

GIBBONS ENGINEERING, P.C.

1 Central Ave, Ste 308
Tarrytown, NY 10591
914-524-9740

May 3, 2022

Ms. Adam Kaufman
Director of Planning
Town of North Castle Building Department
Planning Department
17 Bedford Rd
Armonk, NY 10504

Re: Planning Board Submission for 825 North Broadway, White Plains, NY 10603

Dear Mr. Kaufman:

I hope all is well. Attached are the applications and fees for 825 North Broadway, White Plains, NY. It is proposed to replace the existing underground storage tanks and to add an additional pump in line with the two existing pumps. The retail store will be renovated, and the canopy repaired for the proposed new pumps.

Please do not hesitate to contact me if you have any questions.

Sincerely,

Brian Figueroa
Office Manager
Gibbons Engineering, P.C.

(914) 524 9740



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

Jagdish Mitter



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Jagdish Mittal

5-2-22

Applicant Signature

Date:

Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
825 North Broadway		
Name of Action or Project:		
825 North Broadway Ceres station Expansion		
Project Location (describe, and attach a location map):		
825 North Broadway Town of North Castle		
Brief Description of Proposed Action:		
It is proposed to replace the existing underground storage tanks. An additional pump is proposed in line with the existing two pumps. The retail store will be renovated and the canopy extended to provide shelter to the proposed new pump.		
Name of Applicant or Sponsor:	Telephone: (914)-524-9746	
James A. Gibbons, P.E.	E-Mail: gibbonsengineering@yahoo.com	
Address:		
1 Central Ave, suite 308		
City/PO:	State:	Zip Code:
Tarrytown	NY	10591
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?	<u>0.50</u> acres	
b. Total acreage to be physically disturbed?	<u>0.15</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	<u>0.50</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.		
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>James A. Gibbons, PE</u> Date: <u>5-3-2022</u> Signature: <u>[Signature]</u>		

PRINT FORM

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: BJs Corporation
Mailing Address: 108 Westminister Rd. Scarsdale, NY 10603
Telephone: 914-588-6437 Fax: _____ e-mail mittesgroupinc@gmail.com

Name of Applicant (if different): Jagdish Mittes
Address of Applicant: 108 Westminister Rd Scarsdale, NY 10603
Telephone: 914-588-6437 Fax: _____ e-mail mittesgroupinc@gmail.com
Interest of Applicant, if other than Property Owner: _____

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan: BJs Ameco Corporation
Address: 825 North Broadway White Plains, NY 10603
Telephone: 914-289-1988 Fax: _____ e-mail _____

Name of Other Professional: Gibbons Engineering, P.C.
Address: 1 Central Ave. Suite 308 Tarrytown, NY 10591
Telephone: 914-524-9740 Fax: 914-524-9746 e-mail gibbonsengineering@yahoo.com

Name of Attorney (if any): _____
Address: N/A
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: Jagdish Mitter Date: 05,02,2022

Signature of Property Owner: Jagdish Mitter Date: 05,02,2022

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 825 North Broadway, North White Plains

Location (in relation to nearest intersecting street):

350 feet (north, south, east or west) of McDougal Drive

Abutting Street(s): _____

Tax Map Designation (NEW): Section 122.12 Block 4 Lot 29

Tax Map Designation (OLD): Section 122.12 Block 4 Lot 29

Zoning District: C3 Total Land Area 21,833 SQ. FT

Land Area in North Castle Only (if different) N/A

Fire District(s) _____ School District(s) _____

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Gas Station Expansion & pump island, two to three

Gross Floor Area: Existing 880 S.F. Proposed 880 S.F. No Change

Proposed Floor Area Breakdown:

Retail 880 S.F.; Office 0 S.F.;

Industrial 0 S.F.; Institutional 0 S.F.;

Other Nonresidential 0 S.F.; Residential 0 S.F.;

Number of Dwelling Units: 0

Number of Parking Spaces: Existing 7 Required 5 Proposed 7

Number of Loading Spaces: Existing 1 Required 1 Proposed 1

Earthwork Balance: Cut - C.Y. Fill - C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes

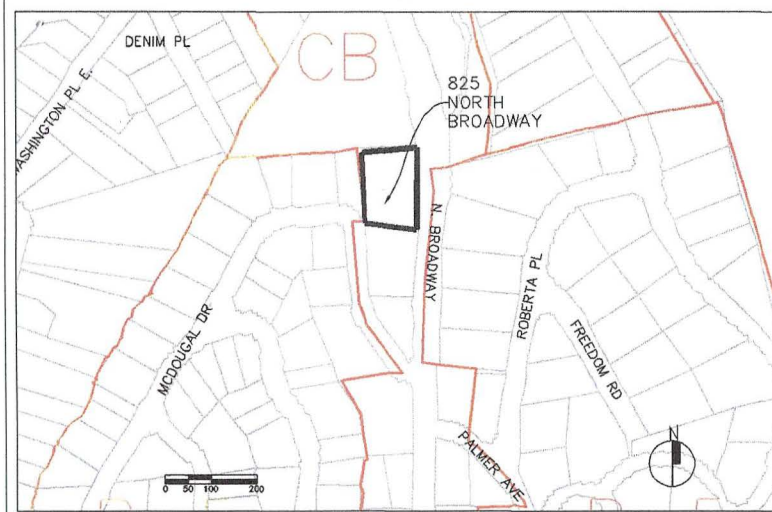
(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes

(If yes, application for a State Wetlands Permit may also be required.)



LOCATION MAP

SCALE: NTS

- SECTION: 122.12
- BLOCK: 4
- LOT: 29

825 NORTH BROADWAY

WHITE PLAINS, NY 10603

(TOWN OF NORTH CASTLE)

AUTOMOBILE SERVICE STATION ALTERATION
(GAS TANKS REPAIR AND CONVENIENCE STORE INTERIOR ALTERATIONS)

Gibbons

Engineering, PC

1 CENTRAL AVENUE, SUITE 308
TARRYTOWN, NY 10591
(914) 524-9740
gibbonsengineering@yahoo.com

DEMOLITION NOTE:

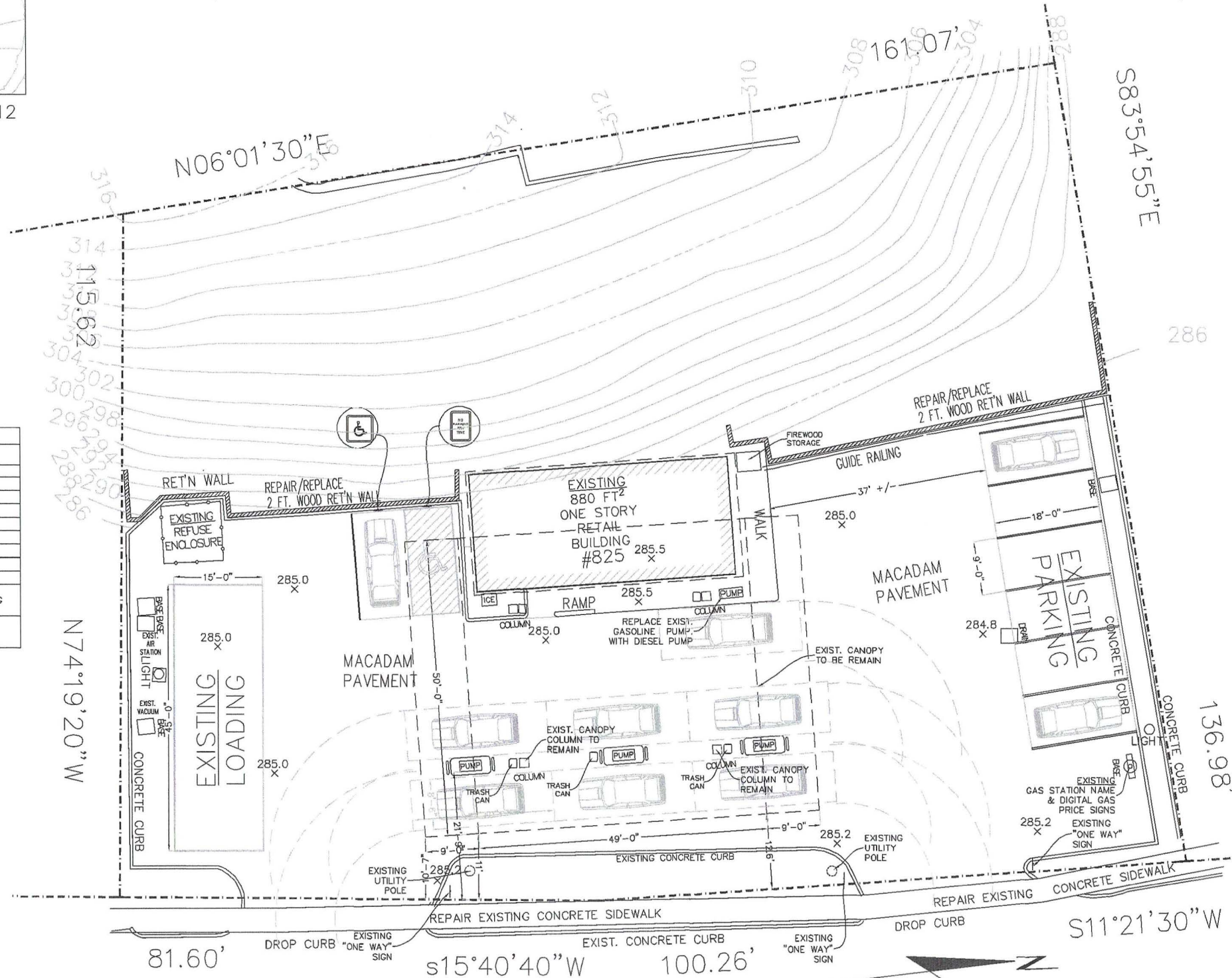
1. OWNER TO APPLY FOR A DEMOLITION PERMIT TO REMOVE EXISTING BUILDING, GASOLINE PUMPS AND CANOPY.

ZONING NOTE:

- THIS GAS STATION, IN A CB ZONE AND IS OPERATING AS A PERMITTED NON-CONFORMING USE (REF. § 355-22. SCHEDULE OF BUSINESS DISTRICT REGULATIONS)
- THE EXISTING GAS PUMPS ARE TO BE REPLACED WITH NEW PUMPS. ALL NEW PUMPS SHALL BE LOCATED MORE THAN 15 FEET FOR THE PROPERTY BOUNDARIES IN ACCORDANCE W/ § 355-22 (Schedule of Business District Regulations) FOR A GB DISTRICT

ZONING DATA: ZONE CB (CENTRAL BUSINESS)

	REQ'D/MAX.	EXISTING	PROPOSED	VARIANCE
MINIMUM SIZE LOT	5000	21704	NO CHANGE	NONE
LOT FRONTAGE	50	181.86	NO CHANGE	NONE
LOT DEPTH	100	115.62	NO CHANGE	NONE
BUILDING COVERAGE (%)	35	4	NO CHANGE	NONE
MAXIMUM FLOOR AREA RATIO	0.4	0.04	NO CHANGE	NONE
FRONT YARD (FT.)	25	52	NO CHANGE	NONE
REAR YARD (FT.)	50	52 +/-	NO CHANGE	NONE
SIDE YARDS (FT)	0	58.5/65.5	NO CHANGE	NONE
MAIN BUILDING HEIGHT (STY/FEET)	2 / 30	1/12 +/-	NO CHANGE	NONE
PERMITTED USE	-	AUTOMOBILE SERVICE STATION	NO CHANGE	PERMITTED NON-CONFORMING USE
PARKING (ACCESSORY RETAIL - 1/200 FT ²)	5 (W/ 1 ADA)	7 (W/1 ADA)	NO CHANGE	NONE



PROPOSED SITE PLAN

SCALE: 1" = 10.0'

IT IS A VIOLATION OF N.Y. STATE LAWS FOR ANY PERSON, UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY WAY

ISSUE DATES:

No.	DATE	DESCRIPTION
1	07.15.20	CLIENT SUBMISSION
2	08.31.20	P.B. SUBMISSION
3	04.04.22	P.B. REVISION

APPROVAL:
CHAIRMAN, PLANNING BOARD OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE

DATE: _____

PROJECT:
825 NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
SITE PLAN & ZONING

SEAL & SIGNATURE	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: G1
	APPL. No.:

Gibbons Engineering, PC

1 CENTRAL AVENUE, SUITE 308
TARRYTOWN, NY 10591
(914) 524-9740
gibbonsengineering@yahoo.com

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OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____

DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
GAS STATION

SEAL & SIGNATURE



DATE: 01.14.20

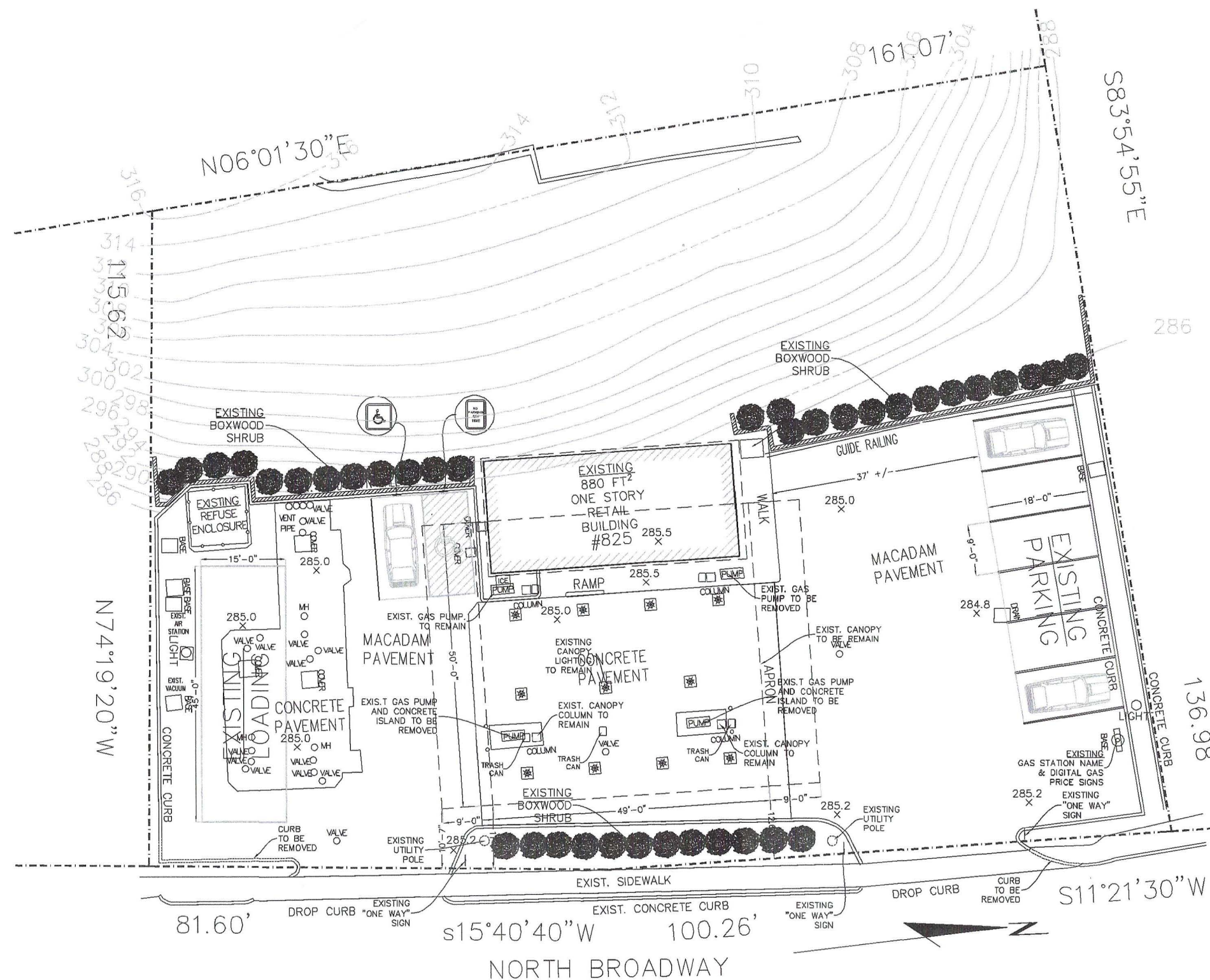
PROJECT No: 2020-04

DRAWING BY: ME

CHK BY: JAG

DWG No.: G2

APPL. No.:



EXISTING GAS STATION

SCALE: 1" = 10.0'

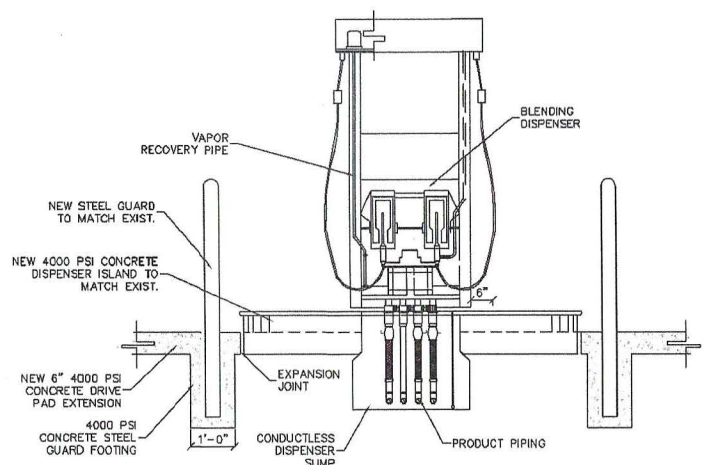
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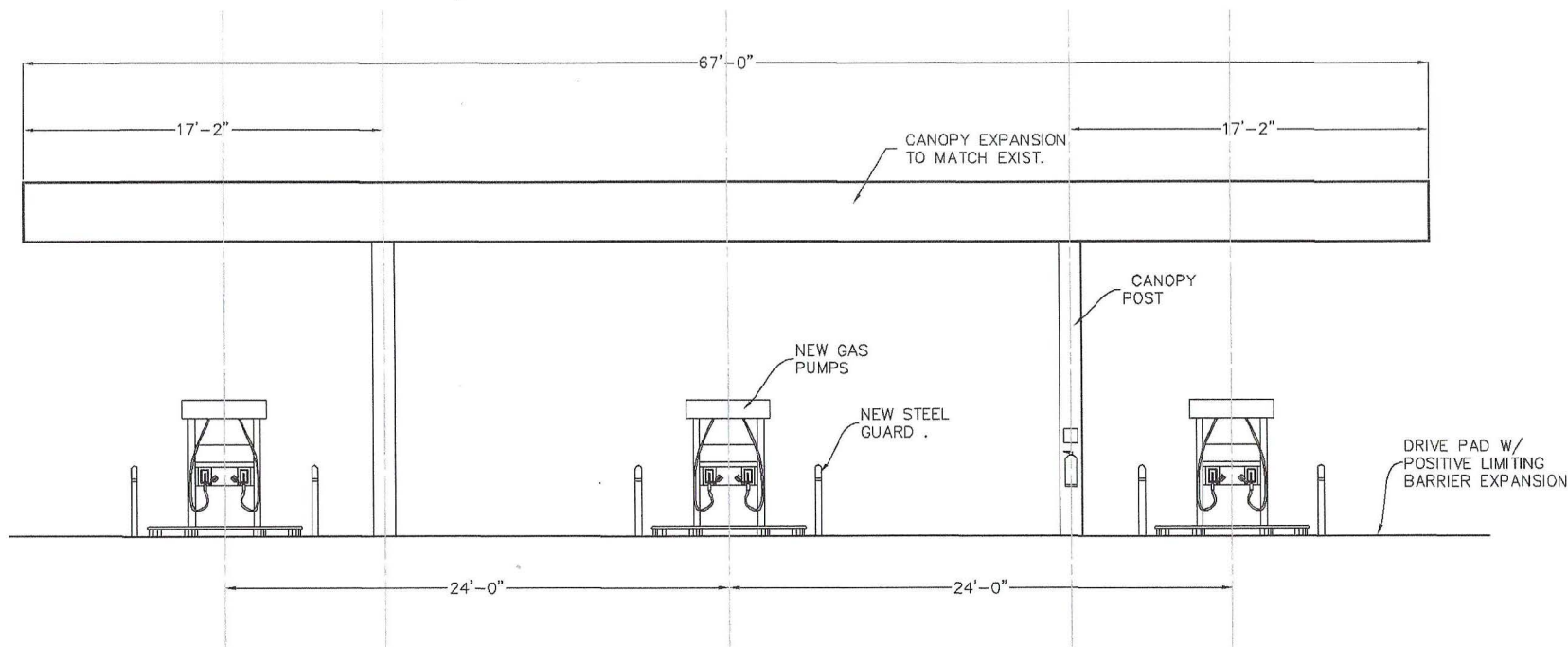
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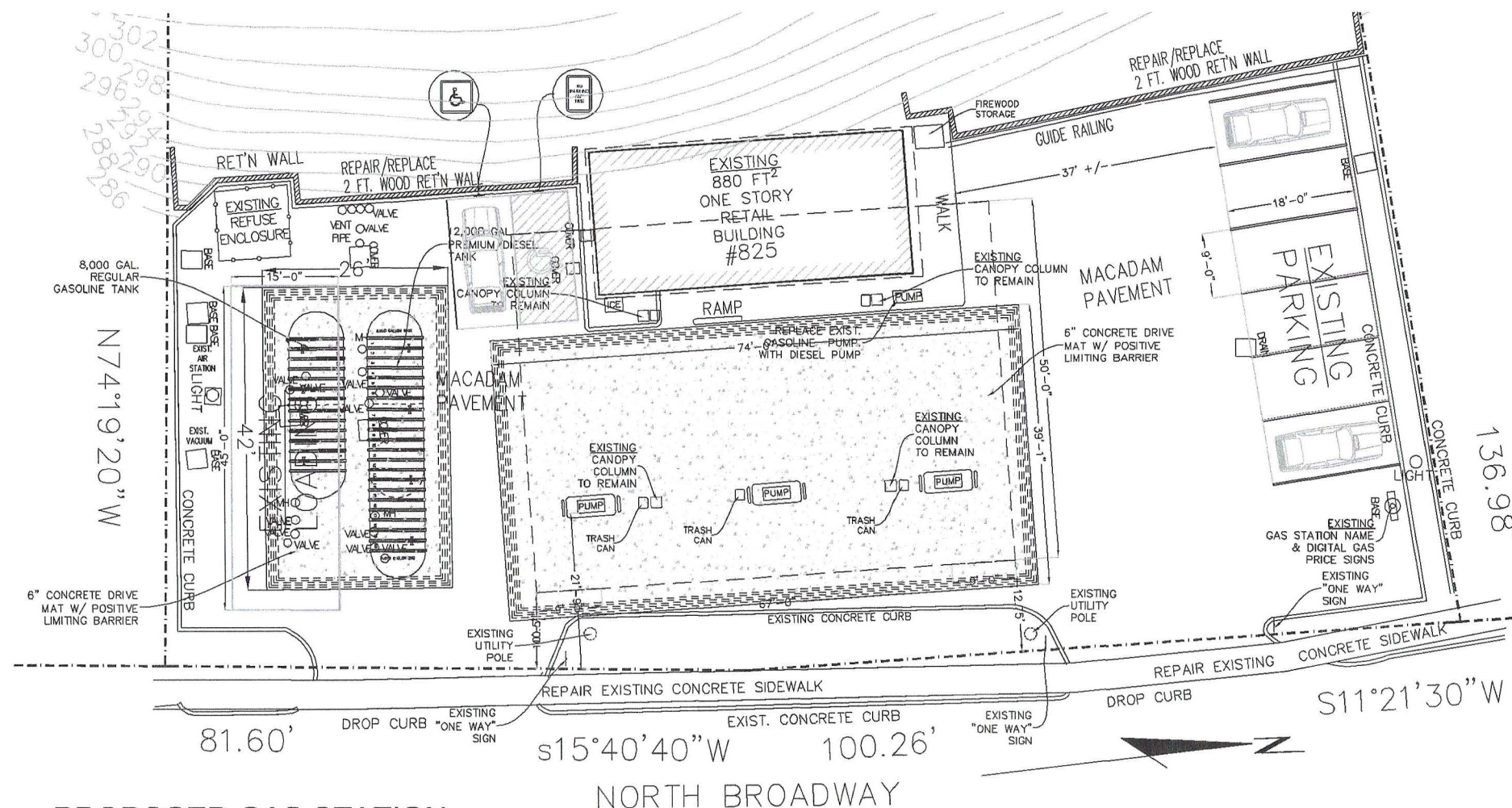
GAS PUMP ISLAND SIDE SECTION

SCALE: 1/2" = 1'-0"



NEW GAS PUMPS ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED GAS STATION

SCALE: 1" = 10.0'

APPROVAL:
CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
GAS STATION

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: G3

APPL. No.:

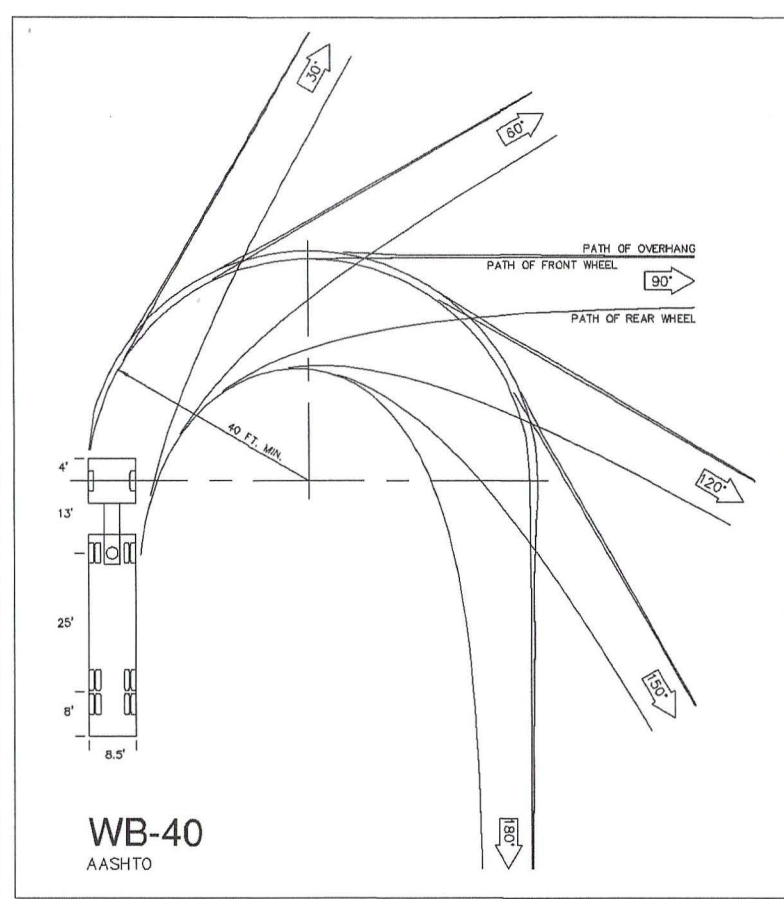
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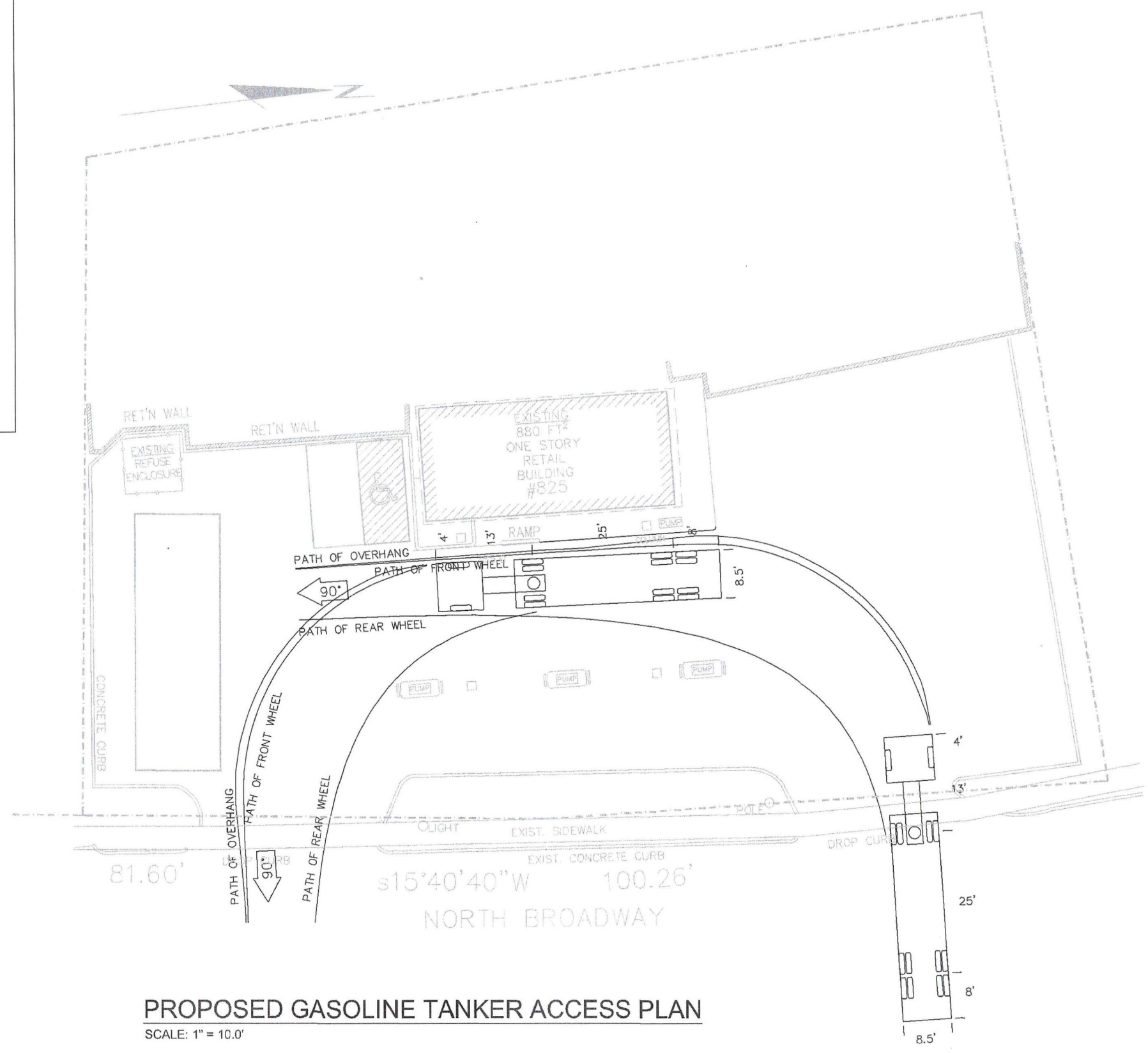
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AASHTO STANDARD TURNING RADII

SCALE: NTS



APPROVAL:
CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
**GASOLINE
TANKER
ACCESS**

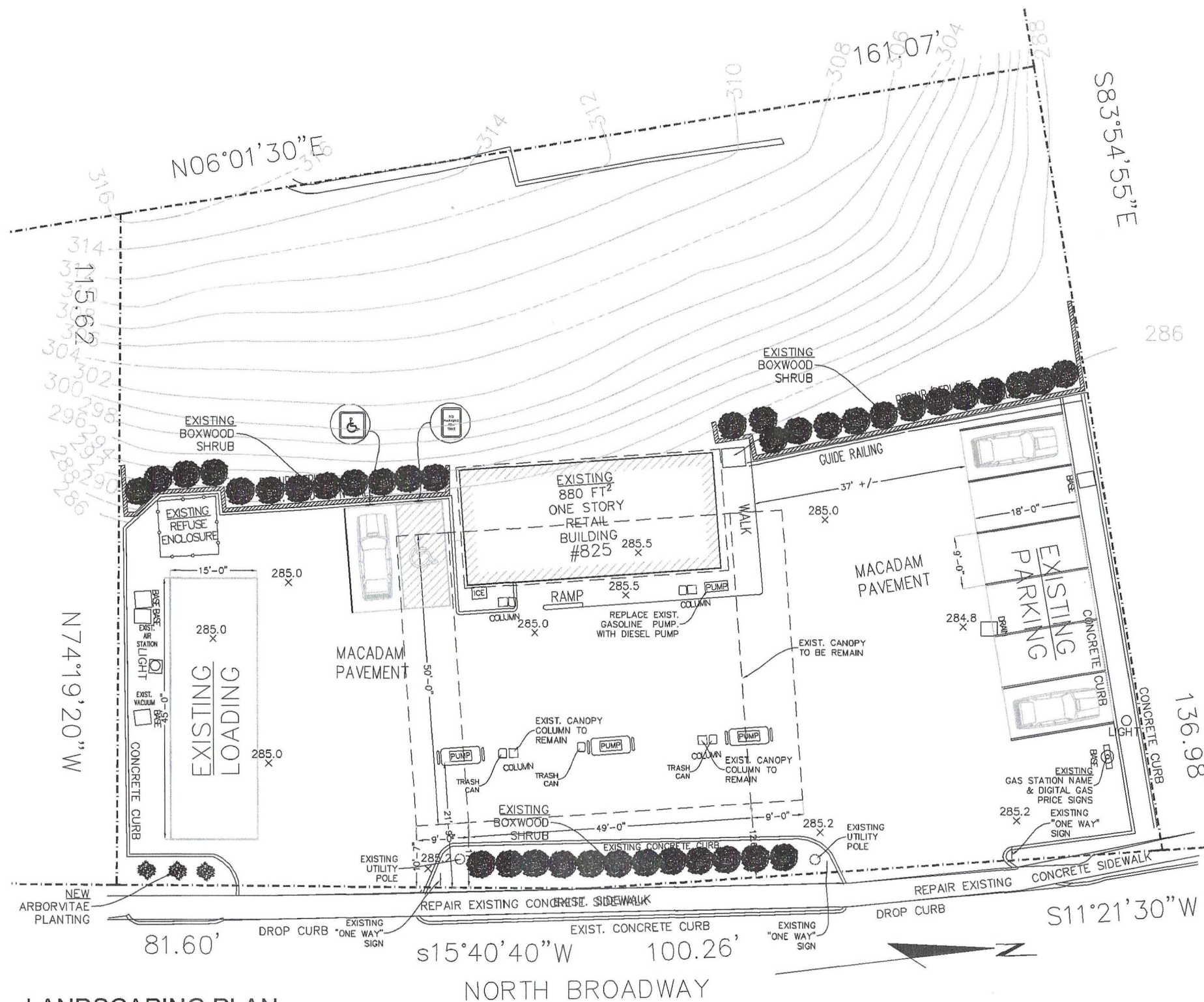
	DATE:	01.14.20
	PROJECT No:	2020-04
	DRAWING BY:	ME
	CHK BY:	JAG
	DWG No.:	G4
APPL. No.:		

TREE PLANTING SCHEDULE							
COMMON NAME	Botanical name	MATURITY HEIGHT (ft)	MATURITY WIDTH (ft)	MATURITY AGE (years)	QTY	PLANTING SIZE (height-ft)	COMMENT
EASTERN WHITE CEDAR (Arborvitae)	<i>Thuja occidentalis</i>	40-50	8-20 FT	10	3	4 FT	BALLED AND BURLAP

LANDSCAPING LEGEND



EASTERN WHITE CEDAR
(*Thuja occidentalis*)
(Arborvitae)



LANDSCAPING PLAN

SCALE: 1" = 10.0'

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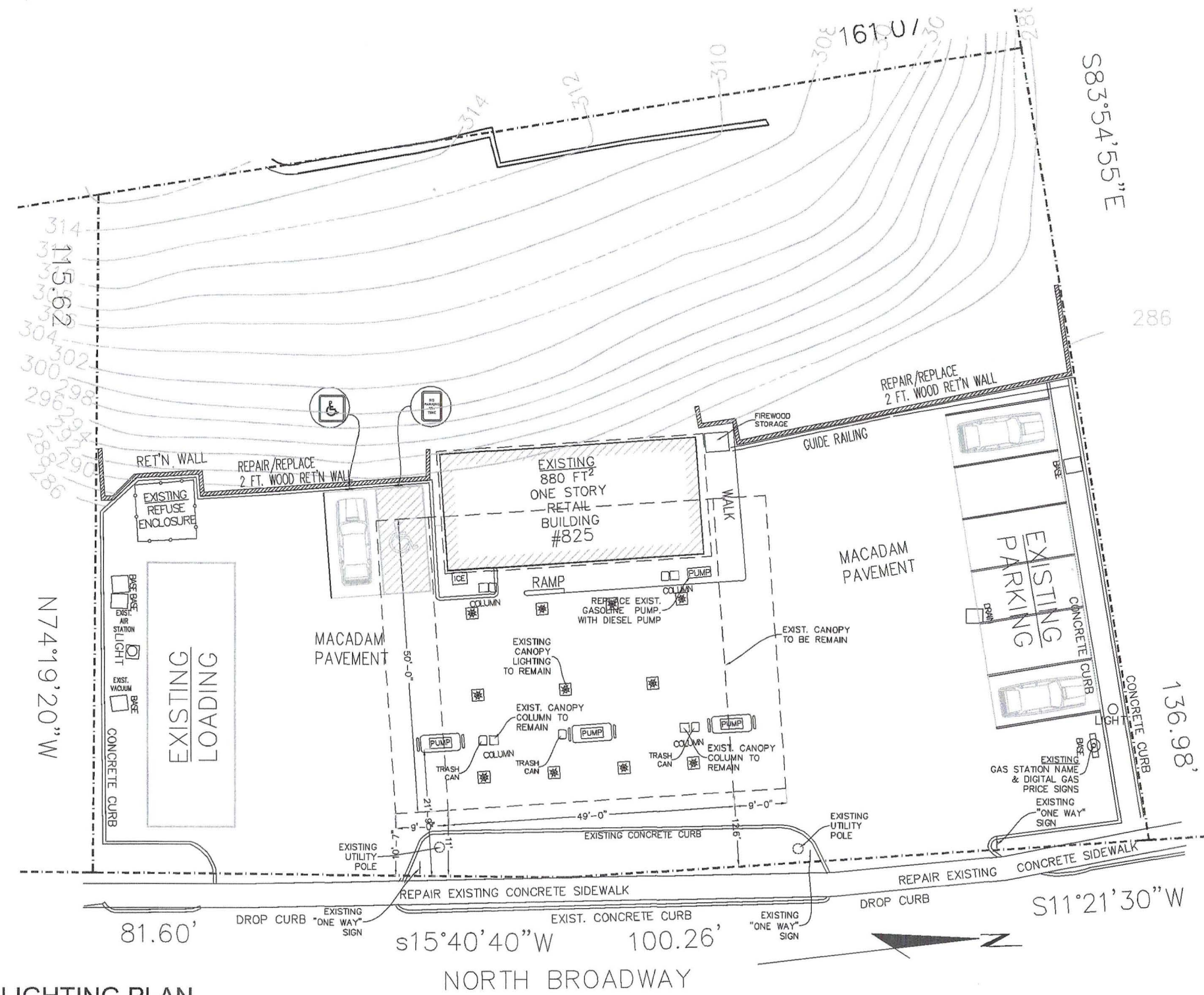
PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
LANDSCAPING PLAN

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
	DWG No.: L1
APPL. No.:	

LIGHTING NOTES:

1. ALL EXISTING LIGHT SHALL BE MAINTAINED IN GOOD WORKING ORDER. ANY DAMAGE LIGHT SHALL BE REPAIRED AS TO PROVIDE ADEQUATE LIGHTING OF THE GROUND ACCESSIBLE BY PATRONS.
2. NO NEW EXTERIOR LIGHTING SHALL BE INSTALL WITHOUT PRIOR CONSENT OF THE PLANNING BOARD.



LIGHTING PLAN
SCALE: 1" = 10.0'

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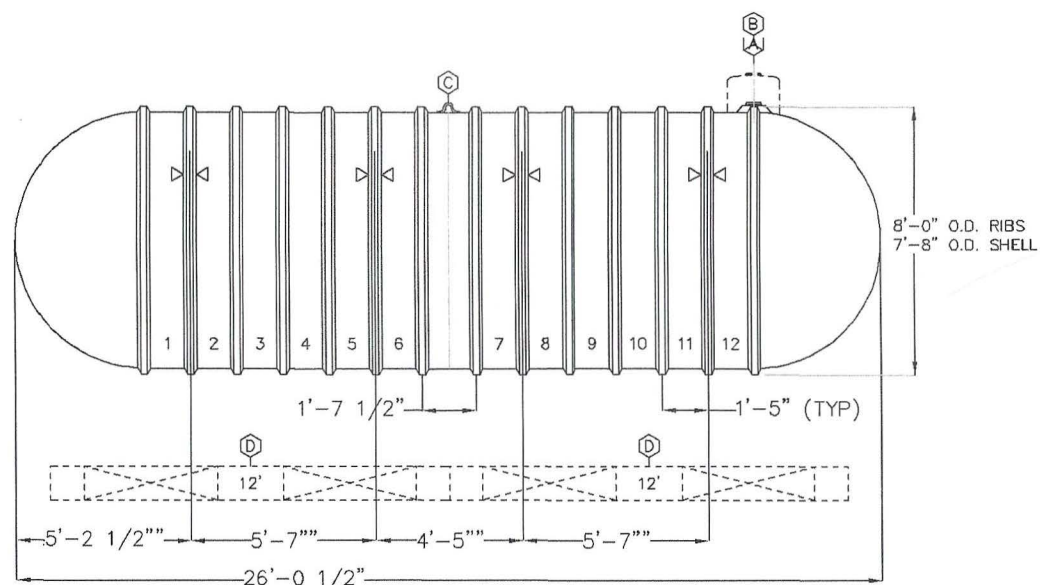
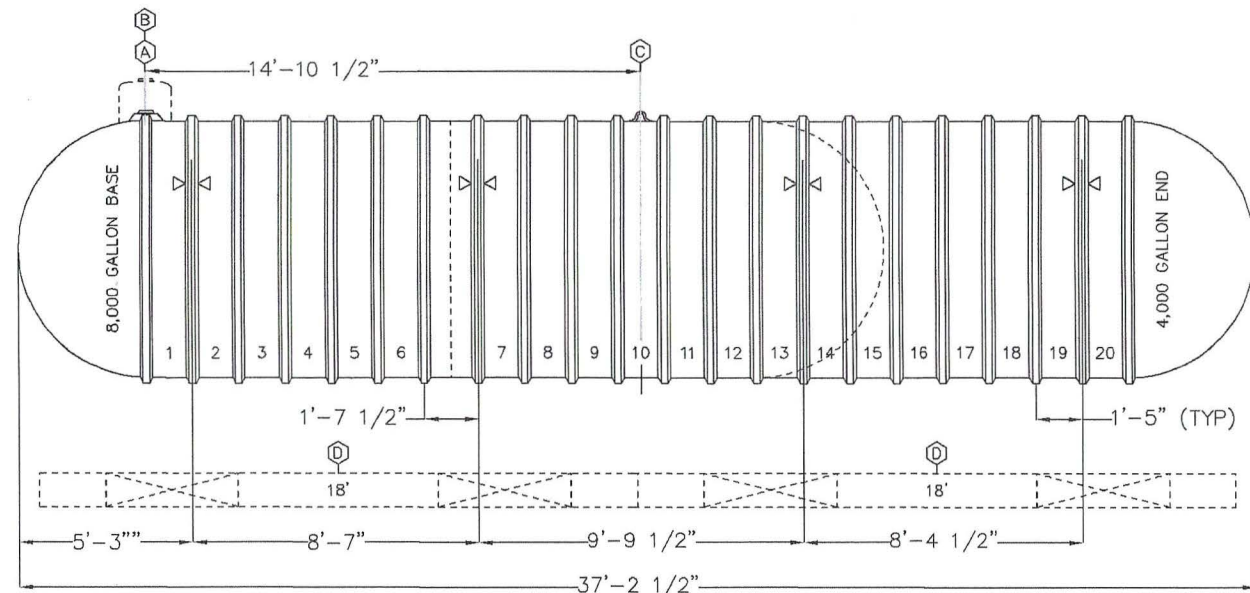
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CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
LIGHTING PLAN

	DATE:	01.14.20
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	CHK BY:	JAG
	DWG No.:	LT1
APPL. No.:		



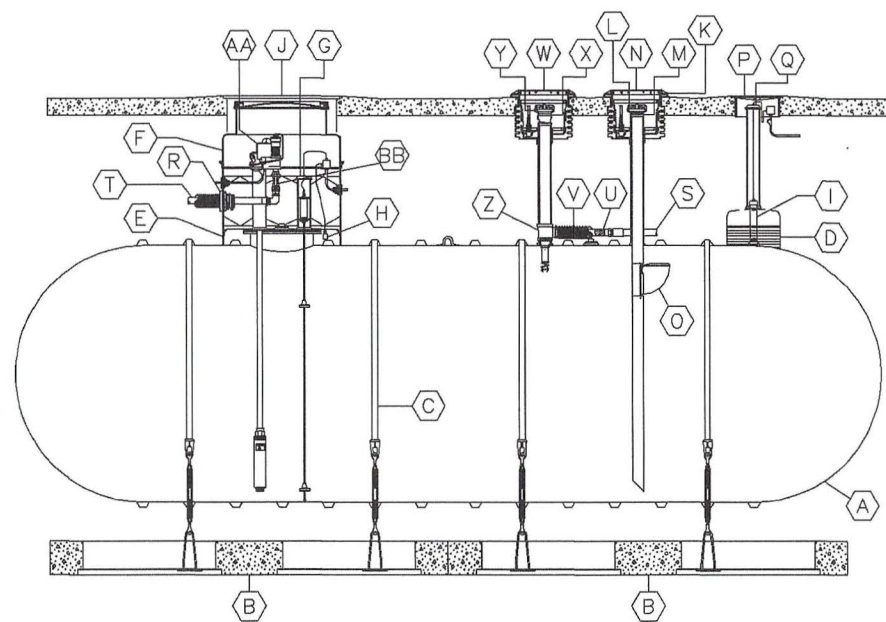
XERXES® UST – 8' DIA. 12,000 GAL TWO COMPARTMENT TANK

XERXES® UST – 8' DIA. 8,000 GAL SINGLE COMPARTMENT TANK

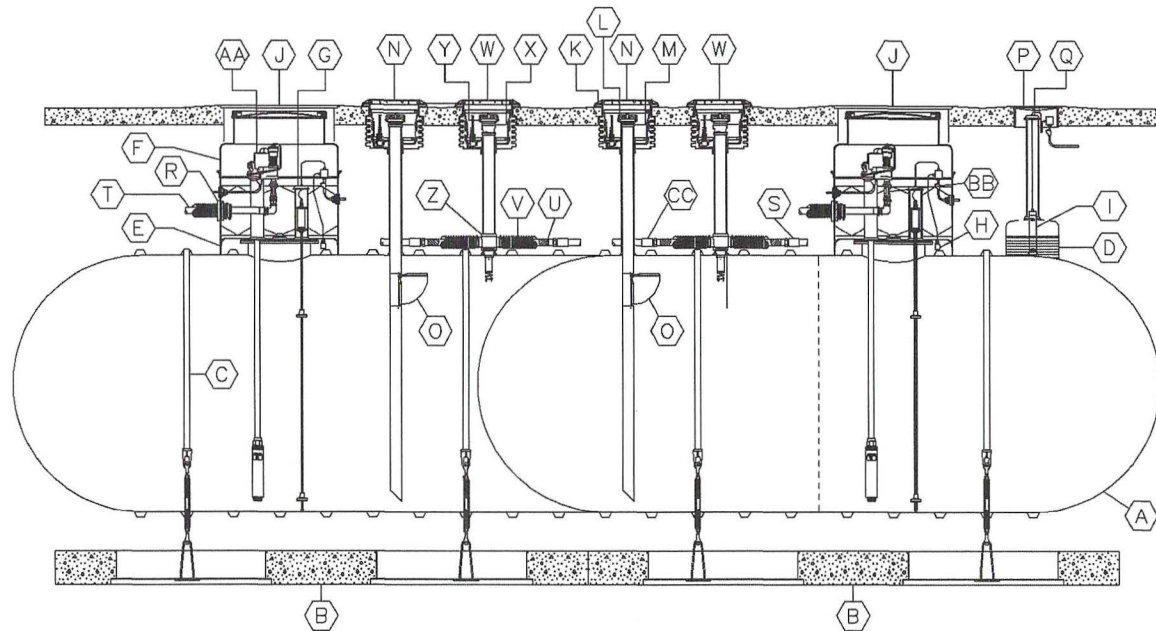
ITEM	QTY	DESCRIPTION
(A)	1	4" NPT MONITOR FITTING
(B)	1	OPTIONAL 18" DIA. HYDROSTATIC MONITORING RESERVOIR WITH 4" NPT FITTING
(C)	1	LIFTING LUG
(D)	4	CONCRETE DEADMAN
(X)	4	HOLD DOWN STRAP LOCATION

UNDERGROUND STORAGE TANKS ELEVATION

SCALE: 3/8" = 1'-0"



XERXES® UST SINGLE COMPARTMENT TANK



XERXES® UST TWO COMPARTMENT TANK

ITEM	EQUIPMENT LISTING	ITEM	EQUIPMENT LISTING	ITEM	EQUIPMENT LISTING
A	DOUBLE WALL FIBERGLASS STORAGE TANK	J	LARGE ROUND MANHOLE	T	DOUBLE WALL PRODUCT SUPPLY PIPING
B	XERXES PRECAST CONCRETE DEADMEN SYSTEM	K	FIVE GALLON SPILL FILL MANHOLE	U	FLEXIBLE CONNECTOR
C	FIBERGLASS HOLD DOWN STRAP WITH TURNBUCKLE ASSY.	L	FILL CAP	V	FLEXIBLE CONNECTOR BOOT
D	HYDROSTATIC MONITORING SYSTEM	M	FILL ADAPTER	W	STAGE 1 VAPOR RECOVERY MANHOLE
E	42" DIA FIBERGLASS CONTAINMENT COLLAR	N	PRODUCT LABEL MARKER	X	STAGE 1 VAPOR CAP
F	42" DIA FIBERGLASS 8 SIDED SW CONTAINMENT SUMP WITH 32" DIA WATERTIGHT TOP	O	OVERFILL PREVENTION VALVE	Y	STAGE 1 VAPOR CHECK VALVE ADAPTER
G	LEVEL PROBE	P	MONITORING MANHOLE	Z	EXTRACTOR ASSEMBLY
H	DISTINGUISHING LEAK SENSOR	Q	4" SENSOR CAP	AA	SUBMERSIBLE TURBINE PUMP
I	HYDROSTATIC MONITOR SENSOR	R	FLEXIBLE ENTRY BOOT	BB	FULL PORT BALL VALVE
		S	SINGLE WALL VENT PIPING	CC	SINGLE WALL STAGE 2 VAPOR RECOVERY PIPING

UST EQUIPEMNT DETAILS (TYP.)

SCALE: 3/8" = 1'-0"

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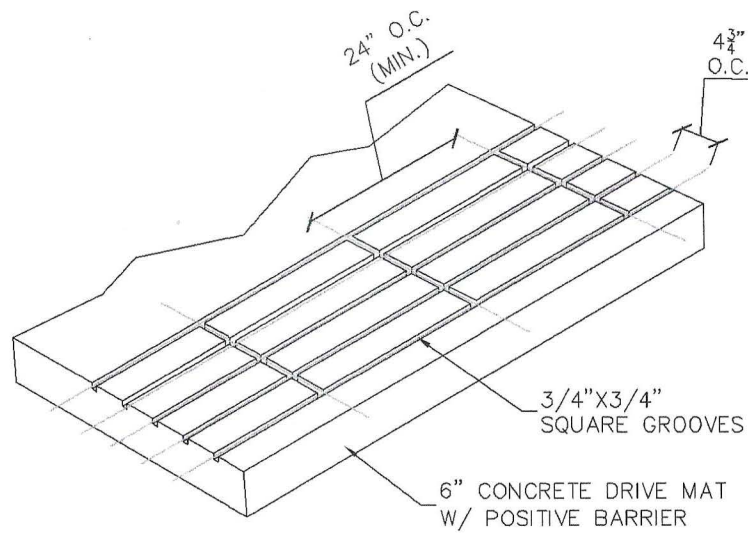
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CHAIRMAN, PLANNING BOARD
OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____
DATE: _____

PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
**UNDERGROUND
STORAGE
TANKS**

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
DWG No.: UST1	
APPL. No.:	

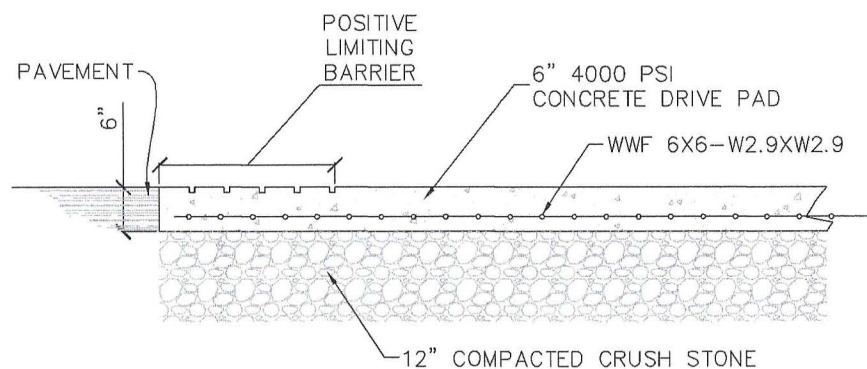


NOTES:

1. FIVE-GROOVE SPILL PROTECTION POSITIVE LIMITING BARRIER TO BE PROVIDED AROUND THE ENTIRE DRIVE MAT AND THE ENTIRE TANK MAT.
2. GROOVES SHALL 3/4" WIDE AND 3/4" DEEP, AND SHALL BE SPACED EVERY 4 3/4" ON CENTER
3. GROOVES SHALL BE KEPT FREE OF DIRT AND DEBRIS

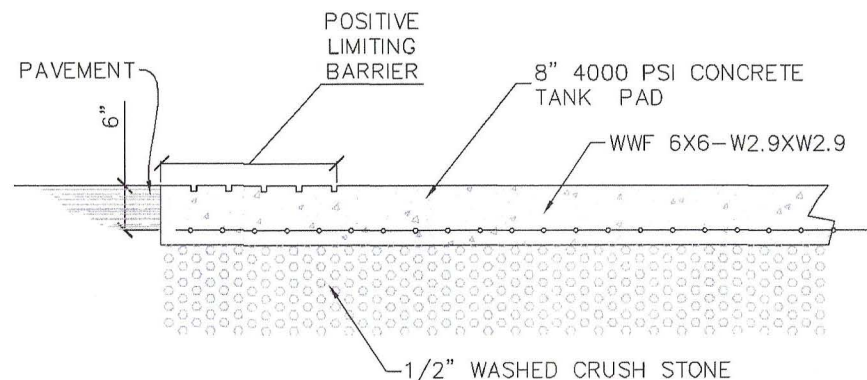
POSITIVE LIMITING BARRIER

SCALE: NTS



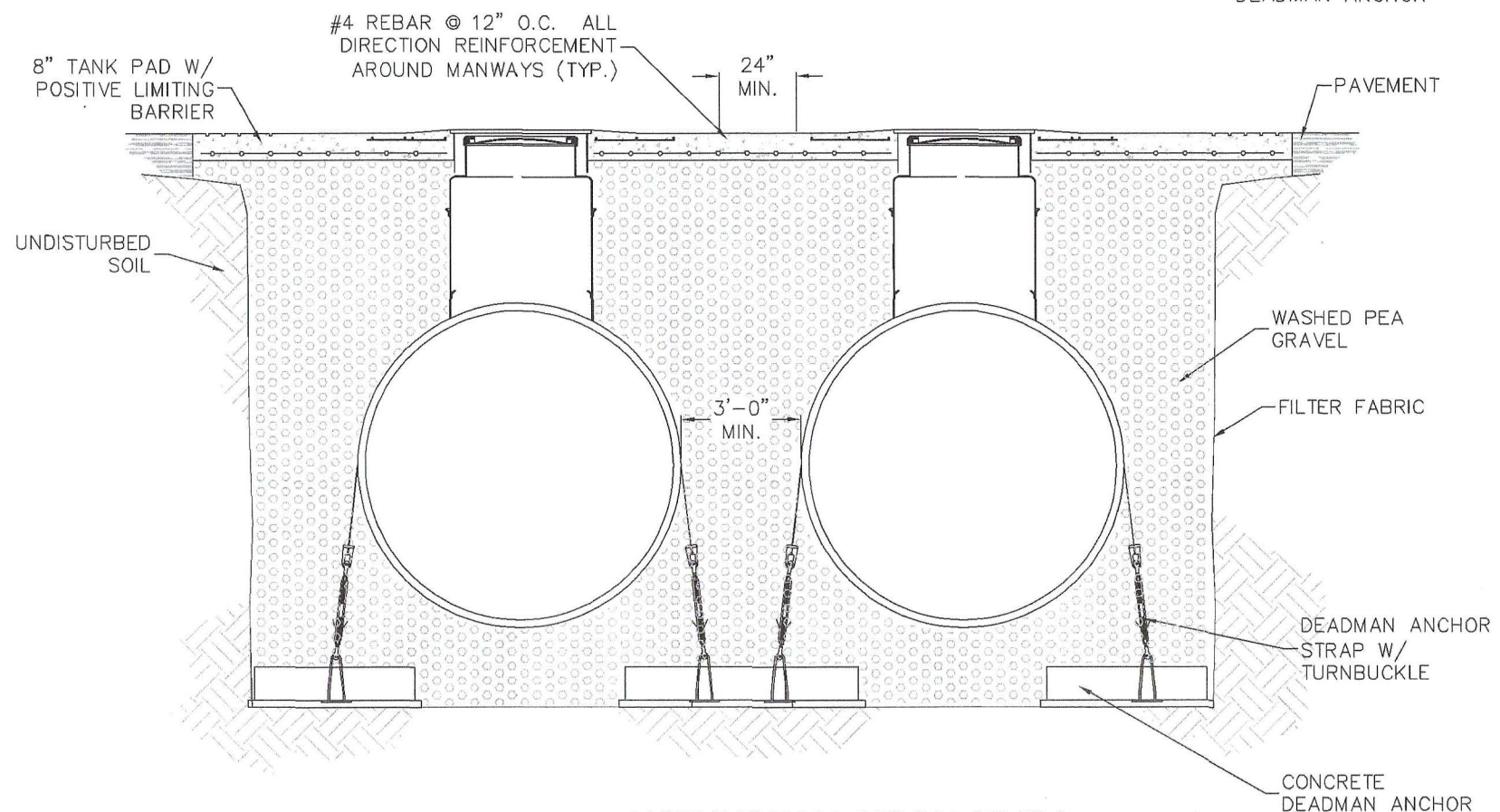
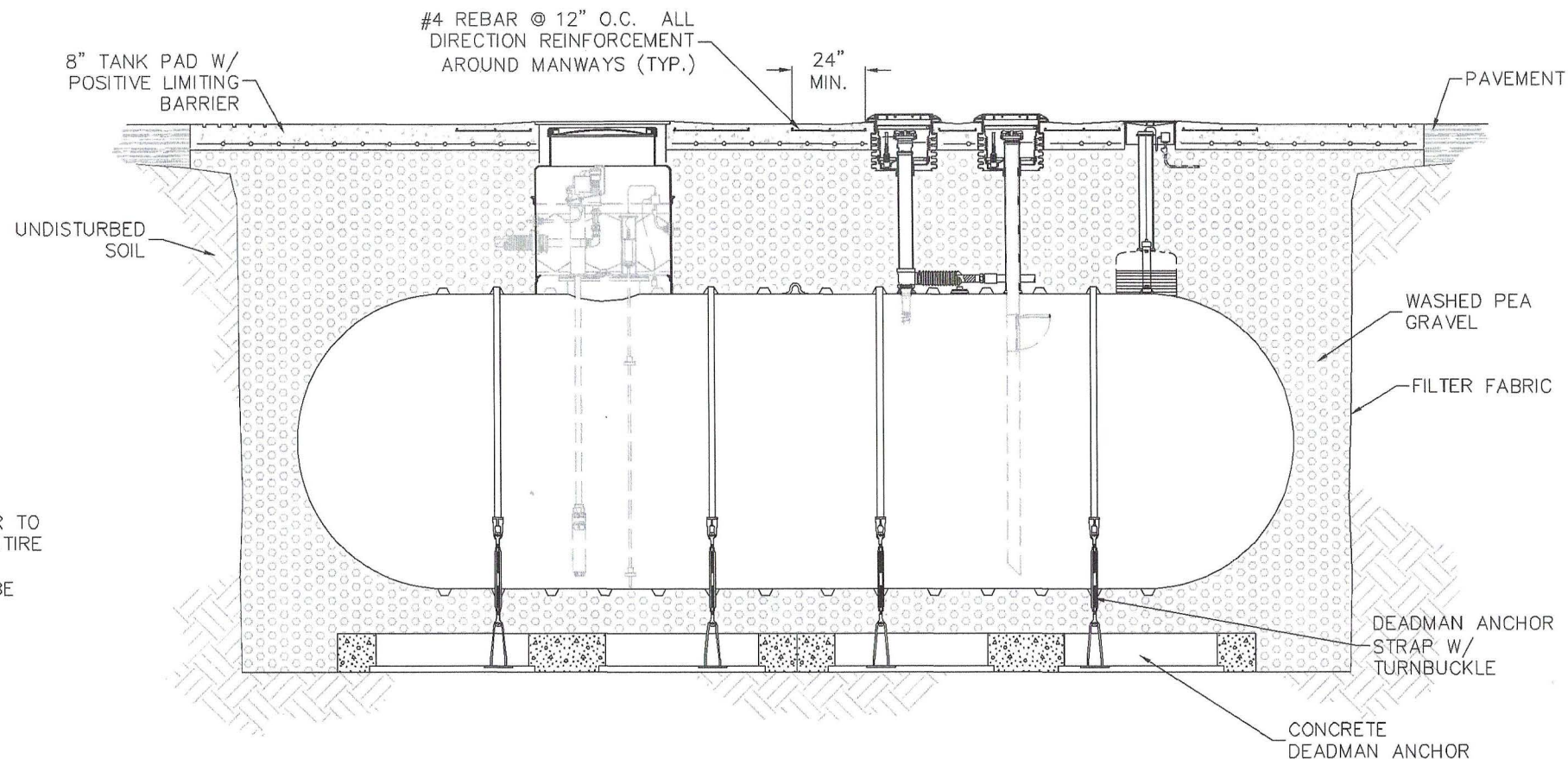
CONCRETE DRIVE PAD

SCALE: NTS



CONCRETE TANK PAD

SCALE: NTS



UST INSTALLATION (TYP.)

SCALE: NTS

Gibbons Engineering, PC

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IT IS A VIOLATION OF N.Y. STATE LAWS FOR ANY PERSON, UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER ANY ITEM IN ANY WAY

ISSUE DATES:

No.	DATE	DESCRIPTION
1	07.15.20	CLIENT SUBMISSION
2	08.31.20	P.B. SUBMISSION
3	04.04.22	P.B. REVISION

APPROVAL:
CHAIRMAN, PLANNING BOARD OF THE TOWN OF NORTH CASTLE

CHAIRMAN SIGNATURE _____
DATE: _____

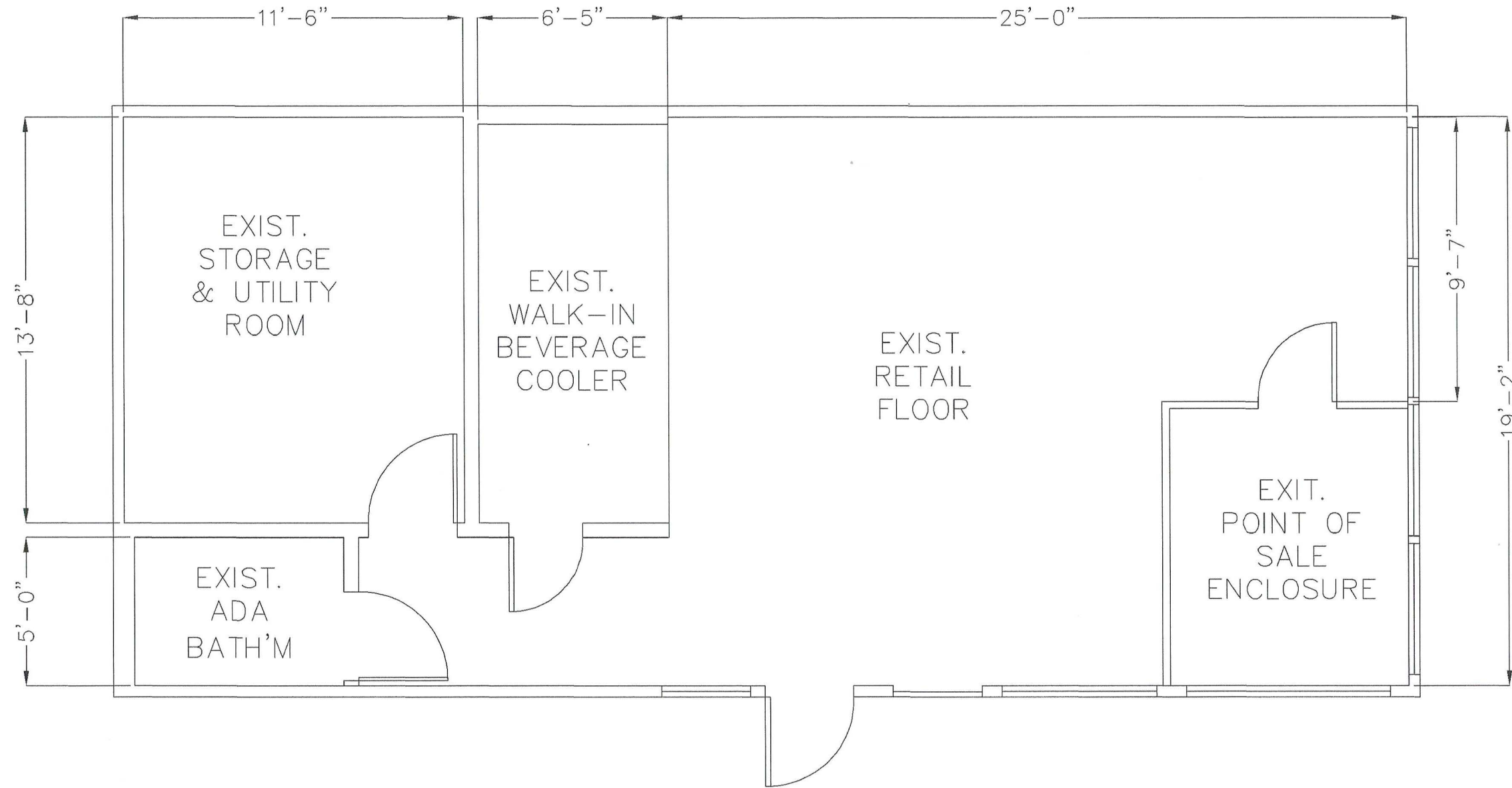
PROJECT:
825 NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
UST DETAILS

	DATE: 01.14.20
	PROJECT No: 2020-04
	DRAWING BY: ME
	CHK BY: JAG
DWG No.: UST2	
APPL. No.:	

ALTERATION NOTES:

1. WORK ON BUILDING SHALL BE LIMITED TO LEVEL 1 ALTERATIONS AS DEFINED IN THE 2020.EBCNYS.
2. WORK ON BUILDING SHALL BE LIMITED TO "THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES THAT SERVE THE SAME PURPOSE".
3. NO CHANGE IN THE RECONFIGURATION OF SPACE, NO ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, NO RECONFIGURATION OR EXTENSION OF ANY SYSTEM, AND NO INSTALLATION OF ANY ADDITIONAL EQUIPMENT SHALL BE PERMITTED UNDER THIS APPLICATION



FLOOR PLAN

SCALE: 1/8" = 1'-0"

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PROJECT:
825
NORTH BROADWAY
WHITE PLAINS
10603

DRAWING TITLE:
FLOOR PLAN

	DATE:	01.14.20
	PROJECT No:	2020-04
	DRAWING BY:	ME
	CHK BY:	JAG
	DWG No.:	A1
APPL. No.:		

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2020 BCNYS, AND THE 2020 EBCNYS, .
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF NORTH CASTLE BUILDING CODES, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
3. THE BUILDER SHALL VERIFY ALL DIMENSIONS IN THE FIELD. "V.I.F." DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR CLARIFICATION. WORK SHALL NOT PROCEED UNTIL SUCH CLARIFICATION HAS BEEN RECEIVED.
4. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSES NECESSITATE CONSTRUCTION DETAILS NOT IN ACCORDANCE WITH THESE PLANS, THE BUILDER SHALL NOTIFY THE ENGINEER AND SUBMIT HIS DETAILS SHOWING THE PROPOSED METHODS TO ACCOMPLISH THE REQUIRED RESULTS.
5. ALL PLUMBING WORK SHALL CONFORM TO THE TOWN OF NORTH CASTLE PLUMBING CODE. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE. ALL HEATING AND VENTILATING WORK SHALL COMPLY WITH AMERICAN SOCIETY OF HEATING, REFRIGERATING AND AIR CONDITIONING ENGINEERS (ASHRAE) STANDARDS. CONTRACTOR/OWNER TO HIRE LICENSED PLUMBER AND ELECTRICIAN.
6. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
7. DO NOT SCALE DRAWINGS FOR DIMENSIONS. REFER TO WRITTEN DIMENSIONS FOR ACCURACY OR CONTACT ENGINEER FOR ANY MISSING AND REQUIRED DIMENSIONS. DIMENSIONS CHANGED IN THE FIELD BY THE CONTRACTOR WITHOUT INFORMING THE ENGINEER SHALL RELEASE THE ENGINEER OF FURTHER RESPONSIBILITY FOR DIMENSIONS. LARGE SCALE DETAILS TAKE PRECEDENCE OVER SMALL SCALE DETAILS.
8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OR INSTALLATION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS
9. CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS, BUILDING PERMITS AND INSPECTIONS AND SHALL PAY ALL REQUIRED FEES. CONTRACTOR SHALL ARRANGE AND PERFORM TESTS OF ALL MECHANICAL OR OPERABLE COMPONENTS. THE COST OF SUCH TESTS SHALL BE INCLUDED IN THE CONSTRUCTION COST ESTIMATE.
10. NO SUBSTITUTIONS SHALL BE MADE FOR ANY ITEMS SPECIFIED ON THE DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER OR OWNER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.

12. ALL CORING AND DRILLING REQUIRED TO BE PERFORMED AT TIMES ONLY AS ALLOWED BY BUILDING RULES, REGULATIONS OR POLICIES. COORDINATE WORK WITH BUILDING MANAGER.
13. EXISTING UTILITIES: THE BUILDER SHALL TAKE EXTREME CARE DURING EXCAVATION AND SHALL VERIFY THE EXACT LOCATIONS OF ALL UTILITIES AND SERVICE LINES. THE BUILDER SHALL MAKE ALL NECESSARY PROVISIONS TO PROTECT ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION. BUILDER SHALL CONTACT THE LOCALITY AND UTILITY COMPANIES TO ASCERTAIN THE PRESENCE AND LOCATION OF UTILITY AND SERVICE LINE IN ACCORDANCE WITH LOCAL RULES AND REGULATIONS ("CALL BEFORE YOUR DIG").
14. SCOPE OF WORK SHALL INCLUDE ALL WORK AS SHOWN ON DRAWINGS, NOTES OR AS REVIEWED VERBALLY PRIOR TO BIDDING. (ANY WORK ADDED FOLLOWING FINAL BID SUBMITTAL SHALL BE INCLUDED AS A CHANGE ORDER.)
15. CONTRACTOR TO COORDINATE VARIOUS ELEMENTS OF THE WORK AND ENTITIES ENGAGED TO PERFORM WORK AND COORDINATE WORK WITH EXISTING FACILITIES/CONDITIONS AND WITH ANY WORK BY SEPARATE CONTRACTORS AND BY OWNER.
16. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OR INSTALLATION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
18. CLEAN EACH ELEMENT OF WORK AT TIME OF INSTALLATION. PROVIDE SUFFICIENT MAINTENANCE AND PROTECTION DURING CONSTRUCTION TO ENSURE FREEDOM FROM DAMAGE AND DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.
19. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)
20. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
21. CONTRACTOR ACCESS TO OTHER SPACES WITHIN THE BUILDING AS REQUIRED FOR PLUMBING AND ELECTRICAL WORK SHALL BE COORDINATED WITH THE HOMEOWNER.
22. CONTRACTOR TO PROVIDE FIRE-STOPPING OF REQUIRED RATING WHERE NEW WORK PENETRATES FIRE-RATED PARTITIONS, WALLS, CEILINGS AND FLOORS.

23. CONTRACTOR TO REQUIRE INSTALLER OF EACH UNIT OF WORK TO INSPECT SUBSTRATE AND CONDITIONS FOR INSTALLATION PRIOR TO INSTALLATION. CONTRACTOR TO CORRECT UNSATISFACTORY CONDITIONS. INSPECT EACH PRODUCT IMMEDIATELY BEFORE INSTALLATION. DO NOT INSTALL DAMAGED OR DEFECTIVE PRODUCTS, MATERIALS OR EQUIPMENT.
24. CONTRACTOR SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT PRINTED INFORMATION IS MORE DETAILED OR STRINGENT THAN THE REQUIREMENTS CONTAINED ON THE APPROVED PLANS

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