



April 8, 2022

Mr. Adam R. Kaufman, AICP
Director of Planning
Town of North Castle
17 Bedford Road
Armonk, NY 10504

***RE: Application for Special Use Permit Approval
 Barn Accessory Structure – 1 Ashfields Lane***

Dear Mr. Kaufman,

On behalf of Ashfields Lane, LLC, the owner of 1 Ashfields Lane, we are pleased to submit the enclosed Application for Special Use Permit Approval for the construction of a barn accessory structure. In the southeastern portion of the property, our client is proposing to build a 36ft x 34ft barn to store equipment and tools used to maintain the 11.31 acre residential property. The property is a corner lot located in the R-2A zone on the west side of the intersection between Ashfields Lane and Cowdray Park Drive within the Conyers Farm living community.

The property is currently developed with a single-family residence, detached storage shed, in-ground pool, and other ancillary improvements typically found on a residential property. The property is served by an on-site well and septic system. The site does not lie within the New York City Water System Watershed and is outside of FEMA special flood hazard areas. A Survey of the property prepared by S.E. Minor, dated December 22, 1998, indicate the presence of wetland soils in the undeveloped northwest corner of the property. The proposed barn is over 400 feet removed from the limit of wetland soils depicted on the referenced map.

The proposed barn structure is in the southeast corner of the property, between the existing paddock and the property line abutting the Cowdray Park Drive right-of-way. The primary purpose of the barn is to provide enclosed storage space for personal landscaping equipment and home improvement tools. The barn design is provided by Country Carpenters, Inc. and will be slab-on-grade construction with a partial second floor. The building is not proposed to be served by any utility, plumbing, or septic system. Town Code section 355-21. "Schedule of Residence District Regulations permitted accessory uses #5" provides use and structure requirements that apply to the proposed barn. The regulation reads as follows:

"Private gardenhouses, toolhouses, greenhouses, gatehouses, garages or similar private accessory uses not over 1 story and 15 feet in height and limited to 800 square feet in area, except that the Planning Board may, by special permit, authorize the construction of accessory buildings not over 2 stories or 22 feet in height, provided that any such individual accessory building does not exceed 25% of the floor area of the main building, and further provided that all such accessory buildings

meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard.”

The total floor area of the proposed barn is 1,824 sq.ft.; 13% of the primary residence’s floor area (14,008 sq.ft. per building permit#10455). The height of the barn, measured from the calculated average grade to the median point of the roof, is 19.4ft. The barn meets all minimum yard setback requirements; however, it is located within the front yard as defined by § 355-4. The definition for the front yard reads as follows:

“A yard extending across the full width of the lot and lying between the front line of the lot and the nearest line of the building.”

The primary residence is set back from the front property line by 336±ft; 286ft farther than the minimum yard setback requirement of 50ft. This setback is in keeping with the Conyers Farm Planning and Architectural Review Committee (PARC) design guidelines which dictate a 150ft min. setback for a primary residence. Consequently, 40% of the property is in the “front yard”. The proposed barn is 107 ft from Ashfields Lane & well screened by existing trees and vegetation from both Cowdray Park Drive and Ashfields Lane. Its location is adjacent to an existing paddock. The property owner has already obtained PARC approval to build the barn. An Application for Zoning Variance is being filed with the Town of North Castle Zoning Board of Appeals to permit the barn within the “front yard”.

Construction is expected to disturb 4,150 sq.ft. of land and will result in 1,503 sq.ft. of additional on-site impervious coverage. A stormwater management system is proposed to mitigate the increase in coverage. The system provides both water quality enhancements and peak flow attenuation through the 100-year storm event. A sediment and erosion control plan has been provided to minimize erosion and contain & properly dispose of any accumulated sediment during construction. It should be noted that we do not anticipate any impact to existing trees. An in-depth explanation of the proposed stormwater and sediment & erosion control improvements is provided within the enclosed Site Engineering Report.

In support of this Application for Special Use Permit Approval, we provide the following attached documents:

- Application Fee, \$200, check payable to the Town of North Castle
- Completed Application for Special Use Permit Approval
- Site Engineering Drawings (SE-1 through SE-3), prepared and certified by Redniss & Mead, dated April 8, 2022
- Barn Architectural Plans & Elevations (A1.31B through A2.31), prepared by Country Carpenters, Inc., dated March 16, 2022
- Completed Short Environmental Assessment Form
- Barn Average Grade Calculation & Exhibit, prepared by Redniss & Mead, dated April 8, 2022

- Gross Land Coverage Calculations Worksheet & Exhibit, prepared by Redniss & Mead, dated April 8, 2022
- Floor Area Calculations Worksheet & supporting documentation, prepared by Redniss & mead, dated April 8, 2022
- Site Engineering Report, prepared and certified by Redniss & Mead, Inc. dated April 8, 2022

One hard copy of each document listed above is enclosed in accordance with the application guidelines. Once the application is deemed complete, we will submit the additional hard copies. As noted above, we are concurrently filing an Application for Zoning Variance with the Town of North Castle Zoning Board of Appeals. The property owner will contact you directly to prepare the required escrow account. We look forward to presenting the plans for this proposal at the next available Planning Board meeting. Should you or your staff have any questions or comments in the interim, please do not hesitate to contact me.

Sincerely,



Andrew M. Kuzmich, P.E.

Enclosures

cc (w/ Enc.): 1 Ashfields Lane LLC



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WESTCHESTER COUNTY
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PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

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Application for Special Use Permit Approval

Application Name

Selkin Residence - Barn Accessory Structure



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Important General Information

- Prior to submitting an application, the "Notice to Applicants" should be reviewed.
- To appear before the Planning Board, all required application materials shall be submitted not later than **12:00 P.M., Monday, fourteen (14) days** prior to the date of the Planning Board meeting at which the application is scheduled to be heard or as otherwise noted by the Planning Board Secretary. Continuing Business can be submitted 12 days prior to the Next Planning Board meeting by the close of business. Except where noted.

If all required application materials, including the pertinent application fee and escrow monies are not submitted by that deadline, the application shall be automatically removed from the agenda.

At the discretion of the Planning Board Chairman, the application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Without prior authorization from the Planning Board, application submissions shall not be accepted at Planning Board meetings.

- At the time of submission, all required application materials shall be submitted. **Piecemeal** submissions **shall not** be accepted. Substitution of previously submitted materials shall not be permitted.
- All submissions shall be dated, with revision dates identified on new submissions.
- All submissions shall be accompanied by a cover letter describing the project and/or any changes as compared to previous submissions.
- For distribution purposes and mailing to the Planning Board Members and others (as required), multiple copies of application materials shall be collated into separate sets, each containing one copy of every submitted document. All application materials shall be submitted in a form that fits into a **12" x 17" envelope**. Plans shall be **folded** and **rubber banded** as necessary.
- To be considered complete for Planning Board hearing purposes, an application package shall contain the information identified in Parts IV and V of this application form.
- For purposes of completing this application form, all responses provided shall be printed, except as otherwise specified.



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NOTICE TO APPLICANTS

In the Town of North Castle, the Planning Board is responsible for the review and approval of all applications concerning site plans, subdivisions and lot line changes; some applications concerning special use permits, wetlands permits and tree removal permits; and the environmental review of those applications over which it has jurisdiction. The Planning Board may also have an advisory role in connection with some applications before the Town Board, such as those involving other categories of special use permits and zoning amendments.

The Planning Board is composed of five volunteer members – all residents of North Castle – who are appointed by the Town Board for five-year terms. As part of the review of some applications, the Planning Board is assisted on an as-needed basis by other lay boards of the Town, such as the Conservation Board (CB), the Zoning Board of Appeals (ZBA), the Open Space Committee and the Architectural Review Board (ARB). As part of the review of most applications, the Planning Board is also assisted by the Director of Planning, the Town Engineer, the Town Attorney and other special consultants when required.

FEES:

If you submit an application for Planning Board review, you will be required to reimburse the Town for the cost of professional review services, including legal and engineering services, incurred in connection with the review of your application. The charges for professional planning review services have been \$120/hour. If other types of professional consultant review services are required, those charges will be in accord with fees usually charged for such services and pursuant to a contractual agreement between the Town and such professional.

At the time of submission of an application, the Planning Board will require the establishment of an escrow account from which withdrawals shall be made to reimburse the Town for the cost of consultant fees and professional staff services.

ESCROW ACCOUNT:

Escrow Accounts are established for each application. Monies will be deducted from the account for professional review services rendered. Monthly escrow disbursement summaries will be mailed for your reference regarding your project. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, a letter will be mailed to the applicant and the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit. Additional information on these requirements is provided in the North Castle Town Code (see Sections 355-79B and 275-36.C).



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PROCEDURE:

Prior to submitting an application to the Planning Board for review and approval, prospective applicants should schedule an appointment with the Planning Board Secretary at (914) 273-3542 for a consultation with the Town Planner and the Town Engineer. When the appointment is made, a verbal description of the proposal should be provided to the Planning Board Secretary. The Town of North Castle is providing the services of the Director of Planning and the Town Engineer for *initial* consultation at no cost to the applicant so that it is possible to conduct the application review as efficiently as possible for the benefit of the applicant as well as the Planning Board.

After meeting with the Town Planner and Town Engineer, prospective applicants should prepare one complete set of application documents and plans. This set will be reviewed for completeness by the Town Planner. If determined to be incomplete, the Planning Department will submit a checklist indicating which items have not been adequately addressed. If determined to be complete, the checklist will be initialed and the Applicant should submit the remainder of the required application packages.

Once the checklist has been initialed and all application packages have been submitted, the Planning Board Secretary will schedule the application for the first available opening on the Planning Board's meeting agenda. However, if the required application material packages, including the pertinent application fee are not received at the Planning Board office by 12:00 PM, Monday, 14 days prior to the date of the Planning Board meeting at which you are scheduled to appear (or otherwise scheduled by the Planning Board Secretary), your application will be automatically removed from the agenda. At the discretion of the Planning Board Chairman, your application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Additional requirements pertinent to each type of application are provided on the individual application forms, which you should carefully review prior to submitting your application.

When an application is deemed complete and submitted for review, it will be forwarded to the Planning Board Members and its professional advisors in advance of the meeting to allow adequate time for review, preparation of written reports and site inspections as necessary. Your application may also be forwarded to other boards and staff of the Town as well as to agencies outside of the Town, if required. Compliance with State Environmental Quality Review (SEQR) procedures is also required as part of the processing of all applications.

At your first appearance before the Planning Board, the Applicant will describe the project and the Planning Board will discuss any preliminary issues. The Planning Board discussion may be continued at future meetings, or if the Planning Board review has progressed sufficiently, the Application may be scheduled for a public hearing (if one is required) The public hearing may occur at a single Planning Board meeting, or it may be adjourned and continued at another Planning Board meeting. Because the nature and complexity of each application varies



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considerably, it is not possible to predict in advance the length of time needed to secure Planning Board approval. There are certain steps that you can take, however, to expedite the review process. These include, but are not limited to, the following:

- Be thoroughly familiar with the requirements pertinent to your application. Carefully review relevant provisions of the North Castle Town Code and the application form for your particular type of application. Be sure to check on what other types of approvals may be required in addition to that of the Planning Board. Approvals by other Town boards or departments as well as agencies outside of the Town may be required before you will be allowed to proceed with your project.
- Make sure that your application materials are accurately prepared and contain all required information. The information that we initially request is required, so make sure that your submission is complete. If supplementary information is requested as the review process continues, make sure that it is submitted in a timely fashion so the Planning Board can continue to move your application along.
- Follow up to make sure that your application materials are being submitted on time, or deliver them to the Planning office yourself.
- Attend the Planning Board meeting at which your application will be discussed and be on time for the meeting. If you cannot appear personally, make sure that your representative will be there and is thoroughly familiar with your application.

If the Application is approved by the Planning Board, a resolution of approval will be adopted by the Planning Board. It is the Applicant's responsibility to address any and all conditions of approval. Permits from the Building Department cannot be issued until all conditions have been addressed and the plans have been signed by the Planning Board Chair and the Town Engineer.

**ON LINE AGENDAS & PLANNING DEPARTMENT MEMORANDA CAN BE
REVIEWED AT**

WWW.NORTHCASTLENY.COM



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INFORMATION REGARDING PUBLIC HEARINGS

1. The North Castle Assessor's Office shall prepare a list of neighbors to be notified for the neighbor notifications and public hearings - **A minimum of one week's notice is required**. The fee is \$50.00 which includes the list of neighbors and two sets of labels for mailing. The Assessor's Office may be reached Monday – Friday from 8:30 a.m.– 4:30 p.m. at 273-3324. You may also e-mail your request to assessor@northcastleny.com

When requesting your list please reference the list of application types below so that you can tell the Assessor's office how many feet on all sides of the property to create the list for.

Subdivisions - All lots zoned R-10, R-5 and R-2F shall notice all neighbors within 200 feet from all sides of their property. All other zoning districts shall notice neighbors within 500 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Special Use Permit for Structures over 800 sq ft. & Accessory Apartment - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Site Plan, Non Residential - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Site Plan, Residential/ Neighbor Notification – All zoning districts R-3/4A or smaller shall notice all neighbors within 250' from all sides of their property. All zoning districts zoned R-1A or larger shall notice all neighbors within 500' from all sides of the property. No public hearing required, no publication in the newspaper required.

Wetlands Permit - All Zoning Districts shall notice all abutting property owners. Public hearing notice must be published in the newspaper.

2. The Director of Planning will prepare a Public Notice. The applicant and or professional will review, sign, date and return to the Planning Department Secretary. If there are any changes necessary, please edit and return for corrections. The corrections will be made and emailed back to the applicant who will forward it to the Journal Newspaper, when applicable.

If notification to the newspaper is not required, please continue to #3.



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You may email your public notice to legals@lohud.com. Please request an affidavit of publication which must be submitted to the Planning Board secretary prior to the public hearing. The Journal News requires three days prior notice before 12 noon, not counting weekends and holidays, for ad placement. Make sure the notice placement of the ad in the Greater Westchester Area. This notice cannot be published any sooner than 20 days prior to the meeting and must be published no less than 10 days prior to the meeting.

If you have any questions regarding your publication you may call 888-516-9220:
Email Address: legals@lohud.com

It is suggested that you purchase the newspaper for your records the day the notice is published.

3. Send out the Public Hearing Notice/ Neighbor Notification by First Class Mail. Notice shall be mailed by the applicant in official envelopes provided by the North Castle Planning Department; the list of noticed neighbors will be prepared by the Assessor's Office. This must be sent out no less than 10 days prior to the meeting and no more than 20 days prior to the meeting date. A Certificate of Mailing (PS Form 3817 or 3877) shall be filled out and post marked by the Post Office on the day of mailing. Neighbor Notifications – no publication in the newspaper required.
4. The Friday before the meeting or no later than 12:00 p.m. the day of the meeting the following **must** be submitted.
 - List of Neighbors prepared by the Assessor's Office
 - Certificate of Mailing – PS form 3817 or 3877 post marked by the US Post Office
 - Affidavit of publication from the Newspaper (only if published in the newspaper)



Name and Address of Sender

Check type of mail or service

Adult Signature Required Priority Mail Express
 Adult Signature Restricted Delivery Registered Mail
 Certified Mail Return Receipt for Merchandise
 Certified Mail Restricted Delivery Signature Confirmation
 Collect on Delivery (COD) Signature Confirmation Restricted Delivery
 Insured Mail
 Priority Mail

Affix Stamp Here
(if issued as an international certificate of mailing or for additional copies of this receipt).
Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.				Handling Charge - if Registered and over \$50,000 in value											
2.															
3.															
4.									Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.															
6.															
7.															
8.															
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)													



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APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fees



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

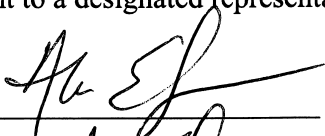
Name of Property Owner: <u>Ashfields Lane LLC</u>
Mailing Address: <u>1 Ashfields Lane, Greenwich, CT 06831</u>
Telephone: <u>203-536-1124</u> Fax: _____ e-mail <u>selkinmd@aol.com</u>
Name of Applicant (if different): _____
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner: _____
Name of Professional Preparing Site Plan: <u>Craig J. Flaherty, P.E. (Redniss & Mead, PC)</u>
Address: <u>22 First Street, Stamford, CT 06905</u>
Telephone: <u>(203)327-0500</u> Fax: _____ e-mail <u>c.flaherty@rednissmead.com</u>
Name of Other Professional: <u>Country Carpenters, Inc.</u>
Address: <u>326 Gilead Street, Hebron, CT 06248</u>
Telephone: <u>(860)228-2276</u> Fax: _____ e-mail <u>pbaker@countrycarpenters.com</u>
Applicant Representative Name of Other Professional : <u>Andrew M. Kuzmich, P.E. (Redniss & Mead, PC)</u>
Address: <u>22 First Street, Stamford, CT 06905</u>
Telephone: <u>(203)327-0500</u> Fax: _____ e-mail <u>a.kuzmich@rednissmead.com</u>
Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

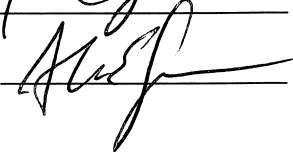
Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 3-22-2022

Signature of Property Owner:  Date: 3-22-2022

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 1 Ashfields Lane

Location (in relation to nearest intersecting street):

0 feet (north) (north, south, east or west) of Cowdray Park Drive (corner lot)

Abutting Street(s): Ashfields Lane, Cowdray Park Drive

Tax Map Designation (NEW): Section 102.03 Block 2 Lot 36

Tax Map Designation (OLD): Section 1 Block 11 Lot 11.-12

Zoning District: R-2A Total Land Area 492,742 sq.ft. (11.31 acres)

Land Area in North Castle Only (if different) _____

Fire District(s) #3 School District(s) Byram Hills Cent. School Dist. (553801)

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No X Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Special Use Permit:

Accessory Apartment _____

Accessory Structure over 800 square feet

Gross Floor Area: Existing n/a S.F. Proposed 1,824 S.F.

Number of Parking Spaces: Existing 6 Proposed 6(no change)

Earthwork Balance: Cut 146 C.Y. Fill 127 C.Y. 21 C.Y. Fill (net)

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The special use permit application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the special use permit application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary special use permit checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the special use permit application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SPECIAL USE PERMIT SITE PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the special use permit plan for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 355 Article VII of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for special use permit approval.

The application for special use permit approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location use and design of existing buildings, identifying first floor elevation, and other structures.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- Location, type, direction, power and time of use of existing outdoor lighting.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor plans and elevations.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- Proposed sight distance at all points of vehicular access.
- Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- Location, type, direction, power and time of use of proposed outdoor lighting.

- n/a Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- x The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- x Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- x Proposed soil erosion and sedimentation control measures.
- n/a For all proposed plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- n/a For all proposed plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- n/a For all proposed plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

The special use permit application package shall also include a narrative document that demonstrates compliance with the following:

- x The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such use.
- x The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.
- x Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.
- n/a Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.
- n/a Where required, The provisions of the Town Flood Hazard Ordinance shall be met.
- x The proposed special permit use will not have a significant adverse effect on the environment.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO	YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO	YES
3.a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____				
<input type="checkbox"/> Parkland				

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p>	<p>YES</p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p>	<p>YES</p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p>	<p>YES</p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: _____ Date: _____</p> <p>Signature: <u>Craig J. Flaherty</u></p>		



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: 1 Ashfields Ln - Barn Date: April 8, 2022

Tax Map Designation or Proposed Lot No.: 102.03-2-36

Floor Area

- | | | |
|-----|--|------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>492,741 sq.ft.</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>23,162 sq.ft.</u> |
| 3. | Amount of floor area contained within first floor:
(see below) existing + <u>0</u> proposed = | <u>(see below)</u> |
| 4. | Amount of floor area contained within second floor:
(see below) existing + <u>0</u> proposed = | <u>(see below)</u> |
| 5. | Amount of floor area contained within garage:
(see below) existing + <u>0</u> proposed = | <u>(see below)</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
(see below) existing + <u>0</u> proposed = | <u>(see below)</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
(see below) existing + <u>0</u> proposed = | <u>(see below)</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
(see below) existing + <u>0</u> proposed = | <u>(see below)</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>456</u> existing + <u>1,824</u> proposed = | <u>2,280 sq.ft.</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>16,288 sq.ft. *</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.

 Signature and Seal of Professional Preparing Worksheet



4/7/2022
 Date

*** Proposed floor area includes the existing residence, existing shed and proposed barn structure. 14,008 sq.ft. is utilized for the existing residence as provided on building permit #10455. 456 sq.ft. is utilized for the existing shed as provided on building permit #2013-3712. 1,824 sq.ft. is utilized for the proposed barn per building plans provided by Country Carpenters.**

TOWN OF NORTH CASTLE
17 BEDFORD ROAD
ARMONK, N.Y. 10504

CERTIFICATE OF OCCUPANCY

CO No: 8204

CO Date: 2/19/99

CO FEE: \$20.00

SEC-BLK-LOT: 1/11/11.-12

ZONED: R2A

Location: 1 ASHFIELDS LANE GREENWICH, CT 06831

Building Permit No: 10455

THIS CERTIFIES that the structure described herein, conforms substantially to the approved plans and specifications heretofore filed in this office with Application for Building Permit dated: 1/23/98, pursuant to which Building Permit was issued, and conforms to all the requirements of the applicable provisions of the law.

The structure for which this certificate is issued is as follows:

Permit Type: 101

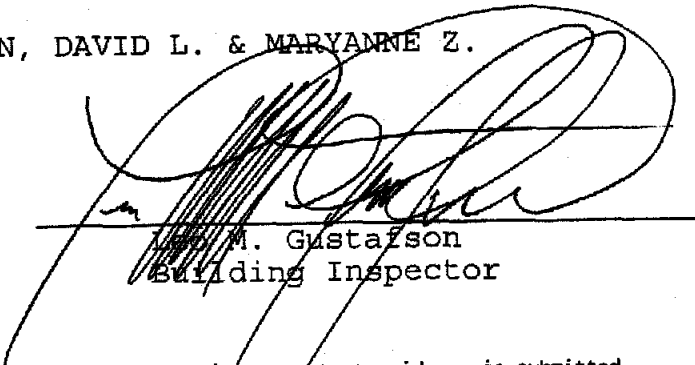
Number of Families: 1

Use of Permit: RES:1-FAMILY

Number of Bedrooms: 5

Descr of Constr: ONE FAMILY RESIDENCE

This certificate is issued to: TASHJIAN, DAVID L. & MARYANNE Z.
for the aforesaid structure.



M. Gustafson
Building Inspector

(The Certificate of Occupancy will be issued only after affidavits or other competent evidence is submitted to the Superintendent of Buildings that the completion of the construction in compliance with the State Building Construction Code and with other laws, ordinances or regulations affecting the premises, and in conformity with the approved plans and specifications. A final electrical, plumbing, heating or sanitation certificate or other evidence of compliance may be required before the issuance of the Certificate of Occupancy).

BUILDING PERMIT

TOWN OF NORTH CASTLE

17 BEDFORD ROAD

ARMONK, N.Y. 10504

Permit No: 10455

File Date: 1/23/98

Exp. Date: 01/23/00

SEC-BLK-LOT: 1/11/11.-12.

Permit Fee: 4617.00

ZONED: R2A

CO Fee: 20.00

ARB-FINL-APPR: 08/18/97

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure described herein:

Owner's Name: LINDEMANN FRAYDA ETAL, TRUSTEES (TASHJIAN)

Address: ACTIVATED COMMUNICATIONS INC. 767 FIFTH AVE 50TH

Architect's Name: ALAN WANZENBERG ARCHITECT. PC

Address: 211 WEST 61ST. NEW YORK, NY 10023

Builder's Name: BOURKE & MATTHEWS

Address: 779 NORTH ST. GREENWICH, CT 06831

Plumber's Name: TO BE DETERMINED

Address:

Electrician's Name: TO BE DETERMINED

Address:

Location: 38 COWDRAY PARK DRIVE GREENWICH, CT 06831

Number of Stories: 0.2	Number of Families: 1	Number of Rooms: 14
Number of Bedrooms: 5	Number of Bathrooms: 0.0	Sq Ft Living Area: 10797.00
Use of Permit: RES/1-FAMILY		Sq Ft Total Area: 14008.00
Type of Permit: 101	Set Back Front: 50	Set Back Rear: 50
	Set Back Side: 30	Set Back Other Side: 30

Description of Construction: ONE FAMILY RESIDENCE

Approximate Cost: \$\$1,006,000.00

IMPORTANT

1. A permit under which no work has commenced within twelve (12) months after issuance, shall expire by limitation, and a new permit must be secured before work can begin.
2. It is the responsibility of the owner and/or contractor to comply with all applicable Town and State ordinances and to call for the required inspections at least one day in advance.
3. Occupancy of these premises is prohibited until after final inspection and Certificate of Occupancy or Compliance has been issued.
4. Any change in construction or design of this project requires new plans submitted and approved by the Town Building Department.

Leo J. Gustafson
Building Inspector

COMMENT NOTED BY TOWN ENGINEER, DAN HOLT- LAST SECTION OF PIPE TO BE CMP-NOT PVC AT POINT WHERE DRAINAGE SYSTEM CONNECTS TO STREET SYSTEM.



Town of North Castle
17 Bedford Rd.
Armonk, NEW YORK 10504

CERTIFICATE OF COMPLIANCE

Certificate No: 2013-2245
SBL: 102.03-2-36
Original SBL: 1/11/11.-12
Location: 1 Ashfields Ln
Owner: Ashfields Lane LLC

Date of Issue: 5/21/2013
Zoned: R2A
Building Permit No: 2013-3712
Permit Issued: 4/1/2013

THIS CERTIFIES that the structure described herein, conforms substantially to the approved plans and specifications heretofore filed in this office with the Building Permit, issued 4/1/2013, and conforms to all the requirements of the applicable provisions of the law.

Description of Construction:

LEGALIZE 12 X 38 UTILITY SHED PLACED ON CRUSHED GRAVEL BASE

This certificate is issued to: Ashfields Lane LLC for the aforesaid structure.


BUILDING INSPECTOR

(The Certificate of Occupancy will be issued only after affidavits or other competent evidence is submitted to the Superintendent of Buildings that the completion of the construction in compliance with State Building Construction Code and with other laws, ordinances or regulations affecting the premises, and in conformity with the approved plans and specifications. A final electrical, plumbing, heating or sanitation certificate or other evidence of compliance may be required before the issuance of the Certificate of Occupancy.)



Town of North Castle

17 Bedford Rd.
Armonk, NEW YORK 10504

BUILDING PERMIT

Permit #: 2013-3712
SBL #: 102.03-2-36
Original SBL: 1/11/11.-12
Zoned: R2A
Location: 1 Ashfields Ln
Owner: Ashfields Lane LLC
1 Ashfields Ln
Greenwich CT 06831

File Date: 4/1/2013
Expiration Date: 4/1/2014
Cost of Construction: \$15,000.00
BLDFE: \$150.00
TRACK: \$40.00

A permit is hereby given by the Building Department, TOWN OF NORTH CASTLE, COUNTY OF WESTCHESTER, for the structure described herein.

Project Description:

LEGALIZE 12 X 38 UTILITY SHED PLACED ON CRUSHED GRAVEL BASE

Number of Stories:
Number of Families:
Number of Rooms:
Number of Bedrooms:
Number of Bathrooms:

Sq Ft Living Area:
Sq Ft Total Area:
Set Back Front:
Set Back Side:
Set Back Rear:

1. A permit under which no work has commenced within twelve (12) months after issuance, shall expire by limitation, and a new permit must be secured before work can begin.
2. It is the responsibility of the owner and/or contractor to comply with all applicable Town and State ordinances and to call for the required inspections at least one day in advance.
3. Occupancy of these premises is prohibited until after final inspection and Certificate of Occupancy or Compliance has been issued.
4. Any change in construction or design of this project requires new plans submitted and approved by the Town Building Department.
5. Certificate of Occupancy or Compliance will not be issued until all due fees have been paid.
6. **It is the permit bearer's responsibility to schedule all necessary inspections.**

Building Inspector

APPLICATION FOR BUILDING PERMIT TOWN OF NORTH CASTLE BUILDING DEPARTMENT

17 BEDFORD ROAD ARMONK, NY 10504 PHONE # (914) 273-8625

PERMIT FEE: \$ 150

ARB FEE: \$ _____

C. O. FEE: \$ _____

APPLICATION FEE: \$ 40

TOTAL FEE: \$ 150

TRACKING #: _____

PERMIT # 13-3712 Date Issued: 4/1/13 APPLICATION DATE: 1/1/13

C. O. # _____ Date Issued: 1/1/13

PROPERTY LOCATION: 1 ASHFIELDS LANE, TOWN OF NORTH CASTLE

Section: 1 Block: 11 Lot: 11-12 Zoning District: _____

Setbacks Shown: Front: _____ Side: _____ Rear: _____

Setbacks Required: Front: _____ Side: _____ Rear: _____



Owner: ASHFIELDS LANE, LLC Address: 1 ASHFIELDS LN Phone: (203) 536-1123

* MAILING ADDRESS: 1 ASHFIELDS LN ARMONK, NY

Email: JSELKIN@AOL.COM

Architect: GREENWICH, CT Address: _____
06831

Phone: () -

Email: _____

Builder: JAMAICA Address: 170 WIMHALL
COTTAGE SHOP STATION RD
SOUTH LONDONDERRY, VT
05155

Phone: (802) 297-3760

Email: _____

Plumber: N/A Address: _____

Phone: () -

Email: _____

Electrician: SUPER K Electric Address: 109 HAMILTON AVE #1
STAMFORD, CT 06902

Phone: (203) 322-7720

Email: _____

Lessee: N/A Address: _____

Phone: () -

Email: _____

RECEIVED

Do you have any intention of tearing down a house to build a new house within the next SIX (6) months? Yes No

Do you have any intention to expand a house over 1500 square feet within the next SIX (6) months? Yes No

If the Planning Board has granted you approval previously, on what dates were you approved? (List Below)

TOWN OF NORTH CASTLE
BUILDING DEPARTMENT

ESTIMATED CONSTRUCTION VALUE: \$ 15,000

APPLICATION FOR:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Residence | <input type="checkbox"/> Residential | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> New Commercial | <input type="checkbox"/> Commercial | <input type="checkbox"/> Other |
| <input type="checkbox"/> 1-Family | <input type="checkbox"/> Addition/Alteration | <input type="checkbox"/> Excavation |
| <input type="checkbox"/> 2-Family | <input type="checkbox"/> Accessory Building | <input type="checkbox"/> Fence - (Lin. Ft. <u> </u>) |
| <input type="checkbox"/> Multi-Family | <input type="checkbox"/> Accessory Apartment | <input type="checkbox"/> Finished Basement |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Deck | <input type="checkbox"/> Legalization |
| <input type="checkbox"/> Alteration (Int./Ext.)
<small>Circle Choice</small> | <input type="checkbox"/> Demolition | <input type="checkbox"/> Oil Tank (Remove/Install)
<small>Circle Choice</small> |

- Pool
- Roof
- Retaining Wall
- Shed
- Tree

DESCRIPTION OF WORK, CONSTRUCTION TYPE, AND USE AS PER NYS CODE:

12 X 38 UTILITY SHED - WOOD CONSTRUCTION
PLACED ON CRUSHED GRAVEL BASE
USE IS FOR STORAGE OF BICYCLES, LAWN FURNITURE, SPORTS EQUIPMENT

2000 SQ. FT. NEW BASEMENT/CELLAR

456 SQ. FT. NEW FIRST (1ST) FLOOR

2000 SQ. FT. NEW SECOND (2ND) FLOOR

2000 SQ. FT. NEW THIRD (3RD) FLOOR

456 TOTAL SQ. FT. OF ALL NEW CONSTRUCTION

2000 SQ. FT. OF LIVING SPACE AS PER NYS CODE

2000 NUMBER OF **BEDROOMS** TO BE CONSTRUCTED, ADDED, RENOVATED OR ALTERED

2000 NUMBER OF **BATHROOMS** TO BE CONSTRUCTED, ADDED, RENOVATED OR ALTERED

ELECTRICAL WORK IS INVOLVED IN THIS PROJECT

NO PLUMBING WORK IS INVOLVED IN THIS PROJECT

NO HVAC WORK IS INVOLVED IN THIS PROJECT

YOU MUST SHOW ON THIS APPLICATION THE NUMBER OF BOARD OF HEALTH APPROVED BEDROOMS FOR THIS LOCATION:

IT IS UNDERSTOOD AND AGREED THAT ANY PERMIT ISSUED PURSUANT HEREIN IS ON THE EXPRESS CONDITION THAT ALL PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODES AND ALL ZONING ORDINANCES OF THE TOWN OF NORTH CASTLE AND ANY AND ALL AMENDMENTS THERETO SHALL APPLY AND BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. NO CHANGES TO PLANS OR CONSTRUCTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE BUILDING INSPECTOR AND LISCENSED PROFESSIONALS.

PRINT OWNER / APPLICANT NAME: 1 ASHFIELD LN, LLC, JACQUELINE SELKIN

OWNER / APPLICANT SIGNATURE: _____



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: 1 Ashfields Ln - Barn Date: April 8, 2022

Tax Map Designation or Proposed Lot No.: 102.03-2-36

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 492,741 sq.ft.
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 43,691 sq.ft.
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
Distance principal home is beyond minimum front yard setback
169 ft x 10 = 1,690 sq.ft.
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 45,381 sq.ft.
5. Amount of lot area covered by **principal building**:
6,462 existing + 0 proposed = 6,462 sq.ft.
6. Amount of lot area covered by **accessory buildings**:
474 existing + 1,503 proposed = 1,977 sq.ft.
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0 sq.ft.
8. Amount of lot area covered by **porches**:
137 existing + 0 proposed = 137 sq.ft.
9. Amount of lot area covered by **driveway, parking areas and walkways**:
13,487 existing + 0 proposed = 13,595 sq.ft.
10. Amount of lot area covered by **terraces**:
2,420 existing + 0 proposed = 2,420 sq.ft.
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
1,548 existing + 0 proposed = 1,548 sq.ft.
12. Amount of lot area covered by **all other structures: (walls)**
1,962 existing + 0 proposed = 1,962 sq.ft.
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 28,101 sq.ft.

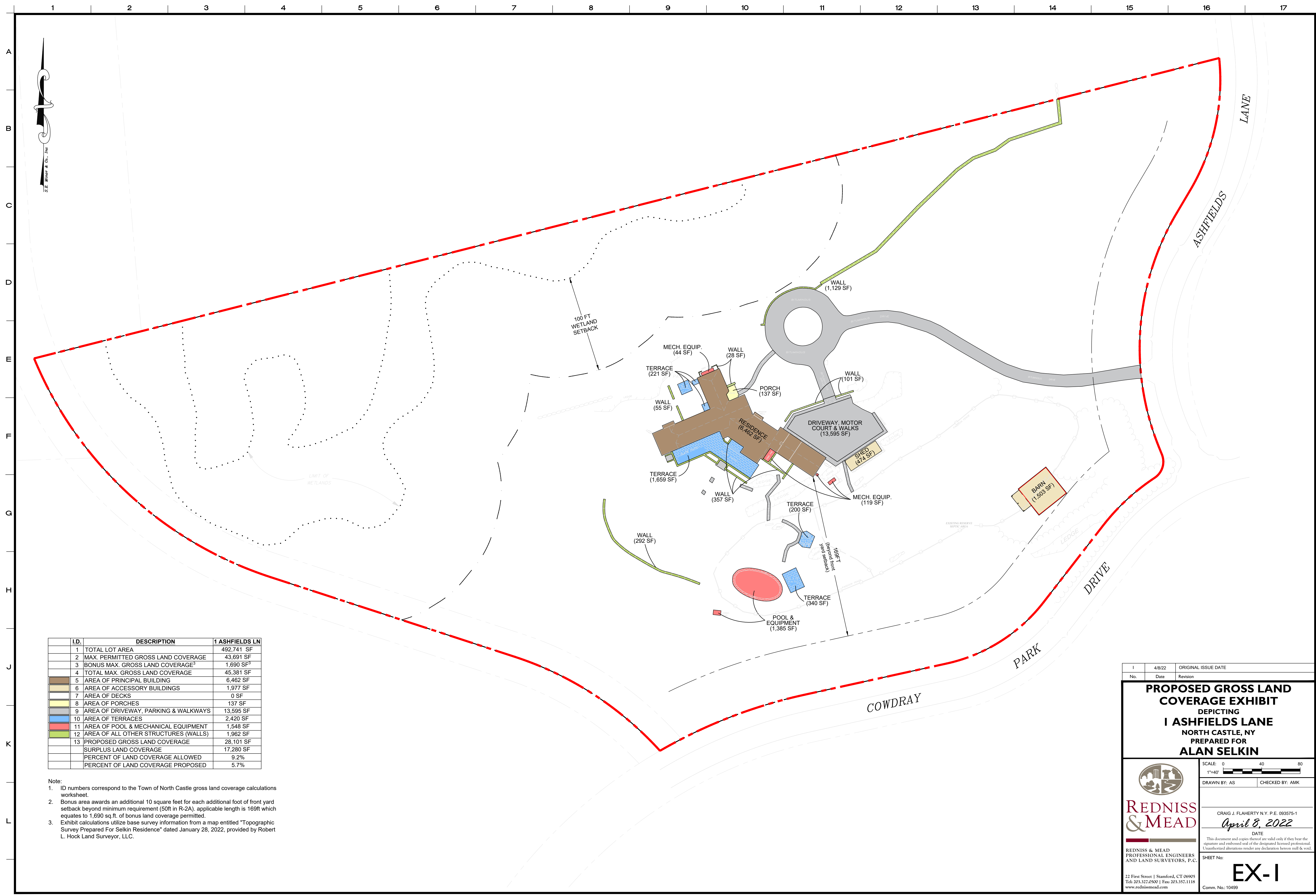
If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



4/7/2022

Date



I.D.	DESCRIPTION	1 ASHFIELDS LN
1	TOTAL LOT AREA	492,741 SF
2	MAX. PERMITTED GROSS LAND COVERAGE	43,691 SF
3	BONUS MAX. GROSS LAND COVERAGE ³	1,690 SF ³
4	TOTAL MAX. GROSS LAND COVERAGE	45,381 SF
5	AREA OF PRINCIPAL BUILDING	6,462 SF
6	AREA OF ACCESSORY BUILDINGS	1,977 SF
7	AREA OF DECKES	0 SF
8	AREA OF PORCHES	137 SF
9	AREA OF DRIVEWAY, PARKING & WALKWAYS	13,595 SF
10	AREA OF TERRACES	2,420 SF
11	AREA OF POOL & MECHANICAL EQUIPMENT	1,548 SF
12	AREA OF ALL OTHER STRUCTURES (WALLS)	1,962 SF
13	PROPOSED GROSS LAND COVERAGE	28,101 SF
	SURPLUS LAND COVERAGE	17,280 SF
	PERCENT OF LAND COVERAGE ALLOWED	9.2%
	PERCENT OF LAND COVERAGE PROPOSED	5.7%

- Note:
1. ID numbers correspond to the Town of North Castle gross land coverage calculations worksheet.
 2. Bonus area awards an additional 10 square feet for each additional foot of front yard setback beyond minimum requirement (50ft in R-2A), applicable length is 169ft which equates to 1,690 sq. ft. of bonus land coverage permitted.
 3. Exhibit calculations utilize base survey information from a map entitled "Topographic Survey Prepared For Selkin Residence" dated January 28, 2022, provided by Robert L. Hock Land Surveyor, LLC.

1	4/8/22	ORIGINAL ISSUE DATE
No.	Date	Revision

PROPOSED GROSS LAND COVERAGE EXHIBIT
 DEPICTING
1 ASHFIELDS LANE
 NORTH CASTLE, NY
 PREPARED FOR
ALAN SELKIN

SCALE: 0 40 80
 1"=40'

DRAWN BY: AS CHECKED BY: AMK

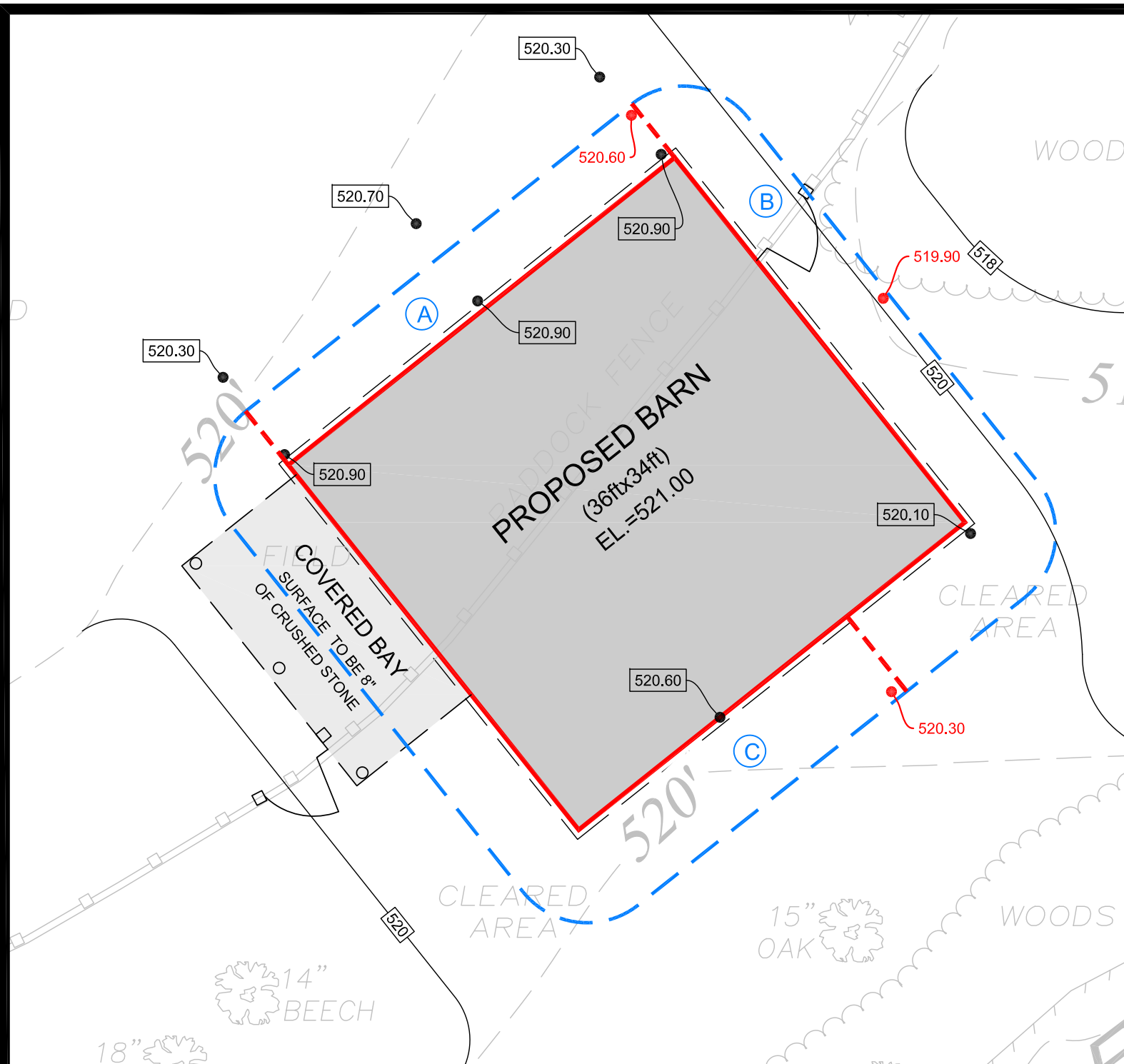
CRAIG J. FLAHERTY N.Y. P.E. 093575-1
April 8, 2022
 DATE

REDNISS & MEAD
 PROFESSIONAL ENGINEERS AND LAND SURVEYORS, P.C.

22 First Street | Stamford, CT 06905
 Tel: 203.327.8500 | Fax: 203.357.1118
 www.rednissandmead.com

SHEET No:
EX-1

Comm. No.: 10499



Client Name: Selkin Residence Job: 10499
 Site Location: 1 Ashfields Lane, North Castle, NY
 Calculated by: AMK Date: 4/8/2022

~ PROPOSED BARN ~
Average Grade Calculations
 REFER TO ATTACHED EXHIBIT

Side (A)	Lowest Elevation within 6' Envelope (B)	Length along Foundation (C)	Product (D) = (B x C)	Lowest Elevation along Foundation (E)	Length along Foundation where grade is greater than 6' below FFE (G)
A	520.6	36.0	18,741.6	520.9	0.0
B	519.9	47.0	24,435.3	520.1	0.0
C	520.3	57.0	29,657.1	520.4	0.0
Total		140.0	72,834.0	520.1	0.0

Grade Plane = 520.2 Column D/Column C
 First Floor Elev = 521.0
 Lower Level Elev = N/A
 First Floor Elev - Grade Plane = 0.8 ft
² First Floor - Lower Level Elev = N/A
³ Percent of Foundation where Grade is More than 6' Below FFE = 0.0 %
 Distance between Lowest Elevation along Foundation and FFE = 0.9 ft
 Is the Basement Considered a Story? N/A

AVERAGE GRADE EXHIBIT - BARN
1 ASHFIELDS LANE
NORTH CASTLE, NY



REDNISS & MEAD

LAND SURVEYING
 CIVIL ENGINEERING
 PLANNING & ZONING CONSULTING
 PERMITTING

22 First Street | Stamford, CT 06905
 Tel: 203.327.0500 | Fax: 203.357.1118
 www.rednissmead.com

COMM. NO.: 10499	DATE: 4/8/22
	SCALE: 1"=10'

4/8/2022 9:38 AM H:\Jobfiles\210000\10400\10499\DWG\10499 Master1.dwg

TAX ID: 102.03-2-36 ZONE: R-2A

NORTH CASTLE, NY SCALE: 1"=800'



ZONING DATA TABLE
ZONE: R-2A SINGLE FAMILY RESIDENCE (2 ACRE)

ITEM	REQUIRED (MIN.)	EXISTING	PROPOSED
LOT AREA	87,120 SF (2 AC)	492,741 SF (11.312 AC)	492,741 SF (11.312 AC)
FRONTAGE	150 FT	432 FT	432 FT
LOT WIDTH	150 FT	406 FT (min.)	406 FT (min.)
LOT DEPTH	150 FT	717 FT (min.)	717 FT (min.)
DWELLING UNIT SIZE	1,400 SF	13,526 SF	13,526 SF
YARDS		MAIN HOUSE GARAGE	MAIN HOUSE GARAGE BARN
FRONT	50 FT	336.7 FT 278.4 FT	336.7 FT 278.4 FT 107.0 FT
STREET SIDE	50 FT	219.1 FT 216.8 FT	219.1 FT 216.8 FT 51.0 FT
SIDE	30 FT	185.2 FT 297.9 FT	185.2 FT 297.9 FT 368.4 FT
REAR	50 FT	251.7 FT 347.5 FT	251.7 FT 347.5 FT 451.0 FT
PARKING			
OFF STREET	2 SPACES	3 SPACES	3 SPACES
ITEM	PERMITTED (MAX.)		
GROSS FLOOR AREA	23,162 SF ¹	14,464 SF ¹	16,288 SF ¹
BUILDING COVERAGE	8%	1.61% (6,936 SF)	1.85% (7,944 SF)
BUILDING HEIGHT	30 FT (PRIMARY)	29.65 FT (MAIN HOUSE) ²	NO CHANGE (MAIN HOUSE)
	22 FT (ACCESSORY)		19.4 FT (BARN) ⁴
GROSS LAND COVERAGE	43,691 SF ²	5.40% (26,598 SF)	5.70% (28,101 SF)

1) REFER TO FLOOR AREA CALCULATIONS WORKSHEET DATED APRIL 5, 2022. EXISTING RESIDENCE BASED ON BFP#10455. EXISTING SHED BASED ON BFP#2031-3712. PROPOSED BARN BASED ON PLANS BY COUNTRY CARPENTERS DATED MARCH 16, 2022.
 2) REFER TO GROSS LAND COVERAGE CALCULATIONS WORKSHEET DATED APRIL 5, 2022
 3) BUILDING HEIGHT BASED ON A CALCULATED AVERAGE GRADE OF 532.10 & PEAK ROOF EL.=561.75 (REF. TO HOUSE PLANS PREPARED BY ALAN WANGENBERG ARCHITECT, P.C., DATED 7/31/19)
 4) BUILDING HEIGHT BASED ON A CALCULATED AVERAGE GRADE OF 520.20 & MEAN ROOF ELEVATION OF 539.58 (REF. TO BARN PLANS PREPARED BY COUNTRY CARPENTERS, DATED MARCH 16, 2022.)

SITE INFORMATION:
 PROPERTY OWNER: 1 ASHFIELDS LANE, LLC
 1 ASHFIELDS LANE
 NORTH CASTLE, NY 10506
 PROJECT LOCATION: 1 ASHFIELDS LANE
 NORTH CASTLE, NY 10506
 ZONE: R-2A, SINGLE-FAMILY RESIDENCE
 EXISTING USE: SINGLE-FAMILY RESIDENCE
 TOWN TAX MAP: 102.03, BLOCK 2, LOT 36
 SITE AREA: 11.31 ACRES (400,000 SQ.FT.)
 SEWAGE FACILITIES: ON-SITE SEPTIC SYSTEM
 WATER FACILITIES: PRIVATE WELL
 SCHOOL DISTRICT: BYRAM HILLS CENTRAL DISTRICT #3
 FIRE DISTRICT:

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD
 RESOLUTION, DATED: _____
 ENGINEERING DRAWINGS, PLANS REVIEWED BY TOWN ENGINEER
 _____ DATE: _____
 JOSEPH CERMELE, P.E.
 KELLARD SESSIONS CONSULTING, P.C.
 CONSULTING TOWN ENGINEERS
 _____ DATE: _____
 CHRISTOPHER CARTHAY, CHAIRMAN
 TOWN OF NORTH CASTLE PLANNING BOARD

1	4/8/22	ORIGINAL ISSUE DATE
No.	Date	Revision

ZONING SITE PLAN
 DEPICTING
1 ASHFIELDS LANE
 NORTH CASTLE, NY
 PREPARED FOR
ALAN SELKIN

SCALE: 0 40 80
1"=40'

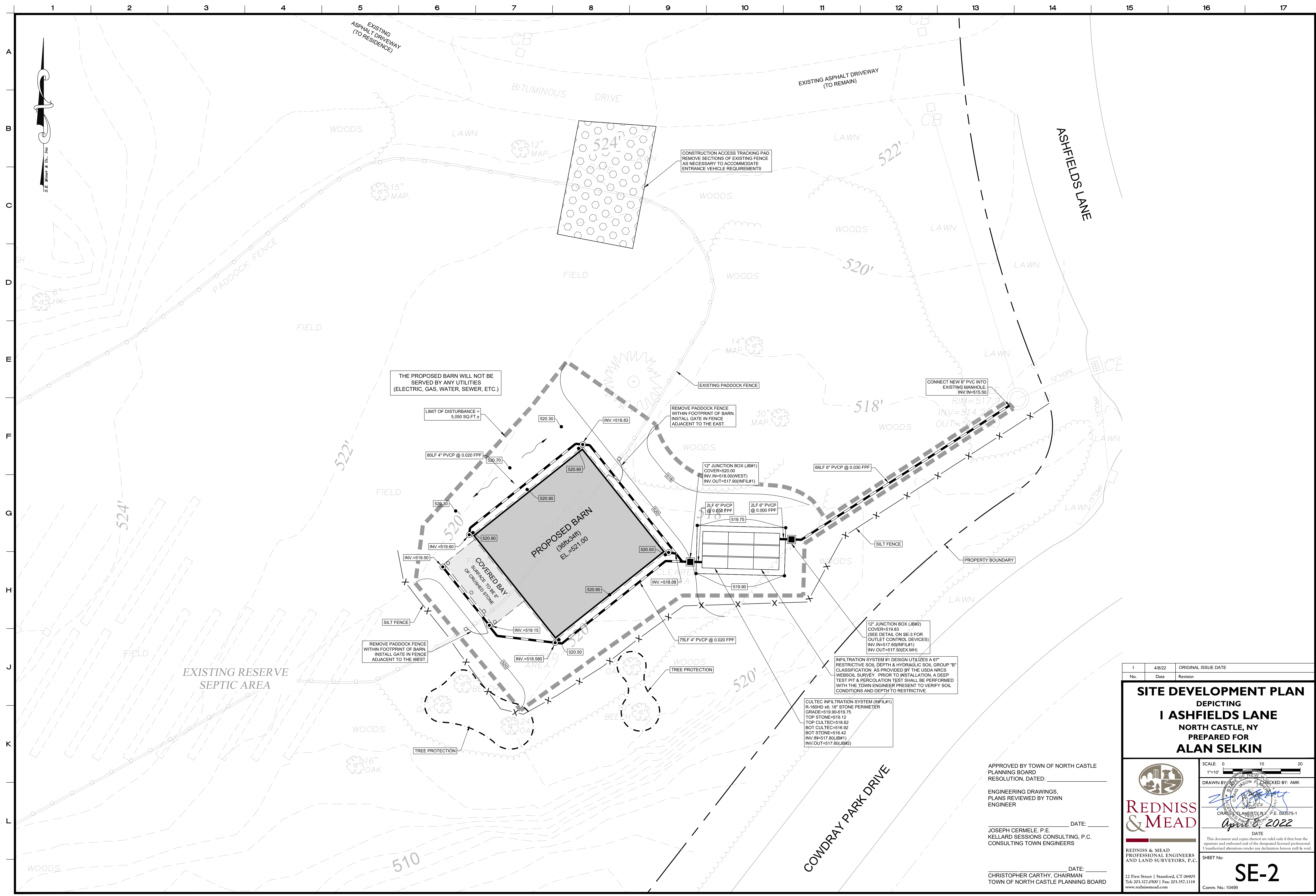
DRAWN BY: _____ CHECKED BY: AMK

 CRISTINA FLAHERTY, N.Y. P.E. 093575-1
 April 8, 2022
 DATE

REDNISS & MEAD
 PROFESSIONAL ENGINEERS
 AND LAND SURVEYORS, P.C.
 22 First Street | Stamford, CT 06905
 Tel: 203.327.6500 | Fax: 203.357.1118
 www.rednissmead.com

SHEET No: **SE-1**
 Comm. No.: 10499

4/7/2022 8:37 PM: \\redniss\p10001\04001\0489\DWG\10499_Masthead.dwg



No.	Date	Revision
1	4/8/22	ORIGINAL ISSUE DATE

**SITE DEVELOPMENT PLAN
DEPICTING
1 ASHFIELDS LANE
NORTH CASTLE, NY
PREPARED FOR
ALAN SELKIN**

APPROVED BY TOWN OF NORTH CASTLE
PLANNING BOARD
RESOLUTION, DATED: _____

ENGINEERING DRAWINGS,
PLANS REVIEWED BY TOWN
ENGINEER _____

DATE: _____

JOSEPH CERMELE, P.E.
KELLARD SESSIONS CONSULTING, P.C.
CONSULTING TOWN ENGINEERS

DATE: _____

CHRISTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

SCALE: 0 10 20
1"=10'

DRAWN BY: [Signature] CHECKED BY: AMK
[Signature]
CRAIG FLAHERTY, P.E. 093575-1
DATE: April 8, 2022

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unauthorized alterations render any declaration herein null & void.

SHEET No: **SE-2**

REDNISS & MEAD
PROFESSIONAL ENGINEERS
AND LAND SURVEYORS, P.C.
22 First Street | Stamford, CT 06905
Tel: 203.327.8500 | Fax: 203.357.1118
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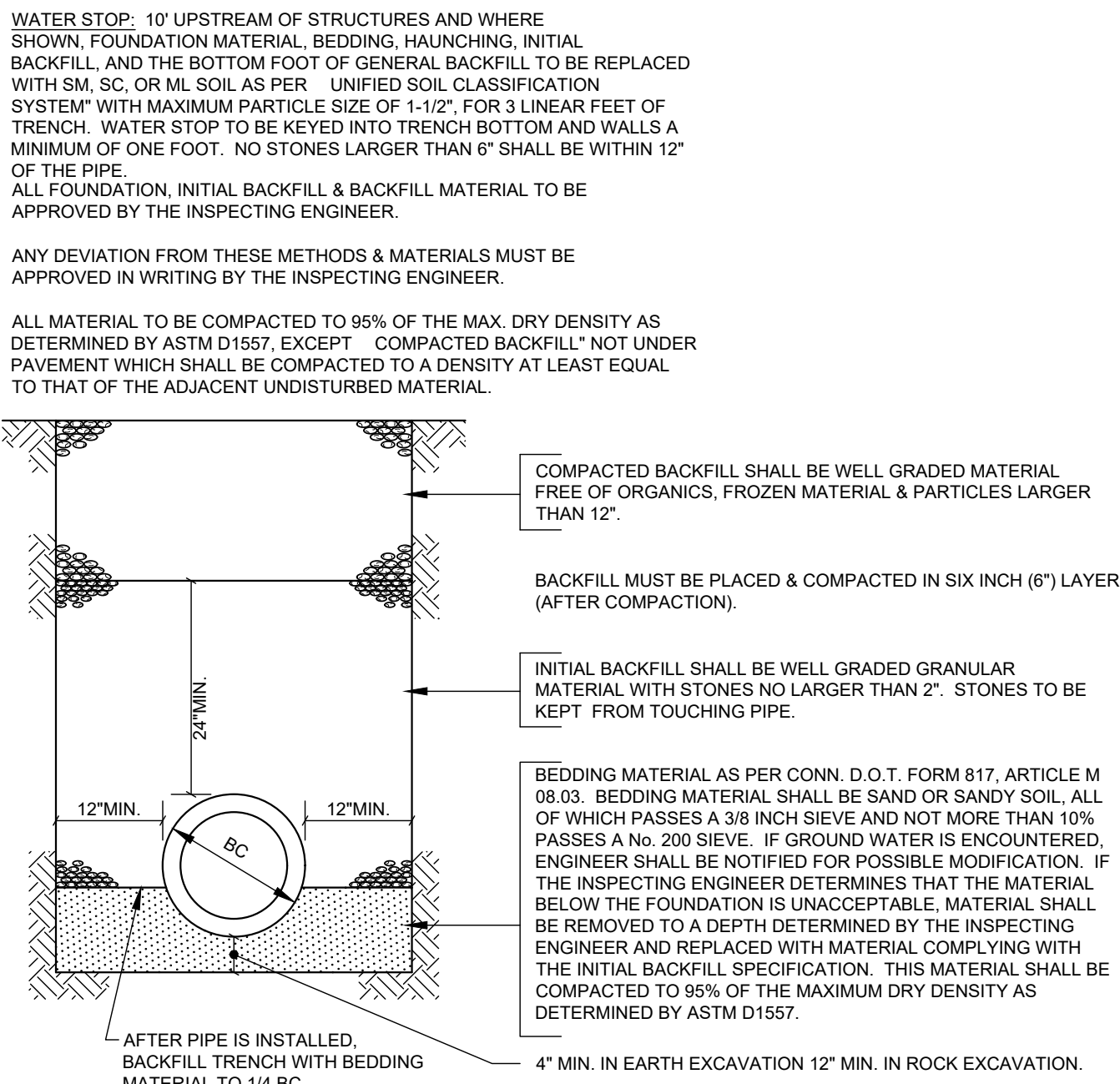
Comm. No.: 10499

GENERAL NOTES:

- 1. These drawings are intended only to depict the design of site grading, drainage and sediment & erosion controls. These drawings are for approval purposes only. No construction may begin prior to obtaining all necessary permits and approvals.
2. All survey data, boundary lines, topography, building locations and area calculations are from a survey prepared by Robert L. Hock Licensed Land Surveyor LLC entitled "Topographic Survey Prepared For Selkin Residence" dated 01/28/22.
3. Refer to plans prepared by Country Carpenters for information and design of the proposed barn structure.
4. Property lies in the R-2A zone.
5. Property Tax Map Designation: 102.03-2-36 (new); 1.11.11-12 (old).
6. Property lies within Fire District #3 and Byram Hills Cent. School District.
7. Total Lot Area = 11.31 acres.
8. All construction shall comply with the Town of North Castle requirements, the State of New York Residential Building Code 2022, and The New York State Standard and Specifications for Erosion and Sediment Control.
9. Contractor shall supply complete shop drawings including manufacturer's product data sheets to the Site Engineer, for all construction material used in conjunction with these drawings. Contractor shall allow a 5 day review period prior to fabrication and installation.
10. Information on existing utilities has been compiled from various sources including utility company records, municipal record maps and field survey and is not guaranteed to be correct or complete. The contractor is solely responsible for determining actual locations and elevations of all utilities including underground works.
11. The property is served by private well and an on-site wastewater treatment system (septic system).
12. Prior to any excavation the Contractor and/or Applicant, in accordance with NYS Code Rule 753, shall be required to contact "Dig Safely, New York" at 811 for mark-out of underground utilities. Dig test pits at utility crossing(s) to check actual clearances with new utilities prior to construction. If conflicts are found the contractor shall notify the engineer, at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid the conflict. Such relocation shall be done with knowledge of and in accordance with the owner of the utility.
13. It shall be the responsibility of the contractor to provide any excavation safeguards, necessary barricades, flagmen, etc., for traffic control and site safety. All work shall be done in accordance with OSHA requirements. The contractor shall be responsible for compliance with OSHA requirements.
14. When preparing the existing site for the proposed development, all materials removed shall be disposed of in conformance with all governing agencies.
15. Remove stumps and brush from site, or chip and use during landscaping. Do not bury stumps on site.
16. Special attention of the contractor is called to the required type and compaction of pipe bedding and backfill specified on these drawings. These requirements will be strictly enforced.
17. The Contractor is responsible for coordinating with a licensed surveyor to prepare an "as-built" plan. The Contractor is responsible to coordinate with the Record Site Engineer and Town Engineer 48 hours prior to any inspections.
18. The record engineer shall be notified by the contractor three (3) days prior to the commencement of each phase of construction.
19. A preconstruction meeting shall be held with the Owner, Architect and Engineer to review the scope of construction. The contractor shall be responsible to coordinate the preconstruction meeting.
EARTHWORK & GRADING:
20. Grade away from building walls at 2% minimum (typical).
21. Earth slopes shall be no steeper than 3:1 (horz:vert).
22. Disturbed areas shall be topsoiled, seeded with grass and mulched.
23. After the areas to be topsoiled have been brought to grade, the subgrade shall be loosened by scarifying to a depth of at least 2" to ensure bonding of the topsoil and subsoil.
24. Topsoil shall be friable and loamy with high organic content. It shall be free of debris, rocks larger than 2" and roots. Topsoil shall have at least 1.5 percent by weight of fine textured stable organic material and no greater than 6 percent. Topsoil shall not have less than 20% fine textured material (passing the No. 200 sieve) and not more than 15% clay. pH range shall be 6.0-7.5 and soluble salts shall not exceed 500ppm.
25. Fill or topsoil shall not be placed nor compacted while in a frozen or muddy condition or while subgrade is frozen.
26. During the excavation, it is anticipated that existing utilities and sewers may be exposed. The contractor shall provide protection and support of these facilities and repair any damage caused by the work in a manner satisfactory to the owner. The condition of the existing facilities shall be observed by the owner's representative who shall determine if the facilities shall be replaced. Replacement of the facilities shall be done in a manner satisfactory to the owner and in compliance with applicable Codes.
STORM AND SANITARY SEWER SYSTEMS:
27. All pipe shall be installed straight and at the vertical and horizontal alignment shown. Pipes shall have a uniform slope as specified.
28. Minimum cover on all pipes shall be two feet (2') unless otherwise noted.
29. All storm pipe specified as Poly Vinyl Chloride Pipe (PVC/P) shall be SDR 35 with rubber gasketed joints and meet the requirements of ASTM D3034 and D3212.
30. Dig test pits at utility and sewer crossings to check actual clearances with these facilities prior to construction. Dig test pits at the connection points to existing sanitary sewer pipes to confirm that the elevation of the proposed gravity sewer is appropriate. If conflicts are found the contractor shall notify the engineer at which time the sewer in question shall be redesigned. If such redesign is not possible, the existing pipes or utilities shall be relocated to avoid conflict.
31. All catch basins and area drains shall have a two foot (2') sump with bell traps or 90° PVC elbows attached to the outlet pipe.
32. All existing and proposed catch basins, manhole rims and utility facilities shall be raised or lowered to be flush with finished grade.
33. When connecting new pipes to existing structures such as manholes and catch basins, the structure shall be completely cleaned out. The hole made in the structure shall be made as small as possible. The structure shall be repaired to match its original type of construction. The joint between the structure and the pipe shall be made watertight by filling the joint with mortar.
34. Crushed stone underneath drainage structures shall be gradation no. 2 per NYS DOT Standard Specification Section 703. Stone shall consist of sound, tough, durable particles free from soft, thin, elongated, laminated, friable, deleterious material.
35. At the end of construction, after the site has been fully stabilized, all new and previously existing storm sewer facilities including, but not limited to, catch basins, area drains, manholes, junction boxes, flow control structures, pipes, oil grit separators, permeable pavers and porous pavement shall be fully cleaned with equipment designed for that purpose to the satisfaction of the inspecting engineer.
STORM WATER INFILTRATION SYSTEM:
51. The proposed cultec infiltration system shall comply fully with the manufacturer specifications.
52. There shall be a minimum of one foot (1') of crushed stone on the sides & ends of the cultec system.
53. There shall be 6" of crushed stone below the cultec system.
54. There shall be 3" of crushed stone between each row of cultecs.
55. Crushed stone associated with the Cultec Infiltration system shall be gradation no. 2 per NYS DOT Standard Specification Section 703. Stone shall consist of sound, tough, durable particles free from soft, thin, elongated, laminated, friable, deleterious material.
56. The infiltration system shall remain disconnected until up gradient areas are fully stabilized.
57. The infiltration system shall be a minimum of 36" above high groundwater or ledge and be a minimum of 10' from any footing drain.
58. Prior to the installation of the cultec infiltration system, the contractor is required to dig a test pit to verify subsurface soil conditions comply with the minimum separation distances (see note 56). Additionally, the Design Engineer shall run a percolation test to verify the ability for soil to infiltrate water. Test pit & percolation test shall be witnessed by the Design Engineer and Town Engineer. Results of testing may warrant a re-design of the Cultec System.
59. Each cultec row to have access ports shown on plan.
60. All roof runoff from the proposed barn shall go to the cultec system as specified. Roofs shall be piped to system in accordance with the invert elevations indicated on plan sheet SE-2.
61. Contact the Design Engineer and Town Engineer three (3) days prior to excavation for the cultec system. During the excavation, the Design Engineer may revise the elevations of the galleries if field conditions dictate.
62. Maintenance of all onsite drainage facilities shall be the responsibility of the property owner.

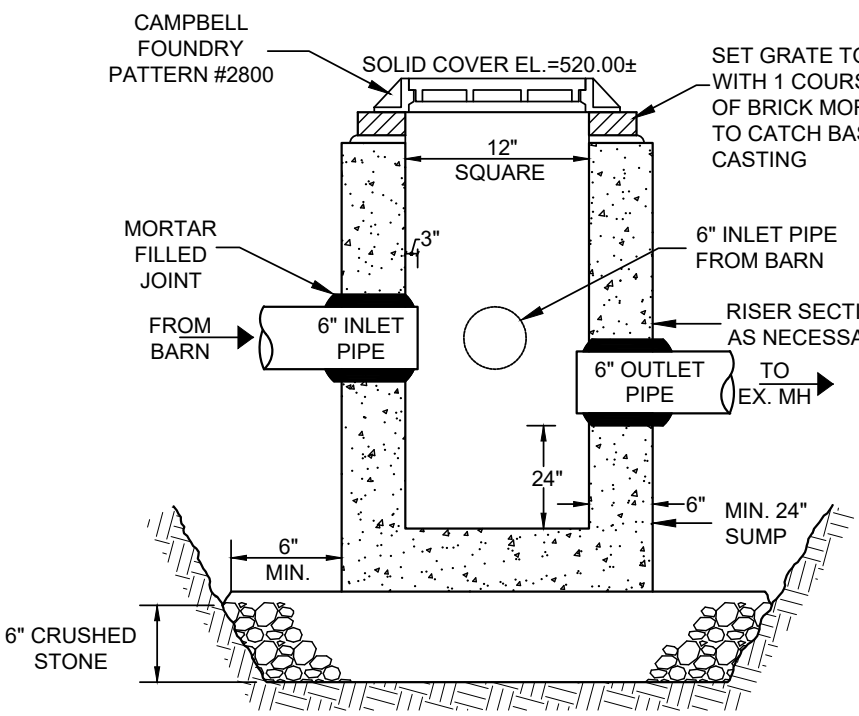
SEDIMENT AND EROSION CONTROL NARRATIVE:

- The purpose of the Sediment and Erosion Control Plan, details, and notes is to outline a program that minimizes soil erosion during construction. The primary policies of this program are:
a) Trapping particles at source by promptly stabilizing disturbed areas;
b) Avoid concentration of water;
c) Avoid contamination of existing storm drains;
d) Maintenance (weekly maintenance and after storm events) of controls to ensure they are functioning properly.
SEDIMENT AND EROSION CONTROL NOTES:
63. Sheet SE-2 is intended to describe the soil sediment and erosion control treatment of this site only. For other details with respect to construction, see appropriate drawings.
64. All sediment and erosion controls shall be done in conformance with the "New York Standards and Specifications for Erosion and Sediment Control" prepared by The New York State Department of Environmental Conservation.
65. The contractor is assigned the responsibility for implementing this sediment and erosion control plan. This responsibility includes the installation and maintenance of control measures, informing all parties engaged on the construction site of the requirements and objectives of the plan notifying the Zoning Department of any transfer of this responsibility, and the Town Engineer that construction is to begin three (3) days prior to commencing work.
66. Temporary sediment control measures and tree protection must be installed in accordance with drawings and manufacturer recommendations prior to work in any upland areas.
67. No construction or construction equipment or storage of materials will be allowed on the downhill side of the site fence or within fenced off areas, except during construction of the proposed facilities shown beyond the fences.
68. Where existing trees are to be saved, trees shall be protected with trunk armoring where shown. Tree limbs shall be trimmed as needed to protect the trees from damage by construction operations. Such trimming shall be minimized. Armoring and any limb trimming should be done before construction begins. Tree protection should be maintained during construction. Equipment Trafficking and materials storage over the tree roots shall be avoided.
69. Anti-tracking pads shall be installed at start of construction and maintained in an effective condition throughout the duration of construction. Pads consist of 2" - 4" crushed stone, 6" minimum thickness and extend the width of the construction access. The length of the access shall be sufficient to prevent dirt from being tracked onto off site roads (minimum length of 50').
70. The location of material stockpiles may vary throughout the construction period. Excavated silt and earth stockpiles shall be stored on site. Silt fence shall be placed at the base of the stockpile to prevent sediment from leaving the site and to protect storm drains, wetlands and watercourses.
71. Silt fence shall be Miraf1 100x or equivalent. Install silt fence according to manufacturer's instruction, particularly, bury lower edge of fabric into ground.
72. All roof leader downspouts shall temporarily discharge onto splash pads measuring at least 8' wide by 18" long, or approved equal.
73. Land disturbance shall be kept to a minimum. All disturbed area shall be planted in where permanent plantings are called for as soon as practicable. Seed and mulch disturbed areas with grass seed where permanent plantings are not called for, as soon as practicable. Prepare seedbed (4" thick minimum) with topsoil. Seed, rake, roll, water and mulch areas according to mixes below. Water as often as necessary (up to 3 times per day) to establish cover. Mulch seeded areas at 1 to 2 tons/acre with salt hay. Maintain mulch and watering until grass is 3" high with 85% cover. Reseed or overseed if necessary.
Temporary Seed Mix:
Perennial ryegrass 40 lbs/acre (1 lb/1000 sq ft)
Permanent Lawns:
Kentucky Bluegrass 20 lbs/acre
Creeping Red Fescue 20 lbs/acre
Perennial Ryegrass 5 lbs/acre (1 lb/1000 sq ft)
Optimum Seeding Dates:
April 15 through June 15
August 15 through October 1
74. If disturbed areas cannot be seeded immediately due to the time of year, much area until seeding can occur; remove mulch and seed and remulch when season permits.
75. If excavation dewatering is required, all dewatering pumping must have sediment and erosion control provisions to maintain clear water discharge (not muddy). Such provisions shall be approved by governing agencies. All pump discharge from dewatering shall be clear at the point where it flows off the property.
76. Upon installation of each catch basin and area drain, immediately surround it with haybales as per sediment filter detail.
77. Haybales shall be new and are to be replaced whenever their condition deteriorates beyond reasonable usability.
78. Temporarily block pipes leading into the storm water infiltration system until upland areas are thoroughly stabilized. Under no circumstances shall sediment or silt water be allowed to enter the infiltration system.
79. Pavement and curbing should be placed as soon as possible after drainage is installed.
80. Loaded trucks shall be covered as required to keep down dust.
81. Affected portions of off site roads and sidewalks must be swept clean when required to keep down dust and prevent safety hazards or at least once a week during construction and as directed by Site Engineer.
82. Dust control to be achieved with watering down disturbed areas as required.
83. After each storm event or on bi-weekly, all sediment and erosion controls shall be inspected. Any corrective actions to mitigate environmental concerns will be ordered by the site engineer or environmental engineer. It is the Owner's responsibility to retain such consultant.
84. Additional sediment and erosion control measures may be installed during the construction period if found necessary by the Inspecting Engineer, Town Engineer or any Governing Agency.
85. All permanent and temporary sediment control devices will be maintained in effective condition throughout the construction period until upland disturbed areas are thoroughly stabilized. Upon completion of work and stabilization of all upland areas, all temporary sediment control devices and tree protection should be removed from the site and any silt disposed of legally.
86. Excavated silt and earth stockpiles shall not be permitted to be stored on site. Excess material shall be disposed of legally.
87. Periodically and upon completion of the job, clean silt from any affected storm sewer systems including pipes and inlets. Use silt during final landscaping or dispose off-site legally.

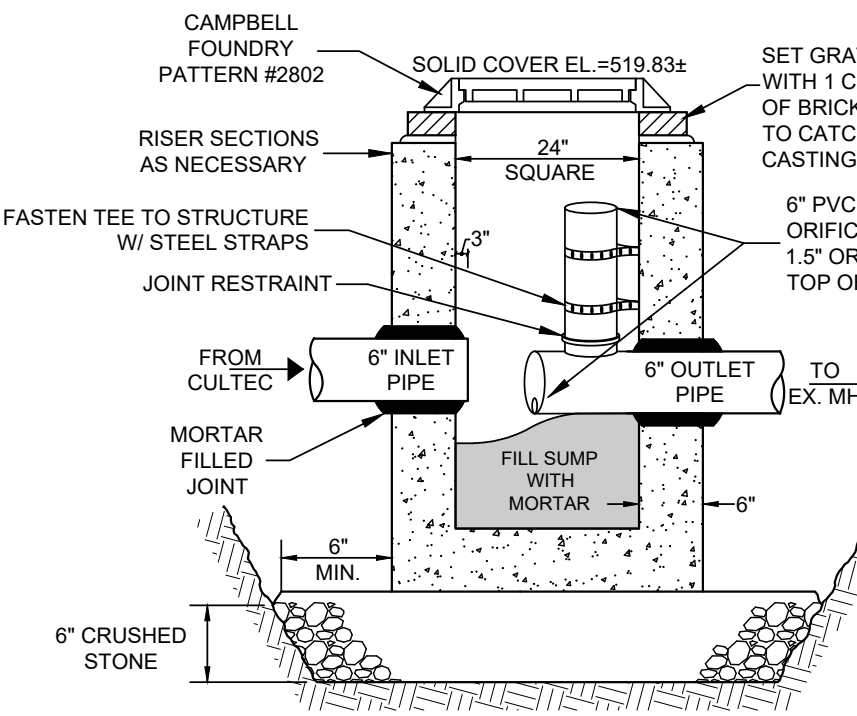


PVC/RCP PIPE TRENCH BEDDING DETAIL (48" DIA. & UNDER) N.T.S.

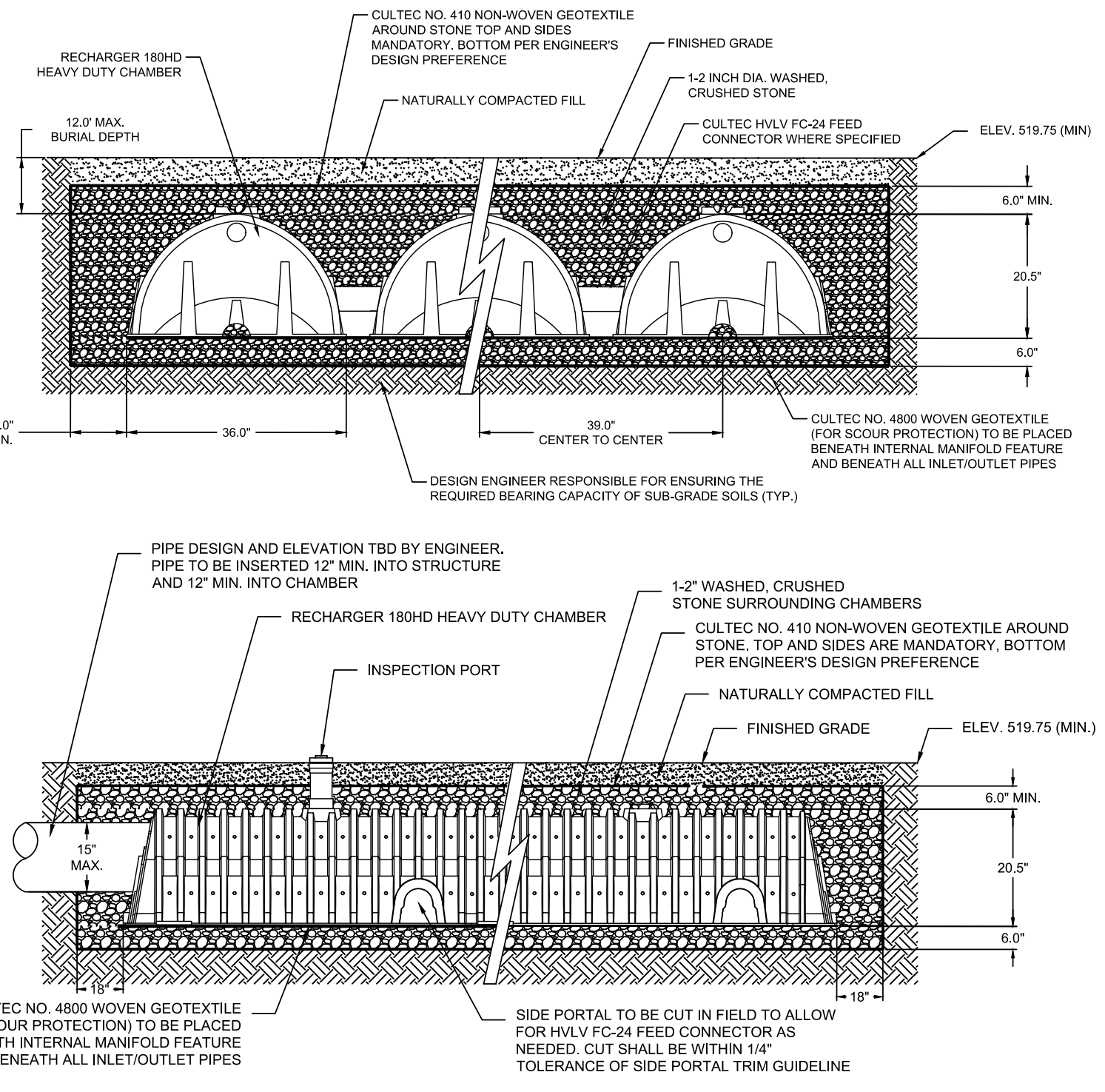
Table with 2 columns: Material/Quantity and Unit. Includes rows for Temporary Seed Mix (Perennial ryegrass 40 lbs/acre), Permanent Lawns (Kentucky Bluegrass 20 lbs/acre, Creeping Red Fescue 20 lbs/acre, Perennial Ryegrass 5 lbs/acre), and Optimum Seeding Dates (April 15 through June 15, August 15 through October 1).



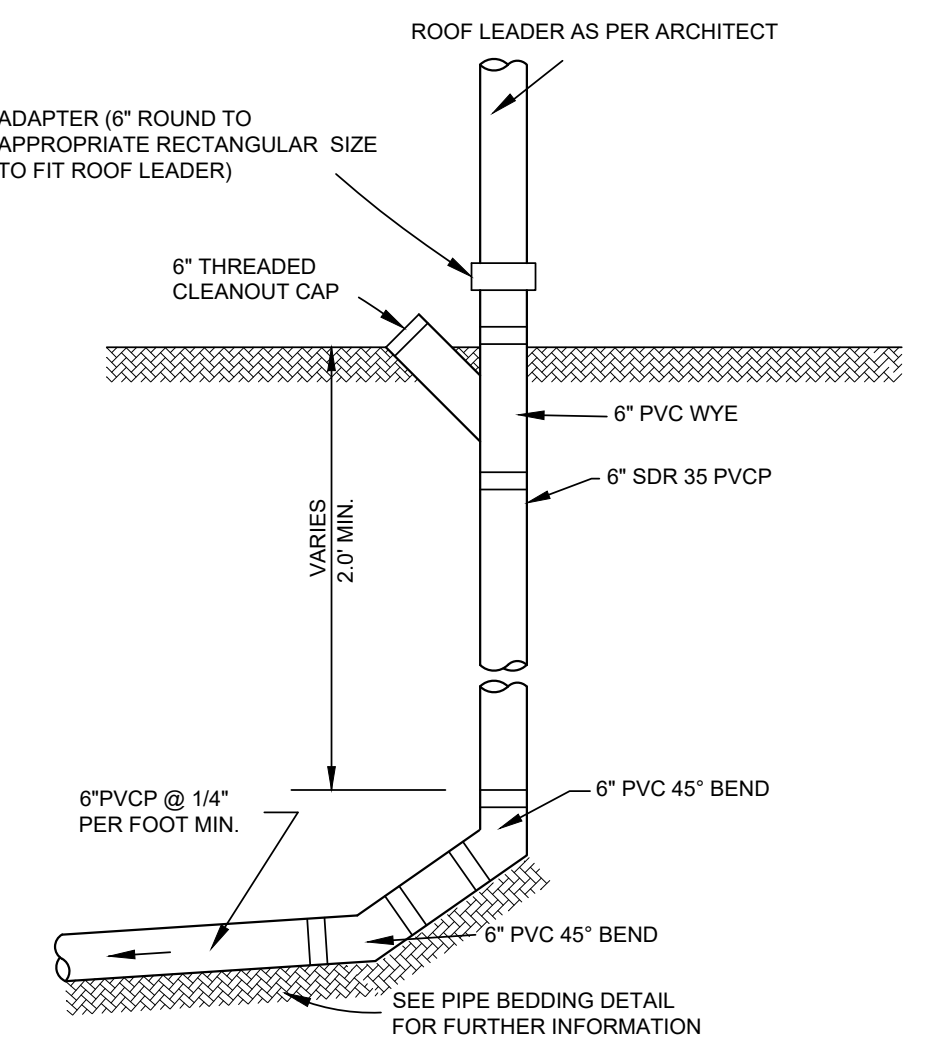
12" JUNCTION BOX (JB#1) N.T.S.



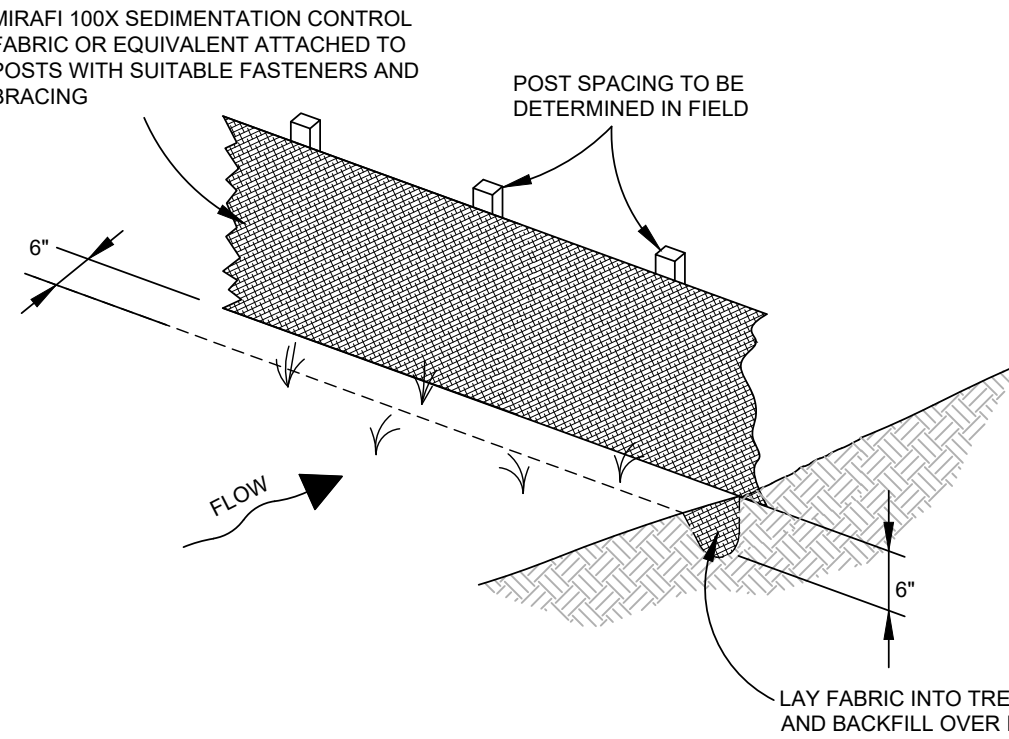
24" JUNCTION BOX (JB#2) N.T.S.



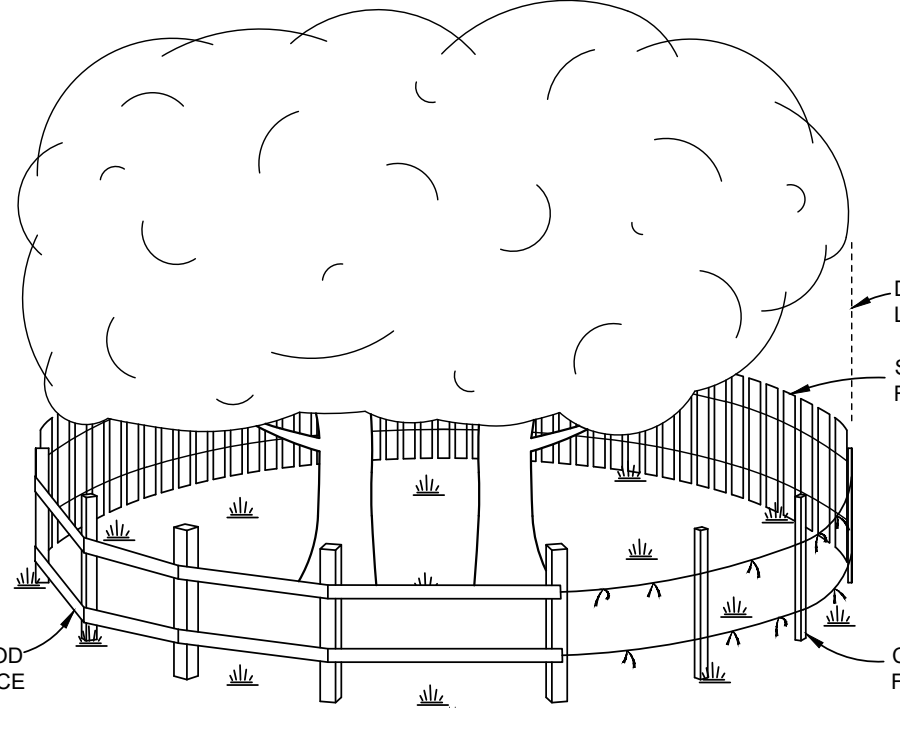
CULTEC RECHARGER 180HD (INFILTRATION SYSTEM) N.T.S.



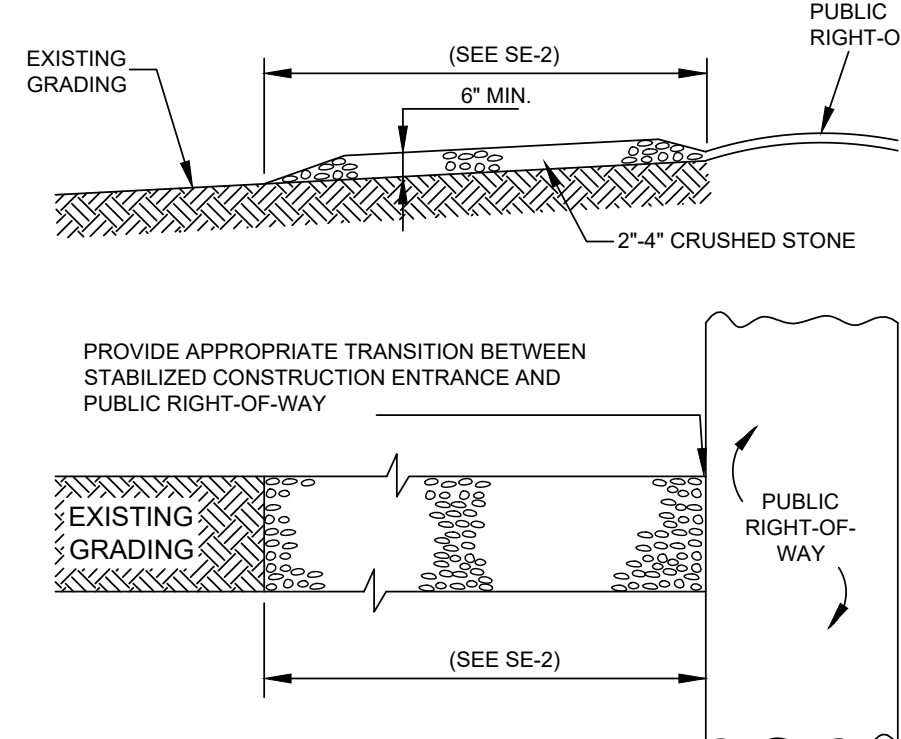
ROOF LEADER CLEANOUT DETAIL N.T.S.



FABRIC & POST SILTATION BARRIER (SILT FENCE) N.T.S.



TREE PROTECTION (SHOWING ACCEPTABLE TYPES OF FENCING) N.T.S.



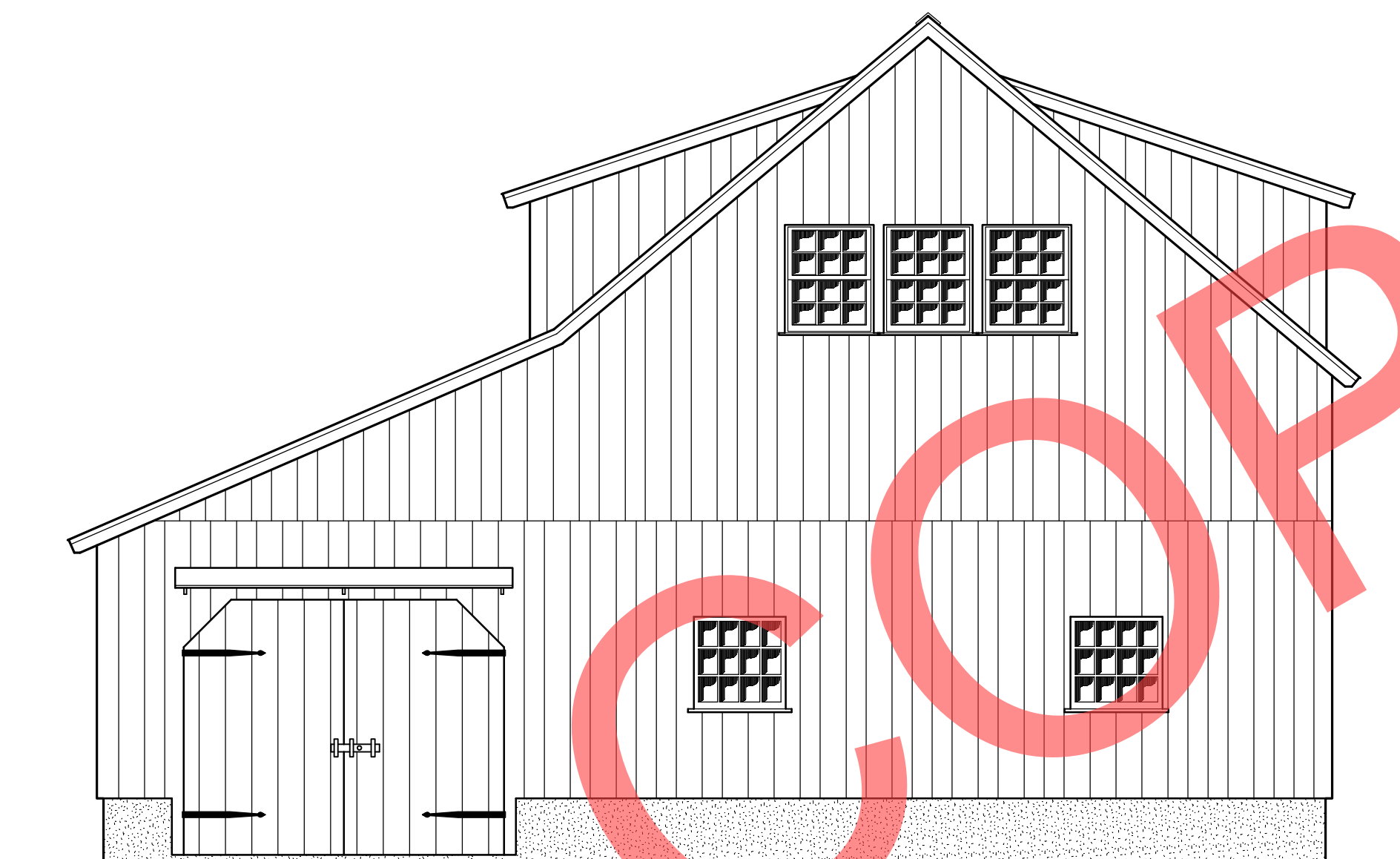
STABILIZED CONSTRUCTION ENTRANCE (TRACKING PAD) N.T.S.

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED:
ENGINEERING DRAWINGS, PLANS REVIEWED BY TOWN ENGINEER
JOSEPH CERMELE, P.E. DATE:
KELLARD SESSIONS CONSULTING, P.C. CONSULTING TOWN ENGINEERS

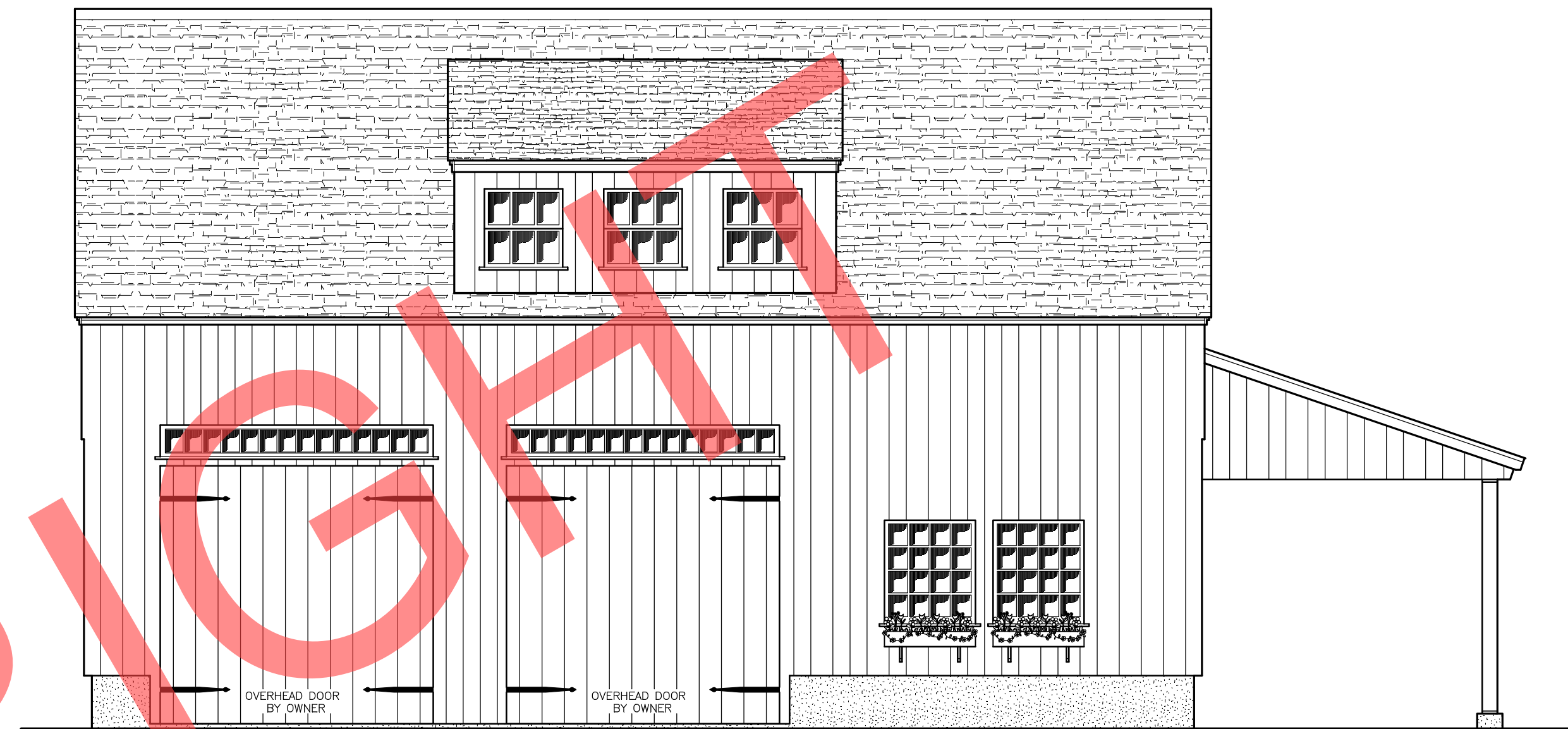
DATE:
CHRISTOPHER CARTHY, CHAIRMAN TOWN OF NORTH CASTLE PLANNING BOARD

NOTES & DETAILS DEPICTING 1 ASHFIELDS LANE NORTH CASTLE, NY PREPARED FOR ALAN SELKIN. Includes Redniss & Mead logo, scale bar, drawing date (April 8, 2022), and sheet number SE-3.

From The Workshops of
COUNTRY CARPENTERS, INC.



LEFT ELEVATION SCALE: 1/4" = 1'0"



FRONT ELEVATION SCALE: 1/4" = 1'0"

PAGE SCHEDULE	
1	FRONT & LEFT ELEVATIONS
2	FOUNDATION PLAN
3	FRONT & LEFT FRAMING
4	REAR & RIGHT ELEVATIONS
5	REAR, REAR MAIN, RIGHT & LEAN-TO FRAMING
6	SECTION THRU
7	STORAGE LOFT FRAMING PLAN & STAIR DETAIL
8	CONNECTION DETAILS

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 THIS PLAN IS LIMITED TO THE CONSTRUCTION OF THE ONE BUILDING PURCHASE FROM COUNTRY CARPENTERS INCORPORATED.

COUNTRY CARPENTERS, INC.
1-1/2 STORY BARN
 36' FRONT 34' DEEP 10/12 PITCH ROOF

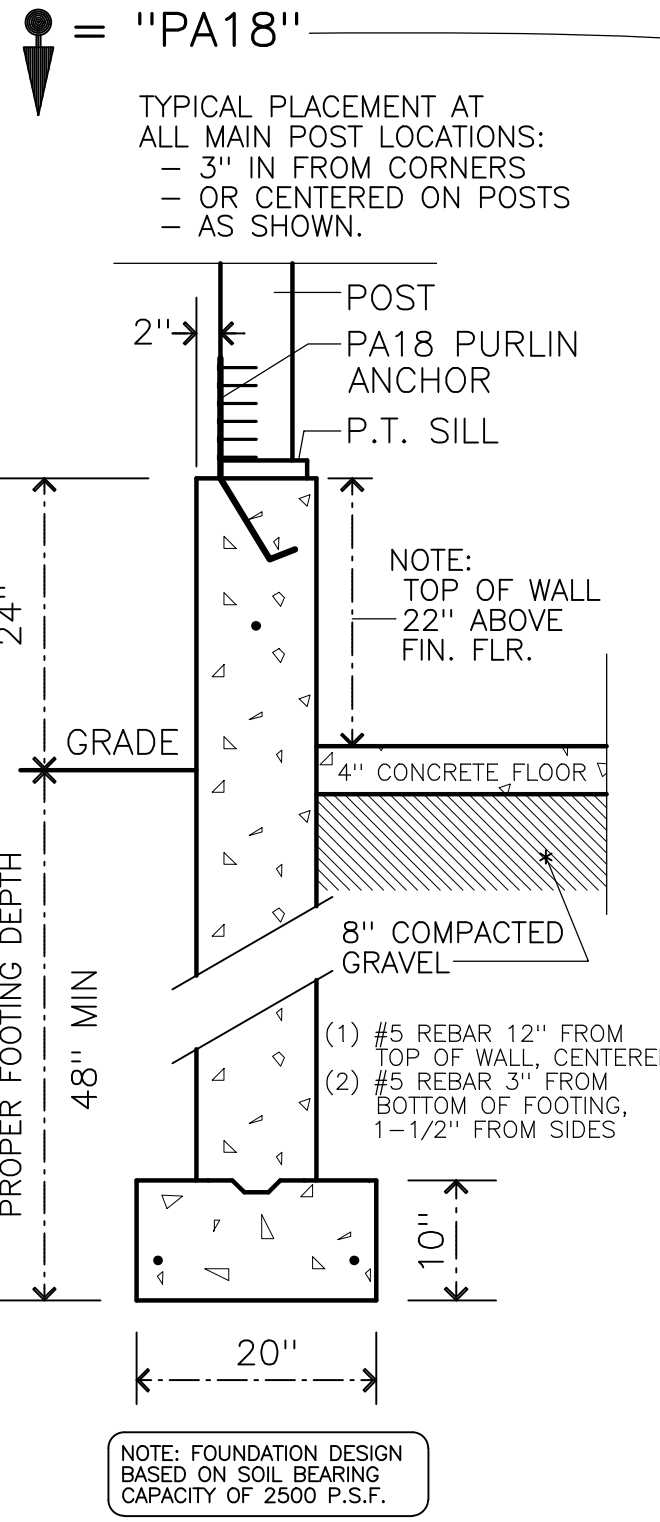


SEAL IS FOR STRUCTURAL DESIGN ONLY

FOR: ALAN SELKIN 1 ASHFIELDS LANE ARMONK, NY. 10504			PH: (203) 536-1124
COMPUTER FILE #: 13-11-36-selkin01	CT.REG.#: 523020 MA.REG.#: 130234 RI.REG.#: 21868	DATE: 16 Mar 2022	REVISED:
COUNTRY CARPENTERS, INC. PRE-CUT POST & BEAM BUILDINGS 326 GILEAD STREET, HEBRON, CT. 06248-1347 (860) 228-2276 www.countrycarpenters.com			DRAWN BY: SCALE: AS SHOWN DRAWING NUMBER: 1 of 8

USP FOUNDATION CONNECTORS

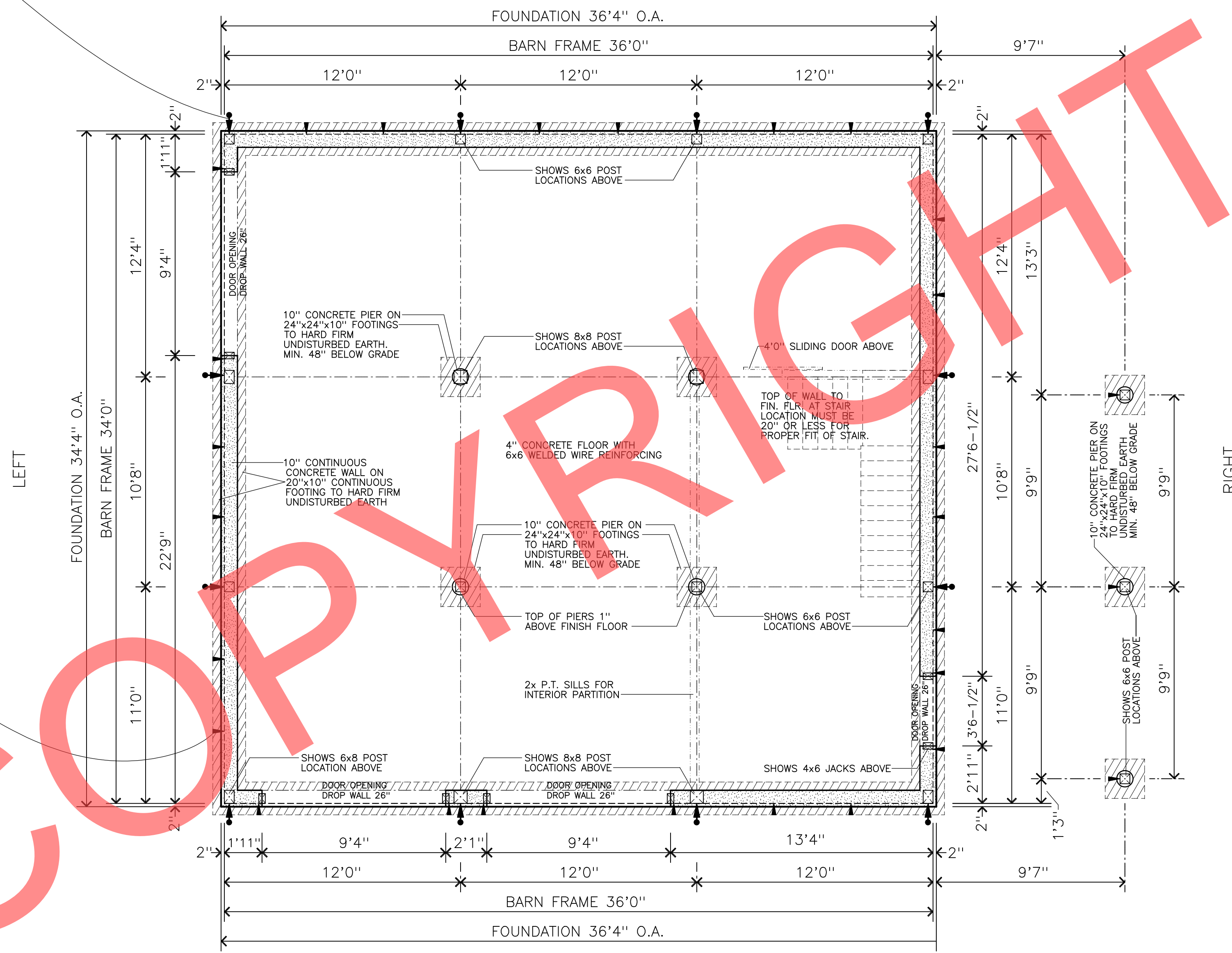
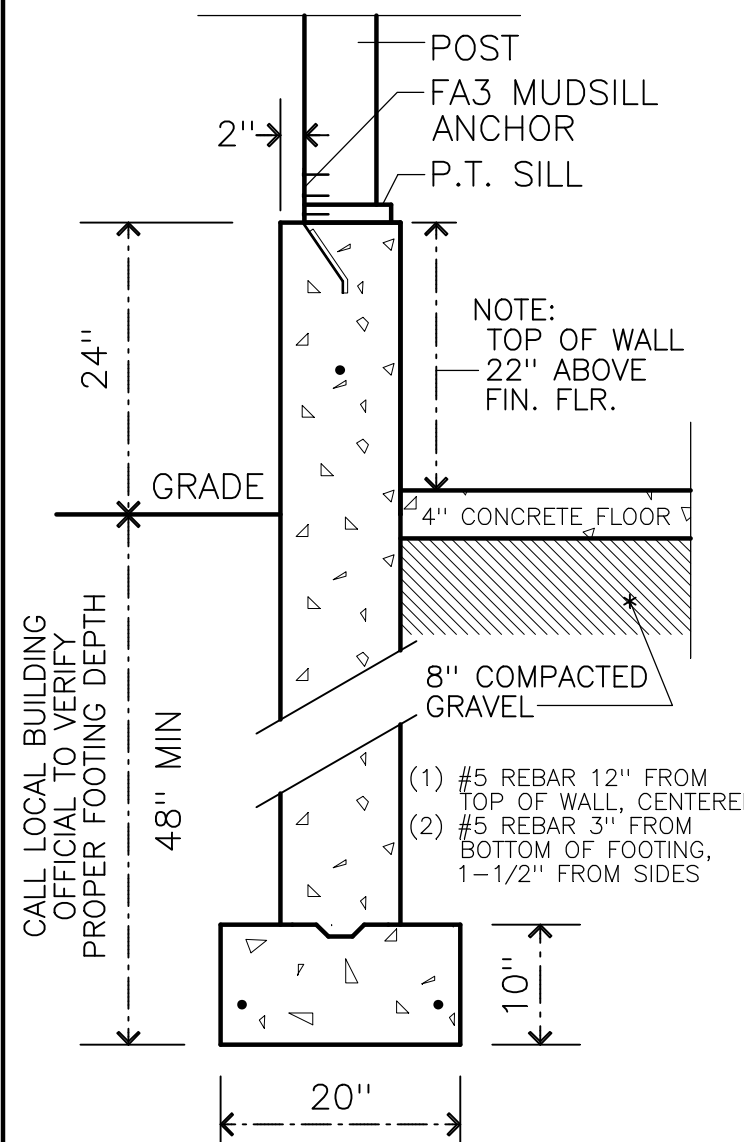
10" CONTINUOUS CONCRETE WALL



FOUNDATION CONNECTORS 2" FROM OUTSIDE OF FOUNDATION

▼ = "FA3"

FA3 FOUNDATION CONNECTOR
 TYPICAL PLACEMENT LOCATIONS:
 - 2" FROM DOOR DROPS AND
 - AT MAX. OF 4' DISTANCE
 ALONG PERIMETER WALL



FOUNDATION PLAN SCALE: 1/4" = 1'0"
 FRONT

- ATTENTION FOUNDATION CONTRACTOR:**
- CALL BEFORE YOU DIG!
 - CHECK WITH OWNER TO CONFIRM PROPER ORIENTATION OF BUILDING.
 - CALL LOCAL BUILDING OFFICIAL TO VERIFY PROPER FOOTING DEPTH.
 - CALL LOCAL BUILDING OFFICIAL FOR PIER OR FOOTING INSPECTION BEFORE ANY CONCRETE IS POURED.
 - TOP OF WALL TO FINISH FLOOR HEIGHT CRITICAL TO PROPER FIT OF STAIRS WHEN APPLICABLE.
 - TYPICAL FOUNDATION DESIGN SPECS -
 - CONCRETE FLOOR 3500 PSI PITCHED 1/8" PER FOOT.
 - CONCRETE WALLS 3000 PSI.
 - REFER TO SECTION PAGE FOR ADDITIONAL FOUNDATION DETAILS.

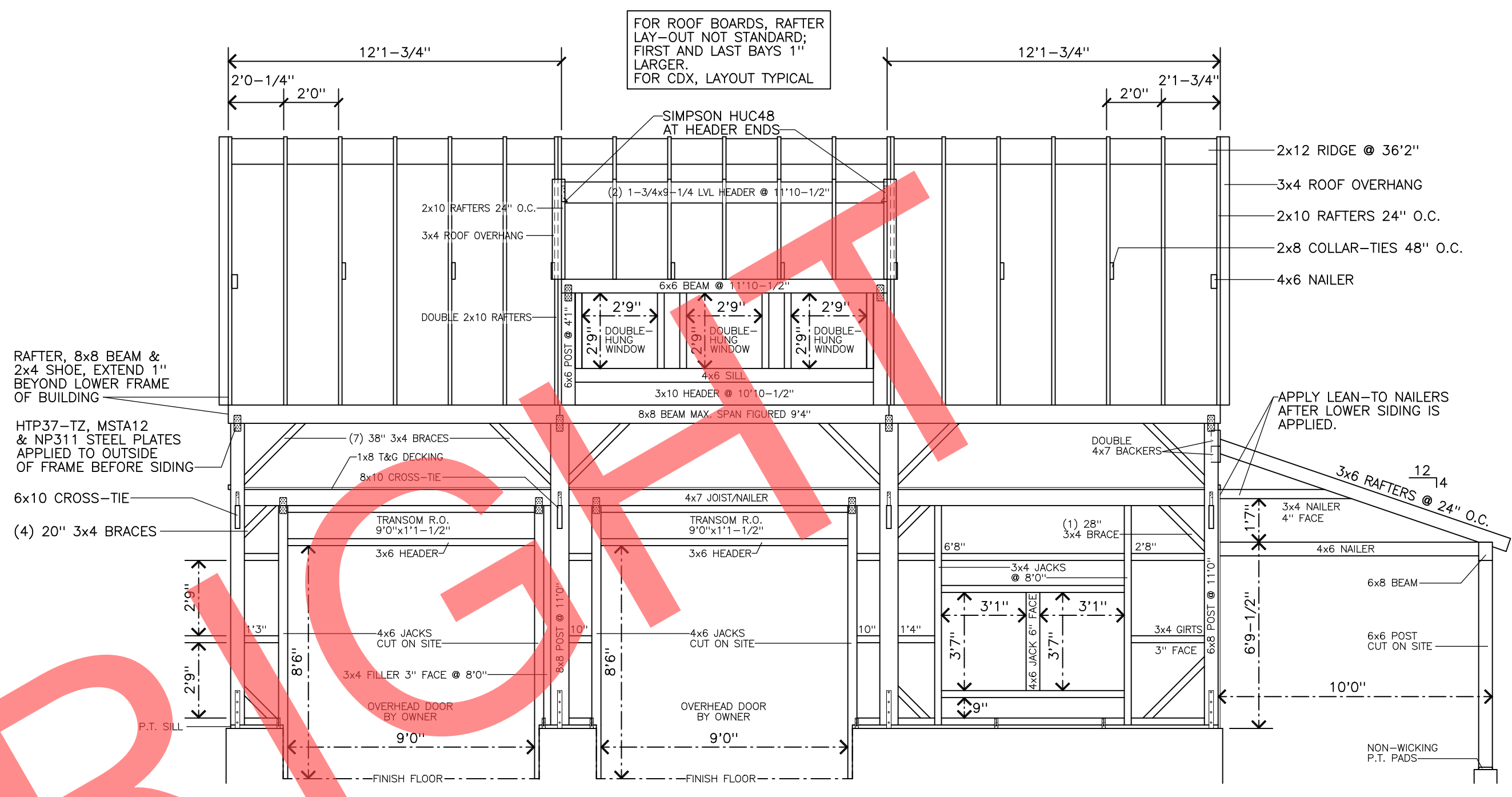
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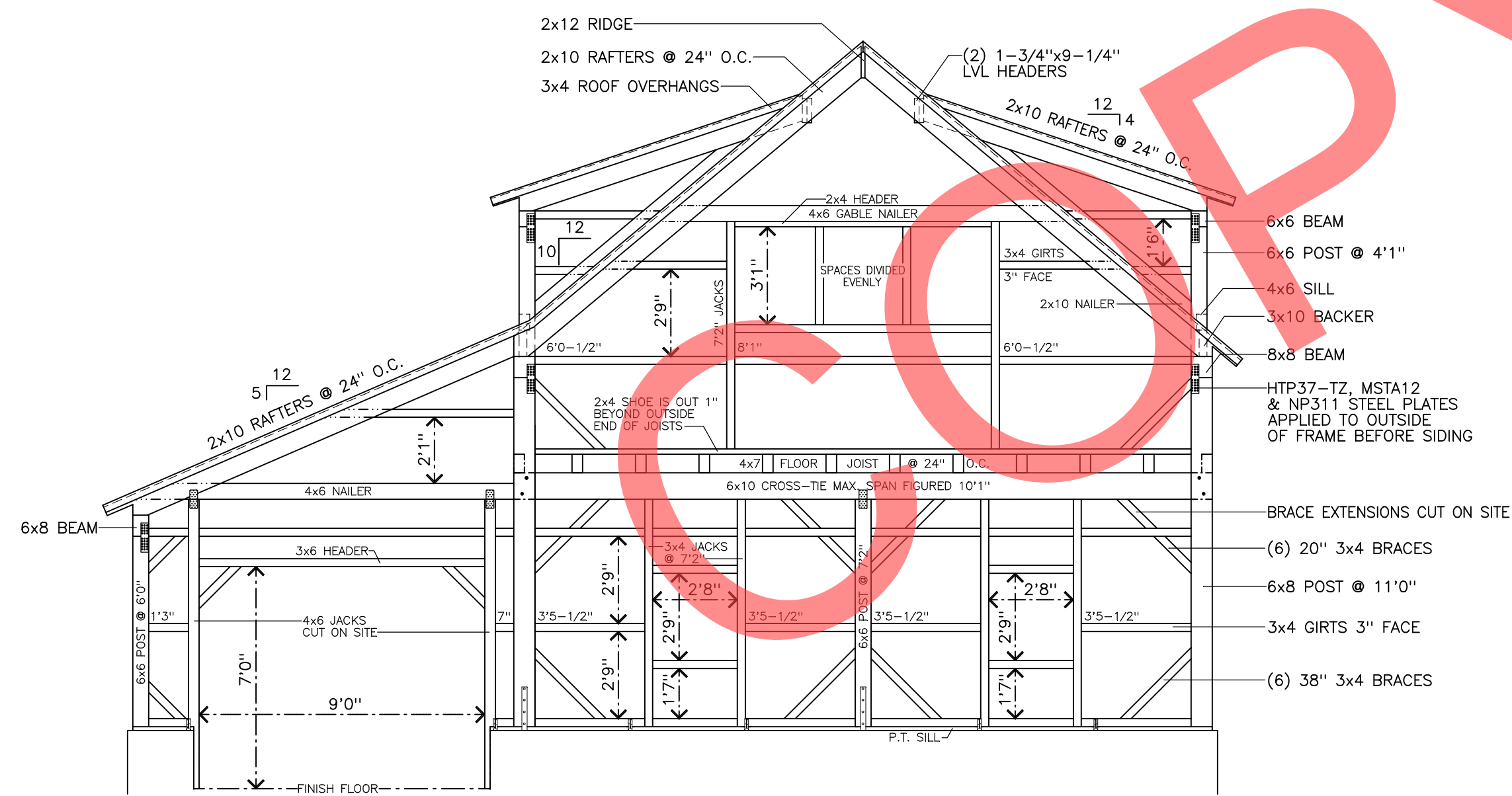
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FRONT FRAMING SCALE: 1/4" = 1'0"
 VIEW FROM OUTSIDE



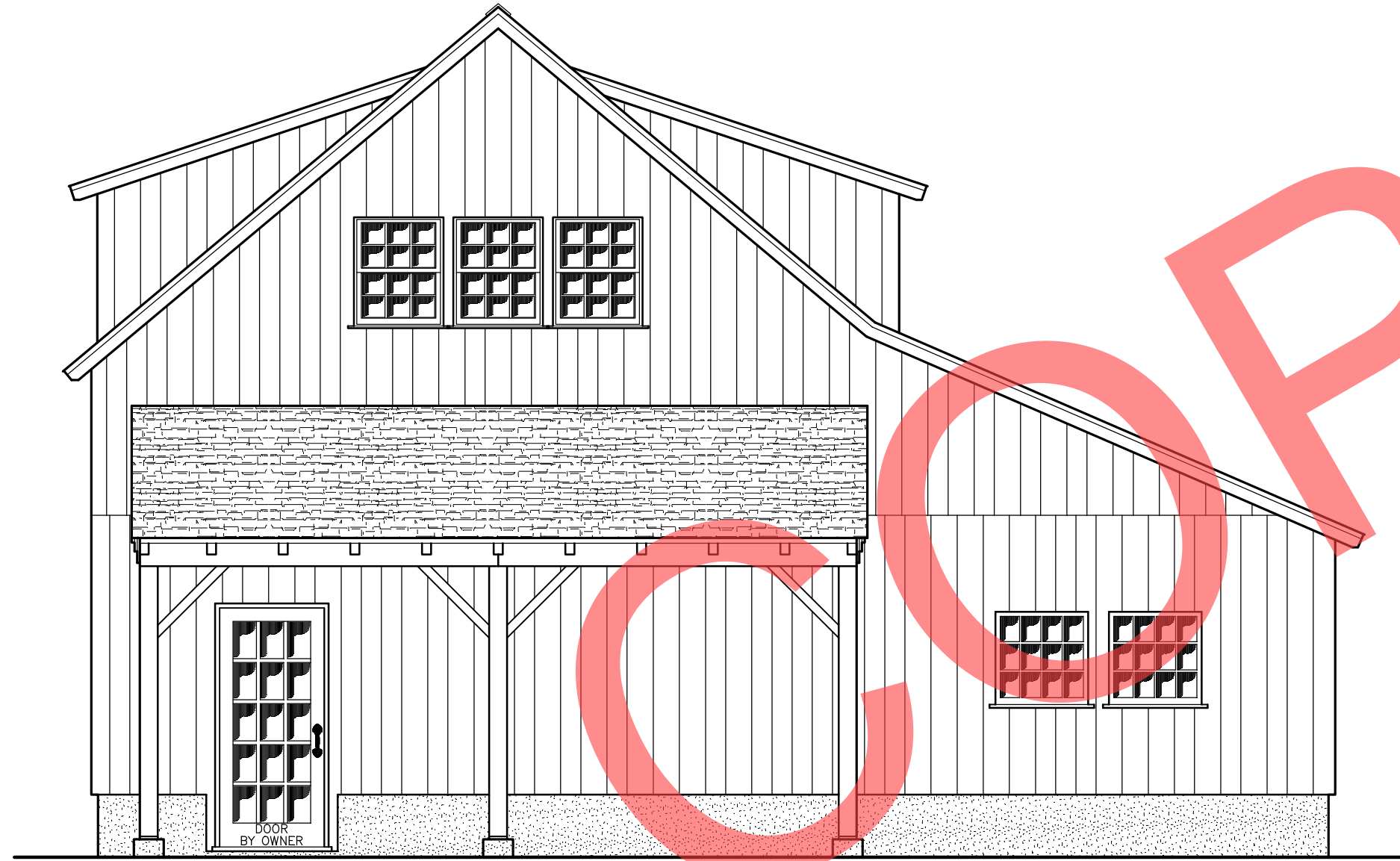
LEFT FRAMING SCALE: 1/4" = 1'0"
 VIEW FROM OUTSIDE



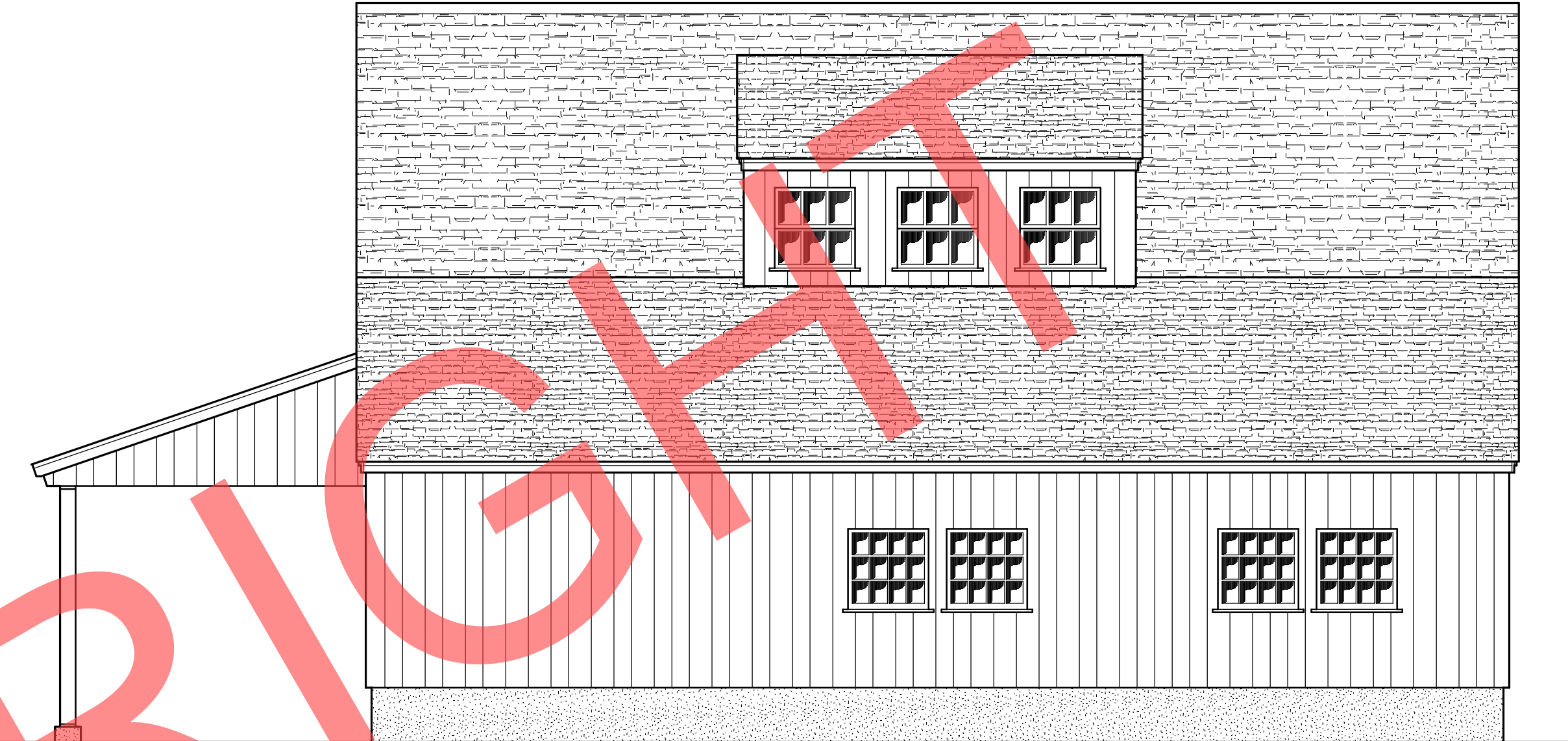
NOTE:
 FOR CONNECTION DETAILS
 SEE PAGE 8.

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RIGHT ELEVATION SCALE: 1/4" = 1'0"

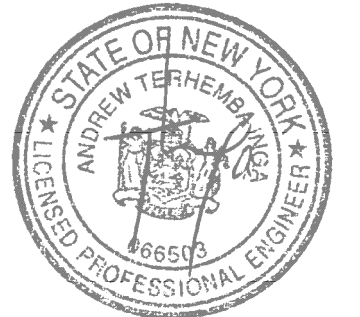


REAR ELEVATION SCALE: 1/4" = 1'0"

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NOTE: VERY IMPORTANT.
K.D. (KILN DRIED) SIDING, TRIM, LOFT DECKING, & ROOF BOARDS MUST BE PROTECTED FROM ABSORBING MOISTURE ON THE CONSTRUCTION SITE. KEEP BOARDS UP OFF THE GROUND, & COVERED TO PROTECT FROM GROUND MOISTURE & RAIN. WINDOWS & DOOR KITS SHOULD BE KEPT INSIDE, UNTIL READY TO USE.

NOTE:
FOR CONNECTION DETAILS
SEE PAGE 8.



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SITE ENGINEERING REPORT

**1 Ashfields Lane
North Castle, NY**

Prepared For
Alan Selkin
1 Ashfields Lane
North Castle, NY

Prepared by
Redniss & Mead, Inc.
22 First Street
Stamford, CT
(203) 327-0500

Issued on
April 8, 2022



Craig J. Flaherty, P.E.
NY Lic. No. 093575-I

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PERMITTING

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Table of Contents

Existing & Proposed Drainage Basin Maps & WQV Calculation	Appendix 1
HydroCAD Computer Model	Appendix 2
USDA NRCS Websoil Survey	Appendix 3
Rainfall Data	Appendix 4

Narrative

Project Description

The applicant is seeking approval to build a barn accessory structure within the existing 11.31 acre property located in the R-2A zone. Improvements consist of building the barn and the accompanying stormwater management system. The property is on the western corner of the intersection between Cowdray Park Drive and Ashfields Lane. No portion of the property lies within a Special Flood Hazard Area as depicted on Flood Insurance Rate Map community number 360923, Map number 360923C1695F; effective date: 9/28/2007.

Existing Conditions:

The proposed barn is located within a 4.84 acre portion of the property that flows overland into the Ashfields Lane x Cowdray Park Drive stormwater collection system. This report focuses on this portion of the property for the purposes of evaluating stormwater impacts related to the development. The remaining portion of the property flows onto the neighboring private properties and remains unaffected by this development. The study area contains the access driveway, motor court, the eastern/front half of the residences roof and the existing detached garages. The total existing impervious coverage in this area is 18,627 square feet. Stormwater primarily flows overland and into the rights-of-way through the driveway and down the wooded hillside south of the paddock area. There are no known stormwater detention/infiltration system(s) serving the property.

Proposed Conditions:

The proposed limit of disturbance will envelope an area of the site totaling 4,150 square feet in size. Surrounding areas not impacted by construction activities will be delineated with the use of silt fence and will remain undisturbed. No stockpiling will occur outside the limit of disturbance.

Overall impervious coverage will increase by approximately 1,503 square feet as a result of the new barn structure. An on-site stormwater management system is proposed to mitigate the increase in coverage. This system provides both water quality and peak flow attenuation through the 100-year storm event. Field soil testing will be performed prior to seeking a building permit to determine the adequacy of infiltration practices and will include deep test pits and percolation tests. The system design provided on the site plans utilizes a restrictive soil depth of 78" and hydraulic soil group "b" type soils as provided by the USDA NRCS Websoil Survey (see appendix #3).

The proposed stormwater management system consists of 9 Cultec Recharger 180HD stormwater chambers (3 rows - 3 chambers per row) with a total storage capacity of 435 cu.ft.. The system is located southeast of the barn underneath a lawn area. The entire roof of the new barn totaling 1,503 square feet is tributary to the system. Two outlet devices are proposed: a 1.5" diameter vertical orifice and a 6" diameter horizontal orifice/standpipe. The vertical orifice is set at elevation 517.50 in order to ensure the water quality volume, 179 cubic feet, will infiltrate into the

ground. Both outlets are tied into a single 6" overflow pipe which is piped to an existing manhole in the southeastern corner of the property. This manhole is tied directly into the stormwater collection system serving Ashfields Land & Cowdray Park Drive. An analysis of the pre and post construction peak flow rates for the study area has been prepared using HydroCAD. The model uses rainfall intensities from Cornell's "Extreme Precipitation in New York & New England: An Interactive Web Tool for Extreme Precipitation Analysis" (see appendix #4). The results of which indicate controlled peak flow rates for all storm events studied through the 100-year design storm. See appendix #2 for model results. The following table documents the sites peak rates of runoff for both pre-construction and post-construction conditions through the 100-year storm event:

Table 1 (Study Area – Ashfields Lane / Cowdray Park Drive)

Return Period (yrs)	Peak Flow (cfs)			
	Ex	Pr	Change (cfs)	% Change
1	1.92	1.91	-0.01	-0.5%
2	3.39	3.39	-0.00	-0.0%
5	5.80	5.80	-0.00	-0.0%
10	8.28	8.27	-0.01	-0.1%
25	12.62	12.59	-0.03	-0.2%
50	16.90	16.84	-0.06	-0.5%
100	22.16	22.14	-0.02	-0.1%

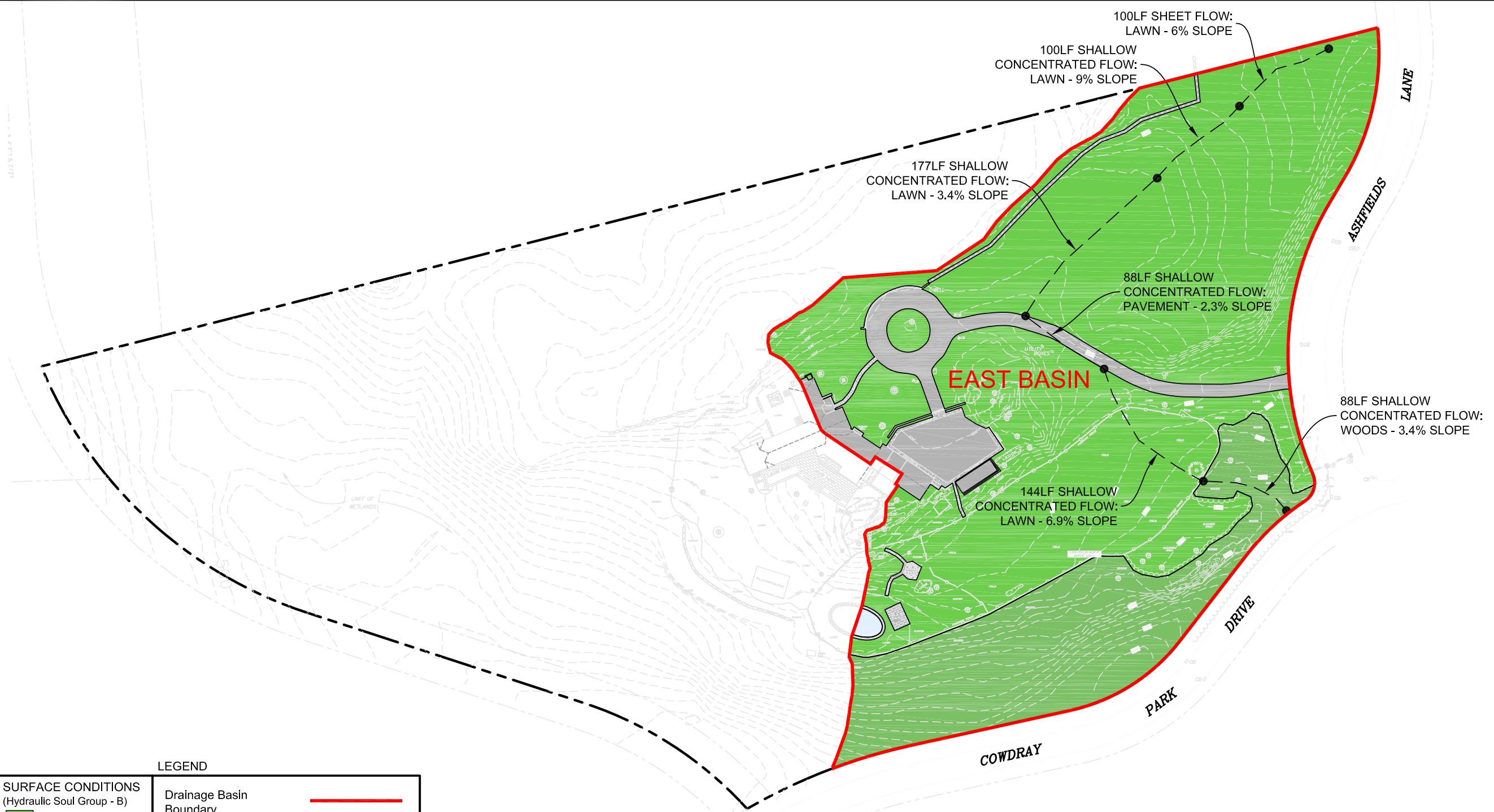
Stormwater quality will be enhanced with the addition of the Cultec infiltration system. The infiltration system will recharge groundwater, cool stormwater runoff and filter pollutants on-site prior to discharging off the property.

Sediment and Erosion Controls:

A Sediment and Erosion Control Plan, including a system of controls both temporary and permanent, has been provided to minimize erosion and contain & properly dispose of any accumulation of sediment during construction. The erosion control measures proposed shall be installed and maintained in accordance with The New York Standards and Specifications for Erosion and Sediment Control. Temporary sediment and erosion controls include silt fence & tree protection. The proper use of sediment and erosion controls minimizes potential negative impacts during construction.

Conclusion:

The stormwater design employs effective strategies designed to maintain or reduce the peak rates of runoff and filter sediments and pollutants from the water through the use of an infiltration system. Based on the above information and with proper implementation of the design drawings, the proposed development will not adversely impact adjacent or downstream properties or Town or State-owned drainage facilities.



LEGEND

SURFACE CONDITIONS (Hydraulic Soil Group - B)		Drainage Basin Boundary
	LAWN	
	WOODS	Flow Length Segments (Time of Concentration)
	WATER (POOL)	
	IMPERVIOUS	

DRAINAGE BASIN SUMMARY TABLE			
BASIN	CN	SIZE (SF.)	TC (MIN.)
EXISTING BASIN	68.9	210,681	15.9

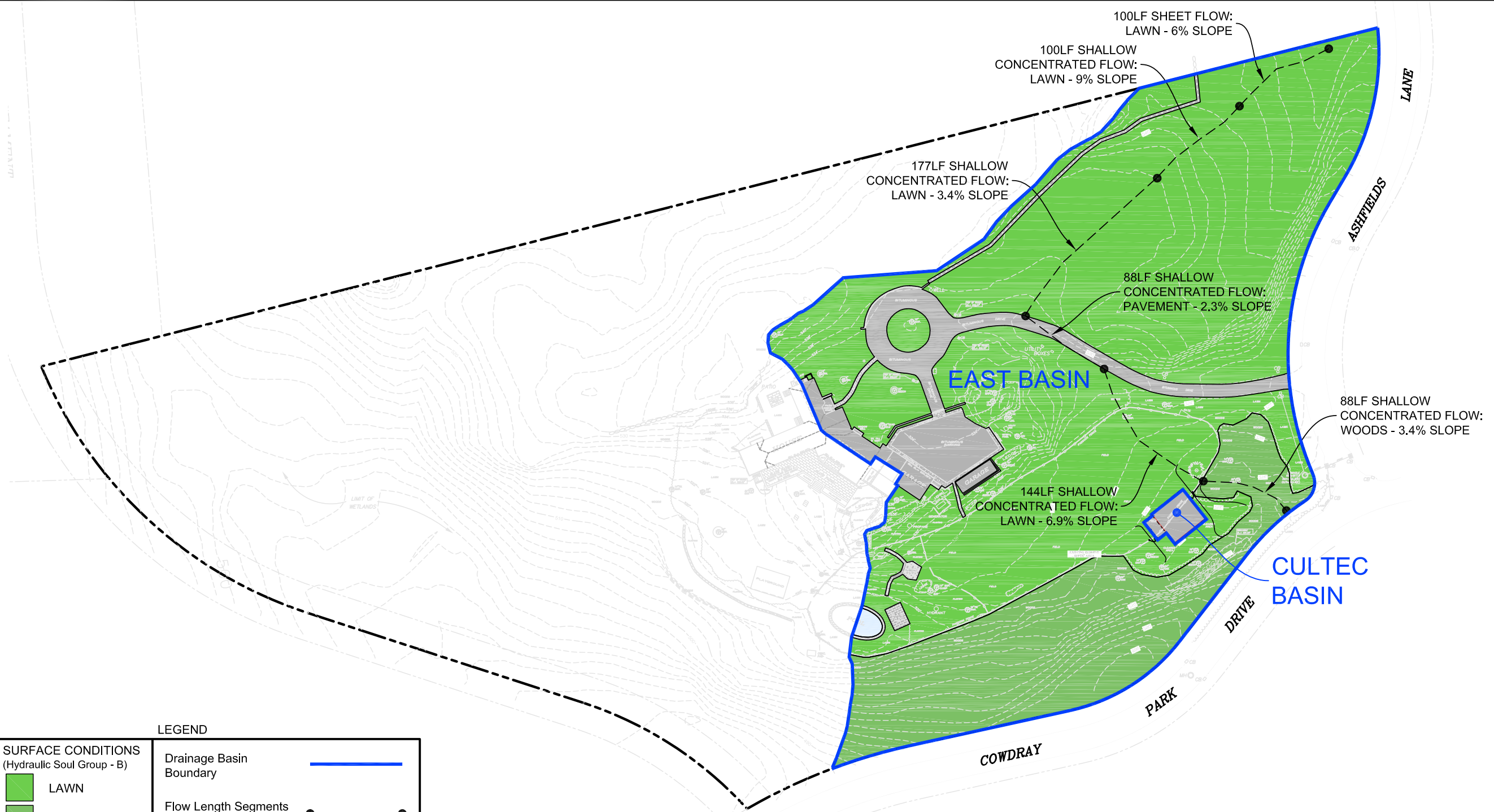
EXISTING DRAINAGE BASIN
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10499	4/4/22
	SCALE:
	1"=100'



LEGEND

SURFACE CONDITIONS (Hydraulic Soil Group - B)		Drainage Basin Boundary
	LAWN	
	WOODS	Flow Length Segments (Time of Concentration)
	WATER (POOL)	
	IMPERVIOUS	

DRAINAGE BASIN SUMMARY TABLE			
BASIN	CN	SIZE (SF.)	TC (MIN.)
EAST BASIN	68.9	209,178	15.9
CULTEC	98	1,503	5.0

**PROPOSED DRAINAGE BASIN
I ASHFIELDS LANE
NORTH CASTLE, NY**

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4/7/2022 4:15 PM H:\Jobfiles\210000\10400\10499\DWG\10499 Master1.dwg

Water Quality Volume Calculations

Project: <i>1 Ashfields Lane - Proposed Barn</i>	Project #: <i>10499</i>	Date: <i>4/4/2022</i>
Location: <i>North Castle, New York</i>	By: <i>AMK</i>	Checked: <i>CJF</i>

Barn Roof Infiltration System

Area=	0.035	acres
Impervious Area=	0.035	acres
P=	1.5	inches ^a
I=	1.000	^b
R=	0.950	^c
WQV=	0.004	ac. ft. ^d

Required WQV=	178.48 ft.³	
Provided WQV=	180 * ft.³	

^a P=90% Rainfall Event Number, See Figure 4.1 in Section 4.2 of the 2015 New York State Stormwater Management Design Manual

^b I=Percent Impervious Coverage

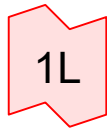
^c R=0.05+0.009(I); Volumetric runoff Coefficient, Equation taken from 2004 Connecticut Stormwater Quality Manual section 7.4.1

^d WQV=(P*Rv*A)/12; Water Quality Volume, Equation taken from 2015 New York State Stormwater Management Design Manual section 4.2

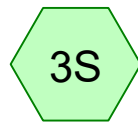
* Storage provided below 1.5" orifice in infiltration system #1



EX. EAST



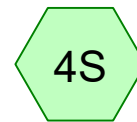
EX. EAST



PR. EAST



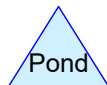
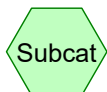
PR. EAST



CULTEC



CULTEC



Routing Diagram for 10499 HydroCAD

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10499 HydroCAD

Type III 24-hr 1 Rainfall=2.82"

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Page 2

Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>0.57"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=1.92 cfs 9,983 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>0.57"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=1.91 cfs 9,911 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>2.59"
Tc=5.0 min CN=98.0 Runoff=0.10 cfs 324 cf

Pond 5P: CULTEC

Peak Elev=517.62' Storage=208 cf Inflow=0.10 cfs 324 cf
Outflow=0.01 cfs 136 cf

Link 1L: EX. EAST

Inflow=1.92 cfs 9,983 cf
Primary=1.92 cfs 9,983 cf

Link 2L: PR. EAST

Inflow=1.91 cfs 10,047 cf
Primary=1.91 cfs 10,047 cf

10499 HydroCAD

Type III 24-hr 2 Rainfall=3.43"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>0.90"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=3.39 cfs 15,852 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>0.90"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=3.37 cfs 15,739 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>3.19"
Tc=5.0 min CN=98.0 Runoff=0.12 cfs 400 cf

Pond 5P: CULTEC

Peak Elev=517.75' Storage=236 cf Inflow=0.12 cfs 400 cf
Outflow=0.03 cfs 211 cf

Link 1L: EX. EAST

Inflow=3.39 cfs 15,852 cf
Primary=3.39 cfs 15,852 cf

Link 2L: PR. EAST

Inflow=3.39 cfs 15,950 cf
Primary=3.39 cfs 15,950 cf

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Type III 24-hr 5 Rainfall=4.30"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>1.45"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=5.80 cfs 25,507 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>1.45"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=5.76 cfs 25,325 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>4.06"
Tc=5.0 min CN=98.0 Runoff=0.15 cfs 509 cf

Pond 5P: CULTEC

Peak Elev=517.99' Storage=283 cf Inflow=0.15 cfs 509 cf
Outflow=0.04 cfs 319 cf

Link 1L: EX. EAST

Inflow=5.80 cfs 25,507 cf
Primary=5.80 cfs 25,507 cf

Link 2L: PR. EAST

Inflow=5.80 cfs 25,644 cf
Primary=5.80 cfs 25,644 cf

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Type III 24-hr 10 Rainfall=5.11"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>2.02"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=8.28 cfs 35,498 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>2.02"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=8.23 cfs 35,244 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>4.87"
Tc=5.0 min CN=98.0 Runoff=0.18 cfs 610 cf

Pond 5P: CULTEC

Peak Elev=518.22' Storage=325 cf Inflow=0.18 cfs 610 cf
Outflow=0.05 cfs 420 cf

Link 1L: EX. EAST

Inflow=8.28 cfs 35,498 cf
Primary=8.28 cfs 35,498 cf

Link 2L: PR. EAST

Inflow=8.27 cfs 35,664 cf
Primary=8.27 cfs 35,664 cf

10499 HydroCAD

Type III 24-hr 25 Rainfall=6.42"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>3.02"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=12.62 cfs 53,090 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>3.02"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=12.53 cfs 52,711 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>6.18"
Tc=5.0 min CN=98.0 Runoff=0.23 cfs 774 cf

Pond 5P: CULTEC

Peak Elev=518.63' Storage=386 cf Inflow=0.23 cfs 774 cf
Outflow=0.06 cfs 583 cf

Link 1L: EX. EAST

Inflow=12.62 cfs 53,090 cf
Primary=12.62 cfs 53,090 cf

Link 2L: PR. EAST

Inflow=12.59 cfs 53,294 cf
Primary=12.59 cfs 53,294 cf

Summary for Subcatchment 1S: EX. EAST

Runoff = 12.62 cfs @ 12.22 hrs, Volume= 53,090 cf, Depth> 3.02"

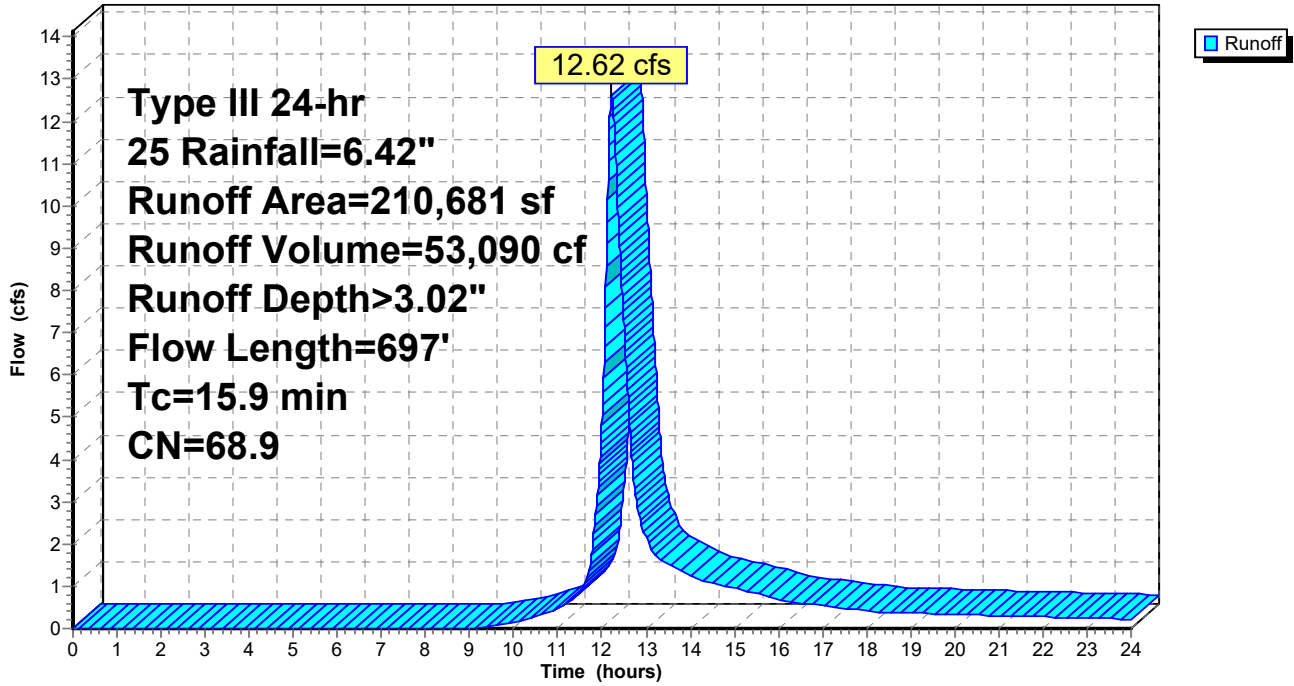
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
Type III 24-hr 25 Rainfall=6.42"

Area (sf)	CN	Description
150,070	69.0	50-75% Grass cover, Fair, HSG B
* 18,627	98.0	Impervious Coverage
* 508	100.0	Pool
41,476	55.0	Woods, Good, HSG B
210,681	68.9	Weighted Average
191,546		90.92% Pervious Area
19,135		9.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.4	100	0.0600	0.18		Sheet Flow, Grass: Dense n= 0.240 P2= 3.05"
0.8	100	0.0900	2.10		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
2.3	177	0.0340	1.29		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
0.5	88	0.0230	3.08		Shallow Concentrated Flow, Paved Kv= 20.3 fps
1.3	144	0.0690	1.84		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
1.6	88	0.0340	0.92		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.9	697	Total			

Subcatchment 1S: EX. EAST

Hydrograph



10499 HydroCAD

Type III 24-hr 25 Rainfall=6.42"

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Summary for Subcatchment 3S: PR. EAST

Runoff = 12.53 cfs @ 12.22 hrs, Volume= 52,711 cf, Depth> 3.02"

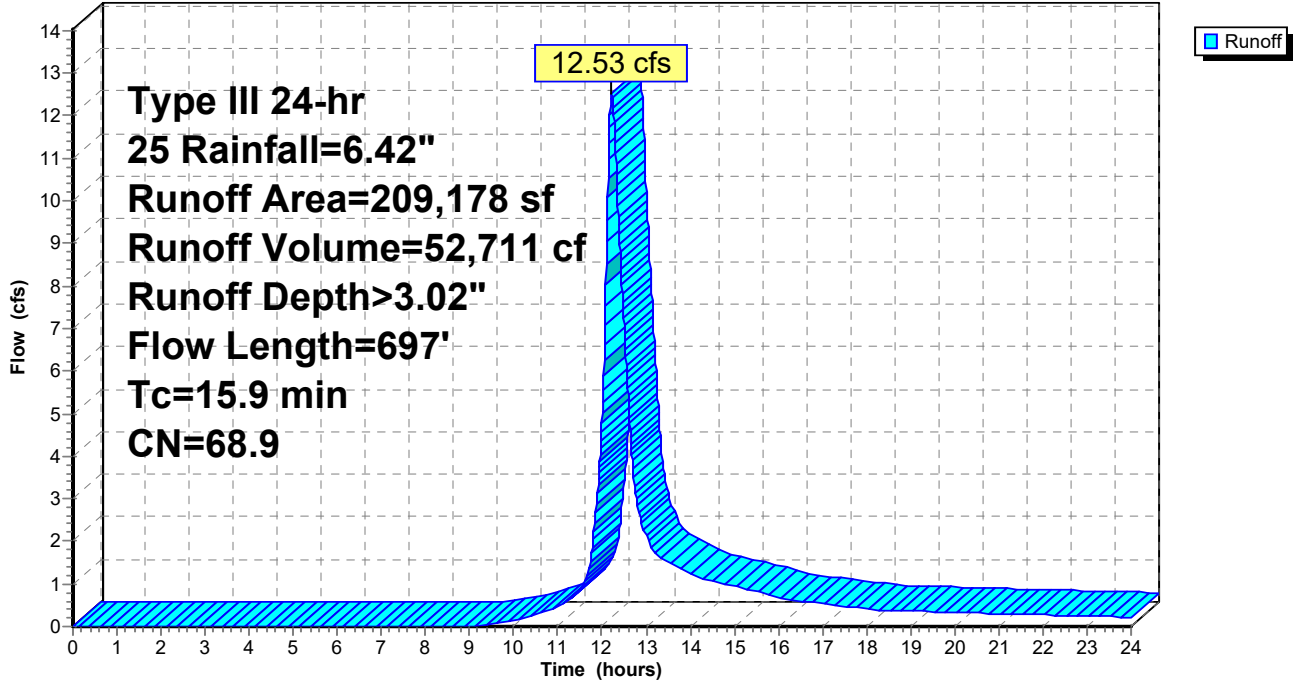
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
Type III 24-hr 25 Rainfall=6.42"

Area (sf)	CN	Description
148,567	69.0	50-75% Grass cover, Fair, HSG B
* 18,627	98.0	Impervious Coverage
* 508	100.0	Pool
41,476	55.0	Woods, Good, HSG B
209,178	68.9	Weighted Average
190,043		90.85% Pervious Area
19,135		9.15% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.4	100	0.0600	0.18		Sheet Flow, Grass: Dense n= 0.240 P2= 3.05"
0.8	100	0.0900	2.10		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
2.3	177	0.0340	1.29		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
0.5	88	0.0230	3.08		Shallow Concentrated Flow, Paved Kv= 20.3 fps
1.3	144	0.0690	1.84		Shallow Concentrated Flow, Short Grass Pasture Kv= 7.0 fps
1.6	88	0.0340	0.92		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.9	697	Total			

Subcatchment 3S: PR. EAST

Hydrograph



Summary for Subcatchment 4S: CULTEC

Runoff = 0.23 cfs @ 12.07 hrs, Volume= 774 cf, Depth> 6.18"

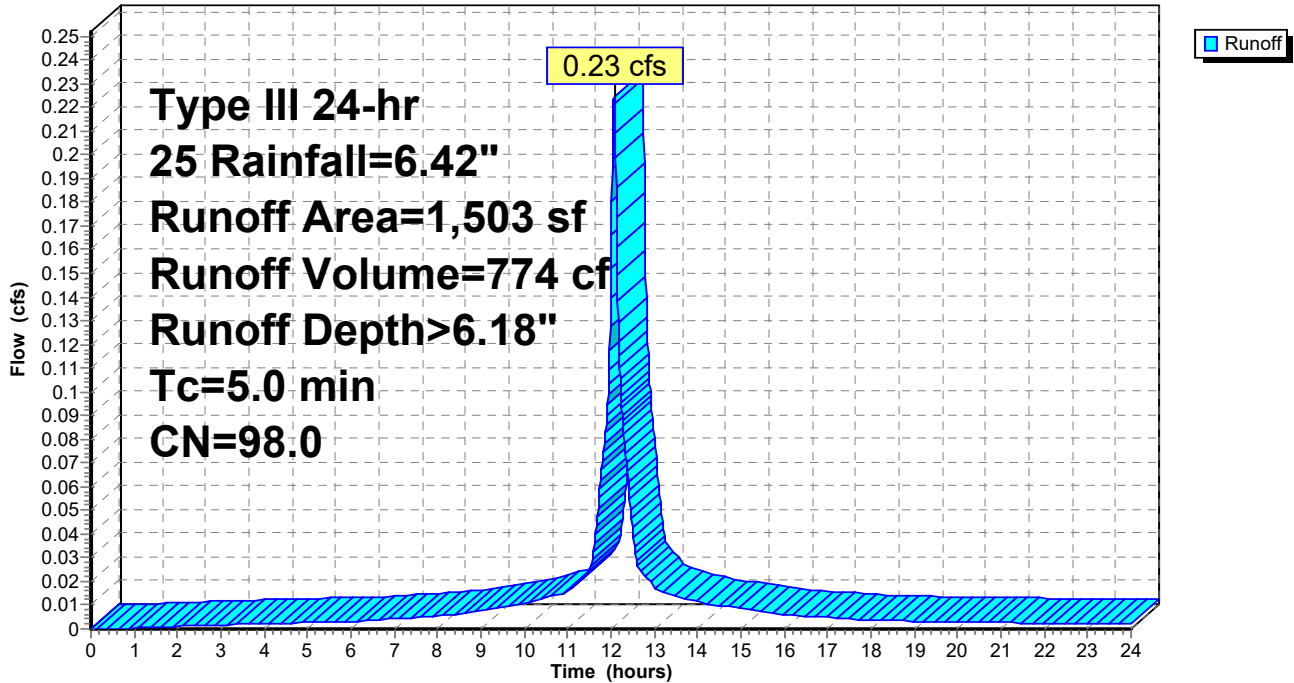
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Type III 24-hr 25 Rainfall=6.42"

Area (sf)	CN	Description
* 1,503	98.0	Impervious
1,503		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 4S: CULTEC

Hydrograph



Summary for Pond 5P: CULTEC

Inflow Area = 1,503 sf, 100.00% Impervious, Inflow Depth > 6.18" for 25 event
 Inflow = 0.23 cfs @ 12.07 hrs, Volume= 774 cf
 Outflow = 0.06 cfs @ 12.40 hrs, Volume= 583 cf, Atten= 73%, Lag= 19.9 min
 Primary = 0.06 cfs @ 12.40 hrs, Volume= 583 cf

Routing by Dyn-Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
 Peak Elev= 518.63' @ 12.40 hrs Surf.Area= 291 sf Storage= 386 cf

Plug-Flow detention time= 198.3 min calculated for 583 cf (75% of inflow)
 Center-of-Mass det. time= 111.7 min (854.5 - 742.8)

Volume	Invert	Avail.Storage	Storage Description
#1A	516.42'	229 cf	12.50'W x 22.99'L x 2.71'H Field A 778 cf Overall - 206 cf Embedded = 572 cf x 40.0% Voids
#2A	516.92'	206 cf	Cultec R-180 x 9 Inside #1 Effective Size= 33.6"W x 20.0"H => 3.44 sf x 6.33'L = 21.8 cf Overall Size= 36.0"W x 20.5"H x 7.33'L with 1.00' Overlap Row Length Adjustment= +1.00' x 3.44 sf x 3 rows
#3	516.50'	12 cf	JB#2 (Prismatic) Listed below (Recalc)
		447 cf	Total Available Storage

Storage Group A created with Chamber Wizard

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
516.50	4	0	0
519.50	4	12	12

Device	Routing	Invert	Outlet Devices
#1	Primary	519.12'	6.0" Horiz. Orifice/Grate C= 0.600 Limited to weir flow at low heads
#2	Primary	517.50'	1.5" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.06 cfs @ 12.40 hrs HW=518.63' TW=0.00' (Dynamic Tailwater)

- ↑1=Orifice/Grate (Controls 0.00 cfs)
- ↳2=Orifice/Grate (Orifice Controls 0.06 cfs @ 4.97 fps)

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Type III 24-hr 25 Rainfall=6.42"

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Pond 5P: CULTEC - Chamber Wizard Field A

Chamber Model = Cultec R-180 (Cultec Recharger® 180HD)

Effective Size= 33.6"W x 20.0"H => 3.44 sf x 6.33'L = 21.8 cf

Overall Size= 36.0"W x 20.5"H x 7.33'L with 1.00' Overlap

Row Length Adjustment= +1.00' x 3.44 sf x 3 rows

36.0" Wide + 3.0" Spacing = 39.0" C-C Row Spacing

3 Chambers/Row x 6.33' Long +1.00' Row Adjustment = 19.99' Row Length +18.0" End Stone x 2 = 22.99' Base Length

3 Rows x 36.0" Wide + 3.0" Spacing x 2 + 18.0" Side Stone x 2 = 12.50' Base Width

6.0" Base + 20.5" Chamber Height + 6.0" Cover = 2.71' Field Height

9 Chambers x 21.8 cf +1.00' Row Adjustment x 3.44 sf x 3 Rows = 206.3 cf Chamber Storage

778.3 cf Field - 206.3 cf Chambers = 572.0 cf Stone x 40.0% Voids = 228.8 cf Stone Storage

Chamber Storage + Stone Storage = 435.1 cf = 0.010 af

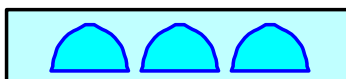
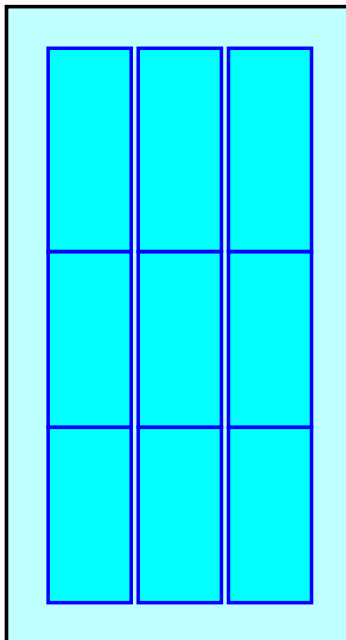
Overall Storage Efficiency = 55.9%

Overall System Size = 22.99' x 12.50' x 2.71'

9 Chambers

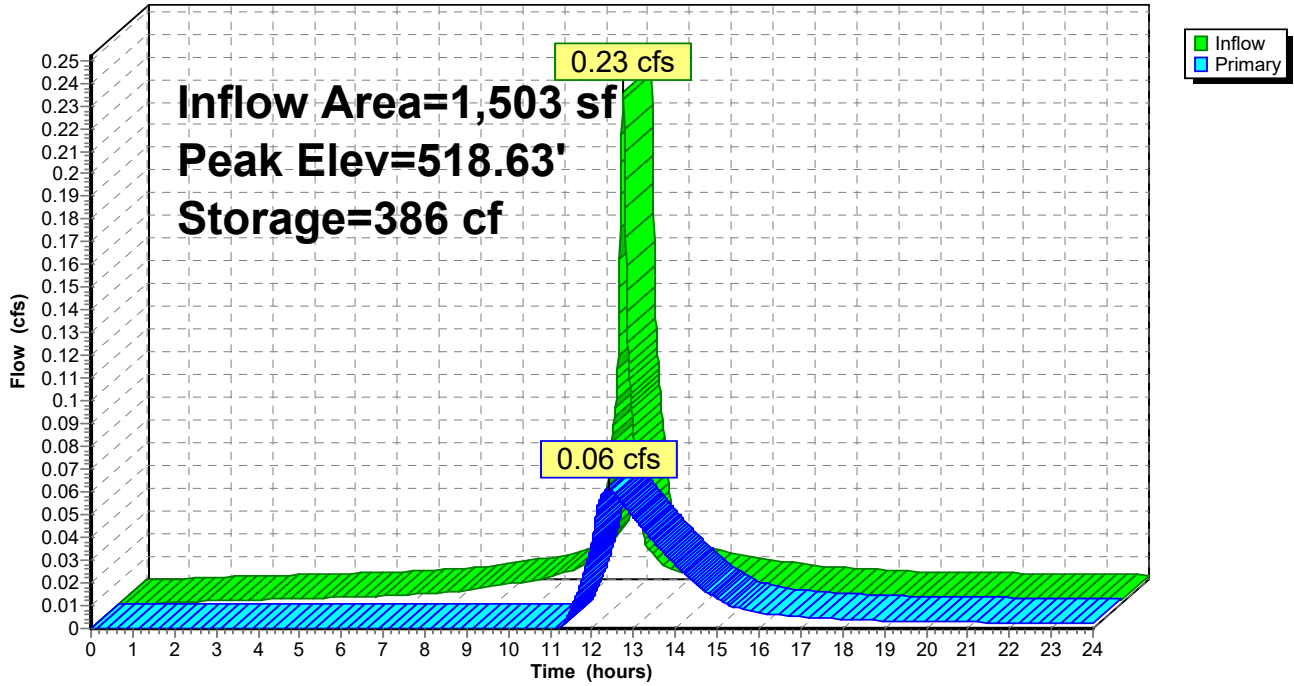
28.8 cy Field

21.2 cy Stone



Pond 5P: CULTEC

Hydrograph



Stage-Area-Storage for Pond 5P: CULTEC

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
516.42	0	517.48	179	518.54	375
516.44	2	517.50	183	518.56	378
516.46	5	517.52	188	518.58	380
516.48	7	517.54	192	518.60	383
516.50	9	517.56	196	518.62	385
516.52	12	517.58	200	518.64	388
516.54	14	517.60	204	518.66	390
516.56	16	517.62	208	518.68	392
516.58	19	517.64	212	518.70	395
516.60	21	517.66	216	518.72	397
516.62	23	517.68	221	518.74	399
516.64	26	517.70	225	518.76	402
516.66	28	517.72	229	518.78	404
516.68	31	517.74	233	518.80	407
516.70	33	517.76	237	518.82	409
516.72	35	517.78	241	518.84	411
516.74	38	517.80	245	518.86	414
516.76	40	517.82	249	518.88	416
516.78	43	517.84	253	518.90	418
516.80	45	517.86	257	518.92	421
516.82	47	517.88	261	518.94	423
516.84	50	517.90	265	518.96	426
516.86	52	517.92	269	518.98	428
516.88	54	517.94	273	519.00	430
516.90	57	517.96	277	519.02	433
516.92	59	517.98	280	519.04	435
516.94	64	518.00	284	519.06	437
516.96	68	518.02	288	519.08	440
516.98	72	518.04	292	519.10	442
517.00	77	518.06	296	519.12	445
517.02	81	518.08	299	519.14	446
517.04	85	518.10	303	519.16	446
517.06	90	518.12	307	519.18	446
517.08	94	518.14	310	519.20	446
517.10	98	518.16	314	519.22	446
517.12	103	518.18	318	519.24	446
517.14	107	518.20	321	519.26	446
517.16	111	518.22	325	519.28	446
517.18	115	518.24	328	519.30	446
517.20	120	518.26	332	519.32	446
517.22	124	518.28	335	519.34	446
517.24	128	518.30	339	519.36	447
517.26	133	518.32	342	519.38	447
517.28	137	518.34	345	519.40	447
517.30	141	518.36	348	519.42	447
517.32	145	518.38	352	519.44	447
517.34	150	518.40	355	519.46	447
517.36	154	518.42	358	519.48	447
517.38	158	518.44	361	519.50	447
517.40	162	518.46	364		
517.42	167	518.48	367		
517.44	171	518.50	369		
517.46	175	518.52	372		

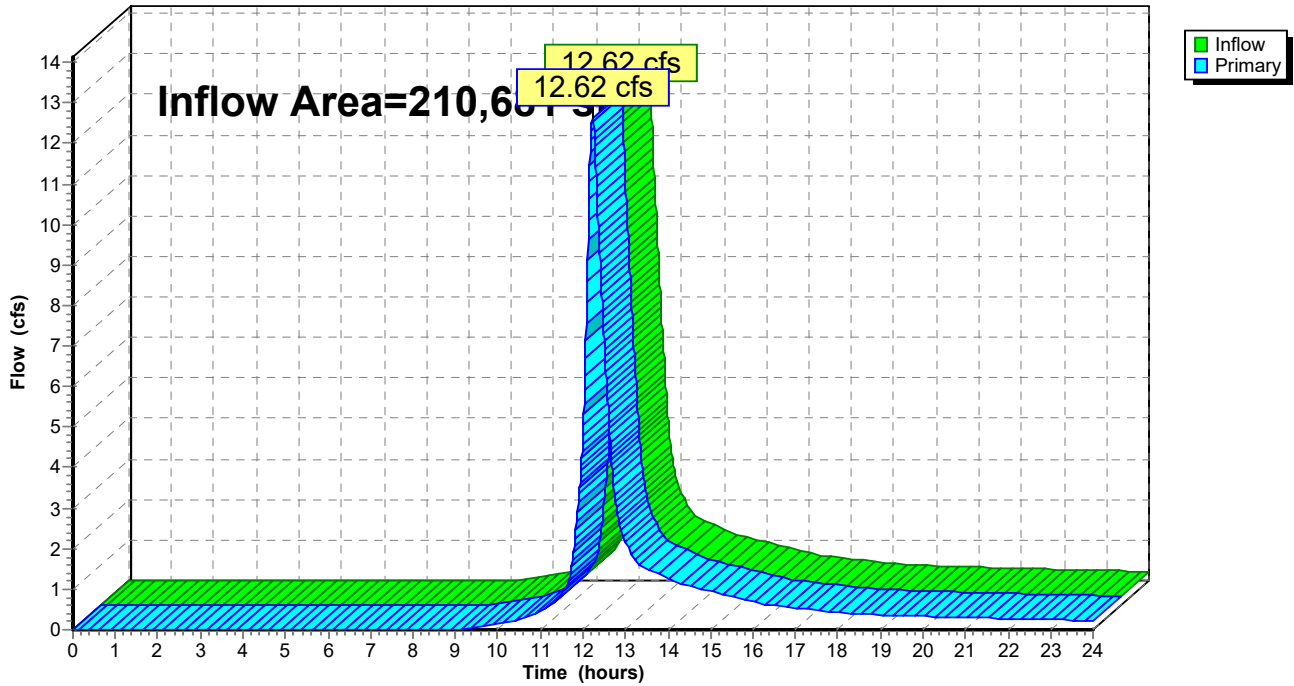
Summary for Link 1L: EX. EAST

Inflow Area = 210,681 sf, 9.08% Impervious, Inflow Depth > 3.02" for 25 event
Inflow = 12.62 cfs @ 12.22 hrs, Volume= 53,090 cf
Primary = 12.62 cfs @ 12.22 hrs, Volume= 53,090 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

Link 1L: EX. EAST

Hydrograph



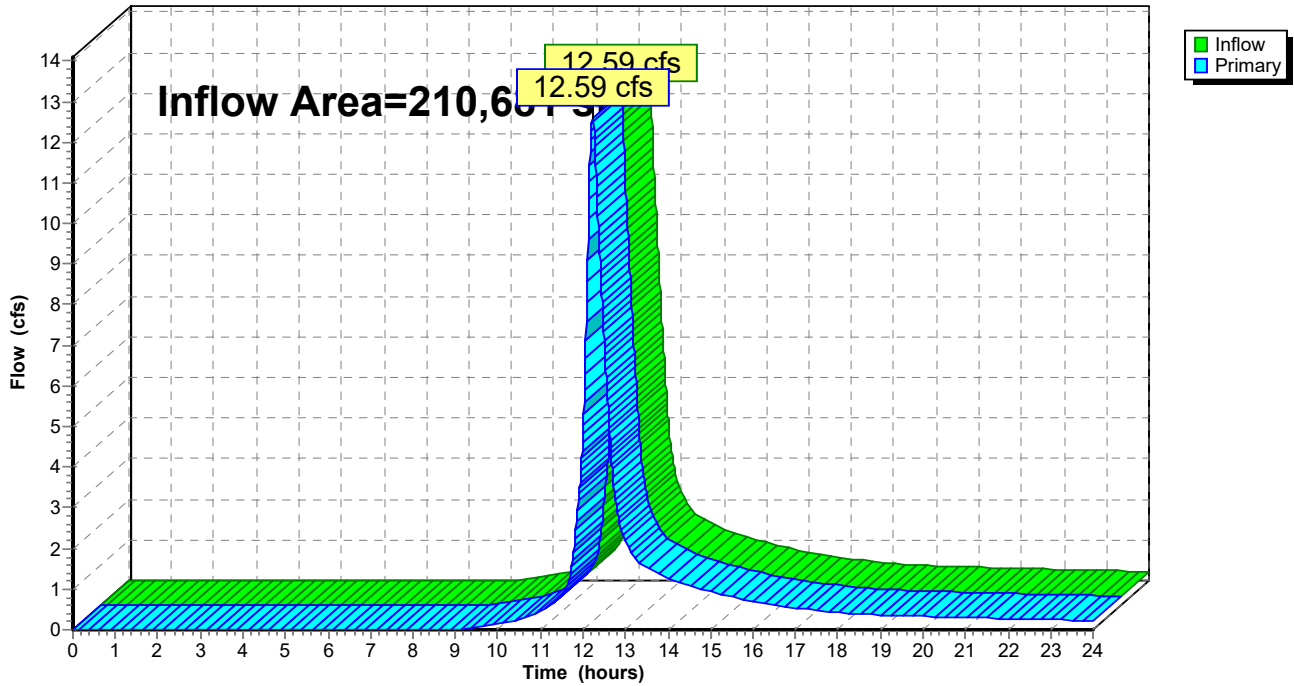
Summary for Link 2L: PR. EAST

Inflow Area = 210,681 sf, 9.80% Impervious, Inflow Depth > 3.04" for 25 event
Inflow = 12.59 cfs @ 12.22 hrs, Volume= 53,294 cf
Primary = 12.59 cfs @ 12.22 hrs, Volume= 53,294 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

Link 2L: PR. EAST

Hydrograph



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Type III 24-hr 50 Rainfall=7.64"

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Printed 4/7/2022

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>4.02"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=16.90 cfs 70,595 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>4.02"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=16.77 cfs 70,091 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>7.40"
Tc=5.0 min CN=98.0 Runoff=0.27 cfs 926 cf

Pond 5P: CULTEC

Peak Elev=519.04' Storage=435 cf Inflow=0.27 cfs 926 cf
Outflow=0.07 cfs 734 cf

Link 1L: EX. EAST

Inflow=16.90 cfs 70,595 cf
Primary=16.90 cfs 70,595 cf

Link 2L: PR. EAST

Inflow=16.84 cfs 70,826 cf
Primary=16.84 cfs 70,826 cf

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Type III 24-hr 100 Rainfall=9.09"

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Time span=0.00-24.00 hrs, dt=0.01 hrs, 2401 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1S: EX. EAST

Runoff Area=210,681 sf 9.08% Impervious Runoff Depth>5.26"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=22.16 cfs 92,367 cf

Subcatchment 3S: PR. EAST

Runoff Area=209,178 sf 9.15% Impervious Runoff Depth>5.26"
Flow Length=697' Tc=15.9 min CN=68.9 Runoff=22.00 cfs 91,708 cf

Subcatchment 4S: CULTEC

Runoff Area=1,503 sf 100.00% Impervious Runoff Depth>8.84"
Tc=5.0 min CN=98.0 Runoff=0.32 cfs 1,108 cf

Pond 5P: CULTEC

Peak Elev=519.21' Storage=446 cf Inflow=0.32 cfs 1,108 cf
Outflow=0.22 cfs 915 cf

Link 1L: EX. EAST

Inflow=22.16 cfs 92,367 cf
Primary=22.16 cfs 92,367 cf

Link 2L: PR. EAST

Inflow=22.14 cfs 92,623 cf
Primary=22.14 cfs 92,623 cf



United States
Department of
Agriculture

NRCS

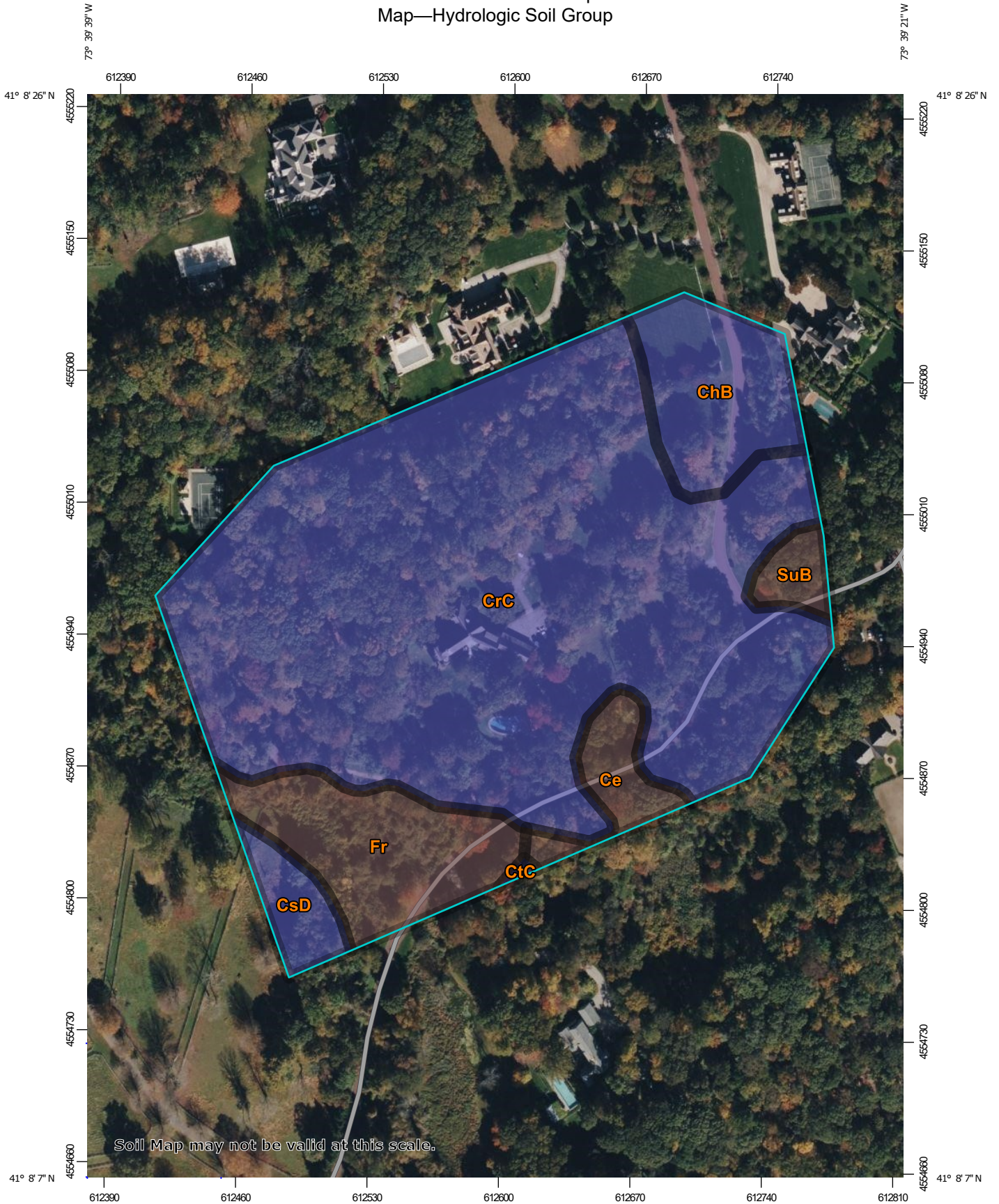
Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

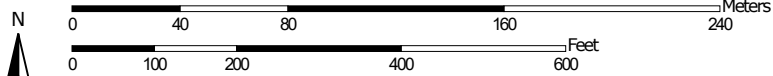
Custom Soil Resource Report for **Westchester County, New York**



Custom Soil Resource Report
Map—Hydrologic Soil Group




Map Scale: 1:2,800 if printed on A portrait (8.5" x 11") sheet.











Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

MAP LEGEND









Area of Interest (AOI)
 Area of Interest (AOI)

Soils





Soil Rating Polygons


-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available

Soil Rating Lines






-  A
-  A/D
-  B
-  B/D
-  C
-  C/D
-  D
-  Not rated or not available


Soil Rating Points

-  A
-  A/D
-  B
-  B/D





Water Features
 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background
 Aerial Photography

Soils

-  C
-  C/D
-  D
-  Not rated or not available

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York
 Survey Area Data: Version 17, Sep 1, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 8, 2020—Oct 14, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Table—Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Ce	Catden muck, 0 to 2 percent slopes	B/D	0.7	3.5%
ChB	Charlton fine sandy loam, 3 to 8 percent slopes	B	1.7	8.3%
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	B	15.3	73.6%
CsD	Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky	B	0.6	2.8%
CtC	Chatfield-Hollis-Rock outcrop complex, 0 to 15 percent slopes	B	0.0	0.1%
Fr	Fredon silt loam	B/D	2.1	10.0%
SuB	Sutton loam, 3 to 8 percent slopes	B/D	0.4	1.8%
Totals for Area of Interest			20.8	100.0%

Rating Options—Hydrologic Soil Group

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

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Custom Soil Resource Report

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Extreme Precipitation Tables

Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Smoothing	Yes
State	New York
Location	
Longitude	73.658 degrees West
Latitude	41.138 degrees North
Elevation	0 feet
Date/Time	Tue, 08 Feb 2022 16:23:05 -0500

Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.34	0.52	0.64	0.84	1.05	1.31	1yr	0.91	1.22	1.50	1.86	2.29	2.82	3.19	1yr	2.50	3.06	3.55	4.26	4.91	1yr
2yr	0.40	0.62	0.77	1.02	1.28	1.60	2yr	1.10	1.49	1.84	2.27	2.79	3.43	3.86	2yr	3.03	3.71	4.26	5.05	5.72	2yr
5yr	0.47	0.73	0.92	1.23	1.58	1.99	5yr	1.36	1.83	2.30	2.85	3.51	4.30	4.88	5yr	3.81	4.69	5.43	6.33	7.10	5yr
10yr	0.53	0.83	1.05	1.42	1.85	2.36	10yr	1.60	2.15	2.73	3.39	4.18	5.11	5.83	10yr	4.52	5.61	6.53	7.51	8.36	10yr
25yr	0.61	0.98	1.24	1.72	2.29	2.95	25yr	1.97	2.66	3.43	4.28	5.27	6.42	7.38	25yr	5.68	7.10	8.35	9.43	10.38	25yr
50yr	0.70	1.12	1.43	2.00	2.69	3.50	50yr	2.33	3.12	4.08	5.09	6.27	7.64	8.83	50yr	6.76	8.49	10.05	11.20	12.24	50yr
100yr	0.79	1.27	1.64	2.33	3.17	4.15	100yr	2.74	3.67	4.86	6.07	7.47	9.09	10.57	100yr	8.04	10.16	12.10	13.30	14.43	100yr
200yr	0.89	1.46	1.89	2.71	3.75	4.93	200yr	3.23	4.32	5.78	7.24	8.91	10.82	12.65	200yr	9.58	12.16	14.58	15.81	17.02	200yr
500yr	1.07	1.76	2.30	3.33	4.67	6.19	500yr	4.03	5.36	7.28	9.14	11.24	13.64	16.05	500yr	12.07	15.43	18.67	19.86	21.17	500yr

Lower Confidence Limits

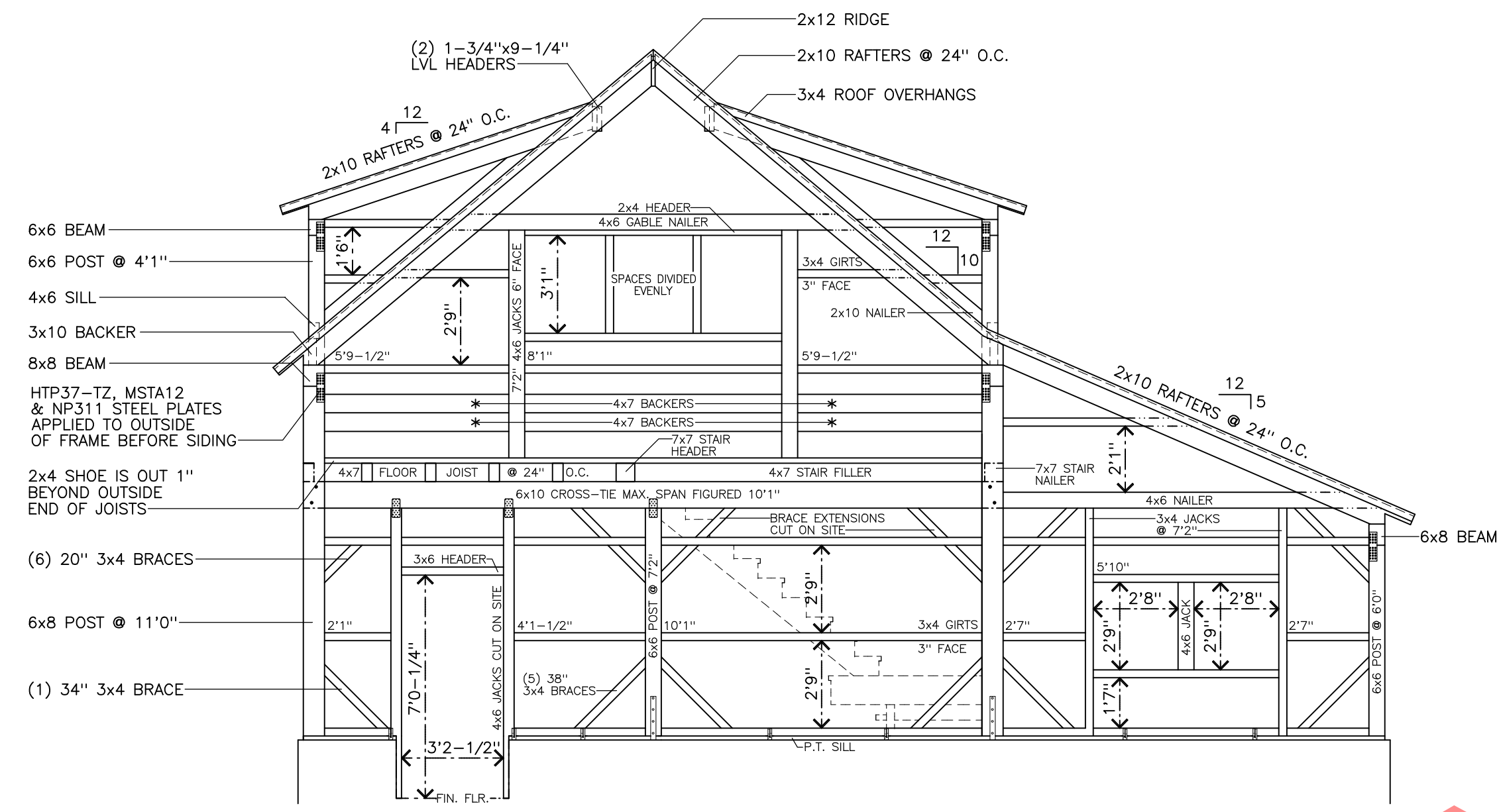
	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.26	0.40	0.49	0.65	0.80	0.93	1yr	0.69	0.91	1.28	1.61	2.00	2.58	2.79	1yr	2.28	2.69	3.22	3.79	4.16	1yr
2yr	0.39	0.60	0.74	1.01	1.24	1.49	2yr	1.07	1.45	1.70	2.17	2.74	3.32	3.74	2yr	2.94	3.60	4.13	4.89	5.55	2yr
5yr	0.43	0.66	0.82	1.13	1.43	1.74	5yr	1.24	1.70	1.98	2.57	3.21	3.94	4.50	5yr	3.49	4.33	5.00	5.80	6.57	5yr
10yr	0.46	0.71	0.89	1.24	1.60	1.96	10yr	1.38	1.92	2.23	2.93	3.64	4.49	5.16	10yr	3.97	4.97	5.75	6.56	7.45	10yr
25yr	0.50	0.76	0.95	1.35	1.78	2.27	25yr	1.54	2.22	2.60	3.47	4.29	5.29	6.20	25yr	4.68	5.97	6.93	7.72	8.78	25yr
50yr	0.52	0.80	0.99	1.43	1.92	2.53	50yr	1.66	2.47	2.94	3.96	4.87	5.98	7.13	50yr	5.29	6.86	7.94	8.69	9.94	50yr
100yr	0.55	0.84	1.05	1.52	2.08	2.80	100yr	1.79	2.74	3.32	4.53	5.46	6.75	8.20	100yr	5.98	7.88	9.10	9.79	11.26	100yr
200yr	0.58	0.88	1.12	1.61	2.25	3.12	200yr	1.94	3.05	3.76	5.20	6.21	7.60	9.42	200yr	6.72	9.06	10.44	10.95	12.74	200yr
500yr	0.62	0.93	1.19	1.73	2.47	3.60	500yr	2.13	3.52	4.44	6.29	7.36	8.87	11.29	500yr	7.85	10.85	12.46	12.69	15.01	500yr

Upper Confidence Limits

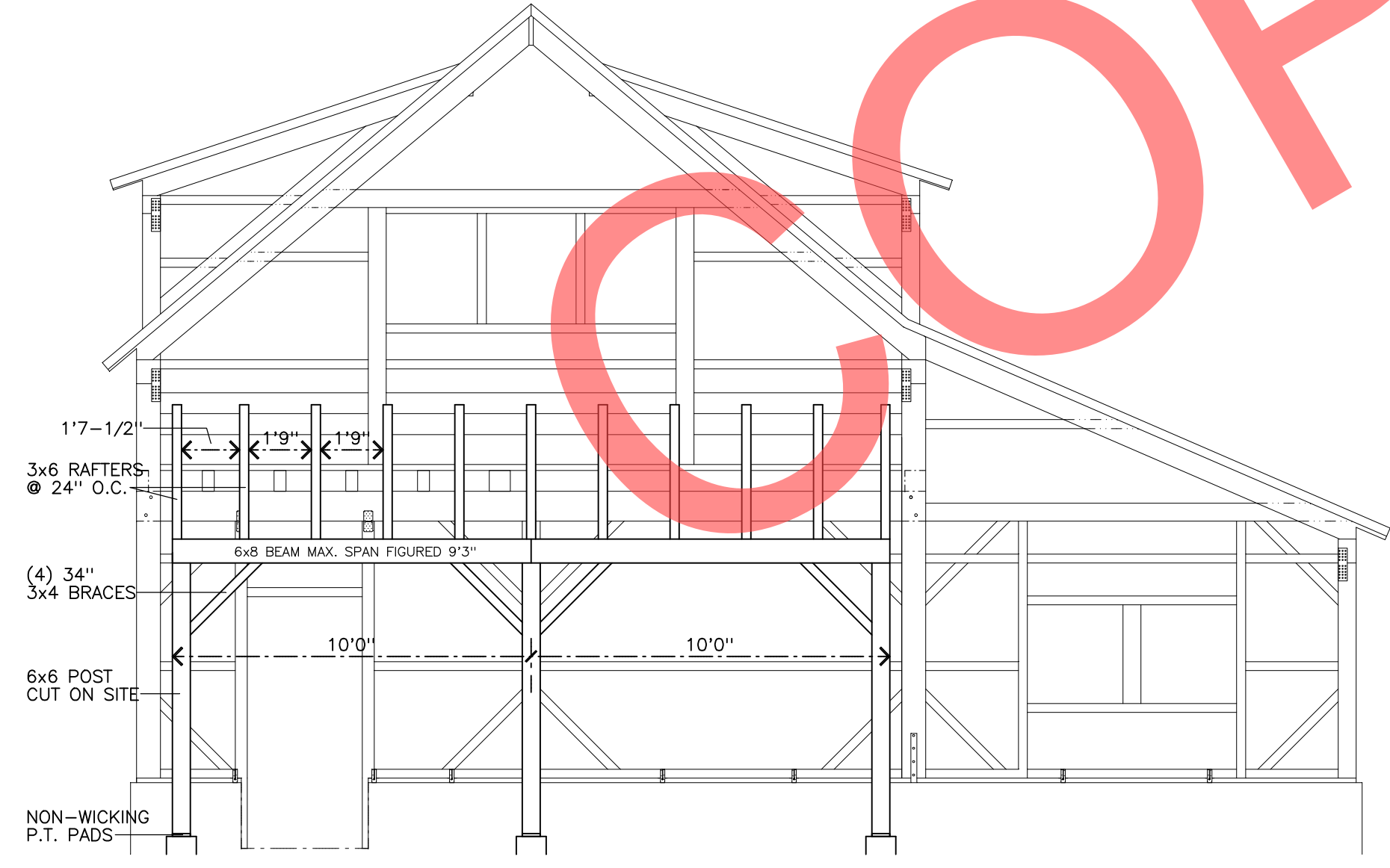
	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.37	0.57	0.70	0.94	1.16	1.39	1yr	1.00	1.36	1.59	2.07	2.61	3.03	3.43	1yr	2.68	3.30	3.84	4.62	5.31	1yr
2yr	0.43	0.66	0.82	1.11	1.36	1.58	2yr	1.18	1.55	1.80	2.31	2.89	3.55	4.00	2yr	3.15	3.85	4.44	5.27	5.92	2yr
5yr	0.51	0.79	0.98	1.35	1.72	2.01	5yr	1.48	1.97	2.33	2.97	3.70	4.67	5.27	5yr	4.14	5.07	5.89	6.87	7.65	5yr
10yr	0.61	0.93	1.16	1.62	2.09	2.42	10yr	1.80	2.37	2.83	3.59	4.50	5.76	6.50	10yr	5.10	6.25	7.32	8.42	9.30	10yr
25yr	0.77	1.17	1.46	2.09	2.74	3.13	25yr	2.37	3.06	3.67	4.62	5.80	7.62	8.62	25yr	6.74	8.28	9.79	11.07	12.04	25yr
50yr	0.92	1.40	1.74	2.50	3.36	3.80	50yr	2.90	3.71	4.47	5.58	7.03	9.42	10.66	50yr	8.33	10.25	12.23	13.62	14.65	50yr
100yr	1.11	1.67	2.09	3.03	4.15	4.62	100yr	3.58	4.52	5.44	6.76	8.79	11.69	13.20	100yr	10.34	12.69	15.30	16.79	17.84	100yr
200yr	1.33	2.00	2.53	3.67	5.12	5.62	200yr	4.42	5.49	6.62	8.17	10.72	14.51	16.36	200yr	12.84	15.73	19.12	20.70	21.75	200yr
500yr	1.72	2.56	3.29	4.78	6.80	7.26	500yr	5.87	7.10	8.60	10.50	13.96	19.33	21.73	500yr	17.10	20.90	25.74	27.38	28.24	500yr

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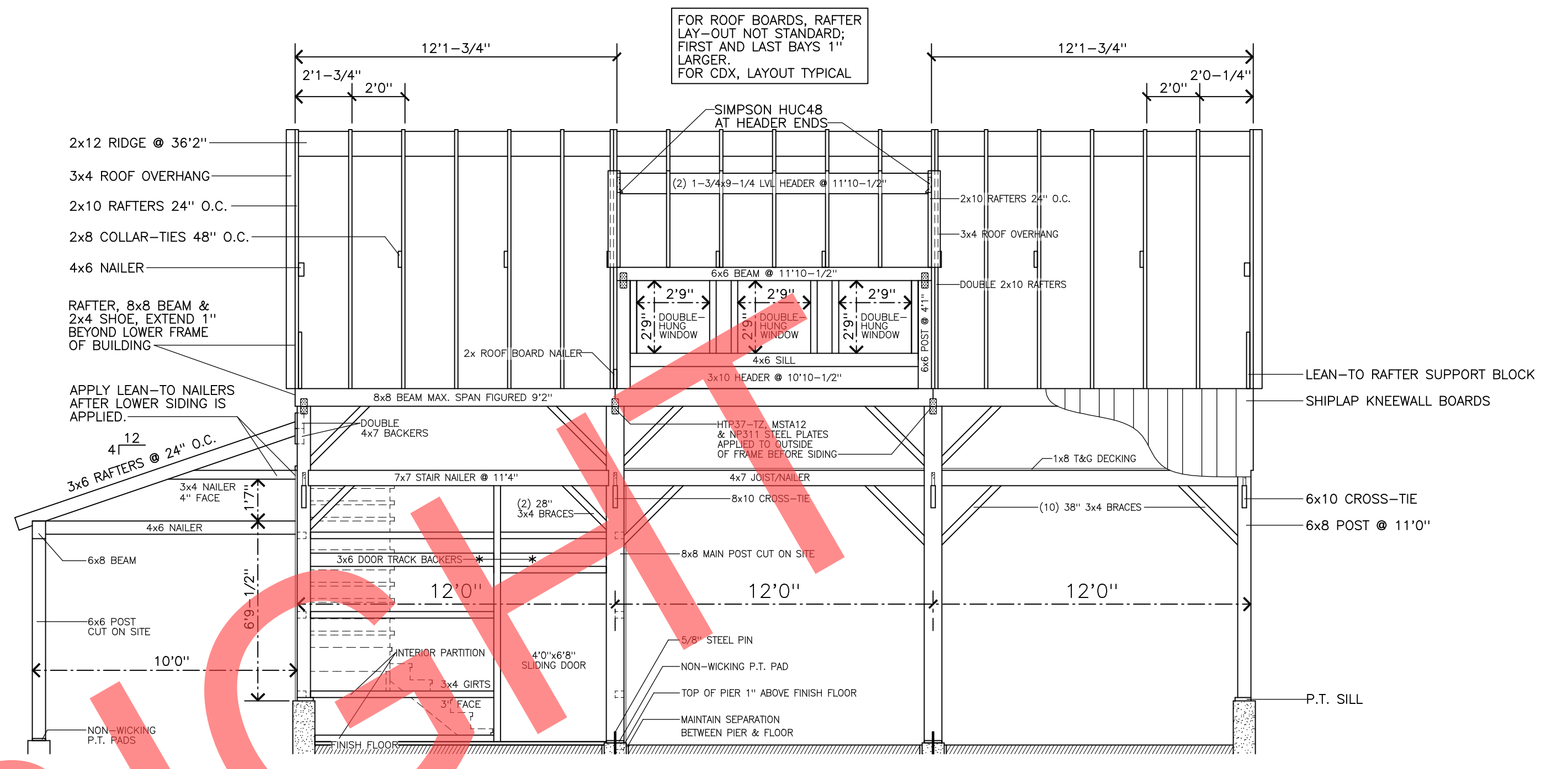
ALL MAIN POSTS, BEAMS & JOISTS GRADED #1 &/ OR #2 N.E.L.M.A. EASTERN PINE, RAFTERS GRADED #2 S-P-F UNLESS OTHERWISE NOTED.



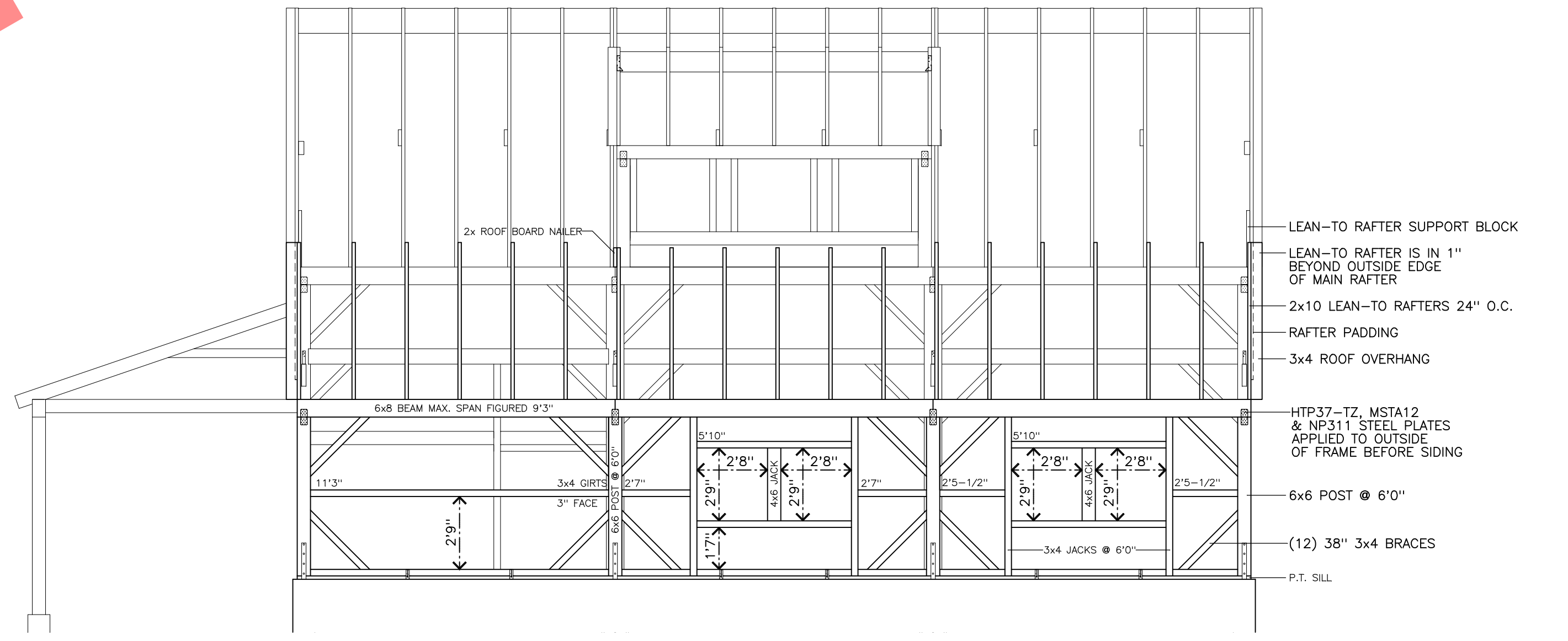
RIGHT FRAMING SCALE: 1/4" = 1'0"
 VIEW FROM OUTSIDE



LEAN-TO FRAMING SCALE: 1/4" = 1'0"
 VIEW FROM OUTSIDE



REAR MAIN FRAME WALL FRAMING SCALE: 1/4" = 1'0"
 VIEW FROM INSIDE LEAN-TO



REAR FRAMING SCALE: 1/4" = 1'0"
 VIEW FROM OUTSIDE

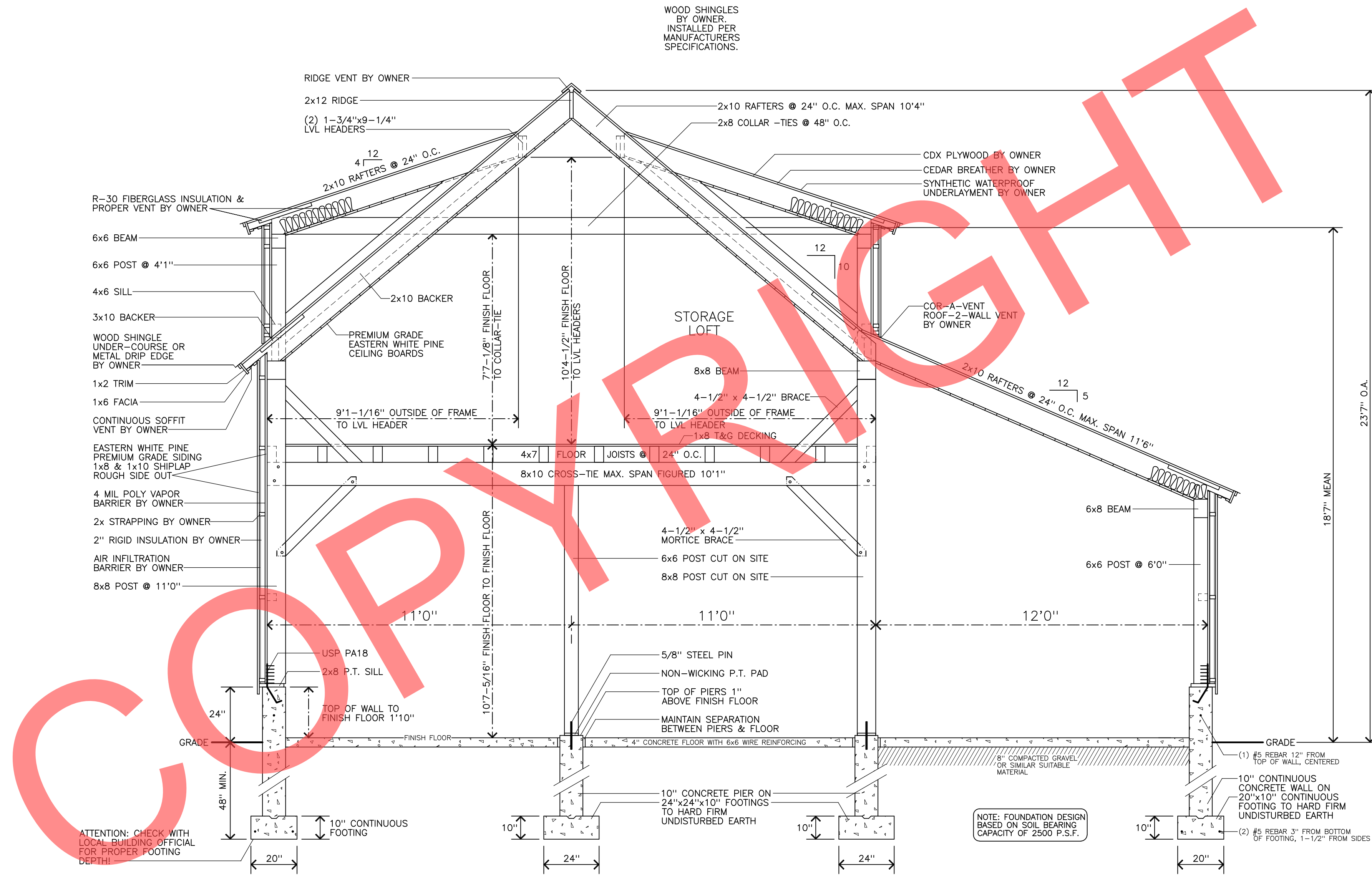
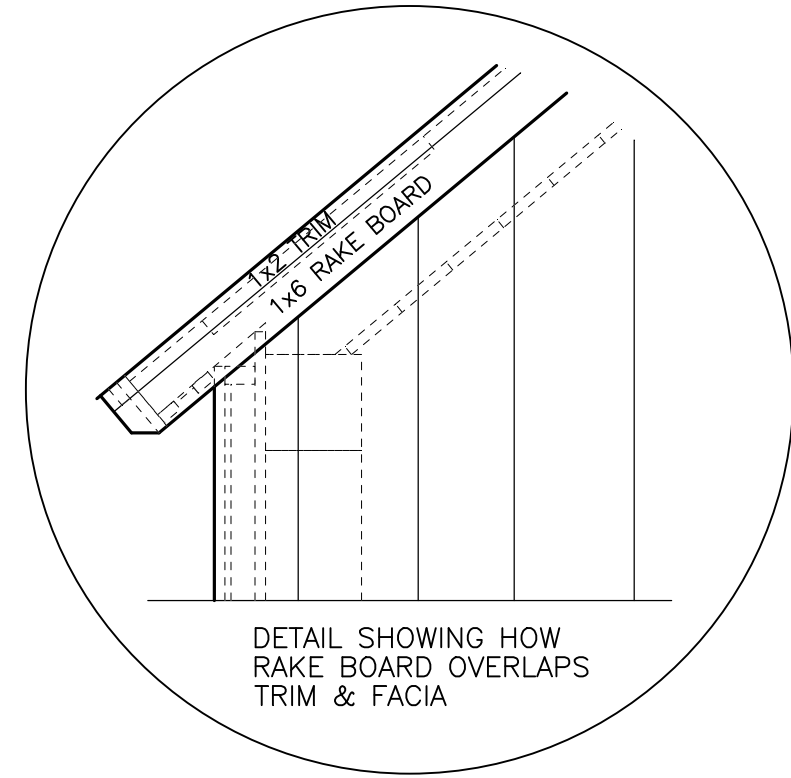
NOTE:
 FOR CONNECTION DETAILS
 SEE PAGE 8.



SEAL IS FOR STRUCTURAL DESIGN ONLY

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GRADED #1 &/ OR #2 N.E.L.M.A.
EASTERN PINE, RAFTERS GRADED
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STRUCTURAL DESIGN DATA:
WIND LOAD 120 MPH
ROOF LOAD 45 #PSF
STORAGE LOFT LOAD 40 #PSF



SECTION THRU SCALE: 3/8" = 1'0"

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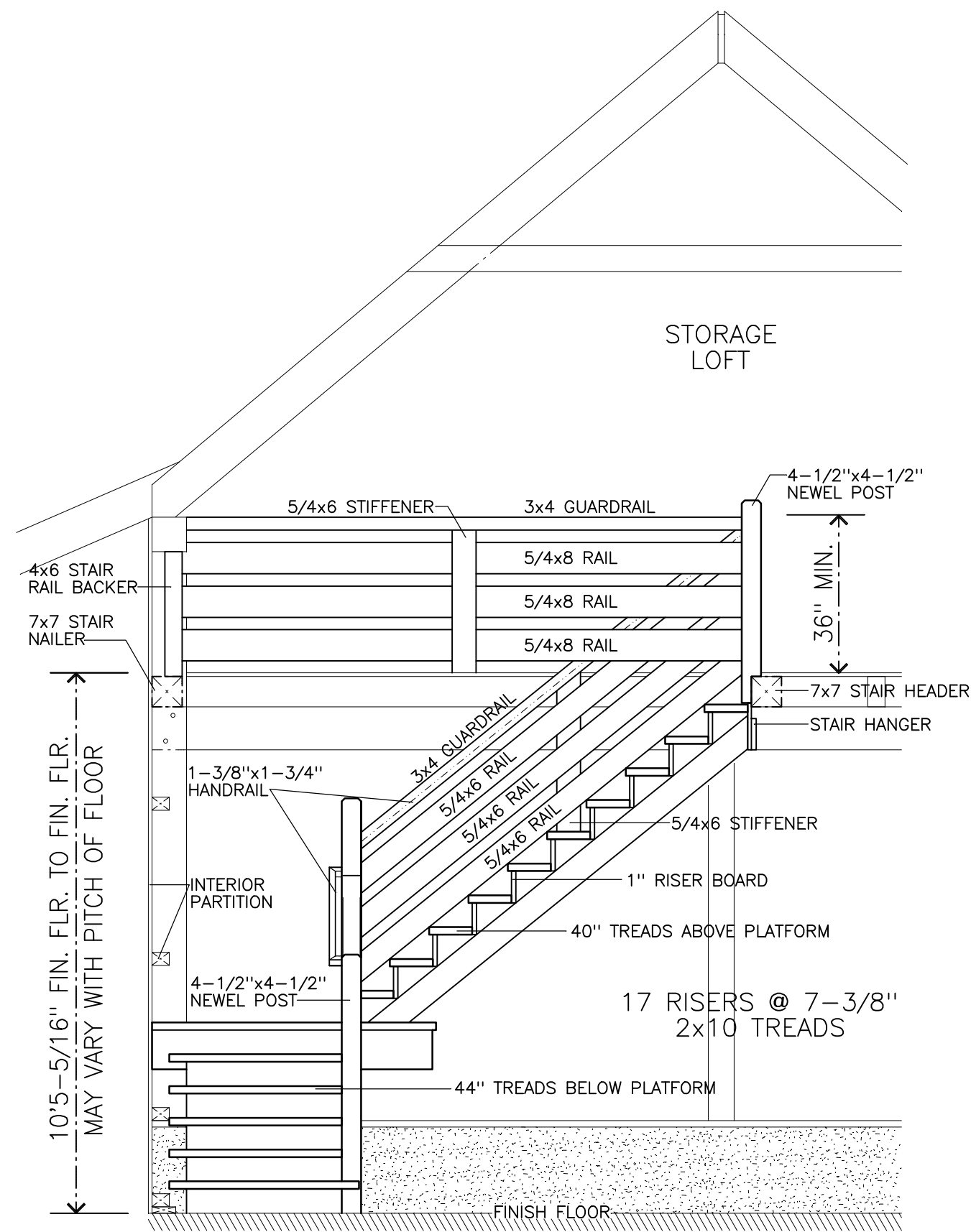
FLOOR TYPICALLY PITCHED
1/8" PER FOOT.
CONCRETE FLOOR
3500 PSI
CONCRETE WALLS
3000 PSI

NOTE:
FOR CONNECTION DETAILS
SEE PAGE 8.



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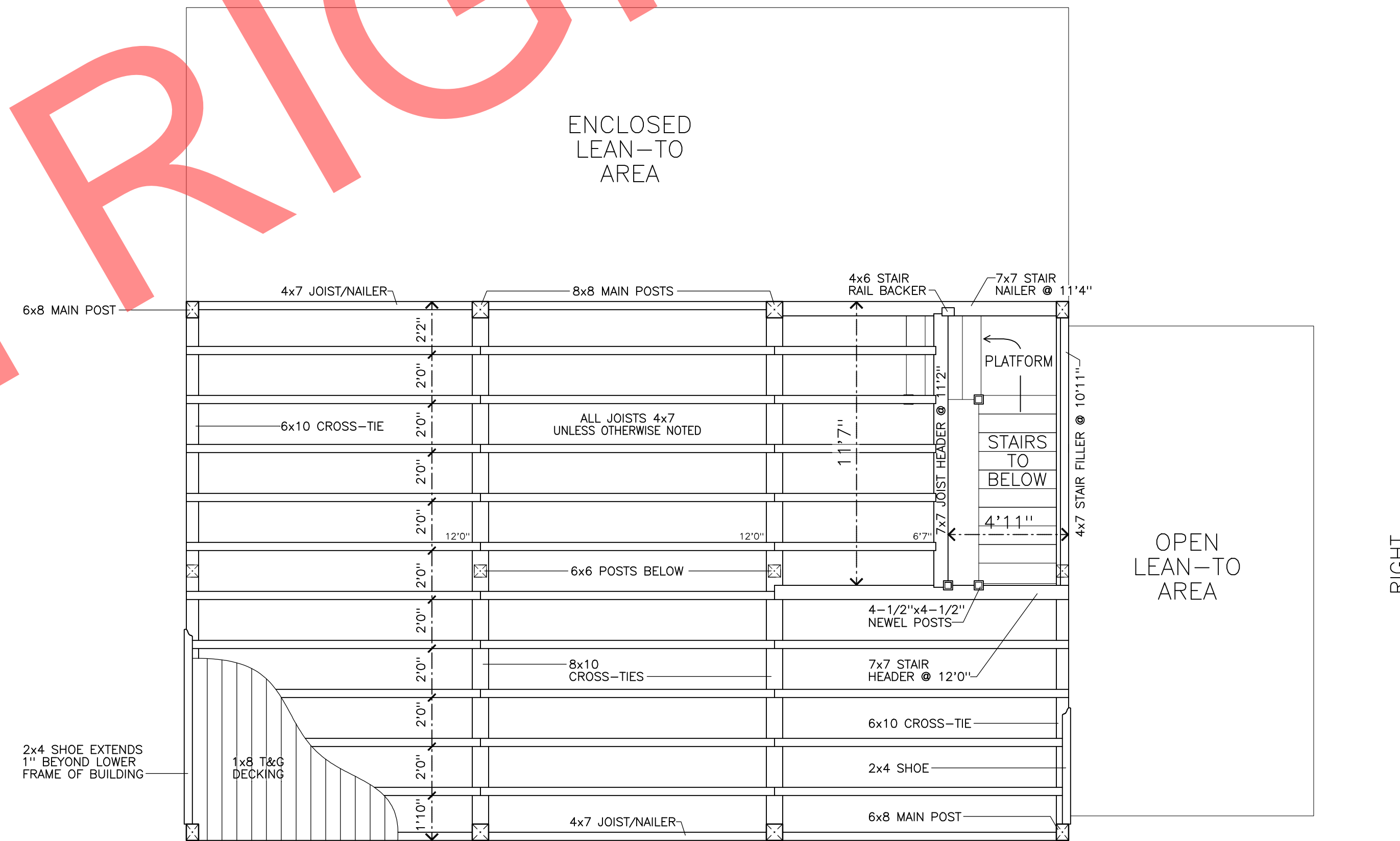
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EASTERN PINE, RAFTERS GRADED
#2 S-P-F UNLESS OTHERWISE NOTED.



STAIR DETAIL SCALE: 3/8" = 1'0"
VIEW FROM INSIDE

ON SITE CARPENTER/BUILDER TO VERIFY
DIMENSIONS ARE AS SHOWN, AND IS
RESPONSIBLE THAT STAIRS ARE BUILT
TO BUILDING CODE SPECIFICATIONS.

COPYRIGHT



STORAGE LOFT FRAMING PLAN SCALE: 1/4" = 1'0"
VIEW FROM ABOVE
FRONT

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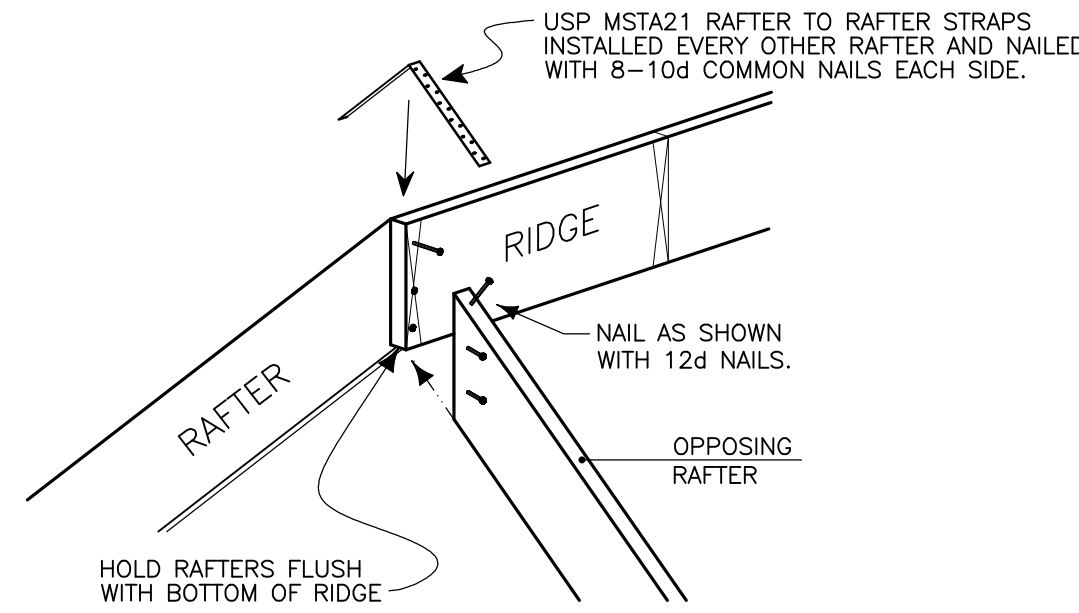
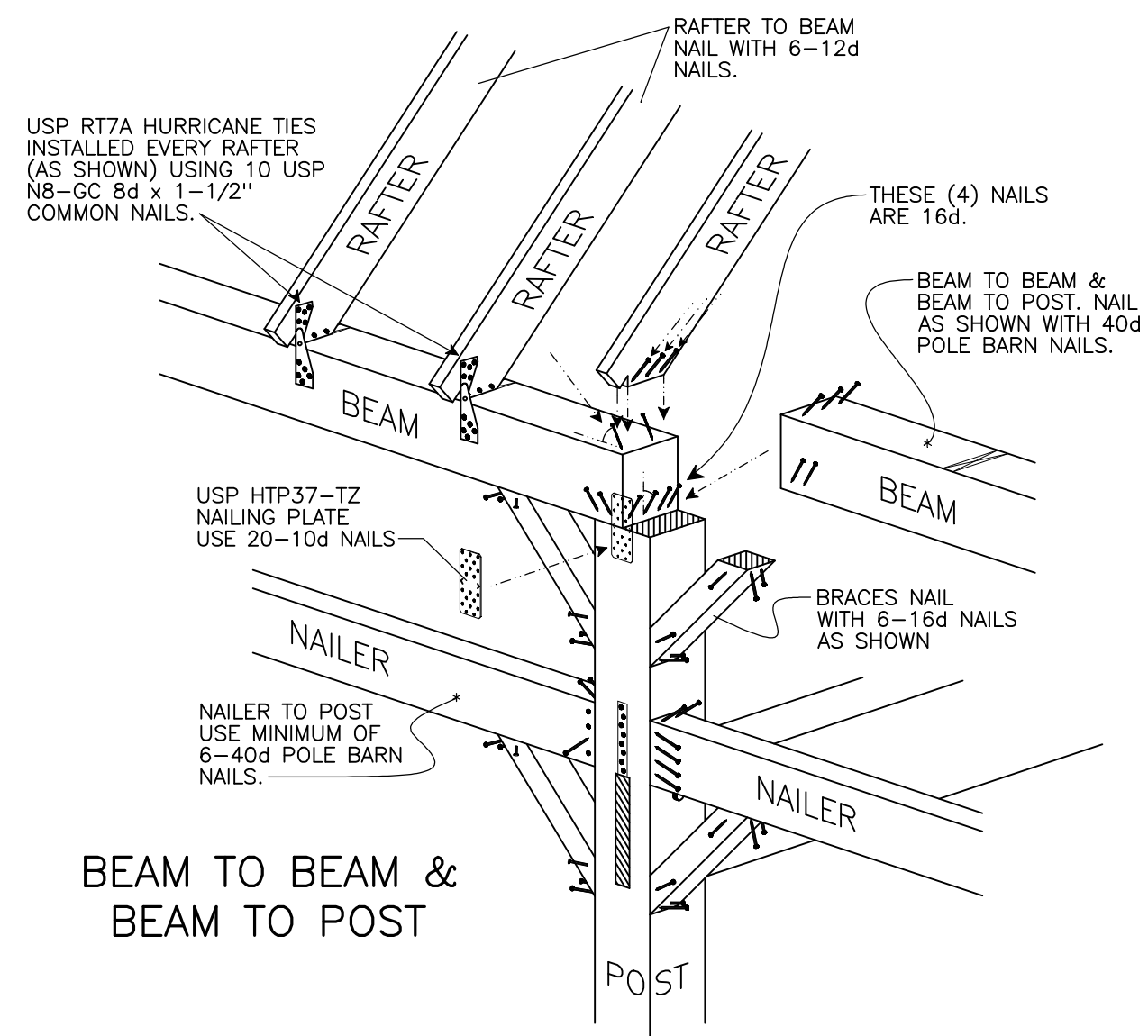
NOTE: VERY IMPORTANT.
K.D. (KILN DRIED) SIDING, TRIM, LOFT DECKING, & ROOF BOARDS MUST BE PROTECTED FROM ABSORBING MOISTURE ON THE CONSTRUCTION SITE. KEEP BOARDS UP OFF THE GROUND, & COVERED TO PROTECT FROM GROUND MOISTURE & RAIN. WINDOWS & DOOR KITS SHOULD BE KEPT INSIDE, UNTIL READY TO USE.

NOTE:
FOR CONNECTION DETAILS
SEE PAGE 8.

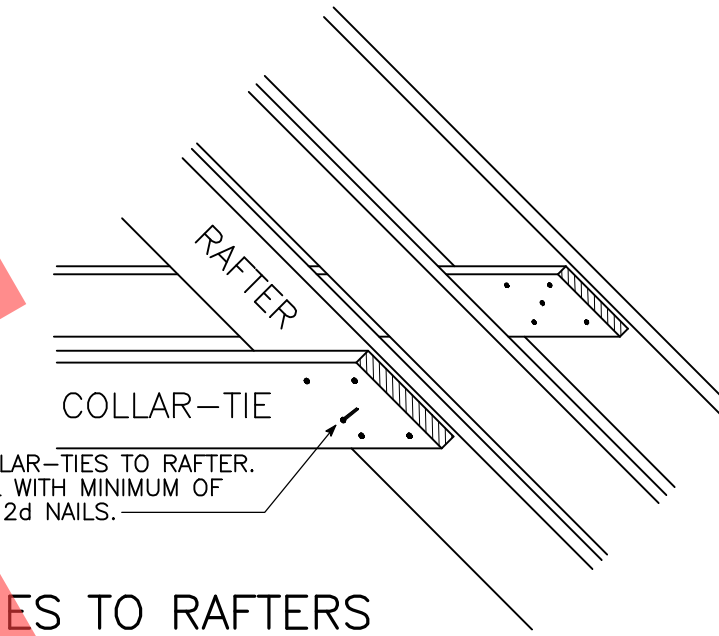


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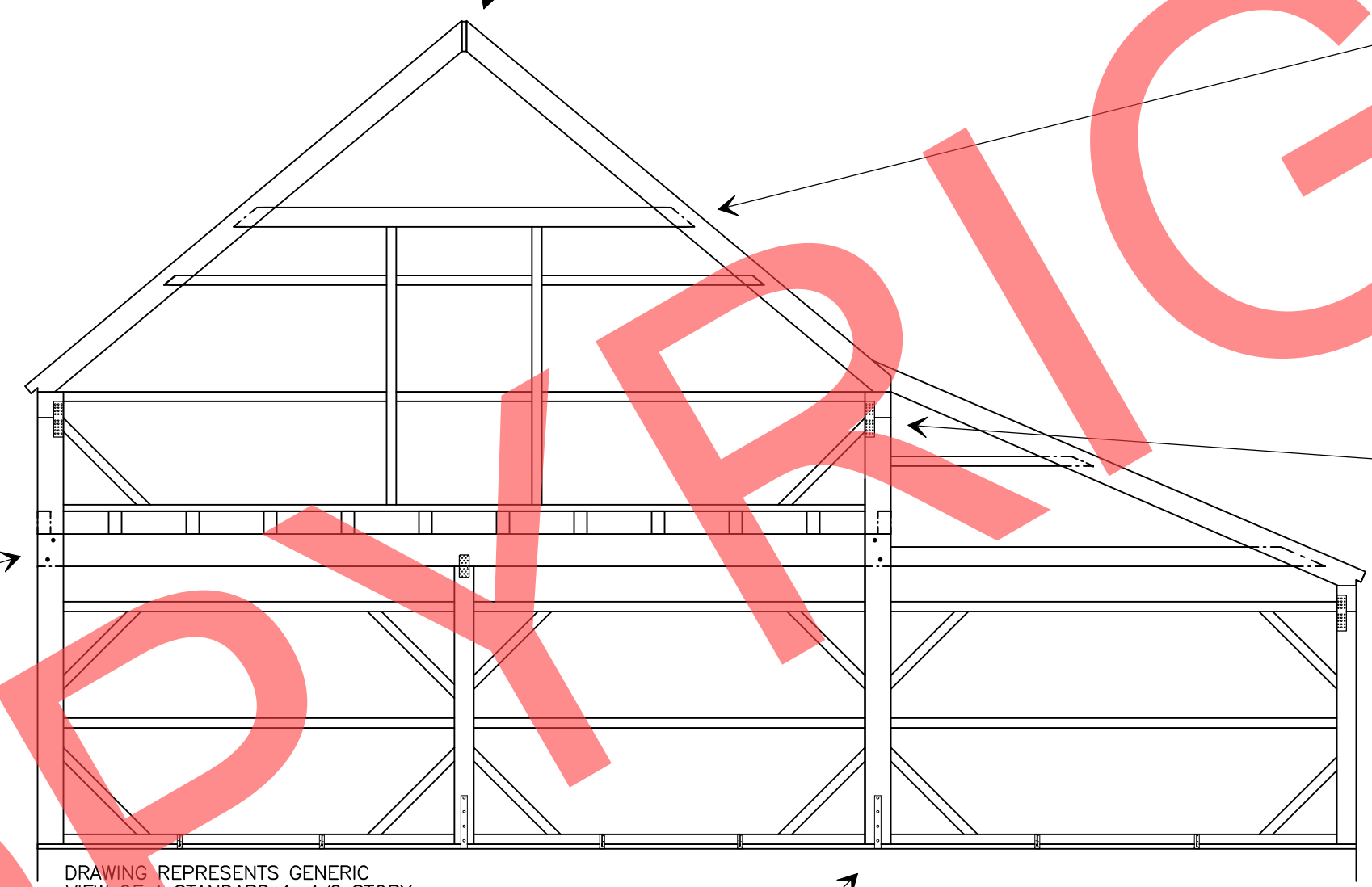
VIEW OF GABLE END



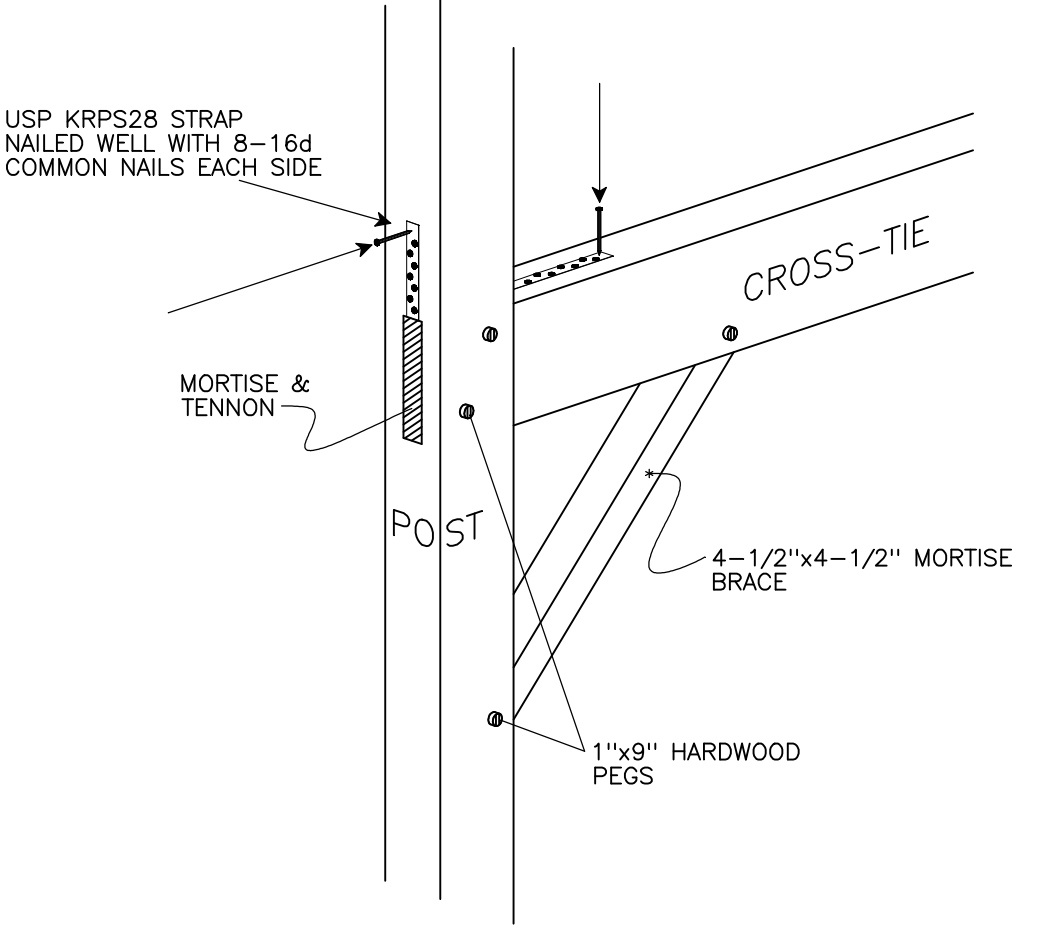
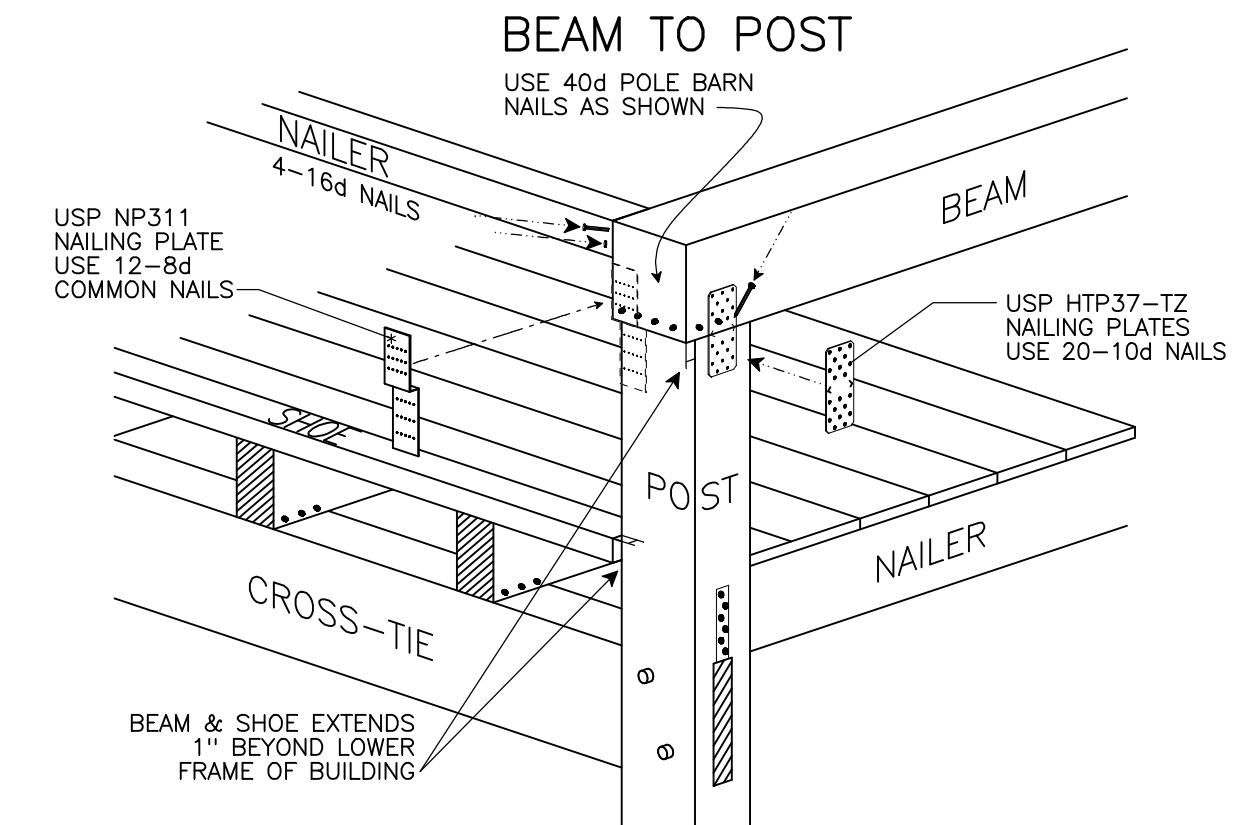
RAFTERS TO RIDGE



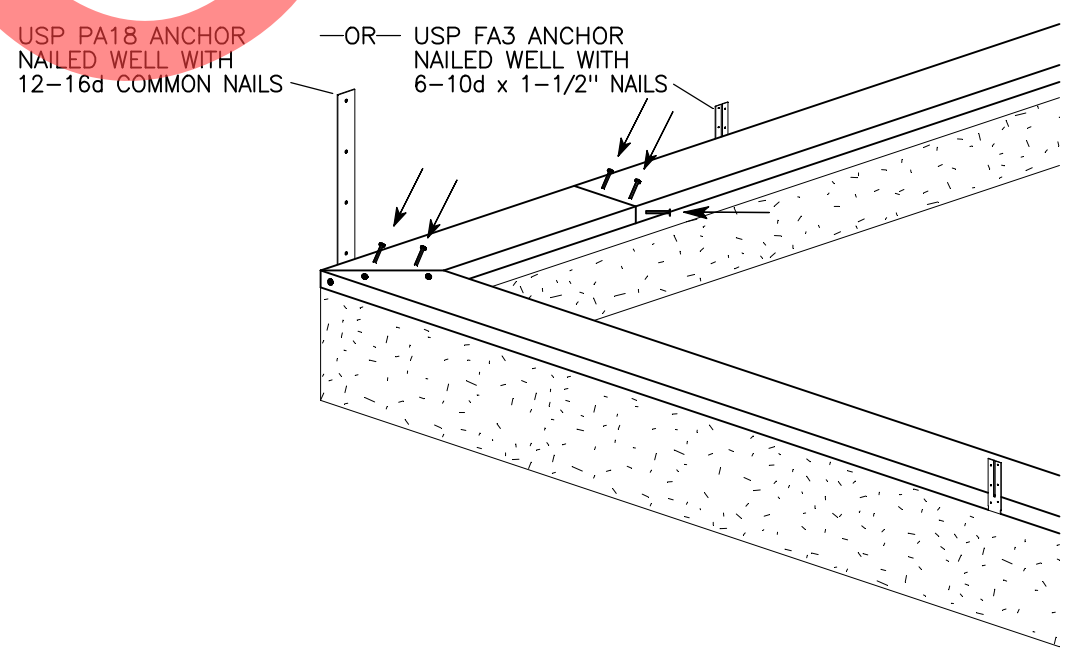
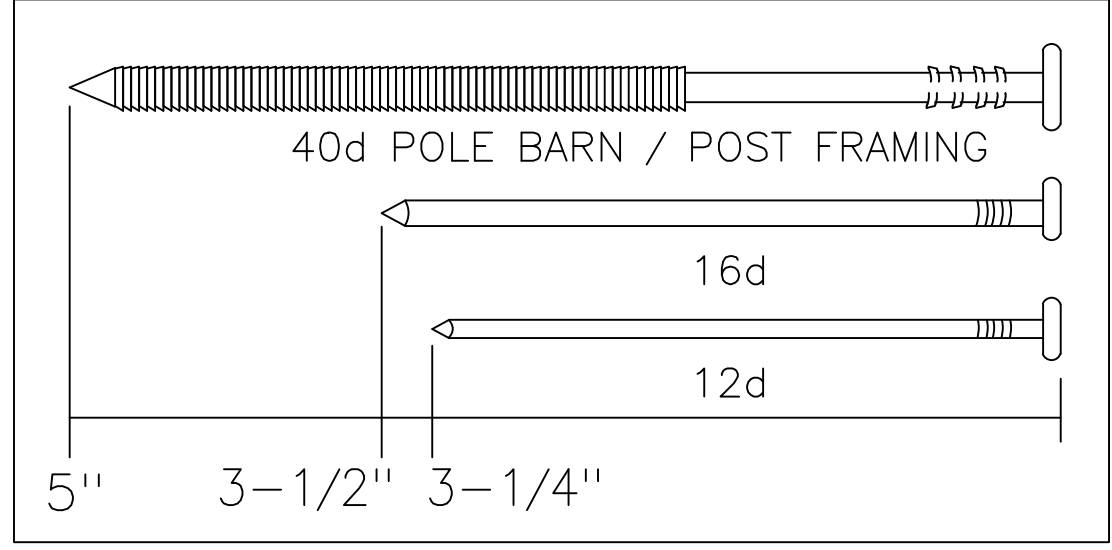
COLLAR-TIES TO RAFTERS



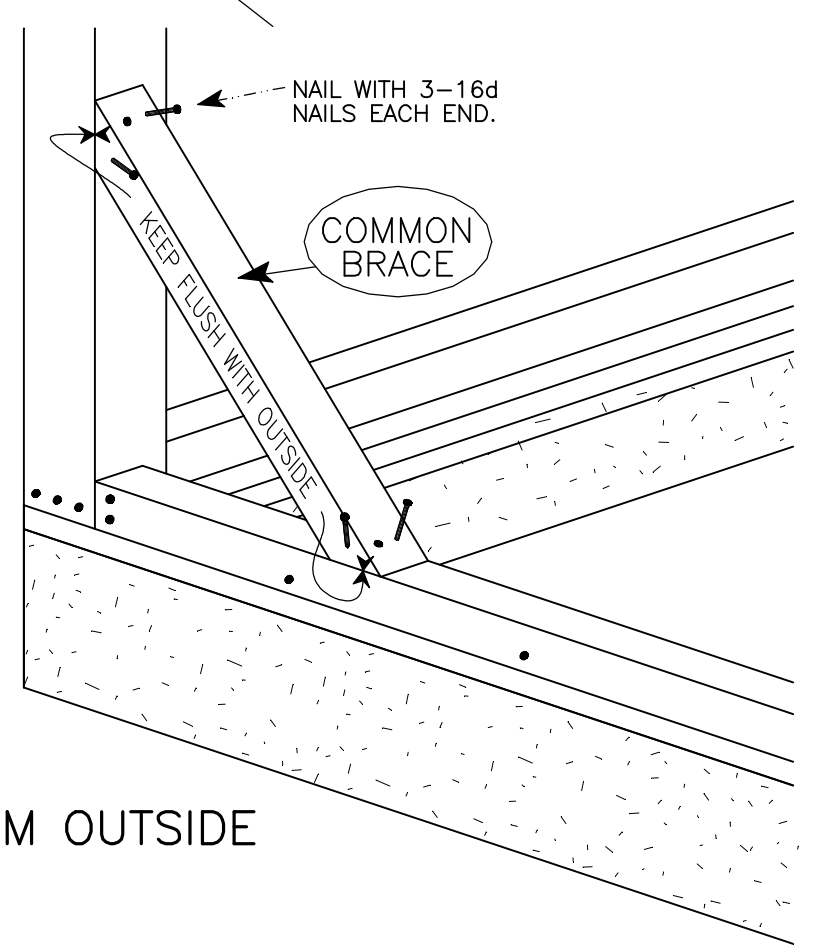
DRAWING REPRESENTS GENERIC VIEW OF A STANDARD 1-1/2 STORY BARN. SEE COLOR-CODED PLAN FOR SPECIFIC FRAMING.



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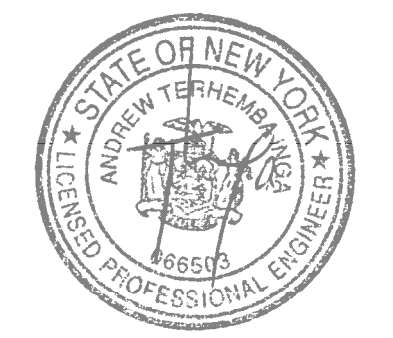


TACK SILL TOGETHER USING 12d GALVANIZED BOX NAILS.



VIEW FROM OUTSIDE

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