

April 19th, 2022
Town of North Castle
17 Bedford Road
Armonk, NY 10504

RE: *Volta EV Charging Project at Stop & Shop – 670 N Broadway White Plains, NY 10603*

We are pleased to submit the attached documents for your review of the proposed improvements at 670 N Broadway White Plains, NY 10603.

Volta proposes to install two (2) Electric Vehicle (EV) Charging Stations/Display Kiosks within the interior parking area of the above referenced property, adjacent to existing on-site parking spaces. The EV Charging Stations are customary, accessory use and incidental to the existing commercial use and solely for the benefit of customers visiting the grocery store. The fixtures provide subsidized EV charging services to all vehicles at no cost to EV drivers or site partners through use of third-party advertisements displayed on LED display screens built into the fixtures. The fixtures are strategically located to provide priority parking for patrons with EV's and display visibility along the interior circulation aisle for shoppers. There are no proposed changes to any of the existing traffic circulation at the property. General Charging Station and Display Screen specifications are as follows:

A. Description:

- EV Charging fixtures are a combined electric vehicle charging kiosk with internally illuminated LED displays.

B. Size:

- EV Charging Station: 7.5 feet in height.
- EV Charging media display screens: 48"H x 27" (9 SF) on each side of the charging station.

C. Materials:

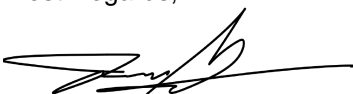
- EV charging fixtures will contain materials that are cohesive with the overall architectural design of the existing property.

D. Illumination:

- EV Charging fixtures shall be equipped with backlit screens programed with auto-dimming capabilities, registering outputs of 2553 nits during the daytime and 1421 nits at night.
- EV Charging fixtures shall limit content refresh rates to no less than every eight (8) seconds.

Should you have questions please do not hesitate to contact me directly at (914) 359-5389 or Jesse.Shih@kimley-horn.com. We look forward to continuing this process with you.

Best Regards,



Jesse Shih
Project Analyst



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

Volta Electric Vehicle Charging Stations - Stop & Shop 670 N Broadway



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Important General Information

- Prior to submitting an application, the "Notice to Applicants" should be reviewed.
- To appear before the Planning Board, all required application materials shall be submitted not later than **12:00 P.M., Monday, fourteen (14) days** prior to the date of the Planning Board meeting at which the application is scheduled to be heard or as otherwise noted by the Planning Board Secretary. Continuing Business can be submitted 12 days prior to the Next Planning Board meeting by the close of business. Except where noted.

If all required application materials, including the pertinent application fee and escrow monies are not submitted by that deadline, the application shall be automatically removed from the agenda.

At the discretion of the Planning Board Chairman, the application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Without prior authorization from the Planning Board, application submissions shall not be accepted at Planning Board meetings.

- At the time of submission, all required application materials shall be submitted. **Piecemeal submissions shall not** be accepted. Substitution of previously submitted materials shall not be permitted.
- All submissions shall be dated, with revision dates identified on new submissions.
- All submissions shall be accompanied by a cover letter describing the project and/or any changes as compared to previous submissions.
- For distribution purposes and mailing to the Planning Board Members and others (as required), multiple copies of application materials shall be collated into separate sets, each containing one copy of every submitted document. All application materials shall be submitted in a form that fits into a **12" x 17" envelope**. Plans shall be **folded** and **rubber banded** as necessary.
- To be considered complete for Planning Board hearing purposes, an application package shall contain the information identified in Parts IV and V of this application form.
- For purposes of completing this application form, all responses provided shall be printed, except as otherwise specified.



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**AT THE TIME OF SUBMISSION TO THE PLANNING DEPARTMENT
PLEASE MAKE SURE THE FOLLOWING IS PROVIDED**

- ✓ SUBMISSION OF A SINGLE PDF FILE (PLANS, APPLICATION FORM, OTHER PAPERWORK) ON A DISK, THUMBDRIVE OR EMAIL

- ✓ COVER LETTER DESCRIBING THE PROJECT OR CHANGES TO THE PROJECT

- ✓ ALL PLANS ARE SIGNED AND SEALED BY A LICENSED NYS PROFESSIONAL

- ✓ ALL PLANS SHALL BE COLLATED AND FOLDED INTO 8 INDIVIDUAL SETS



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APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fes



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.


Applicant Signature

3/28/22
Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: North White Plains SC

Mailing Address: 51 E 90th Street, New York, NY 10128

Telephone: (914) 391-2869 Fax: _____ e-mail mlzeidner@gmail.com

Name of Applicant (if different): Dean Apostoleris (Kimley-Horn)

Address of Applicant: 1 N Lexington Ave, Suite 505, White Plains, NY 10601

Telephone: (914) 368-9199 Fax: _____ e-mail dean.apostoleris@kimley-horn.com

Interest of Applicant, if other than Property Owner:
Engineer of record for Volta Charging

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
Daniel LoFrisco, P.E. (Kimley-Horn)

Address: 1 N Lexington Ave, Suite 505, White Plains, NY 10601

Telephone: (332) 213-1082 Fax: _____ e-mail dan.lofrisco@kimley-horn.com

Name of Other Professional: _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Name of Attorney (if any): _____

Address: _____


Telephone: _____ Fax: _____ e-mail _____

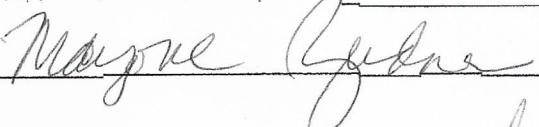
Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

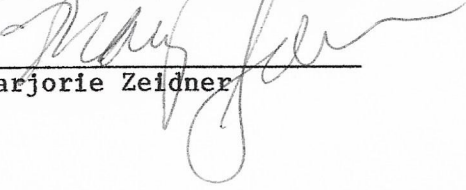
It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 3/28/22

Signature of Property Owner:  Date: 3/30/22

MUST HAVE BOTH SIGNATURES

LEWIS NORTH WHITE PLAINS LP

By: 
Marjorie Zeidner

Town of North Castle Building Department

Section VIII- AFFIDAVIT OF OWNER AUTHORIZATION: (To be notarized)

STATE OF NEW YORK New York
COUNTY OF WESTCHESTER } SS:

The applicant Dean Apostoleris (Kimley-Horn) has proper consent from said owner to make this application as submitted and said owner agrees to all terms and conditions placed upon same.

Owner's Name (PRINT) Lewis North White Plains LE Owner's Signature [Signature]
Sworn to before me this 31 day of March 2022

Jackson Bloom
Notary Public, State of New York
No. 01BL6349763
Commission Expires Oct. 24, 2024

OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

Zone: _____ Section: _____ Block: _____ Lot: _____

Building Department Checklist:

- Does this permit require Planning Board approval? Yes No
- GC License Work. Comp. Liability. Ins. Disability Two Sets of Documents
- Permit Fee _____ Payment: Check #: _____ Cash
- Name on check: _____

Received By: _____ Application #: _____

BUILDING INSPECTOR APPROVAL

- Has all the conditions of the Planning Board been met? Yes
- Is a Flood Development permit required? Yes No
- Is a Operating permit required? Yes No

Reviewed By: _____ Date: _____

Building Inspector Approval: _____ Date: _____

Conditions: _____

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 670 N Broadway, White Plains, NY 10603

Location (in relation to nearest intersecting street):

0 feet (north, south, east or west) of N Broadway & Reservoir Rd

Abutting Street(s): N Broadway, Reservoir Rd, Central Westchester Pkwy

Tax Map Designation (NEW): Section 122.20 Block 1 Lot 34

Tax Map Designation (OLD): Section 8 Block 03 Lot 21.A

Zoning District: SC Total Land Area 4.59

Land Area in North Castle Only (if different) _____

Fire District(s) North White Plains School District(s) Valhalla

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?
No _____ Yes (adjacent) Yes (within 500 feet) _____
If yes, please identify name(s): White Plains

The boundary of any existing or proposed County or State park or any other recreation area?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?
No _____ Yes (adjacent) Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?
No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?
No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: No change to primary use - addition of electric vehicle charging stations

Gross Floor Area: Existing 77,917 S.F. Proposed N/A S.F.

Proposed Floor Area Breakdown:

Retail 74,245 S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential 3,672 S.F.; Residential _____ S.F.;

Number of Dwelling Units: N/A

Number of Parking Spaces: Existing 358 Required 357 Proposed NC

Number of Loading Spaces: Existing 6 Required 6 Proposed NC

Earthwork Balance: Cut N/A C.Y. Fill N/A C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- Location of existing parking and truck loading areas, with access and egress drives thereto.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- Location, size and design of existing signs.
- Location, type, direction, power and time of use of existing outdoor lighting.
- Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- Proposed sight distance at all points of vehicular access.
- Proposed number of employees for which buildings are designed
- Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- Location, size and design of all proposed signs.
- N/A Location, type, direction, power and time of use of proposed outdoor lighting.
- N/A Location and design of proposed outdoor garbage enclosure.
- N/A Location of proposed outdoor storage, if any.
- Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- Type of power to be used for any manufacturing
- N/A Type of wastes or by-products to be produced and disposal method
- N/A In multi-family districts, floor plans, elevations and cross sections
- N/A The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- N/A Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- N/A Proposed soil erosion and sedimentation control measures.
- N/A For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- N/A For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- N/A For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

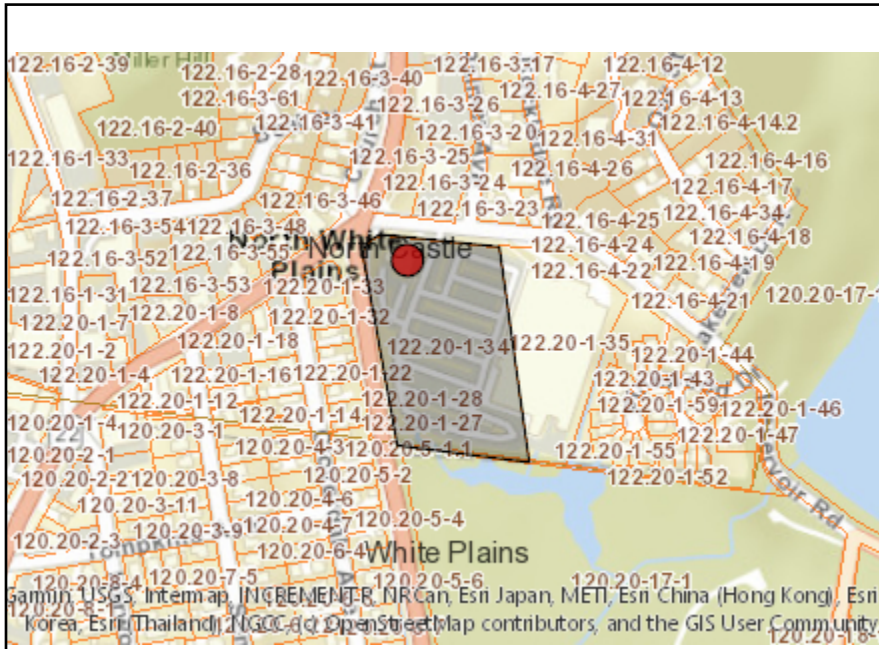
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)				
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature:  Title: _____</p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Watershed Properties, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

volta

STOP & SHOP #593

670 N BROADWAY
 WHITE PLAINS, NY 10603
 TOWN OF NORTH CASTLE
 SBL: 122.20-1-34 & 122.20-1-35

volta

155 DE HARO STREET
 SAN FRANCISCO, CA 94103

Kimley»Horn

New York
 © 2022 KIMLEY-HORN ENGINEERING AND
 LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 1 N LEXINGTON AVENUE, SUITE 505
 WHITE PLAINS, NY 10601
 PHONE: (914) 368-9200
 WWW.KIMLEY-HORN.COM

ITEM	TASK	YES	NO	N/A
1	CONTACT 811 UTILITY PRIOR TO EXCAVATION WORK.			
2	NOTIFY VOLTA & KIMLEY-HORN OF ANY DISCREPANCIES W/ PLANS OR POTENTIAL CONFLICTS.			
3	VERIFY ALL FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH THESE PLANS.			
4	INSTALL WORK AREA PROTECTION MEASURES.			
5	FIELD LOCATE EXISTING UTILITIES AND CROSSINGS & VERIFY NO CONFLICTS W/PROPOSED INFRASTRUCTURE.			
6	FIELD VERIFY ALL STALL DIMENSIONS AND EQUIPMENT LOCATIONS.			
7	CONFIRM ALL ADA AND LOCAL REQUIREMENTS ARE MET.			
8	ESTABLISH TEMPORARY CONSTRUCTION ACCESS(ES).			
9	IMPLEMENT AND MAINTAIN EPSC CONTROL MEASURES PER LOCAL REQUIREMENTS.			
10	LOCATE VERTICAL AND HORIZONTAL UTILITIES PRIOR TO BORING.			
11	PROVIDE PROPOSED LIMITS OF ASPHALT OVERLAY SKETCH TO KIMLEY-HORN & VOLTA (IF NEEDED).			
12	SEED & STABILIZE ALL DISTURBED AREAS AFTER FINAL GRADING.			

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING/ DWELLING, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE/LIFE SAFETY CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL GOVERNING AUTHORITIES CODES.

VOLTA PROPOSES:

- 2 ELECTRIC VEHICLE (EV) CHARGING STATION FIXTURES TO BE LOCATED IN EXISTING CURBED ISLAND AREAS THAT ARE ADJACENT TO ON-SITE PARKING SPACES AND PART OF AN EXISTING STOP & SHOP GROCERY STORE AT THE PROPERTY. THE EV FIXTURES ARE CUSTOMARY ACCESSORY AND INCIDENTAL TO THE EXISTING COMMERCIAL USE AND SOLELY FOR THE BENEFIT OF CUSTOMERS VISITING THE STORE. THE FIXTURES ARE LOCATED TO PROVIDE PRIORITY PARKING FOR PATRONS WITH EVS AND DISPLAY VISIBILITY ALONG THE INTERIOR CIRCULATION AISLE FOR SHOPPERS. THERE ARE NO PROPOSED CHANGES TO THE PARKING SPACES OR ANY OF THE EXISTING TRAFFIC CIRCULATION AT THE PROPERTY.

APPLICANT:

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 1 N LEXINGTON AVENUE, SUITE 505
 WHITE PLAINS, NY 10601
 CONTACT: DEAN APOSTOLERIS
 PHONE: (914) 368-9199
 EMAIL: DEAN.APOSTOLERIS@KIMLEY-HORN.COM

VOLTA REPRESENTATIVE:

VOLTA
 155 DE HARO STREET
 SAN FRANCISCO, CA 94103
 CONTACT: SAMUEL LEE
 PHONE: (917) 903-6066
 EMAIL: SAMUEL.LEE@VOLTACHARGING.COM

SITE PARTNER:

STOP & SHOP
 1385 HANCOCK STREET
 QUINCY, MA 02169
 CONTACT: LINDA CAMARA
 PHONE: (508) 654-6851
 EMAIL: LCAMARA@STOPANDSHOP.COM

PROGRAM MANAGER:

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 CONTACT: RYAN GRAM, P.E.
 PHONE: (615)-564-2865
 EMAIL: RYAN.GRAM@KIMLEY-HORN.COM

CIVIL ENGINEER:

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 CONTACT: DANIEL LOFRISCO, P.E.
 PHONE: (332) 213-1082
 EMAIL: DAN.LOFRISCO@KIMLEY-HORN.COM

ELECTRICAL ENGINEER:

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
 CONTACT: JEFFREY SALLEE, P.E.
 PHONE: (757) 213-8635
 EMAIL: JEFFREY.SALLEE@KIMLEY-HORN.COM

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670 N BROADWAY
WHITE PLAINS, NY 10603

SHEET TITLE
COVER SHEET

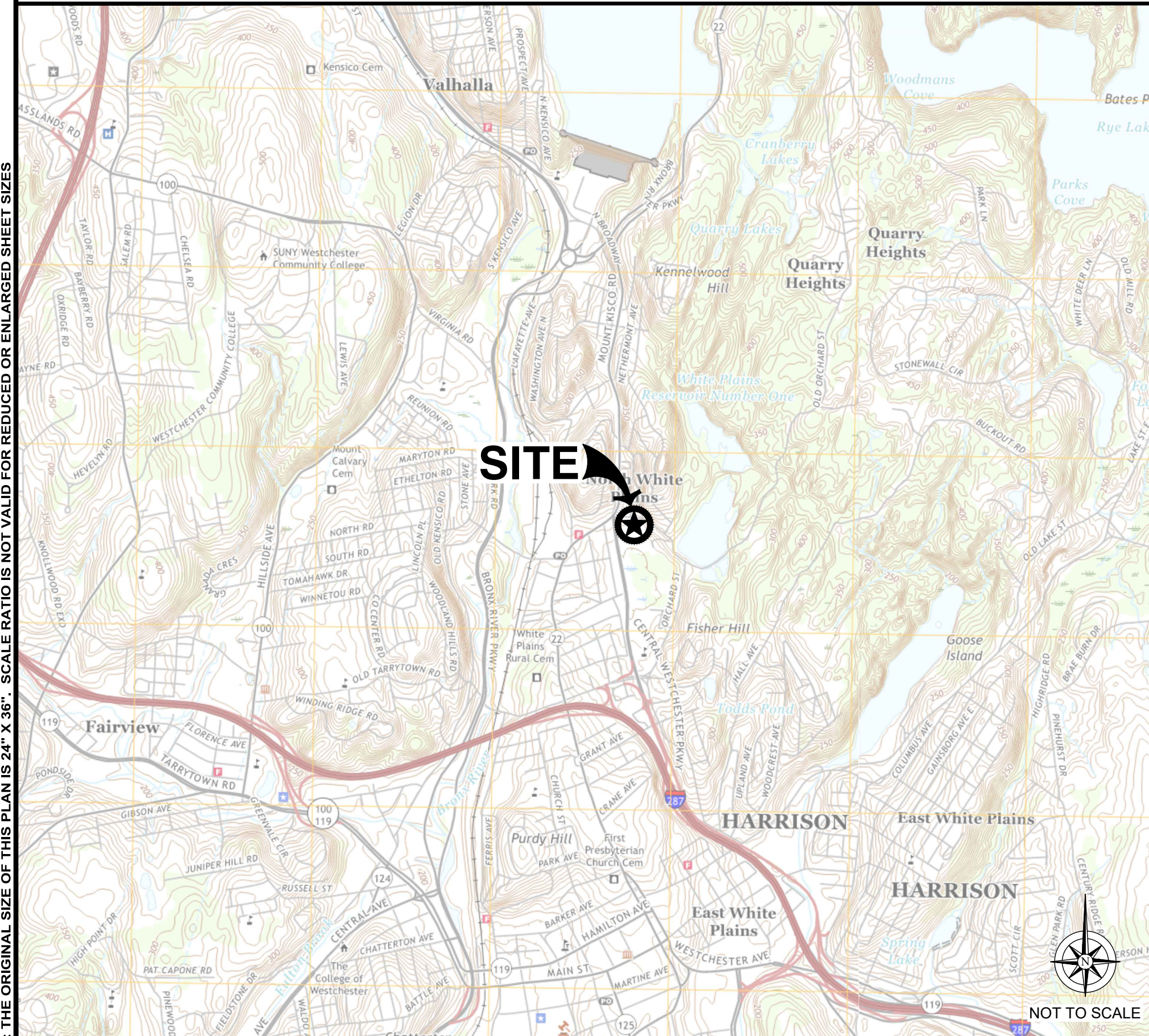
SHEET NUMBER
C0-00

CONTRACTOR VERIFICATION CHECKLIST

CODE BLOCK

PROJECT DESCRIPTION

PROJECT TEAM



Sheet Number	Sheet Title
C0-00	COVER SHEET
C0-01	GENERAL NOTES
C0-02	VOLTA STATION OVERVIEW
C1-00	OVERALL SITE PLAN
C2-00	ENLARGED SITE PLAN
C3-00	SITE DETAILS
C3-01	SITE DETAILS
C3-02	SITE DETAILS
C3-03	SITE DETAILS
E1-00	ELECTRICAL ONE LINE DIAGRAM & PANEL SCHEDULE
E2-00	ELECTRICAL NOTES & DETAILS

SHEET INDEX

Know what's BELOW.
CALL before you dig.

CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG

DIG ALERT

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

CALL BEFORE YOU DIG

LOCATION MAP

VICINITY MAP

CALL BEFORE YOU DIG

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GENERAL NOTES:

- VOLTA WILL PROVIDE AN INSTALLATION GUIDE AND OTHER SUPPORTING DOCUMENTS AT TIME OF CONSTRUCTION.
- ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE. EXISTING UTILITY LOCATIONS AND CROSSINGS ARE TO BE LOCATED IN THE FIELD. CONTRACTOR IS TO CONTACT 811 UTILITY PRIOR TO BEGINNING ANY EXCAVATION WORK.
- ALL PAVEMENT, LANDSCAPING, UTILITIES, AND OWNER PROPERTY THAT IS DAMAGED OR AFFECTED BY CONSTRUCTION SHALL BE RETURNED TO EXISTING CONDITIONS OR BETTER AT THE CONTRACTOR'S EXPENSE.
- PROPOSED PAVEMENT STRIPING SHALL LINE UP WITH EXISTING STRIPING WHEREVER POSSIBLE. ADDITIONAL PAVEMENT STRIPE IS NOT NECESSARILY PARALLEL TO THE CONSTRUCTED CHARGING ISLAND.
- THIS ACCESSIBILITY REVIEW WAS UNDERTAKEN TO IDENTIFY DESIGN FEATURES OF THE PROJECT THAT MAY BE CONSIDERED BY GOVERNMENTAL AGENCIES OR DEPARTMENTS, OR NON-GOVERNMENTAL GROUPS TO BE NON-COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, REVISED 2010 ADA REGULATIONS AND STANDARDS. THE AMERICANS WITH DISABILITIES ACT OF 1990 IS A FEDERAL CIVIL RIGHTS LAW, THERE IS NO FEDERAL REVIEW PROCESS TO ENSURE FULL COMPLIANCE WITH THE GUIDELINES, EXCEPT THROUGH THE FEDERAL COURT SYSTEM. THE DEPICTIONS, NOTES, AND RECOMMENDATIONS, EXPRESSED ON THIS PLAN ARE BASED ON PROFESSIONAL JUDGEMENT GAINED FROM PAST EXPERIENCE WITH ACCESSIBILITY LAWS, CODES, AND STANDARDS AND THE WORKING INVOLVEMENT TO DEVELOP ACCESSIBILITY STANDARDS THAT WILL MEET OR EXCEED THE APPLICABLE FEDERAL GUIDELINES. ACCORDINGLY, NO CLAIMS OR WARRANTIES, EXPRESSED OR IMPLIED, ARE MADE THAT IN PREPARING THIS PLAN AND PROPOSING RECOMMENDATIONS, THAT ALL POSSIBLE BARRIERS TO ALL PEOPLE HAVE BEEN IDENTIFIED.
- CONTRACTOR SHALL ACHIEVE A MINIMUM OF 1% BUT NO MORE THAN A 2% SLOPE IN ANY DIRECTION WITHIN ADJACENT ACCESSIBLE SPACE AND BLEND ASPHALT OVERLAY TO EXISTING GRADES AS REQUIRED. CONTRACTOR SHALL PROVIDE A SKETCH TO VOLTA OF PROPOSED LIMITS OF ASPHALT OVERLAY TO ACHIEVE THIS REQUIREMENT PRIOR TO BEGINNING PAVEMENT WORK.
- ACCESSIBLE EV STALLS WERE DESIGNED BASED ON EXISTING CONDITIONS AND WITHOUT THE BENEFIT OF SURVEY DATA. ALL ADA AND LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO SLOPE AND SPACING SHALL BE CONFIRMED BY THE CONTRACTOR AND MET AT THE TIME OF CONSTRUCTION.
- CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ACCESSIBILITY PRIOR TO CONSTRUCTION.
- UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO DISRUPT ANY OPERATIONS AT THE SITE HOST LOCATION, INCLUDING BUT NOT LIMITED TO CUSTOMER DISRUPTION, UTILITIES, AND INFRASTRUCTURE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT WORK AREAS WITH CONES AND/OR BARRICADES AT ALL TIMES.

EROSION CONTROL & GRADING NOTES:

- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDING AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. THE CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- SEQUENCE OF CONSTRUCTION INCLUDED ABOVE IS A GENERAL OVERVIEW, AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION IF ANY ADDITIONAL DETAIL IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE AHJ REQUIREMENTS.

ADA COMPLIANCE:

- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESSIBLE AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

SITE NOTES:

- HORIZONTAL DIRECTIONAL DRILLING (HDD) OR OTHER TRENCHLESS METHODS AS PROVIDED BY SITE HOST ARE THE PREFERRED METHOD TO INSTALL CONDUIT BENEATH EXISTING PARKED VEHICLES AND PAVED AREAS.
 - CONDUIT SHALL BE INSTALLED AT A MINIMUM DEPTH OF TWO AND ONE-HALF FEET (2.5') OR BELOW THE FREEZE LINE, WHICHEVER IS DEEPER. CONDUIT TYPE AND DESIGN TO BE SPECIFIED BY EV CHARGING STATION VENDOR AND MEET ALL LOCAL REQUIREMENTS. CONDUIT DIAMETER SHALL BE NO LARGER THAN TWO (2) INCHES.
 - THE RECEIVING PIT SHALL BE LOCATED AS CLOSE AS REASONABLY POSSIBLE TO THE PROPOSED WALL PENETRATION TO LIMIT THE LENGTH OF BUILDING-MOUNTED CONDUIT. LOCATE RECEIVING PIT WITHIN ASPHALT PAVED AREA OR CONCRETE SIDEWALK AREA; RECEIVING PIT SHALL NOT BE LOCATED WITHIN THE UNLOADING PAD (SIX TO TEN INCH (6-10") REINFORCED CONCRETE SLAB AT THE REAR OF THE STORE). RECEIVING PIT LOCATION AND WORK AREA SHALL NOT AFFECT SITE HOST CUSTOMER OR DELIVERY TRAFFIC. SEE SUPPLEMENTAL DOCUMENTS, RECEIVING AREA DIAGRAM.
 - THE RECEIVING PIT SIZE SHALL BE LIMITED TO THREE FEET (3') BY THREE FEET (3') AND SHALL NOT UNDERMINE THE BUILDING FOUNDATION, ENCLOSURES OR CONCRETE UNLOADING PAD.
 - BACKFILL EXCAVATIONS AND REPAIR PAVEMENT PER SPECIFICATIONS BELOW.
 - WHERE CONCRETE PAVEMENT, SIDEWALK, ASPHALT PAVEMENT, CURBING, OR CURBING GUTTER IS REMOVED, THE WIDTH OF THE REMOVAL SHALL EXCEED THE ACTUAL WIDTH AT THE TOP OF THE TRENCH BY TWELVE INCHES (12") ON EACH SIDE OF THE TRENCH, OR A TOTAL OF TWO FEET (2') WIDER THAN THE TRENCH.
 - TRENCHING THROUGH THE CONCRETE RECEIVING PAD AT THE REAR OF THE STORE OR THE DRIVE-THRU SLAB IS NOT ALLOWED. ONLY TRENCHING THROUGH MINOR CONCRETE INSTALLATIONS SUCH AS SIDEWALKS WILL BE PERMITTED.
 - EXCAVATE TRENCHES TO A DEPTH FOUR INCHES (4") DEEPER THAN BOTTOM OF FINISHED PIPE ELEVATION.
 - THE BOTTOM WIDTH OF THE TRENCH SHALL BE AS REQUIRED TO PERMIT CONDUIT TO BE PROPERLY LAIN AND BACKFILL TO BE PLACED AND PROPERLY COMPACTED.
 - REMOVED PAVEMENT, CONCRETE AND EXCAVATED MATERIALS UNSUITABLE FOR USE AS BACKFILL SHALL BE DISPOSED OFFSITE.
 - BEDDING AND BACKFILL MAY BE MATERIAL EXCAVATED FROM THE TRENCH PROVIDED THAT IT IS FREE FROM DEBRIS AND ROCKS LARGER THAN ONE AND ONE-HALF INCHES (1-1/2").
 - OVER THE PIPE, IN LAYERS NOT EXCEEDING FOUR INCHES (4"), PLACE AND COMPACT SUITABLE FILL MATERIAL TO NINETY-FIVE PERCENT (95%) DRY DENSITY AS DETERMINED BY ASTM D698.
 - COMPACTING EQUIPMENT SHALL BE OF SUCH DESIGN, WEIGHT, AND QUALITY AS IS REQUIRED TO OBTAIN THE DENSITIES SPECIFIED HEREIN OR INDICATED ON THE DESIGN DRAWINGS. AREAS INACCESSIBLE TO SELF-PROPELLED COMPACTING EQUIPMENT SHALL BE COMPACTED OR CONSOLIDATED BY HAND-OPERATED MECHANICAL TAMPERS OR VIBRATORS.
 - RESTORE GRASS, LANDSCAPING, IRRIGATION AND ALL FEATURES TO THEIR PRECONSTRUCTION CONDITION.
- ANY UTILITIES, PAVEMENT, IRRIGATION, LANDSCAPING OR OTHER SITE FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY EV CHARGING STATION VENDOR TO SITE HOST SPECIFICATION.
 - WHERE LANDSCAPING IS IMPACTED, IT IS THE RESPONSIBILITY OF EV CHARGING STATION VENDOR TO REPOSITION OR PROVIDE NEW LANDSCAPING WITHIN THE SITE HOST PROPERTY TO ENSURE COMPLIANCE WITH ANY CODE REQUIREMENTS.
 - WHERE PARKING LOT, SIDEWALK OR OTHER PAVED AREAS ARE IMPACTED OR DAMAGED, IT IS THE RESPONSIBILITY OF THE EV CHARGING STATION VENDOR TO REPAIR THE AREA TO LIKE NEW CONDITION. REPAIR SHOULD EXTEND BEYOND DAMAGED AREA TO NEAREST CLEAN BREAK THAT ALIGNS WITH ARCHITECTURAL BREAKS, MATERIAL JOINTS, PAVEMENT MARKINGS, ETC.
- WHERE APPLICABLE, UTILITY SERVICE PROVIDER TO USE SITE HOST APPROVED ROE (RIGHT OF ENTRY) AGREEMENT. SITE HOST PROGRAM MANAGER WILL PROVIDE TEMPLATE WHEN NECESSARY.
 - ASPHALT PAVEMENT REMOVAL AND REPLACEMENT
 - SAW CUT THE PAVEMENT TO NEAT, STRAIGHT LINES TO THE FULL DEPTH OF THE PAVEMENT. PAVEMENT REMOVAL SHALL EXTEND A MINIMUM OF TWELVE INCHES (12") BEYOND THE EDGES OF THE REMOVAL AREA. ANY OTHER PAVEMENT AREAS DAMAGED DURING REMOVAL SHALL ALSO BE REPAIRED OR REPLACED AS NECESSARY
 - REMOVE THE PAVEMENT WITHOUT DAMAGING THE PAVEMENT THAT IS TO REMAIN IN-PLACE.
 - IF BASE REPLACEMENT IS REQUIRED, COMPACT THE IN-SITU SOILS TO NINETY-FIVE PERCENT (95%) ASTM D698 AND PLUS OR MINUS TWO PERCENT (2%) OF OPTIMUM MOISTURE CONTENT. REMOVE AND REPLACE ANY UNSUITABLE IN-SITU SOILS.
 - PLACE AND COMPACT BASE MATERIAL TO NINETY-FIVE PERCENT (95%) OF ASTM D698.
 - APPLY PRIME COAT TO AGGREGATE BASE IN COMPLIANCE WITH THE DOT SPECS. PRIME COAT SHALL NOT BE APPLIED MORE THAN TWENTY-FOUR (24) HOURS BEFORE ASPHALT PAVEMENT IS PLACED. APPLICATION RATE TO BE PER THE DOT SPEC.
 - CLEAN AND APPLY TACK COAT TO THE ENDS OF CURBS, EDGES OF CONCRETE SURFACES, EDGES OF MANHOLES AND INLETS AND EDGES OF SAW CUT PAVEMENT THAT WILL REMAIN IN-PLACE.
 - PLACE AND COMPACT HOT-MIX ASPHALT. HOT-MIX ASPHALT THICKNESS SHALL BE THE GREATER OF THE IN-PLACE ASPHALT OR THREE AND ONE-HALF INCHES (3.5"). ASPHALT MIX DESIGN SHALL BE BY THE CONTRACTOR.
 - PLANT MIXED ASPHALT BASE/BINDER COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF TWO INCHES (2").
 - PLANT MIXED ASPHALT SURFACE COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF ONE AND ONE-HALF INCHES (1-1/2").
 - FOR SMALLER JOBS, IT MAY NOT BE FEASIBLE TO INSTALL BINDER AND SURFACE COURSES, IN WHICH CASE SURFACE COURSE, PLACED AND COMPACTED IN TWO LIFTS, WILL BE ACCEPTED.
 - IF PLACING HOT MIX ASPHALT WITH A SHOVEL, BEGIN PLACING HMA AGAINST THE EDGES OF THE PATCH AND WORKING INWARD. HMA SHOULD NOT BE PLACED IN THE CENTER OF THE PATCH AND RAKED TOWARDS THE EDGES.
 - THE FIRST PASS OF THE ROLLER OR COMPACTION EQUIPMENT SHOULD BE ALONG THE EDGES OF THE PATCH TO PROPERLY FORM THE JOINT. THE ROLLER WHEEL OR COMPACTION EQUIPMENT SHOULD OVERHANG THE EXISTING PAVEMENT ONTO THE PATCH BY SIX INCHES (6"). AFTER THE PERIMETER OF THE PATCH HAS BEEN COMPACTED BEGIN TO WORK TOWARDS THE CENTER OF THE PATCH WITH SUCCESSIVE PASSES OFFSET BY SIX INCHES (6").
 - THE CONTRACTOR SHALL UTILIZE THE APPROPRIATE HEAVY COMPACTION EQUIPMENT TO ACHIEVE THE REQUIRED COMPACTION OF THE ASPHALT.
 - SEAL THE AREA AROUND THE EDGES WITH AN ELASTOMERIC LIQUID ASPHALT SEALER TO PROTECT AGAINST WATER INFILTRATION, INCLUDING ANY INADVERTENT OVERCUTS DURING THE SAW CUTTING PROCEDURE.

PROJECT LEGEND:

(SCALE VARIES PER SHEET)

DETAIL NO.	SHEET NO.
	PROPERTY LINE
	BREAK LINE
	EXISTING CURB AND GUTTER
	EXISTING PARKING STRIPE
	EXISTING CONCRETE PAD
	EXISTING TREE
	EXISTING SHRUB
	EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN / MANHOLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING STRUCTURE / UTILITY
	EXISTING ELECTRICAL ROOM / PANEL
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED COMMUNICATIONS CONDUIT
	PROPOSED COMMUNICATIONS JUNCTION BOX
	PROPOSED CURB AND GUTTER
	PROPOSED PARKING STRIPE
	PROPOSED CONCRETE WHEEL STOP
	PROPOSED CONCRETE PAD
	PROPOSED TREE PROTECTION
	PROPOSED VOLTA V4 L2 CHARGING STATION
	PROPOSED VOLTA V4 L2 POST-INSTALLED CHARGING STATION
	PROPOSED VOLTA V4 L3 DCFC CHARGING STATION
	PROPOSED VOLTA V4 L2 EVCS W/ 4" PIPE BOLLARDS
	PROPOSED VOLTA V3 L2 CHARGING STATION
	PROPOSED V3 L2 EVCS FOUNDATION W/ 4" PIPE BOLLARDS
	PROPOSED PCS FOUNDATION
	PROPOSED PCS FOUNDATION W/ 4" BOLLARDS
	PROPOSED L2 REMOTE CHARGING UNIT FOUNDATION
	PROPOSED eBOX & eCLICK
	PROPOSED SIGN POST
	PROPOSED SIGN POST W/ BOLLARD
	PROPOSED POST INSTALLED SIGN POST
	PROPOSED POST INSTALLED SIGN POST W/ BOLLARD
	PROPOSED WALL MOUNTED SIGN
	PROPOSED 4" ISOLATED PIPE BOLLARD

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

New York
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LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
1 N LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: (914) 368-9200
WWW.KIMLEY-HORN.COM

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**670 N BROADWAY
WHITE PLAINS, NY 10603**

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
C0-01

Volta Gen4 L2 Station

Volta provides turn-key Electric Vehicle (EV) charging services for premium retail and entertainment destinations. We install and maintain the charging amenity at no cost to site partners as well as EV drivers, driving increased property value and attracting more customers who stay longer.

VOLTA STATION BENEFITS

- Installation, equipment and maintenance is paid by Volta
- Charges all electric vehicles
- Free electricity supported through third party content on displays
- Volta stations are occupied 80% of the retail day
- Volta has provided 88M free sponsored electric miles, delivered 25 gigawatt hours and eliminated over 39M pounds of CO2 emissions

CHARGING UNIT INFORMATION (Single Charging Units)

- Size: H 85.0" x W 36.5" x D 15.5"
- Display Size: H 48" x W 27"
- Power Type: 208/240VAC, 48A, 10kW max; UL 2202
- Plug: SAE J1772 compliant connector

POWER REQUIREMENTS

- Charging unit: 60A/2P, 208/240 breaker
- Display/connectivity: 20A/1P, 120V breaker

INSTALLATION REQUIREMENTS

- Wire Diameter: #6 AWG minimum. Larger for longer conduit runs
- Conduit Diameter: 1.5" minimum per station. Larger conduit required for runs over 250'



55" Media Display

Charges up to 30miles per hour

Universal J1772 connections

Cable Management

Fully Networked



volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

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**670 N BROADWAY
WHITE PLAINS, NY 10603**

SHEET TITLE

**VOLTA STATION
OVERVIEW**

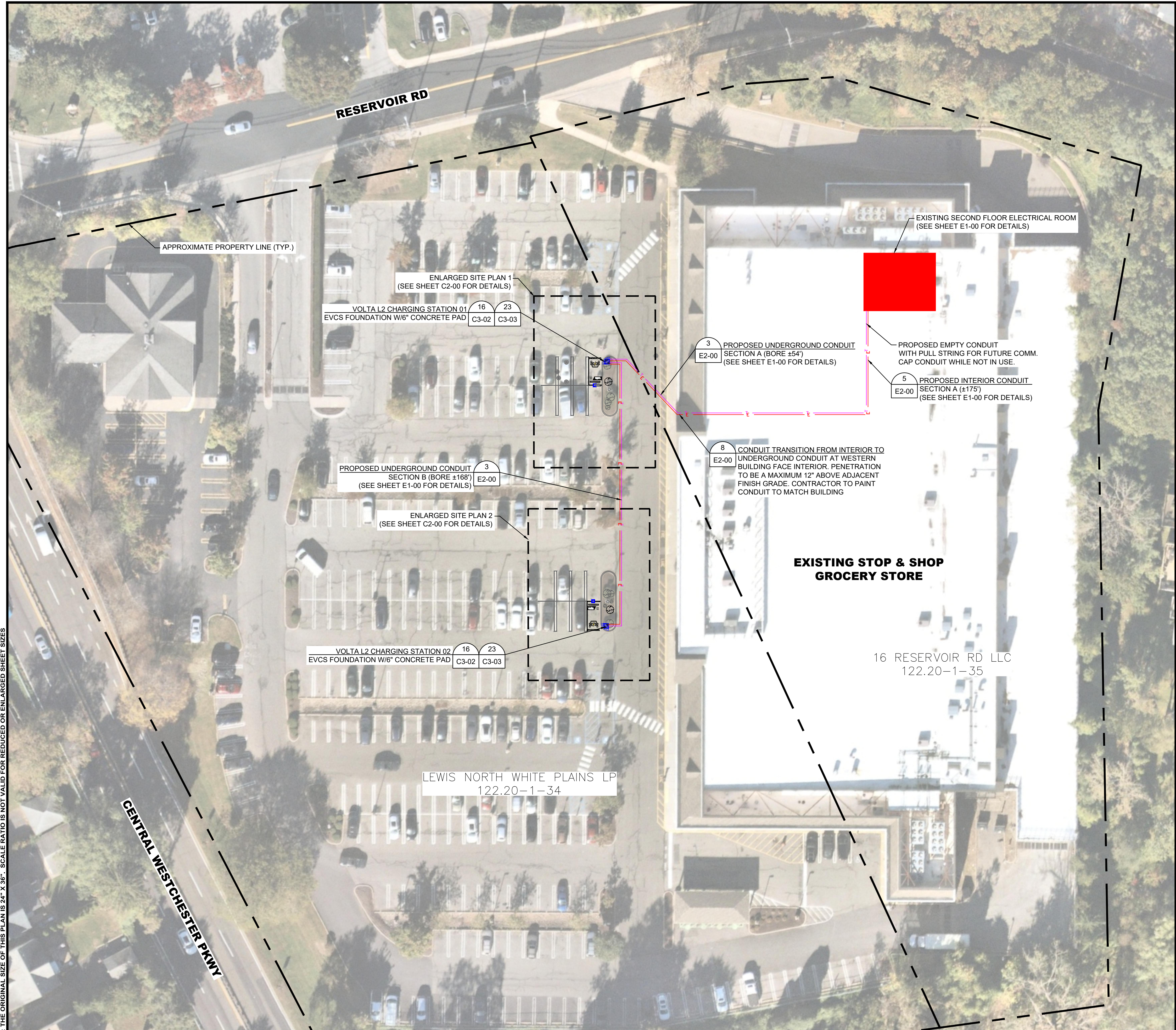
SHEET NUMBER

C0-02

volta

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NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



OVERALL SITE PLAN

DISCLAIMER

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CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND VOLTA OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH VOLTA PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

CONSTRUCTION NOTES:

- CONTRACTOR RESPONSIBILITIES CONSISTS OF, BUT NOT LIMITED TO, CHARGING STATION MOUNTING, FOUNDATION CONSTRUCTION, CONDUIT INSTALLATION, AND WIRING.
- CONTRACTOR TO PAINT PROPOSED EV PARKING STALLS PER JURISDICTIONAL REQUIREMENTS.
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY CONSTRUCTION ACTIVITY. SEE SHEET C3-00 FOR DETAILS.
- EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
- CONTRACTOR TO FIELD VERIFY ALL STALL DIMENSIONS AND ALL EQUIPMENT LOCATIONS TO ENSURE SUFFICIENT SPACE IS AVAILABLE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
- USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ETC.) TO LOCATE MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ADJUST LOCATION AS NECESSARY TO AVOID EXISTING REINFORCING. ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
- VOLTA WILL MAKE EVERY EFFORT TO FOLLOW, WITH THEIR PROPOSED CONDUIT, AN EXISTING CONDUIT ROUTE FROM ELECTRICAL ROOM TO PROPOSED STATION PLACEMENTS. WHEN AN EXISTING ROUTE IS NOT AVAILABLE, VOLTA WILL MAKE EVERY EFFORT TO CONCEAL/HIDE, PAINT AND MINIMIZE VISUAL IMPACT OF CONDUITS ANYWHERE THEY MAY BE VISIBLE TO THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL VERTICAL AND HORIZONTAL UTILITIES PRIOR TO DIRECTIONAL BORING. ANY ALTERATIONS TO THE PROPOSED CONDUIT ROUTE ARE TO BE COORDINATED WITH THE PROFESSIONAL ENGINEER(S) PRIOR TO CONSTRUCTION.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO LOCATE JUNCTION BOX OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

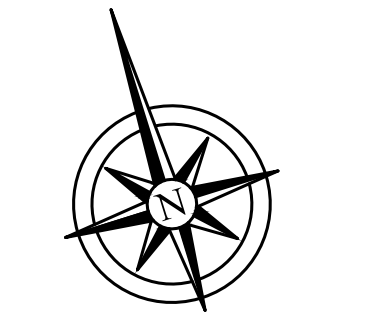
PARKING NOTE:

- THIS PROJECT PROPOSES TO UPGRADE (2) STANDARD PARKING STALLS TO (2) EV PARKING STALLS FOR EV READINESS. NO NET CHANGE IN PARKING COUNT IS PROPOSED.

REFERENCE NOTE:

- SEE PROJECT LEGEND ON SHEET C0-01 FOR SYMBOLS AND LINE TYPE DESCRIPTIONS.

IMAGE REFERENCE:
AERIAL IMAGE(S) PROVIDED BY NEARMAP
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volta

155 DE HARO STREET
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1 N LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: (914) 368-9200
WWW.KIMLEY-HORN.COM

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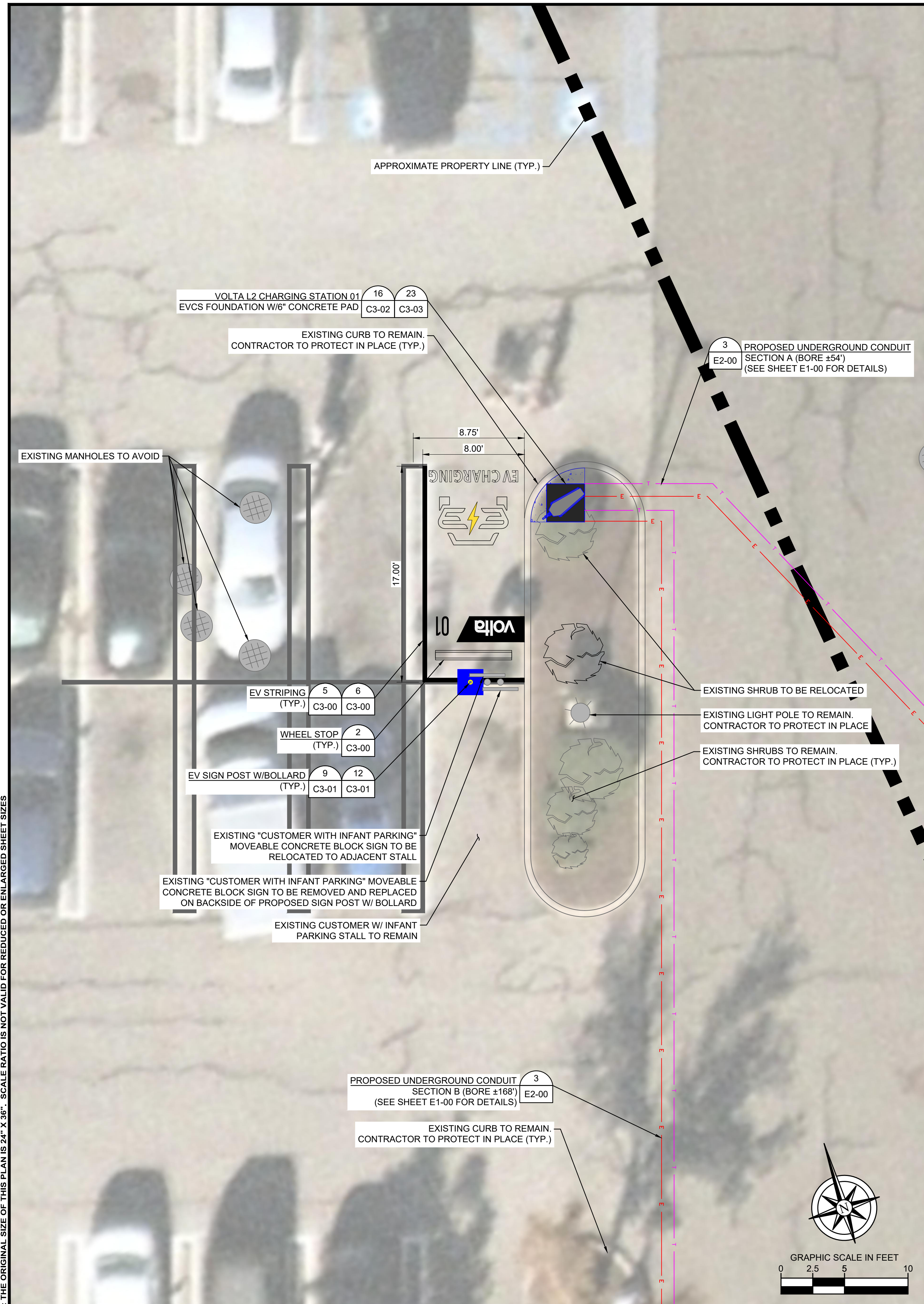
STOP & SHOP #593

**670 N BROADWAY
WHITE PLAINS, NY 10603**

SHEET TITLE
OVERALL SITE PLAN

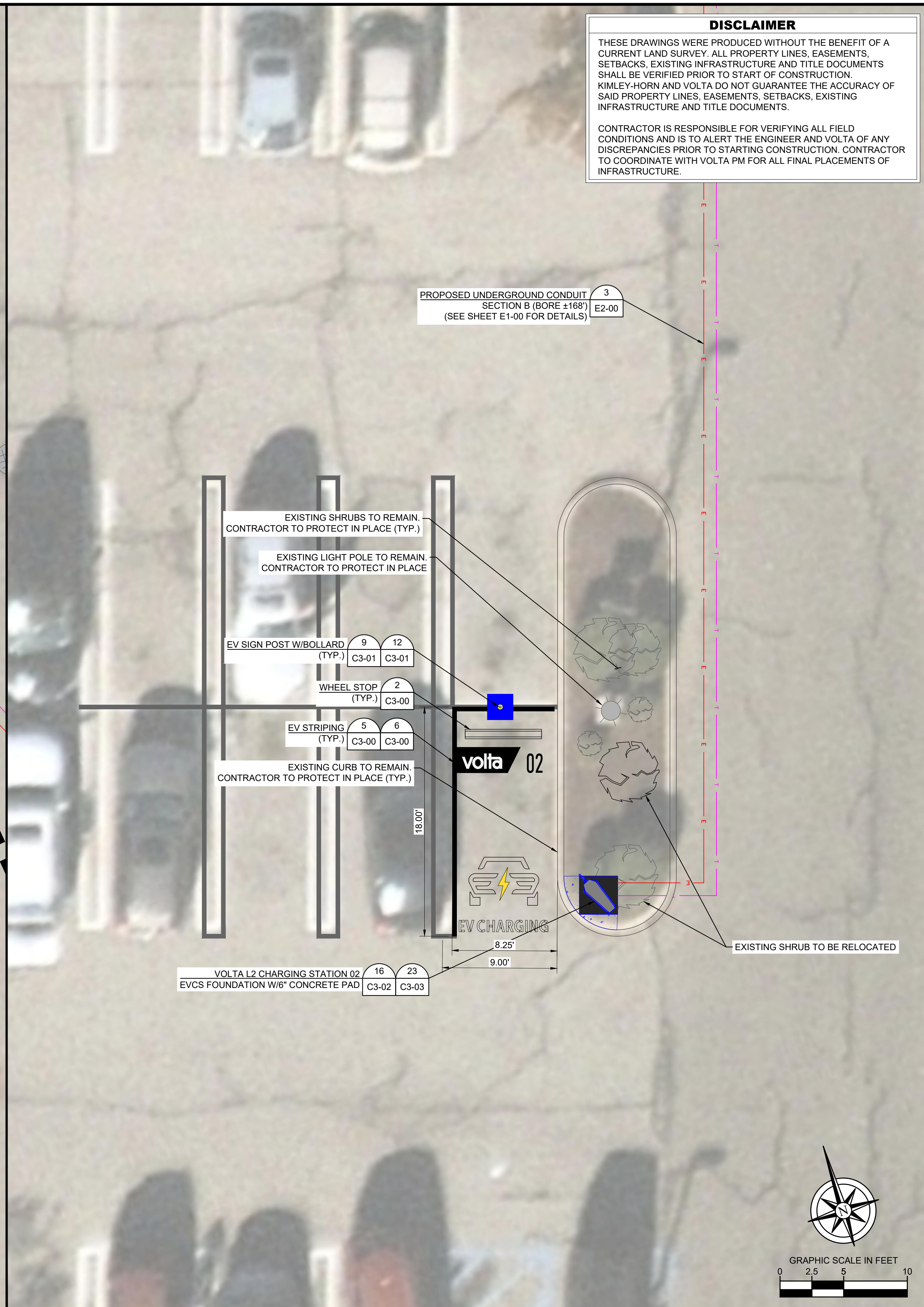
SHEET NUMBER
C1-00

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ENLARGED SITE PLAN

1



ENLARGED SITE PLAN

2

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volta
 155 DE HARO STREET
 SAN FRANCISCO, CA 94103

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 WHITE PLAINS, NY 10601
 PHONE: (914) 368-9200
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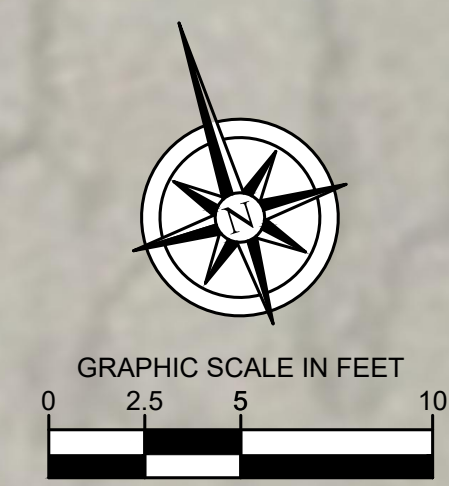
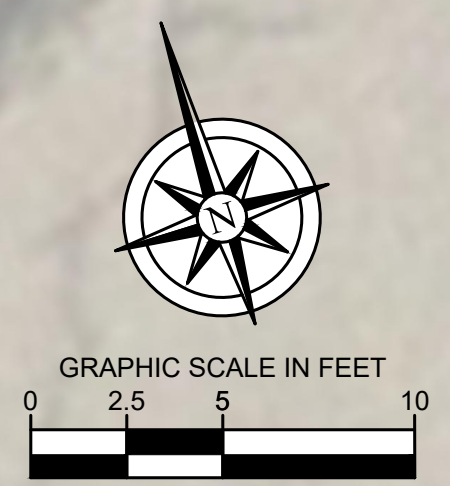


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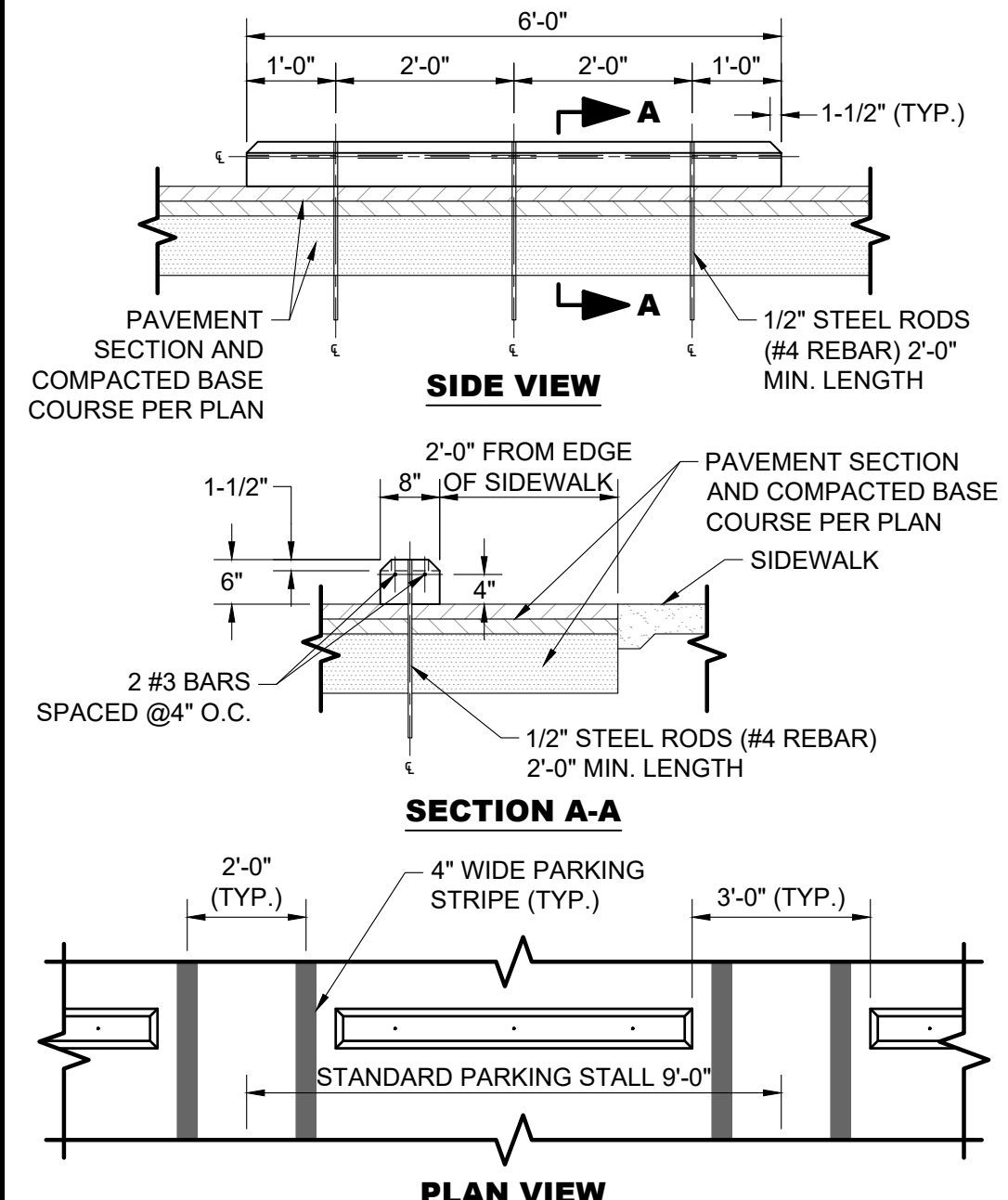
STOP & SHOP #593
 670 N BROADWAY
 WHITE PLAINS, NY 10603

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
C2-00



- UNLESS NOTED OTHERWISE, THE FOLLOWING NOTES RELATING TO THE "SITE DETAILS" SHEETS SHALL GOVERN.
- COMPRESSIVE STRENGTH OF CONCRETE FOUNDATION SHALL BE A MINIMUM OF 4,500 PSI AT 28 DAYS WITH MAXIMUM W/CM RATIO OF 0.45 AND AIR-CONTENT OF 5% +/- 1.5%.
- MINIMUM YIELD STRENGTH OF REINFORCEMENT TO BE 60,000 PSI (ASTM-A615).
- REFERENCE CIVIL AND ELEC. DRAWING FOR EQUIPMENT LAYOUT, LOCATION OF CONDUIT, ETC.
- FINAL ANCHOR BOLT AND POLE DESIGN INCLUDING SIZE AND CONFIGURATION ARE BY MFR.
- BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY THE OWNER. FOUNDATION DESIGN IS BASED ON A MINIMUM OF 1,500 PSF NET ALLOWABLE BEARING PRESSURE ON UNDISTURBED NATURAL SOIL OR COMPACTED FILL UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL FOUNDATION WORK RELATED TO INSTALLATION OF REBAR SHALL BE INSPECTED BY OTHERS.
- KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE DESIGN OF THE EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. MANUFACTURER SHALL SUBMIT LOADS TO ENGINEER FOR RECORD KEEPING PURPOSES ONLY.
- DESIGN IS BASED ON THE SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS AND ILLUSTRATED ON THE VOLTA CUT SHEETS.
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- ALL FOUNDATIONS ARE TO INCLUDE COMPACTED SUBGRADE AND MINIMUM 6" COMPACTED STONE BASE UNLESS OTHERWISE SPECIFIED.
- BUILDING CODE: IBC 2018
DESIGN PARAMETERS (PER ASCE 7-16):
WIND SPEED: 115 MPH
EXPOSURE CATEGORY: C
TOPOGRAPHY CATEGORY: 1
RISK CATEGORY: II
SEISMIC PARAMETERS: Ss = 0.291g
S1 = 0.061g
SITE CLASS: D
FROST DEPTH: 45"
FEMA FLOOD ZONE: X
NOTE: BOLLARDS ARE NOT DESIGNED FOR FULL 6 KIP IMPACT LOADS UNLESS OTHERWISE NOTED AS "VEHICULAR RATED".



- NOTES:
- WHEEL BLOCK TO BE 6'-0" LONG x 8" WIDE x 6" HIGH WITH 1-1/2" CHAMFERS AS SHOWN.
 - WHEEL BLOCKS SHALL BE PRECAST CONCRETE SECTIONS, 4,000 PSI CONCRETE MIX WITH (2) #3 BARS CONTINUOUS.

GENERAL NOTES SCALE N.T.S. 1

CONCRETE WHEEL STOP SCALE N.T.S. 2

NOT USED SCALE N.T.S. 3

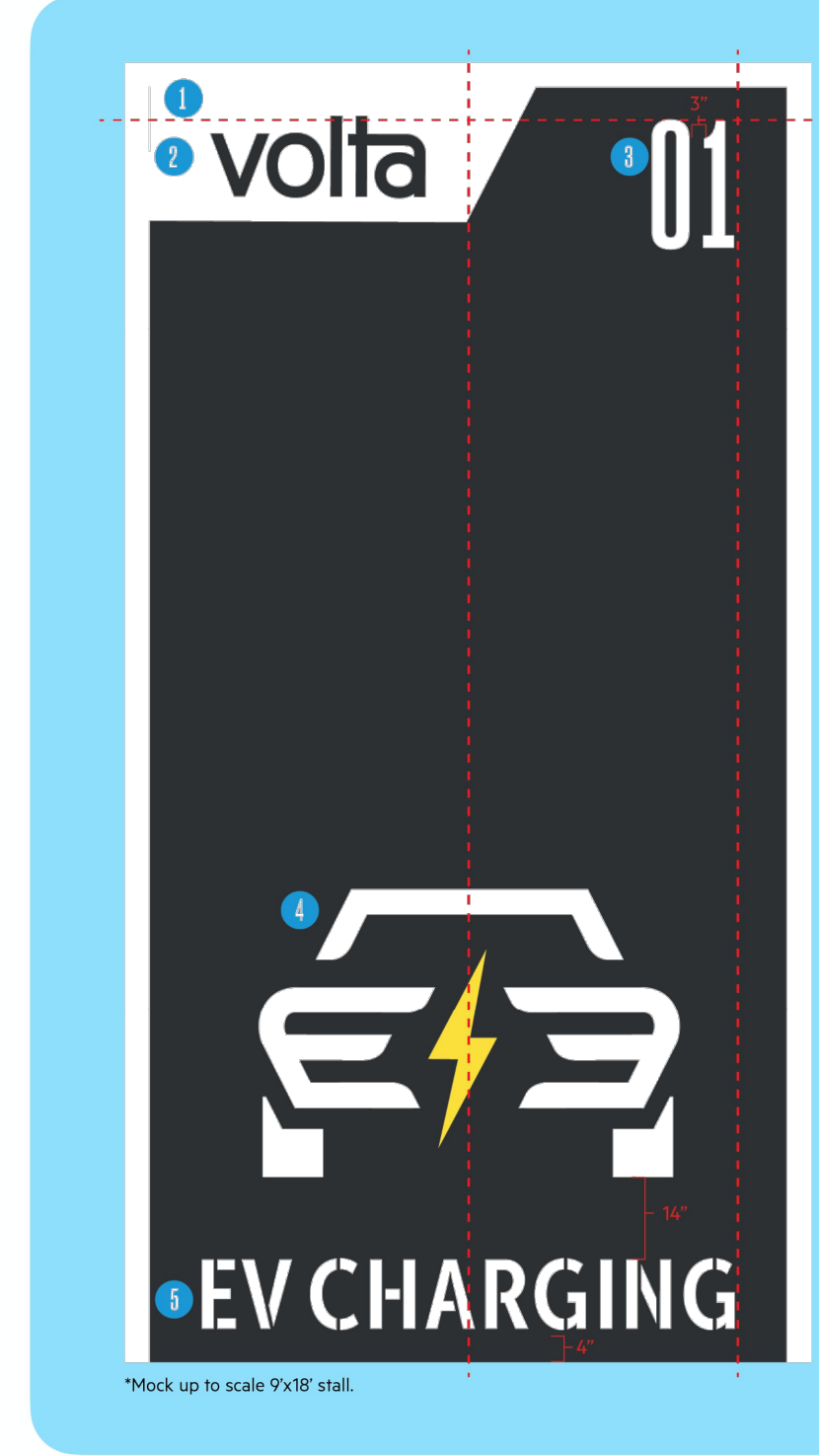
NOT USED SCALE N.T.S. 3

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Volta Charging STRIPING GUIDELINES

PRODUCTS
Cement & Asphalt Background: Latex-Rite 4.75 Gal. Ultra Shield Driveway Filler Sealer
Traffic Paint: Sherwin Williams TP2153 LF Yellow TTP-19520, TP2152 White TTP-19520

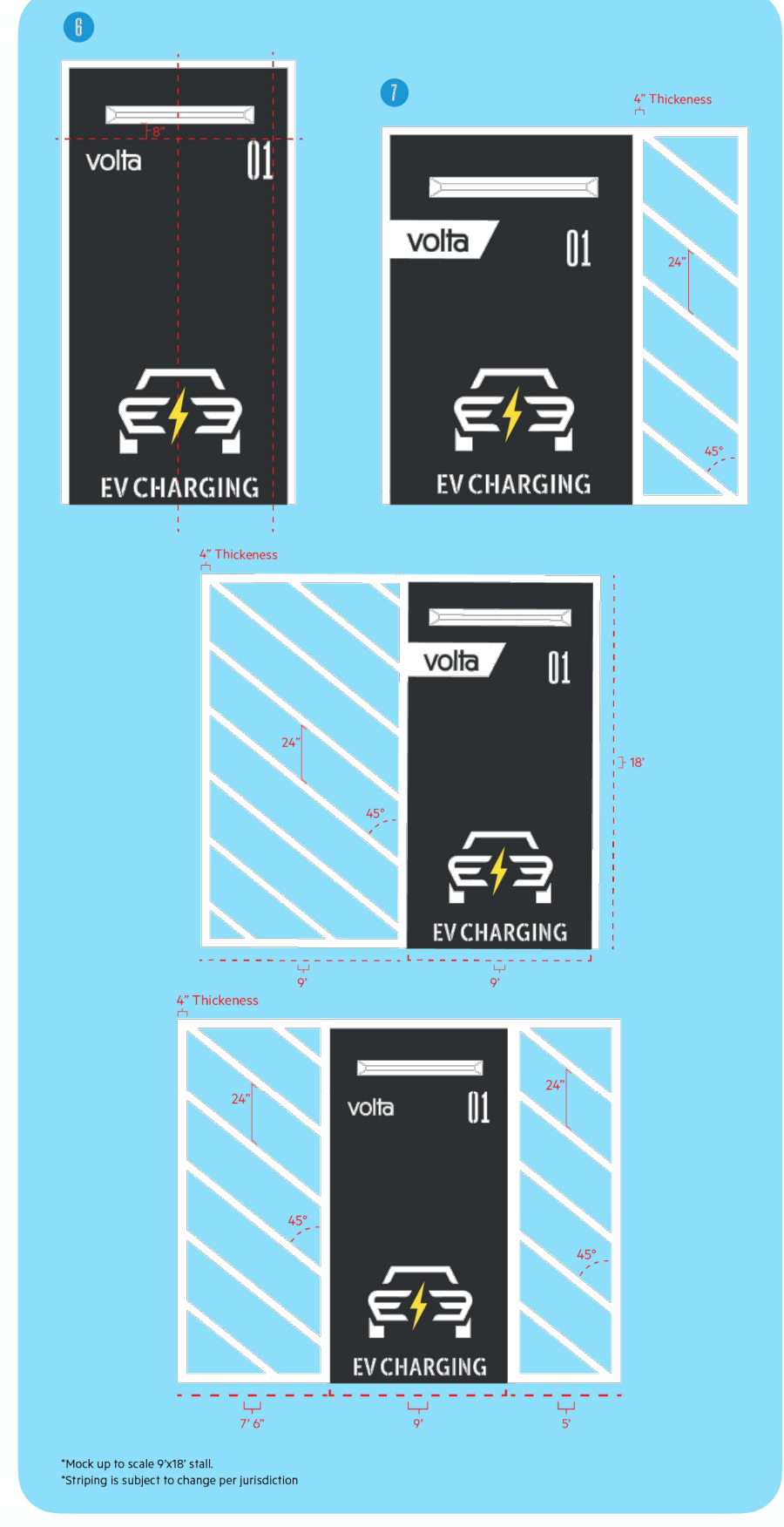


- SURFACE PREP**
Backgrounds are to only be painted for marquee locations or any location where the existing space has conflicting designations or is poor shape. For all other instances please proceed to branded striping.
- CEMENT & ASPHALT BACKGROUND:**
All backgrounds must run edge-to-edge across the entire parking space. Asphalt should be resealed with sealcoat.
- BRANDED STRIPING**
- VOLTA LOGO:**
Should match the overall background color of the parking stall (unless you are omitting the container shape according to other specs, if so paint it white).
- LINES & STENCILS:**
Use traffic grade yellow for the lightning bolt stencil. Use traffic grade white for all other lines and stencils.
- SHAPE (White)** Place flush with the top left corner.
 - VOLTA LOGO** Center within the shape.
 - NUMBERS (white)** The right number lines up flush right to the "01" in "CHARGING" and flush top with the volta logo. There should be 3 inches in-between the left and right numbers. If stall is less than 8 feet, align numbers with the middle of the "01" (see page 2).
 - LETTERS** Place centered, 4 inches from the bottom of the stall.
 - CAR** Place centered 14 inches from the top of the letters.

NOTE:
1. CONTRACTOR TO ENSURE PAINT IS APPLIED 40° FAHRENHEIT MIN.

EV STRIPING GUIDELINES SCALE N.T.S. 5

Volta Charging STRIPING GUIDELINES



- ABSOLUTELY DO NOT**
- Paint only a portion of the background (edge-to-edge or not at all)
 - Paint the lightning bolt, any color but yellow or white
 - Break EV CHARGING into 2 lines
 - Only put 1 number in top right corner
 - Paint the volta logo any color other than white or Battleship Blue/Sealcoat
- ACCESORIES**
- WHEEL STOPS** Place 8 inches above the volta logo, centered within the stall. Wheel Blocks should be painted white.
 - ACCESS AISLE** should be painted white.
- CURBS** No need to paint the curbs unless curbs are damaged and repaired. If repaired, paint the curb(s) to match existing conditions.

EV STRIPING GUIDELINES SCALE N.T.S. 6

NOT USED SCALE N.T.S. 7

volta

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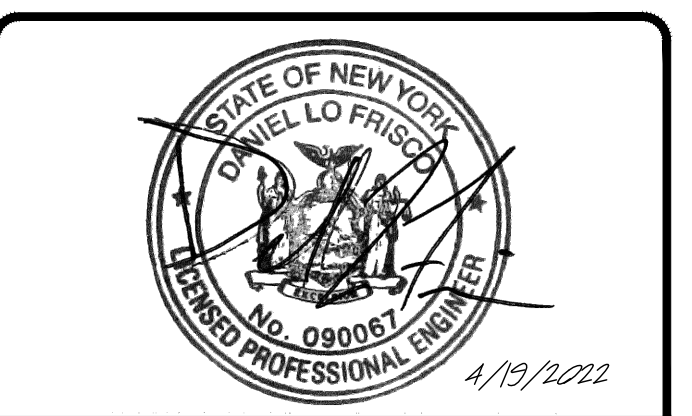
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WHITE PLAINS, NY 10601
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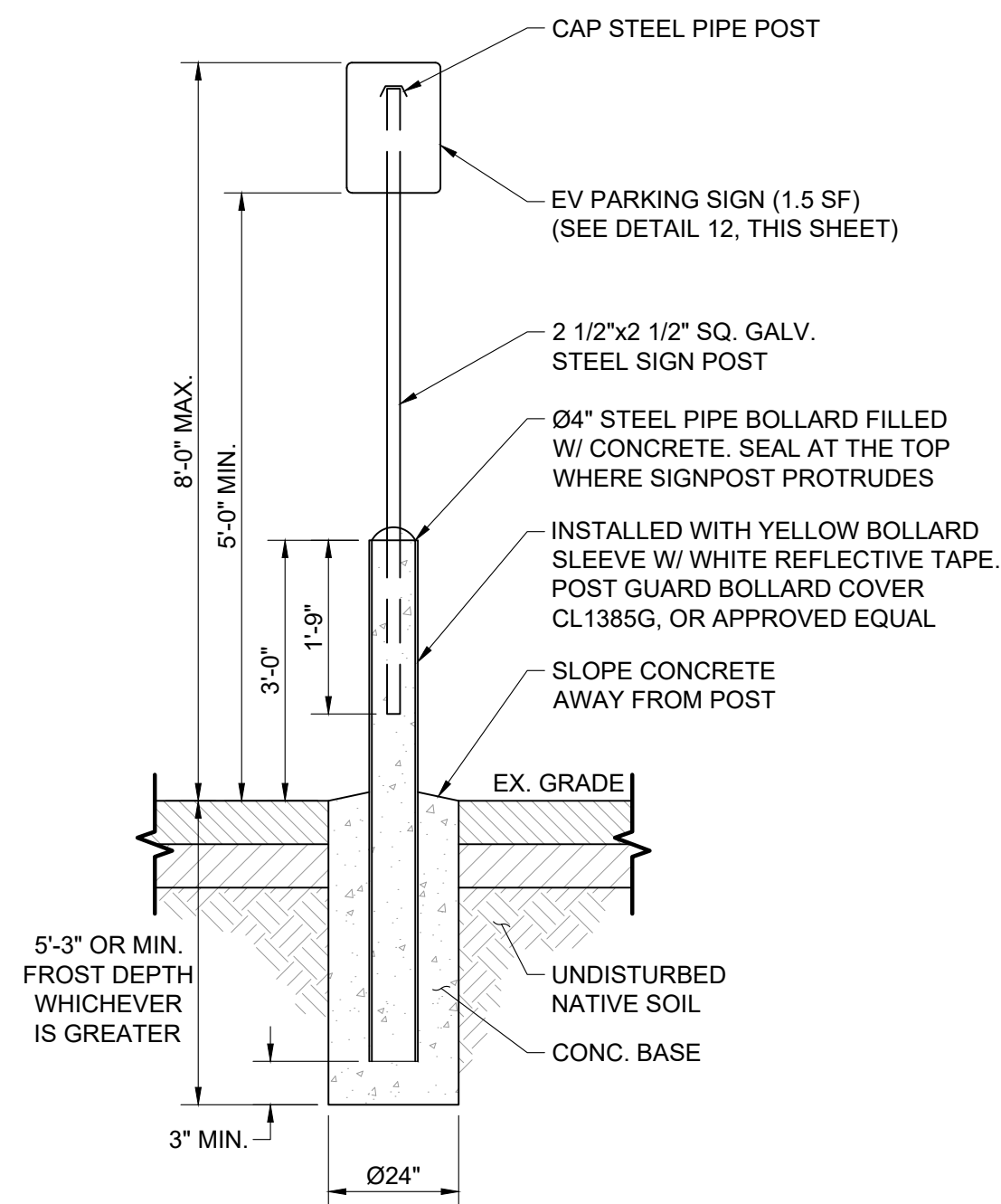
**670 N BROADWAY
WHITE PLAINS, NY 10603**

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-00

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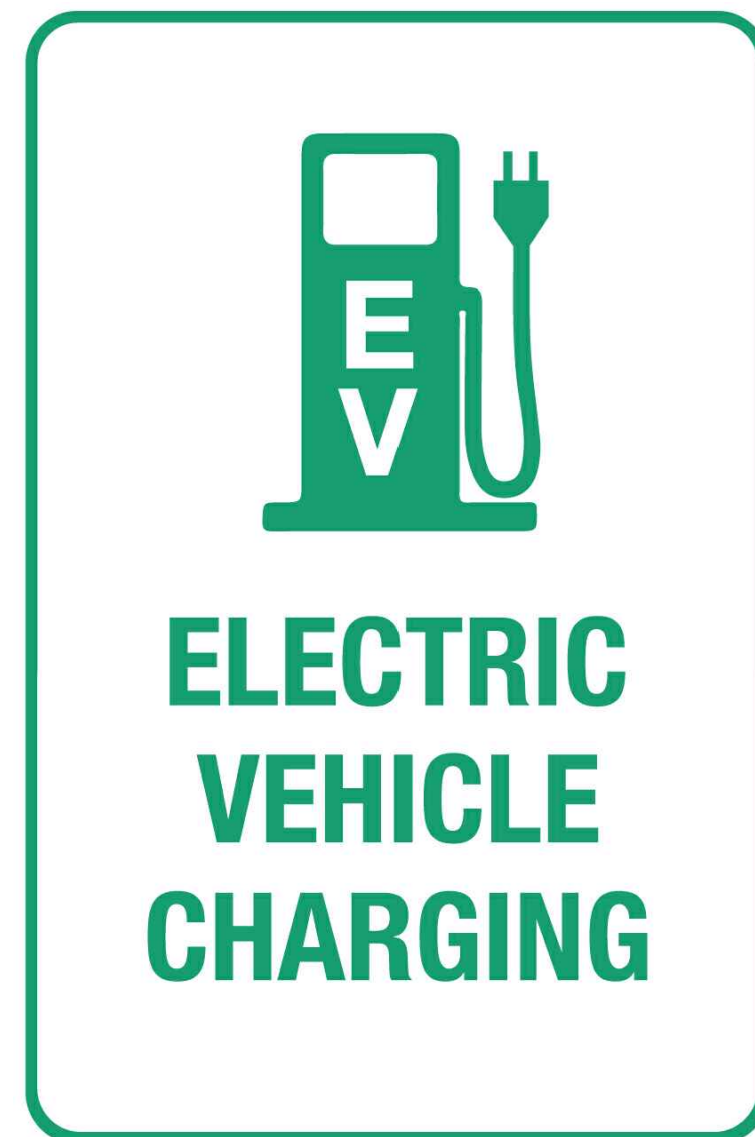
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- NOTES:
- SIGN TO BE GREEN (PANTONE 355C) WITH WHITE LETTERING AND MUST BE REFLECTIVE LETTERING.
 - TO BE PLACED AT HEAD OF PARKING STALL.
 - POST MOUNTED OBJECTS PER ADA CODE SECTION 11B-307.3.
 - THIS DETAIL SHALL BE USED WHEN SIGN POST IS LOCATED IN PARKING LOT PAVEMENT, OR WITHIN 2' CAR OVERHANG ZONE.
 - REFER TO NOTES FOR ASSUMED GEOTECHNICAL 164 PARAMETERS. THIS SIGN DESIGN ASSUMES ASCE 7-10 WIND SPEED AND AN EXPOSURE CATEGORY B. IF EITHER OF THESE GEOTECHNICAL PROPERTIES OR ASCE 7-10 WIND PARAMETERS DIFFER BASED ON LOCATION THE DESIGN MUST BE UPDATED BY A STRUCTURAL ENGINEER.

NOT USED SCALE N.T.S. **8**

SIGN POST W/BOLLARD SCALE N.T.S. **9**



SIGN INSTALLATION TYPE:
CONTRACTOR SHALL COORDINATE WITH VOLTA TO DETERMINE EVCS SIGN TYPE PRIOR TO INSTALLATION.

SIGN INSTALLATION HEIGHT:
ALL SIGNS TO BE INSTALLED AT 60" ABOVE FINISH FLOOR. IF SIGNS ARE LOCATED WITHIN AN ACCESSIBLE ROUTE, THEY WILL BE INSTALLED AT 80" ABOVE FINISHED FLOOR. MEASUREMENTS ARE TAKEN FROM BOTTOM OF LOWEST SIGN.

SIGN REQUIREMENTS SCALE N.T.S. **12**

NOT USED SCALE N.T.S. **13**

NOT USED SCALE N.T.S. **10**

NOT USED SCALE N.T.S. **11**

NOT USED SCALE N.T.S. **14**

NOT USED SCALE N.T.S. **15**

volta

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STOP & SHOP #593

**670 N BROADWAY
WHITE PLAINS, NY 10603**

SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-01

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FRONT **SIDE** (2x DISPLAYS) **BACK**

PLAN

CHARGER SPECIFICATIONS:
 SIZE: H 85.0" x W 36.5" x D 15.5"
 CORD LENGTH: 15'
 POWER TYPE: 208/240VAC, 48A (MAX), 10 kW MAX.
 PLUG: SAE J1772 COMPLIANT CONNECTOR
 LISTINGS: UL E354307

POWER REQUIREMENTS:
 CHARGING UNIT: 60A/2P 208/240V BREAKER
 STATION AUX POWER: 20A/1P 120V BREAKER

NOTES:
 1. THE GRIP RANGE FOR THE CHARGE CABLE BEGINS AT 38.5" ABOVE PARKING SURFACE.
 2. SEE DETAILS 17 & 19, THIS SHEET FOR MORE INFORMATION.

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NOTE:
 1. REFER TO DETAIL 18 FOR BASE PLATE ANCHORAGE.

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CHARGING STATION BASE PLAN VIEW

CHARGING STATION BASE PLATE PLAN VIEW

NOTES:
 1. CONTRACTOR TO VERIFY POST INSTALLATION OR CAST IN PLACE ANCHOR AS LISTED BELOW BASED ON FIELD MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.
 2. CONTRACTOR TO VERIFY EXISTING CONCRETE SLAB THICKNESS AND MAINTAIN 2" MINIMUM COVER OF CONCRETE BELOW EMBEDDED ANCHORS.
 3. REFER TO DETAIL 17 FOR BASE PLATE DIMENSIONS.

CAST IN PLACE ANCHOR:
 MINIMUM EFFECTIVE EMBEDMENT OF 2" OR ENGINEER APPROVED EQUAL.

POST INSTALLATION MECHANICAL ANCHOR:
 (4) 5/8" DIAMETER HILTI KWIK BOLT TZ-SS304 ANCHOR ROD WITH MINIMUM EFFECTIVE EMBEDMENT OF 3-1/4" OR ENGINEERING APPROVED EQUAL.

VOLTA V4 L2 EVCS SCALE N.T.S. **16**

VOLTA V4 BASE PLATE SCALE N.T.S. **17**

VOLTA BASE PLATE ANCHORAGE SCALE N.T.S. **18**

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SHEET TITLE
SITE DETAILS

SHEET NUMBER
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Level 2 Media Station

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.

Charger Specs

- Output power: 10 kW max (AC)
- Safety certification: UL 2202

Power Requirements

- Input voltage: 208 - 240 VAC
- Output voltage: 208 - 240 VAC
- Circuit size: 60A/2P, 208/240 breaker
- Network connectivity: Cell connection or LAN access

Display Screen Specs

- Size: 55" outdoor LED back light system x2
- Picture: Full HD 1080p resolution
- Power requirements: 20A/1P, 120V breaker
- File type: JPEG or PNG

Installation Requirements

- Foundation req: 36"L x 34"W x 36"D
- Conduit diameter: 1.5" min per station approx*
- *Separate conduit for communication may be required

Example Level 2 Media Foundation Plans

voltacharging.com 770-0002-A

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eMOBILITY SOLUTIONS

eClick Data sheet

General and electrical specifications

Specification	eClick
Charging power	up to 10.4 kW / 12 kW (up to 50A)
Mains input power	208 Volt AC WYE system, 50A, 10.4 kW 240 Volt AC split phase, 50A, 12 kW 240 Volt AC Center Tap Delta, 50A, 12 kW
Output power to eBox	208 Volt AC WYE system, 50A, 10.4 kW 240 Volt AC split phase, 50A, 12 kW 240 Volt AC Center Tap Delta, 50A, 12 kW
Storage temperature	maximum output depends on local distribution grid -22°F to +176°F (-30°C to +80°C)
UV protection	Leavon® EXL 9330 (copolymer)
Housing material	Flame class rating V0 (UL94)
Protection category (impact strength)	IK10 as defined under IEC 62262:2002
Weight (without eClick)	6.4 kg
Number of charging ports	1
Plug assembly	Type 1 plug as defined under SAE J1772™, plug compartments on eBox, shutter
Cable length	24'-7 1/4" (7.5 m)
Backend protocol	eOperate using LG2WAN for business applications and eHome using OCPP 2.0 for residential application
Input power from eClick	up to 10.4 kW (WYE) / up to 12 kW (split phase / center tap delta) (up to 50A)
Output power	up to 10.4 kW (WYE) / up to 12 kW (split phase / center tap delta) (up to 50A)
Electrical Protection Class	I
Standby power	6 W
Charging mode	Mode 3 (IEC 61851)
Vehicle communication	Charging current controlled via PWM pilot signal (IEC 61851-2017)
Alternative vehicle communication	ISO 15118 ready via PLC
User protection: integrated	Integrated AC/DC sensitive GFCI, triggering at: 20 mA rms for AC and for DC according to UL2231 (ESD/Surge/Burst)
Interaction	LED ring for charging status; 2 status LEDs: authentication / RFID, vehicle link; 1 status LED as touch button: Bluetooth
Measured consumption	Current and voltage measured by eBox, power and energy provided with 99% accuracy
Direct communication	Bluetooth Class 1 and 2 (power level)
Backend link	eHome (eCharge+ app): WLAN with 2.4 GHz b/g/n with WPA2 (sector gain, frequency-dependent, max 4.6 dB) or LAN or eOperate: SIM-card (frequency- and direction-dependent, max 4.4 dB) serial (gsm)
Authentication / activation	Free charging, eCharge+ app (smartphone app for iOS® / Android™) from contracted providers or Direct Payment (credit card / PayPal), Direct Payment via web access
Plug & Charge (ISO 15118)	Yes
RFID authentication	Yes, protocols: MIFARE Classic (card and chip) as defined under ISO 14443A, Type V (ISO/IEC 15693/Vicinity)
Charging port number	Charge port number lasered on shutter

Recommended additional accessories

Accessory	eClick
Short circuit / overload protection installed in sub-distribution per charge port	Circuit breaker required according to national law and regulations. Electrical installer to choose correct circuit breaker depending on grid type and power.

Broadband TelCom Power, Inc.
 1719 S. Grand Ave.
 Santa Ana, CA 92705, USA
 sales@btcpower.com
 www.btcpower.com

ECLICK DATA CUT SHEET SCALE N.T.S. **20**

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eMOBILITY SOLUTIONS

eBox professional Data sheet

General and electrical specifications

Specification	eBox professional
Charging power	up to 10.4 kW (WYE) / up to 12 kW (split phase/center tap delta) (up to 50A)
Applications	Protected internal areas; unprotected exterior areas exposed to rain and direct sunlight
Enclosure Rating	Type 3S
Operating temperature	-32°F to 132°F (-30°C to +50°C) full load Thermal overload protection: output power reduced at higher temperatures
Storage temperature	-22°F to +176°F (-30°C to +80°C)
Air humidity	5% to 95% as defined under IEC 61851-1 Ed.3/EN 61851-1(2017)
Max altitude above sea level	Max 6,500 ft (2,000 m) (air pressure: 860 hPa to 1,060 hPa)
UV protection	Leavon® EXL 9330 (copolymer)
Housing material	Flame class rating V0 (UL94)
Protection category (impact strength)	IK10 as defined under IEC 62262:2002
Weight (without eClick)	6.4 kg
Number of charging ports	1
Plug assembly	Type 1 plug as defined under SAE J1772™, plug compartments on eBox, shutter
Cable length	24'-7 1/4" (7.5 m)
Backend protocol	eOperate using LG2WAN for business applications and eHome using OCPP 2.0 for residential application
Input power from eClick	up to 10.4 kW (WYE) / up to 12 kW (split phase / center tap delta) (up to 50A)
Output power	up to 10.4 kW (WYE) / up to 12 kW (split phase / center tap delta) (up to 50A)
Electrical Protection Class	I
Standby power	6 W
Charging mode	Mode 3 (IEC 61851)
Vehicle communication	Charging current controlled via PWM pilot signal (IEC 61851-2017)
Alternative vehicle communication	ISO 15118 ready via PLC
User protection: integrated	Integrated AC/DC sensitive GFCI, triggering at: 20 mA rms for AC and for DC according to UL2231 (ESD/Surge/Burst)
Interaction	LED ring for charging status; 2 status LEDs: authentication / RFID, vehicle link; 1 status LED as touch button: Bluetooth
Measured consumption	Current and voltage measured by eBox, power and energy provided with 99% accuracy
Direct communication	Bluetooth Class 1 and 2 (power level)
Backend link	eHome (eCharge+ app): WLAN with 2.4 GHz b/g/n with WPA2 (sector gain, frequency-dependent, max 4.6 dB) or LAN or eOperate: SIM-card (frequency- and direction-dependent, max 4.4 dB) serial (gsm)
Authentication / activation	Free charging, eCharge+ app (smartphone app for iOS® / Android™) from contracted providers or Direct Payment (credit card / PayPal), Direct Payment via web access
Plug & Charge (ISO 15118)	Yes
RFID authentication	Yes, protocols: MIFARE Classic (card and chip) as defined under ISO 14443A, Type V (ISO/IEC 15693/Vicinity)
Charging port number	Charge port number lasered on shutter

Remark: Android is a trademark of Google LLC.

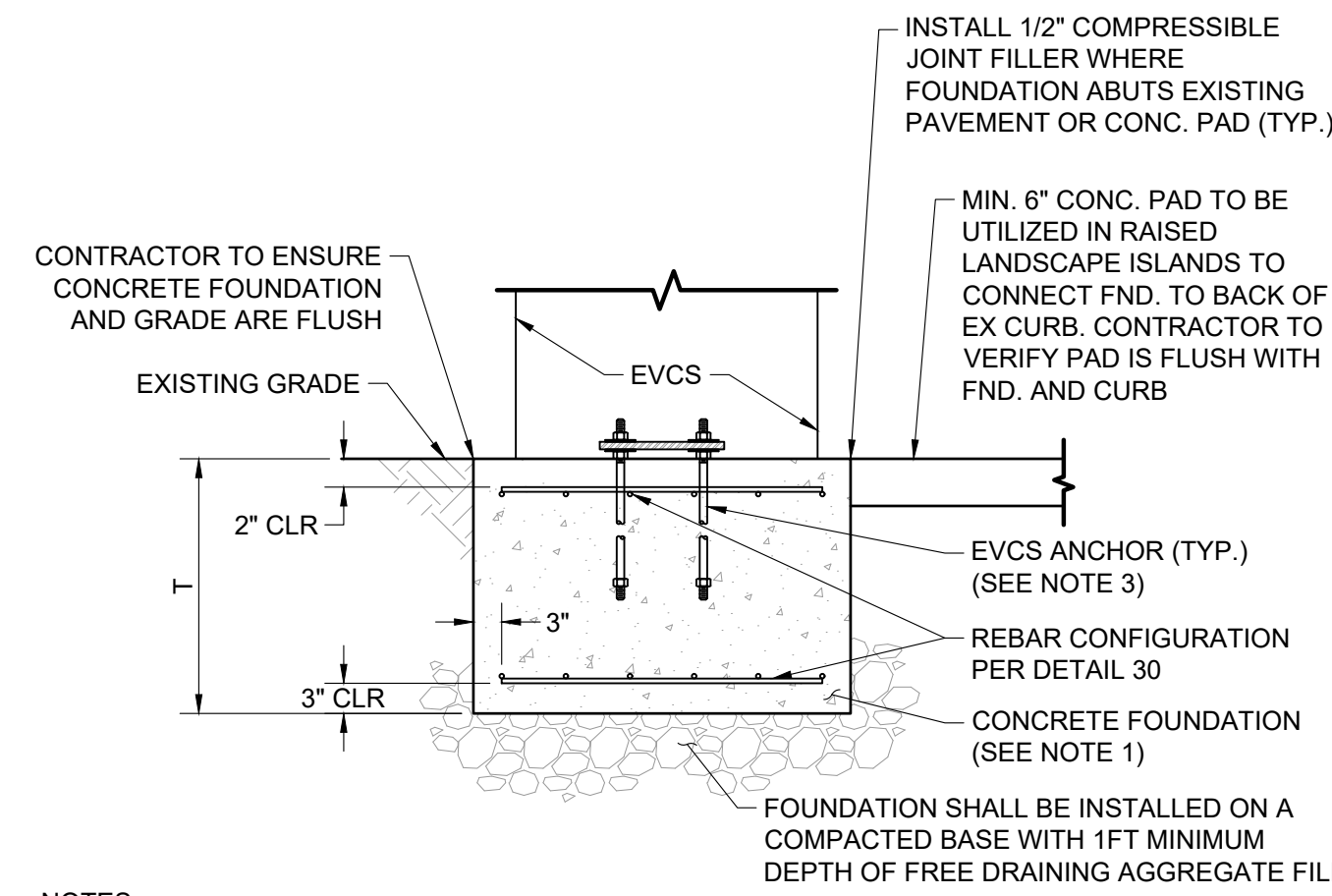
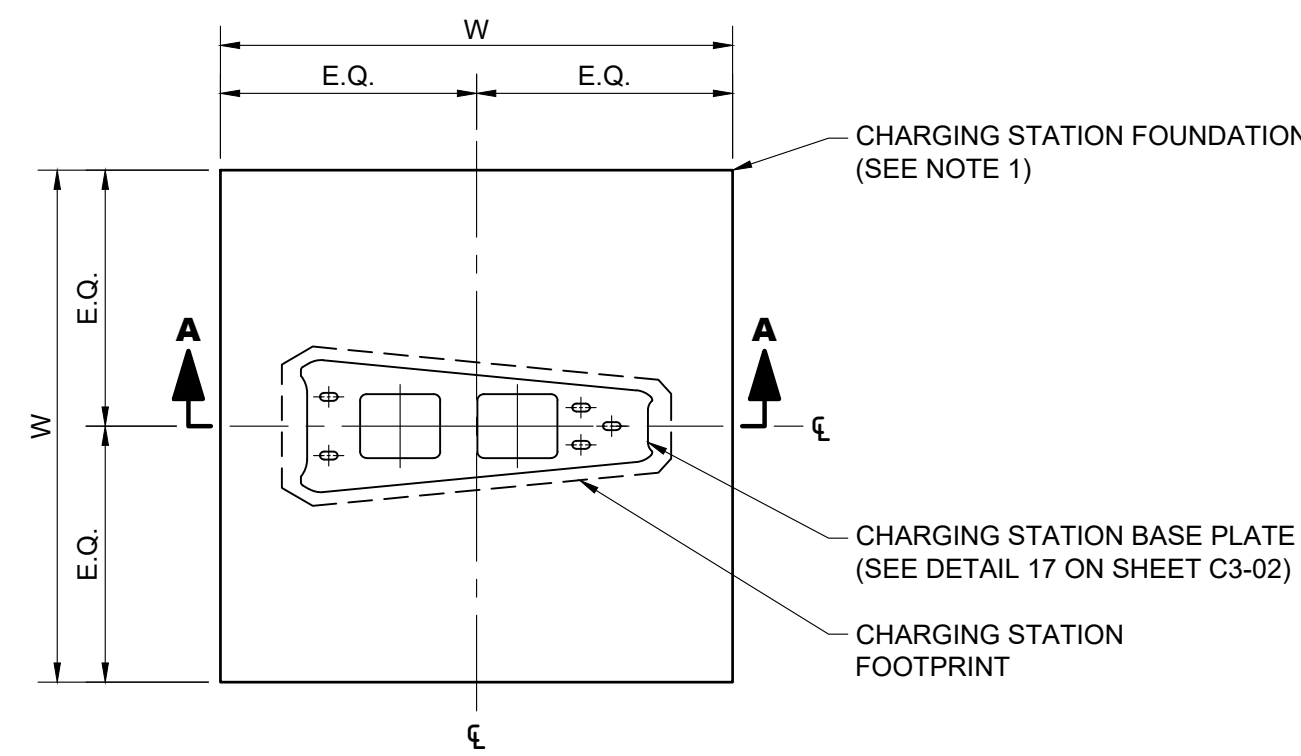
EBOX DATA CUT SHEET SCALE N.T.S. **21**

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.

NOT USED

NOT USED SCALE N.T.S. **22**

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



- NOTES:
- SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 - SEE DETAIL 24 - FOR PARKING LOT INSTALLATIONS.
 - SEE DETAIL 29 - FOR PARKING GARAGE INSTALLATIONS.
 - CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.

- NOTES:
- SEE DETAIL 30 - FOR FOUNDATION VARIABLES.
 - EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12" O.C. PROVIDE 1/2" COMPRESSIBLE JOINT FILLER AND POURED SEPARATELY.
 - KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29.

V4 EVCS FOUNDATION SCALE N.T.S. **23**

V4 EVCS FOUNDATION SECTION A-A SCALE N.T.S. **24**

NOT USED SCALE N.T.S. **25**

NOT USED SCALE N.T.S. **26**

EVCS PAD FOUNDATIONS					
CONFIGURATION	WIDTH (W)	THICKNESS (T)	REBAR LAYERS	REBAR SIZE	REBAR QTY. (PER LAYER)
5	3.00	2.50	2	#5	4

- NOTES:
- FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
 - PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
 - FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH BASE WITH 1FT MINIMUM DEPTH OF FREE DRAINING AGGREGATE FILL (UNLESS OTHERWISE SPECIFIED).
 - VOLTA V4 ELECTRIC VEHICLE CHARGING STATION (EVCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
 - ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

NOT USED SCALE N.T.S. **27**

NOT USED SCALE N.T.S. **28**

NOT USED SCALE N.T.S. **29**

EVCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. **30**

NOT USED SCALE N.T.S. **31**

NOT USED SCALE N.T.S. **32**

NOT USED SCALE N.T.S. **33**

NOT USED SCALE N.T.S. **34**

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

New York
© 2022 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
1 N LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: (914) 368-9200
WWW.KIMLEY-HORN.COM

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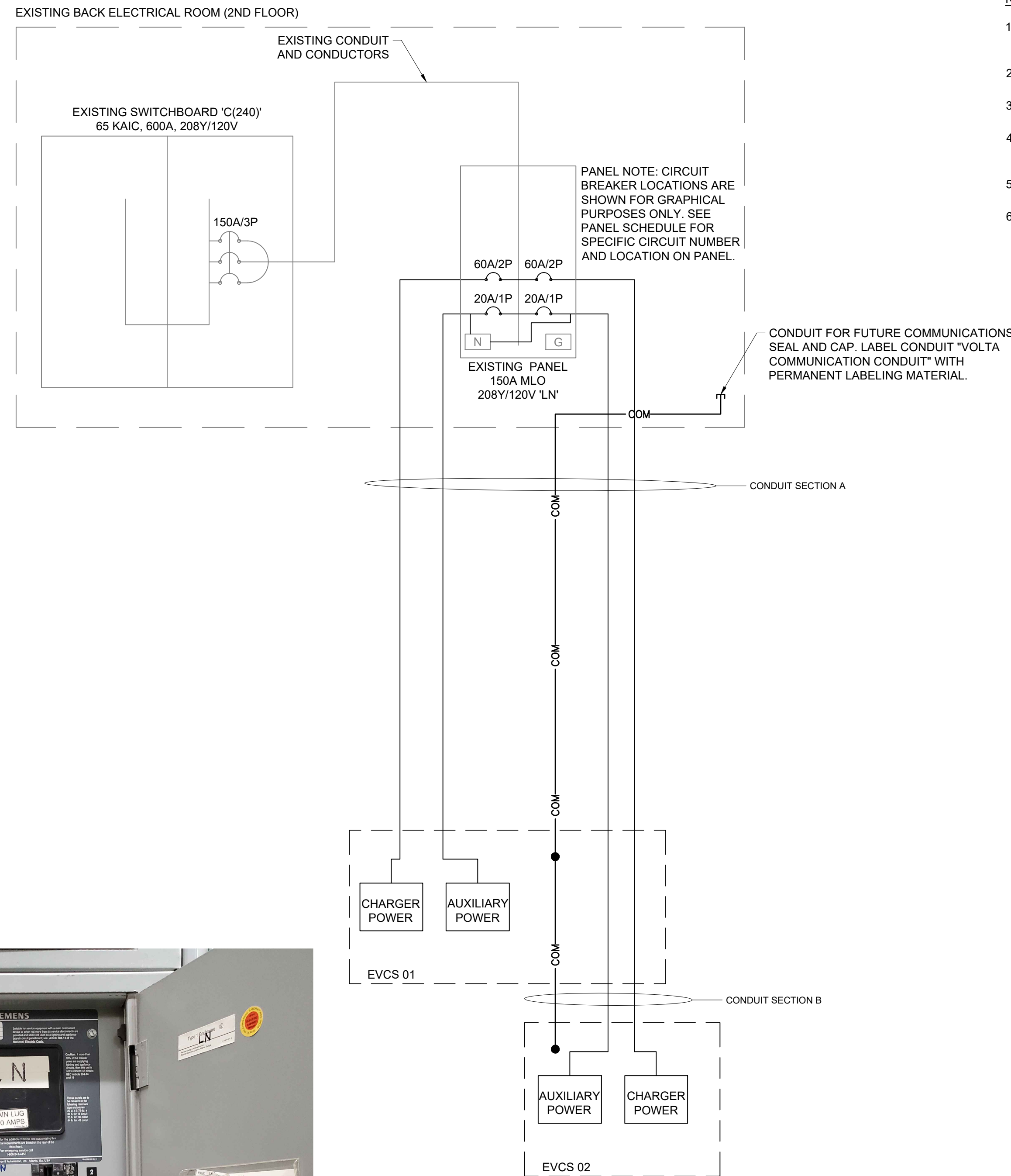
SHEET TITLE

SITE DETAILS

SHEET NUMBER

C3-03

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



NOTES:

1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
2. ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
3. CONTRACTOR SHALL USE THWN COPPER CONDUCTORS.
4. CONTRACTOR SHALL USE EMT INSIDE AND OUTSIDE ABOVE GRADE WHERE NOT SUBJECT TO DAMAGE. CONTRACTOR SHALL USE RGS INSIDE AND OUTSIDE ABOVE GRADE WHERE SUBJECT TO DAMAGE. CONTRACTOR SHALL USE PVC SCHEDULE 80 UNDER PAVED OR SIDEWALK AREAS AND PVC SCHEDULE 40 IN DIRT OR LANDSCAPED AREAS.
5. SEE SHEETS C1-00 AND C2-00 FOR CONDUIT STUB UP LOCATIONS.
6. CONTRACTOR TO LOCATE JUNCTION BOX, LINE BOX (LB), OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

Panel Schedule													
Existing Panel 'LN' Location: Existing Back Electrical Room (2nd Floor) Volts: 208Y/120V Phase: 3 Wire: 4 Hertz: 60													
MLO Main AIC: NA Branch AIC: (See Note 3) ENCL. (NEMA): 1 MTG: Surface													
150 Amp Frame, Ground Bar, Locking Cover, Panel Card													
Description of Load Served	Breaker		Wire	A/Phase			A/Phase			Breaker		Description of Load Served	
	Amp	Pole		A	B	C	A	B	C	Amp	Pole		
LEFT SIDE DOCK LEVELER	20	1	EXIST	16.0			1	2	16.0		1	CANOPY LIGHTS	
RIGHT SIDE DOCK LEVELER	20	1	EXIST		16.0		3	4		16.0	1	CANOPY LIGHTS	
FILE ROOM A/C	30	2	EXIST			20.0	5	6		1.5	1	ROOFTOP RECEIPT	
SPARE	20	1					7	8			1	SPARE	
SPARE	20	1					9	10			1	SPARE	
SPARE	20	1					11	12			1	SPARE	
SPARE	20	1					13	14			1	SPARE	
SPARE	20	1					15	16			1	SPARE	
SPARE	20	1					17	18			2	SPARE	
SPARE	20	1					19	20			2	SPARE	
SPARE	20	1					21	22			2	SPARE	
SPARE	20	1					23	24			2	SPARE	
SPARE	20	1					25	26			2	SPARE	
SPARE	20	1					27	28			1	SPARE	
SPARE	20	1					29	30		48.0	2	CHARGING STATION EVCS 01	
SPARE	20	1					31	32	48.0		1	CHARGING STATION EVCS 01	
SPARE	20	1					33	34		5.0		SPARE	
SPARE	20	1					35	36				CHARGING STATION EVCS 02	
SPARE	20	1					37	38	5.0			CHARGING STATION EVCS 02	
SPARE	20	1					39	40		48.0		CHARGING STATION EVCS 02	
SPARE	20	1					41	42			2	CHARGING STATION EVCS 02	
Total A/Phase				36.0	16.0	20.0			69.0	69.0	97.5	Total A/Phase	

48A L2 Conductor Voltage Drop Table Per Charging Station										
<175FT	175FT-200FT	200FT-255FT	255FT-275FT	275FT-320FT	320FT-400FT	400FT-440FT	440FT-510FT	510FT-635FT	635FT-700FT	700FT-800FT
(2) #4 AWG + (2) #12 AWG + (1) #6 AWG GND	(2) #4 AWG + (2) #10 AWG + (1) #6 AWG GND	(2) #3 AWG + (2) #10 AWG + (1) #4 AWG GND	(2) #2 AWG + (2) #10 AWG + (1) #4 AWG GND	(2) #2 AWG + (2) #8 AWG + (1) #4 AWG GND	(2) #1 AWG + (2) #8 AWG + (1) #4 AWG GND	(2) #1/0 AWG + (2) #8 AWG + (1) #3 AWG GND	(2) #1/0 AWG + (2) #6 AWG + (1) #3 AWG GND	(2) #2/0 AWG + (2) #6 AWG + (1) #2 AWG GND	(2) #3/0 AWG + (2) #6 AWG + (1) #1 AWG GND	(2) #3/0 AWG + (2) #4 AWG + (1) #1 AWG GND

- VOLTAGE DROP TABLE NOTES
1. CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS WHEN 4 OR MORE CURRENT CARRYING CONDUCTORS ARE CARRIED IN THE SAME CONDUIT PER THE NEC.
 2. THE DISTANCES IN THIS TABLE ARE TOTAL DISTANCES, NOT HORIZONTAL DISTANCES. INCLUDE VERTICAL RUNS AND JUNCTION BOX COIL LENGTH IN THE TOTAL CONDUCTOR DISTANCE.
 3. WHEN MORE THAN ONE CHARGING STATION CIRCUIT CONDUCTORS ARE IN A CONDUIT, USE ONLY ONE SHARED EQUIPMENT GROUND CONDUCTOR.
 4. WHEN INSTALLING #4 AWG OR LARGER CONDUCTORS FROM THE POWER SOURCE TO EVCS, INCLUDE MULTICONDUCTOR TAPS IN THE CLOSEST JUNCTION BOX PRIOR TO ENTERING THE EVCS OR IN THE EVCS ITSELF SO THAT #6 AWG CONDUCTORS CAN BE TERMINATED IN THE EVCS.

Conduit Schedule				
Conduit Section	Conduit #	Conduit Size	Conductors	Installation Method
A	1	2"	(See Voltage Drop Table)	Surface Mount /
	2	1"	Future Communications w/ Pull String	Directional Bore
B	1	2"	(See Voltage Drop Table)	Directional Bore
	2	1"	Future Communications w/ Pull String	

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- NOTES:
1. CONTRACTOR TO VERIFY CIRCUITS MARKED AS SPARE ARE NOT IN USE. LOAD STUDY MAY BE NEEDED IF ADDITIONAL CIRCUITS ARE ON PANEL 'LN'.



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**670 N BROADWAY
WHITE PLAINS, NY 10603**

SHEET TITLE
**ELECTRICAL ONE
LINE DIAGRAM &
PANEL SCHEDULE**

SHEET NUMBER
E1-00

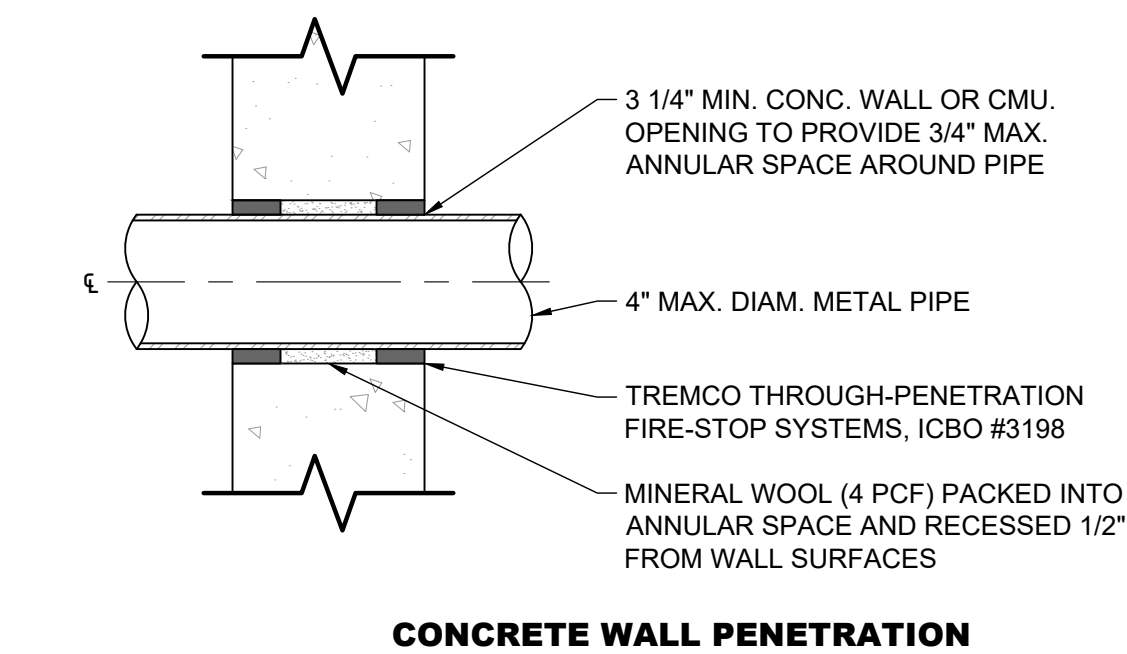
- NOTES:
1. A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART 110.3.
 2. ALL EXTERIOR EQUIPMENT SHALL BE RAIN TIGHT AND APPROVED FOR USE IN WET CONDITIONS.
 3. ALL CONDUCTORS SHALL BE PROVIDED WITH STRAIN RELIEF UPON ENTRY INTO ENCLOSURES.
 4. EACH UNGROUNDED CONDUCTOR SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5.
 5. ALL METALLIC COMPONENTS SHALL BE GROUNDED VIA EQUIPMENT GROUNDING CONDUCTORS.
 6. CHARGING UNITS ARE EQUIPPED WITH AN INTEGRATED CONTACTOR TO PREVENT BACK FEEDING OF POWER TO THE SOURCE.
 7. CONTRACTOR TO FIELD VERIFY MAIN FEED BREAKER SUPPORTING DISTRIBUTION PANEL IS APPROPRIATELY SIZED TO SUPPORT THE LOAD. CONTRACTOR SHALL CONTACT THE ENGINEERING TEAM IMMEDIATELY IF BREAKER IS FOUND TO BE INSUFFICIENT.

- ABBREVIATIONS:
- A AMPERE
 - AC ALTERNATING CURRENT
 - AL ALUMINUM
 - ART ARTICLE
 - AUX AUXILIARY
 - BLDG BUILDING STRUCTURE
 - CONC CONCRETE
 - CU COPPER
 - DC DIRECT CURRENT
 - EGC EQUIPMENT GROUNDING CONDUCTOR
 - (E) EXISTING
 - EMT ELECTRIC METALLIC TUBING
 - EV ELECTRIC VEHICLE
 - EVSE ELECTRIC VEHICLE SUPPLY EQUIPMENT
 - GALV GALVANIZED
 - GND GROUND
 - HDG HOT DIPPED GALVANIZED
 - I CURRENT
 - KVA KILOVOLT AMPERE
 - KW KILOWATT
 - M METER
 - MAX MAXIMUM
 - MIN MINIMUM
 - N NEUTRAL
 - NEC NATIONAL ELECTRIC CODE
 - NTS NOT TO SCALE
 - (N) NEW
 - OC ON CENTER
 - PL PROPERTY LINE
 - PVC POLYVINYL CHLORIDE
 - RMC RIGID METALLIC CONDUIT
 - SCH SCHEDULE
 - SS STAINLESS STEEL
 - TYP TYPICAL
 - V VOLT
 - W WATT
 - XFMR TRANSFORMER

- ELECTRICAL NOTES:
1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
 2. CONDUIT PATHS ARE REPRESENTATIVE ONLY. EXACT CONDUIT PLACEMENT TO BE DETERMINED ON SITE BASED ON FIELD CONDITIONS.
 3. PRIOR TO DRILLING, CONTRACTOR SHALL VERIFY THICKNESS OF EXISTING CONCRETE WALL IS AT LEAST 9" AND THAT 6" ANCHOR EMBEDMENT CAN BE PROVIDED.

ELECTRICAL NOTES & ABBREVIATIONS

1



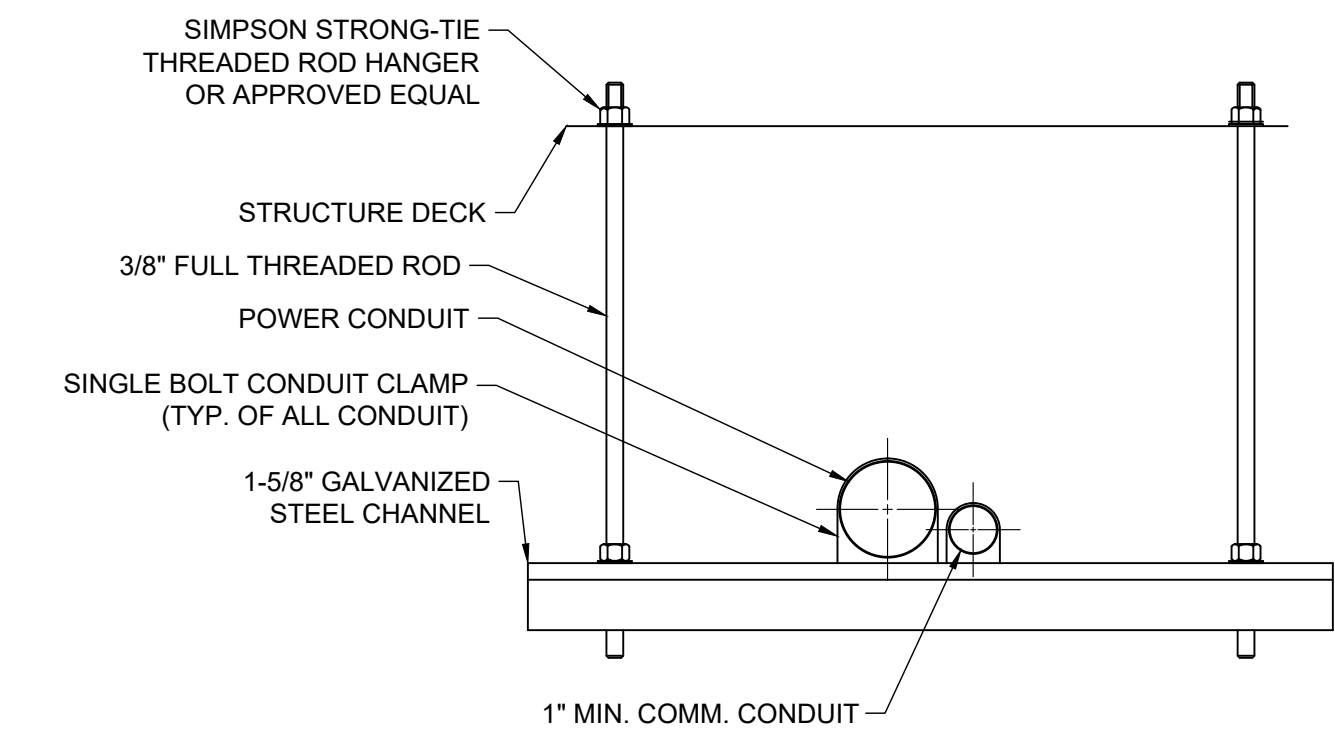
- NOTES:
1. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
 2. USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ECT.) TO LOCATED MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ADJUST LOCATION AS NECESSARY TO AVOID EXISTING REINFORCING.
 3. ALL PENETRATIONS MUST BE LOCATED A MINIMUM OF 18" AWAY FROM THE EDGE OF CONCRETE. CONTACT EOR IF VARIANCE IS REQUESTED.
 4. PENETRATIONS THROUGH WALLS AND FLOORS SHALL COMPLY WITH THE LOCAL AHJ LATEST BUILDING CODE CHAPTER 7 FIRE AND SMOKE PROTECTION FEATURES SECTIONS 709.6 AND 714.

PENETRATION DETAIL

8

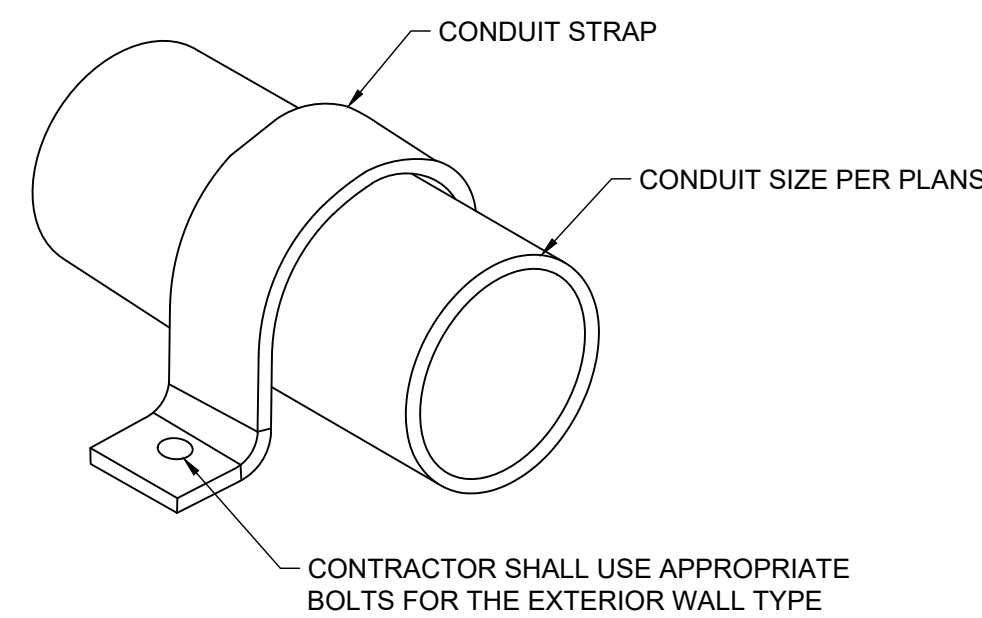
CEILING CONDUIT SUPPORT

SCALE N.T.S. 5



WALL CONDUIT MOUNT STRAP

SCALE N.T.S. 9

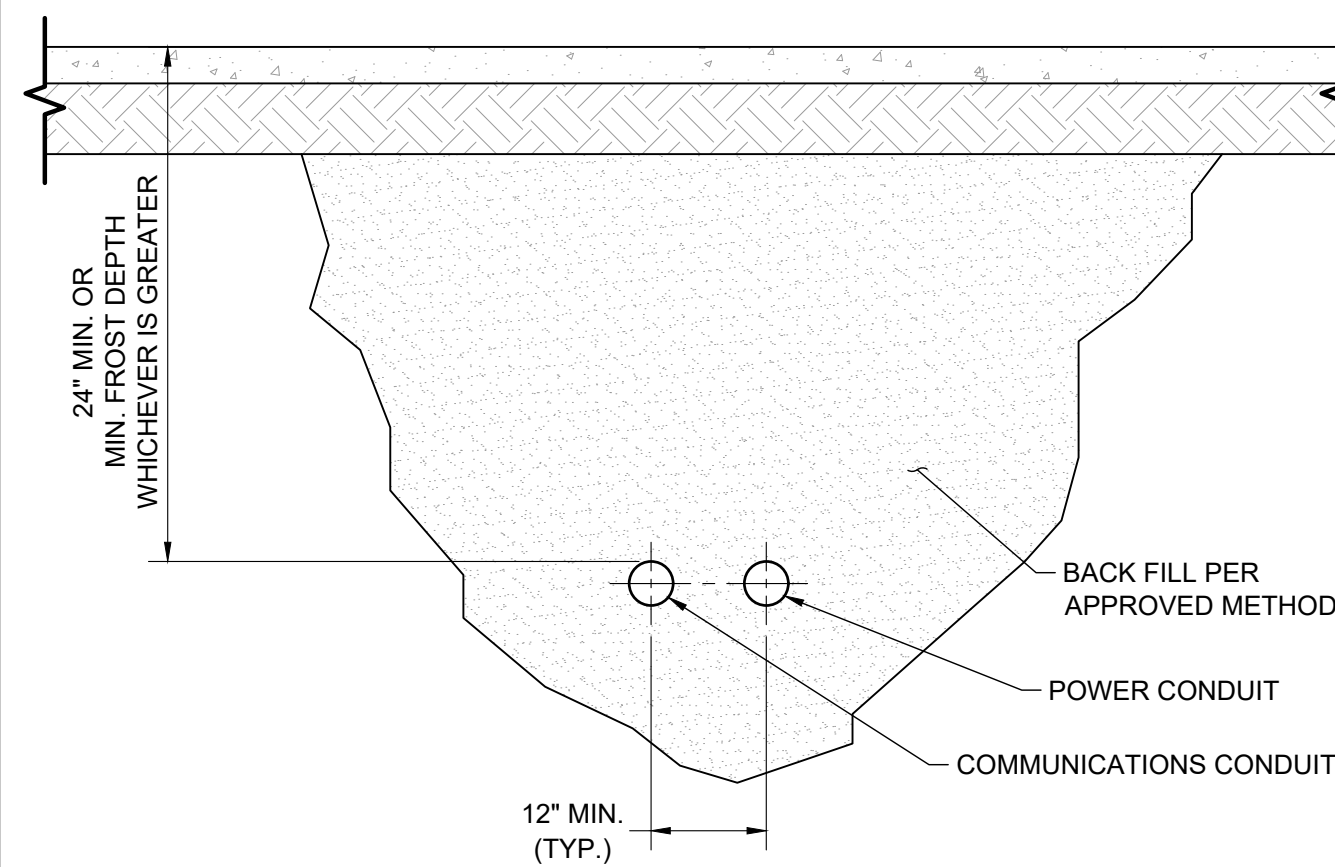


NOT USED

SCALE N.T.S. 6

BORE SECTION

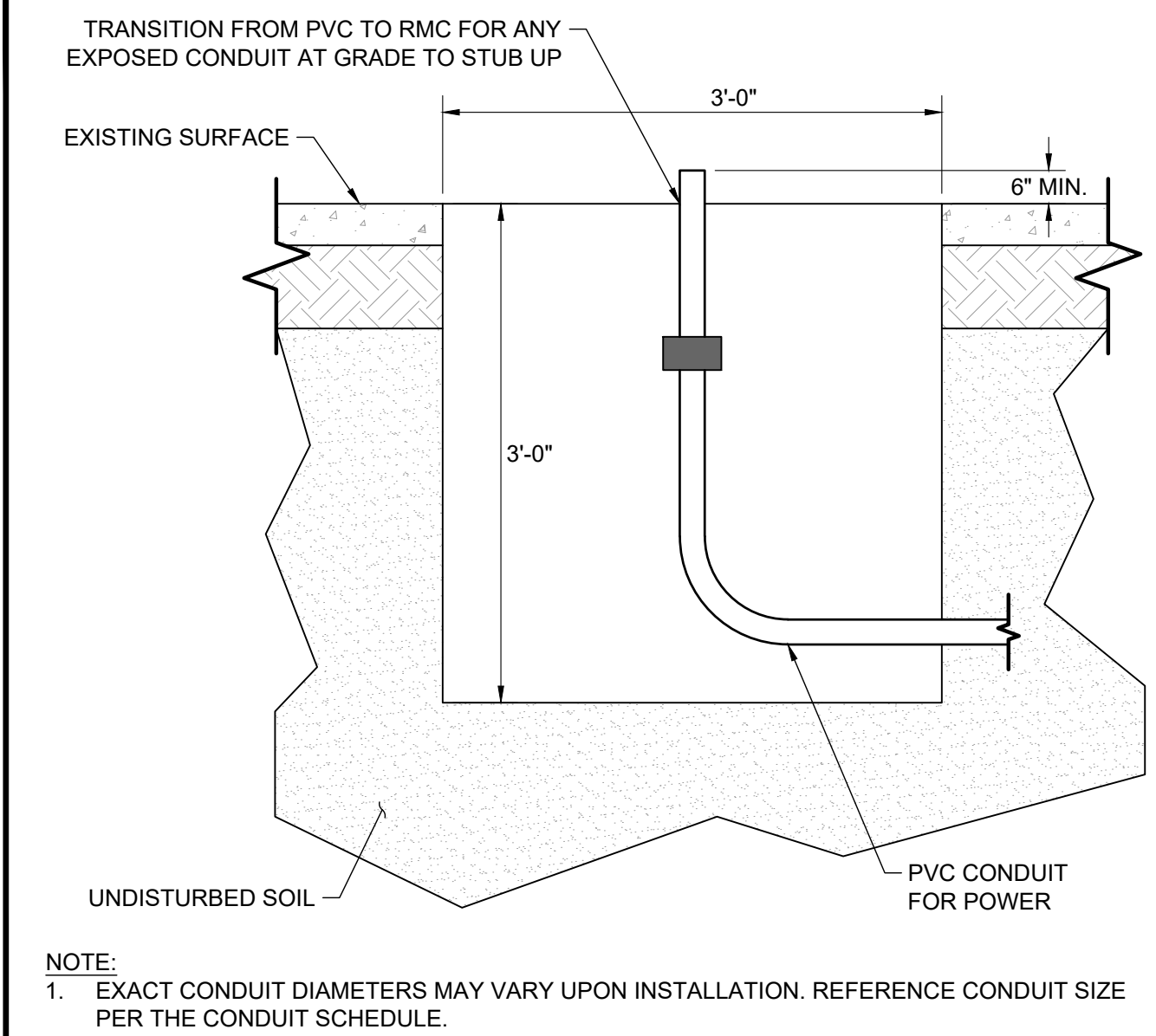
SCALE N.T.S. 3



- NOTE:
1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.
 2. REFER TO DETAIL 7 FOR BORE PIT DETAIL.

NOT USED

SCALE N.T.S. 4



- NOTE:
1. EXACT CONDUIT DIAMETERS MAY VARY UPON INSTALLATION. REFERENCE CONDUIT SIZE PER THE CONDUIT SCHEDULE.

BORE PIT

SCALE N.T.S. 7

volta

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

New York
© 2022 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.
1 N LEXINGTON AVENUE, SUITE 505
WHITE PLAINS, NY 10601
PHONE: (914) 368-9200
WWW.KIMLEY-HORN.COM

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SHEET TITLE
**ELECTRICAL
NOTES & DETAILS**

SHEET NUMBER
E2-00

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SCALE N.T.S. 10

NOT USED

SCALE N.T.S. 11