
 3. On site fill shall be free of deleterious material (organic, roots, building, debris, etc.).



SECTION
ELEVATION
TYPICAL DRIVEWAY DETAIL

ST-1

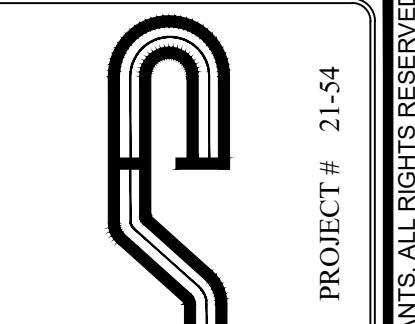
R-2

TYPICAL DRIVEWAY DETAIL
NOT TO SCALE

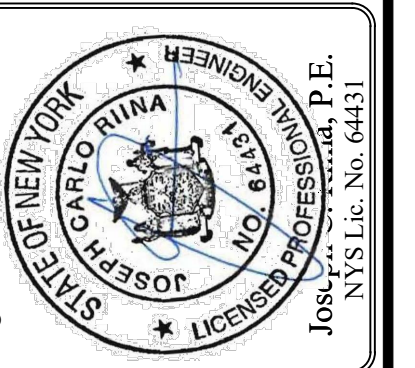
APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____ Date: _____

CHRISTOPHER CARTHY, CAHIRMAN,
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ Date: _____

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Revisions:	No.	Date	Comments
	1	6/27/22	Town Comments

SCALE: NTS
DRAWN BY: TK
DATE: 03-12-22

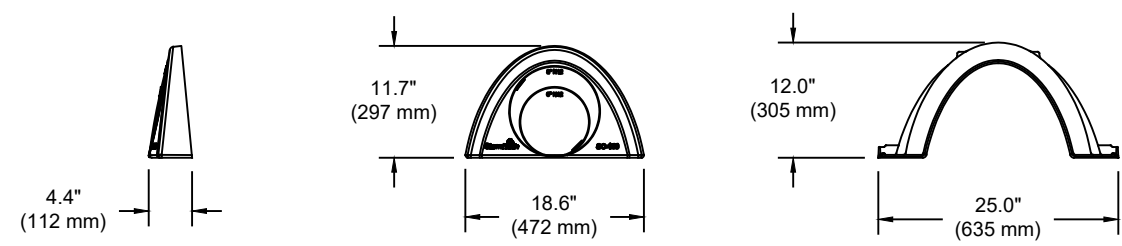
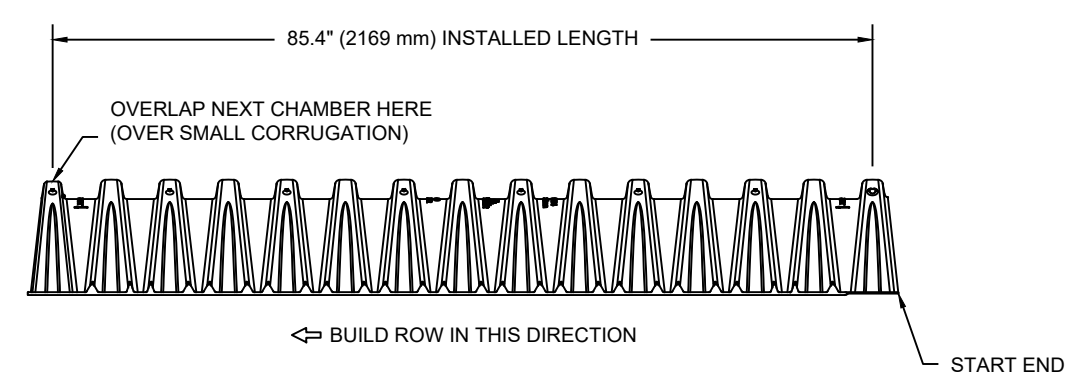
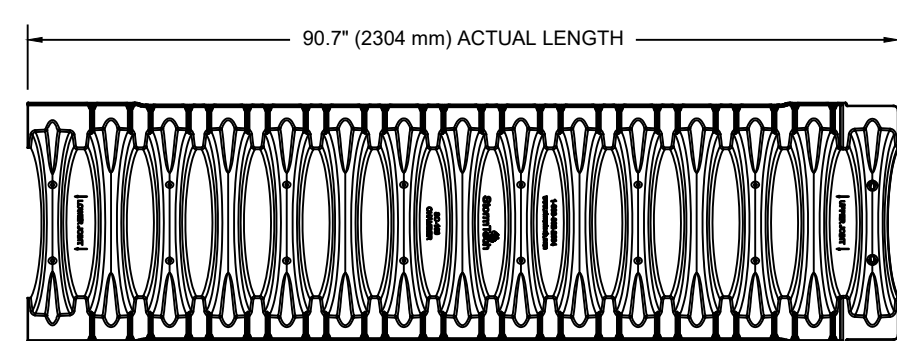
SITE DETAILS

SITE PLAN PREPARED FOR
PAUL EISENBERG
47 WINDMILL ROAD
Town of North Castle, Westchester County, New York

E:\2022\12-5-PAUL EISENBERG - 47 WINDMILL RD. ARMONK\ENGINEERING\CAD\DWG\15-PAUL EISENBERG - 47 WINDMILL RD. ARMONK\DWG\22-12-5-PAUL EISENBERG SITE PLAN 15-22.DWG (1/12/2022 2:40:48 PM)

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

SC-160LP TECHNICAL SPECIFICATION
NTS



NOMINAL CHAMBER SPECIFICATIONS
SIZE (W X H X INSTALLED LENGTH) 25.0" X 12.0" X 85.4" (635 mm X 305 mm X 2169 mm)
CHAMBER STORAGE 6.85 CUBIC FEET (0.19 m³)
MINIMUM INSTALLED STORAGE* 16.0 CUBIC FEET (0.45 m³)
WEIGHT 24.0 lbs. (10.9 kg)

*ASSUMES 6" (152 mm) ABOVE, 6" (152 mm) BELOW, AND STONE BETWEEN CHAMBERS WITH 40% STONE POROSITY.

PART #	STUB	A
SC160IEPP	6" (150 mm)	0.66" (16 mm)
SC160IEPP08	8" (200 mm)	0.80" (20 mm)
SC160IEPP08	8" (200 mm)	0.96" (24 mm)

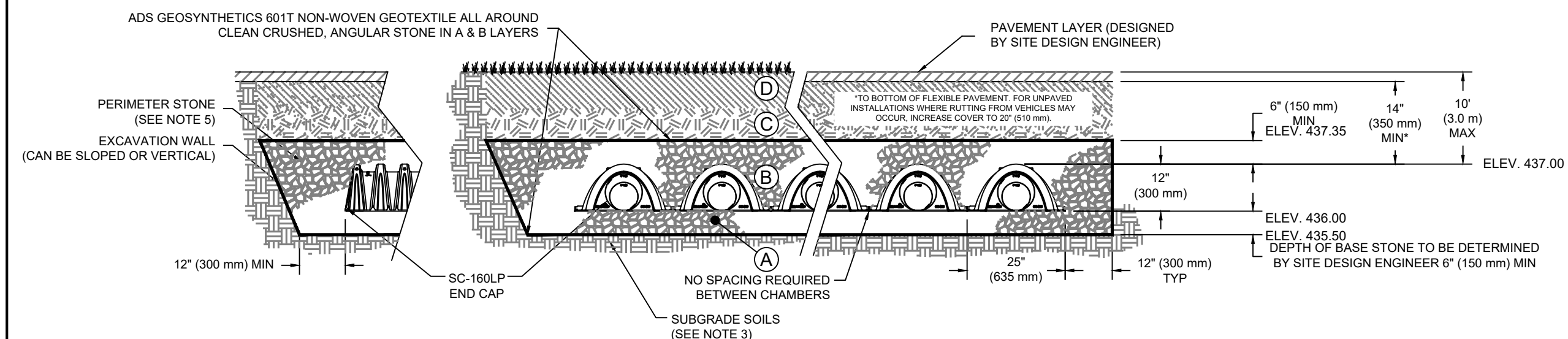
ALL STUBS ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

NOTE: ALL DIMENSIONS ARE NOMINAL

ACCEPTABLE FILL MATERIALS: STORMTECH SC-160LP CHAMBER SYSTEMS

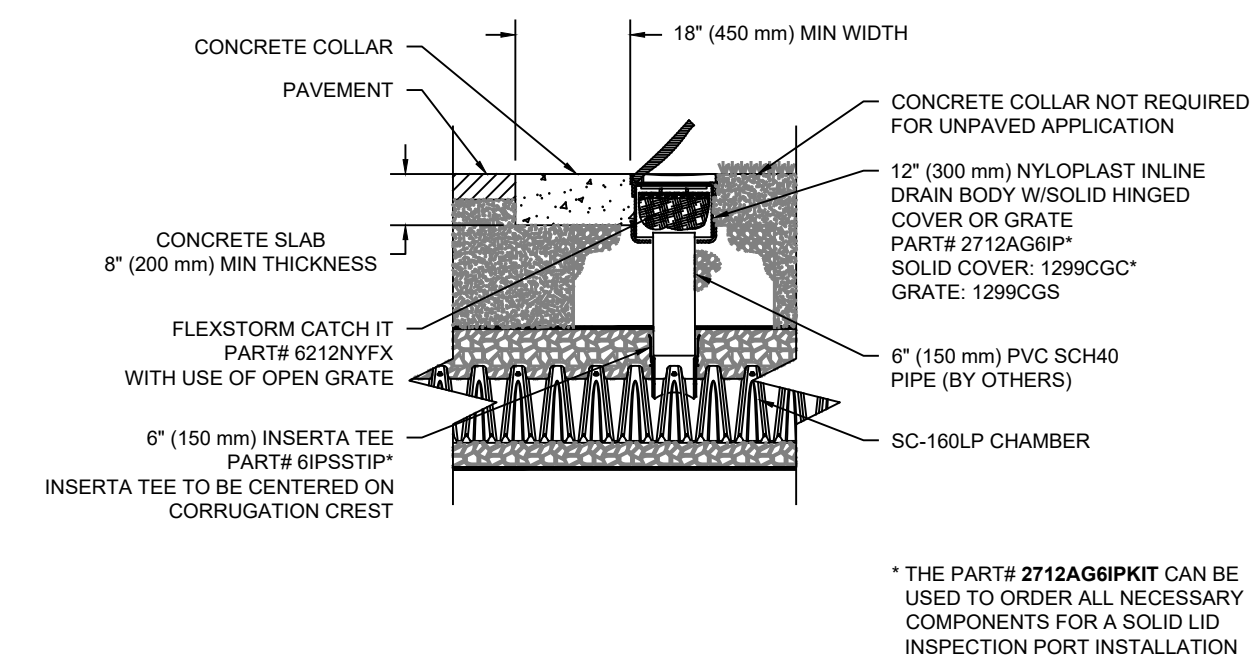
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 14" (355 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M45 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{3, 4}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



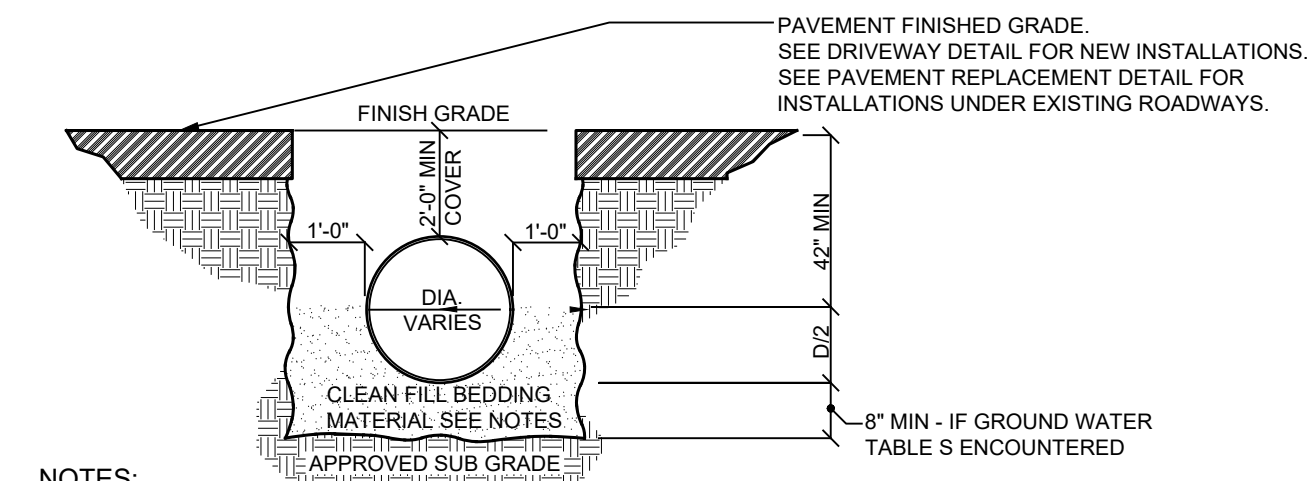
NOTES:

- SC-160LP CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



SC-160LP 6" INSPECTION PORT DETAIL
NTS

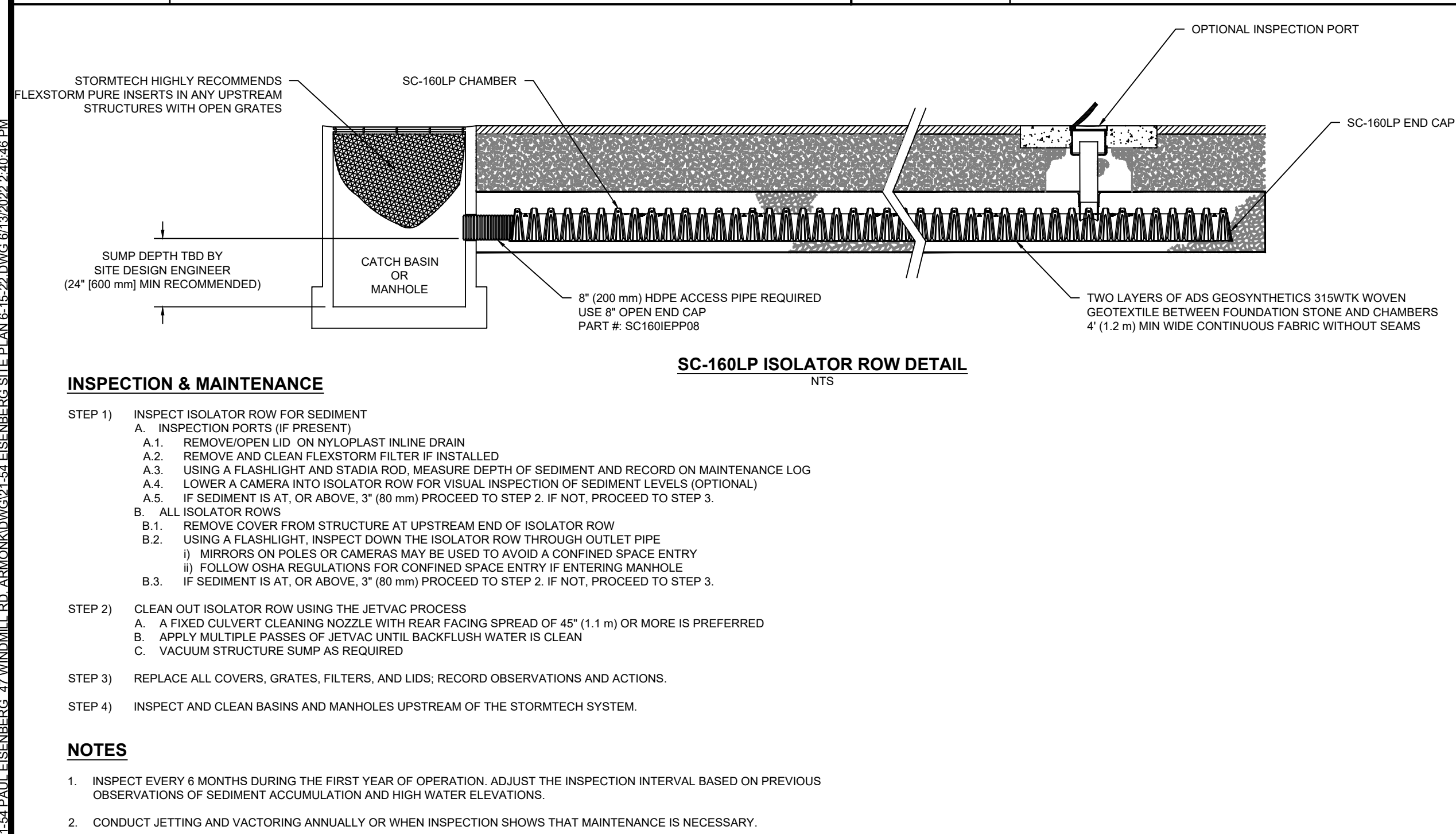
SWM-5 STORMTECH FLUSING/INSPECTION PORT DETAIL
NOT TO SCALE



NOTES:

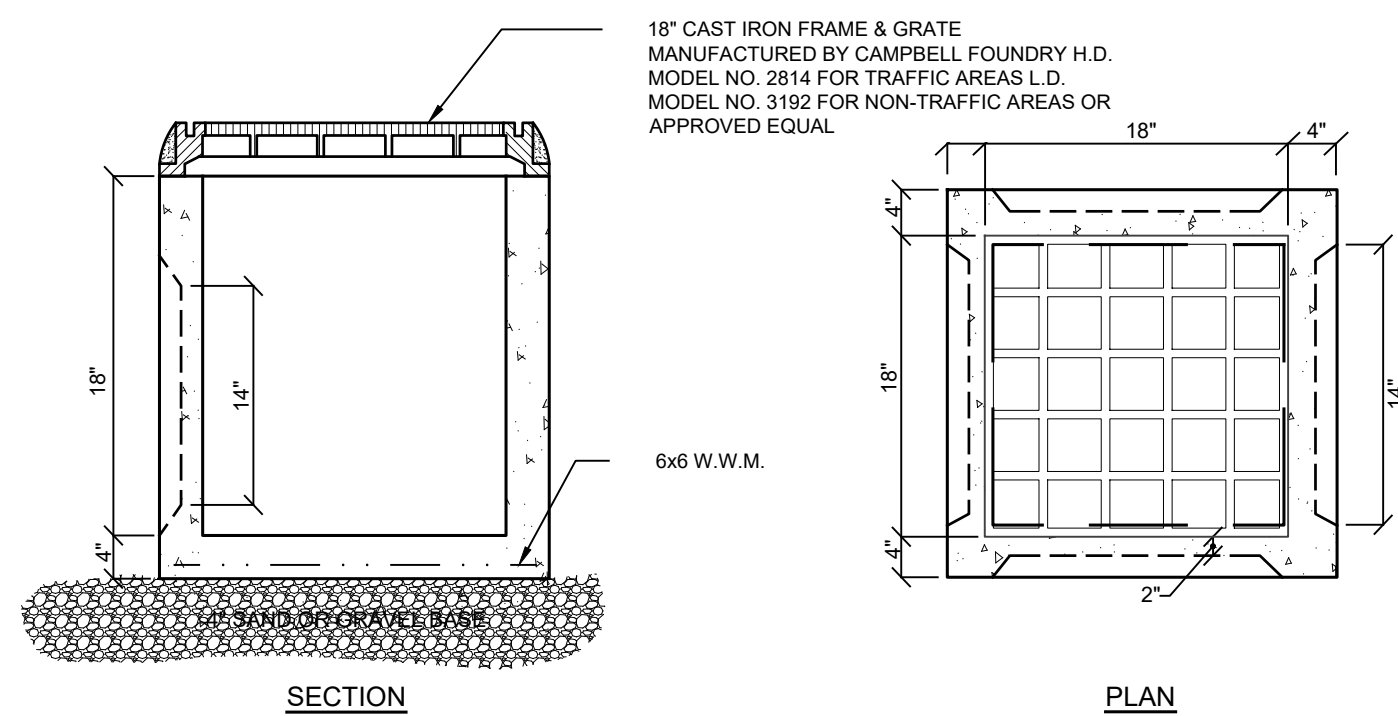
- Pipe shall be laid and connected in the bedding which shall consist of:
A. Compacted existing subsoil when laid above ground water or;
B. 3/4" crushed stone when laid below ground water.
- If subsoil is determined to be unsuitable by the Engineer, all unsuitable material shall be removed for at least 2'-6" below the pipe invert or twice the pipe diameter, whichever is greater, and replaced with compacted bedding material.

SWM-2 STORMTECH SC-160 CHAMBER DETAIL



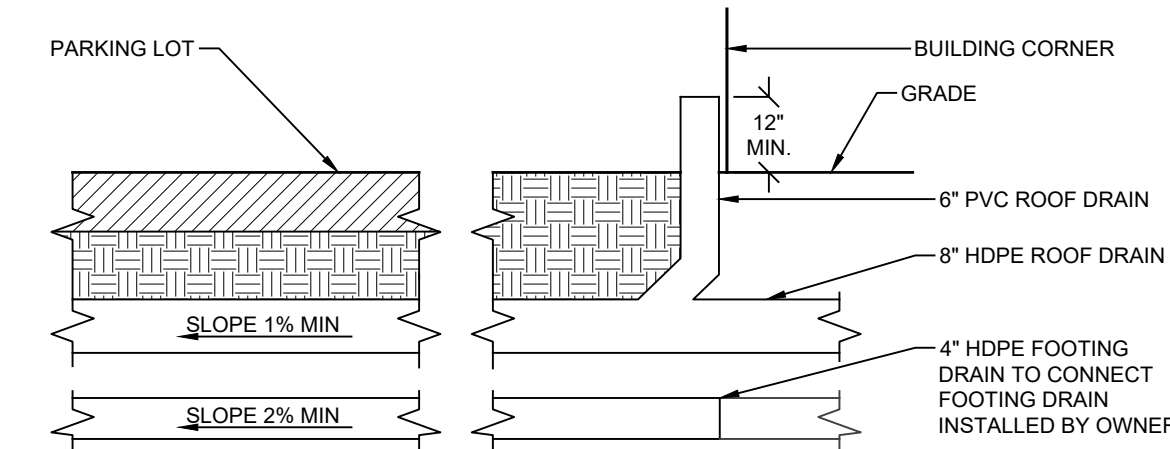
SWM-4 STORMTECH SC-160 CHAMBER DETENTION ISOLATOR ROW DETAIL
NOT TO SCALE

SWM-3 STORMTECH SC-160 CROSS SECTION DETAIL
NOT TO SCALE

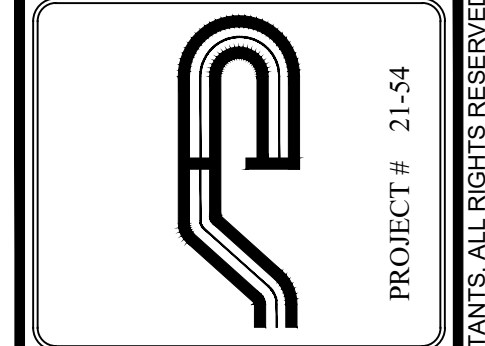


D-1 PRECAST DRAIN INLET DETAIL
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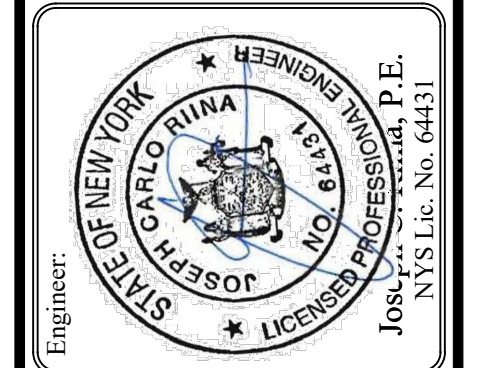
D-2 STORM PIPE BEDDING DETAIL
NOT TO SCALE



D-3 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE



Site Design Consultants
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(914) 962-4488 - Fax: (914) 962-7386
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Revisions:	No.	Date	Comments

STORMWATER DETAILS

SITE PLAN PREPARED FOR
PAUL EISENBERG
47 WINDMILL ROAD
Westchester County, New York

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION DATED: _____

Christopher Carthy, CAHIRMAN, _____ Date: _____
TOWN OF NORTH CASTLE PLANNING BOARD
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____ Date: _____

JOSEPH M. CERMELE, PE
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 17209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x43
Fax: (914) 273-3554
www.northcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) PROCEDURES

The RPRC was created to streamline the residential review process and quickly reviews all residential projects. Projects determined to have no impact are permitted to apply to the Building Department while more complicated projects are directed to the appropriate review board(s).

THE RPRC reviews all applications for residential permits (including, but not limited to, buildings permits, steep slope permits, wetlands permits and pool permits), but excluding permits only relating to interior alterations/renovations.

To get on an RPRC agenda you must submit a single PDF file containing the following to the Planning Department:

1. Complete all items on the RPRC checklist
2. RPRC Application fee. Check made payable to: Town of North Castle.
3. Floor Area and Gross Land Coverage work sheets (with backup information)
4. Plans for your project according the RPRC Checklist
5. Submit one single PDF file containing all information listed above to the Planning Department: planning@northcastleny.com.

Once your application has been submitted, you may follow your application on the RPRC webpage located at <http://www.northcastleny.com/residential-project-review-committee-rprc>

Determination Letters are posted on the website (click on determination letters, find the date of your meeting and click on the name of your project - Letters are posted the day after the meeting, typically by 1 :00 p.m.)

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One-Family Residence - New Construction	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	One Family Residence - Teardown/Rebuild	\$1,250	\$625	\$1,875	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (less than 1,000 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Addition to Primary Residence (greater than or equal to 1,000 s.f.)	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (less than 150 s.f.)	\$0	\$100	\$100	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Detached Accessory Building/Structure (greater than or equal to 150 s.f.)	\$500	\$250	\$750	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Pool/Hot Tub and associated Mechanical Equipment (includes associated deck, patio, walls, walkway, etc.)	\$800	\$400	\$1,200	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Recreational Court (tennis, basketball, volleyball, etc.) and Associated Utilities	\$800	\$400	\$1,200	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Deck, porch, patio, pergola	\$200	\$100	\$300	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Walkway, piers, wall, gate	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Fence	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Mechanical Equipment (generator, fuel storage tank, etc.) and Associated Utilities	\$100	\$50	\$150	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Under 250 square feet	\$0	\$0	\$0	See § 355-26C(3). RPRC EXEMPT
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Driveway/Driveway Surface - Over 250 square feet	\$400	\$200	\$600	

Town of North Castle Master Fee Schedule - Revised 11/18/2020

RPRC Fees

Town Code Chapter Title	Chapter Number	Code Section	Fee Type	Fee Description	Engineering Fee Amount	Planning Fee Amount	Total Amount	Additional Notes
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Solar Panels	\$0	\$50	\$50	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	Installation or Modification of Stormwater Practice/Drainage Facilities	\$400	\$200	\$600	
RESIDENTIAL PROJECT REVIEW COMMITTEE	12, Art. IV	12-24	RPRC	For proposed actions not listed above	\$150	\$75	\$225	per 1,000 s.f. of disturbance or fraction thereof

1. In the event the RPRC determines that Planning Board approval is required, any RPRC Review Fees already paid by the applicant shall be applied towards the escrow review account to be established by the Planning Board.
2. In the event the RPRC determines that an Administrative Wetland Permit is required, an Administrative Wetland Permit application shall be filed with the appropriate fee, as indicated in the Administrative Wetland Permit Fee Schedule.



RPRC

Adam R. Kaufman, Chairman

TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

**RESIDENTIAL PROJECT REVIEW COMMITTEE
RPRC 2021**

MEETING DATES - 9:30 .a.m.

January 5
January 19
February 2
February 16

March 2
March 16
April 6
April 20

May 4
May 18
June 1
June 15

July 6
July 20
August 3
August 17

September 7
September 21
October 5
October 19

November 2
November 16
December 7
December 21

**1 PDF ELECTRONIC SUBMISSION
DEADLINE By 12:00 p.m.**

December 15, 2020
January 5, 2021
January 19
February 2

February 16
March 2
March 16
April 6

April 20
May 4
May 18
June 1

June 15
July 6
July 20
August 3

August 17
September 7
September 21
October 5

October 19
November 2
November 16
December 7

Submissions shall be made with 1 PDF electronically to planning@northcastleny.com

Please do not submit hard copy of submission

ALL DEADLINES ARE STRICTLY ENFORCED BY ORDER OF THE CHAIRMAN



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 47 Windmill Road Armonk, NY 10504

Section III- DESCRIPTION OF WORK:

It is proposed to construct two additions to the existing two story residence. In addition, the existing driveway will be expanded to accommodate the proposed addition. The driveway will also be expanded upon to create a circular turnaround in front of the residence. Retaining walls are proposed to accommodate this work.

Section III- CONTACT INFORMATION:

APPLICANT: Paul Eisenberg

ADDRESS: 47 Windmill Road Armonk, NY 10504

PHONE: 917-628-8269 MOBILE: _____ EMAIL: paul@rfsites.com

PROPERTY OWNER:

Paul Eisenberg

ADDRESS: 47 Windmill Road Armonk, NY 10504

PHONE: 917-628-8269 MOBILE: _____ EMAIL: paul@rfsites.com

PROFESSIONAL: Joseph C. Riina

ADDRESS: 251-F Underhill Avenue Yorktown, NY 10598

PHONE: 914-962-4488

MOBILE: _____

EMAIL: jriina@sitedesignconsultants.com

Section IV- PROPERTY INFORMATION:

Zone: R-1.5A Tax ID (lot designation) 102.03-1-1



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan:

Initial Submittal Revised Preliminary

Street Location:

Zoning District: _____ Property Acreage: _____ Tax Map Parcel ID: _____

Date: _____

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

- 1. Plan prepared by a registered architect or professional engineer
- 2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
- 3. Map showing the applicant's entire property and adjacent properties and streets
- 4. A locator map at a convenient scale
- 5. The proposed location, use and design of all buildings and structures
- 6. Existing topography and proposed grade elevations
- 7. Location of drives
- 8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Paul Eisenberg Date: 12/10/21

Tax Map Designation or Proposed Lot No.: 102.03-1-1

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 81,078 sf
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(b)): 12,726 sf
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 x 10 = 2.4 24
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 12,750 sf
5. Amount of lot area covered by **principal building**:
2,874 sf existing + 1,952 sf proposed = 4,826 sf
6. Amount of lot area covered by **accessory buildings**:
0 sf existing + 0 sf proposed = 0 sf
7. Amount of lot area covered by **decks**:
459 sf existing + 0 sf proposed = 459 sf
8. Amount of lot area covered by **porches**:
0 sf existing + 374 sf proposed = 374 sf
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 sf existing + 4,724 sf proposed = 4,724 sf
10. Amount of lot area covered by **terraces**:
0 sf existing + 0 sf proposed = 0 sf
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 sf existing + 0 sf proposed = 0 sf
12. Amount of lot area covered by **all other structures**:
0 sf existing + 0 sf proposed = 0 sf
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 10,383 sf

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional _____



6-22-22
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

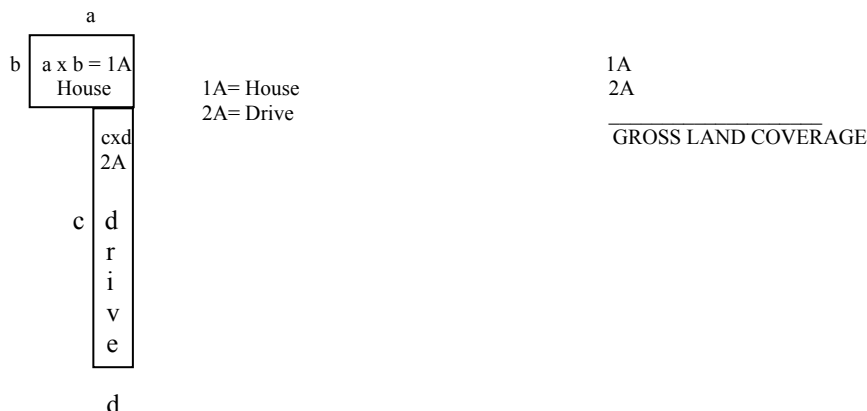
PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross land coverage of a property as necessary to show compliance with gross land coverage limitations of the Town Code.

1. Scaled worksheets are to be prepared based upon a site plan which represents existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All site plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. Each component of the gross land coverage is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each component is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the gross land coverage for the entire site.
4. Any exception of land coverage from the gross land coverage must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
5. A schematic illustration of the format is shown below

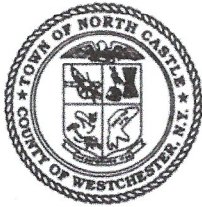


LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

Lot Size	Maximum Permitted Gross Land Coverage for One-Family Dwelling Lots ¹ (square feet)
Less than 5,000 square feet	50% of the lot area
5,000 to 9,999 square feet	2,500 plus 30% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	4,000 plus 24% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	5,200 plus 18% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	6,420 plus 15% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	8,050 plus 12% of the lot area in excess of 0.75 acres
1.0 to 1.999 acres	9,350 plus 9% of the lot area in excess of 1.0 acres
2.0 acres or more	13,270 plus 7.5% of the lot area in excess of 2.0 acres

*Permitted gross land coverage limitations for two-family dwelling lots in the R-2F District shall be twenty five (25) percent greater than that permitted for one-family dwelling lots.

NOTWITHSTANDING ABOVE LIMITATIONS, AN ADDITIONAL 10 SQUARE FEET OF GROSS LAND COVERAGE SHALL BE PERMITTED FOR EACH ONE FOOT OF FRONT YARD SETBACK OF THE PRINCIPAL DWELLING IN EXCESS OF THE MINIMUM FRONT YARD SETBACK REQUIRED.



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

January 29, 2019
 Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: PROPOSED ADDITION & ALTERATION FOR MR. & MRS. EISENBERG Date: 6/23/22

Tax Map Designation or Proposed Lot No.: _____

Floor Area

- | | | |
|-----|--|---------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>81,078</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>13,088</u> |
| 3. | Amount of floor area contained within first floor: <u>(LOWER LEVEL)</u> | |
| - | <u>1063</u> existing + 2705 <u>942</u> proposed = <u>(W/ EXISTING GAR AREA)</u> | <u>2,005</u> |
| 4. | Amount of floor area contained within second floor: <u>(MAIN & UPPER)</u> | |
| - | <u>2413</u> existing + <u>1210</u> proposed = | <u>3,623</u> |
| 5. | Amount of floor area contained within garage: | |
| - | <u>*</u> existing + <u>1575</u> proposed = | <u>1,575</u> |
| | <u>+ INCLUDED IN #3 PROPOSED (522)</u> | |
| 6. | Amount of floor area contained within porches capable of being enclosed: | |
| - | <u>226</u> existing + <u>70</u> proposed = | <u>296.</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition): | |
| - | <u>1198</u> existing + _____ proposed = | <u>1198</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition): | |
| - | _____ existing + _____ proposed = | <u>NA.</u> |
| 9. | Amount of floor area contained within all accessory buildings: | |
| - | <u>804</u> existing + _____ proposed = <u>CHICKEN COOP</u> | <u>80</u> |
| 10. | Proposed floor area: Total of Lines 3 – 9 = | <u>8,777</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

[Signature]
 Signature and Seal of Professional Preparing Worksheet

6/23/22
 Date





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

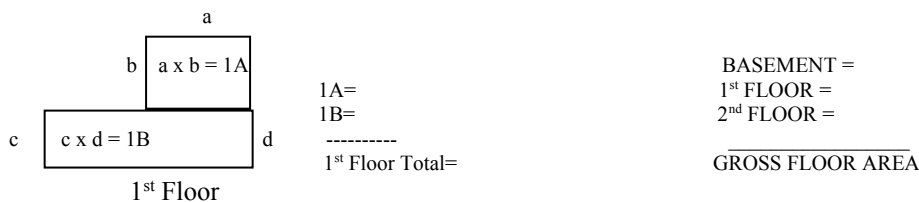
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GROSS FLOOR AREA WORKSHEET

The following format is to be used for all applications for the purpose of demonstrating the gross floor area of a building or group of buildings as necessary to show compliance with a building or group of buildings as necessary to show compliance with floor area limitations of the Town Code or as otherwise necessary to illustrate the intended or potential use of a structure.

1. Scaled worksheets are to be prepared based upon floor plans which represent existing or proposed conditions as applicable to the particular circumstances of the approval being sought. All floor plans and worksheets are required to be prepared by a licensed or registered professional in the State of New York.
2. The floor area of each floor is to be divided into simple polygons (squares, rectangles, etc.) each being drawn on the plan. The area of each polygon is to be shown by providing the dimensions and resulting area measurement. Each polygon is to be assigned an identifying label for reference purposes.
3. A summary table for each floor is to be completed. The area of each polygon is to be listed by reference label then added, resulting in the floor area for the entire floor.
4. A similar summary table is to be provided listing the total floor area of each floor within the resulting floor area of each building.
5. Any exception of floor area from the gross floor area must be identified on the floor plans and summary tables. The rationale for any exception must accompany the floor area worksheets.
6. A schematic illustration of the format is shown below.



LOT AREA, NET – Lot area minus seventy five (75) percent of the area of any wetlands, waterbodies and, watercourses, but excluding any adjacent areas, all as defined in Chapter 209 Wetlands and Drainage, of the Town Code, and the area of any steep slopes, as defined Chapter 213, except that in the case of one-family lots, the deduction for steep slopes shall be only fifty (50) percent.

FLOOR AREA, GROSS -- The sum of the horizontal areas of the several stories of the building or buildings, excluding any floor area used for off-street parking or loading purposes (except for one- and two-family residences), measured from the exterior walls or, in the case of a common wall separating two buildings, from the center line of such a common wall, and including any two-story or any enclosed porch, or one having a roof and capable of being enclosed. See the definition of "basement" for exclusion of basement/mechanical areas in nonresidential buildings from "floor area, gross." For one- and two-family residences, any attic space with a floor to ceiling height of 7.5 feet or greater shall be included as part of gross floor area, as shall those portions of any basement with a floor to ceiling height of 7.5 feet or greater if the basement is considered a "story" in accordance with one of the following three alternative measurements:

- A. Where the finished surface of the floor above the basement is more than six feet above average grade.
- B. Where the finished surface of the floor above the basement is more than six feet above the finished ground level for more than 50% of the total building perimeter.
- C. Where the finished surface of the floor above the basement is more than 12 feet above the finished ground level at any point along the building perimeter.

Lot Size	Maximum Permitted Gross Floor Area for One-Family Dwellings and Accessory Buildings ¹ (square feet)
Less than 5,000 square feet	1,875 or 50% of the lot area, whichever is greater
5,000 to 9,999 square feet	2,500 plus 25% of the lot area in excess of 5,000 square feet
10,000 to 14,999 square feet	3,750 plus 20% of the lot area in excess of 10,000 square feet
15,000 square feet to 0.499 acres	4,750 plus 15% of the lot area in excess of 15,000 square feet
0.5 to 0.749 acres	5,768 plus 10% of the lot area in excess of 0.5 acres
0.75 to 0.999 acres	6,856 plus 8% of the lot area in excess of 0.75 acres
1.0 to 1.499 acres	7,727 plus 6% of the lot area in excess of 1.0 acres
1.5 to 1.999 acres	9,034 plus 5% of the lot area in excess of 1.5 acres
2.0 to 3.999 acres	10,122 plus 4% of the lot area in excess of 2.0 acres
4.0 acres or more	13,607 plus 3% of the lot area in excess of 4.0 acres

*Permitted gross floor area for two-family dwellings in the R-2F District shall be one-third (1/3) greater than that permitted for one-family dwellings.