

LOCATION MAP

SCALE: NTS

- SECTION: 122.12
- BLOCK: 4
- LOT: 29

DEMOLITION NOTE:

1. OWNER TO APPLY FOR A DEMOLITION PERMIT TO REMOVE EXISTING BUILDING, GASOLINE PUMPS AND CANOPY.

ZONING NOTE:

- THIS GAS STATION, IN A CB ZONE AND IS OPERATING AS A PERMITTED NON-CONFORMING USE (REF. § 355-22. SCHEDULE OF BUSINESS DISTRICT REGULATIONS)
- THE EXISTING GAS PUMPS ARE TO BE REPLACED WITH NEW PUMPS. ALL NEW PUMPS SHALL BE LOCATED MORE THAN 15 FEET FOR THE PROPERTY BOUNDARIES IN ACCORDANCE W/ § 355-22 (Schedule of Business District Regulations) FOR A GB DISTRICT

ZONING DATA: ZONE CB (CENTRAL BUSINESS)

	REQ'D/MAX.	EXISTING	PROPOSED	VARIANCE
MINIMUM SIZE LOT	5000	21704	NO CHANGE	NONE
LOT FRONTAGE	50	181.86	NO CHANGE	NONE
LOT DEPTH	100	115.62	NO CHANGE	NONE
BUILDING COVERAGE (%)	35	4	NO CHANGE	NONE
MAXIMUM FLOOR AREA RATIO	0.4	0.04	NO CHANGE	NONE
FRONT YARD (FT.)	25	52	NO CHANGE	NONE
REAR YARD (FT.)	50	52+/-	NO CHANGE	NONE
SIDE YARDS (FT)	0	58.5/65.5	NO CHANGE	NONE
MAIN BUILDING HEIGHT (STY/FEET)	2 / 30	1/12+/-	NO CHANGE	NONE
PERMITTED USE	-	AUTOMOBILE SERVICE STATION	NO CHANGE	PERMITTED NON-CONFORMING USE
PARKING (ACCESSORY RETAIL - 1/150 FT ² EMPLOYEE - 1 PER	402/150 = 3 2 X 1 = 2 (W/ 1 ADA)	5 2 (W/1 ADA)	NO CHANGE	NONE

PAVEMENT NOTE:

- THE EXISTING ASPHALT PAVEMENT SHALL BE RE-PAVED IN ITS ENTIRETY.
- ALL PARKING AND DRIVEMAY MARKINGS SHALL BE RE-PAINTED, INCLUDING BUT NOT LIMITED TO PARKING SPACES, ARROWS SHOWING THE DIRECTION OF THE ONE-WAY TRAFFIC, ADA PARKING SPACE AND CORRESPONDING HATCHED AREA, AND THE LOADING SPACE.

VEHICLE REPAIR NOTE:

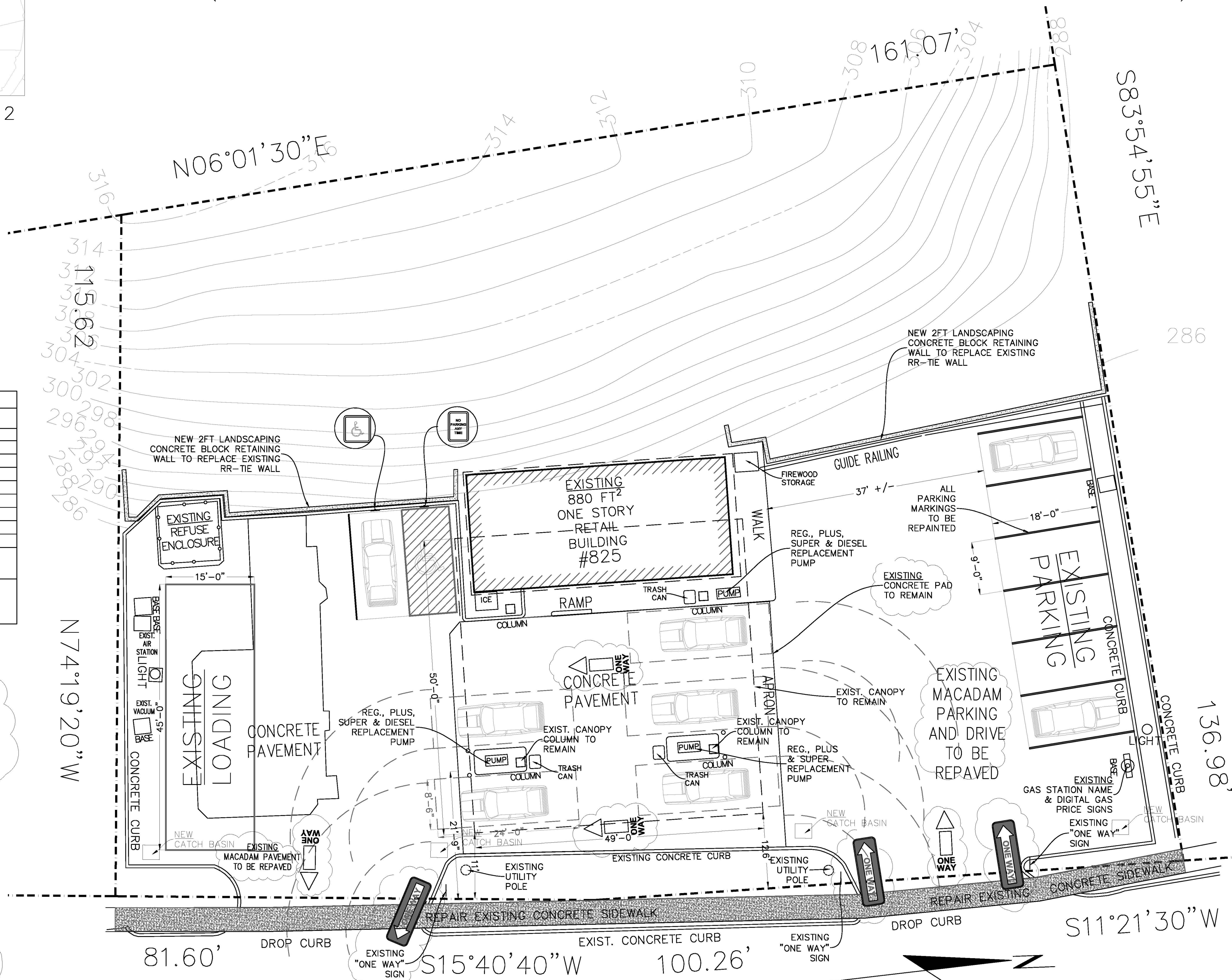
- OUTDOOR REPAIR OF VEHICLES SHALL BE PROHIBITED

AESTHETIC IMPROVEMENT NOTES:

- THE EXISTING CONVENIENT STORE, THE CANOPY, THE FUEL DISPENSING AREA AND THE EXISTING SIGNAGE ARE TO REMAIN
- ALL EXISTING STRUCTURES AND APPURTENANCES SHALL BE CLEANED, REPAIRED OR/AND REPAINTED TO A LIKE NEW APPEARANCE AS NEEDED.
- OWNERS AND/OR REPRESENTATIVES SHALL CONFER WITH THE PLANNING BOARD AND WITH THE ARCHITECTURAL REVIEW BOARD TO PROVIDE AESTHETIC IMPROVEMENTS TO MEET THE TOWN QUALITY DESIGN STANDARDS.

825 NORTH BROADWAY WHITE PLAINS, NY 10603 (TOWN OF NORTH CASTLE)

AUTOMOBILE SERVICE STATION ALTERATION (GAS TANKS REPAIR AND CONVENIENCE STORE INTERIOR ALTERATIONS)



PROPOSED SITE PLAN

SCALE: 1" = 10.0'

Gibbons Engineering, PC

1 CENTRAL AVENUE, SUITE 308
TARRYTOWN, NY 10591
(914) 524-9740
gibbonsengineering@yahoo.com

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ISSUE DATES:

No.	DATE	DESCRIPTION
1	07.15.20	CLIENT SUBMISSION
2	08.31.20	P.B. SUBMISSION
3	04.04.22	P.B. REVISION
4	10.31.22	P.B. REVISION

APPROVAL:
CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____

DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
**SITE PLAN
& ZONING**

SEAL & SIGNATURE: DATE: 01.14.20
PROJECT No.: 2020-04
DRAWING BY: ME
CHK BY: JAG
DWG No.: G1
APPL. No.:

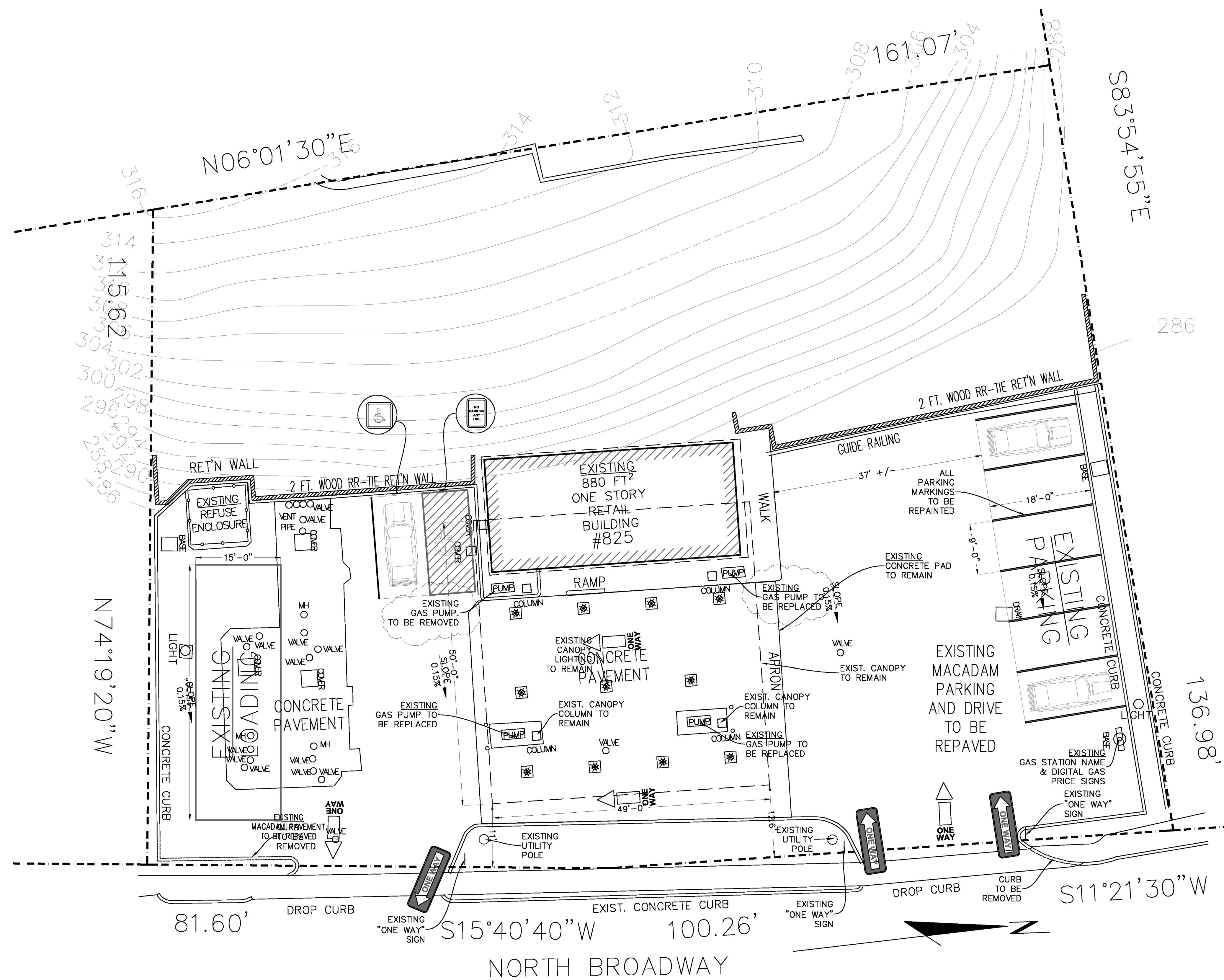
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EXISTING GAS STATION
SCALE: 1" = 10.0'

APPROVAL:
CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

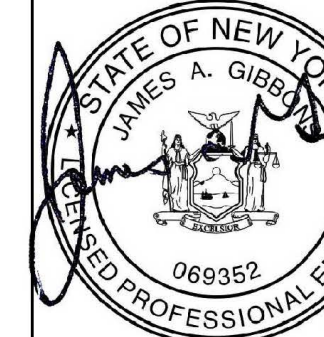
CHAIRMAN SIGNATURE _____

DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
GAS STATION

SEAL & SIGNATURE



DATE: 01.14.20

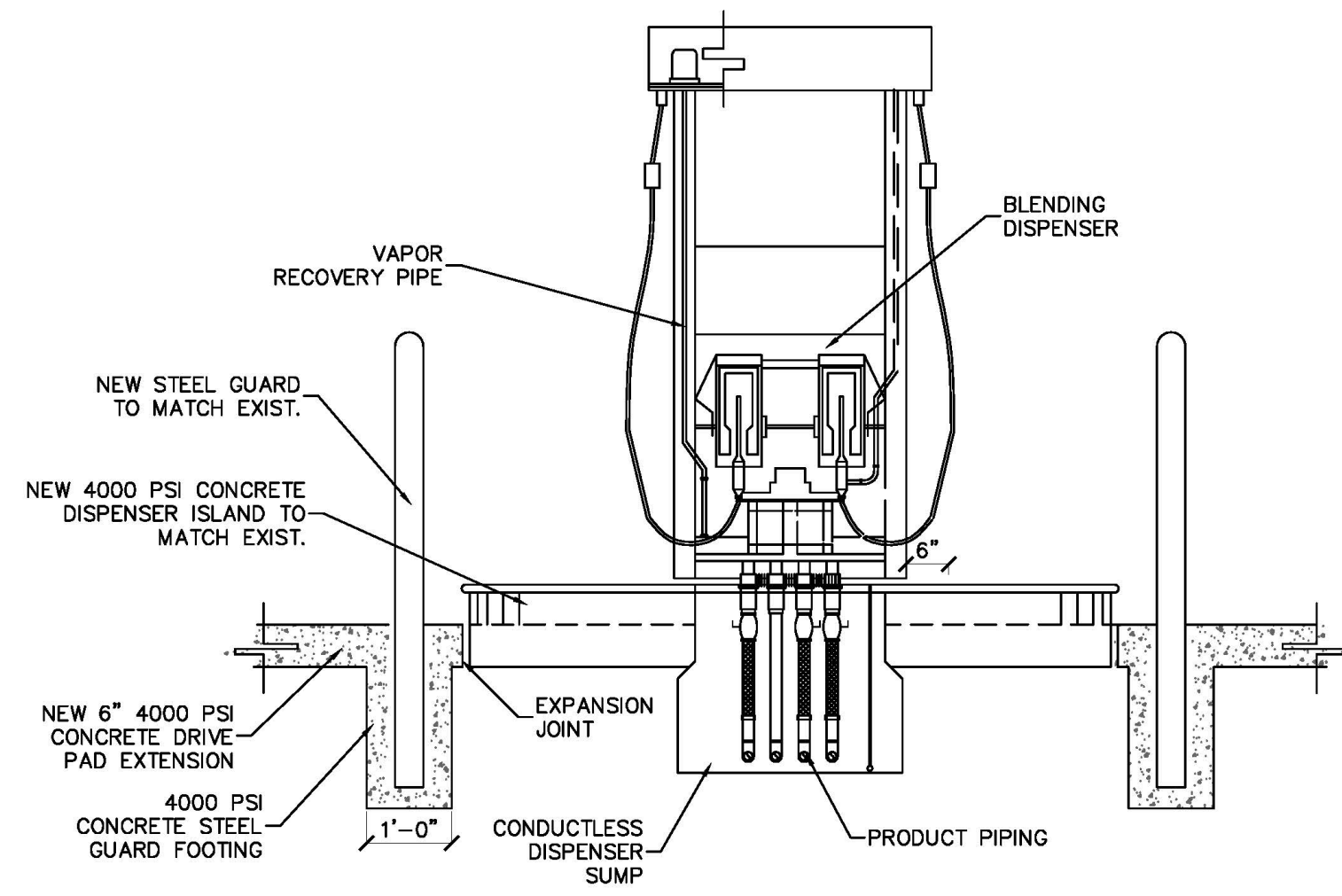
PROJECT No: 2020-04

DRAWING BY: ME

CHK BY: JAG

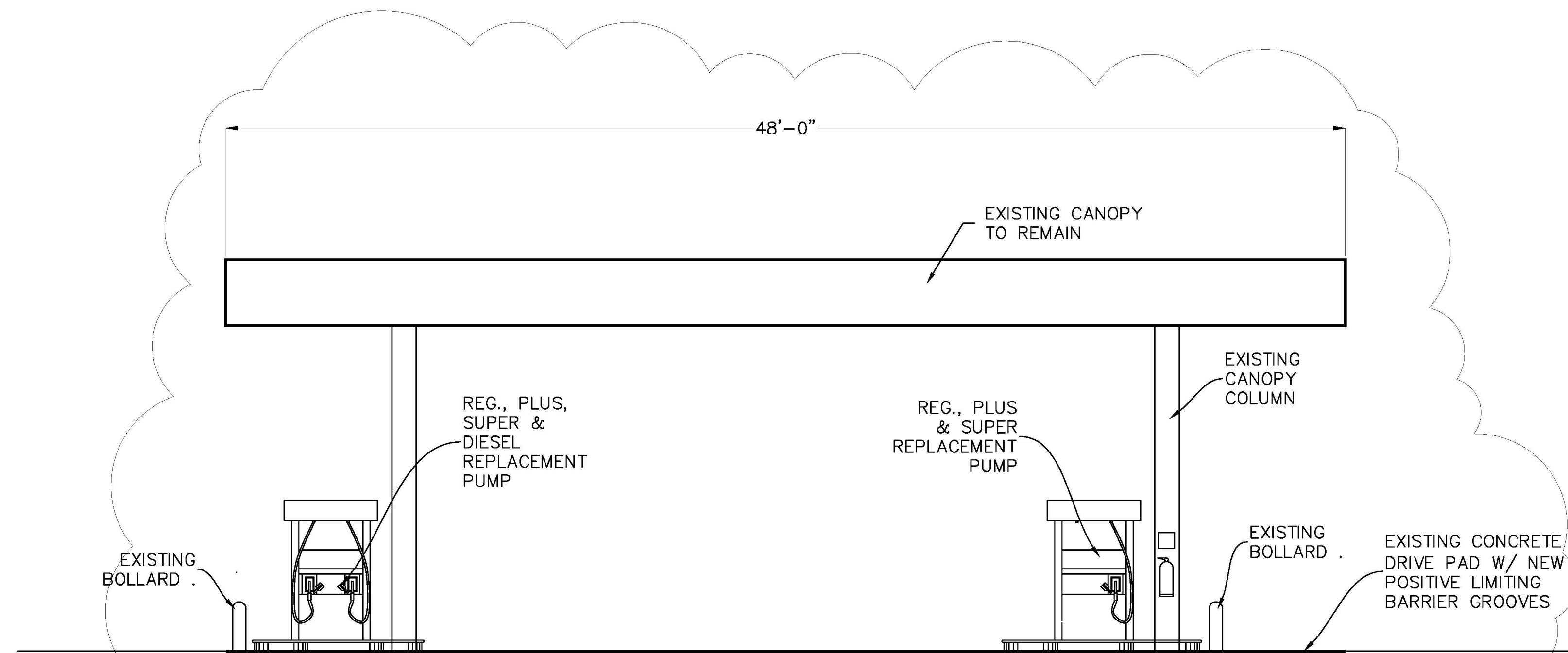
DWG No.: G2

APPL. No.:



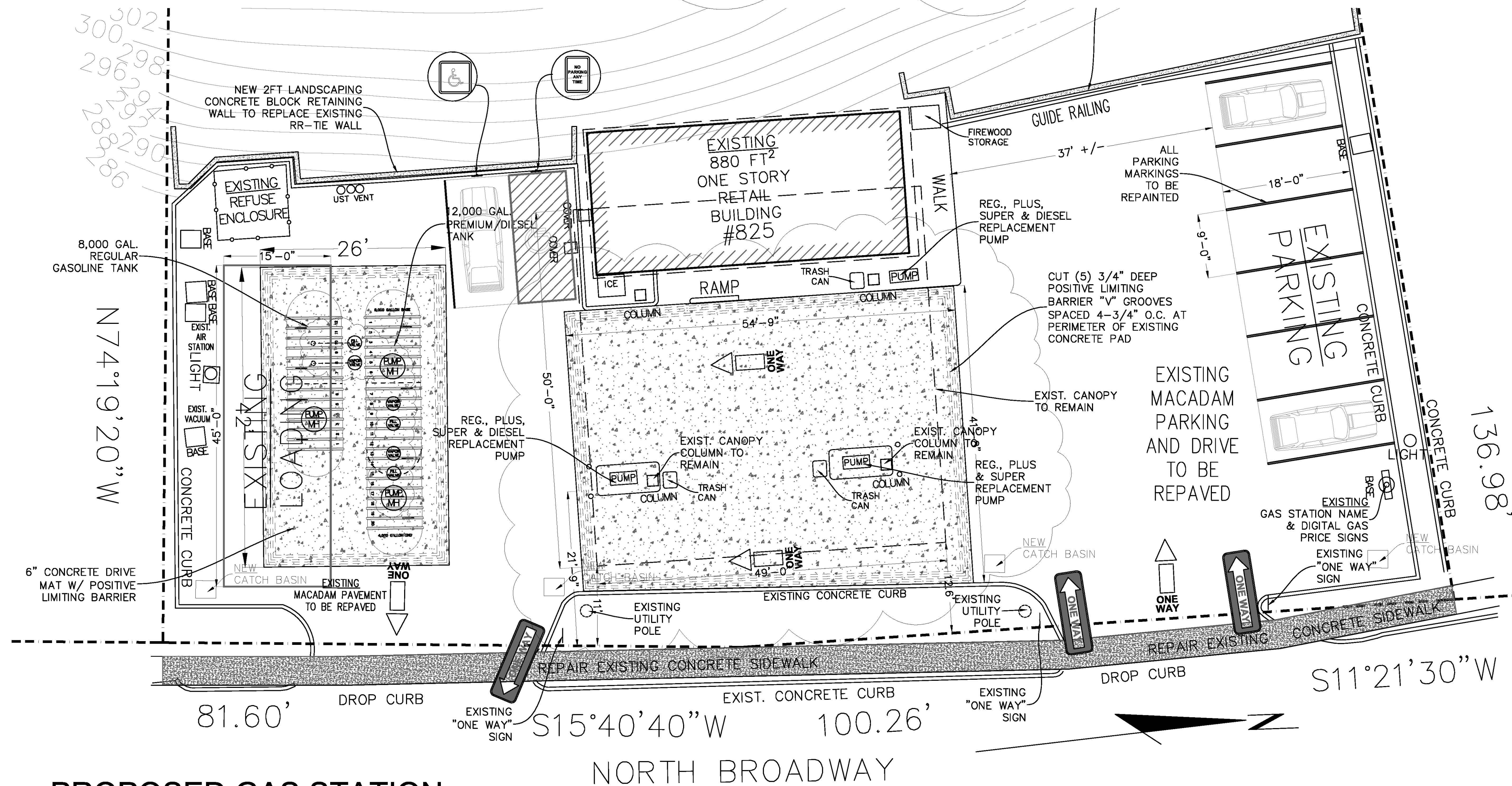
GAS PUMP ISLAND SIDE SECTION

SCALE: 1/2" = 1'-0"



REPLACEMENT GAS PUMPS ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED GAS STATION

SCALE: 1" = 10.0'

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APPROVAL:
CHAIRMAN, PLANNING BOARD OF THE TOWN OF NORTH CASTLE

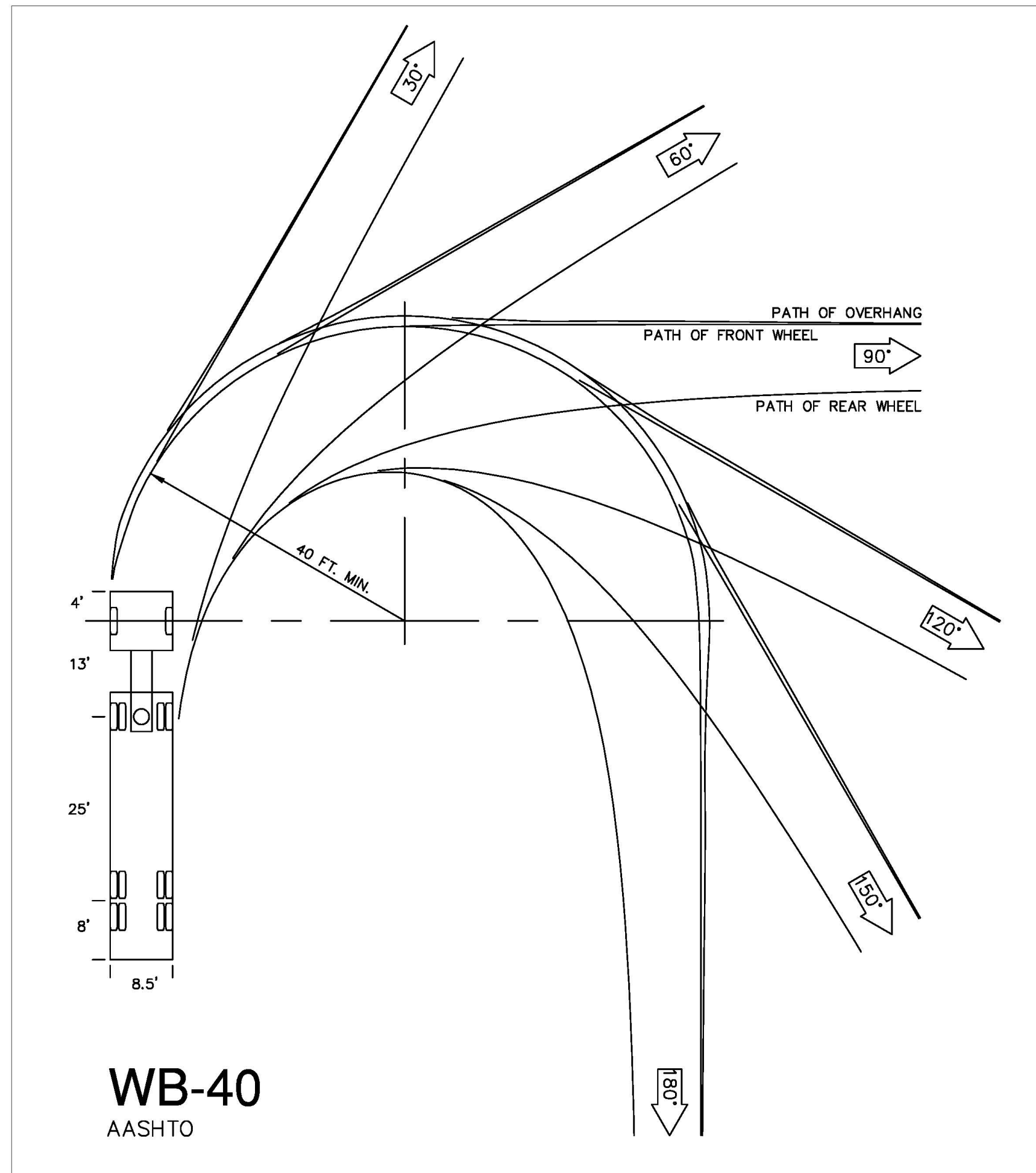
CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

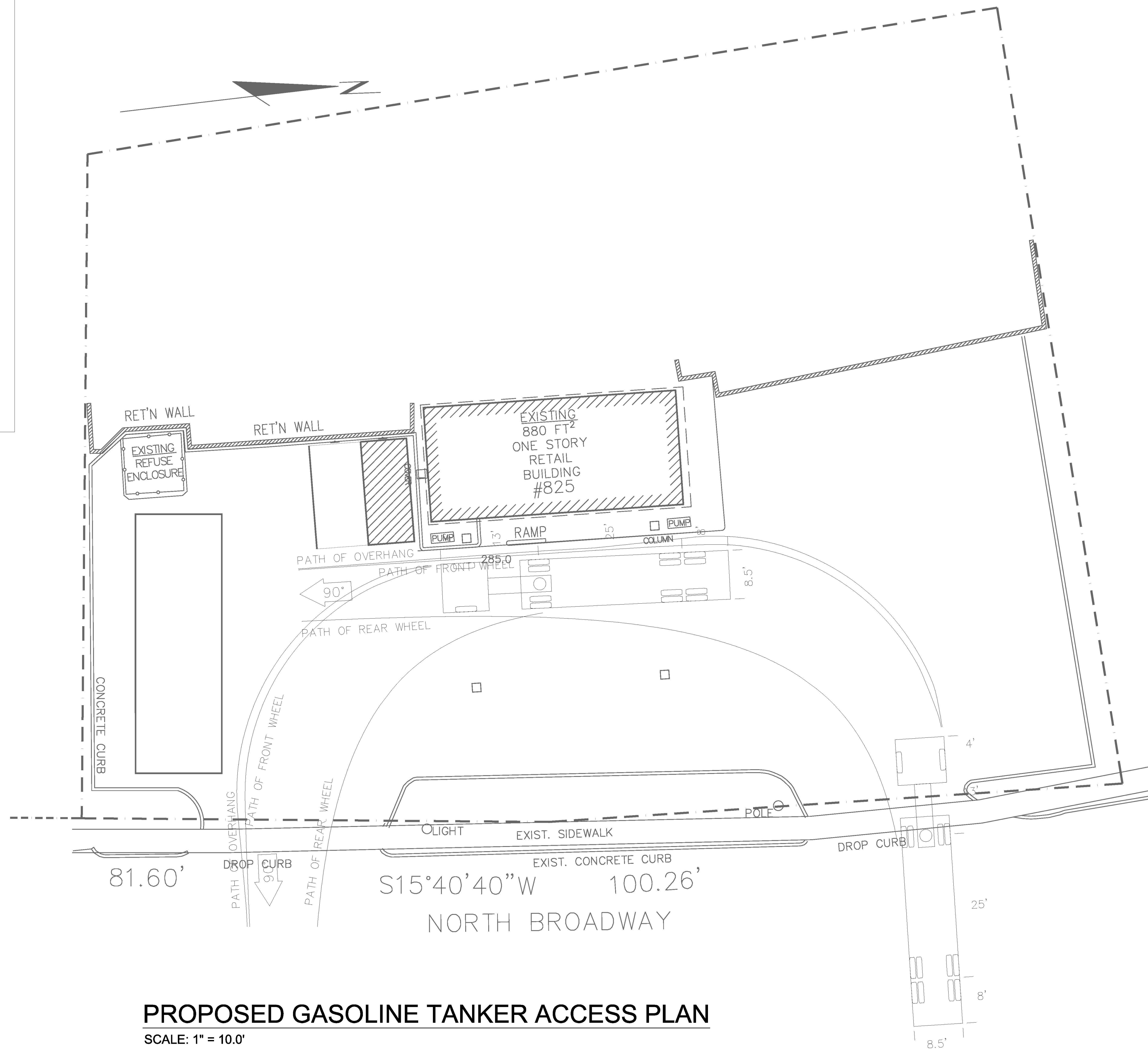
DRAWING TITLE:
GAS STATION

SEAL & SIGNATURE

DATE: 01.14.20
PROJECT No: 2020-04
DRAWING BY: ME
CHK BY: JAG
DWG No.: G3
APPL. No.:



AASHTO STANDARD TURNING RADII
SCALE: NTS



PROPOSED GASOLINE TANKER ACCESS PLAN
SCALE: 1" = 10.0'

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CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
GASOLINE
TANKER
ACCESS

SEAL & SIGNATURE 	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: G4
	APPL. No.:

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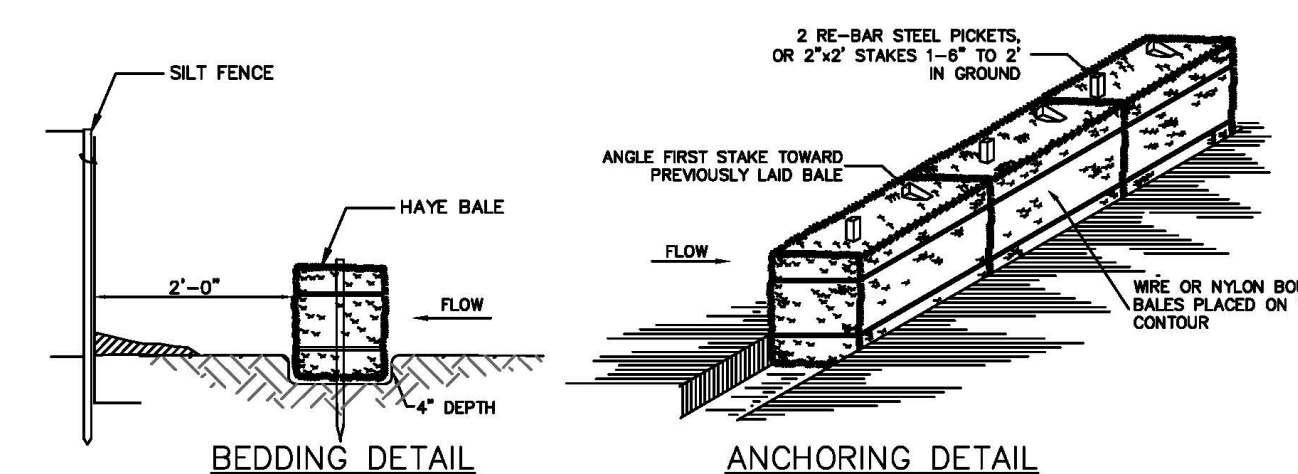
CHAIRMAN SIGNATURE _____

DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
EROSION CONTROL

SEAL & SIGNATURE 	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: C1
	APPL. No.:

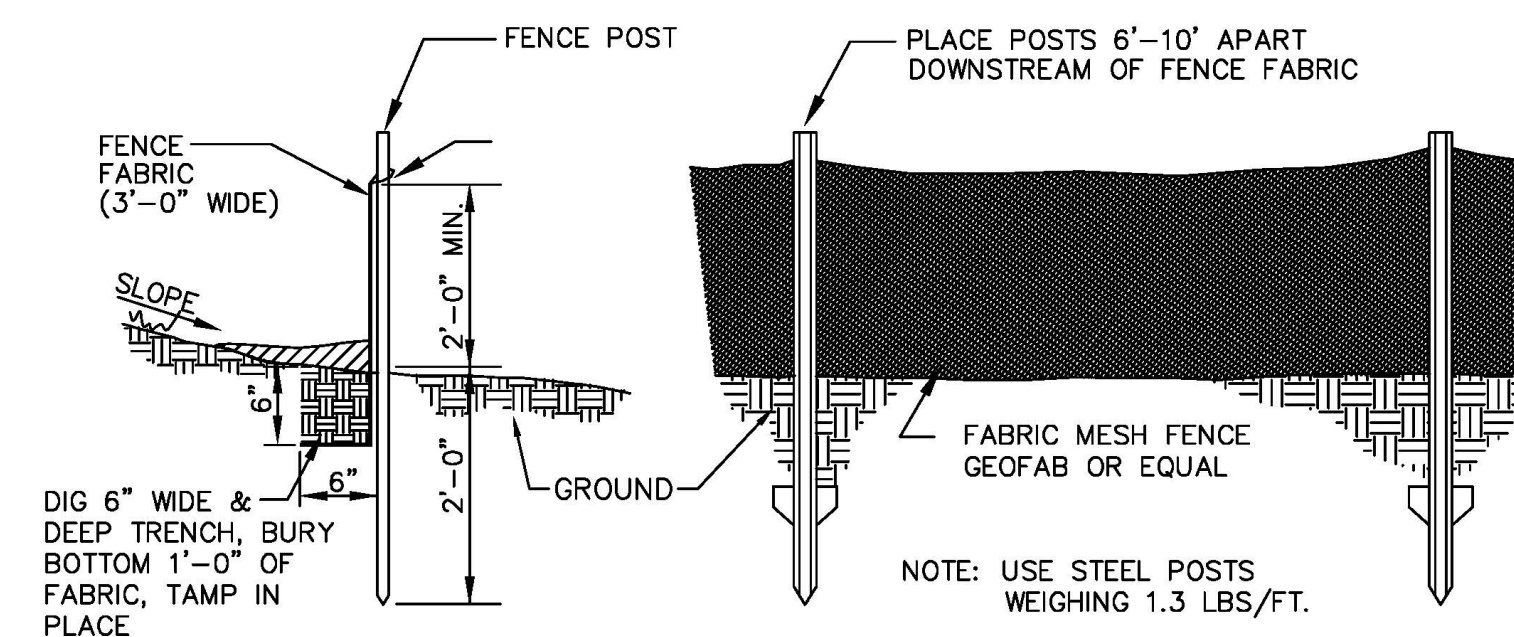


HAYBALE DETAIL (TYPICAL)

SCALE: N.T.S.

INSTALLATION NOTES:

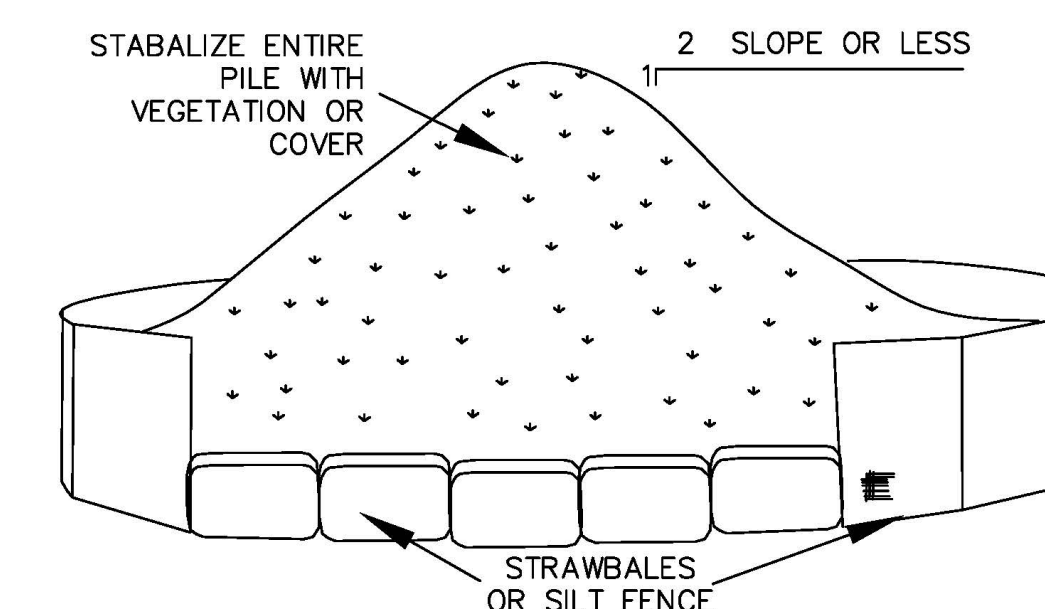
- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BAR DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



NOTE:
AT THE COMPLETION OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MUST BE COMPLETELY REMOVED AND THE EMBEDMENT TRENCH RESTORED TO A NATURAL CONDITION.

SILT FENCE DETAIL

SCALE: N.T.S.

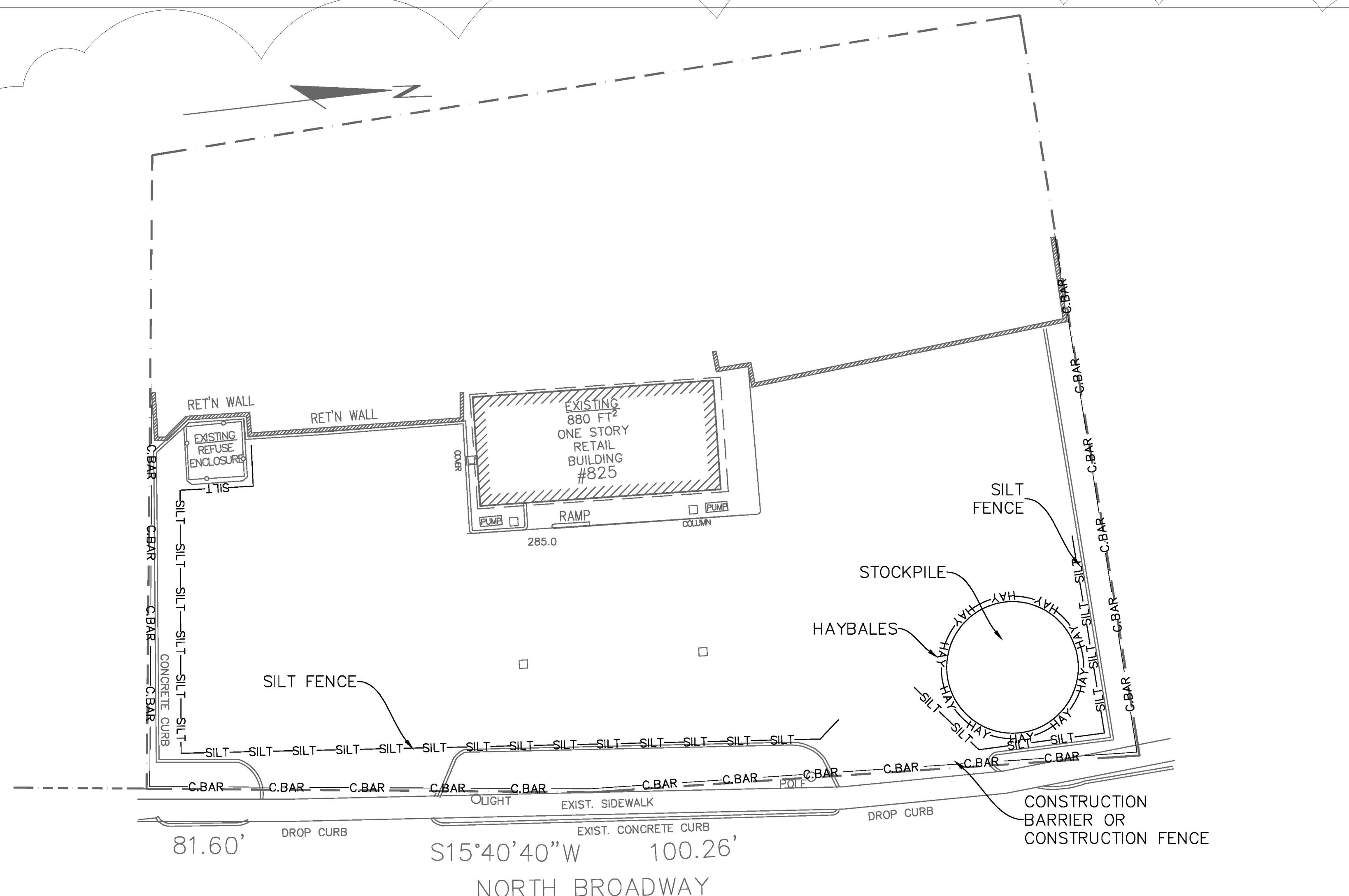


TOPSOIL STOCKPILE

SCALE: N.T.S.

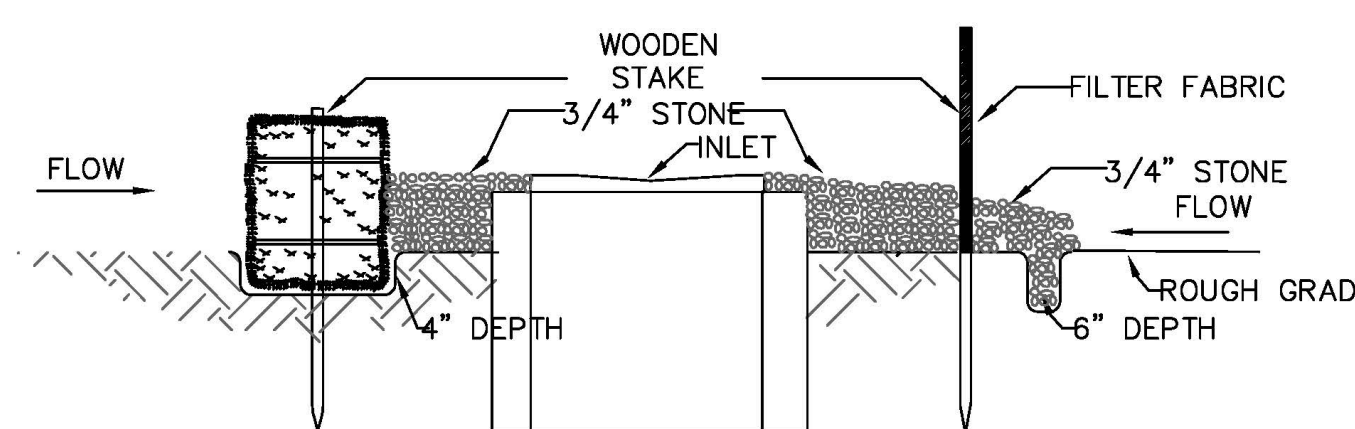
INSTALLATION NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.



EROSION CONTROL PLAN

SCALE: N.T.S.



INLET PROJECTION

SCALE: N.T.S.

INSTALLATION NOTES:

STRAWBALES

- PLACE BALES OF STRAW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES TO SURROUND THE INLET. WHERE SLOPE AND SPACE PERMIT, ESTABLISH THE LINE OF BALES 2 TO 10 FEET AWAY FROM THE INLET. ANCHOR BALES IN PLACE BY DRIVING REBARS IN 2"x2" STAKES THROUGH THE BALES. SUPPLEMENT WITH GRAVEL, PILED AGAINST THE BALES.
- SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
- THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINS DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE

- EXCAVATE A 6 INCH x 6 INCH TRENCH, OFFSET APPROXIMATELY 2 FEET FROM THE INLET PERIMETER.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
- JOIN SECTIONS AS SHOWN ABOVE. SUPPLEMENT WITH GRAVEL, PILED AGAINST THE FENCE.

WORK WITH R-O-W NOTES:

WORK WITHIN NEW YORK STATE RIGHT-OF-WAY (R-O-W) WILL REQUIRE A NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) HIGHWAY WORK PERMIT. OWNER/CONTRACTOR TO APPLY.

DRAWINGS NOTES:

THE NOTES AND DRAWINGS PROVIDED HEREIN WERE COPIED FROM BOOK 3 SHEETS 608-01 OF THE NEW YORK STATE STANDARD SHEETS PUBLISHED BY THE DEPARTMENT OF TRANSPORTATION ON JANUARY 1, 2018. CONTRACTOR SHALL FOLLOW NYSDOT REQUIREMENTS WHEN REPAIRING SIDEWALK WITH THE R-O-W

GENERAL NOTES:

- THESE DRAWINGS ARE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA), AND THE REQUIREMENTS OF THE 2011 PROPOSED ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY (PROWAG).
- DIMENSIONS SHOWN IN THE DETAILS AS MINIMUMS AND MAXIMUMS ARE THE LIMITS FOR DESIGN AND FIELD LAYOUT. FACILITIES SHALL NOT BE CONSTRUCTED WITH VALUES OUTSIDE THE LIMITS FOR WORK ACCEPTANCE. SEE TABLE "DESIGN ELEMENT TOLERANCES" ON THIS SHEET. FURTHER INFORMATION IS PROVIDED ON "CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT, AND ACCEPTANCE OF PEDESTRIAN FACILITIES" AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 18 WEBSITE.
- NOT ALL FACILITIES CAN BE CONSTRUCTED TO MEET THE DESIGN STANDARDS. FACILITIES THAT CANNOT BE CONSTRUCTED TO MEET THE DESIGN STANDARDS SHALL BE CONSTRUCTED TO MEET THE STANDARDS TO THE GREATEST EXTENT PRACTICABLE. NONSTANDARD FEATURES SHALL BE JUSTIFIED PER HIGHWAY DESIGN MANUAL CHAPTER 2, EXHIBIT 2-15A.
- TO CHECK FIELD LAYOUT AND TO VERIFY WORK ACCEPTANCE, ALL SLOPES AND GRADES WILL BE MEASURED WITH A 4 FOOT LONG DIGITAL LEVEL USING AT LEAST TWO READINGS. WHERE THE READINGS VARY, THE MEASUREMENTS WILL BE AVERAGED. GRADE (RUNNING) WILL BE MEASURED ALONG THE CENTERLINE AND OFFSET 12" TO 18" FROM THE CENTERLINE. CROSS SLOPES WILL BE MEASURED PERPENDICULAR TO CENTERLINE AT 5' TO 10' INTERVALS.
- GRADES (RUNNING SLOPES) ARE MEASURED IN THE DIRECTION OF PEDESTRIAN TRAVEL. CROSS SLOPES ARE MEASURED PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
- JOINTS BETWEEN SIDEWALKS, CURB RAMPS, TURNING SPACES AND ROADWAYS SHALL BE FLUSH AND FREE FROM ABRUPT VERTICAL CHANGES GREATER THAN 1/8". VERTICAL SURFACE DISCONTINUITIES BETWEEN 1/8" AND 1/4" SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. THE BEVEL SHALL BE APPLIED ACROSS THE ENTIRE JOINT. SEE DETAIL ON SHEET 2 OF 9.
- SIDEWALKS ARE CONNECTED TO ROADWAYS BY EITHER BLENDED TRANSITIONS OR CURB RAMPS. BLENDED TRANSITIONS ARE CONNECTIONS BETWEEN THE SIDEWALK LEVEL AND THE ROADWAY LEVEL THAT HAVE A MAXIMUM GRADE (RUNNING SLOPE) OF 5%, AND TRANSITIONS GREATER THAN 5% ARE CONSIDERED CURB RAMPS.

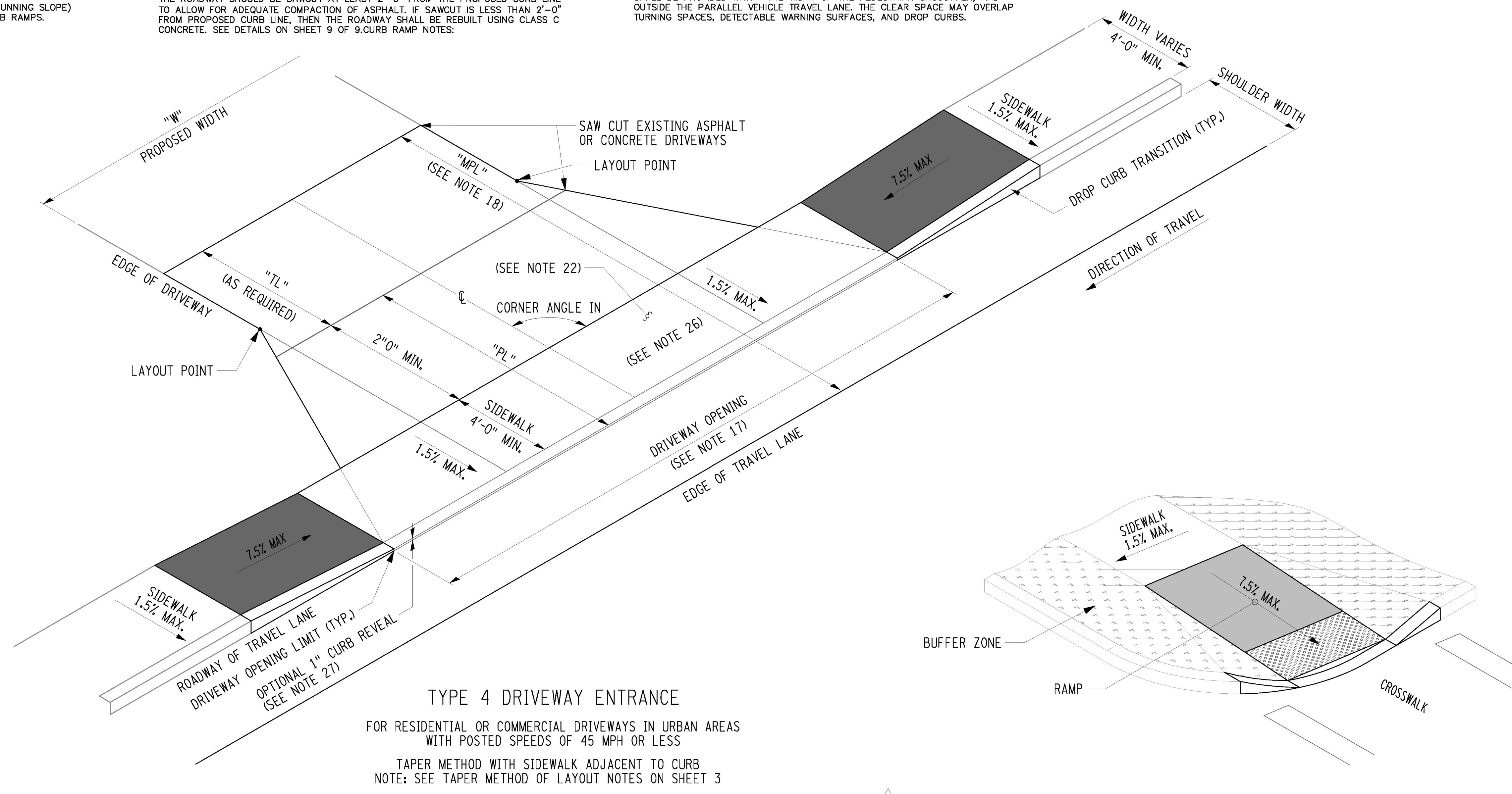
- CURB RAMPS AND BLENDED TRANSITIONS MAY REQUIRE THE INSTALLATION OF DETECTABLE WARNINGS. SEE ADDITIONAL "DETECTABLE WARNING NOTES" ON THIS SHEET, AND DETAILS ON SHEET 2 OF 9 FOR DIMENSIONS, ORIENTATION AND INSTALLATION.
- VERTICAL ALIGNMENT SHALL BE GENERALLY PLANAR. GRADE BREAKS WITHIN THE PEDESTRIAN ACCESS ROUTE SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL AND SHALL NOT BE ROUNDED.
- MATERIAL DEPTHS SHOWN ON THESE SHEETS ARE TYPICAL MINIMUM VALUES AND MAY BE DIFFERENT IN THE CONTRACT DOCUMENTS.
- SIDEWALK GRADE (RUNNING SLOPE) SHALL NOT BE DESIGNED TO EXCEED 4.5%, EXCEPT WHEN MATCHING INTO EXISTING SIDEWALK OR WHEN THE HIGHWAY GRADE IS STEEPER. WHEN HIGHWAY GRADE IS GREATER THAN 5%, THE SIDEWALK GRADE SHALL NOT EXCEED THE HIGHWAY GRADE.
- THE CROSS SLOPE OF PEDESTRIAN ACCESS ROUTES SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE. THE FOLLOWING EXCEPTIONS ARE ALLOWED:
 - WHERE PEDESTRIAN STREET CROSSINGS ARE PROVIDED AT INTERSECTIONS WITHOUT YIELD OR STOP CONTROL OR WHERE THERE IS ANY TRAFFIC SIGNAL WITHOUT A FLASHING RED, THE CROSS SLOPE OF A PEDESTRIAN ACCESS ROUTE CONTAINED WITHIN A STREET CROSSING SHALL BE 4.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 5% MAXIMUM FOR WORK ACCEPTANCE.
 - WHERE MIDBLOCK PEDESTRIAN STREET CROSSINGS ARE PROVIDED, THE CROSS SLOPE OF A PEDESTRIAN ACCESS ROUTE CONTAINED WITHIN A MIDBLOCK STREET CROSSING SHALL BE PERMITTED TO EQUAL THE STREET OR HIGHWAY GRADE.
- THE MINIMUM CLEAR WIDTH FOR PEDESTRIAN ACCESS ROUTES IS 4'-0", EXCLUSIVE OF THE CURB. WHEN WALKWAY WIDTHS ARE LESS THAN 5'-0", 5'-0" x 5'-0" PASSING SPACES (SHOWN IN DETAIL A OR B), OR A FEATURE OF EQUAL OR GREATER DIMENSIONS (E.G., DRIVEWAYS) THAT MEET THE SLOPE CRITERIA, SHALL BE PROVIDED AT A MAXIMUM INTERVAL OF 200'. EXISTING DRIVEWAYS AND STREET CROSSING MAY ALSO SERVE AS PASSING SPACES.
- THE BUFFER ZONE IS A PHYSICAL DISTANCE SEPARATING THE PEDESTRIAN ACCESS ROUTE FROM THE VEHICLE TRAVELED WAY. THE BUFFER ZONE MAY BE PLANTED OR PAVED. WHERE THE BUFFER ZONE WIDTH, EXCLUSIVE OF CURB, IS LESS THAN 3'-0" THE SURFACE SHOULD BE PAVED OR CONSTRUCTED WITH HARDSCAPE MATERIALS.
- THE MAXIMUM RECOMMENDED CROSS SLOPE OF A TURF BUFFER ZONE OR SLOPE TRANSITION BEHIND SIDEWALK IS 25% BUFFER ZONES WITH A CROSS SLOPE GREATER THAN 25% SHOULD BE PAVED, PLANTED OR CONSTRUCTED WITH HARDSCAPE MATERIALS.
- WHEN CROSSING DRIVEWAYS, THE WORK SHALL BE IN CONFORMANCE WITH STANDARD SHEET 608-03.
- FOR PEDESTRIAN SIGNALS AND PEDESTRIAN PUSH BUTTONS, REFER TO STANDARD SHEET 680-10 FOR DETAILS.
- WHERE EXISTING ROADWAYS ARE SAWCUT TO INSTALL CURBING AND/OR SIDEWALK, THE ROADWAY SHOULD BE SAWCUT AT LEAST 2'-0" FROM THE PROPOSED CURB LINE TO ALLOW FOR ADEQUATE COMPACTION OF ASPHALT. IF SAWCUT IS LESS THAN 2'-0" FROM PROPOSED CURB LINE, THEN THE ROADWAY SHALL BE REBUILT USING CLASS C CONCRETE. SEE DETAILS ON SHEET 9 OF 9. CURB RAMP NOTES:
- THE MINIMUM WIDTH OF A CURB RAMP SHALL BE 4'-0".
- THE GRADE (RUNNING SLOPE) OF A CURB RAMP SHALL BE A MINIMUM OF 5% THE GRADE FOR DESIGN AND LAYOUT SHALL BE A MAXIMUM OF 7.5%. THE GRADE FOR ADA ACCESSIBILITY AND WORK ACCEPTANCE SHALL BE A MAXIMUM OF 8.3%.
- WHERE EXISTING CONDITIONS DO NOT ALLOW THE CONSTRUCTION OF A CURB RAMP WITH A GRADE (RUNNING SLOPE) OF 8.3% OR LESS, THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-1" FOR DESIGN AND FIELD LAYOUT. THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-0" FOR WORK ACCEPTANCE.
- THE CROSS SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS POSSIBLE AND STILL PROVIDE POSITIVE DRAINAGE. THE CROSS SLOPE OF A CURB RAMP SHALL BE 1.5% MAXIMUM FOR DESIGN AND LAYOUT, AND 2% MAXIMUM FOR WORK ACCEPTANCE. SEE NOTE 12 FOR EXCEPTIONS. WHERE THE EXISTING ROADWAY GRADE EXCEEDS 2%, THE CURB RAMP MAY BE WARPED ACCORDING TO THE DETAIL ON SHEET 8 OF 9 TO TIE INTO THE DROP CURB.
- RAMP SIDE OPTIONS ARE DETAILED ON SHEET 3 OF 9 FOR USE WITHIN THE BUFFER ZONE. WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES SHALL BE INSTALLED WITH A MAXIMUM SLOPE OF 9.5% FOR DESIGN AND LAYOUT, AND 10% MAXIMUM FOR WORK ACCEPTANCE. THE SLOPE OF FLARED SIDES IS MEASURED PARALLEL TO THE CURB LINE.
- THE BACKSIDE OF A PARALLEL RAMP SHOULD BE GRADED TO A MAXIMUM SLOPE OF 25% TO MATCH EXISTING TERRAIN, UNLESS OTHERWISE SHOWN IN THE CONTRACT DOCUMENTS. WHERE GRADING IS NOT FEASIBLE DUE TO LIMITED ROW OR PHYSICAL CONSTRAINTS, A BACK CURB MAY BE INSTALLED. SEE DETAILS ON SHEET 3 OF 9 AND SHEET 9 OF 9.
- DEPARTMENT PREFERENCE IS TO INSTALL TWO CURB RAMPS AT A STREET CORNER THAT SERVES BOTH CROSSINGS. WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT TWO CURB RAMPS FROM BEING INSTALLED AT A STREET CORNER THAT SERVES BOTH CROSSINGS, A SINGLE DIAGONAL CURB RAMP WILL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.

TURNING SPACE AND CLEAR SPACE NOTES:

- WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
- WHERE THERE ARE NO VERTICAL CONSTRAINTS AT THE BACK OF SIDEWALK, (E.G., VERTICAL CURB, BUILDINGS, FENCES) THE TURNING SPACE DIMENSIONS SHALL BE 4'-0" x 4'-0" MINIMUM. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4'-0" x 5'-0" MINIMUM. THE 5'-0" DIMENSION SHALL BE PROVIDED PERPENDICULAR TO THE CONSTRAINT.
- TURNING SPACES SHALL NOT BE DESIGNED WITH CROSS SLOPE GREATER THAN 1.5% IN ANY DIRECTION, WHILE PROVIDING POSITIVE DRAINAGE. THE MAXIMUM CROSS SLOPE FOR WORK ACCEPTANCE IS 2.0%. A NONSTANDARD FEATURE JUSTIFICATION IS REQUIRED WHERE TURNING SPACES EXCEED 2.0% IN ANY DIRECTION.
- BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'-0" x 4'-0" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES, AND DROP CURBS.

DETECTABLE WARNING NOTES:

- DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS ON PEDESTRIAN ACCESS ROUTES:
 - CURB RAMPS AND BLENDED TRANSITIONS AT PEDESTRIAN STREET CROSSINGS.
 - PEDESTRIAN REFUGE ISLANDS (WHERE THE LENGTH OF THE PEDESTRIAN ACCESS ROUTE ACROSS THE REFUGE ISLAND IS GREATER THAN OR EQUAL TO 6 FEET).
 - PEDESTRIAN AT-GRADE RAIL CROSSINGS NOT LOCATED WITHIN A STREET OR HIGHWAY.
- DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAY APRONS.
- SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION. IF REQUIRED, THE BORDER SHALL NOT EXCEED 2". WHERE THE BACK OF CURB EDGE IS TOOLED TO PROVIDE A RADIUS, THE BORDER DIMENSION SHALL BE MEASURED FROM THE INSIDE EDGE OF THE CURB RADIUS.
- THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT IS FOR ILLUSTRATION ONLY. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUDING ANY FLARED SIDES. THE WIDTH OF THE DETECTABLE WARNING FIELD INCLUDES A CONCRETE BORDER, IF PROVIDED.
- ON SLOPES OF 5% OR GREATER, THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE LOWER GRADE BREAK ON THE RAMP RUN. WHERE DOMES ARE ARRANGED RADially THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON SHEET 2. ON SLOPES LESS THAN 5%, DOME ORIENTATION IS LESS CRITICAL AND MAY DIFFER FROM PERPENDICULAR OR RADIAL ALIGNMENT TO THE GRADE BREAK.
- THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



TYPE 4 DRIVEWAY ENTRANCE
 FOR RESIDENTIAL OR COMMERCIAL DRIVEWAYS IN URBAN AREAS
 WITH POSTED SPEEDS OF 45 MPH OR LESS
 TAPER METHOD WITH SIDEWALK ADJACENT TO CURB
 NOTE: SEE TAPER METHOD OF LAYOUT NOTES ON SHEET 3

OPTION B: GRADED EARTH

Gibbons Engineering, PC

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 gibbonsengineering@yahoo.com

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3	04.04.22	P.B. REVISION
4	10.31.22	P.B. REVISION

APPROVAL:
 CHAIRMAN, PLANNING BOARD
 OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____

DATE: _____

PROJECT:
 825
 NORTH BROADWAY
 WHITE PLAINS
 10603

DRAWING TITLE:
 NYSDOT
 STANDARD
 DETAILS



DATE:	01.14.20
PROJECT No:	2020-04
DRAWING BY:	ME
CHK BY:	JAG
DWG No.:	C2
APPL. No.:	

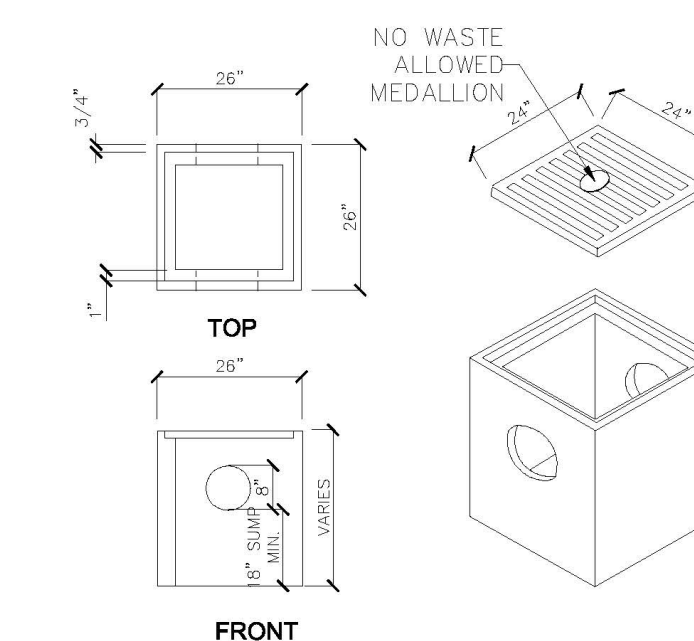
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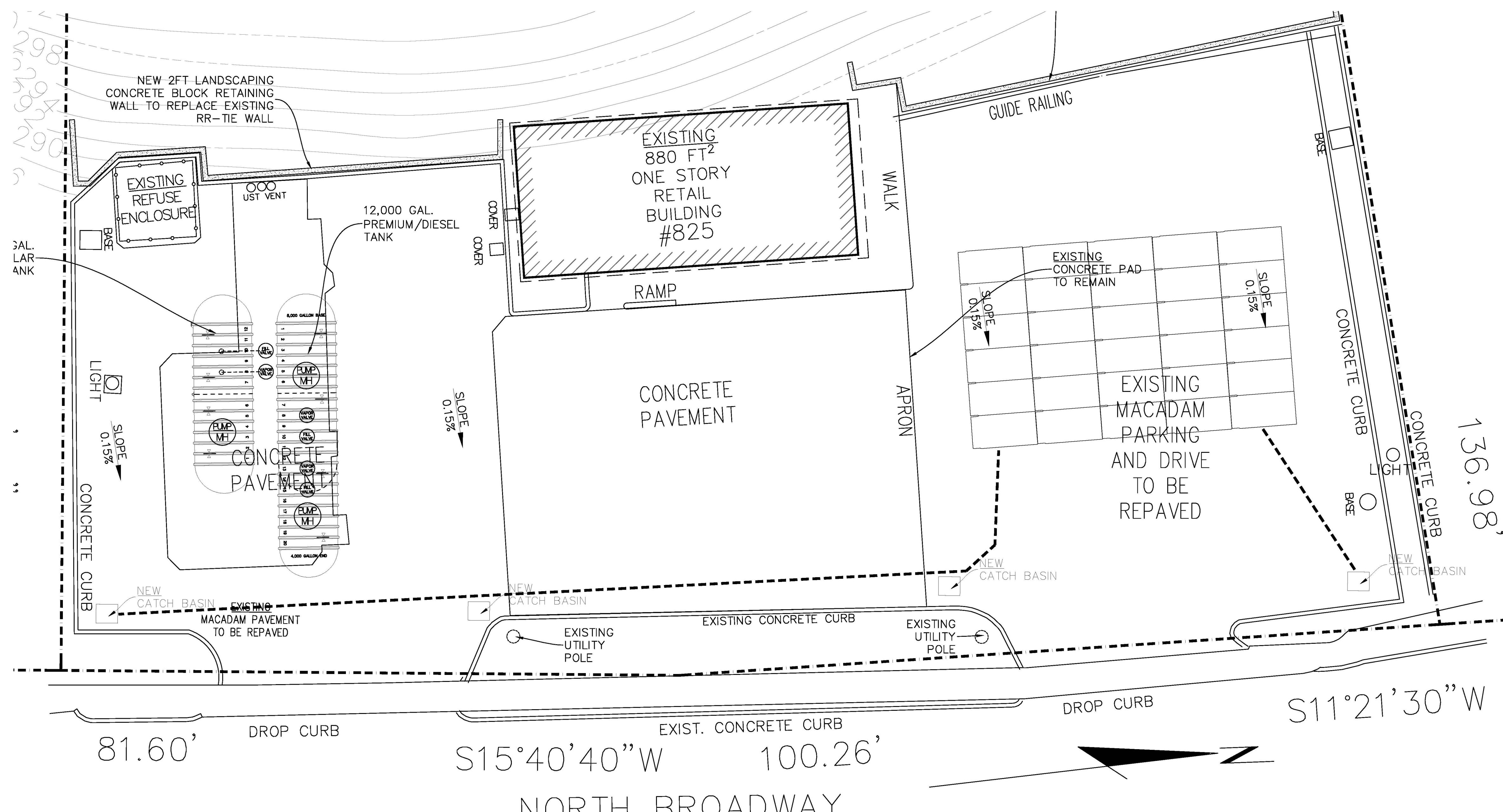
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CATCH BASIN DETAILS
SCALE: NTS



GENERAL NOTES
RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12' (3.65m)
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

APPROVAL:
CHAIRMAN, PLANNING BOARD OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE: _____
DATE: _____

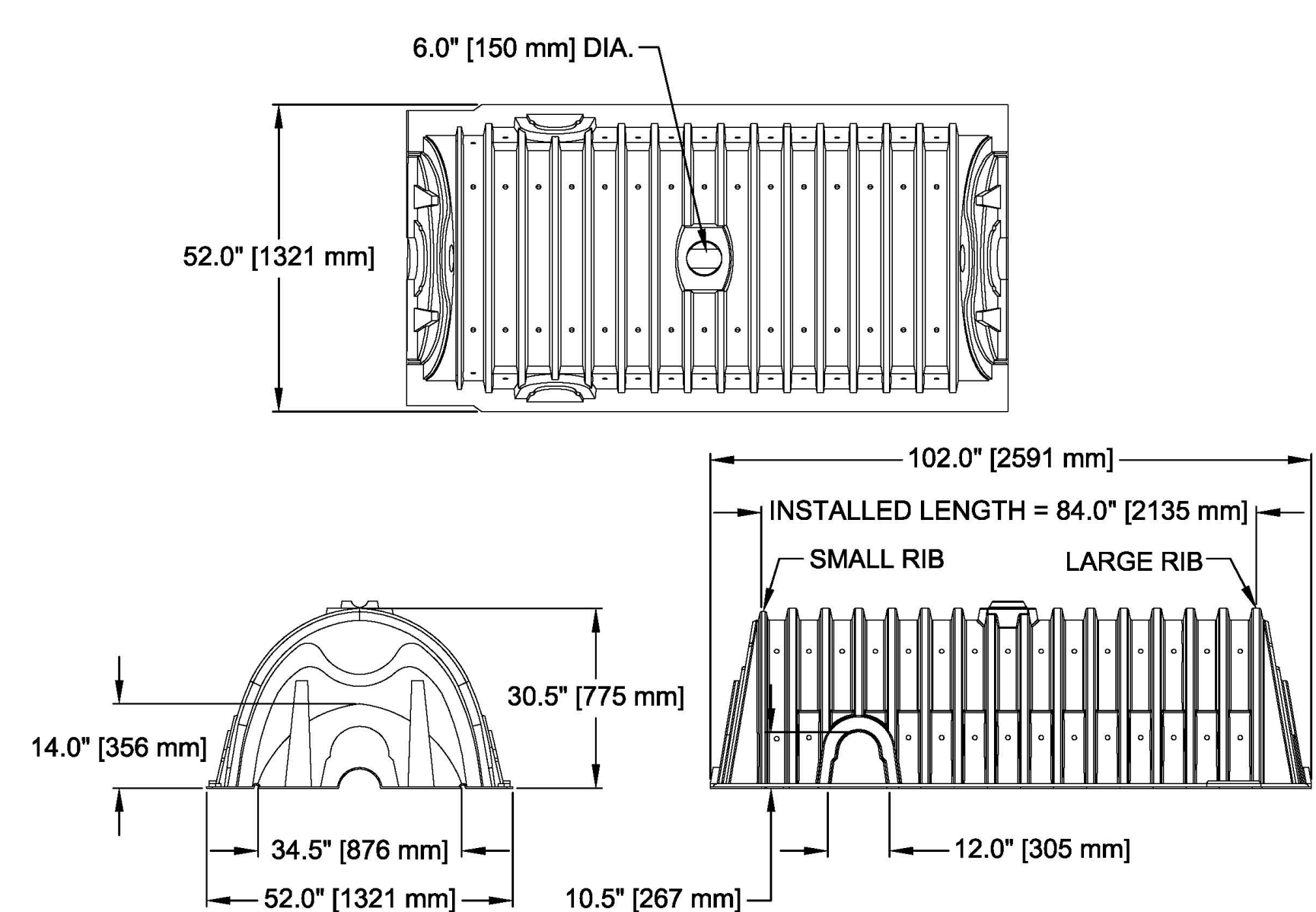
PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
STORMWATER
MANAGEMENT
PLAN

SEAL & SIGNATURE:
DATE: 01.14.20
PROJECT No.: 2020-04
DRAWING BY: ME
CHK BY: JAG
DWG No.: C3
APPL. No.:

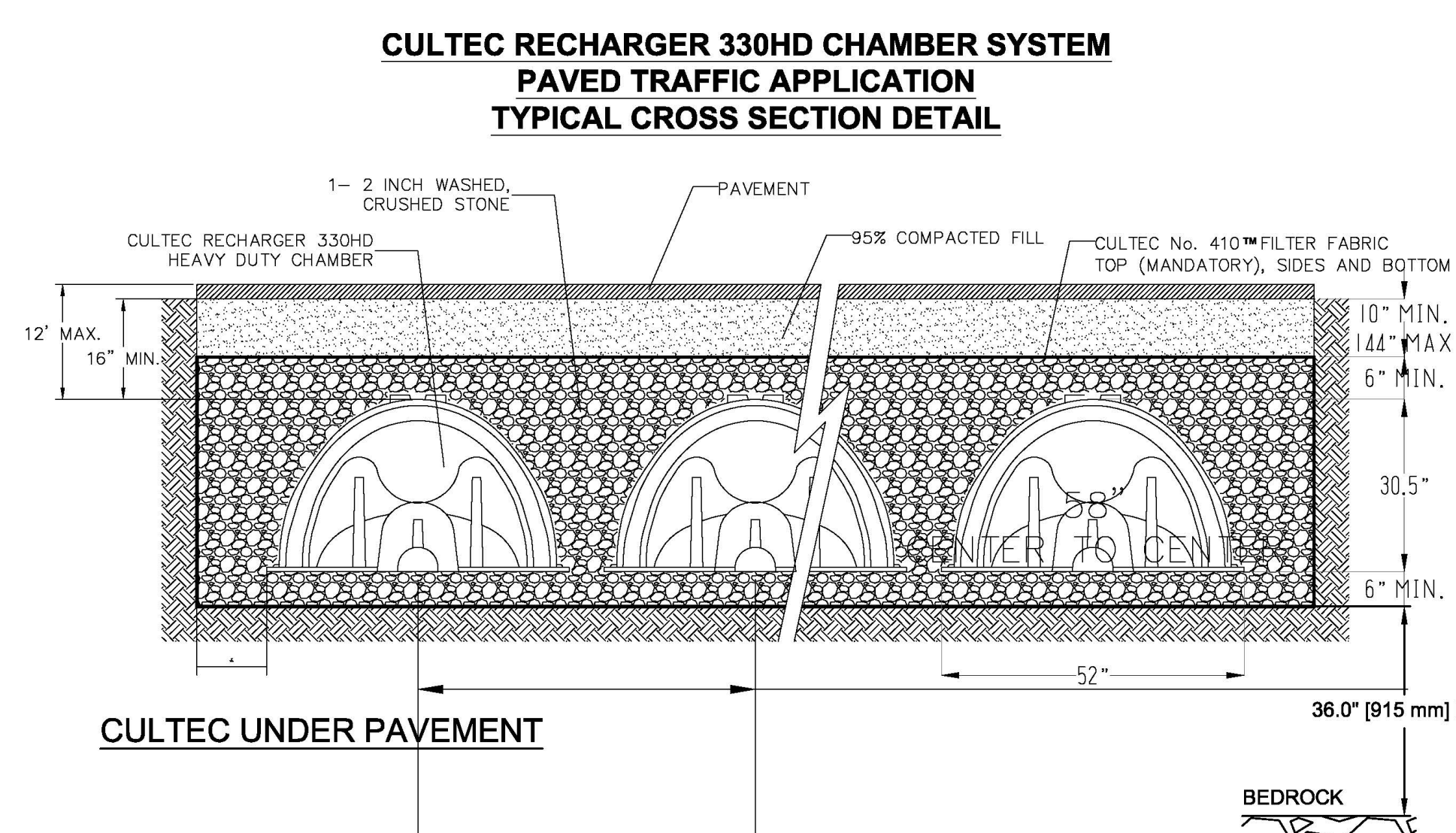
STORM WATER MANAGEMENT CALCULATIONS

- BASED ON 25 YEAR EVENT = 6.0"
- NEW IMPERVIOUS SURFACE = 11565 FT²
- EXIST. SOIL TYPE IN AREA OF WORK IS Uf (Urban Land)
- Uf SOIL PERCOLATION RATE RANGE FROM 0.57 TO 5.95 INCH PER HOUR
- EXIST. HYDROLOGIC CONDITION = URBAN DISTRICTS -COMMERCIAL, BUSINESS
- EXIST. HYDROLOGIC SOIL GROUP = B
- EXIST. AREA CURVE NUMBER CN = 72
- EXIST. STORMWATER RUN-OFF = 3.28"
- EXIST. VOLUME RUN-OFF = 3161 FT³
- NEW IMPERVIOUS SURFACE CN=98
- NEW STORMWATER RUNOFF = 5.76"
- NEW VOLUME RUN OFF = 5551 FT³
- NET INCREASE RUN-OFF VOLUME = 2360 CF
- ESTIMATED SOIL PERCOLATION RATE = 0.6 INCH PER HOUR (WORST CASE)
- CAPACITY OF CULTEC CHARGER 330XLHD DRY WELL = 11.32 CF/LF OF INSTALLED UNIT
- CALCULATED NUMBER OF REQUIRED DRY WELL LENGTH = 2360/11.32 = 208.48 LF
- NUMBER OF UNIT @ 7 FT PER UNIT = 29.78 = 30 UNITS



CULTEC RECHARGER 330XLHD CHAMBER STORAGE = 7.459 CF/FT [0.693 m3/m]
INSTALLED LENGTH ADJUSTMENT = 1.5' [0.46 m]
ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
SIDE PORTAL ACCEPTS CULTEC HVLV FC-24 FEED CONNECTOR.

DRY WELL DETAILS
SCALE: NTS

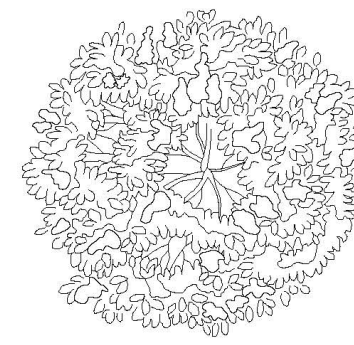


CULTEC UNDER PAVEMENT

TREE PLANTING SCHEDULE

COMMON NAME	Botanical name	MATURITY HEIGHT (ft)	MATURITY WIDTH (ft)	MATURITY AGE (years)	QTY	PLANTING SIZE (height-ft)	COMMENT
AMERICAN BOXWOOD	<i>Buxus sempervirens</i>	15	10	15	3	2	BALLED AND BURLAP

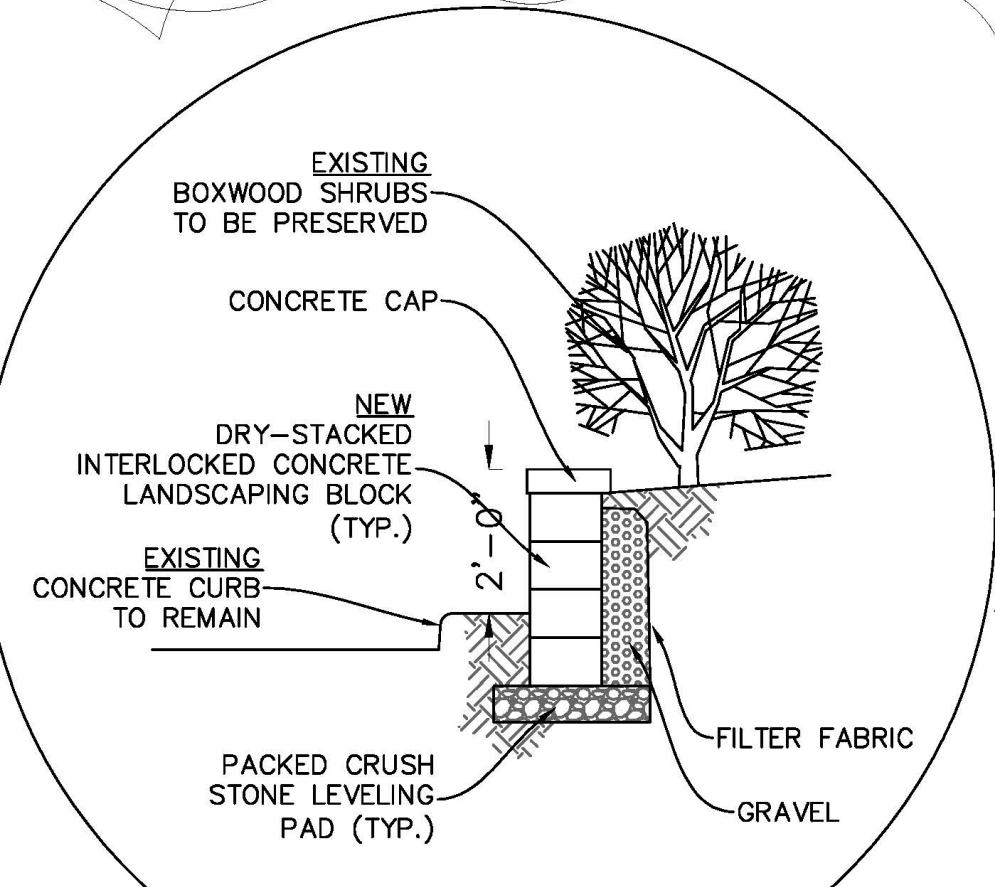
LANDSCAPING LEGEND



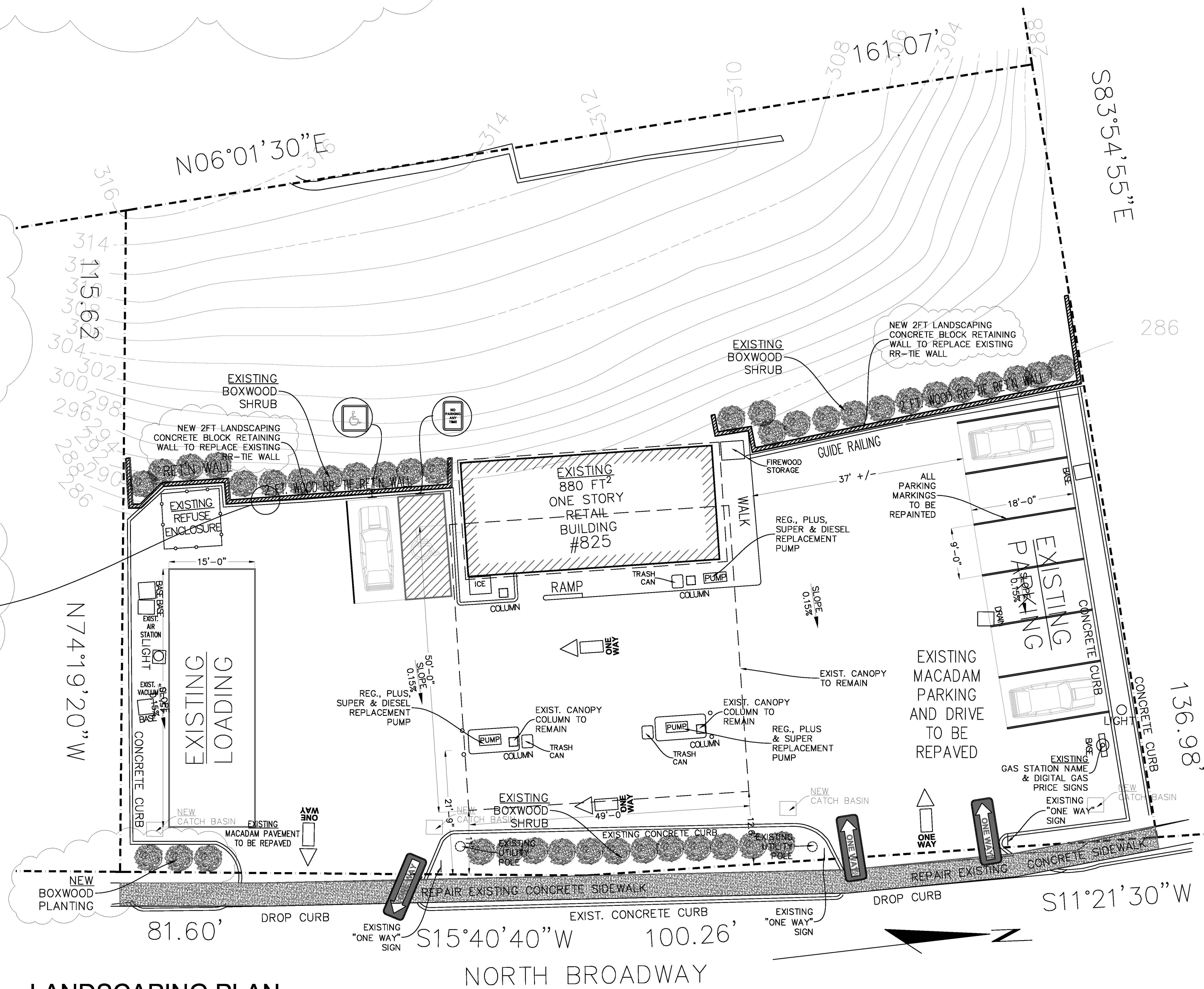
AMERICAN BOXWOOD
(*Buxus sempervirens*)

PLANTING NOTES:

- EXISTING BOXWOOD SHRUBS BEHIND RR-TIE WALL BE TEMPORARY REMOVED TO REPAIR THE WALL.
- THE PLANTS SHALL BE REMOVED AND STORED IN ACCORDANCE WITH BEST PRACTICES.
- PLANTS THAT ARE DAMAGED AND CANNOT NOT BE REPLANTED SHALL BE REPLACED WITH LIKE-AND-KIND.



LANDSCAPING BLOCK RETAINING WALL SECTION (TYP.)
SCALE: 3/8" = 1'-0"



LANDSCAPING PLAN
SCALE: 1" = 10.0'

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APPROVAL:
CHAIRMAN, PLANNING BOARD OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825 NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
LANDSCAPING PLAN

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
DWG No.: 1	APPL. No.:

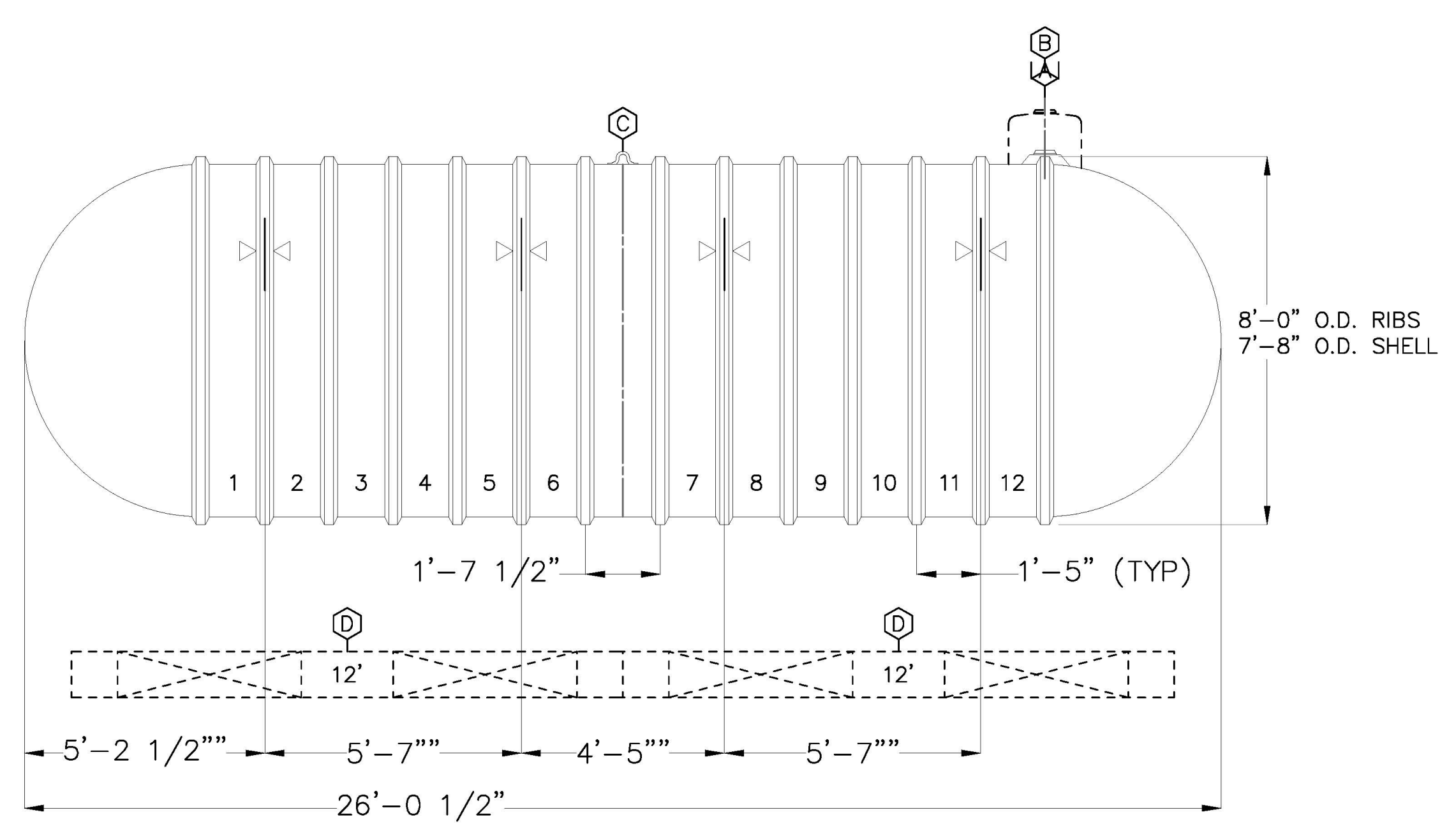
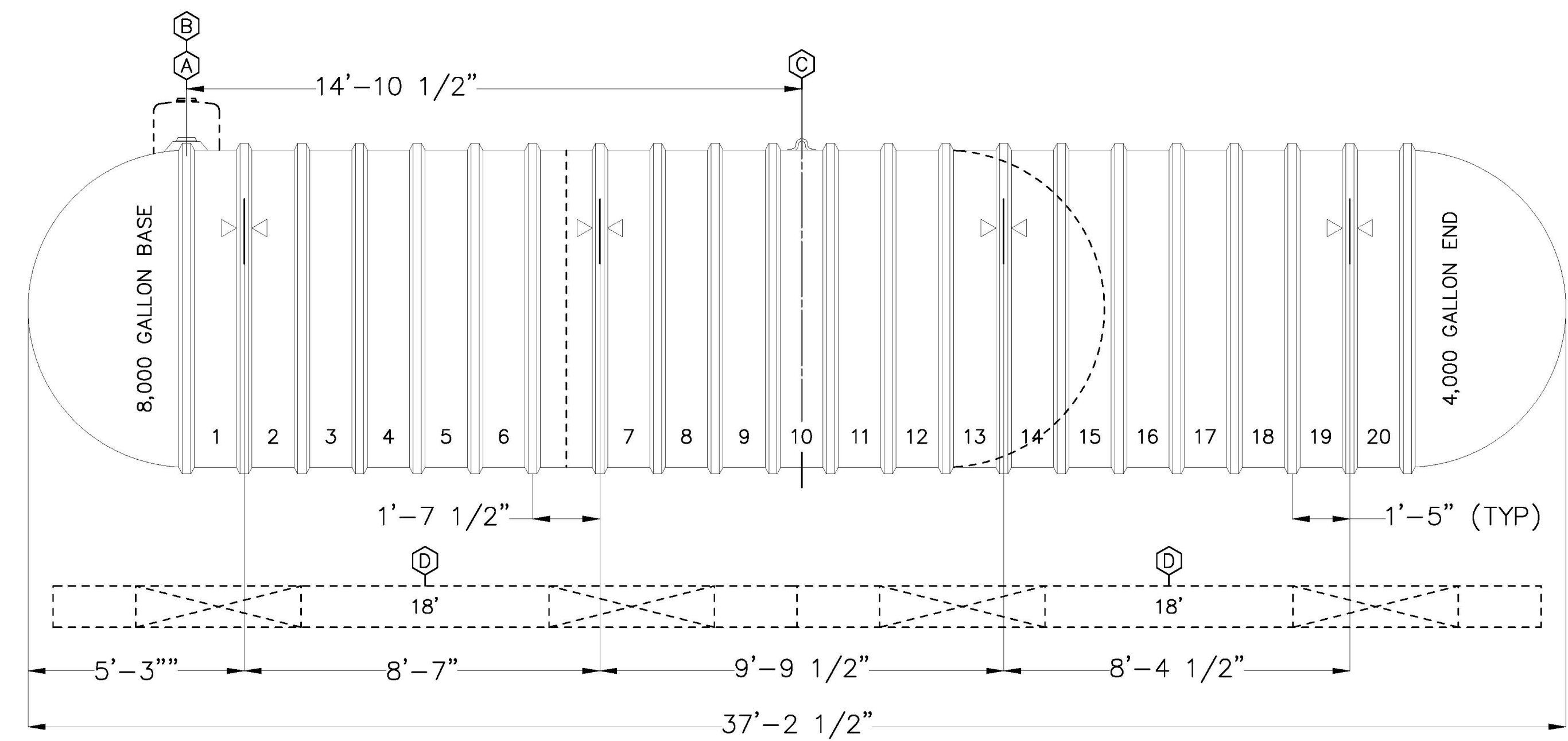
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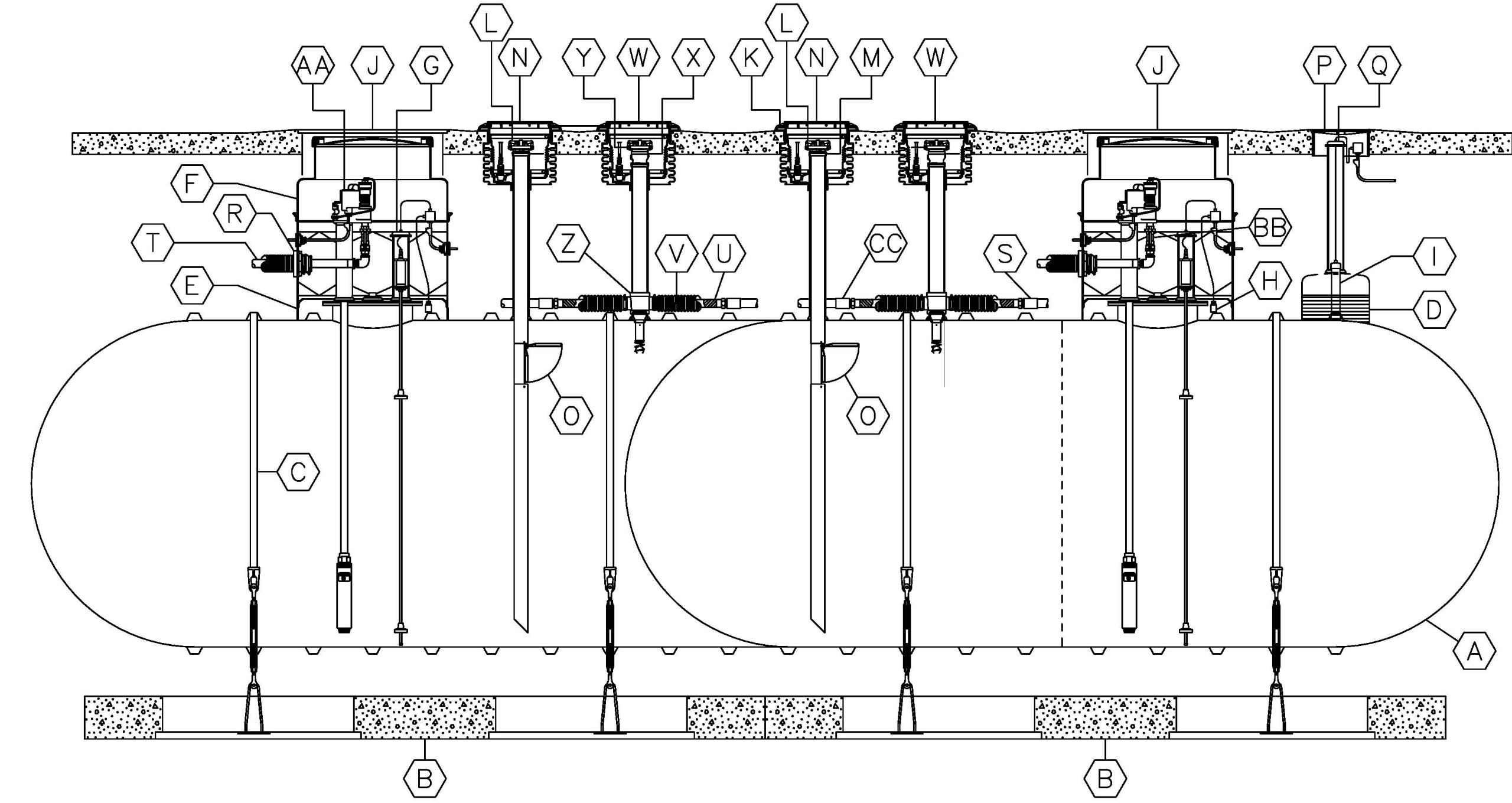
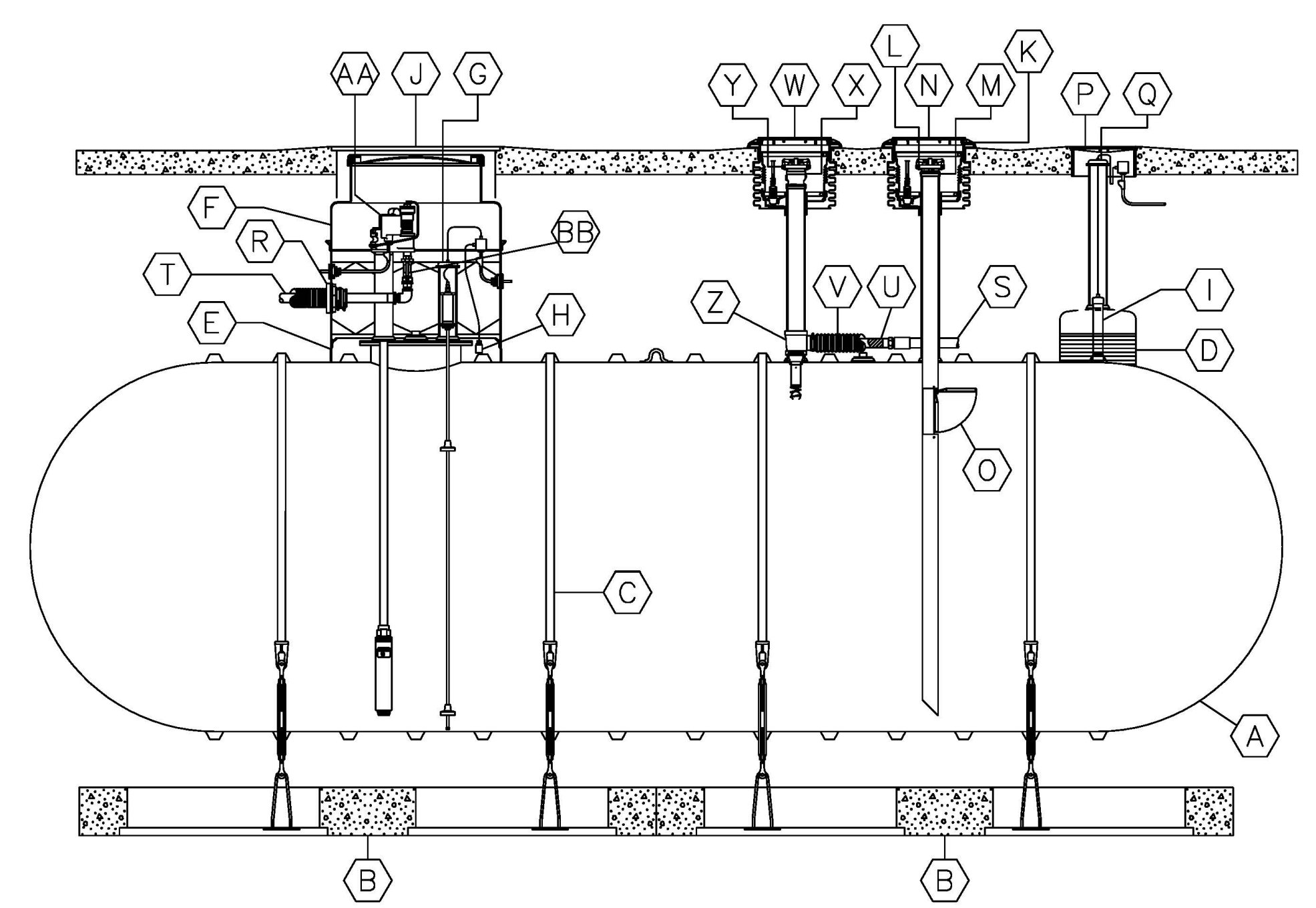
XERXES® UST – 8' DIA. 12,000 GAL TWO COMPARTMENT TANK

XERXES® UST – 8' DIA. 8,000 GAL SINGLE COMPARTMENT TANK

ITEM	QTY	DESCRIPTION
(A)	1	4" NPT MONITOR FITTING
(B)	1	OPTIONAL 18" DIA. HYDROSTATIC MONITORING RESERVOIR WITH 4" NPT FITTING
(C)	1	LIFTING LUG
(D)	4	CONCRETE DEADMAN
(X)	4	HOLD DOWN STRAP LOCATION

UNDERGROUND STORAGE TANKS ELEVATION

SCALE: 3/8" = 1'-0"



XERXES® UST SINGLE COMPARTMENT TANK

XERXES® UST TWO COMPARTMENT TANK

ITEM	EQUIPMENT LISTING	ITEM	EQUIPMENT LISTING	ITEM	EQUIPMENT LISTING
A	DOUBLE WALL FIBERGLASS STORAGE TANK	J	LARGE ROUND MANHOLE	T	DOUBLE WALL PRODUCT SUPPLY PIPING
B	XERXES PRECAST CONCRETE DEADMEN SYSTEM	K	FIVE GALLON SPILL FILL MANHOLE	U	FLEXIBLE CONNECTOR
C	FIBERGLASS HOLD DOWN STRAP WITH TURNBUCKLE ASSY.	L	FILL CAP	V	FLEXIBLE CONNECTOR BOOT
D	HYDROSTATIC MONITORING SYSTEM	M	FILL ADAPTER	W	STAGE 1 VAPOR RECOVERY MANHOLE
E	42" DIA FIBERGLASS CONTAINMENT COLLAR	N	PRODUCT LABEL MARKER	X	STAGE 1 VAPOR CAP
F	42" DIA FIBERGLASS 8 SIDED SW CONTAINMENT SUMP WITH 32" DIA WATERTIGHT TOP	O	OVERFILL PREVENTION VALVE	Y	STAGE 1 VAPOR CHECK VALVE ADAPTER
G	LEVEL PROBE	P	MONITORING MANHOLE	Z	EXTRACTOR ASSEMBLY
H	DISTINGUISHING LEAK SENSOR	Q	4" SENSOR CAP	AA	SUBMERSIBLE TURBINE PUMP
I	HYDROSTATIC MONITOR SENSOR	R	FLEXIBLE ENTRY BOOT	BB	FULL PORT BALL VALVE
		S	SINGLE WALL VENT PIPING	CC	SINGLE WALL STAGE 2 VAPOR RECOVERY PIPING

UST EQUIPEMNT DETAILS (TYP.)

SCALE: 3/8" = 1'-0"

APPROVAL:
CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

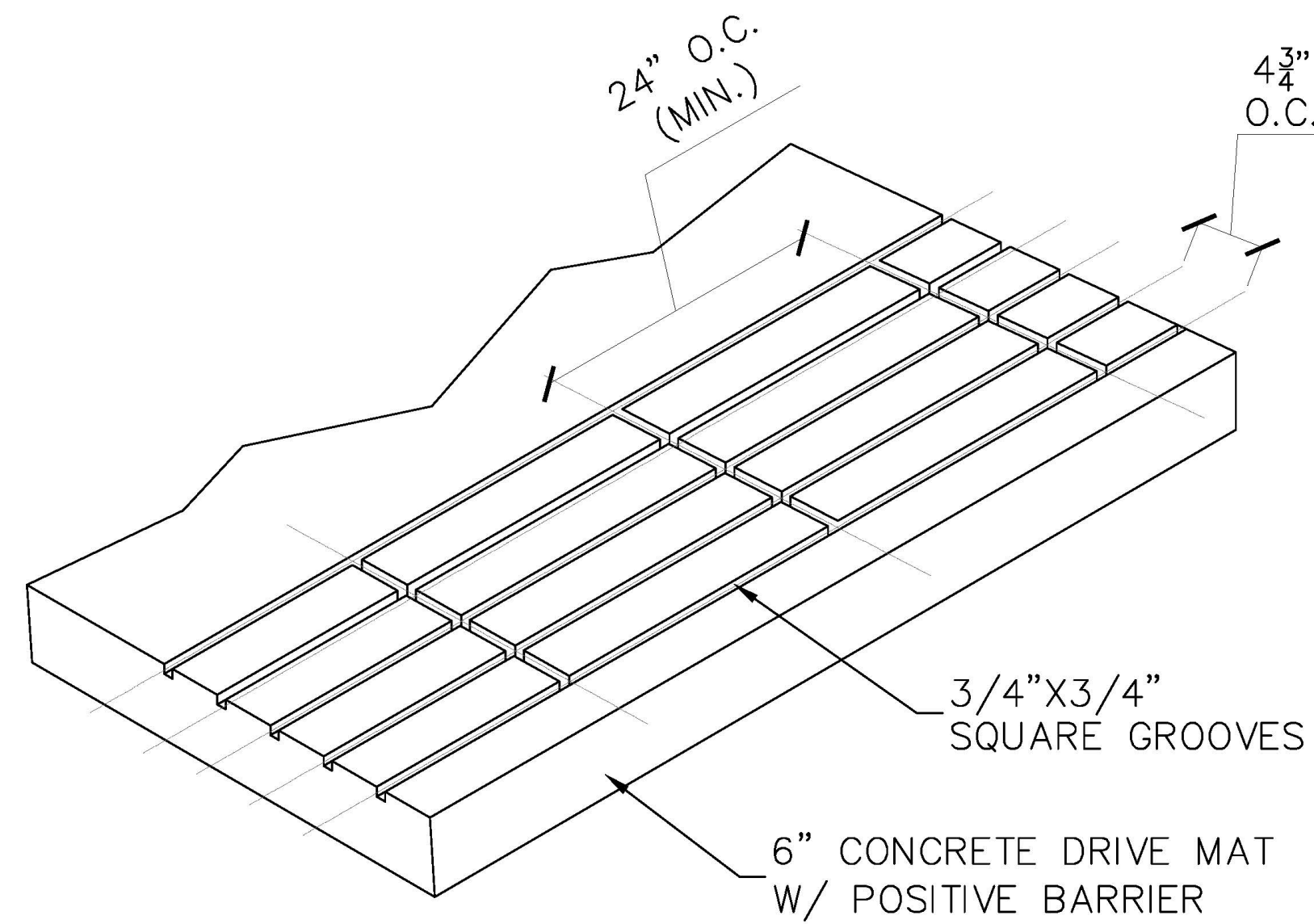
CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
UNDERGROUND
STORAGE
TANKS

SEAL & SIGNATURE

DATE: 01.14.20
PROJECT No: 2020-04
DRAWING BY: ME
CHK BY: JAG
DWG No.: UST1
APPL. No.:

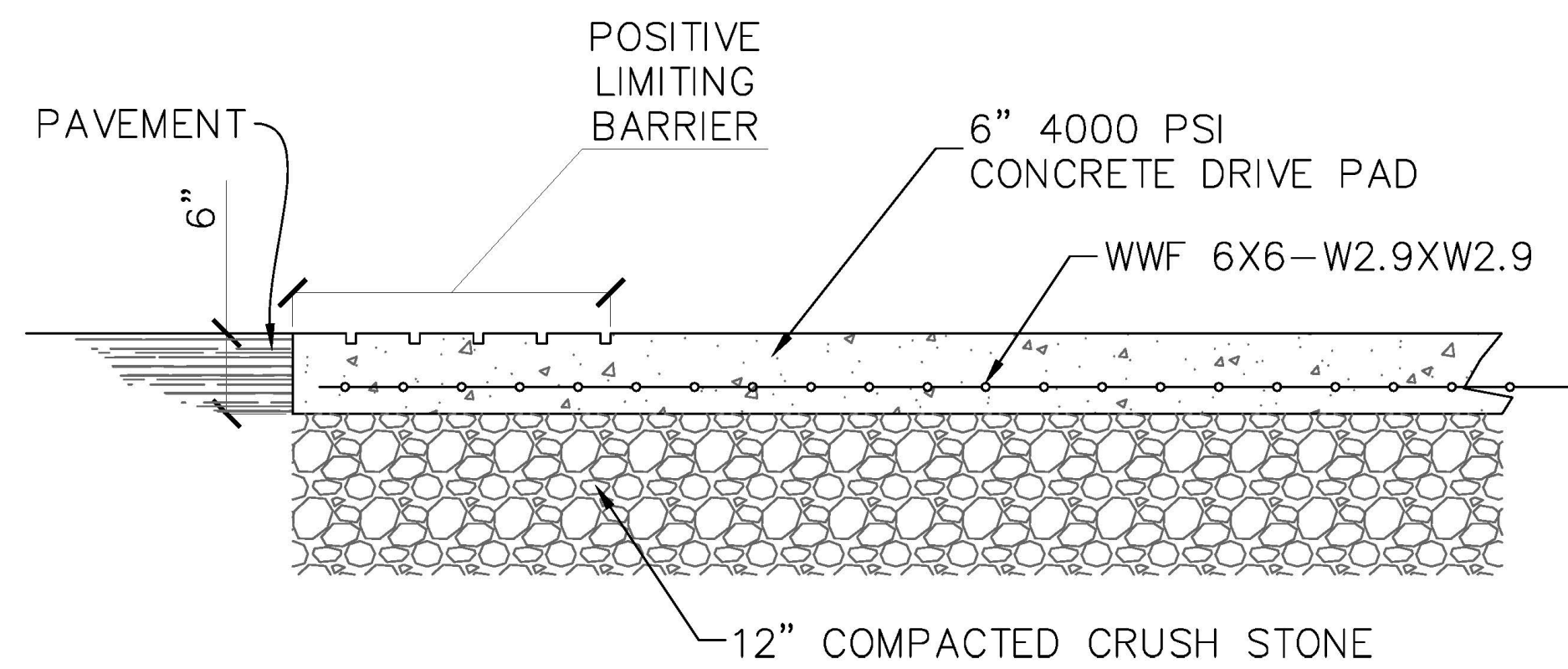


NOTES:

1. FIVE-GROOVE SPILL PROTECTION POSITIVE LIMITING BARRIER TO BE PROVIDED AROUND THE ENTIRE DRIVE MAT AND THE ENTIRE TANK MAT.
2. GROOVES SHALL 3/4" WIDE AND 3/4" DEEP, AND SHALL BE SPACED EVERY 4 3/4" ON CENTER
3. GROOVES SHALL BE KEPT FREE OF DIRT AND DEBRIS

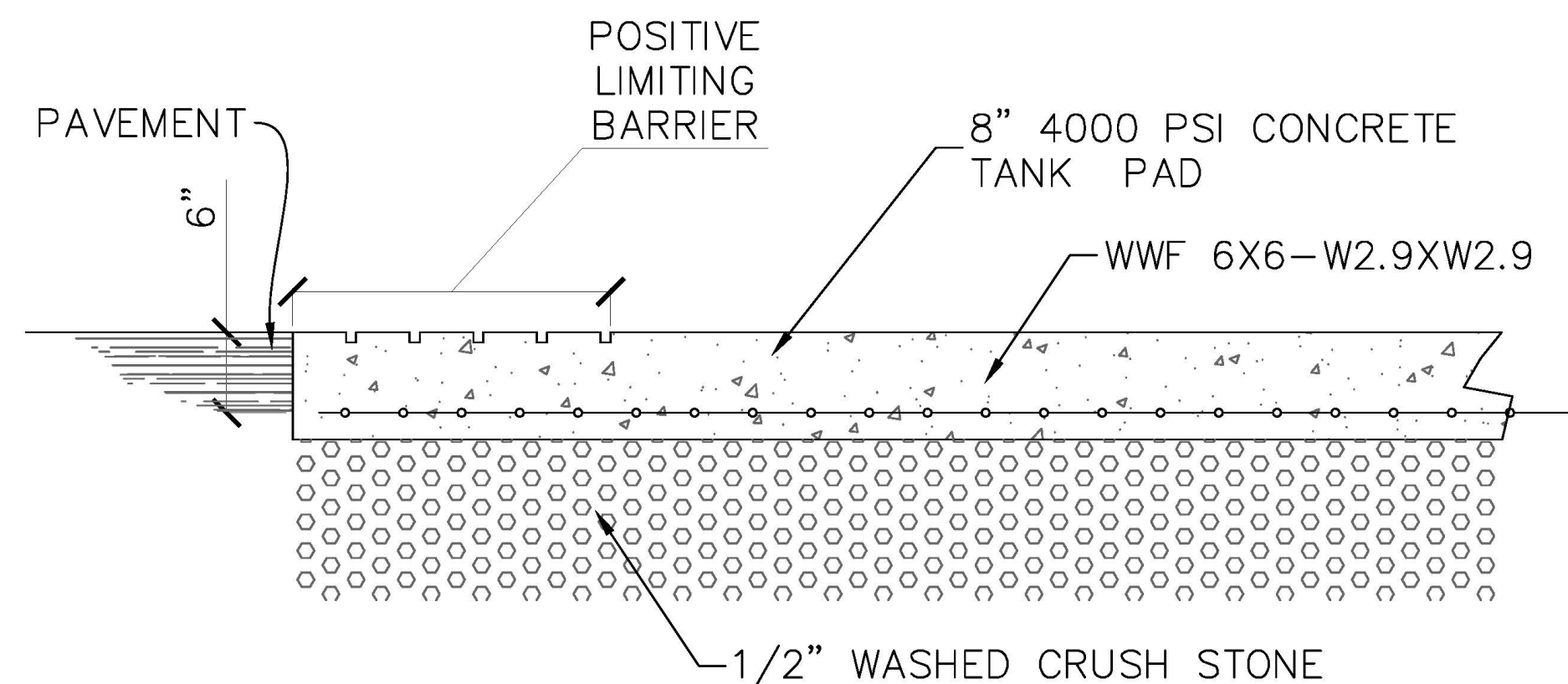
POSITIVE LIMITING BARRIER

SCALE: NTS



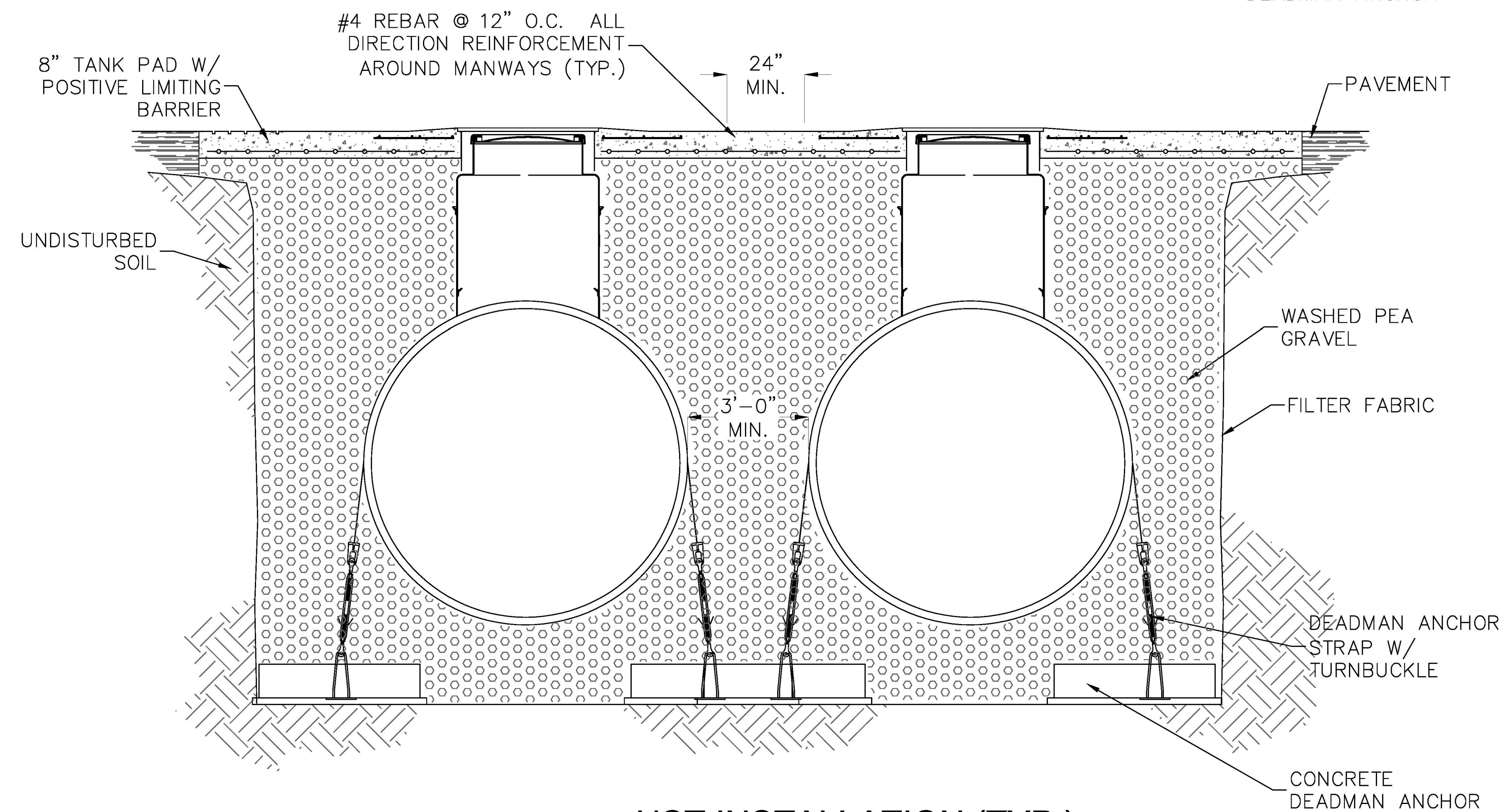
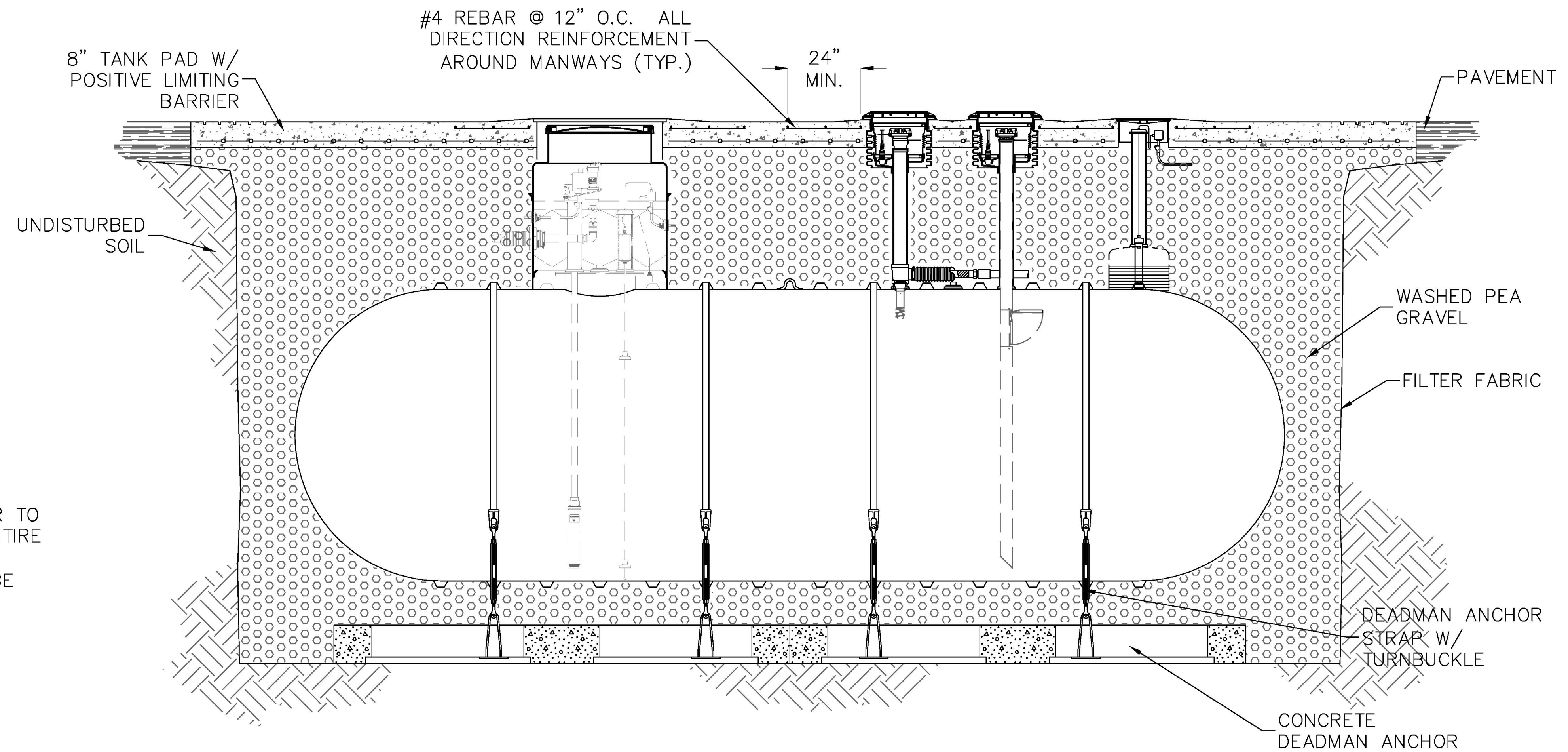
CONCRETE DRIVE PAD

SCALE: NTS



CONCRETE TANK PAD

SCALE: NTS



UST INSTALLATION (TYP.)

SCALE: NTS

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CHAIRMAN, PLANNING BOARD OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE: _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

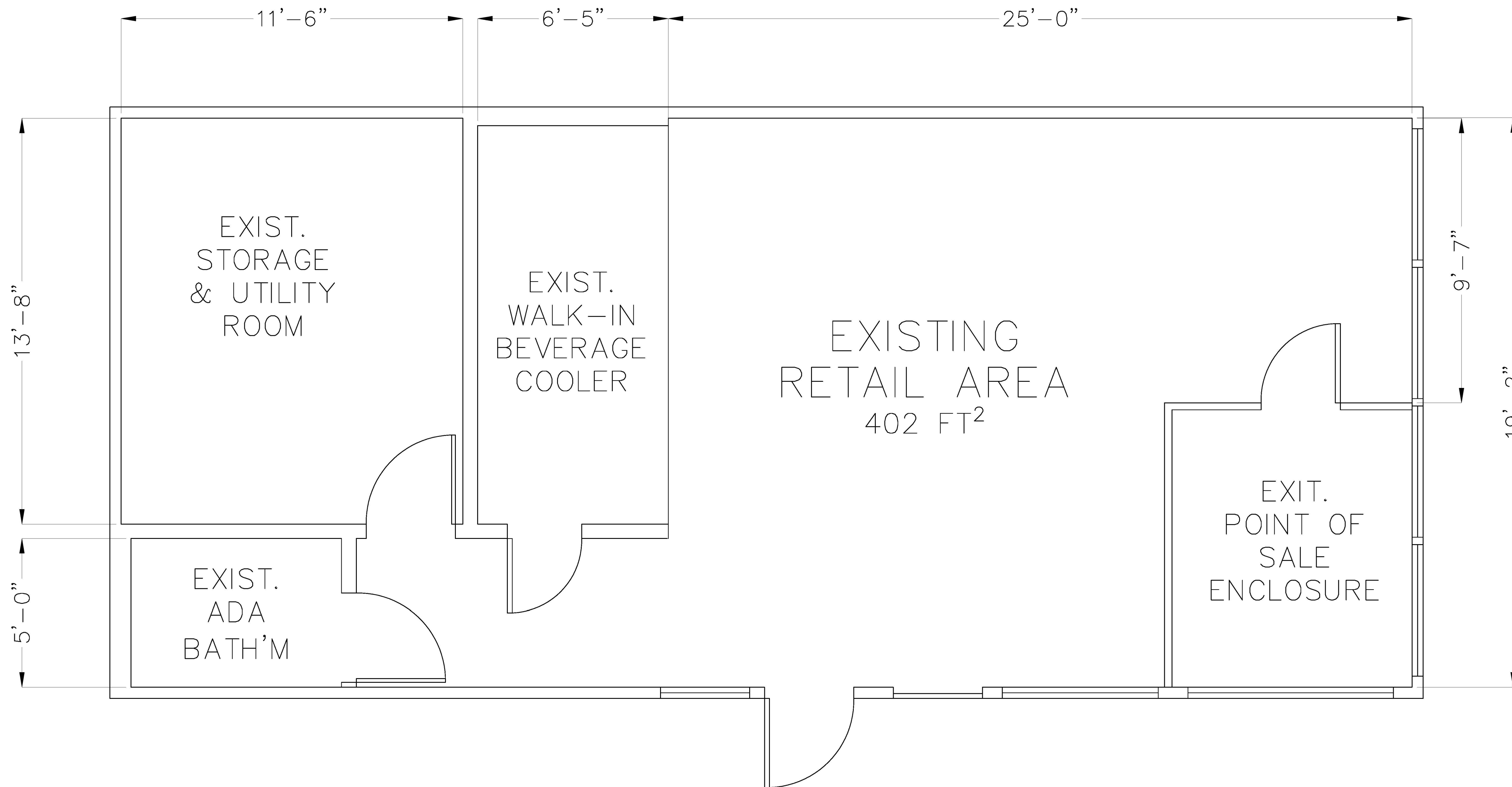
DRAWING TITLE:
UST DETAILS



DATE: 01.14.20
PROJECT No.: 2020-04
DRAWING BY: ME
CHK BY: JAG
DWG No.: UST2
APPL. No.:

ALTERATION NOTES:

1. WORK ON BUILDING SHALL BE LIMITED TO LEVEL 1 ALTERATIONS AS DEFINED IN THE 2020.EBCNYS.
2. WORK ON BUILDING SHALL BE LIMITED TO "THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES THAT SERVE THE SAME PURPOSE".
3. NO CHANGE IN THE RECONFIGURATION OF SPACE, NO ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, NO RECONFIGURATION OR EXTENSION OF ANY SYSTEM, AND NO INSTALLATION OF ANY ADDITIONAL EQUIPMENT SHALL BE PERMITTED UNDER THIS APPLICATION



FLOOR PLAN
SCALE: 1/8" = 1'-0"

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CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
FLOOR PLAN

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: A1
APPL. No.:	

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2020 BCNYS, AND THE 2020 EBCNYS, .
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF NORTH CASTLE BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
3. THE BUILDER SHALL VERIFY ALL DIMENSIONS IN THE FIELD. "V.I.F." DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED.
4. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE BUILDER SHALL NOTIFY THE ENGINEER AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS.
5. ALL PLUMBING WORK SHALL CONFORM TO THE TOWN OF NORTH CASTLE PLUMBING CODE. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE. ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) STANDARDS. CONTRACTOR/OWNER TO HIRE LICENSED PLUMBER AND ELECTRICIAN.
6. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
7. DO NOT SCALE DRAWINGS FOR DIMENSIONS. REFER TO WRITTEN DIMENSIONS FOR ACCURACY OR CONTACT ENGINEER FOR ANY MISSING AND REQUIRED DIMENSIONS. DIMENSIONS CHANGED IN THE FIELD BY THE CONTRACTOR WITHOUT INFORMING THE ENGINEER SHALL RELEASE THE ENGINEER OF FURTHER RESPONSIBILITY FOR DIMENSIONS. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALL SCALE DETAILS.
8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OR INSTALLATION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS
9. CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, BUILDING PERMITS AND INSPECTIONS AND SHALL PAY ALL REQUIRED FEES. CONTRACTOR SHALL ARRANGE AND PERFORM TESTS OF ALL MECHANICAL OR OPERABLE COMPONENTS. THE COST OF SUCH TESTS SHALL BE INCLUDED IN THE CONSTRUCTION COST ESTIMATE.
10. NO SUBSTITUTIONS SHALL BE MADE FOR ANY ITEMS SPECIFIED ON THE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER OR OWNER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

12. ALL CORING AND DRILLING REQUIRED TO BE PERFORMED AT TIMES ONLY AS ALLOWED BY BUILDING RULES, REGULATIONS OR POLICIES. COORDINATE WORK WITH BUILDING MANAGER.
13. EXISTING UTILITIES: THE BUILDER SHALL TAKE EXTREME CARE DURING EXCAVATION AND SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES AND SERVICE LINES. THE BUILDER SHALL MAKE ALL NECESSARY PROVISIONS TO PROTECT ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. BUILDER SHALL CONTACT THE LOCALITY AND UTILITY COMPANIES TO ASCERTAIN THE PRESENCE AND LOCATION OF UTILITY AND SERVICE LINE IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS ("CALL BEFORE YOUR DIG").
14. SCOPE OF WORK SHALL INCLUDE ALL WORK AS SHOWN ON DRAWINGS, NOTES OR AS REVIEWED VERBALLY PRIOR TO BIDDING. (ANY WORK ADDED FOLLOWING FINAL BID SUBMITTAL SHALL BE INCLUDED AS A CHANGE ORDER.)
15. CONTRACTOR TO COORDINATE VARIOUS ELEMENTS OF THE WORK AND ENTITIES ENGAGED TO PERFORM WORK AND COORDINATE WORK WITH EXISTING FACILITIES/CONDITIONS AND WITH ANY WORK BY SEPARATE CONTRACTORS AND BY OWNER.
16. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OR INSTALLATION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
18. CLEAN EACH ELEMENT OF WORK AT TIME OF INSTALLATION. PROVIDE SUFFICIENT MAINTENANCE AND PROTECTION DURING CONSTRUCTION TO ENSURE FREEDOM FROM DAMAGE AND DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.
19. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)
20. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
21. CONTRACTOR ACCESS TO OTHER SPACES WITHIN THE BUILDING AS REQUIRED FOR PLUMBING AND ELECTRICAL WORK SHALL BE COORDINATED WITH THE HOMEOWNER.
22. CONTRACTOR TO PROVIDE FIRE-STOPPING OF REQUIRED RATING WHERE NEW WORK PENETRATES FIRE-RATED PARTITIONS, WALLS, CEILINGS AND FLOORS.

23. CONTRACTOR TO REQUIRE INSTALLER OF EACH UNIT OF WORK TO INSPECT SUBSTRATE AND CONDITIONS FOR INSTALLATION PRIOR TO INSTALLATION. CONTRACTOR TO CORRECT UNSATISFACTORY CONDITIONS. INSPECT EACH PRODUCT IMMEDIATELY BEFORE INSTALLATION. DO NOT INSTALL DAMAGED OR DEFECTIVE PRODUCTS, MATERIALS OR EQUIPMENT.
24. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT PRINTED INFORMATION IS MORE DETAILED OR STRINGENT THAN THE REQUIREMENTS CONTAINED ON THE APPROVED PLANS

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APPROVAL:
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CHAIRMAN SIGNATURE _____

DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:

NOTES

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: N1

APPL. No.:

GIBBONS ENGINEERING, P.C.

1 Central Avenue, Suite 308
Tarrytown, NY 10591
(914) 524-9740

December 26, 2022

Planning Department
Town of North Castle
15 Bedford Road
Armonk, NY 10504

Attn.: Chairman Christopher Carthy and Planning Board Members

Re: Gas Station Alteration at 825 N.Broadway

Dear Chairman Carthy and Planning Board Members

We have revised the plans to answer the May 20, 2022 comments from the Town Consulting Engineering John Kellard, P.E. as follows (**in bold**):

1. The applicant should review Site Plan Sheet G1 and Existing Gas Station Sheet G2. Sheet G2 does not show the existing fuel service pump to remain at the left front corner of the building or the existing pump on the right side of the building to be removed. All plans should be updated for consistency.

Pump on the right corner of the building called out as being replaced and pump on the left corner called out as being removed.

2. A truck loading space is provided along the southern portion of the site, which would be used by the fuel delivery truck when filling the new underground tanks. The loading space is located directly over the 8,000 gallon tank. The applicant should show the locations of the fill lines, avoiding locations within the loading space or within the drive aisle.

New UST Manholes, fill valves and vapor valves added to plans on page G3. Fill and Vapor valve shown outside of loading space for 8000 gal. UST.

3. The sidewalk repairs within the New York State right-of-way should be further detailed, specific to exactly which portions of the walk and curbing will be replaced, as well as the improvements proposed across the curb cuts. Please provide sidewalk curbing and handicap ramp details. Work within New York State right-of-way will require a New York State Department of Transportation (NYSDOT) Highway Work Permit.

New page C2 with NYSDOT sidewalk notes and details added.

4. The applicant is proposing new concrete drive mats over the new storage tanks and fueling area. The existing asphalt pavement appears to be in need of repair and portions of the asphalt will be further damaged during construction. The applicant should clarify whether they intend to repave the entire asphalt surfaces. Also, damaged concrete curbing should also be repaired and the lot should be re-striped.

Existing asphalt pavement called out as being repaired. Note added on page G1 specifying that the asphalt pavement shall be repaved in its entirety and all marking shall be repainted.

5. Please provide construction details of all proposed site improvements.

I am calling out the 2FT RR-Tie retaining walls to be replaced with " 2FT landscaping concrete block retaining walls", and added a section detail on page L1.

6. The applicant's landscape improvements include three (3) arborvitae along the southern property frontage. The arborvitae are noted to grow to a height of 40 feet and a width of 8 – 20 feet. This may not be the appropriate plant for that location. The Landscape Plan Sheet L1 shows existing boxwood shrubs along the center island frontage and above the retaining wall within the rear of the property. It appears that the existing boxwood along the frontage and in the rear behind the refuse enclosure need to be replaced. The Planning Board may wish at this time to review the site landscaping in more detail and determine whether landscaping along the property frontage and along the neighboring properties is adequate. There appears to be opportunities to reduce the hardscape and introduce additional landscaping along the property frontage within the northeast corner of the site, southeast corner and southern property boundary.

Arborvitae replaced with Boxwood to match existing. Planting scheduled revised. Note added to indicate existing boxwood plants behind the RR-tie wall to be removed, stored and re-planted or replaced.

7. Please provide an erosion and sediment control plan with details.

New page C1 added with erosion control details.

8. The applicant should clarify whether the drain within the northern parking lot is connected to an existing storm drainage system or is a drywell. Please determine its condition.

We contacted the State to determine if the existing drainage system on site is connected to any existing storm drain system that may exist in North Broadway. The State was not able to confirm this connection and a site visit concluded that the site does not connect to the street. There is an existing system within the property and we will replace it with a new dry

well system as shown on C3. An oil separator can be added in-line with the drainage system if requested.

9. It appears the proposed work will disturb in excess of 6,000 s.f. of the site. The improvements will not increase impervious surfaces and therefore is not required to provide stormwater quantity mitigation. However, the proposed work provides an opportunity to introduce stormwater quality improvements to mitigate stormwater discharge from the project site. The applicant should introduce water quality measures in accordance with Chapter 9 Redevelopment Projects, as outlined in the New York State Stormwater Management Design Manual.

New stormwater management page added. Estimated number of drywells required to handle the entire run-off from a 6" rainstorm event provided based soil type. See C3.

10. The low railroad tie retaining walls within the rear of the lot will be repaired. It appears the majority of the work is located behind the refuse enclosure. The boxwood shrubs may need to be replaced behind the enclosure.

Note added to indicate existing boxwood plants behind the RR-tie wall to be removed, stored and re-planted or replaced (same as comment 6 above).

11. A Lighting Plan is provided, however, no new lighting is proposed.

Existing canopy and outdoor lighting to remain. No new lighting is being proposed under this application. Lighting plan removed.

We have also addressed the staff recommendations as follows

1. The Planning Department has concerns with the proposed site circulation and access. The proposed configuration does not permit any cars to circulate around the pumps. Therefore, if an open pump is available, it can't be accessed if a car is located at any of the other pumps. The pump adjacent to the building should be removed. The pumps should also be relocated under the canopy so that a circulation aisle can be provided.

Proposed access to the pumps should be reconsidered and modified so as to provide circulation around the pumps. As proposed, the layout does not conform to Section 355-45.A of the Town Code which requires that the site provide an adequate, convenient and safe vehicular and pedestrian circulation system, so that traffic generated by the development will be properly handled both within the site and in relation to the adjoining street system.

The existing gas pumps layout and traffic pattern is to remain. The previously proposed new pump layout is no longer applicable.

2. The existing one-way circulation pattern and signs should be depicted on the site plan

One Way sign illustration and one way road painted marking added to site plan.

3. The site plan should be revised to clearly depict existing and proposed dimensions of the canopy.

The dimensions of the new canopy were added to plans.

4. The Applicant should take this opportunity to aesthetically improve the design of the building and site. It is recommended that the Planning Board and the Architectural Review Board work closely with the Applicant to maximize quality design standards.

Aesthetic Improvement note added on page G1.

5. The site plan should depict the rehabilitation and repaving of the entire parking lot.

Existing asphalt pavement called out as being repaved.

6. A photometric plan should be submitted for review. The plan shall clearly demonstrate conformance with Section 355-15.N and Section 355-45.M of the Town Code.

The lighting plan should clearly depict all lighting fixtures on the site, including on or under the proposed canopy. Particular attention should be paid to how bright the area under the canopy will be. It is recommended that no more than 12 foot candles be provided under the canopy

Existing canopy and outdoor lighting to remain. No new lighting is being proposed under this application. Lighting plan removed

7. The site plan should be revised to depict any proposed signage – free standing, building mounted and others. The Applicant should submit an exhibit depicting conformance with Section 355-16 of the Town Code.

The signage plan should clearly depict any newly proposed signage, on pumps, building mounted, freestanding or on the proposed canopy

Existing signage is to remain. No new signage is being proposed under this application

8. The site plan should be revised to contain a note stating that outdoor repair of vehicles shall be prohibited.

Note added on page G1

9. The Zoning Compliance Chart should be revised to provide the off-street parking calculations used to arrive to the conclusion that the off-street parking requirements are met. Pursuant to Section 355-57 of the Town Code, the gasoline station requires 1 space per employee on the largest work shift, plus 3 for each service bay. The convenience store component requires 1 off-street parking space for every 150 square feet of gross floor area

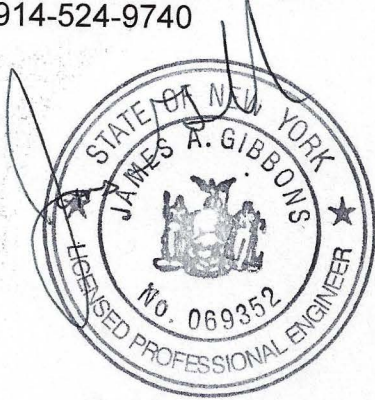
The zoning chart was revised and the parking count was itemized for the retail area and for the employees. The definition of "service bay" in the zoning code seem to indicate that a service bay is intended for the servicing of a vehicle. Since pumping gasoline, does not constitute

servicing a vehicle no auto repair has taken place or is proposed. The only building on the property is not intended to service vehicles and there are no service bays on the property.

Please do not hesitate to contact me if you have any questions.

Respectfully Submitted,


James A. Gibbons, P.E.
Gibbons Engineering, P.C.
914-524-9740



MEMORANDUM

TO: North Castle Planning Board

CC: Adam Kaufman, AICP
James A. Gibbons, P.E.
BJ's Corporation

FROM: John Kellard, P.E. 
Kellard Sessions Consulting
Consulting Town Engineers

DATE: May 20, 2022

RE: BJ's Corporation
825 North Broadway
Section 122.12, Block 4, Lot 29

As requested, Kellard Sessions Consulting has reviewed the site plans submitted in conjunction with the above-referenced project. The applicant is proposing improvements at the existing gas station and convenience store. Improvements include the replacement of underground fuel storage tanks, addition of a pump island with two (2) fueling pumps, extension of the roof canopy over the wider fueling area, elimination of one (1) fueling station adjacent to the retail building, replacement and relocation of another fueling station, repair of the existing railroad tie retaining wall, repair of existing sidewalk within the New York State right-of-way, renovation of the retail store and minor landscape improvements. The 21,833 s.f. property is located within the CB Zoning District.

GENERAL COMMENTS

1. The applicant should review Site Plan Sheet G1 and Existing Gas Station Sheet G2. Sheet G2 does not show the existing fuel service pump to remain at the left front corner of the building or the existing pump on the right side of the building to be removed. All plans should be updated for consistency.
2. A truck loading space is provided along the southern portion of the site, which would be used by the fuel delivery truck when filling the new underground tanks. The loading space is located directly over the 8,000 gallon tank. The applicant should show the locations of the fill lines, avoiding locations within the loading space or within the drive aisle.

3. The sidewalk repairs within the New York State right-of-way should be further detailed, specific to exactly which portions of the walk and curbing will be replaced, as well as the improvements proposed across the curb cuts. Please provide sidewalk curbing and handicap ramp details. Work within New York State right-of-way will require a New York State Department of Transportation (NYSDOT) Highway Work Permit.
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The Planning Board may wish at this time to review the site landscaping in more detail and determine whether landscaping along the property frontage and along the neighboring properties is adequate. There appears to be opportunities to reduce the hardscape and introduce additional landscaping along the property frontage within the northeast corner of the site, southeast corner and southern property boundary.

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9. It appears the proposed work will disturb in excess of 6,000 s.f. of the site. The improvements will not increase impervious surfaces and therefore is not required to provide stormwater quantity mitigation. However, the proposed work provides an opportunity to introduce stormwater quality improvements to mitigate stormwater discharge from the project site. The applicant should introduce water quality measures in accordance with Chapter 9 Redevelopment Projects, as outlined in the New York State Stormwater Management Design Manual.

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11. A Lighting Plan is provided, however, no new lighting is proposed.

As additional information becomes available, we will continue our review. It is noted that an itemized response to all comments will facilitate completeness and efficiency of review.

PLANS REVIEWED, PREPARED BY GIBBONS ENGINEERING, P.C., DATED APRIL 4, 2022:

- Site Plan (G1)
- Gas Station (G2, G3)
- Gasoline Tanker Access (G4)
- Landscaping Plan (L1)
- Lighting Plan (LT1)
- Underground Storage Tanks (UST1)
- UST Details (UST2)
- Floor Plan (A1)
- Notes (N1)

JK/dc