



dean pushlar ASLA, PLA
licensed landscape architect

Transmittal

Date: August 3, 2022

To: Town of North Castle Planning Board
17 Bedford Road, Armonk, NY

Re: Petrenko – 33 Woodland Road, Bedford, NY

QUANT	DWG. NO.	DATE	DESCRIPTION
1			Planning Board Site Development Application
1			authorization form
1			RPRC determination letter
1			gross floor area worksheet
1			FEMA map
1	L-1.0	8-3-22	Overall Site Plan
1	L-2.0	8-3-22	Layout Grading Plan
1	L-3.0	8-3-22	Site Details and Sections
1	L-4.0	8-3-22	Planting Plan
1	1 of 3	8-3-22	Existing Conditions – Holt Engineering
1	2 of 3	8-3-22	Overall Site Plan –Holt Engineering
1	3 of 3	8-3-22	Site Details.

Notes:

Please find the attached drawings for your use per referral from the RPRC. The proposed pool location will require a tree removal permit, wetlands permit from the conservation board and a variance for a pool in a front yard.

Please let me know if you need any additional information.

Best Regards,

Dean Pushlar, ASLA, PLA



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

PETRENKO - 33 WOODLAND ROAD



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
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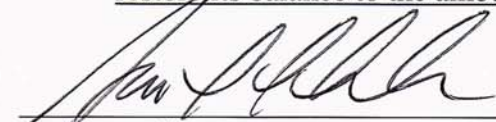
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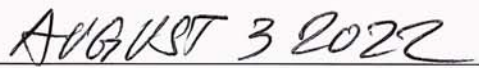
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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.


Applicant Signature


Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Igor Petrenko

Mailing Address: 33 Woodland Road, Bedford, NY 10506

Telephone: 347-668-8785 Fax: _____ e-mail garypetrenko@gmail.com

Name of Applicant (if different): Dean Pushlar Landscape Architect

Address of Applicant: 13 Kimberly Drive, Brookfield, CT 06804

Telephone: 203-733-8516 Fax: _____ e-mail dpushlar@charter.net

Interest of Applicant, if other than Property Owner:
Landscape Architect

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
Dean Pushlar

Address: 13 Kimberly Drive, Brookfield, CT 06804

Telephone: 203-733-8516 Fax: _____ e-mail dpushlar@charter.net

Name of Other Professional: Nathaniel J. Holt Consulting Engineers (Dan Holt)

Address: 592 Route 22, Pawling, NY 12564

Telephone: 914-760-1800 Fax: 772-204-9553 e-mail dan@holtengineering.net

Name of Attorney (if any): _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: AUG 3, 2022

Signature of Property Owner:  Date: 8/3/22

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 33 Woodland Road

Location (in relation to nearest intersecting street):

2000 feet (north, south, east or west) of Cedar Hill Road

Abutting Street(s): NA

Tax Map Designation (NEW): Section _____ Block _____ Lot _____

Tax Map Designation (OLD): Section _____ Block _____ Lot _____

Zoning District: R-2A Total Land Area 2.169 acres

Land Area in North Castle Only (if different) _____

Fire District(s) Bedford School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?
No X Yes (adjacent) _____ Yes (within 500 feet) _____
If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?
No X Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: No change - Residential

Gross Floor Area: Existing NA S.F. Proposed no change S.F.

Proposed Floor Area Breakdown:

Retail x S.F.; Office x S.F.;

Industrial x S.F.; Institutional x S.F.;

Other Nonresidential x S.F.; Residential _____ S.F.;

Number of Dwelling Units: _____

Number of Parking Spaces: Existing NA Required no change Proposed no change

Number of Loading Spaces: Existing NA Required NA Proposed NA

Earthwork Balance: Cut 121 C.Y. Fill 153 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No _____ Yes X

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____ (state wetland 300' south of property)

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- ~~NA~~ Location of existing parking and truck loading areas, with access and egress drives thereto.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- ~~NA~~ Location, size and design of existing signs.
- ~~NA~~ Location, type, direction, power and time of use of existing outdoor lighting.
- ~~NA~~ Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- ~~NA~~ Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- ~~NA~~ Proposed sight distance at all points of vehicular access.
- ~~NA~~ Proposed number of employees for which buildings are designed
- ~~NA~~ Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- ~~NA~~ Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- ~~NA~~ Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

✓ Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.

NA Location, size and design of all proposed signs.

NA Location, type, direction, power and time of use of proposed outdoor lighting.

NA Location and design of proposed outdoor garbage enclosure.

NA Location of proposed outdoor storage, if any.

✓ Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.

NA Type of power to be used for any manufacturing

NA Type of wastes or by-products to be produced and disposal method

NA In multi-family districts, floor plans, elevations and cross sections

✓ The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.

✓ Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.

✓ Proposed soil erosion and sedimentation control measures.

NA For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.

_____ For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.

_____ For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

Short Environmental Assessment Form

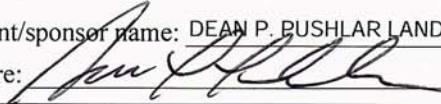
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information				
Name of Action or Project: PETRENKO - 33 WOODLAND ROAD, BEDFORD, NY				
Project Location (describe, and attach a location map): 33 WOODLAND ROAD, BEDFORD, NY 2000 FEET SOUTH OF CEDAR HILL ROAD				
Brief Description of Proposed Action: CONSTRUCTION OF A SWIMMING POOL, RETAINING WALLS, PATIO, STEPS AND RELATED ITEMS WITHIN A BUFFER OF A REGULATED INLAND WETLAND.				
Name of Applicant or Sponsor: DEAN PUSHLAR LANDSCAPE ARCHITECT - APPLICANT		Telephone: 203-733-8516		
		E-Mail: DPUSHLAR@CHARTER.NET		
Address: 13 KIMBERLY DRIVE				
City/PO: BROOKFIELD,=		State: CT	Zip Code: 06804	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO	YES
			<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 2.169 acres		
b. Total acreage to be physically disturbed?		_____ .1 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 2.169 acres		
4. Check all land uses that occur on, adjoining and near the proposed action.				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____				
<input type="checkbox"/> Parkland				

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ INSTALLATION OF INFILTRATION SYSTEM ON-SITE TO MITIGATE STORMWATER _____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: DEAN P. PUSHLAR LANDSCAPE ARCHITECT _____ Date: AUGUST 3, 2022 _____</p> <p>Signature:  _____</p>		

Igor Petrenko
33 Woodland Road
Bedford, NY 10506

August 3, 2022

Town of North Castle
Planning Department
17 Bedford Road
Armonk, NY 10504

RE: 33 Woodland Road, Bedford, NY

To whom it may concern,

Please accept this letter as notification that my Landscape Architect, Dean P. Pushlar, ASLA, is my authorized agent with regard to applications to the Planning Department, Conservation board and the Zoning Board of appeals for a proposed swimming pool and related work on the above referenced property.

Please let me know if you need an additional information.

Sincerely,

Igor Petrenko

A handwritten signature in black ink, appearing to be 'Igor Petrenko', written over the printed name.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-8625
Fax: (914) 273-3554
www.northcastleny.com

RPRC DETERMINATION LETTER

Project Description: Pool

Street Location: 33 WOODLAND RD

Zoning District: R-2A Tax ID: 95.04-1-3 Application No.: 2022-0269

RPRC DECISION: RPRC - Requires Planning Board

Date: 04/20/2022

The above referenced application was reviewed by the Residential Project Review Committee (RPRC).

The Committee determined that Planning Board approval of the proposed project is **REQUIRED**.

In addition, the following issues will need to be addressed with the Planning Board:

- It is noted that the pool is located in the front yard (between front lot line and house). Pursuant to Section 355-15.L of the Town Code, swimming pools, if located in the front yard shall be set back at least three times the distance required for a principal building. The proposed pool is approximately 390 feet from the front yard and meets the setback requirement. However, Section 355-15.L also requires that a lot be three times the minimum lot size for a pool to be located in the front yard. This lot does not meet the minimum 6 acre lot size requirement for a pool to be located in the front yard. The Applicant will need to obtain a variance from the Zoning Board of Appeals
- The site plan depicts 2,564 square feet of Town-regulated wetland buffer disturbance and includes a proposed mitigation plan that is 5,600 square feet in size.
- It is recommended that the site plan depict a physical demarcation between naturalized areas and maintained lawn area.
- Pool setbacks should be measured from the edge of the proposed retaining walls to the rear property line.. The pool complex must meet the minimum required 30 foot side yard setback.
- The engineering plans should be revised to reference the correct site address of 33 Woodland Road.
- The application proposes disturbances within the locally-regulated buffer. An extensive Wetland Mitigation Plan has been submitted. The Town Engineer will review the wetland delineation and mitigation plan. Mitigation should equal at least twice the wetland buffer disturbance area.

- The engineering plans and landscape plans should be coordinated with regard to the disturbance limits and silt fence locations.
- The applicant shall perform deep and percolation soil testing in the vicinity of the proposed mitigation system to be witnessed by the Town Engineer. The test locations and results shall be shown on the plan. Contact the Town Engineer to schedule the testing. The Woodbridge soil group typically has a seasonably high water table within 18-36 inches of the surface. Infiltration units must have a separation of three (3) feet between the bottom of the unit and seasonal high water.
- Provide calculations for the six (6) inch pool drawdown volume. Stormwater mitigation system should be sized for the greater of the runoff mitigation or pool drawdown. Please note the connection between the pool equipment and the infiltration system on the plans.
- The plan shall show the proposed grading, including spot grades on the patio. The plan shall also show the proposed patio drainage with rim and invert elevations.
- The plan shall illustrate and quantify the limits of disturbance. The plan shall note that disturbance limits shall be staked in the field prior to construction and construction fencing installed. The disturbance limits should consider the landscape improvements proposed.
- Please clarify on the plans the portion of the existing retaining wall to remain and to be removed.

At this time, you must submit a site plan application to the Planning Board.

DO NOT START CONSTRUCTION WITHOUT A VALID BUILDING DEPARTMENT PERMIT.

If blasting or rock chipping is proposed, a permit pursuant to Chapter 122 is required.

If you would like to further discuss this matter, please do not hesitate to contact the Planning Department.

Adam R. Kaufman, AICP
Director of Planning



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PLANNING DEPARTMENT
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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: PETRENKO Date: 3/4/22

Tax Map Designation or Proposed Lot No.: 9504-1-3

Gross Lot Coverage

- | | | |
|-----|---|------------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>94,473^{sq}</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): | <u>17,088.5^{sq}</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>412.7</u> x 10 = | <u>4127^{sq}</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>21,215.5^{sq}</u> |
| 5. | Amount of lot area covered by principal building:
<u>2980</u> existing + <u>0</u> proposed = | <u>2980^{sq}</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks:
<u>710</u> existing + <u>0</u> proposed = | <u>710^{sq}</u> |
| 8. | Amount of lot area covered by porches:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>9910</u> existing + <u>0</u> proposed = | <u>9910^{sq}</u> |
| 10. | Amount of lot area covered by terraces: (POOL PATIO)
<u>0</u> existing + <u>1480</u> proposed = | <u>1,480^{sq}</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>0</u> existing + <u>824</u> proposed = | <u>824^{sq}</u> |
| 12. | Amount of lot area covered by all other structures:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 = | <u>15904^{sq}</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet Date: 3/6/22



National Flood Hazard Layer FIRMette

73°39'16"W 41°10'30"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*

- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS OF FLOOD HAZARD

- NO SCREEN *Zone X*
- Effective LOMR
- Area of Undetermined Flood Hazard *Zone D*

OTHER AREAS

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

GENERAL STRUCTURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

MAP PANELS



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/6/2022 at 12:31 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

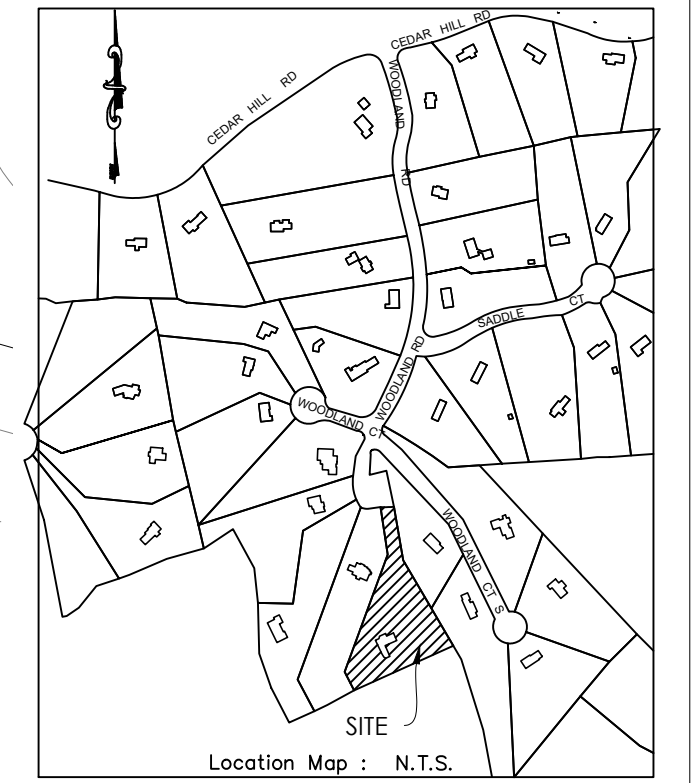
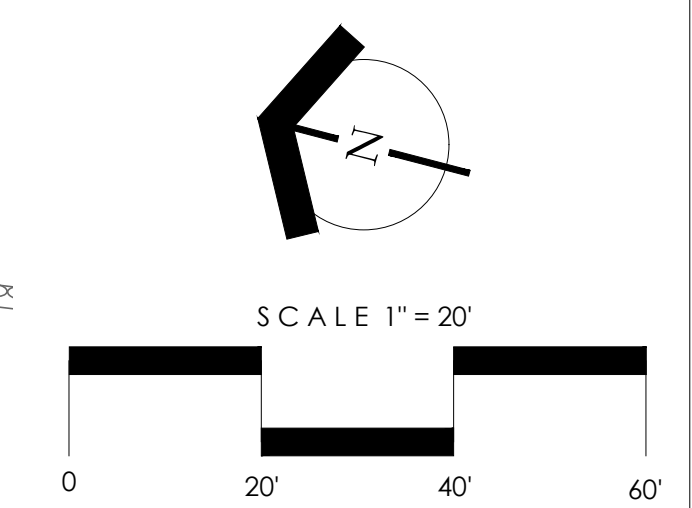
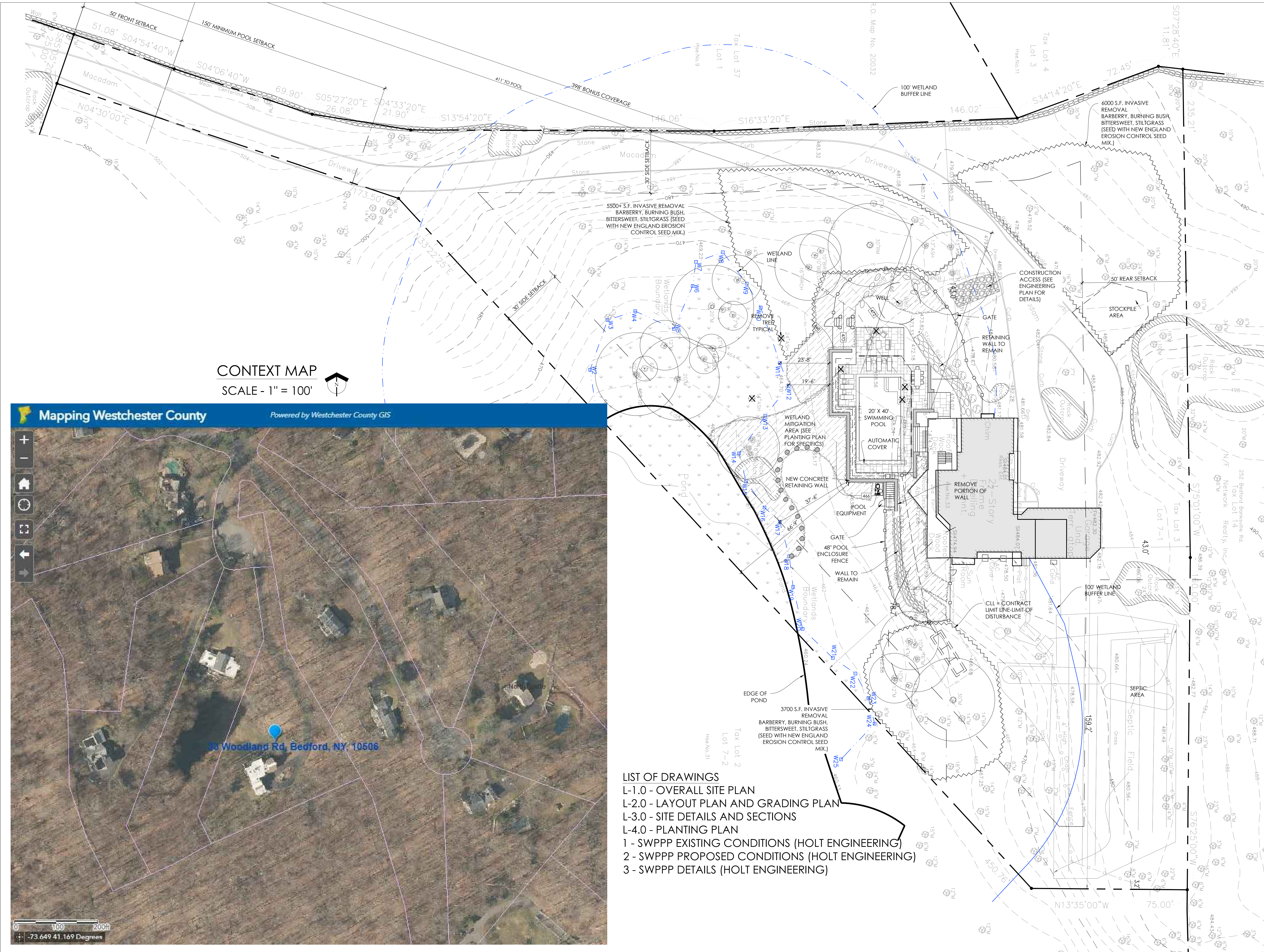


73°38'39"W 41°10'3"N

0 250 500 1,000 1,500 2,000 Feet

1:6,000

Basemap: USGS National Map: Orthoimagery. Data refreshed October, 2020



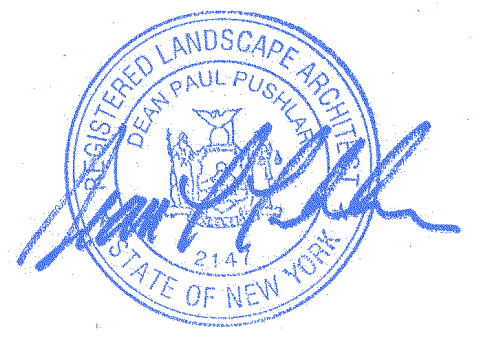
GENERAL NOTES

BASE INFORMATION ENTITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 33 WOODLAND ROAD, BEDFORD, NY" HAS BEEN PROVIDED IN DIGITAL FORMAT BY RONALD PERSAUD, LAND SURVEYOR OF 15 SOUTH TENTH AVE, MOUNT VERNON, NY DATED MARCH 31, 2021

WETLAND HAVE BEEN FLAGGED BY MARY JAEHNIG SOIL SCIENTIST.

ZONING DATA

ZONE - R-2A ZONE RESIDENTIAL
 LOT AREA - 2.169 ACRES (94,473 S.F.)
 MAX BUILDING COVERAGE - 8%
 FRONT YARD - 50' (PROPOSED 411' TO POOL)
 REAR YARD - 50' (PROPOSED 66.75')
 SIDE YARD - 30'
 POOL FRONT - 150' (355-151C)
 MAX ACCESSORY - 800 S.F. (MAX 25% HOUSE)
 MAX HT. ACCESSORY - 1 STORY (15')
 AREA OF WETLANDS - 8925 S.F.
 AREA OF SLOPES - 13,912 S.F.



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 Brookfield, CT 06804

revision: _____
 date: AUGUST 3, 2022

PETRENKO RESIDENCE

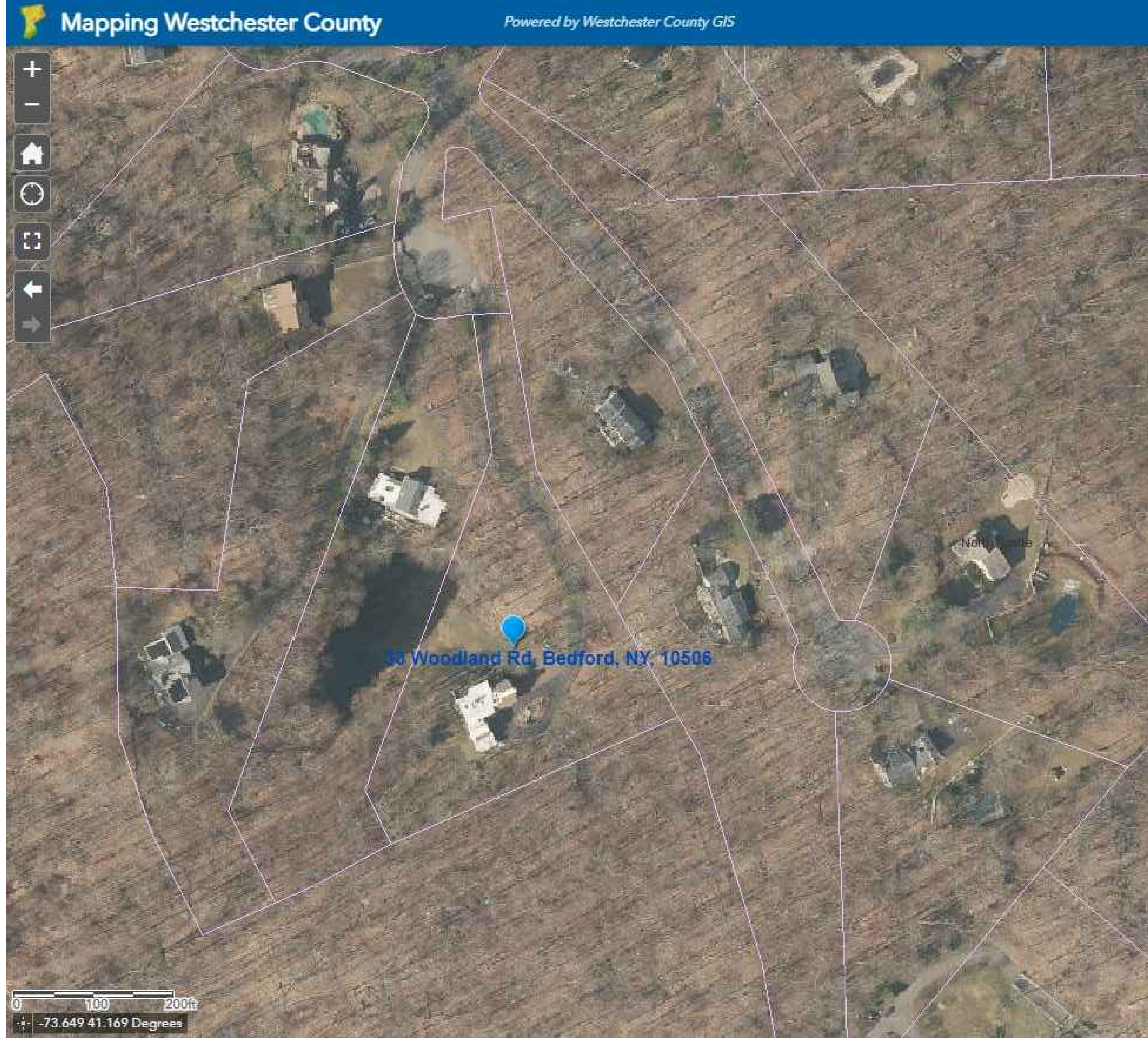
33 WOODLAND ROAD
 BEDFORD, NY
 TOWN OF NORTH CASLLE

OVERALL SITE PLAN

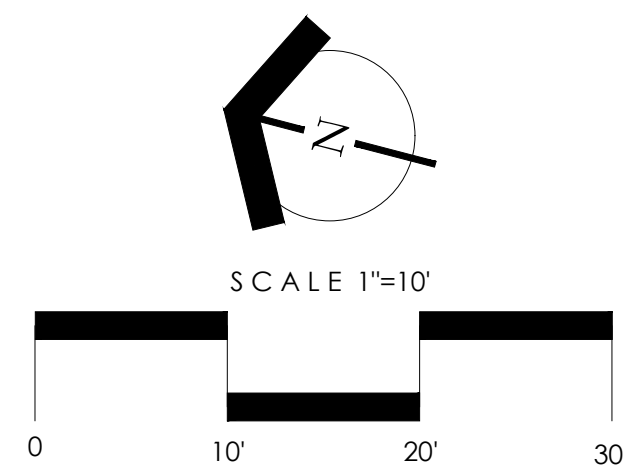
job number: xxx
 scale: as shown
 drawn by: dpp

drawing number: **L-1.0**

CONTEXT MAP
 SCALE - 1" = 100'



- LIST OF DRAWINGS**
- L-1.0 - OVERALL SITE PLAN
 - L-2.0 - LAYOUT PLAN AND GRADING PLAN
 - L-3.0 - SITE DETAILS AND SECTIONS
 - L-4.0 - PLANTING PLAN
 - 1 - SWPPP EXISTING CONDITIONS (HOLT ENGINEERING)
 - 2 - SWPPP PROPOSED CONDITIONS (HOLT ENGINEERING)
 - 3 - SWPPP DETAILS (HOLT ENGINEERING)



TREE REMOVALS

#1	24" ASH	(DEAD OR DISEASED)
#2	14" ASH	(DEAD OR DISEASED)
#3	32" TULIP	(WITHIN LIMITS OF WORK)
#4	22" RED MAPLE	(WITHIN LIMITS OF WORK)
#5	18" RED MAPLE	(WITHIN LIMITS OF WORK)
#6	14" BLACK BIRCH	(WITHIN LIMITS OF WORK)

CUT AND FILL CALCULATIONS
 EXCAVATION POOL - 75 CU. YDS.
 EXCAVATION FOR DRYWELLS - 35 CU. YDS.
 EXCAVATION STEPS AND SEATWALL - 30 CU. YDS.
 PROPOSED TOTAL CUT - 140 CU. YDS.
 PROPOSED TOTAL FILL (SOIL) - 120 CU. YDS. (FROM SITE)*

CONCRETE FOR POOL - 40 CU. YDS.
 GRAVEL UNDER POOL - 35 CU. YDS.
 CONCRETE FOR PATIOS - 20 CU. YDS.
 GRAVEL UNDER PATIOS - 25 CU. YDS.
 CONCRETE FOR LOWER WALLS - 45 CU. YDS.
 CONCRETE FOR UPPER WALLS - 6 CU. YDS.
 CONCRETE FOR STEPS - 17 CU. YDS.
 GRAVEL FOR DRYWELLS - 23 CU. YDS.

WORK ITEM LEGEND

KEY # - DESCRIPTION	SYMBOL - #
1. STONE PAVING ON CONCRETE (THERMAL FINISH BLUESTONE OR SIMILAR)	(Symbol) #1
2. 3" MINI CHANNEL DRAIN - NDS OR SIMILAR	(Symbol) #2
3. CONCRETE RETAINING WALL	(Symbol) #3
4. STONE STEPS WITH FIELDSTONE RISERS (BLUESTONE STEPS OR SIMILAR)	(Symbol) #4
5. SPLIT RAIL POOL ENCLOSURE FENCE AND GATES	(Symbol) #5
6. FIELDSTONE SEATWALL WITH STONE CAP	(Symbol) #6

*** SEE L-3.0 FOR INSTALLATION DETAILS



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PETRENKO RESIDENCE
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 BEDFORD, NY
 TOWN OF NORTH CASLLE

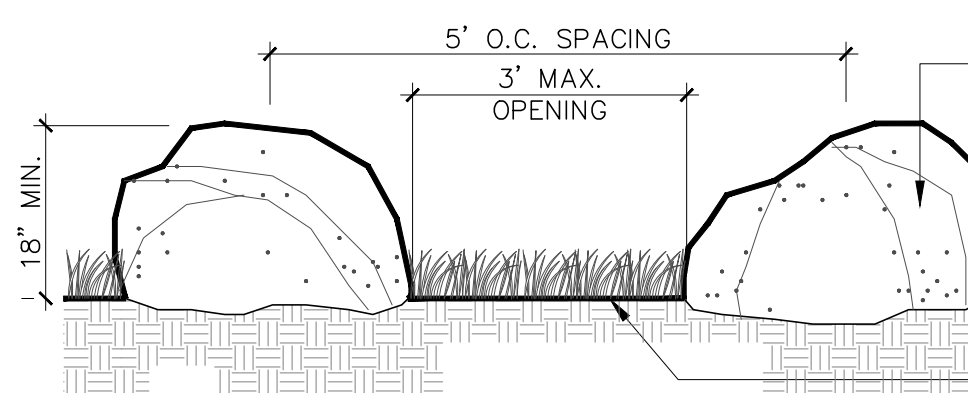
LAYOUT AND GRADING PLAN

job number: xxx
 scale: as shown
 drawn by: dpp

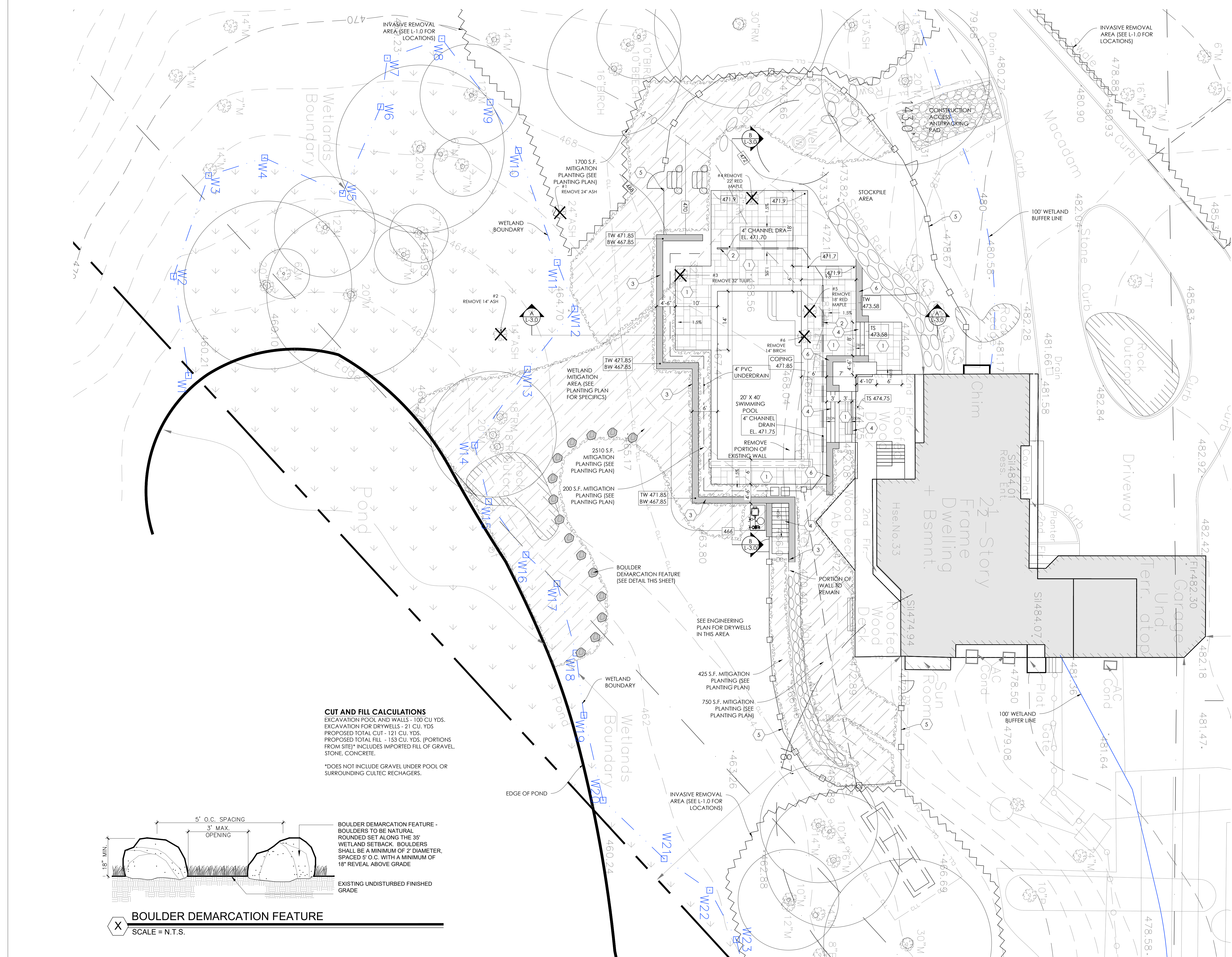
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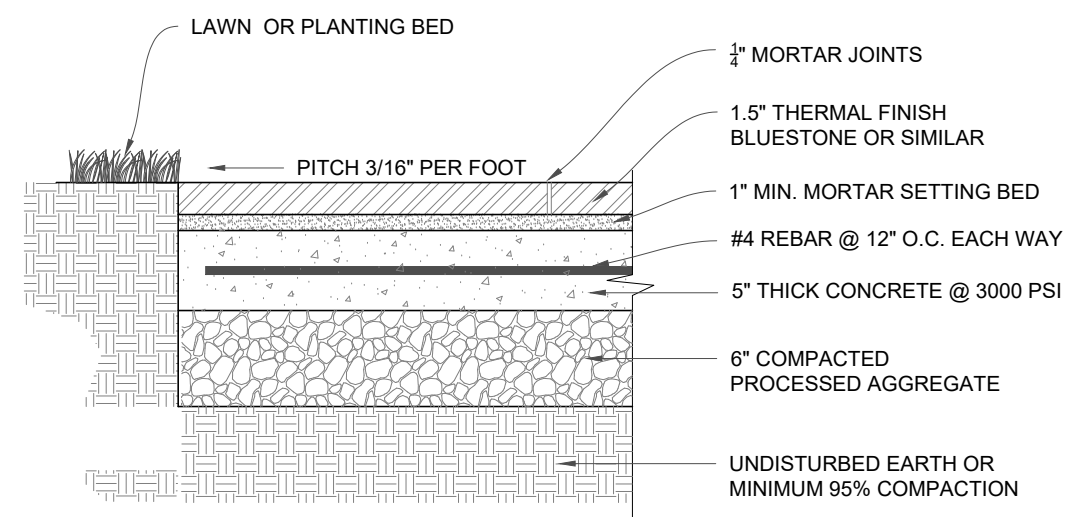
CUT AND FILL CALCULATIONS
 EXCAVATION POOL AND WALLS - 100 CU. YDS.
 EXCAVATION FOR DRYWELLS - 21 CU. YDS.
 PROPOSED TOTAL CUT - 121 CU. YDS.
 PROPOSED TOTAL FILL - 153 CU. YDS. (PORTIONS FROM SITE)* INCLUDES IMPORTED FILL OF GRAVEL, STONE, CONCRETE.

*DOES NOT INCLUDE GRAVEL UNDER POOL OR SURROUNDING CULTEC RECHAGERS.

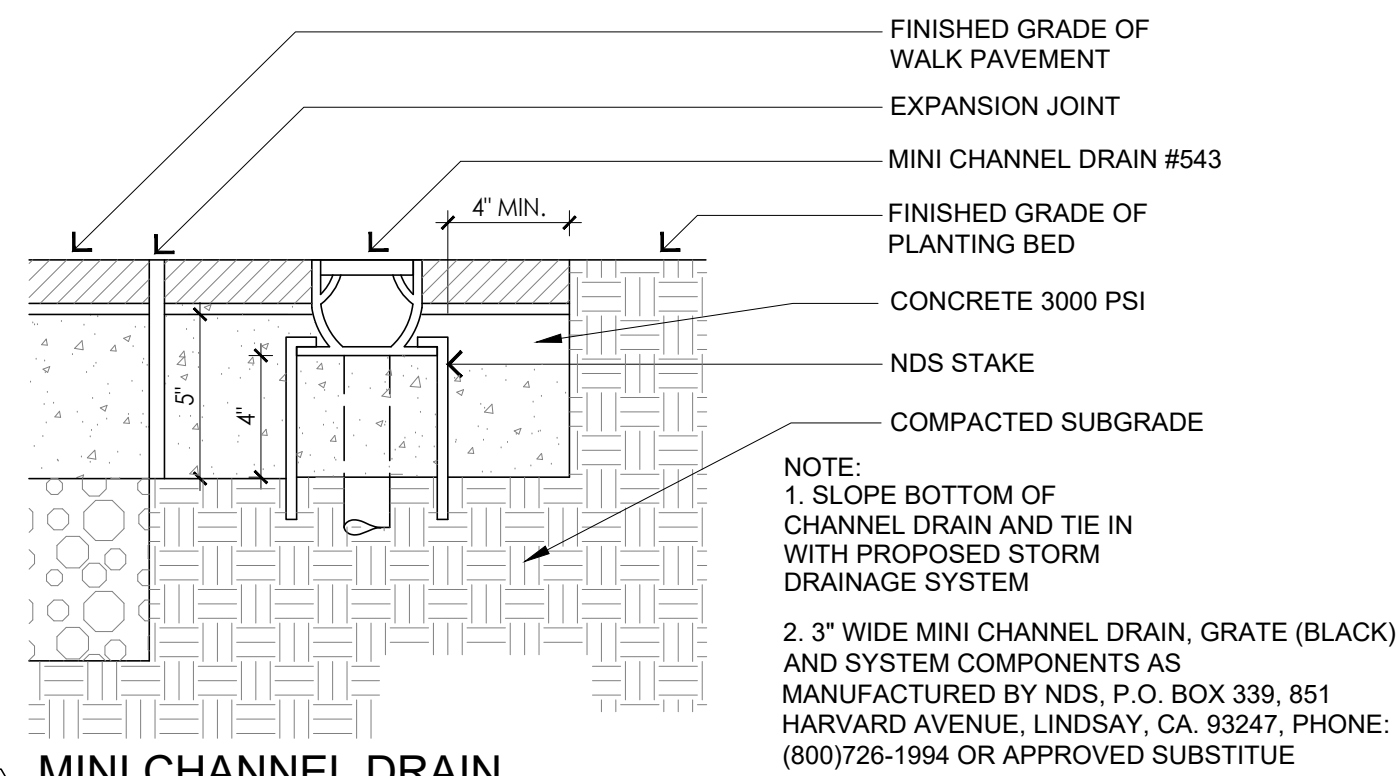


BOULDER DEMARCATION FEATURE
 SCALE = N.T.S.

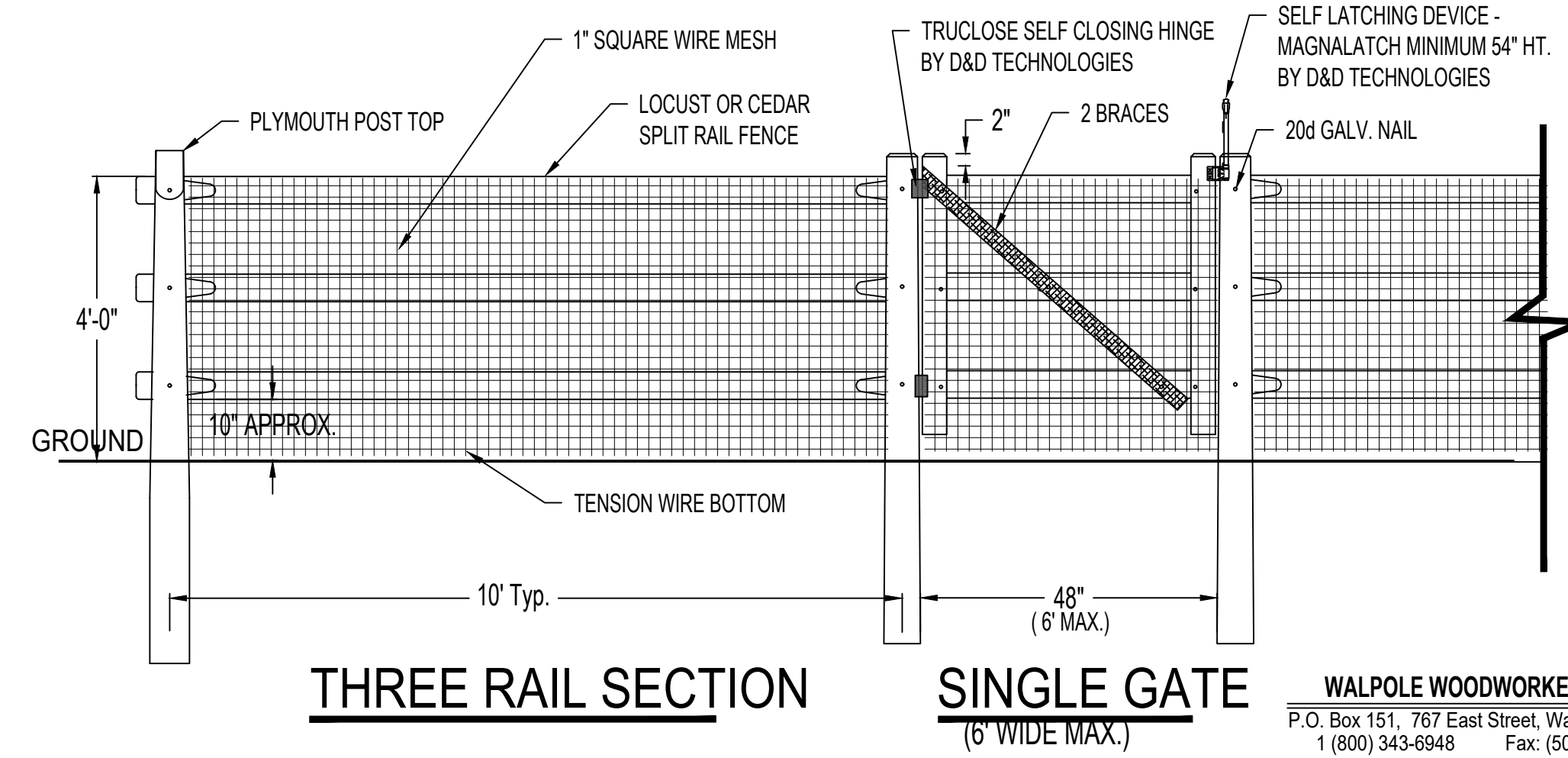




1 STONE PAVING ON CONCRETE BASE
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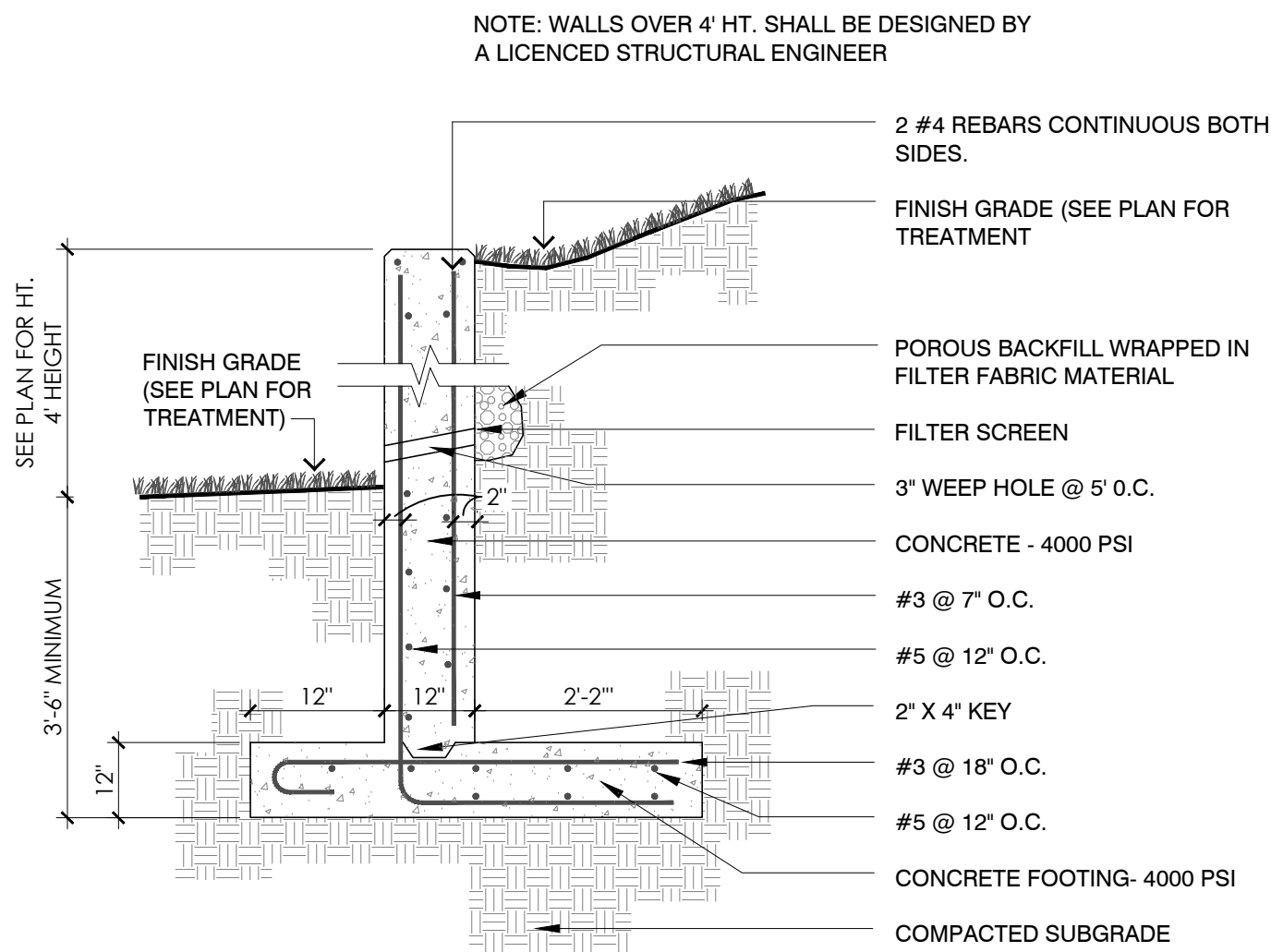


2 MINI CHANNEL DRAIN
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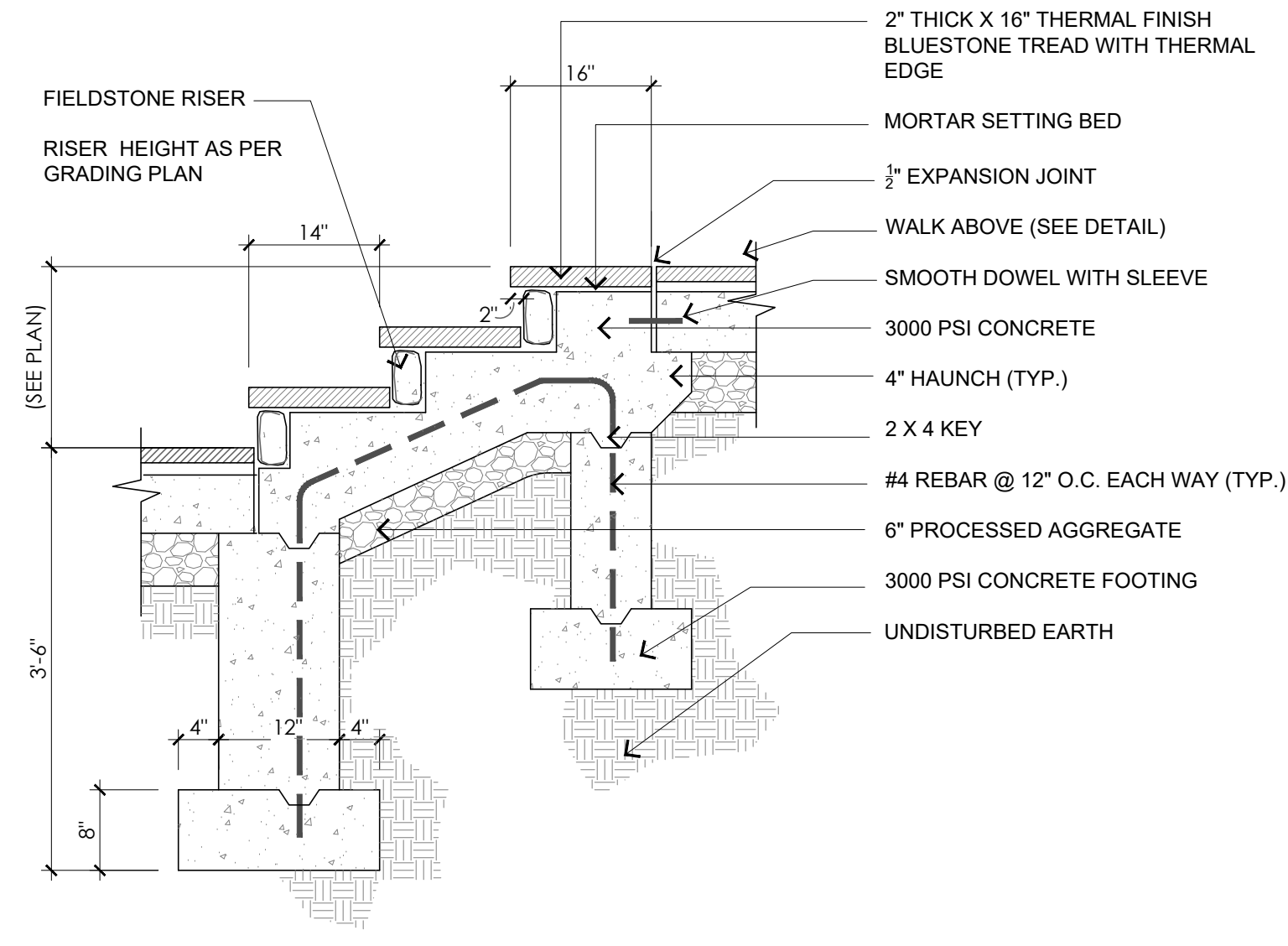


5 SPLIT RAIL FENCE WITH 1" WIRE MESH
SCALE = N.T.S.

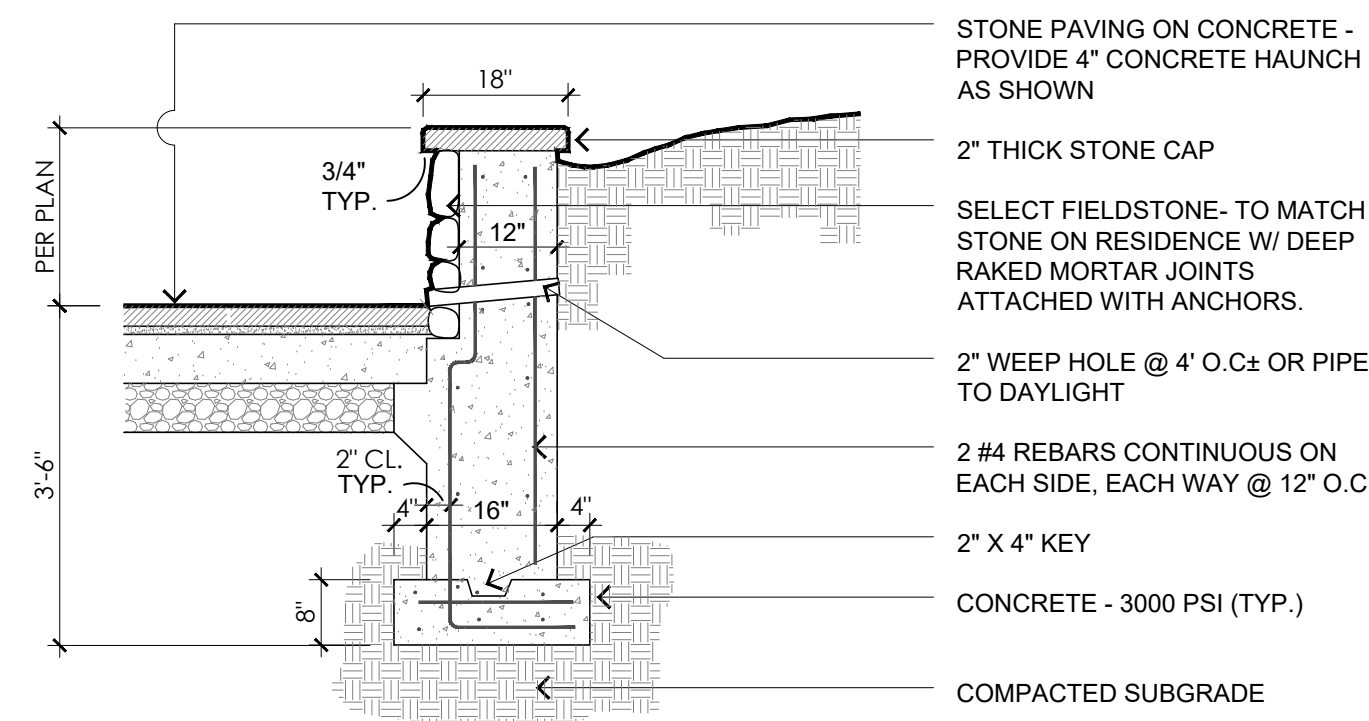
WALPOLE WOODWORKERS
P.O. Box 151, 767 East Street, Walpole, MA 02081
1 (800) 343-6948 Fax: (508) 668-7301



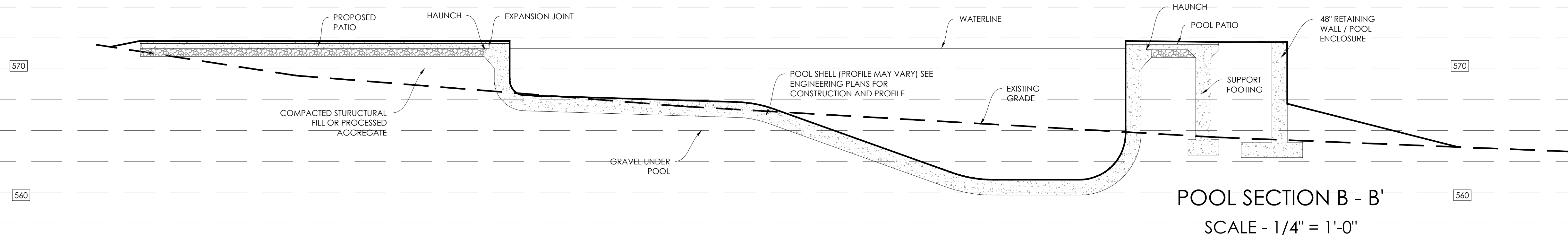
3 CONCRETE RETAINING WALL
SCALE = N.T.S.



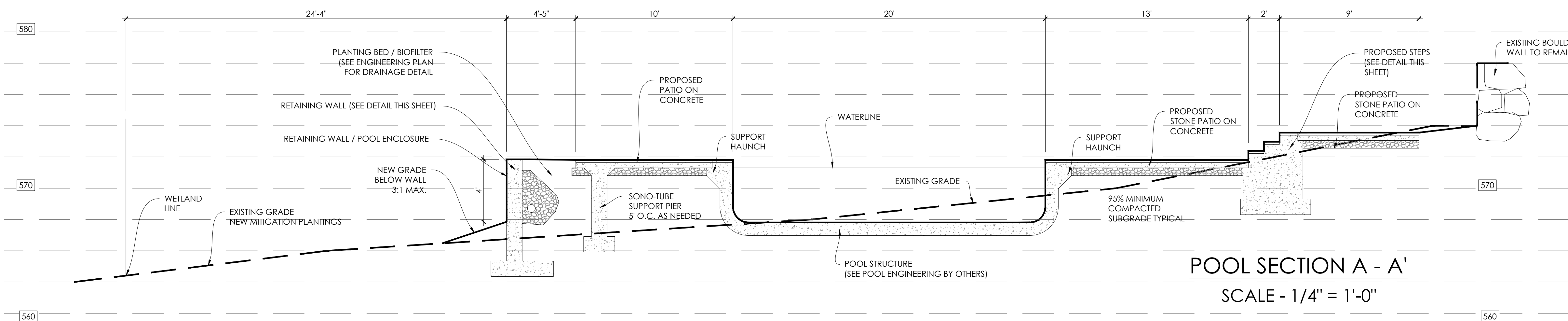
4 BLUESTONE STEPS AND FIELDSTONE RISERS
SCALE = N.T.S.



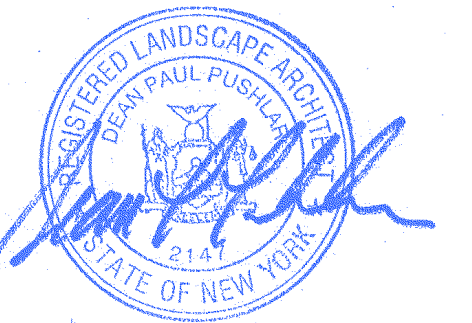
6 FIELDSTONE SEAT WALL WITH STONE CAP
SCALE = N.T.S.



POOL SECTION B - B'
SCALE - 1/4" = 1'-0"



POOL SECTION A - A'
SCALE - 1/4" = 1'-0"



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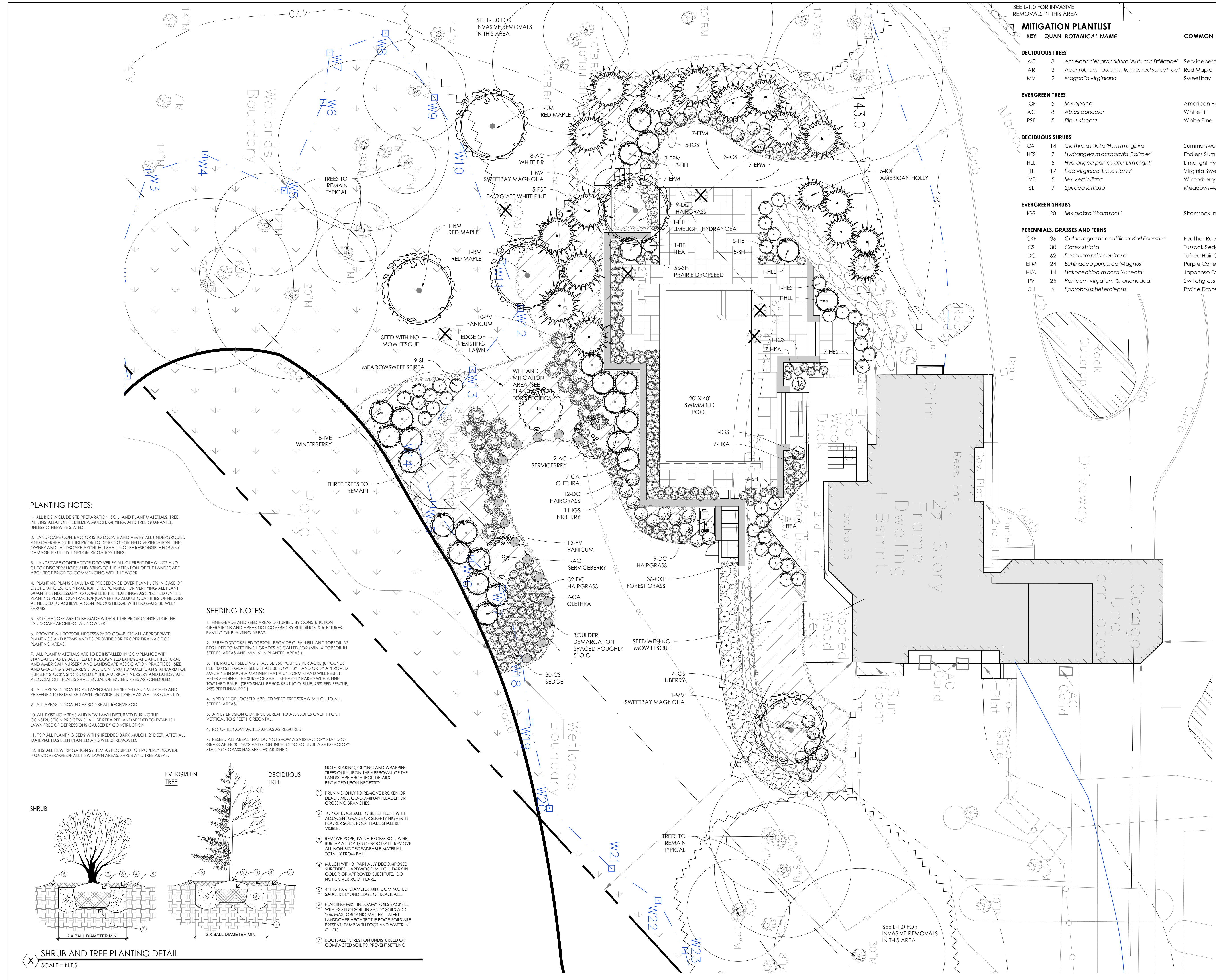
revision:
date: AUGUST 3, 2022

PETRENKO
RESIDENCE
33 WOODLAND ROAD
BEDFORD, NY
TOWN OF NORTH CASTLE

CONSTRUCTION
DETAILS

job number: xxx
scale: as shown
drawn by: dpp

drawing number: L-3.0



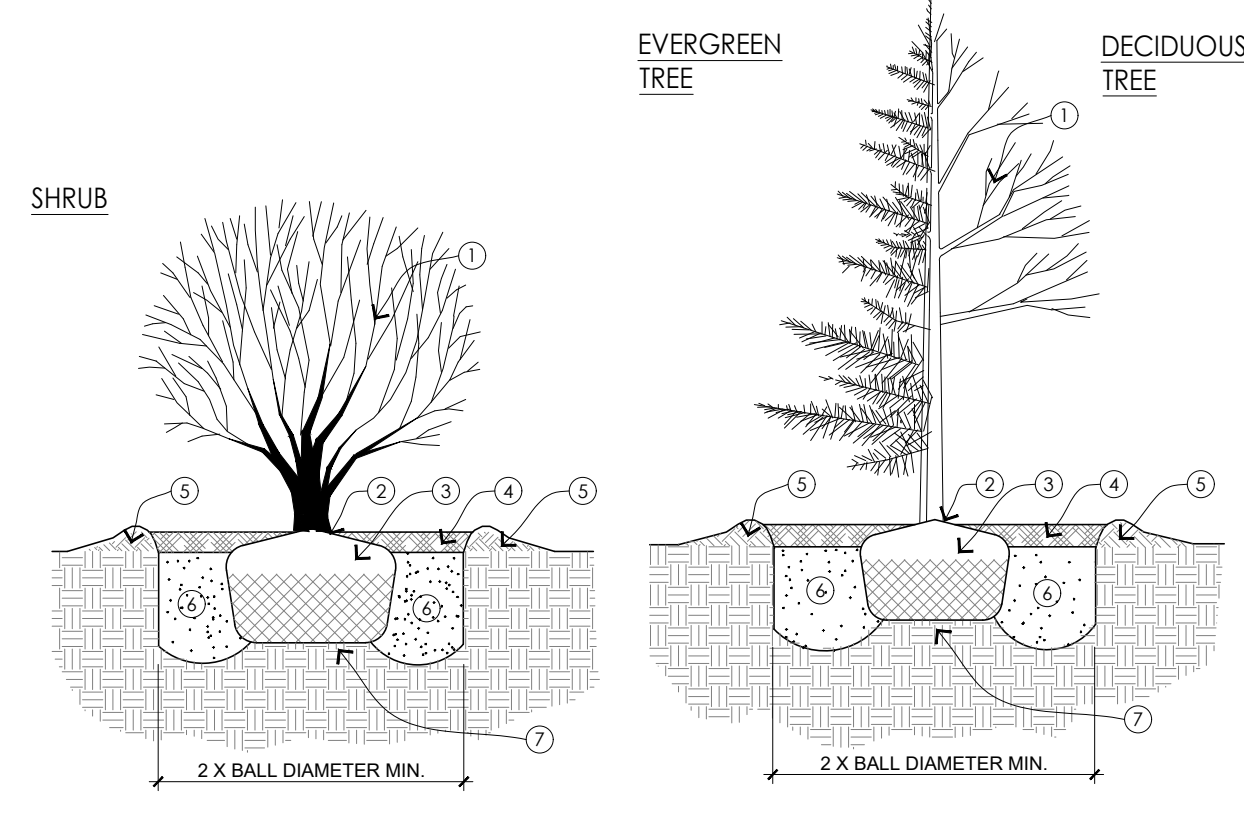
SEE L-1.0 FOR INVASIVE REMOVALS IN THIS AREA

MITIGATION PLANTLIST		COMMON NAME	SIZE	NOTES
KEY	QUAN	BOTANICAL NAME		
DECIDUOUS TREES				
AC	3	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Serviceberry	5-6 clump B&B white april \$ 937.50
AR	3	<i>Acer rubrum</i> 'autumn flam e, red sunset, oct'	Red Maple	2-2.5" cal. B&B \$ 1,500.00
MV	2	<i>Magnolia virginiana</i>	Sweetbay	6-8' ht. B&B white may/june \$ 925.00
EVERGREEN TREES				
IOF	5	<i>Ilex opaca</i>	American Holly	5-6' ht. B&B \$ 2,937.50
AC	8	<i>Abies concolor</i>	White Fir	7-8' ht. B&B \$ 3,900.00
PSF	5	<i>Pinus strobus</i>	White Pine	7-8' ht. B&B \$ 2,325.00
DECIDUOUS SHRUBS				
CA	14	<i>Clethra alnifolia</i> 'Hummingbird'	Summersweet	#3 cont. white jul/aug \$ 840.00
HES	7	<i>Hydrangea macrophylla</i> 'Balm'er'	Endless Summer Hydrangea	#3 cont. pink to blue july/sept \$ 420.00
HLL	5	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	#3 cont. 5' o.c. green jul/sept \$ 300.00
ITE	17	<i>Itea virginica</i> 'Little Henry'	Virginia Sweetspire	#3 cont. 4' o.c. white jun/jul \$ 1,020.00
IVE	5	<i>Ilex verticillata</i>	Winterberry	#3 cont. 5' o.c. green jun/jul \$ 300.00
SL	9	<i>Spiraea latifolia</i>	Meadowsweet Spiraea	#2 cont. 4' o.c. wh/pink june \$ 315.00
EVERGREEN SHRUBS				
IGS	28	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	#3 cont. 18-21 \$ 1,260.00
PERENNIALS, GRASSES AND FERNS				
CKF	36	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#1 cont. 2' o.c. \$ 720.00
CS	30	<i>Carex stricta</i>	Tussock Sedge	#1 cont. 2' o.c. \$ 600.00
DC	62	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	#1 cont. 18" o.c. \$ 1,240.00
EPM	24	<i>Echinacea purpurea</i> 'Magnus'	Purple Coneflower	#1 cont. 18" o.c. jul/aug \$ 420.00
HKA	14	<i>Hakonechloa macro</i> 'Aureola'	Japanese Forest Grass	#1 cont. 24" o.c. yellow \$ 385.00
PV	25	<i>Panicum virgatum</i> 'Shanenedaa'	Switchgrass	#3 cont. 4' o.c. fall \$ 1,125.00
SH	6	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#1 cont. 30" o.c. fall \$ 120.00
				\$ 21,590.00

2:1 MITIGATION CALCULATIONS
 WETLAND BUFFER DISTURBED AREA - 10,255 S.F.
 PROPOSED PLANTING AREAS - 5600 S.F. ±
 INVASIVE REMOVAL AREAS - 15,200 S.F. ± (SEE OVERALL SITE PLAN FOR LOCATIONS - L-1.0)
 TOTAL MITIGATION - 20,800 S.F.

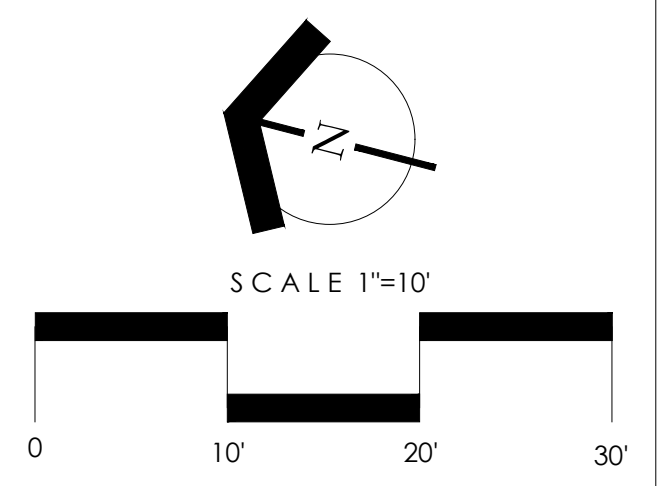
- PLANTING NOTES:**
1. ALL BIDS INCLUDE SITE PREPARATION, SOIL, AND PLANT MATERIALS, TREE PITS, INSTALLATION, FERTILIZER, MULCH, GUYING, AND TREE GUARANTEE, UNLESS OTHERWISE STATED.
 2. LANDSCAPE CONTRACTOR IS TO LOCATE AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO DIGGING FOR FIELD VERIFICATION. THE OWNER AND LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITY LINES OR IRRIGATION LINES.
 3. LANDSCAPE CONTRACTOR IS TO VERIFY ALL CURRENT DRAWINGS AND CHECK DISCREPANCIES AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
 4. PLANTING PLANS SHALL TAKE PRECEDENCE OVER PLANT LISTS IN CASE OF DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES NECESSARY TO COMPLETE THE PLANTINGS AS SPECIFIED ON THE PLANTING PLAN. CONTRACTOR(OWNER) TO ADJUST QUANTITIES OF HEDGES AS NEEDED TO ACHIEVE A CONTINUOUS HEDGE WITH NO GAPS BETWEEN SHRUBS.
 5. NO CHANGES ARE TO BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT AND OWNER.
 6. PROVIDE ALL TOPSOIL NECESSARY TO COMPLETE ALL APPROPRIATE PLANTINGS AND BERMS AND TO PROVIDE FOR PROPER DRAINAGE OF PLANTING AREAS.
 7. ALL PLANT MATERIALS ARE TO BE INSTALLED IN COMPLIANCE WITH STANDARDS AS ESTABLISHED BY RECOGNIZED LANDSCAPE ARCHITECTURAL AND AMERICAN NURSERY AND LANDSCAPE ASSOCIATION PRACTICES. SIZE AND GRADING STANDARDS SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK", SPONSORED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANTS SHALL EQUAL OR EXCEED SIZES AS SCHEDULED.
 8. ALL AREAS INDICATED AS LAWN SHALL BE SEEDED AND MULCHED AND RE-SEEDED TO ESTABLISH LAWN. PROVIDE UNIT PRICE AS WELL AS QUANTITY.
 9. ALL AREAS INDICATED AS SOD SHALL RECEIVE SOD.
 10. ALL EXISTING AREAS AND NEW LAWN DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED AND SEEDED TO ESTABLISH LAWN FREE OF DEPRESSIONS CAUSED BY CONSTRUCTION.
 11. TOP ALL PLANTING BEDS WITH SHREDDED BARK MULCH, 2" DEEP. AFTER ALL MATERIAL HAS BEEN PLANTED AND WEEDS REMOVED.
 12. INSTALL NEW IRRIGATION SYSTEM AS REQUIRED TO PROPERLY PROVIDE 100% COVERAGE OF ALL NEW LAWN AREAS, SHRUB AND TREE AREAS.

- SEEDING NOTES:**
1. THE GRADE AND SEED AREAS DISTURBED BY CONSTRUCTION OPERATIONS AND AREAS NOT COVERED BY BUILDINGS, STRUCTURES, PAVING OR PLANTING AREAS.
 2. SPREAD STOCKPILED TOPSOIL. PROVIDE CLEAN FILL AND TOPSOIL AS REQUIRED TO MEET FINISH GRADES AS CALLED FOR (MIN. 4" TOPSOIL IN SEEDED AREAS AND MIN. 6" IN PLANTED AREAS).
 3. THE RATE OF SEEDING SHALL BE 350 POUNDS PER ACRE (8 POUNDS PER 1000 S.F.) GRASS SEED SHALL BE SOWN BY HAND OR BY APPROVED MACHINE IN SUCH A MANNER THAT A UNIFORM STAND WILL RESULT. AFTER SEEDING, THE SURFACE SHALL BE EVENLY RAKED WITH A FINE TOOTHED RAKE. (SEED SHALL BE 50% KENTUCKY BLUE, 25% RED FESCUE, 25% PERENNIAL RYE.)
 4. APPLY 1" OF LOOSELY APPLIED WEED FREE STRAW MULCH TO ALL SEEDED AREAS.
 5. APPLY EROSION CONTROL BURLAP TO ALL SLOPES OVER 1 FOOT VERTICAL TO 2 FEET HORIZONTAL.
 6. ROTO-TILL COMPACTED AREAS AS REQUIRED.
 7. RESEED ALL AREAS THAT DO NOT SHOW A SATISFACTORY STAND OF GRASS AFTER 30 DAYS AND CONTINUE TO DO SO UNTIL A SATISFACTORY STAND OF GRASS HAS BEEN ESTABLISHED.



- NOTE: STAKING, GUYING AND WRAPPING TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. DETAILS PROVIDED UPON NECESSITY.
1. PRUNING ONLY TO REMOVE BROKEN OR DEAD LIMBS. CO-DOMINANT LEADER OR CROSSING BRANCHES.
 2. TOP OF ROOTBALL TO BE SET FLUSH WITH ADJACENT GRADE OR SLIGHTLY HIGHER IN POORER SOILS. ROOT FLARE SHALL BE VISIBLE.
 3. REMOVE ROPE, TWINE, EXCESS SOIL, WIRE, BURLAP AT TOP 1/3 OF ROOTBALL. REMOVE ALL NON-BIODEGRADABLE MATERIAL TOTALLY FROM BALL.
 4. MULCH WITH 2" PARTIALLY DECOMPOSED SHREDDED HARDWOOD MULCH, DARK IN COLOR OR APPROVED SUBSTITUTE. DO NOT COVER ROOT FLARE.
 5. 4" HIGH X 6" DIAMETER MIN. COMPACTED SAUCER BEYOND EDGE OF ROOTBALL.
 6. PLANTING MIX - IN LOAMY SOILS BACKFILL WITH EXISTING SOIL. IN SANDY SOILS ADD 20% MAX. ORGANIC MATTER. (ALERT LANDSCAPE ARCHITECT IF POOR SOILS ARE PRESENT) TAMP WITH FOOT AND WATER IN 6" LIFTS.
 7. ROOTBALL TO REST ON UNDISTURBED OR COMPACTED SOIL TO PREVENT SETTLING.

SHRUB AND TREE PLANTING DETAIL
 SCALE = N.T.S.



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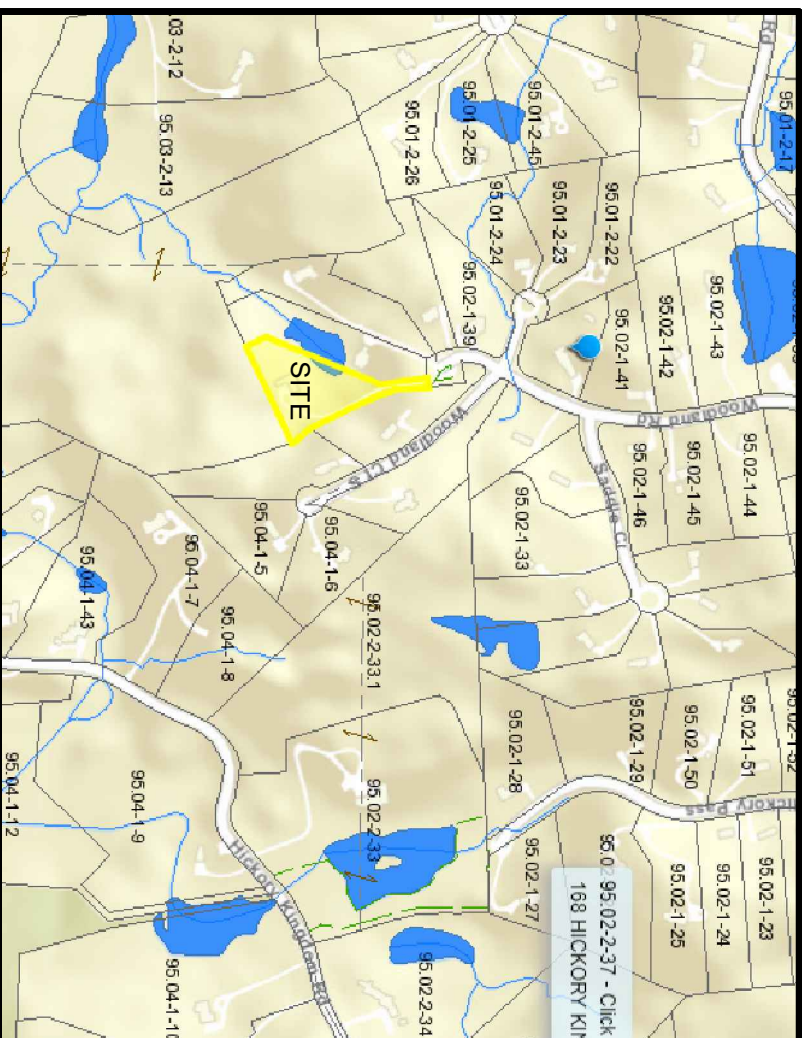
revision: _____
 date: AUGUST 3, 2022

PETRENKO RESIDENCE
 33 WOODLAND ROAD
 BEDFORD, NY
 TOWN OF NORTH CASLLE

MITIGATION PLANTING PLAN

job number: xxx
 scale: as shown
 drawn by: dpp

drawing number: **L-4.0**



VICINITY MAP

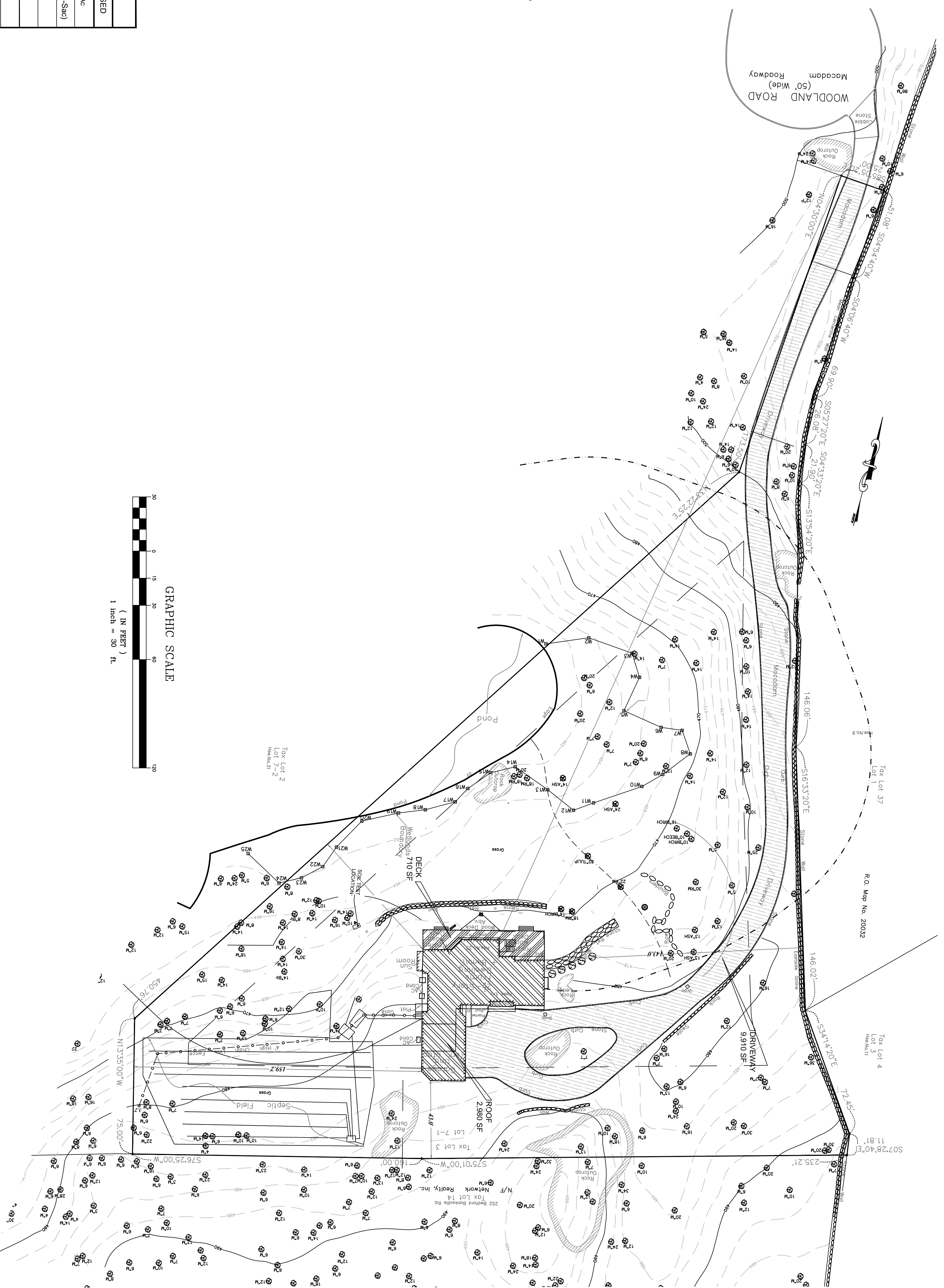
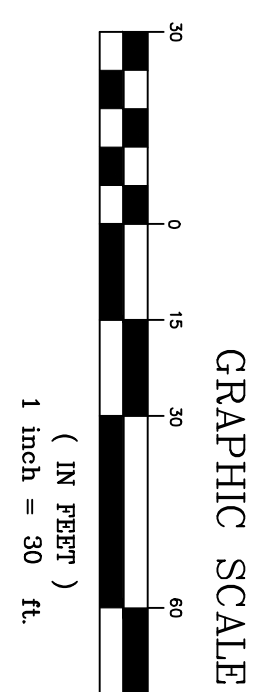
OWNER APPLICANT: IGOR PETRENKO
 ADDRESS: 33 WOODLAND ROAD, BEDFORD (TOWN OF NORTH CASTLE), NY
 PROPERTY ID: 95.04-1-3
 ZONING DISTRICT: R-2A
 FEMA DESIGNATION: ZONE X: 36119C0167F

- GENERAL NOTES:
1. SURVEY INFORMATION (i.e. EXISTING LOT LINES, TOPOGRAPHY, ETC.) FROM SURVEY ENTITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 33 WOODLANDS ROAD, BEDFORD, NY, DATED MARCH 31, 2021 AND PREPARED BY RONALD PERSAUD, LS
 2. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND SHALL CONTACT "CALL BEFORE YOU DIG, INC." AT 1-800-989-7982, 2 DAYS BEFORE COMMENCING CONSTRUCTION.
 3. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE SECTIONS OF THE STATE OF NEW YORK AND TOWN OF NORTH CASTLE CODES AND SHALL TAKE PRECEDENCE OVER THESE PLANS.
 4. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION AND THEREFORE SHOULD BE PRESUMED TO BE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS WITH TEST PITS PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 5. ALL PROPOSED DRAIN PIPING SHALL BE HOPE OF SIZE AS SPECIFIED ON THE DRAWING.
 6. LOCATION OF EXISTING SEWER TRENCHES FROM AN AS-BUILT DRAWING OBTAINED FROM WESTCHESTER COUNTY DEPARTMENT OF HEALTH RECORDS
 7. SEE LANDSCAPING PLANS BY DEAN PULSHAR, LS FOR DETAILS OF POOL FENCING, GARDEN WALLS, PROPOSED GRADING FOR RESPECTIVE CONSTRUCTION DETAILS.
 8. NO CONSTRUCTION ACTIVITIES SHALL OCCUR BEYOND THE LIMIT OF DISTURBANCE LINES DEPICTED AND REGULATED TREES.
 9. PRIOR TO THE START OF ANY WORK, THE CONTRACTOR SHALL SURVEY/LOCATE THE LIMITS OF DISTURBANCE SHOWN ON THESE PLANS.

GROSS LAND COVERAGE CALCULATIONS WORKSHEET*

APPLICATION NAME: PETRENKO	TAX MAP DESIGNATION: 95.04-1-3	ZONING DISTRICT: R-2A
GROSS LOT COVERAGE		
1. TOTAL LOT AREA	EXISTING	PROPOSED
2. MAXIMUM PERMITTED GROSS LAND COVERAGE	94,473 SF	94,473 SF
3. BONUS MAXIMUM GROSS LAND COVER	17,088.5 SF	NA
4. TOTAL MAXIMUM PERMITTED GROSS LAND COVERAGE	4,127 SF	NA
5. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING	2,880 SF	2,880 SF
6. AMOUNT OF LOT AREA COVERED BY ACCESSORY BLDGS	0 SF	0 SF
7. AMOUNT OF LOT AREA COVERED BY DECK	710 SF	710 SF
8. AMOUNT OF LOT AREA COVERED BY PORCHES	0 SF	0 SF
9. AMOUNT OF LOT AREA COVERED BY DRIVEWAY, PARKING	9,910 SF	9,910 SF
10. AMOUNT OF LOT AREA COVERED BY TERRACES/PATIOS	0 SF	0 SF
11. AMOUNT OF LOT AREA COVERED BY TENNIS COURT	0 SF	824 SF
12. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUCT.	0 SF	0 SF
13. PROPOSED GROSS LAND COVERAGE TOTAL	13,000 SF	15,504 SF

ZONING CONFORMANCE TABLE - R-2A ZONE			
MIN. LOT SIZE	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	2 Ac	2.169 Ac	2.169 Ac
MIN. FRONTAGE	150 ft	25 ft (Cul-de-Sac)	25 ft (Cul-de-Sac)
MIN. WIDTH	150 ft	150 ft	150 ft
MIN. DEPTH	150 ft	4300 ft	4300 ft
MIN. PRINCIPAL BUILDING SETBACKS			
FRONT YARD	50 ft	462.7 ft	462.7 ft
SIDE YARD	30 ft	78.7 ft (min)	78.7 ft (min)
REAR YARD	50 ft	43 ft	43 ft
MAX. HEIGHT (PRINCIPAL) (FEET/STORIES)			
	30 ft/3	<30 ft	<30 ft
MIN. PROPOSED POOL SETBACKS			
FRONT YARD	50 ft	---	411.7 ft
SIDE YARD	30 ft	---	78.2 ft (min)
REAR YARD	50 ft	---	138.6 ft

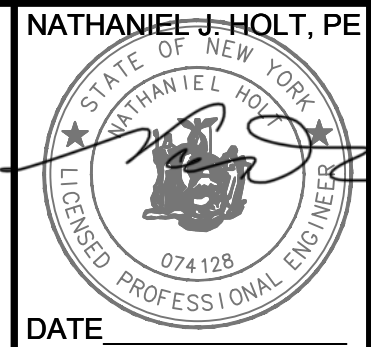


- LEGEND
- EXISTING SPOT GRADE
 - OVERHEAD UTILITY WIRES
 - IRON BAR
 - IRON BAR & CAP
 - DUE
 - EX. MANHOLE
 - EX. CATCH BASIN
 - SILT FENCE
 - CONSTRUCTION FENCE
 - INLET PROTECTION
 - PROP CONTOUR

PROPOSED SWIMMING POOL
 for
 PETRENKO
 33 WOODLAND ROAD, (TNC) BEDFORD, NY

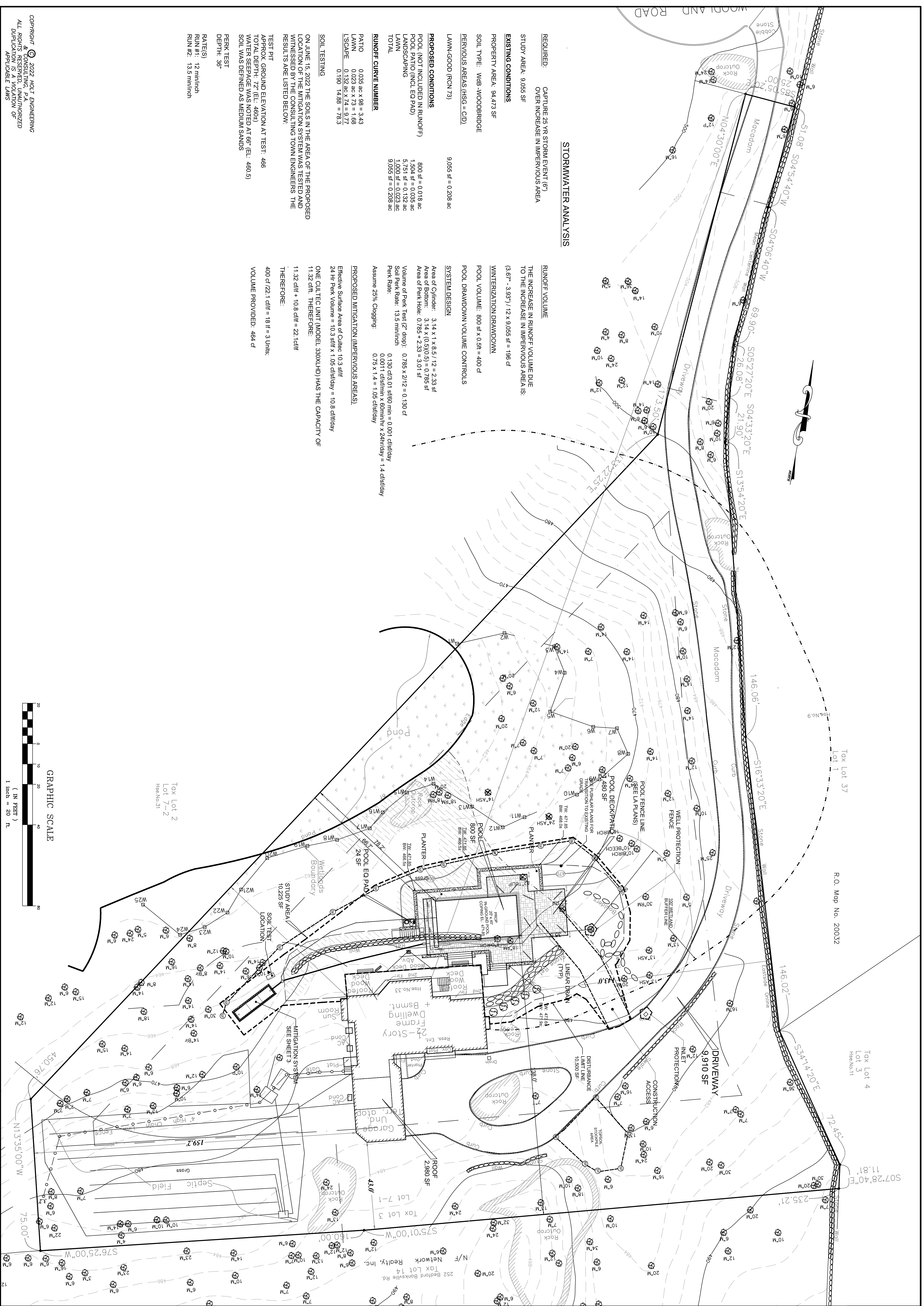
EXISTING CONDITIONS

NATHANIEL J. HOLT, PE
 CONSULTING ENGINEERS
 592 ROUTE 22
 PAWLING, NEW YORK 12564
 PHONE: (914) 760-1800 FX: (772) 204-9553



5	August 3, 2022
4	RP/RC Comments, Testing
3	Original Date: March 6, 2022
2	Project Number: PET-SWPPP
1	

SHEET:
 1 of 3



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TEST PIT APPROX. GROUND ELEVATION AT TEST: 488
 TOTAL DEPTH: 72" (EL. 460)
 WATER SEEPAGE WAS NOTED AT 68" (EL. 460.5)
 SOIL WAS DEFINED AS MEDIUM SANDS
 PERK TEST DEPTH: 36"
 RATES: RUN #1: 12 mm/inch
 RUN #2: 13.5 mm/inch

ON JUNE 15, 2022 THE SOILS IN THE AREA OF THE PROPOSED LOCATION OF THE MITIGATION SYSTEM WAS TESTED AND WRITTEN BY THE CONSULTING TOWN ENGINEERS THE RESULTS ARE LISTED BELOW:

SOIL TESTING
 PATIO 0.035 ac x 88 = 3.43
 LAWN 0.023 ac x 73 = 1.68
 ESCAPE 0.190 ac x 74 = 9.77
 TOTAL 0.190 ac x 74 = 78.3

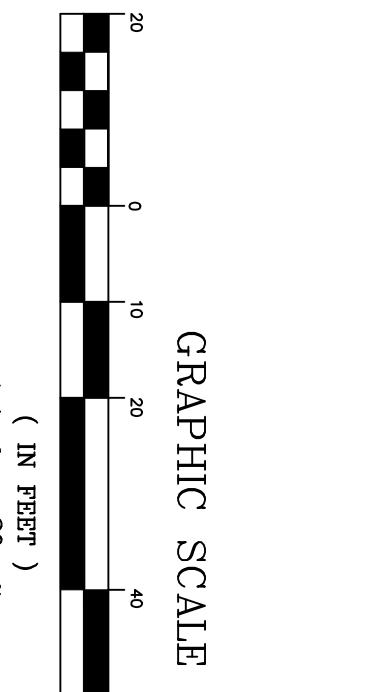
PROPOSED CONDITIONS
 POOL (NOT INCLUDED IN RUNOFF) 800 sf = 0.018 ac
 POOL PATIO (INCL EQ PAD) 1,504 sf = 0.035 ac
 LANDSCAPING 5,751 sf = 0.132 ac
 LAWN 1,000 sf = 0.023 ac
 TOTAL 9,055 sf = 0.208 ac

STORMWATER ANALYSIS
 REQUIRED: CAPTURE 25 YR STORM EVENT (6") OVER INCREASE IN IMPERVIOUS AREA
 STUDY AREA: 9,055 SF
 EXISTING CONDITIONS
 PROPERTY AREA: 94,473 SF
 SOIL TYPE: W-B, WOODBRIDGE
 PERVIOUS AREAS (HSG = C/D)
 LAWN-GOOD (RON 73) 9,055 sf = 0.208 ac

RUNOFF VOLUME
 THE INCREASE IN RUNOFF VOLUME DUE TO THE INCREASE IN IMPERVIOUS AREAS:
 (3.67" - 3.93") / 12 x 9,055 sf = 196 cf
 WINTERIZATION DRAWDOWN
 POOL VOLUME: 800 sf x 0.5 ft = 400 cf
 POOL DRAWDOWN VOLUME CONTROLS

SYSTEM DESIGN
 Area of Cylinder: 3.14 x 1 x 8.5 / 12 = 2.23 sf
 Area of Bottom: 3.14 x (0.5/0.5) = 0.785 sf
 Area of Peak Hole: 0.785 + 2.23 = 3.01 sf
 Volume of Peak Test (2" drop): 0.785 x 2/12 = 0.130 cf
 Soil Peak Rate: 13.5 mm/inch
 Peak Rate: 0.130 cf/3.01 sf/60 min = 0.001 cf/s/day
 0.0011 cf/s/min x 60min/hr x 24hr/day = 1.4 cf/day
 Assume 25% Clogging: 0.75 x 1.4 = 1.05 cf/s/day

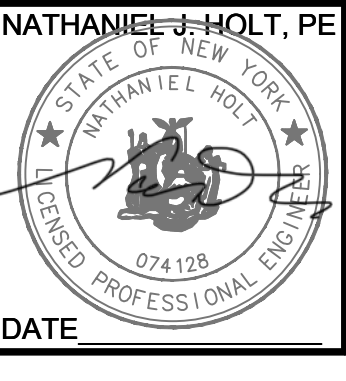
PROPOSED MITIGATION (IMPERVIOUS AREAS)
 Effective Surface Area of Culic 10.3 silt
 24 Hr Peak Volume = 10.3 silt x 1.05 cf/s/day = 10.8 cf/day
 ONE CULTEC UNIT (MODEL 330XLHD) HAS THE CAPACITY OF 11.32 cf/dl. THEREFORE:
 11.32 cf/dl + 10.8 cf/dl = 22.1 cf/dl
 THEREFORE:
 400 cf / 22.1 cf/dl = 18 If = 3 Units.
 VOLUME PROVIDED: 464 cf



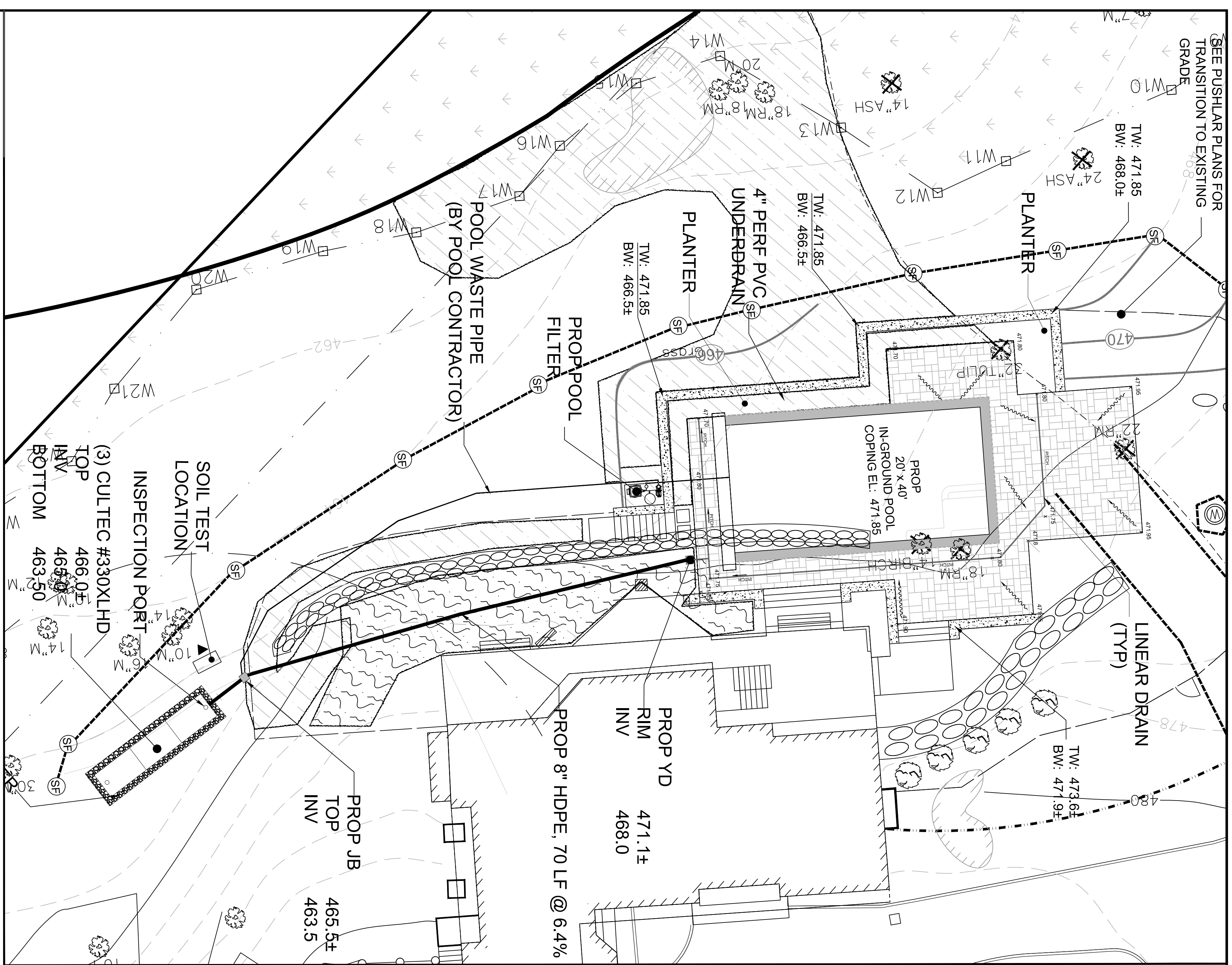
PROPOSED SWIMMING POOL
 for
 PETRENKO
 33 WOODLAND ROAD, (TNC) BEDFORD, NY

OVERALL
 SITE PLAN

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 592 ROUTE 22
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 PHONE: (914) 760-1800 FX: (772) 204-9553



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 August 3, 2022
 RPRC Comments, Testing
 Original Date: March 6, 2022
 Project Number: PET-SWPPP

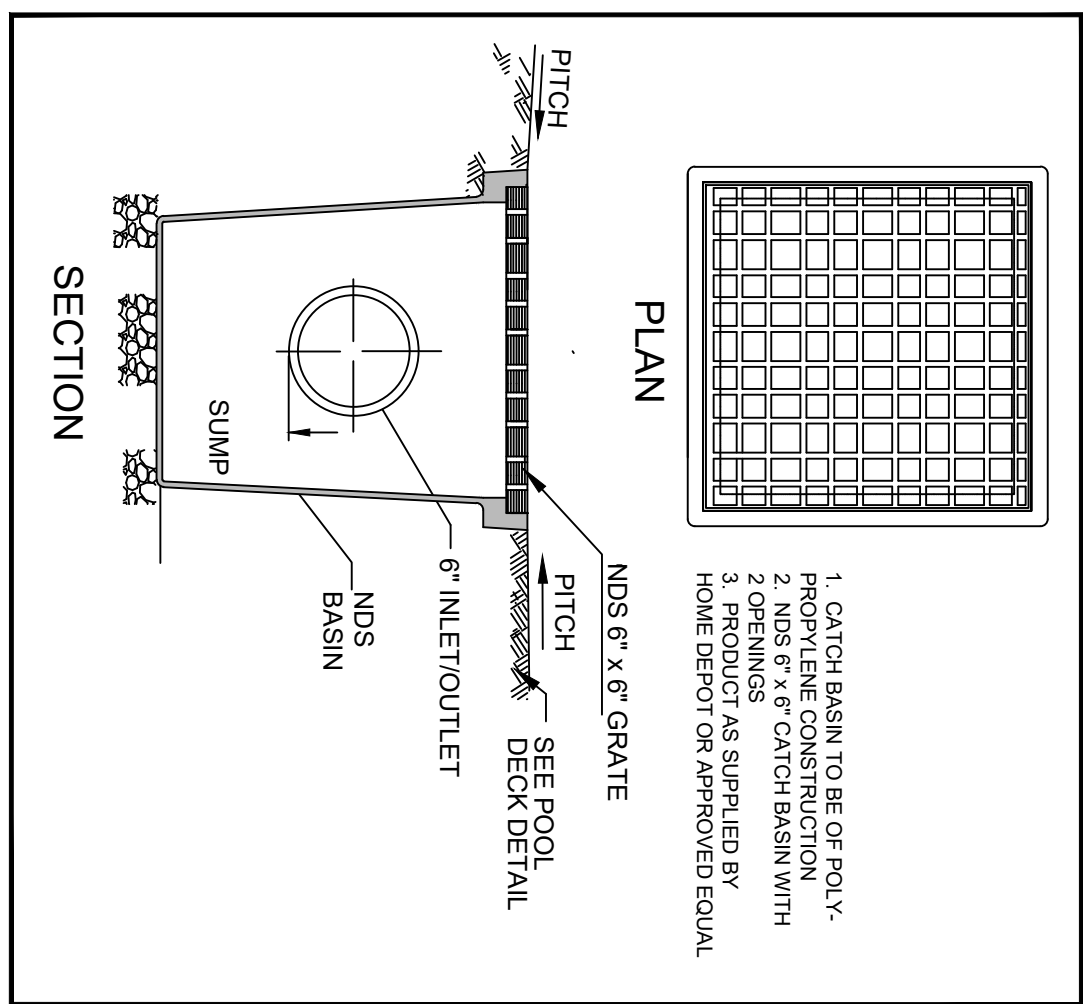


MITIGATION PLAN

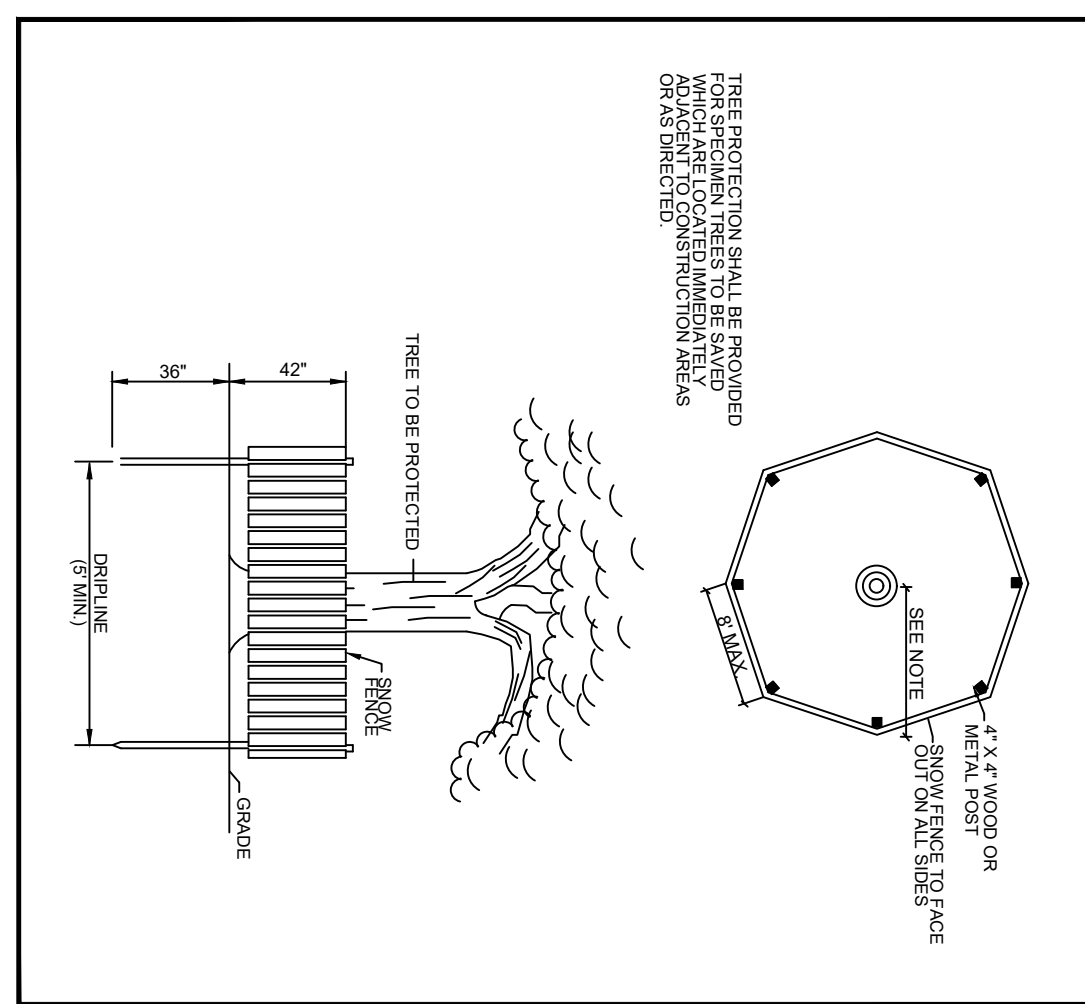


- LEGEND**
- EXISTING 'SPOT' GRADE
 - OVERHEAD UTILITY WIRES
 - IRON BAR
 - IRON BAR & CAP
 - DRAINAGE & UTILITY EASEMENT
 - EX. MANHOLE
 - EX. CATCH BASIN

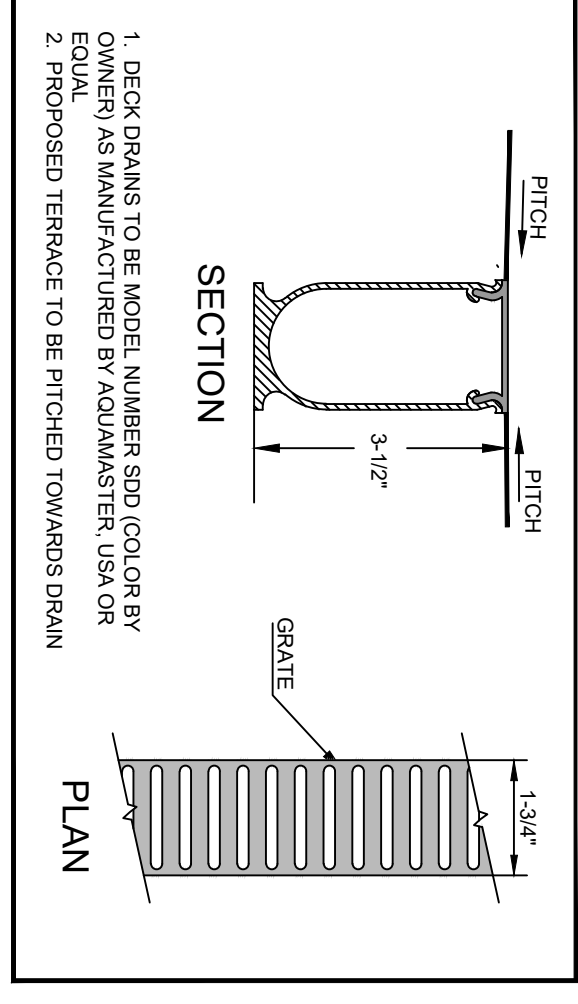
YARD DRAIN DETAIL
N.T.S.



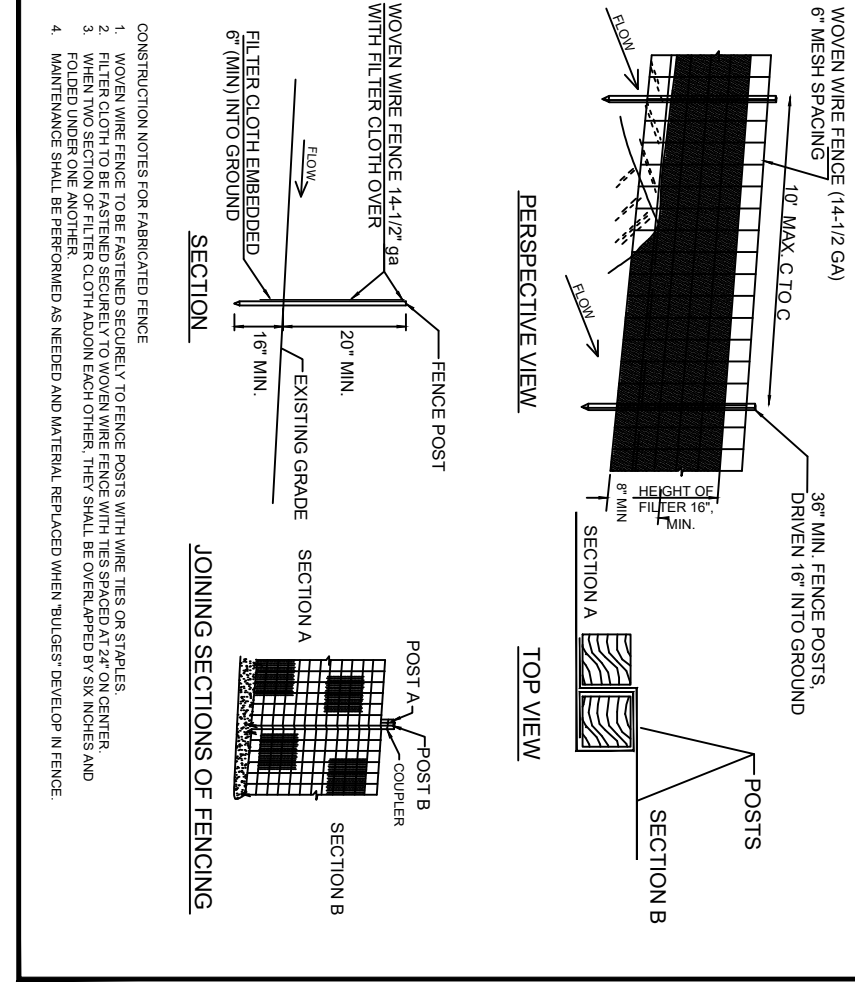
TREE PROTECTION DETAIL
N.T.S.



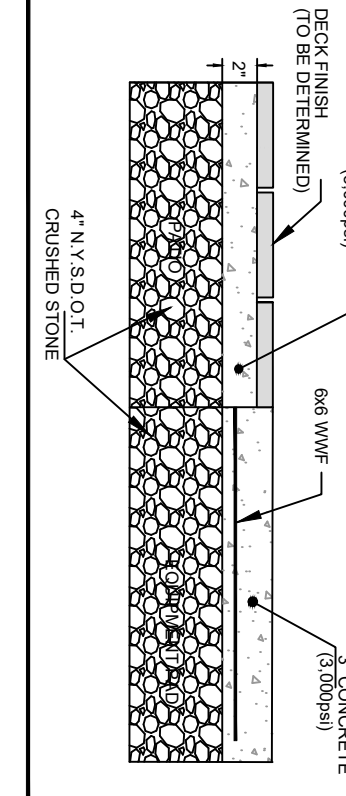
LINEAR DRAIN DETAIL
N.T.S.



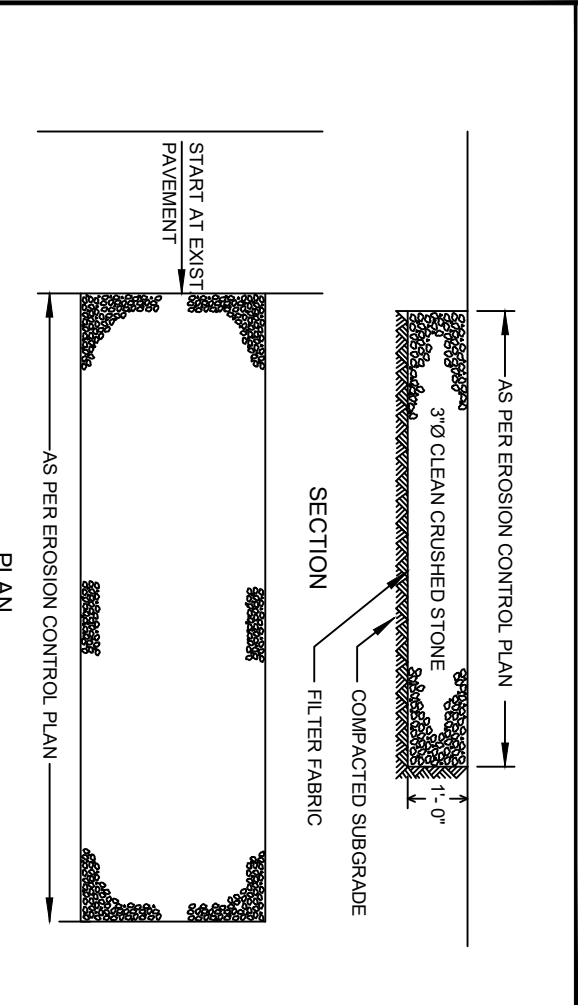
SILT FENCE
N.T.S.



FLATWORK DETAIL SECTION
N.T.S.



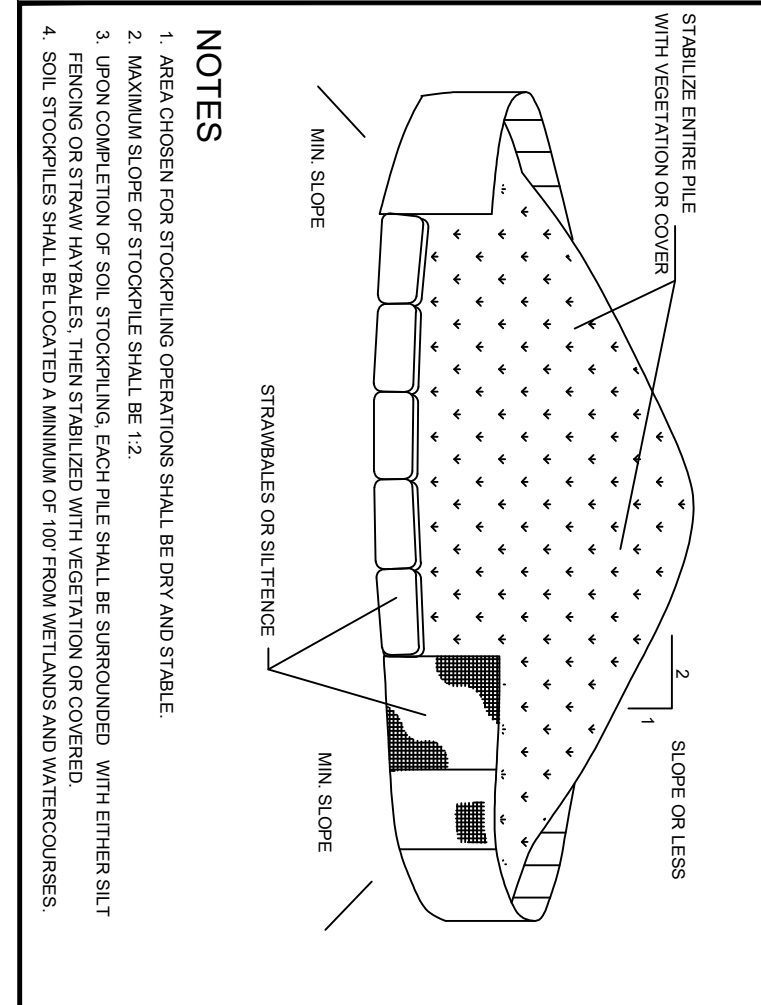
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



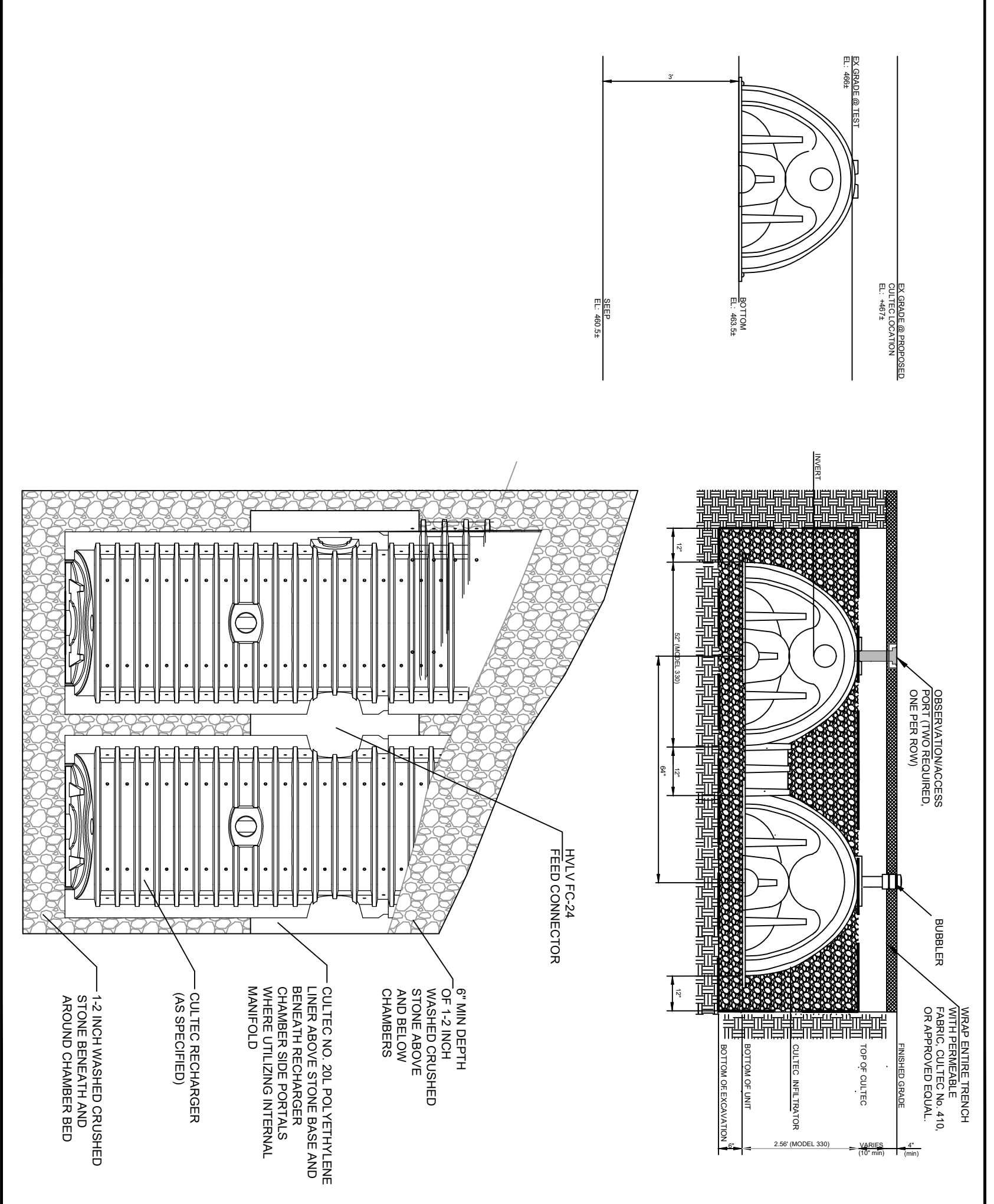
INSTALLATION NOTES

1. STONE SIZE - USE 3\"/>
- 2. LENGTH - AS PER PLAN
- 3. THICKNESS - AS PER PLAN
- 4. SPACING - NOT LESS THAN THE FULL WIDTH OF STONE
- 5. FINISH ON TOP - SHALL BE FINISHED OVER THE ENTIRE AREA PRIOR TO LAYING OF STONE
- 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SIDINGS SHALL BE PERMITTED TO PASS UNDER THE ENTRANCE
- 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SOIL AND DEBRIS INTO ADJACENT AREAS
- 8. WASHING - WHEN STONE SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO THE PUBLIC STONE AND WHICH SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SOIL AND DEBRIS INTO ADJACENT AREAS
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE COMPLETED AFTER EACH RAIN EVENT.

SOIL STOCKPILING DETAIL
N.T.S.



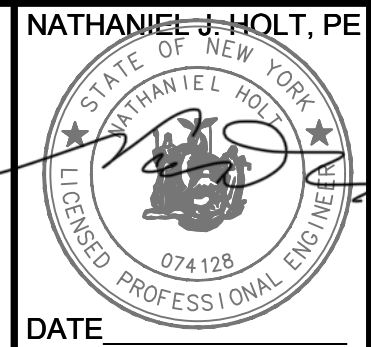
INFILTRATION SYSTEM
N.T.S.



PROPOSED SWIMMING POOL
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DETAILS

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