



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

BUILDING DEPARTMENT  
Robert Melillo  
Building Inspector

Telephone: (914) 273-3000 ext. 44  
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[rmelillo@northcastleny.com](mailto:rmelillo@northcastleny.com)

March 22, 2022

Planning Board  
Adam Kaufman  
15 Bedford Road  
Armonk, New York 10504

**Re: 731 N. Broadway**

Dear North Castle Planning Board:

The above address has applied to the Building Department for a change of use from a dry cleaner to a takeout bagel store. Plans dated 1/4/2022 by Tom Haynes Architecture shows that there will not be any indoor seating.

In review of the Town code, section 355-41, I have determined that the change of occupancy does not increase the number of off-street parking and loading spaces, as required by Article IX. I am requesting that the Planning Board waive site plan approval for this property.

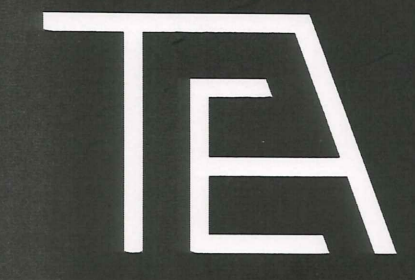
If you need any additional information or if you have any questions, feel free to contact me.

Regards,

*Rob Melillo*

Building Inspector/ Fire Inspecto

# Proposed Change of Use/ Interior Alterations at: 731 N. Broadway White Plains, New York



HAYNES ARCHITECTURE P.C.

570 yonkers ave. yonkers, ny 10704

p: 914.963.3838 f: 914.963.3861  
e: info@haynesdesigngroup.com

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revisions:

project title:

## PROJECT INFORMATION:

**OWNER:**  
NAME: PETE MONTELEONE  
TELEPHONE: 914-804-9614  
EMAIL: SANDSMILL@AOL.COM

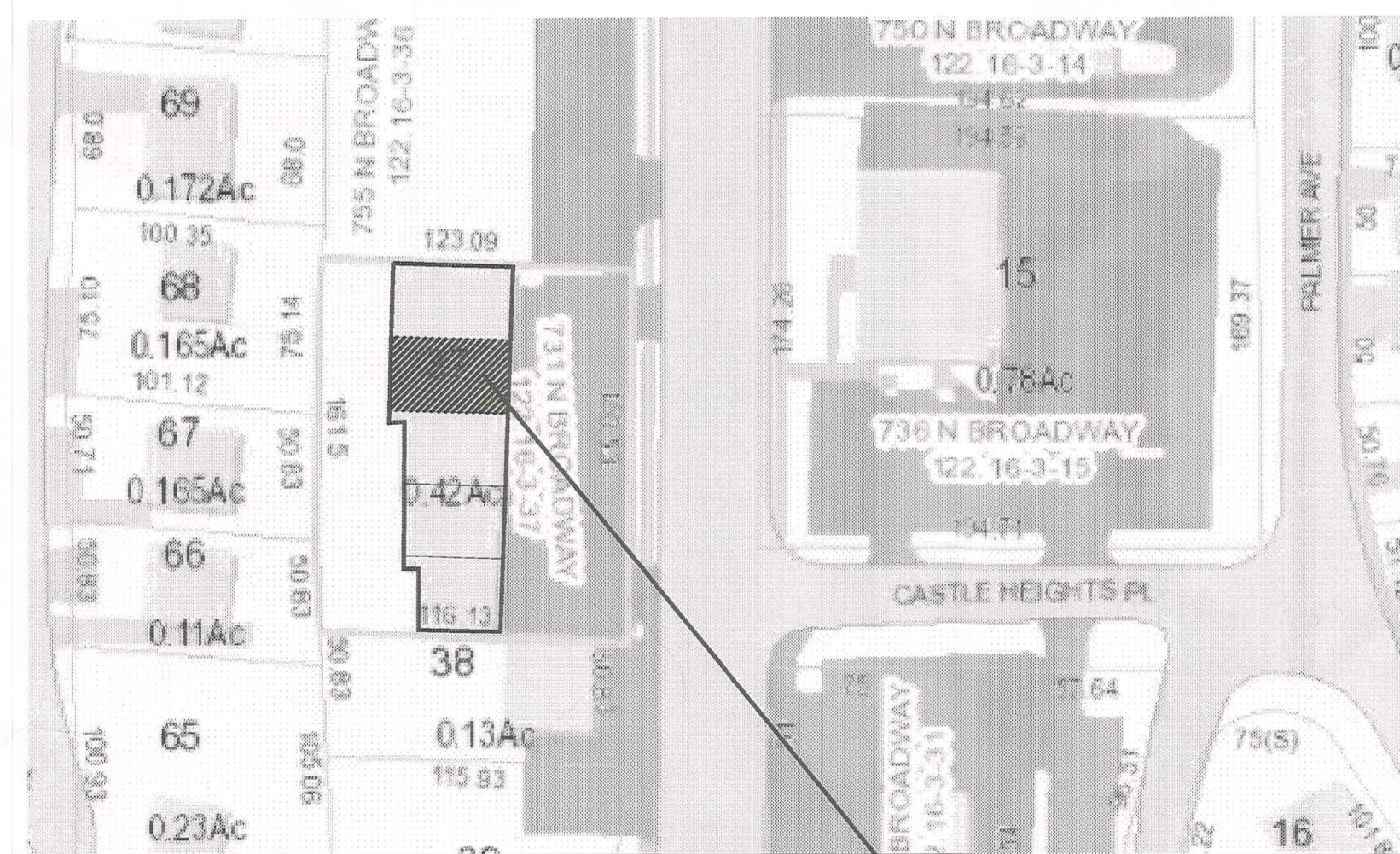
**LESSEE:**  
NAME: BAGEL GIRL LLC- LAUREN BUCCI  
ADDRESS: 46 NETHERMONT AVENUE, WHITE PLAINS NY 10603  
TELEPHONE: 1-(914)-815-2905  
EMAIL: LBUCCI88@YAHOO.COM

**ARCHITECT:**  
NAME: HAYNES ARCHITECTURE PC- THOMAS HAYNES  
ADDRESS: 570 YONKERS AVENUE  
YONKERS NEW YORK 10704  
TELEPHONE: 1-(914)-963-3838  
EMAIL: TJ@HAYNESDESIGNGROUP.COM

## SCOPE OF WORK:

**PROPOSED ----**  
-PROPOSED CHANGE OF USE / INTERIOR ALTERATIONS  
-EXISTING DRY CLEANER (BUSINESS) CHANGED TO NEW BAGEL TAKE OUT STORE (MERCANTILE)  
-NO SPRINKLER, FIRE ALARM OR HVAC WORK TO BE PERFORMED UNDER THIS APPLICATION -ALL STRUCTURAL CONDITIONS TO REMAIN AS EXISTING

## LOCATION MAP: NOT TO SCALE



**MUNICIPALITY:** NORTH CASTLE  
**Printkey/TaxID:** 122.16-3-37  
**ZONE:** CB

**SUBJECT PROPERTY:**  
731 N BROADWAY  
WHITE PLAINS, NY

## DRAWING LIST:

**SHEET:** A.01 TITLE: LOCATION PLAN / GENERAL NOTES  
A.02 DEMOLITION PLAN/ PROPOSED PLAN  
A.03 OCCUPANCY PLAN / EXISTING SPRINKLER PLAN  
A.04 DETAILS

## CODE ANALYSIS:

### 731 N. Broadway White Plains, New York

#### PROJECT DESCRIPTION:

##### PROPOSED BAGEL STORE

-PROPOSED INTERIOR ALTERATIONS  
-REMOVE EXISTING SINK/ CABINETS, INSTALL NEW PARTITIONS, COUNTERS AND EQUIPMENT  
-NO SPRINKLER, FIRE ALARM OR HVAC WORK TO BE PERFORMED UNDER THIS APPLICATION -ALL STRUCTURAL CONDITIONS TO REMAIN AS EXISTING

#### 2020 NYS BUILDING CODE/ 2020 NYS EXISTING BUILDING CODE ANALYSIS

REFERENCE	ALLOWED/ REQUIRED	EXISTING	PROPOSED
USE & OCCUPANCY CLASSIFICATION	GROUP: BUSINESS	GROUP B : DRY CLEANING	GROUP M: BAGEL STORE (CARRY OUT RESTAURANT)
HEIGHT & FIRE AREAS	2-STORY 12,500 SQ.FT.	NO CHANGE	NO CHANGE
TYPE OF CONSTRUCTION	TYPE III-B	NO CHANGE	NO CHANGE
RATINGS FOR BUILDING ELEMENTS:			
EXTERIOR	2-HR	2-HR	NO CHANGE
INTERIOR	0-HR	0-HR	NO CHANGE
NON-BEARING WALLS -EXTERIOR	0-HR	0-HR	NO CHANGE
NON-BEARING WALLS -INTERIOR	0-HR	0-HR	NO CHANGE
FLOOR CONSTRUCTION			
SUPPORTING BEAMS/JOISTS	0-HR	0-HR	NO CHANGE
ROOF CONSTRUCTION			
SUPPORTING BEAMS/JOISTS	0-HR	0-HR	NO CHANGE
FIRE SEPARATION PER TABLE 508.4 B / M	NOT REQ. (SPRINKLERED)	NOT-REQ.	NOT-REQ.
MEANS OF EGRESS	1 REQ.	1	1

#### APPLICABLE CODES

2020 NYS BUILDING CODE  
2020 NYS EXISTING BUILDING CODE  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

#### NORTH CASTLE ZONING CODE : 355-57 (A)

	EXISTING:	PROPOSED:
USE:	DRY CLEANING: (RETAIL OR SERVICE BUSINESS)	BAGEL STORE (CARRY-OUT RESTAURANTS)
PARKING REQUIREMENTS:	1 SPACE FOR EACH 200 SQUARE FEET OF GROSS FLOOR AREA,	1 SPACE FOR EACH 200 SQUARE FEET OF GROSS FLOOR AREA,

**\*NO CHANGE TO EXISTING PARKING REQUIREMENTS \***

#### 2020 NYS BUILDING CODE ANALYSIS

<b>TABLE 1004.1.1 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT</b>		
PROPOSED: MERCANTILE: BAGEL STORE- CARRY OUT RESTAURANT **EXISTING SPACE IS SPRINKLERED		
SALES AREA (MERCANTILE AREA): 60 NET SQ.FT. PER OCCUPANT 689.30 SQ.FT. / 60 GROSS SQ.FT. PER OCCUPANT =11.48 OR 12 OCCUPANTS		
COMMERCIAL KITCHEN AREA: 200 NET SQ.FT. PER OCCUPANT 148.72 SQ.FT. / 200 GROSS SQ.FT. PER OCCUPANT =.74 OR 1 OCCUPANTS		
<b>TOTAL: 13 OCCUPANTS</b>		
<b>TABLE 1005.1 EGRESS WIDTH (DOOR) PER OCCUPANT</b>		
OCCUPANCY:	REQUIRED	PROPOSED
BUSINESS:	.20 X 13 =2.6"	(1) 36" WIDE DOOR
<b>TABLE 1006.2.1 COMMON PATH OF TRAVEL DISTANCE</b> PROPOSED		
*WITH SPRINKLER SYSTEM (FEET)*		
OCCUPANCY:	REQUIRED	PROPOSED
MERCANTILE:	100'-0"	58'-6"
<b>TABLE 1006.3.1 MIN. REQUIRE EXISTS AS PER OCCUPANT LOAD</b>		
*WITH SPRINKLER SYSTEM (FEET)*		
OCCUPANT LOAD:	REQUIRED	PROPOSED
1-500:	2	1 *TABLE 1006.3.2(2) **OCCUPANCY LOAD IS LESS THAN 49 PER STORY- ONLY 1 EXIT REQUIRED
<b>TABLE 2902.1 REQUIRED PLUMBING FIXTURES</b>		
OCCUPANCY:	REQUIRED	PROPOSED
MERCANTILE:	WATER CLOSET: 1 PER 500 LAVATORIES: 1 PER 750 SERVICE SINK: 0*	WATER CLOSET: 1 LAVATORIES: 1 SERVICE SINK: 0* RECEIVED *NO CHANGE TO EXISTING* MAY 11 2022 TOWN OF NORTH CASTLE BUILDING DEPARTMENT
TABLE 2902.1.e- *FOR BUSINESS AND MERCANTILE CLASSIFICATIONS WITH AN OCCUPANT LOAD OF 15 OR FEWER, A SERVICE SINK SHALL NOT BE REQUIRED TABLE 2902.2.4- *SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAX. OCCUPANT LOAD IS 25 OR FEWER		

#### NORTH CASTLE ZONING CODE : ZONING ANALYSIS

\*NO EXTERIOR SITE WORK TO BE PERFORMED UNDER THIS APPLICATION  
-ALL COVERAGE/ SETBACKS/ LOT/ BULK CONDITIONS ARE EXISTING AND SHALL REMAIN AS EXISTING

Proposed Change of Use/  
Interior Alterations at:  
731 North Broadway  
White Plains, New York

#### TITLE/ ZONING ANALYSIS

Seal: Architect Thomas E. Haynes original filing date: 01.04.2022

drawn by:  
checked by:  
drawing no.:



PROJECT NUMBER: 2186 A.01



**HAYNES ARCHITECTURE P.C.**

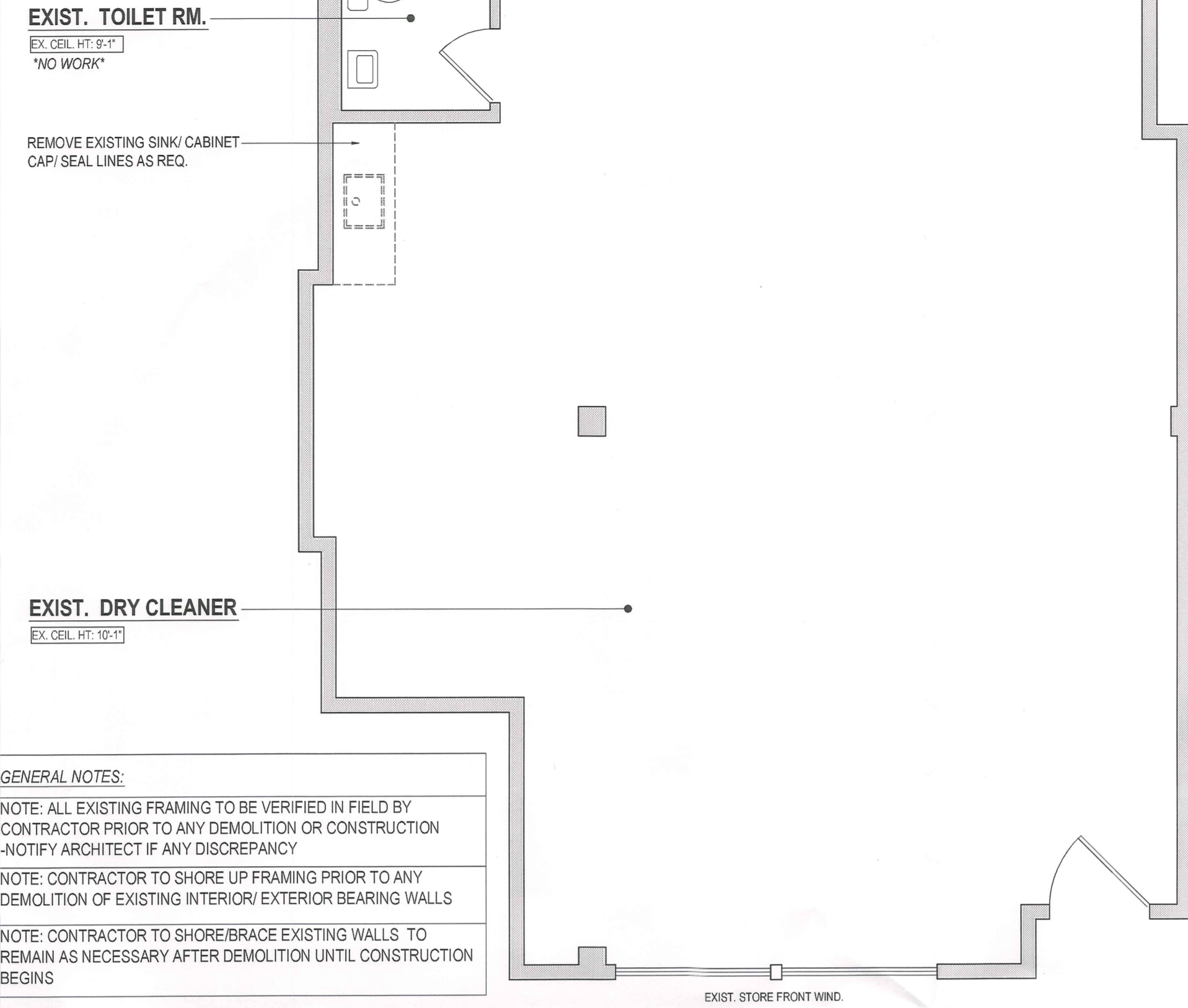
570 yonkers ave. yonkers, ny 10704

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revisions:

project title:



**DEMOLITION: GROUND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**WALL LEGEND:**

**A**  
NEW 3 5/8" STEEL STUDS (18 ga.) @ 16" O.C. FROM F.F. TO DECK ABOVE, W/ 1 LAYER WATER AND MOLD RESISTANT -5/8" F.C.-60 (1HR RATED) GYP. EACH SIDE FROM F.F. TO DECK ABOVE  
-INSTALL NEW BASE MOLDING AS SELECTED BY OWNER

**CONSTRUCTION NOTES:**

**PROPOSED SALES AREA:**

1. INSTALL NEW NON BEARING INTERIOR PARTITIONS, WALL FINISHES AND BASEBOARD MOLDINGS WHERE REQUIRED AS SELECTED BY OWNER
2. INSTALL PLUMBING FIXTURES WHERE SHOWN
3. INSTALL NEW SHELVING, COUNTERS AND EQUIPMENT AS INDICATED-SEE EQUIPMENT SCHEDULE/ COORDINATE W/ OWNER
4. INSTALL HOOD OVER PROPOSED GRILLE -VENT HOOD TO EXTERIOR REAR WALL -MAINTAIN 36" MIN. FROM ALL WINDOW OPENINGS -TYP. PATCH TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

**GENERAL NOTES:**

1. ENTIRE SPACE- EXISTING TILE FLOOR FINISHES TO REMAIN
2. ENTIRE SPACE- EXISTING CEILING TILES TO REMAIN
3. ENTIRE SPACE- EXISTING LIGHTING, SPRINKLERS & HVAC TO REMAIN
4. ENTIRE SPACE- TO BE PATCH, TAPE, SAND AND PAINT (1) COAT PRIMER AND (2) COATS OF FINISH PAINT AS SELECTED BY OWNER ON ALL WALLS AND CEILING.

**NOTE: NO SPRINKLER, FIRE ALARM OR HVAC WORK TO BE PERFORMED UNDER THIS APPLICATION -ALL STRUCTURAL CONDITIONS TO REMAIN AS EXISTING**

**NOTE: NO CHANGE TO EXISTING SPRINKLER SYSTEM, ALL EXISTING SPRINKLER HEADS TO REMAIN AS IS**

**NOTE: INSTALL SMOKE/CARBON MONOXIDE DETECTORS AS SHOWN**

**NOTE: CONTRACTOR TO COORDINATE WITH TENANT ANY NEW ELECTRICAL RECEPTACLES AT ALL APPLIANCE AND EQUIPMENT LOCATIONS -PROPOSED RECEPTACLES SHALL BE OF APPROVED TYPE AND ALL ELECTRICAL WORK SHALL BE FILED UNDER SEPARATE APPLICATION AND ALL ELECTRICAL WORK PERFORMED TO BE BY A LICENSED ELECTRICIAN -TYP.**

**NOTE: ALL SPACES TO BE IN COMPLIANCE WITH FIGURE 404.2.3.1 OF ICC/ANSI A 117.1-2009 FOR MANEUVERING CLEARANCES**

**BOARD OF HEALTH - GENERAL NOTES:**

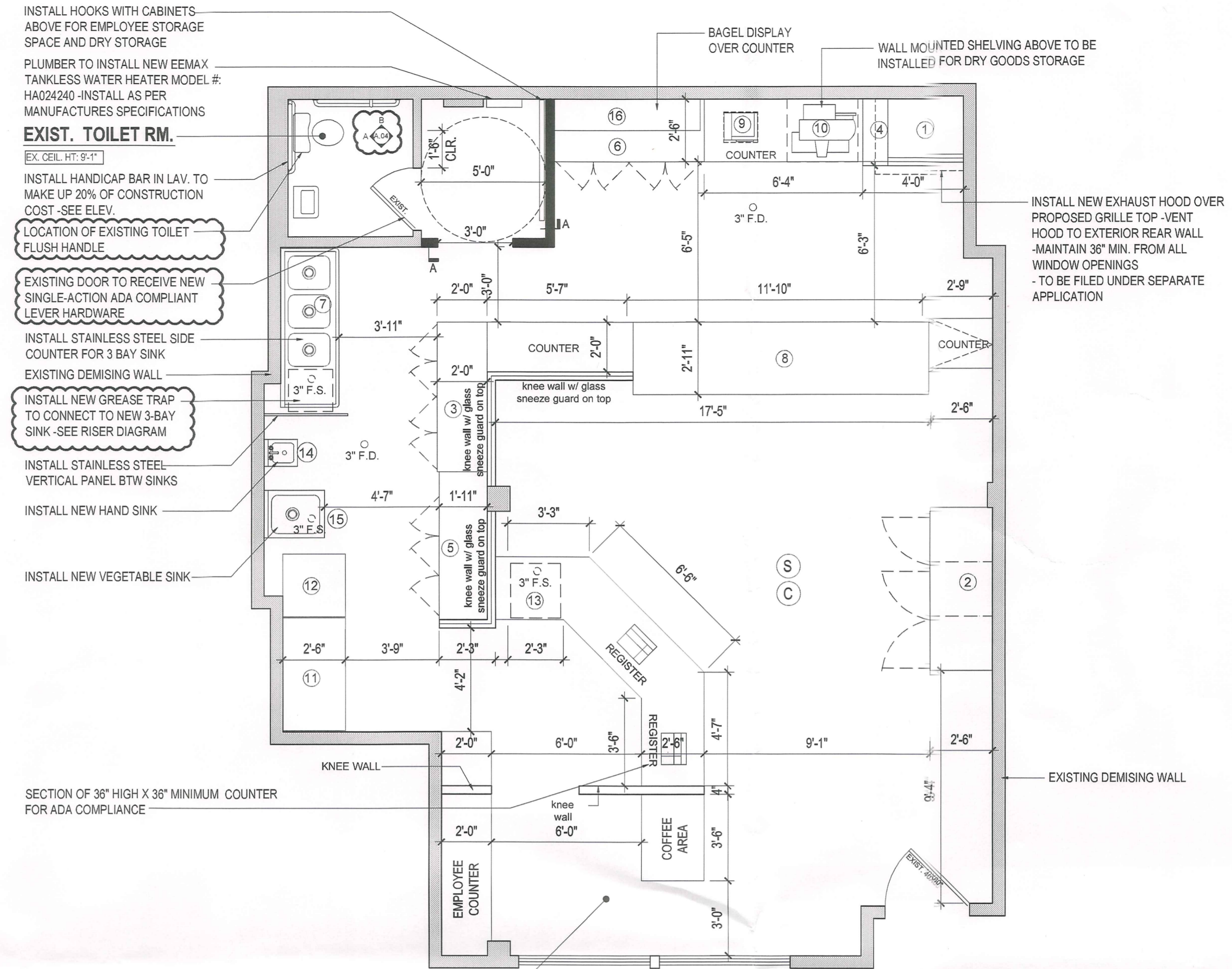
- 1) PRE-EXISTING FOOD SERVICE ESTABLISHMENTS AND CONDITIONS IN PRE-EXISTING FOOD SERVICE ESTABLISHMENTS ARE REQUIRED TO BE BROUGHT UP TO AND INTO COMPLIANCE WITH CURRENT CODES, RULES AND REGULATIONS.
- 2) ALL WALL/FLOOR INTERSECTIONS ARE TO BE COVERED IN FOOD PREPARATION, FOOD STORAGE, UTENSIL WASHING, DRESSING, LOCKER AND TOILET ROOMS, WALK-IN BOXES, AND OTHER APPLICABLE AREAS.
- 3) FLOORS AND FLOOR COVERINGS OF THE NEW (AND EXISTING) COUNTER AREA ARE TO BE MADE SMOOTH, DURABLE, WASHABLE, AND NON-ABSORBANT. WOOD FLOORING IS NOT ACCEPTABLE IN ANY PREP, STORAGE OR CLEANING AREA.
- 4) WALLS, WALL COVERINGS, AND CEILINGS OF NEW AND EXISTING FOOD PREPARATION, STORAGE, WASHING AREAS ARE TO BE EASILY CLEANABLE, LIGHT-COLORED, SMOOTH, NON-ABSORBANT, NON-FISSURED, AND NON-PERFORATED.
- 5) ONE (1) COMPARTMENT OF THE EXISTING THREE (3) COMPARTMENT SINK MAY BE USED AS A HAND WASHING BASIN (REQUIRED). CONTRACTOR MUST INSTALL SOAP DISPENSER AND INSTALL PAPER TOWEL DISPENSER.
- 6) IF EXISTING TOILET ROOM OPENS DIRECTLY INTO A FOOD PREPARATION, STORAGE OR UTENSIL WASHING AREA, THIS IS PROHIBITED. CONTRACTOR TO INSTALL NEW PARTITIONS TO CREATE AN ANTEROOM WITH A SELF-CLOSING DOOR TO THE BATHROOM.
- 7) ALL EQUIPMENT MUST BE N.S.F. APPROVED OR EQUAL. ADEQUATE SHELVING IS REQUIRED.
- 8) ALL SHELVING MUST BE N.S.F. APPROVED OR EQUAL. ADEQUATE SHELVING IS REQUIRED.
- 9) FOOD SERVICE EQUIPMENT MUST BE INSTALLED ACCORDING TO N.S.F. STANDARDS AND WESTCHESTER COUNTY DEPARTMENT OF HEALTH PLAN GUIDELINES. EQUIPMENT MUST BE SEALED TO THE FLOOR, WALL, OR ADJACENT EQUIPMENT OR A MINIMUM OF (6) INCHES OFF THE FLOOR, WALL OR ADJACENT EQUIPMENT.
- 10) A STATEMENT IS REQUIRED DECLARING THAT ALL USED AND/OR EXISTING EQUIPMENT WILL MEET CURRENT N.S.F. STANDARDS AND ARE SUBJECT TO FIELD EVALUATION BY THE DEPARTMENT. ANY EQUIPMENT DETERMINED TO BE SUBSTANDARD, MUST BE REMOVED FORTHWITH AND REPLACED WITH APPROVABLE EQUIPMENT.
- 11) ALL COUNTERS, AND ANY OTHER MILLWORK SHALL HAVE NO EXPOSED RAW WOOD, WOOD PRODUCTS, OR OPEN STUDS.
- 12) ALL SEAMS BETWEEN ADJACENT EQUIPMENT, EQUIPMENT AND WALLS, ETC. THROUGH OUT THE FOOD PREPARATION, STORAGE AND UTENSIL WASHING, AND TOILET AREAS ARE TO BE SEALED USING METAL FLASHING, FOOD GRADE SILICONE SEALANT, OR OTHER SUCH TYPE MATERIAL.
- 13) SERVICE CONNECTIONS THROUGH THE FLOOR OR WALL MUST BE ADEQUATELY SEALED AND EXPOSED HORIZONTAL UTILITY/ PLUMBING LINES MUST BE SIX (6) INCHES OFF THE FLOOR AND ONE (1) INCH FROM THE WALL.

**NOTE: ALL NEW WALL AND CEILING FINISHES TO HAVE A CLASS 'A' FLAME SPREAD RATING (FLAME SPREAD 0-25; SMOKE DEVELOPED 0-45). CONTRACTOR TO VERIFY ALL FINISHES MEET OR EXCEED REQUIREMENT PRIOR TO ORDERING AND INSTALLATION NOTIFY ARCHITECT TO VERIFY IF ALL MATERIALS HAVE THE ADEQUATE FLAME SPREAD RATING**

**NOTE: ANY CABINETS AND COUNTERS IN KITCHEN AND PREP AREAS TO BE STAINLESS STEEL W/ APPROVED TYPE LAMINATED WOOD SHELVING OR STAINLESS STEEL SHELVING OVER -NO RAW WOOD EXPOSED**

**NOTE: EXISTING TILE FLOOR TO REMAIN-PROPOSED COVERED BASE AT FLOOR/WALL INTERSECTIONS IN ALL FOOD PREP, FOOD STORAGE, UTENSIL WASHING AND TOILET ROOMS.**

**NOTE: WALLS IN KITCHEN AND PREP AREAS TO BE CERAMIC WALL TILE AS SELECTED BY OWNER AND COMMERCIAL GRADE FRP PANELS AND COMPLIANT WITH HEALTH DEPARTMENT REQUIREMENTS**



**PROPOSED BAGEL STORE**

EX. CEIL. HT: 10'-1"

**PROPOSED GROUND FLOOR PLAN**

**NOTE: ALL PLUMBING AND ELECTRICAL WORK TO BE PERFORMED UNDER SEPARATE PERMIT APPLICATION -NO FIRE ALARM OR HVAC WORK UNDER THIS SCOPE OF WORK**  
**NOTE: ALL EQUIPMENT, WORK AND FINISHES SHALL COMPLY WITH THE WESTCHESTER COUNTY HEALTH DEPARTMENT REQUIREMENTS.**

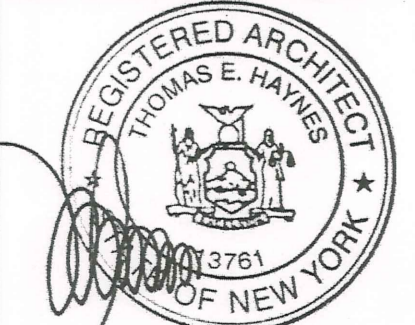
SCALE: 1/4" = 1'-0"

**EQUIPMENT SCHEDULE**

NO.	EQUIPMENT	MANUFACTURER	MODEL	SIZE	REMARKS
1	GRIDDLE GAS- COUNTER TOP	GARLAND	GTGG36-G36M	35-7/16" W X 32.1" D X 16.3" H	
2	REFRIGERATED MERCHANDISER	TRUE MFG.	GDM-72-HC-TSL01	78 1/8" W X 29 7/8" D X 78 5/8" H	
3	WORK TABLE, CABINET BASE HINGED DOORS	ADVANCE TABCO	HB-SS-246M	72" W X 24" D X 35.5" H	
4	CHEF BASE	TRUE MFG.	TRCB-48	48 3/8" W X 32 1/8" D X 20 3/8" H	
5	UNDER COUNTER REFRIGERATOR	TURBO AIR	JUR-72S-N6	70 7/8" W X 23 5/8" D X 28 3/4" H	
6	WORK TABLE, CABINET BASE HINGED DOORS	ADVANCE TABCO	HB-SS-306	72" W X 30" D X 35.5" H	
7	THREE (3) COMPARTMENT SINK	ADVANCE TABCO	T9-3-54-18L-X	77" W X 28" D X 43 1/2" H	IN-DIRECT DRAIN
8	DISPLAY CASE - REFRIGERATED DELI	MARC REFRIGERATION	MDL-12 S/C	142" W X 35" D X 55" H	
9	CONVEYOR TOASTER	VOLLRATH	CT2H-120250	16.5" W X 14.5" D X 13.25" H	
10	MEAT SLICER	BIZERBA	GSP V 2-150	29.9" W X 33.98" D X 29.09" H	
11	REACH- IN REFRIGERATOR	TRUE MFG.	T-49-HC	54 1/8" W X 29 1/2" D X 78 3/8" H	
12	REACH- IN FREEZER	TRUE MFG.	T-23F-HC	27" W X 29 1/2" D X 78 3/8" H	
13	ICE MAKER - SELF CONTAINED	SCOTSMAN	CU0415MA-1	15" W X 24" D X 38" H	IN-DIRECT DRAIN
14	HAND SINK	ADVANCE TABCO	7-PS-23-EC-1X	12" W X 16" D X 30" H	1.5" DIRECT DRAIN
15	VEGETABLE SINK	ADVANCE TABCO	FE-1-1824-X	23" W X 29.75" D X 43.5" H	IN-DIRECT DRAIN
16	REFRIGERATED RAIL	TURBO AIR	CTST-1800-13-N	70 7/8" W X 15" D X 10" H	

**DEMOLITION / PROPOSED PLAN**

Seal: Architect Thomas E. Haynes  
Original filing date: 01.04.2022  
drawn by:  
checked by:  
drawing no.:

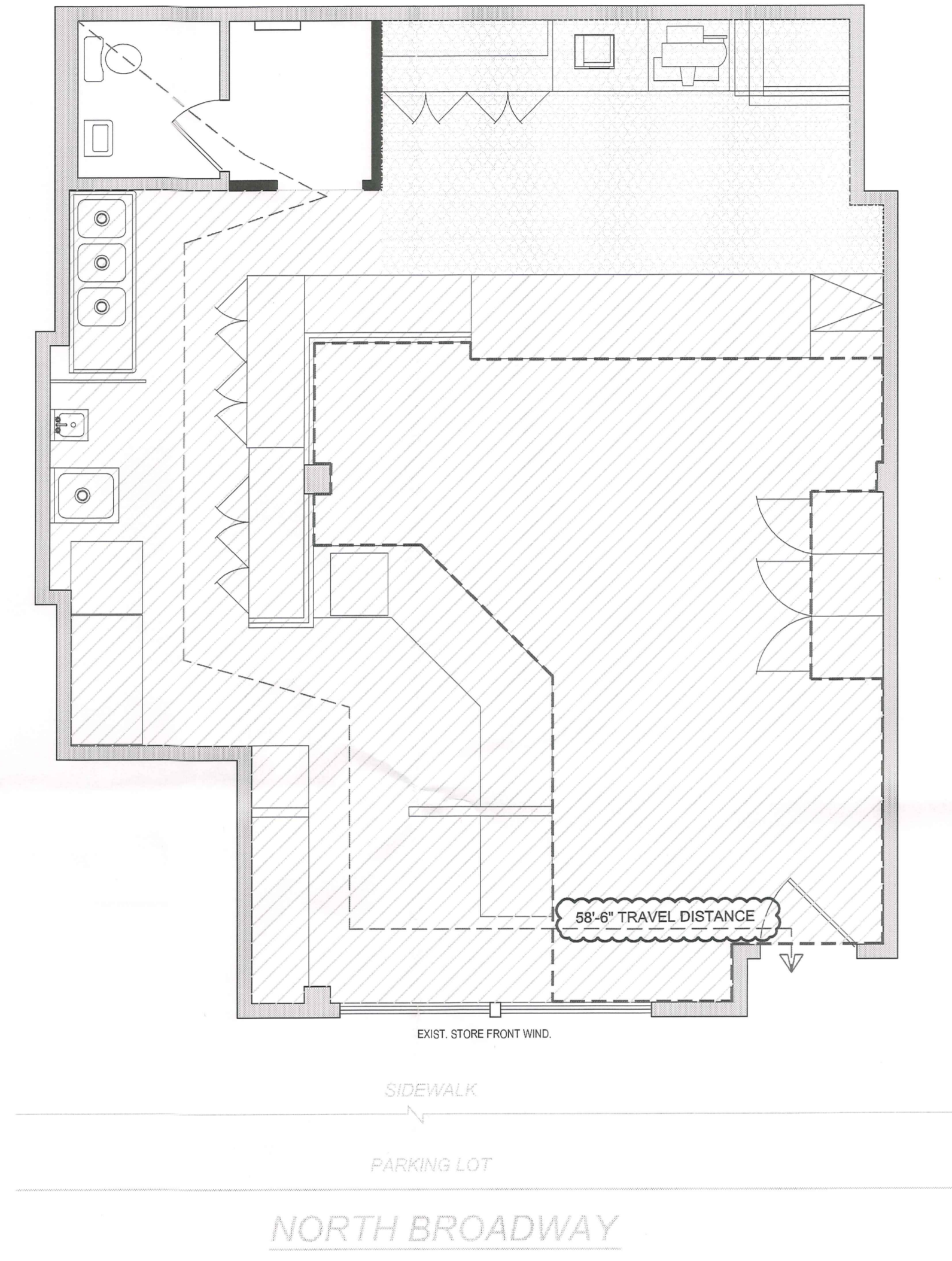


JOB NUMBER: 2186 A.02

**OCCUPANCY LEGEND**

SALES AREA = USE	689.30 SF.
KITCHEN (COMMERCIAL) = USE	148.72 SF.
PUBLIC ACCESS = AREA	297.70 SF.

TOTAL OCCUPANCY: 13 PEOPLE

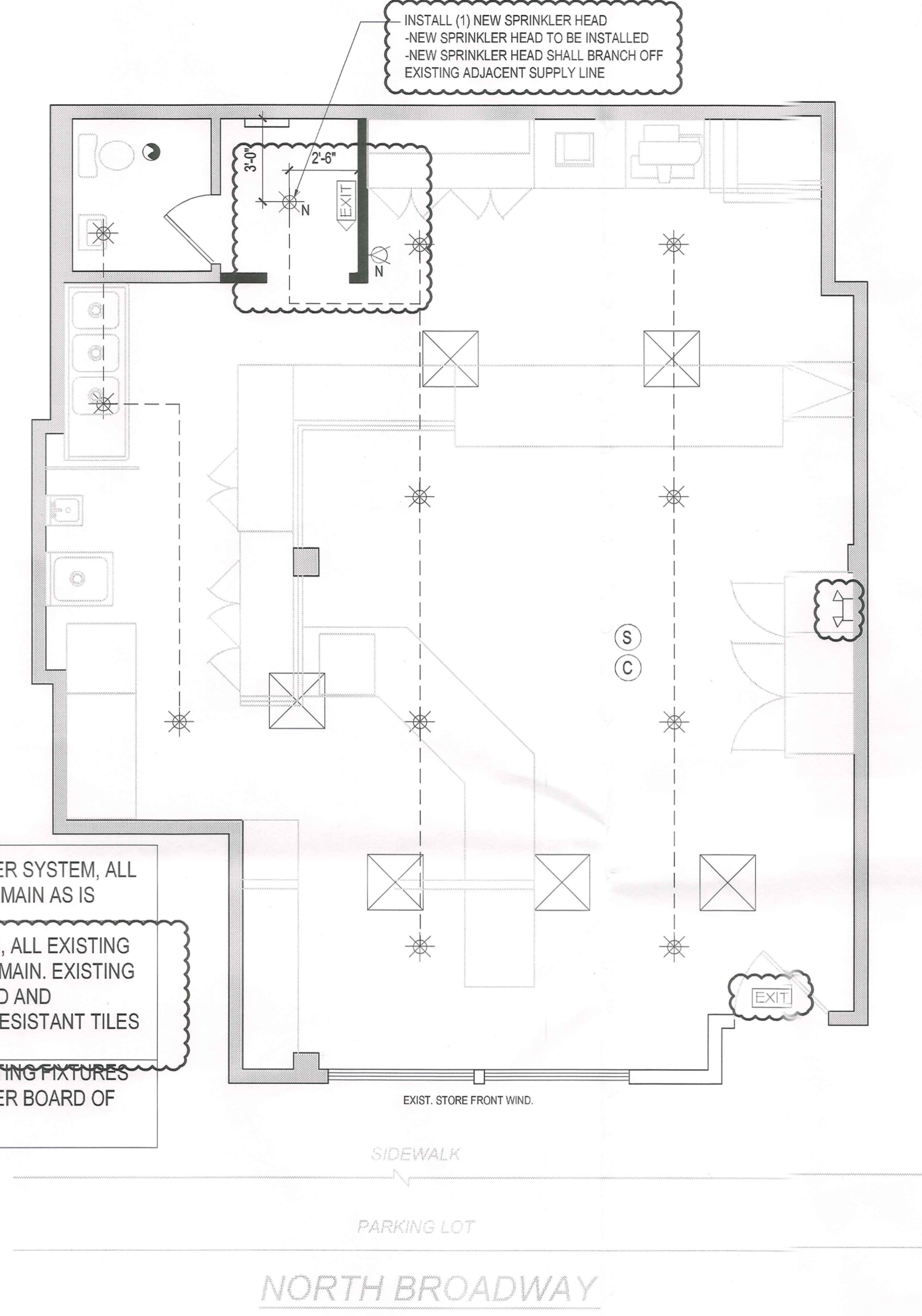


**PROPOSED OCCUPANCY: GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FIXTURE LEGEND**

(S)	SMOKE DETECTOR
(C)	CARBON MONOXIDE DETECTOR
⊗	EXISTING HVAC SUPPLY
⊕	EXISTING HORW STROBE
⊛	EXISTING SPRINKLER HEAD
⊛*	NEW SPRINKLER HEAD
⊙	EXISTING EXHAUST FAN
EXIT	EXISTING ILLUMINATED EXIT SIGN
EXIT	NEW DIRECTION ILLUMINATED EXIT SIGN
⊕	WALL MOUNTED K-TYPE FIRE EXTINGUISHER

- NOTE: NO CHANGE TO EXISTING SPRINKLER SYSTEM, ALL EXISTING SPRINKLER HEADS TO REMAIN AS IS
- NOTE: NO CHANGE TO EXISTING LIGHTING, ALL EXISTING LIGHTING AND CEILING GRID TO REMAIN. EXISTING 2'X2' CEILING TILES TO BE REMOVED AND REPLACED W/ NEW CLASS A FIRE RESISTANT TILES TO MATCH EXISTING
- NOTE: PROVIDE LIGHT SHIELD OVER EXISTING PICTURES IN PREP AND KITCHEN AREAS AS PER BOARD OF HEALTH REQUIREMENTS



**EXISTING SPRINKLER PLAN**  
SCALE: 1/4" = 1'-0"

Proposed Change of Use/  
Interior Alterations at:  
**731 North Broadway**  
White Plains, New York

OCCUPANCY PLAN  
EXISTING RCP

Seal: Architect Thomas E. Haynes original filing date: 01.04.2022

drawn by: \_\_\_\_\_  
checked by: \_\_\_\_\_  
drawing no.: \_\_\_\_\_

JOB NUMBER: 2186 A.03

