



Site Planning
 Civil Engineering
 Landscape Architecture
 Land Surveying
 Transportation Engineering

Environmental Studies
 Entitlements
 Construction Services
 3D Visualization
 Laser Scanning

April 25, 2022

Mr. Christopher Carthy, Chairman
 and Members of the Planning Board
 Town of North Castle
 17 Bedford Road
 Armonk, NY 10504

RE: JMC Project 22044
 Amended Site Plan
 4 New King Street
 Town of North Castle, New York

Dear Chairman Carthy and Members of the Planning Board:

On behalf of New King Street Associates, we are pleased to provide the following Amended Site Plan Application for the above referenced property. The applicant is seeking Amended Site Plan Approval to permit a gravel pad on the northern portion of the site, as referenced in a Building Department violation received on 12/17/2021. The gravel pad will be utilized by the applicant’s tenant for the storage of landscaping vehicles at the site address.

Accordingly, we are pleased to provide the following materials for your review:

I. JMC Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
C-000	“Cover Sheet”	04/25/2022
C-010	“Overall Existing Conditions Map”	04/25/2022
C-100	“Site Layout Plan”	04/25/2022
C-900	“Construction Details”	04/25/2022

2. Town of North Castle Application for Site Development Plan Approval, prepared by JMC, dated April 22, 2022.
3. New York State Department of Environmental Conservation Short Environmental Assessment Form, prepared by JMC, dated April 25, 2022.
4. New King Street Associates Check # 006029 for the Site Development Application Fee for the amount of \$200.00, dated April 22, 2022.
5. New King Street Associates Check # 006030 for the Short Environmental Assessment Form Fee for the amount of \$50.00, dated April 22, 2022.

6. New King Street Associates Check # 006031 for the Town Planning Board Escrow Deposit for the amount of \$3,000.00, dated April 22, 2022.

We trust that this information is sufficient for your review of this Application and look forward to discussing this matter with you at the next available Planning Board meeting. If you have any questions or require additional information with regard to the information provided above, please do not hesitate to contact our office at 914-273-5225. Thank you for your consideration.

Sincerely,

JMC Planning Engineering Landscape Architecture & Land Surveying, PLLC

Paul J. Dumont

Paul J. Dumont, PE
Design Manager

CC: Mr. Mitch Benerofe, New King Street Associates
Ms. Karen Gomez, New King Street Associates
Dennis S. Noskin, AIA, NCARB, LEED AP (BD+C), H2M Architects + Engineers

p:\2022\22044\admin\ltkafman_2022-04-25 (002).docx

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

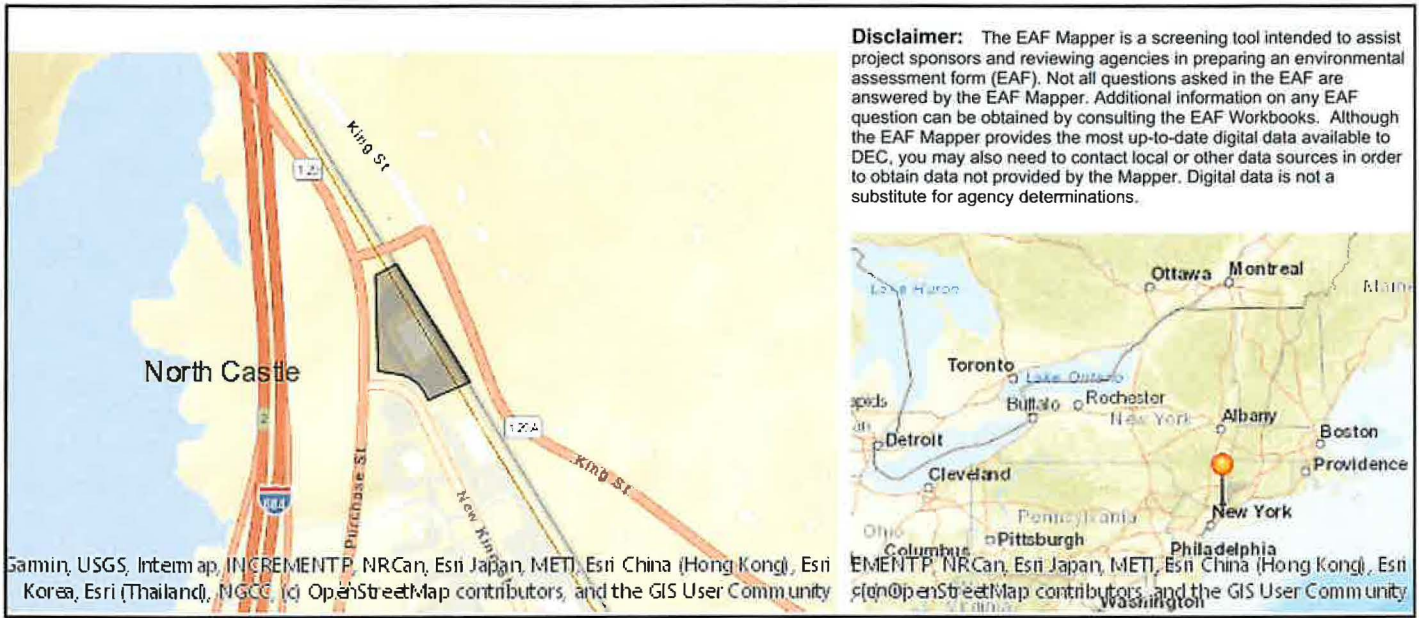
Part 1 – Project and Sponsor Information			
Name of Action or Project: Site Plan Amendment for 4 New King Street			
Project Location (describe, and attach a location map): 4 New King Street, Armonk, NY 10504 (SBL: 118.02-2-1)			
Brief Description of Proposed Action: Proposed amendments to the approved site plan. This project proposes a gravel pad to store landscaping equipment.			
Name of Applicant or Sponsor: New King Street Associates		Telephone: E-Mail: mib@benerofes.com	
Address: 10 New King Street, Suite 209			
City/PO: Armonk	State: NY	Zip Code: 10504	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 2.74 acres			
b. Total acreage to be physically disturbed? _____ 0.13 acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 9.78 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name: Airport 60 Ldn Noise Contour, Reason: Exceptional or unique character, Agency: Westchester County, If Yes, identify: <u>Date: 1-31-90</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: <u>The proposed action meets the state energy code.</u>	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ The State regulated wetlands mapper shows that the closest regulated wetland is associated with a portion of the Kensico Reservoir. _____ <u>The project site and adjacent properties do not contain any regulated wetlands.</u>			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Bald Eagle	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
There is no site code in the NYS DEC Environmental Site Remediation Database.		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Thomas D'Agostino</u> Date: <u>April 25, 2022</u>		
Signature: <u><i>Thomas D'Agostino</i></u> Title: <u>Site Planner</u>		



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Airport 60 Ldn Noise Contour, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



**TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898**

**PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning**

**Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com**

Application for Site Development Plan Approval

Application Name

New King Street Associates - Amended Site Plan



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fees



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

4-22-22

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: New King Street Associates - Mr. Mitch Benerofe
Mailing Address: 10 New King Street, Suite 209, West Harrison, NY 10604
Telephone: 914-681-5100 Fax: 914-250-2119 e-mail mib@benerofes.com

Name of Applicant (if different): SAME AS PROPERTY OWNER
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
JMC Planning, Engineering, Landscape Architecture, & Land Surveying, PLLC - Diego Villareale, PE
Address: 120 Bedford Road, Armonk, NY 10504
Telephone: (914) 273-5225 Fax: (914) 273-2102 e-mail dvillareale@jmcpllc.com

Name of Other Professional: _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____



Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 4-22-22
Signature of Property Owner:  Date: 4-22-22

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 4 New King Street

Location (in relation to nearest intersecting street):

Zero feet (north, south, east or west) of Northeast

Abutting Street(s): King Street (RTE 120)

Tax Map Designation (NEW): Section 118.02 Block 2 Lot 1

Tax Map Designation (OLD): Section 103.05 Block 5 Lot A
IND-AA (Industrial)

Zoning District: AA District Total Land Area 2.74 Acres

Land Area in North Castle Only (if different) 2.33 Acres (0.41 acres in Greenwich, CT)

Fire District(s) Armonk School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) X Yes (within 500 feet) X

If yes, please identify name(s): Greenwich, CT

The boundary of any existing or proposed County or State park or any other recreation area?

No X Yes (adjacent) Yes (within 500 feet)

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) X Yes (within 500 feet) X

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No X Yes (adjacent) Yes (within 500 feet)

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No X Yes (adjacent) Yes (within 500 feet)

The boundary of a farm operation located in an agricultural district?

No X Yes (adjacent) Yes (within 500 feet)

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes X (The Applicant owns the continuous property in the Town of Greenwich, CT)

If yes, please identify the tax map designation of that property:

Section 118.02 Block 2 Lot 1

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Proposed gravel pad to store landscaping equipment.

Gross Floor Area: Existing _____ S.F. Proposed _____ S.F.

Proposed Floor Area Breakdown:

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential _____ S.F.;

Number of Dwelling Units: _____

Number of Parking Spaces: Existing _____ Required _____ Proposed To Remain Unchanged

Number of Loading Spaces: Existing _____ Required _____ Proposed To Remain Unchanged

Earthwork Balance: Cut 0 C.Y. Fill 0 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No X Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- _____ Name of the application or other identifying title.
- _____ Name and address of the Property Owner and the Applicant, (if different).
- _____ Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- _____ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- _____ Existing zoning, fire, school, special district and municipal boundaries.
- _____ Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- _____ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- _____ Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- _____ Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- _____ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- _____ A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- _____ Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- _____ Location of existing parking and truck loading areas, with access and egress drives thereto.
- _____ Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- _____ Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- _____ Location, size and design of existing signs.
- _____ Location, type, direction, power and time of use of existing outdoor lighting.
- _____ Location of existing outdoor storage, if any.
- _____ Existing topographical contours with a vertical interval of two (2) feet or less.
- _____ Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- _____ Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- _____ Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- _____ Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- _____ Proposed sight distance at all points of vehicular access.
- _____ Proposed number of employees for which buildings are designed
- _____ Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- _____ Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- _____ Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- _____ Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- _____ Location, size and design of all proposed signs.
- _____ Location, type, direction, power and time of use of proposed outdoor lighting.
- _____ Location and design of proposed outdoor garbage enclosure.
- _____ Location of proposed outdoor storage, if any.
- _____ Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- _____ Type of power to be used for any manufacturing
- _____ Type of wastes or by-products to be produced and disposal method
- _____ In multi-family districts, floor plans, elevations and cross sections
- _____ The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- _____ Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- _____ Proposed soil erosion and sedimentation control measures.
- _____ For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- _____ For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- _____ For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

(4)

CHECK DATE: 04/22/2022

CHECK NO.: 006029

TOWNO

Invoice No.	Inv. Date	Inv. Amount	Disc. Amt	Description	Vchr	Net Amount
	04/22/2022	200.00	0.00	town of no castle site plan application	34819	200.00
TOTAL		200.00	0.00			200.00

Form #40

DO NOT ACCEPT THIS CHECK UNLESS YOU CAN SEE A TRUE WATERMARK THAT APPEARS IN DIAMOND WEAVE PATTERN WHEN HELD TO THE LIGHT. VERIFY AUTHENTICITY BY RUBBING RED "LS" LOGO BELOW.

(4) TOWNO

New King Street Associates
10 New King Street Suite 209
White Plains, NY 10604

Valley National Bank
Wayne, New Jersey

021201383
55-138/212

DATE: 04/22/2022 CHECK NO.: 006029 AMOUNT: \$200.00*

Two Hundred and no/100 DOLLARS ***

PAY TO THE ORDER OF

Town of North Castle
15 Bedford Road
Armonk, NY 10504



MEMO site plan application

Void After 90 Days

⑈006029⑈ ⑆021201383⑆ 032003139⑈

LaserSecure™ Fraud-Resistant Laser Checks

New King Street Associates
10 New King Street Suite 209
White Plains, NY 10604

Valley National Bank
Wayne, New Jersey

021201383
55-138/212

Date: 04/22/2022 Check No.: 006030 Amount: \$50.00*

Fifty and no/100 DOLLARS ***

PAY
TO THE
ORDER OF

Town of North Castle
15 Bedford Road
Armonk, NY 10504



MEMO short env asmt form fee

Void After 90 Days

⑈006030⑈ ⑆021201383⑆ 032003139⑈

Invoice No.	Inv. Date	Inv. Amount	Disc. Amt	Description	Vchr	Net Amount
(4)	04/22/2022	50.00	0.00	town of no castle short env assessment for fee	34820	50.00

CHECK DATE: 04/22/2022 CHECK NO.: 006030 TOWNO

TOTAL 50.00 0.00 50.00

Laser Secure™ Fraud-Resistant Laser Checks

Valley National Bank
Wayne, New Jersey

021201383
55-138/212

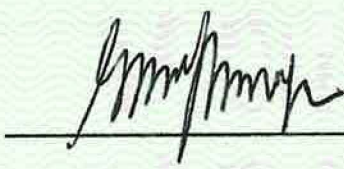
New King Street Associates
10 New King Street Suite 209
White Plains, NY 10604

Date: 04/22/2022 Check No.: 006031 Amount: \$3,000.00*

Three Thousand and no/100 DOLLARS ***

PAY
TO THE
ORDER OF

Town of North Castle
15 Bedford Road
Armonk, NY 10504




Void After 90 Days

⑈006031⑈ ⑆021201383⑆ 032003139⑈

Invoice No.	Inv. Date	Inv. Amount	Disc. Amt	Description	Vchr	Net Amount
(4)	04/22/2022	3,000.00	0.00	town of n castle planning board escrow deposit	34821	3,000.00

CHECK DATE: 04/22/2022 CHECK NO.: 006031 TOWNO

TOTAL 3,000.00 0.00 3,000.00

LaserSecure™ Fraud-Resistant Laser Checks

SITE PLAN APPROVAL DRAWINGS

AMENDED SITE PLAN

TAX MAP SECTION 118.02 | BLOCK 2 | LOT 1

WESTCHESTER COUNTY

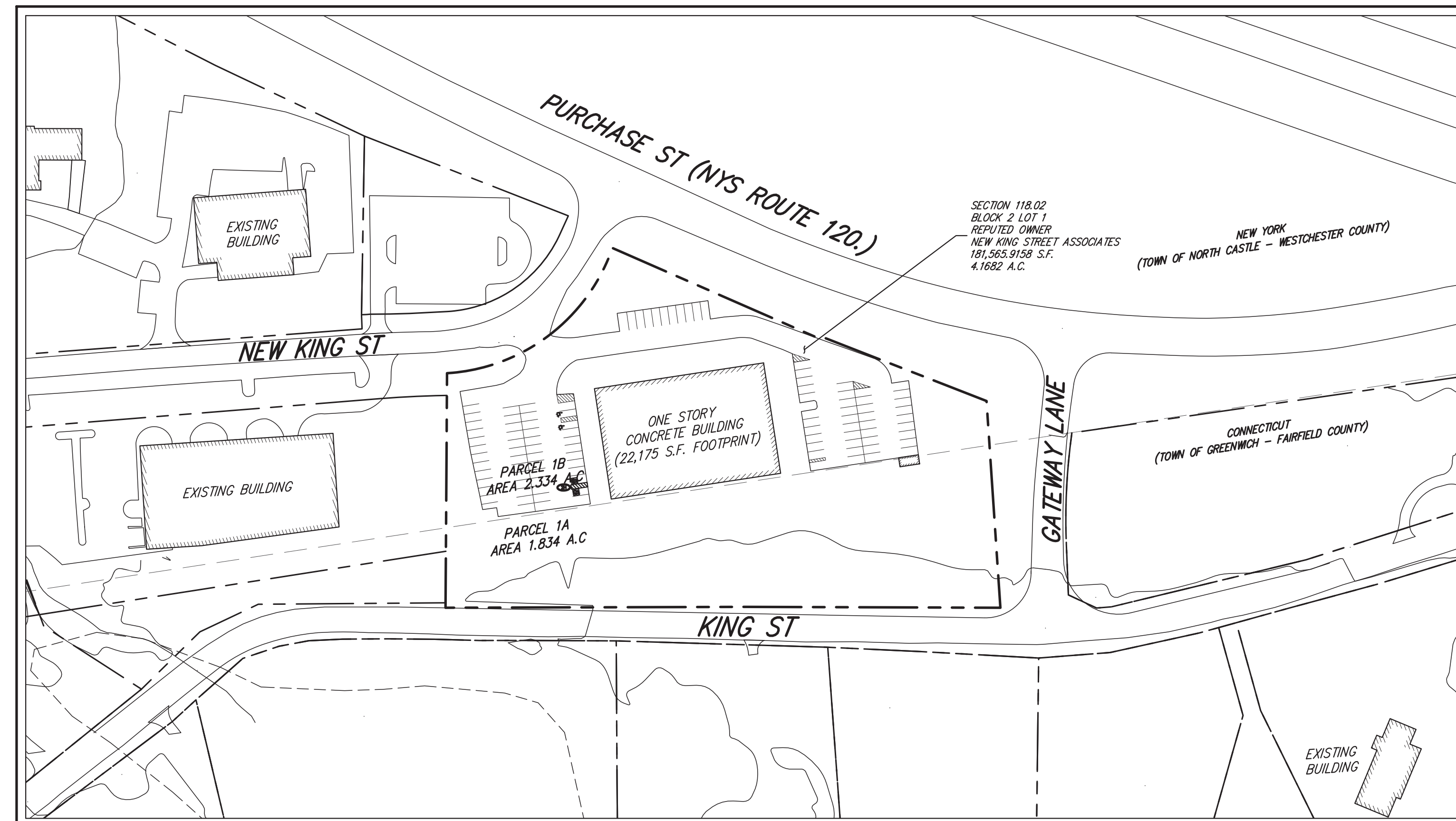
4 NEW KING STREET

TOWN OF NORTH CASTLE, NY

Applicant/Owner:
NEW KING STREET ASSOCIATES
 10 NEW KING STREET, SUITE 209
 WHITE PLAINS, NY 10604

Surveyor:
THE RALPH L. MACDONALD CO. ENGINEERS AND
LAND SURVEYING P.C.
 81 BUSINESS PARK DRIVE
 ARMONK, NEW YORK 10504
 (914) 273-4094

JMC Site Civil Engineer:
 120 BEDFORD ROAD
 ARMONK, NY 10504
 (914) 273-5225



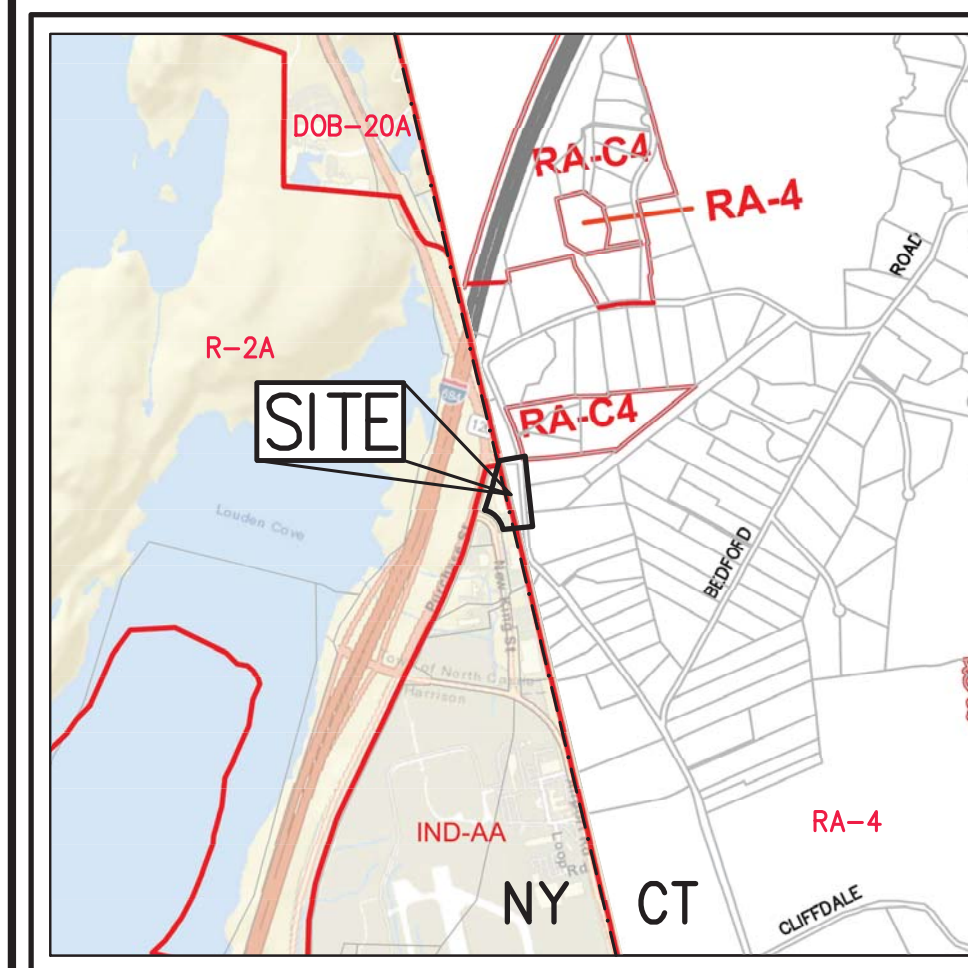
JMC Drawing List:

- C-000 COVER SHEET
- C-010 OVERALL SITE EXISTING CONDITIONS MAP
- C-100 SITE LAYOUT PLAN
- C-900 CONSTRUCTION DETAILS

TABLE OF LAND USE – TOWN OF NORTH CASTLE

SECTION 118.02, BLOCK 2, LOT 1 ZONE IND-AA – INDUSTRIAL AA				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	
MINIMUM LOT AREA (SQUARE FEET/ACRE)	87,120/2	181,566/4.17		UNCHANGED
MINIMUM LOT FRONTAGE (FEET)	200	442.8±		UNCHANGED
MINIMUM LOT DEPTH (FEET)	200	227.1±		UNCHANGED
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	2/30	1/TBD		UNCHANGED
FLOOR AREA RATIO	0.30	0.13		UNCHANGED
MAXIMUM LOT COVERAGE BY BUILDING (PERCENT)	30	0.13		UNCHANGED
YARDS				
FRONT BUILDING SETBACK (FEET)	50	48.9±		UNCHANGED
REAR BUILDING SETBACK (FEET)	50	3.9±		UNCHANGED
SIDE BUILDING SETBACK (FEET)	50	161.6±		UNCHANGED
PARKING SUMMARY				
TOTAL SPACES PROVIDED (SPACES)	89	89		UNCHANGED
STANDARD SPACES PROVIDED (SPACES)	85	85		UNCHANGED
HANDICAP SPACES PROVIDED (SPACES)	4	4		UNCHANGED

- NOTES:**
- PER THE TOWN OF NORTH CASTLE ZONING CODE SECTION 355-56 (D), A PARKING SPACE SHALL BE AT LEAST NINE FEET WIDE AND 18 FEET LONG AND AT LEAST 10 FEET WIDE AND 20 FEET LONG IF BORDERED BY WALLS OR COLUMNS ON ANY TWO OR MORE SIDES. WHERE PARKING SPACES ARE DEFINED BY CURBS PROVIDING SPACE FOR OVERHANG OF VEHICLES, SUCH SPACES MAY BE REDUCED IN DEPTH TO 16 FEET, PROVIDED THAT VEHICLES WILL NOT OVERHANG SIDEWALKS OR OTHER PEDESTRIAN AREAS.
 - TOTAL PARKING SPACES REQUIRED:**
 PROFESSIONAL OR BUSINESS OFFICES OR STUDIOS: 1 FOR EACH 250 SQUARE FEET OF GROSS FLOOR AREA
 - ONE-STORY BUILDING: ±22,175 GSF / 250 = 88.7 SPACES -> 89 SPACES



ZONING / VICINITY MAP
 SCALE: 1" = 1,650'
 SOURCE: TOWN OF NORTH CASTLE ZONING MAP 2019; TOWN OF GREENWICH BUILDING ZONE REGULATIONS MAP 2002

LEGEND	
---	SITE PROPERTY LINE
---	ZONING BOUNDARY
---	STATE/TOWN BOUNDARY
---	DESIGNED OFFICE BUSINESS DISTRICT – 20A
---	ONE-FAMILY RESIDENCE DISTRICT (2 ACRES)
---	IND-AA INDUSTRIAL AA DISTRICT
---	SINGLE FAMILY: 4 AC MIN. LOT AREA
---	4-ACRE RESIDENTIAL CONSERVATION ZONE

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED INCLUDING ARRANGING FOR A PRIVATE MARKOUT ON-SITE WHERE APPLICABLE. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

AREA MAP
 SCALE: 1" = 100'

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

STATE OF NEW YORK
 DIEGO A. VILLARETE
 LICENSED PROFESSIONAL ENGINEER

NOT FOR CONSTRUCTION

No.	Revision	Date	By

Previous Editions Obsolete

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD • ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
www.jmcpllc.com

Drawn: CDF Approved: DV
 Scale: NOT TO SCALE
 Date: 04/25/2022
 Project No: 22044
 2204-05-04E COVER COVER.sxd
 Drawing No:
C-000

NOT FOR CONSTRUCTION

Copyright © 2022 by JMC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of JMC. JMC is a registered professional engineering and landscape architecture firm. JMC is a registered professional engineering and landscape architecture firm. JMC is a registered professional engineering and landscape architecture firm. JMC is a registered professional engineering and landscape architecture firm.



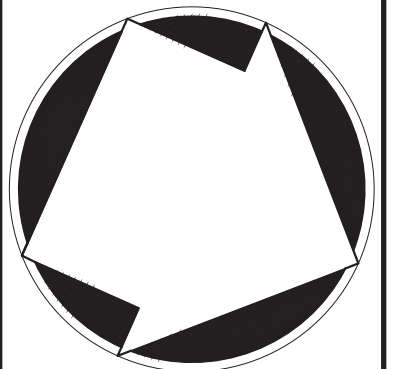
PARKING SCHEDULE		
USE		REQUIRED
PROFESSIONAL OR BUSINESS OFFICES OR STUDIOS	(1 SPACE PER 250 S.F.)	22,175 S.F./89 SPACES
TOTAL PARKING SPACES		89

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	ADJACENT PROPERTY LINE (CONNECTICUT)
	STATE/TOWN BOUNDARY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE

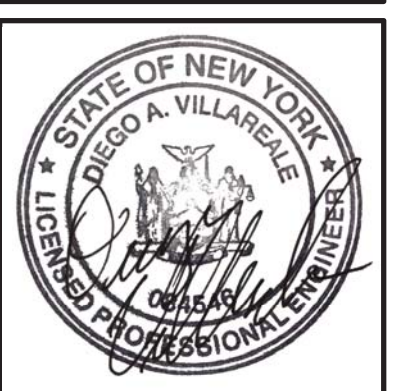
NOTES:
 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM GIS INFORMATION. THE EXISTING METES AND BOUNDS FOR THE PROPERTY HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY," PREPARED BY THE RALPH L. MACDONALD CO. ENGINEERS AND LAND SURVEYING P.C., DATED SEPTEMBER 16, 1989. THE RESULTING PROPERTY LINE HAS BEEN APPROXIMATELY SITUATED USING THE AERIAL IMAGERY OF THE EXISTING BUILDING.

APPLICANT/TOWNER:
NEW KING STREET ASSOCIATES
 10 NEW KING STREET, SUITE 209
 WHITE PLAINS, NY 10604

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcplc.com



OVERALL EXISTING CONDITIONS MAP
 AMENDED SITE PLAN
 4 NEW KING STREET
 TOWN OF NORTH CASTLE, NY



No.	Revision	Date	By

Drawn: CDF Approved: DV
 Scale: 1" = 30'
 Date: 04/25/2022
 Project No: 22044
 2204-05-BASE EXIST EXIST.scr
 Drawing No: **C-010**
Previous Editions Obsolete

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

NOT FOR CONSTRUCTION

COPYRIGHT © 2022 BY JMC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of JMC. JMC is a registered trademark of JMC. JMC is a registered trademark of JMC. Any modification or alteration to this document without the written permission of JMC is strictly prohibited.



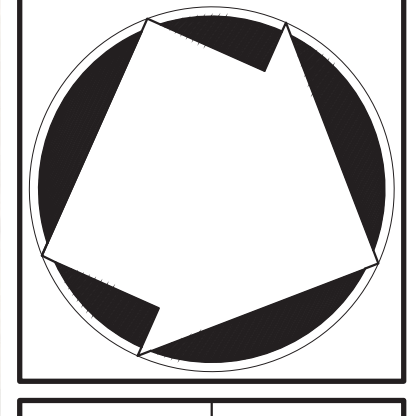
LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	ADJACENT PROPERTY LINE (CONNECTICUT)
	STATE/TOWN BOUNDARY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	GRAVEL PAD

NOTES:

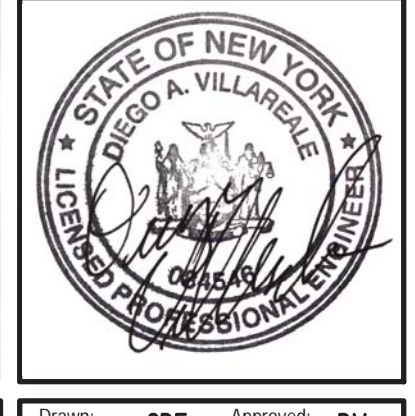
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM GIS INFORMATION. THE EXISTING METES AND BOUNDS FOR THE PROPERTY HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY," PREPARED BY THE RALPH L. MACDONALD CO. ENGINEERS AND LAND SURVEYING P.C., DATED SEPTEMBER 16, 1969. THE RESULTING PROPERTY LINE HAS BEEN APPROXIMATELY SITUATED USING THE AERIAL IMAGERY OF THE EXISTING BUILDING.

APPLICANT/TOWNER:
NEW KING STREET ASSOCIATES
 10 NEW KING STREET, SUITE 209
 WHITE PLAINS, NY 10604

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcplic.com



SITE LAYOUT PLAN
AMENDED SITE PLAN
 4 NEW KING STREET
 TOWN OF NORTH CASTLE, NY



No.	Revision	Date	By

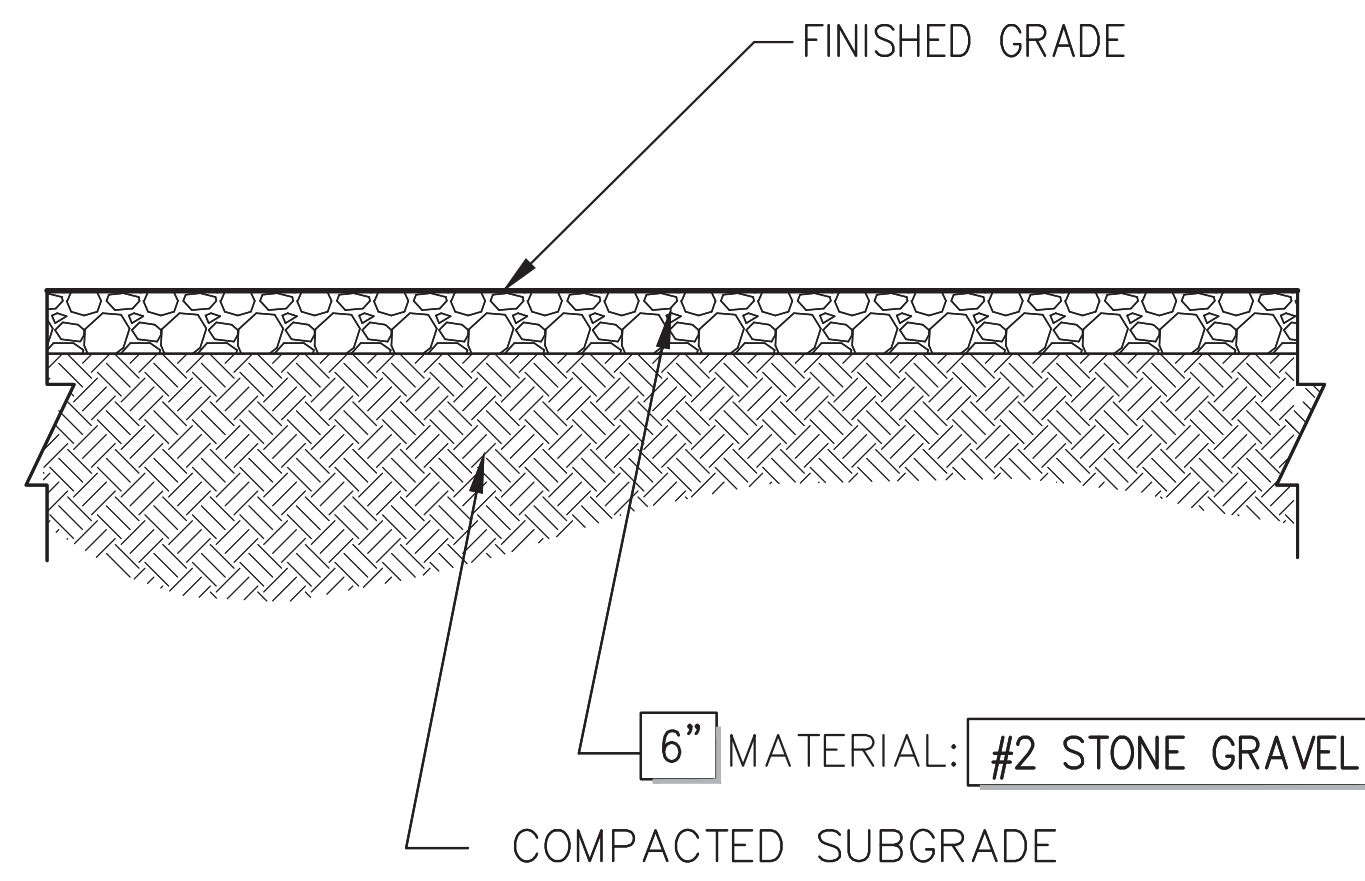
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: CDF Approved: DV
 Scale: 1" = 10'
 Date: 04/25/2022
 Project No: 22044
 2204-05-BASE LAY -
 Drawing No: **C-100**

Previous Editions Obsolete

NOT FOR CONSTRUCTION

COPYRIGHT © 2011 BY JMC. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written permission of JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC. ANY SITE DEVELOPMENT CONSULTING, INC. ANY MODIFICATION OR ALTERATION TO THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF JMC PLANNING, ENGINEERING, LANDSCAPE ARCHITECTURE & LAND SURVEYING, PLLC IS STRICTLY PROHIBITED.



GRAVEL PAD	1		X		X	X
	X		X		X	X

No.	Revision	Date

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
 JMC Site Development Consultants, LLC
 John Meyer Consulting, Inc.
 120 BEDFORD ROAD - ARMONK, NY 10504
 voice 914.273.5225 • fax 914.273.2102
 www.jmcpllc.com

CONSTRUCTION DETAILS
 AMENDED SITE PLAN
 4 NEW KING STREET
 TOWN OF NORTH CASTLE, NY

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



Drawn: GDF Approved: DV
 Scale: NOT TO SCALE
 Date: 04/25/2022
 Project No: 22044
 2204-REIMS C-900 -
 Drawing No: C-900

Previous Editions Obsolete