

ALFONZETTI ENGINEERING, P.C.  
14 Smith Avenue, Mt. Kisco, N.Y. 10549

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Adam R. Kaufman, AICP  
Director of Planning  
Planning Department  
Town of North Castle  
17 Bedford Road  
Armonk, NY 10504

June 13, 2022

Re: 2012 Maria Martins Irrevocable Trust/ 78 Lafayette Ave  
Town of North Castle

Adam:

For your use, please find enclosed the following:

- One (1) set of plans entitled:
  - “Existing Conditions & Demolition Plan, 78 Lafayette Avenue, Town of North Castle, Westchester County, NY”, dated June 13, 2022.
  - “Layout Plan, 78 Lafayette Avenue, Town of North Castle, Westchester County, NY”, dated June 13, 2022.
  - “Grading & Utility Plan, 78 Lafayette Avenue, Town of North Castle, Westchester County, NY”, dated June 13, 2022.
  - “Soil and Erosion Control Plan, 78 Lafayette Avenue, Town of North Castle, Westchester County, NY”, dated June 13, 2022.
  - “Site Details, 78 Lafayette Avenue, Town of North Castle, Westchester County, NY”, dated June 13, 2022.
- One (1) copy of Application for Site Development Plan Approval.

We are submitting the above material to be placed on the next Planning Board agenda.

Please call if there are any questions.

Thank You,



Ralph Alfonzetti, P.E.  
ALFONZETTI ENGINEERING, P.C.



**TOWN OF NORTH CASTLE**  
**WESTCHESTER COUNTY**  
17 Bedford Road  
Armonk, New York 10504-1898

**PLANNING DEPARTMENT**  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
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[www.northcastleny.com](http://www.northcastleny.com)

## Application for Site Development Plan Approval

Application Name

78 LAFAYETTE AVE

**I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES**

Name of Property Owner: 2012 Maria Martins Irrevocable Trust  
Mailing Address: 6 White Birch Drive, Rye, New York, 10580  
Telephone: 914-439-6168 Fax: \_\_\_\_\_ e-mail tc@castroesq.com

Name of Applicant (if different): \_\_\_\_\_  
Address of Applicant: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_  
Interest of Applicant, if other than Property Owner:  
\_\_\_\_\_

Is the Applicant (if different from the property owner) a Contract Vendee?  
Yes  No   
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan: ALFONZETTI ENGINEERING, P.C.  
Address: 14 SMITH AVE., MT. KISCO, NEW YORK, 10549  
Telephone: (914) 666 9800 Fax: \_\_\_\_\_ e-mail INFO@ALFONZETTIENG.COM

Name of Other Professional: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

Name of Attorney (if any): \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: Trustee of Maria Martins Irrevocable Trust<sup>2012</sup> Date: 6/9/22

Signature of Property Owner: Trustee of Maria Martins Irrevocable Trust<sup>2012</sup> Date: 6/9/22

MUST HAVE BOTH SIGNATURES

**II. IDENTIFICATION OF SUBJECT PROPERTY**

Street Address: 78 LAFAYETTE AVE. WHITE PLAINS, NY 10603

Location (in relation to nearest intersecting street):

785 feet (north, south, east or west) of VIRGINIA RD

Abutting Street(s): \_\_\_\_\_

Tax Map Designation (NEW): Section 122.12 Block 1 Lot 29

Tax Map Designation (OLD): Section \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_

Zoning District: IND-A Total Land Area .6115 Acres

Land Area in North Castle Only (if different) \_\_\_\_\_

Fire District(s) NORTH WHITE PLAINS FD School District(s) VALHALLA

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?  
No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) x  
If yes, please identify name(s): MOUNT PLEASANT, GREENBURGH

The boundary of any existing or proposed County or State park or any other recreation area?  
No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) x

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?  
No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) x

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?  
No \_\_\_\_\_ Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) x

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?  
No x Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The boundary of a farm operation located in an agricultural district?  
No x Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

Does the Property Owner or Applicant have an interest in any abutting property?  
No x Yes \_\_\_\_\_

If yes, please identify the tax map designation of that property:  
\_\_\_\_\_

**III. DESCRIPTION OF PROPOSED DEVELOPMENT**

Proposed Use: OFFICES, WAREHOUSE AND STORAGE YARD

Gross Floor Area: Existing 0 S.F. Proposed 6,612 S.F.

Proposed Floor Area Breakdown:

Retail N/A S.F.; Office 1,710 S.F.;

Industrial 4902 S.F.; Institutional N/A S.F.;

Other Nonresidential N/A S.F.; Residential N/A S.F.;

Number of Dwelling Units: N/A

Number of Parking Spaces: Existing \_\_\_\_\_ Required 10.92 Proposed 11

Number of Loading Spaces: Existing \_\_\_\_\_ Required 1 Proposed 2

Earthwork Balance: Cut 10,340 C.Y. Fill 1000 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes \_\_\_\_\_

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No \_\_\_\_\_ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes \_\_\_\_\_

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes \_\_\_\_\_

(If yes, application for a State Wetlands Permit may also be required.)

#### IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) set of the site development plan application package (for distribution to the Town Planner for preliminary review purposes).
- Once a completed preliminary site plan checklist has been received from the Planning Department, eight (8) additional sets of the site development plan application package (for distribution to Planning Board, Town Engineer, Town Attorney, Town Planner, Planning Board Secretary, police, fire department and ambulance corps).
- One (1) additional reduced sized set (11" x 17") of the site development plan application package if any portion of the subject property abuts or is located within five hundred (500) feet of the features identified in Section II of this application form (for distribution to Westchester County Planning Board).
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

## V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

### **Legal Data:**

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.



**Existing Conditions Data:**

- X Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- X Location of existing parking and truck loading areas, with access and egress drives thereto.
- X Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- X Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- X Location, size and design of existing signs.
- X Location, type, direction, power and time of use of existing outdoor lighting.
- X Location of existing outdoor storage, if any.
- X Existing topographical contours with a vertical interval of two (2) feet or less.
- N/A Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

**Proposed Development Data:**

- N/A Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- X Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- X Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- X Proposed sight distance at all points of vehicular access.
- X Proposed number of employees for which buildings are designed
- X Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- X Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- X Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- X Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- X Location, size and design of all proposed signs.
- X Location, type, direction, power and time of use of proposed outdoor lighting.
- X Location and design of proposed outdoor garbage enclosure.
- X Location of proposed outdoor storage, if any.
- X Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- X Type of power to be used for any manufacturing
- X Type of wastes or by-products to be produced and disposal method
- N/A In multi-family districts, floor plans, elevations and cross sections
- X The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- X Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- X Proposed soil erosion and sedimentation control measures.
- N/A For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- X For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- N/A For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

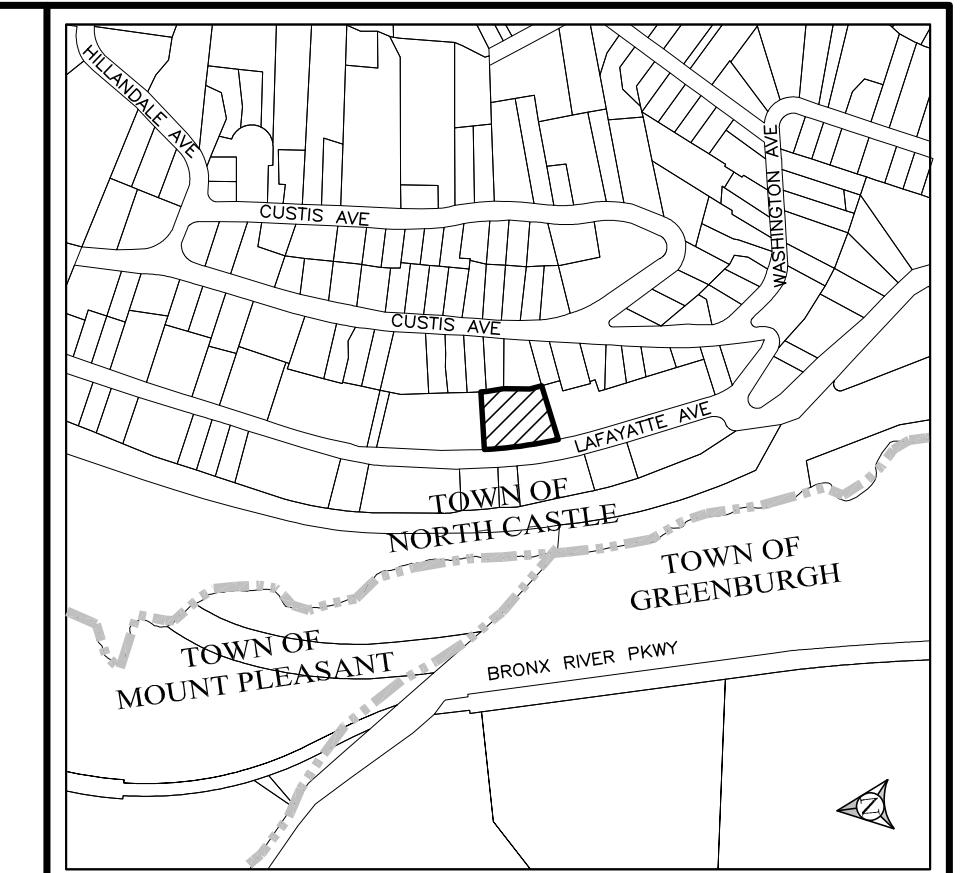
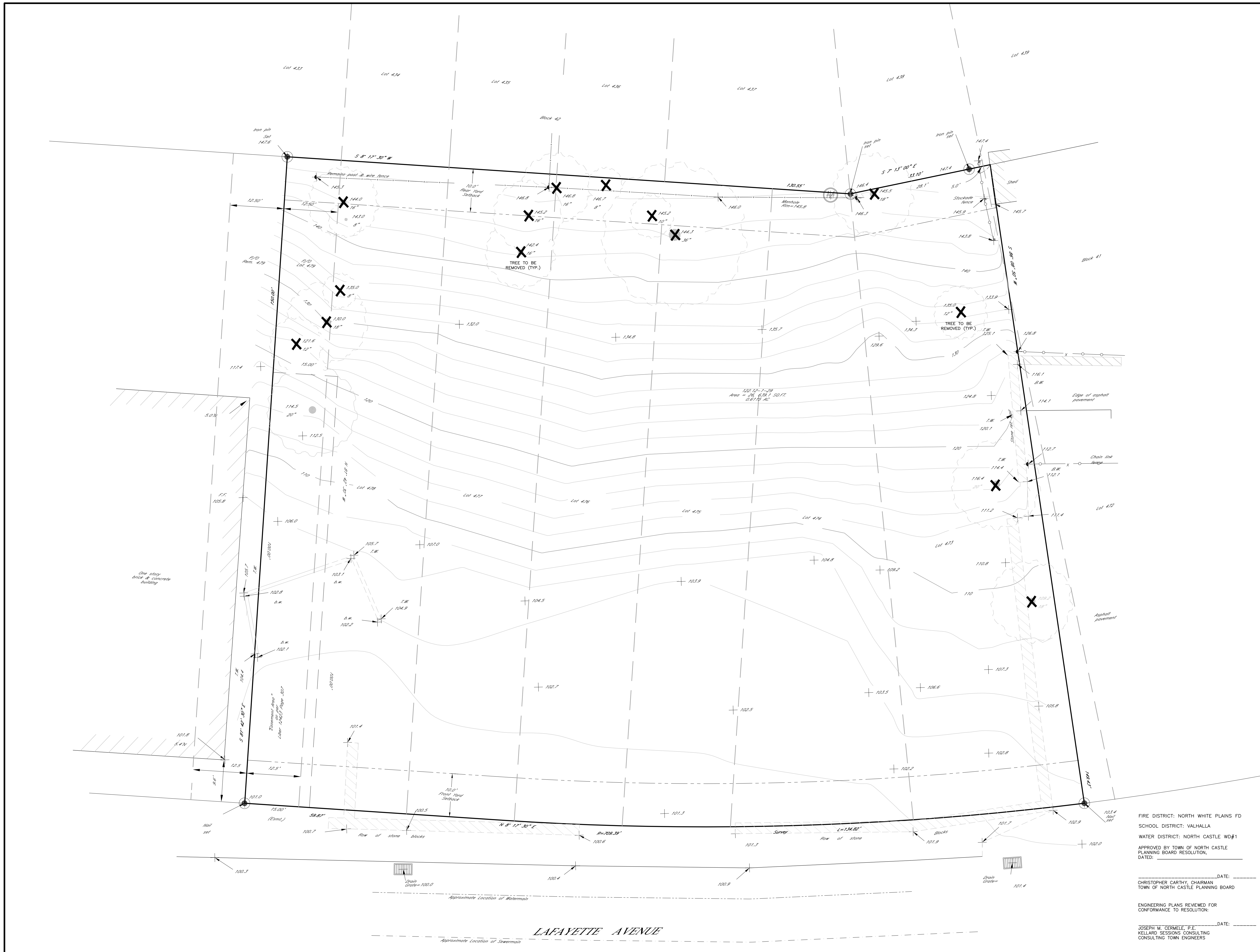
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
MTS INFRASTRUCTURE LLC			
Name of Action or Project: 78 LAFAYETTE AVE-SITE DEVELOPMENT			
Project Location (describe, and attach a location map): 78 Lafayette Ave North Castle NY 10603			
Brief Description of Proposed Action: OFFICES, WAREHOUSE AND STORAGE YARD			
Name of Applicant or Sponsor: MTS INFRASTRUCTURE LLC		Telephone: 914-242-3583	
		E-Mail: mmartins@mtsinfrastructure.com	
Address: 78 LAFAYETTE AVE.			
City/PO: NORTH WHITE PLAINS		State: New York	Zip Code: 10603
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: NYS DEC - Stormwater (SWPPP)			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ .6115 acres	
b. Total acreage to be physically disturbed?		_____ <del>0.59</del> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ .6115 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____ NORTH CASTLE WD#1	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ TOWN OF NORTH CASTLE STORMWATER CONVEYANCE DRAINAGE NETWORK _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>MARIA MARTIN</u> Date: <u>6/13/2022</u></p> <p>Signature: <u><i>Maria Martin</i></u></p>		



LOCATION MAP N.T.S.

- CONSTRUCTION NOTES:**
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53) PRIOR TO THE START OF CONSTRUCTION.
  2. THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
  3. EROSION AND SEDIMENT CONTROL MEASURES, SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
  4. AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
  5. ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS, SHALL BE RESTORED TO ACCEPTABLE CONDITIONS, AS REQUIRED BY THE GOVERNING AGENCY.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
  7. THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
  8. UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
  9. ALL PROPOSED OR DISTURBED SLOPES, 1H:3V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
  10. IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
  11. NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.

- GENERAL NOTES:**
1. EXISTING FEATURES SHOWN HEREON WERE TAKING FROM SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY SITUATE IN THE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK, PREPARED BY LINK LAND SURVEYORS P.C. DATED MAY 9, 2022".

**DEMO LEGEND**

- X TREE TO BE REMOVED
- - - EXISTING FEATURE TO BE REMOVED

**TREE NOTE:**

1. A TOTAL OF FOURTEEN (14) TREES SHALL BE REMOVED ON THIS APPLICATION.

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY. IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

North Arrow

Scale: 1" = 10'

STATE OF NEW YORK  
SEAL OF ALFONZETTI  
LICENSED PROFESSIONAL ENGINEER  
076215

**ALFONZETTI ENGINEERING, P.C.**  
14 SMITH AVE, MT. KISCO, N.Y. 10549  
914-666-9800 INFO@ALFONZETTIENG.COM

**SITE DATA**

OWNER/APPLICANT: 2012 MARIA MARTINS IRREVOCABLE TRUST  
SITE ADDRESS: 78 LAFAYETTE AVE, NORTH WHITE PLAINS, NY 10603  
TAX MAP #: 122.12-1-29  
LOT AREA: 0.6115 AC  
ZONING: IND-A

FIRE DISTRICT: NORTH WHITE PLAINS FD  
SCHOOL DISTRICT: VALHALLA  
WATER DISTRICT: NORTH CASTLE WD#1

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: \_\_\_\_\_

CHRISTOPHER CARTHY, CHAIRMAN  
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION, DATED: \_\_\_\_\_

JOSEPH M. CERMELE, P.E.  
KELLARD SESSIONS CONSULTING  
CONSULTING TOWN ENGINEERS

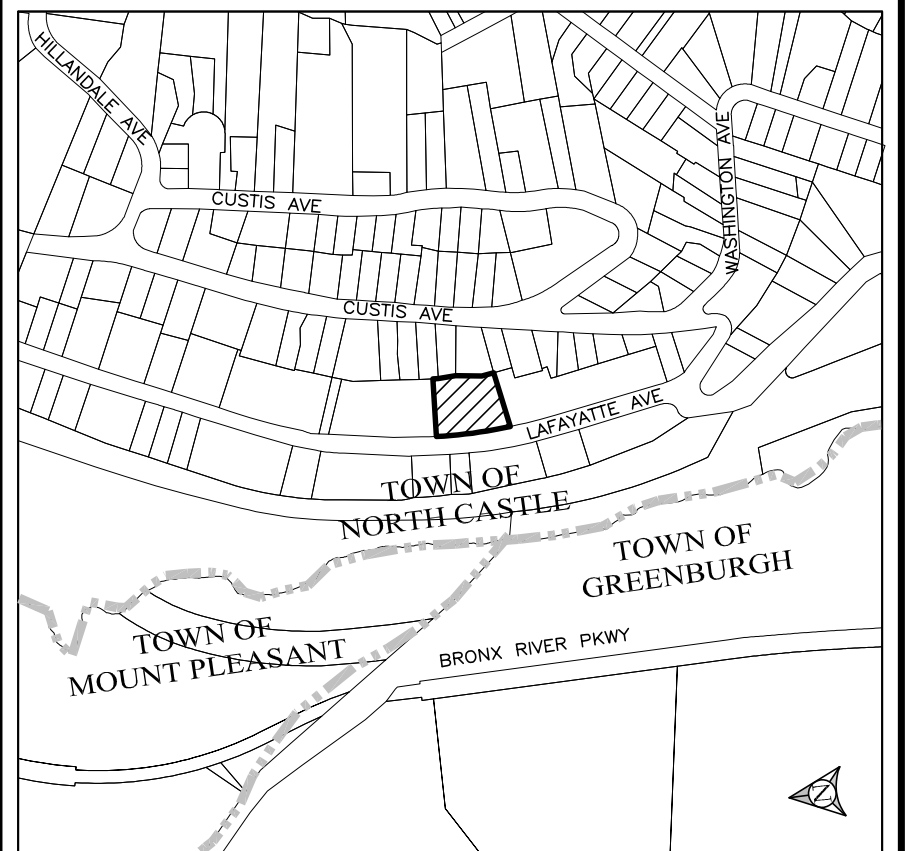
**EXISTING CONDITIONS & DEMOLITION PLAN**  
JUNE 13, 2022

**78 LAFAYETTE AVENUE**  
TOWN OF NORTH CASTLE,  
WESTCHESTER COUNTY, NEW YORK

SHEET 01 OF 05



PARKING REQUIREMENTS			
	UNITS/AREA	REQUIRED	PROVIDED
WAREHOUSE SPACE (1 SPACE/1,200 SQ.FT.)	4,902 S.F.	4.08	
OFFICE (2 STORIES) (1 SPACE/250 SQ.FT.)	855 S.F. x 2 = 1,710 S.F.	6.84	
TOTAL		10.92	11



LOCATION MAP N.T.S.

ZONING CONFORMANCE TABLE		
ZONING DISTRICT	IND-A (INDUSTRIAL A DISTRICT)	
	REQUIRED OR ALLOWED	PROPOSED
GROSS LOT AREA		
50% WETLAND AREA		
25% STEEP SLOPES 20%-25%		
50% STEEP SLOPES 25%+		
MINIMUM NET LOT AREA	5,000 S.F.	26,639.1 S.F.
FRONT YARD SETBACK	10 FT.	10 FT.
SIDE YARD SETBACK	0 FT.	0 FT.
REAR YARD SETBACK	10 FT.	10 FT.
LOT FRONTAGE	50 FT.	194.69 FT.
LOT DEPTH	100 FT.	132 FT.
BUILDING HEIGHT	2 STORIES/ 35 FEET	2.0 STORIES
MAXIMUM BUILDING COVERAGE	40%	21.61% (5,757 S.F.)



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SCALE: 1" = 10'

**ALFONZETTI ENGINEERING, P.C.**  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

<p><b>SITE DATA</b></p> <p>OWNER/APPLICANT: 2012 MARIA MARTINS IRREVOCABLE TRUST</p> <p>SITE ADDRESS: 78 LAFAYETTE AVE, NORTH WHITE PLAINS, NY 10603</p> <p>TAX MAP #: 122.12-1-29</p> <p>LOT AREA: 0.6115 AC</p> <p>ZONING: IND-A</p>	<p><b>LAYOUT PLAN</b></p> <p>JUNE 13, 2022</p> <p>PROJECT: <b>78 LAFAYETTE AVENUE</b> TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK</p>
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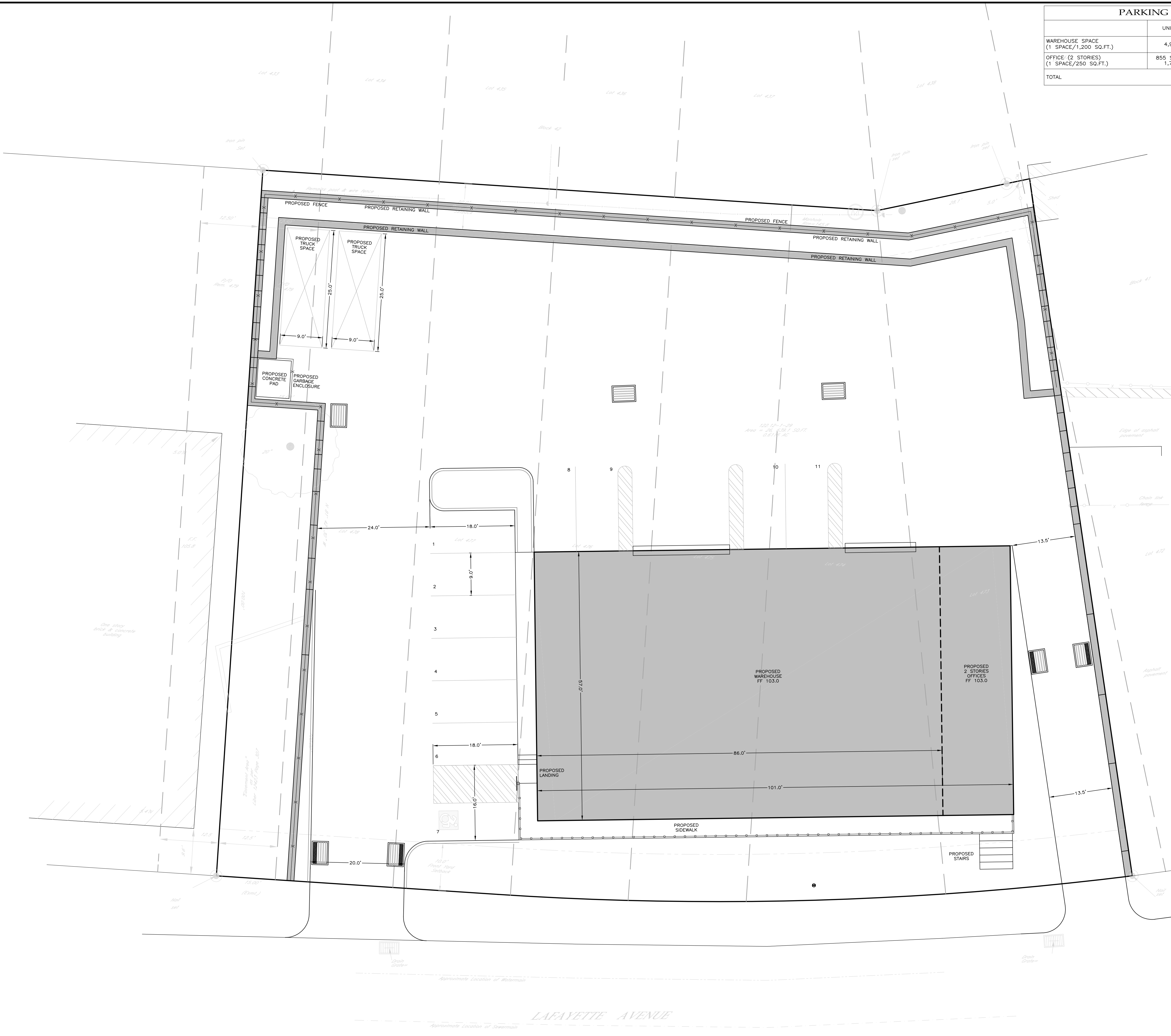
FIRE DISTRICT: NORTH WHITE PLAINS FD  
 SCHOOL DISTRICT: VALHALLA  
 WATER DISTRICT: NORTH CASTLE WD#1

APPROVED BY TOWN OF NORTH CASTLE  
 PLANNING BOARD RESOLUTION,  
 DATED: \_\_\_\_\_

DATE: \_\_\_\_\_  
 CHRISTOPHER CARTHY, CHAIRMAN  
 TOWN OF NORTH CASTLE PLANNING BOARD

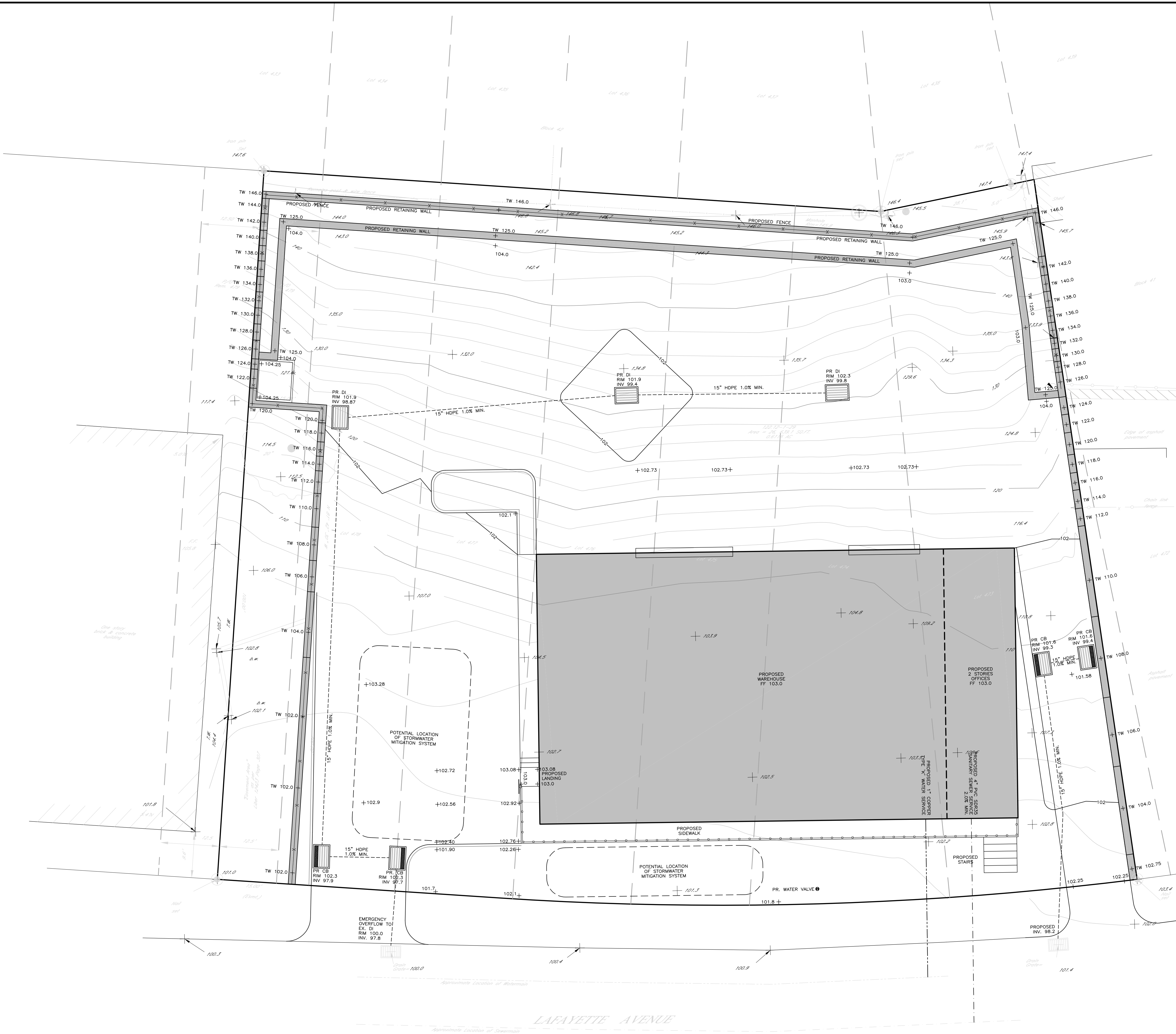
ENGINEERING PLANS REVIEWED FOR  
 CONFORMANCE TO RESOLUTION:  
 \_\_\_\_\_

DATE: \_\_\_\_\_  
 JOSEPH M. CERMELE, P.E.  
 KELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS

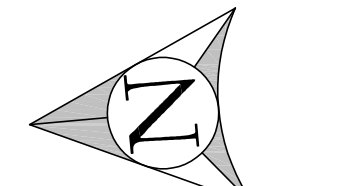


LAFAYETTE AVENUE





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SCALE: 1" = 10'



**ALFONZETTI ENGINEERING, P.C.**  
 14 SMITH AVE, MT. KISCO, N.Y. 10549  
 914-666-9800 INFO@ALFONZETTIENG.COM

**SITE DATA**  
 OWNER/APPLICANT: 2012 MARIA MARTINS IRREVOCABLE TRUST  
 SITE ADDRESS: 78 LAFAYETTE AVE, NORTH WHITE PLAINS, NY 10603  
 TAX MAP #: 12212-1-29  
 LOT AREA: 0.6115 AC  
 ZONING: IND-A

FIRE DISTRICT: NORTH WHITE PLAINS FD  
 SCHOOL DISTRICT: VALHALLA  
 WATER DISTRICT: NORTH CASTLE WD#1

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: \_\_\_\_\_

CHRISTOPHER CARTHAY, CHAIRMAN  
 TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION, DATED: \_\_\_\_\_

JOSEPH M. CERMELE, P.E.  
 KELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS

**GRADING & UTILITY PLAN**  
 JUNE 13, 2022  
 PROJECT: 78 LAFAYETTE AVENUE  
 TOWN OF NORTH CASTLE,  
 WESTCHESTER COUNTY, NEW YORK

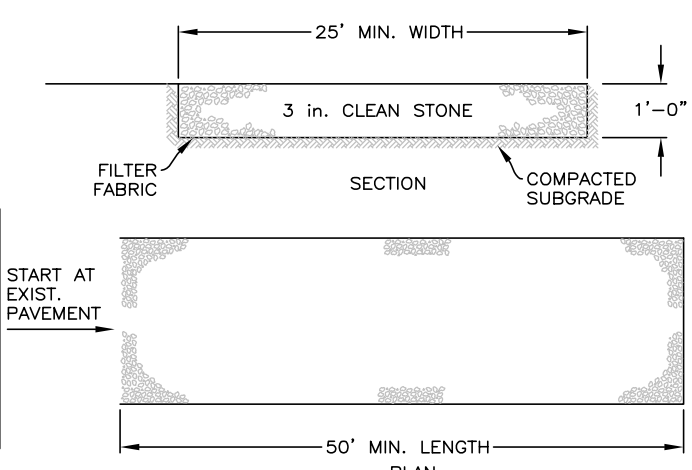
SHEET: 03 OF 05

LAFAYETTE AVENUE



**EROSION CONTROL NOTES:**

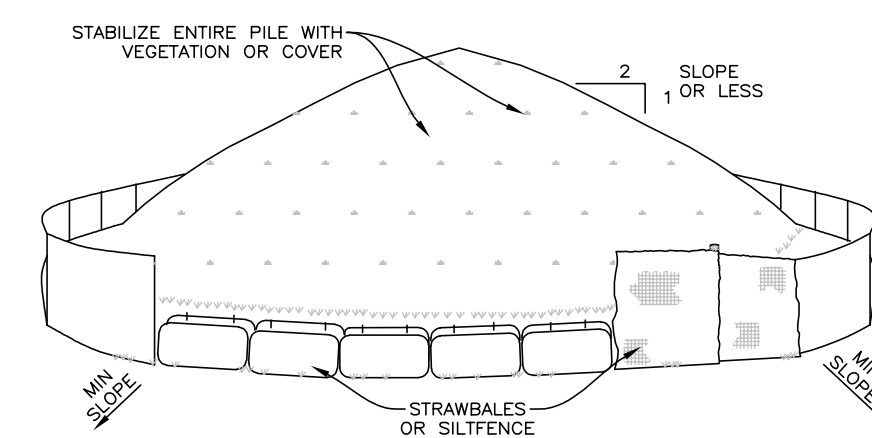
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED TO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING, OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).



**INSTALLATION NOTES**

- STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) N.T.S.**



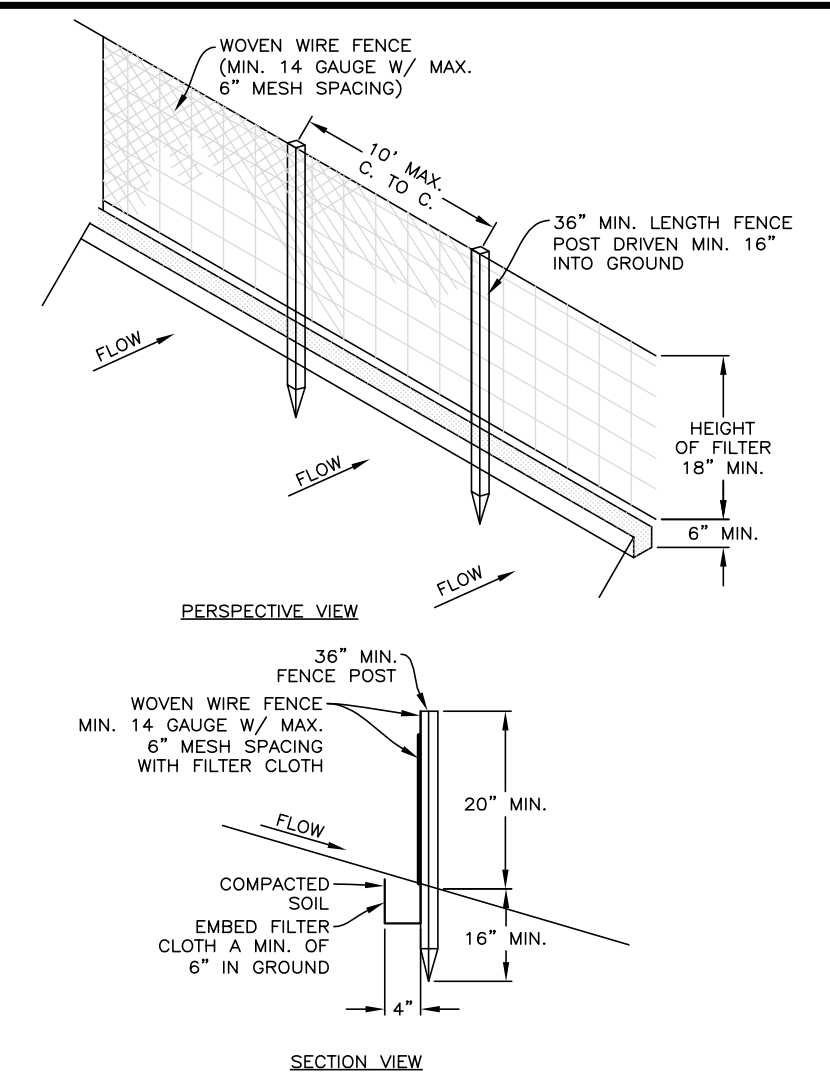
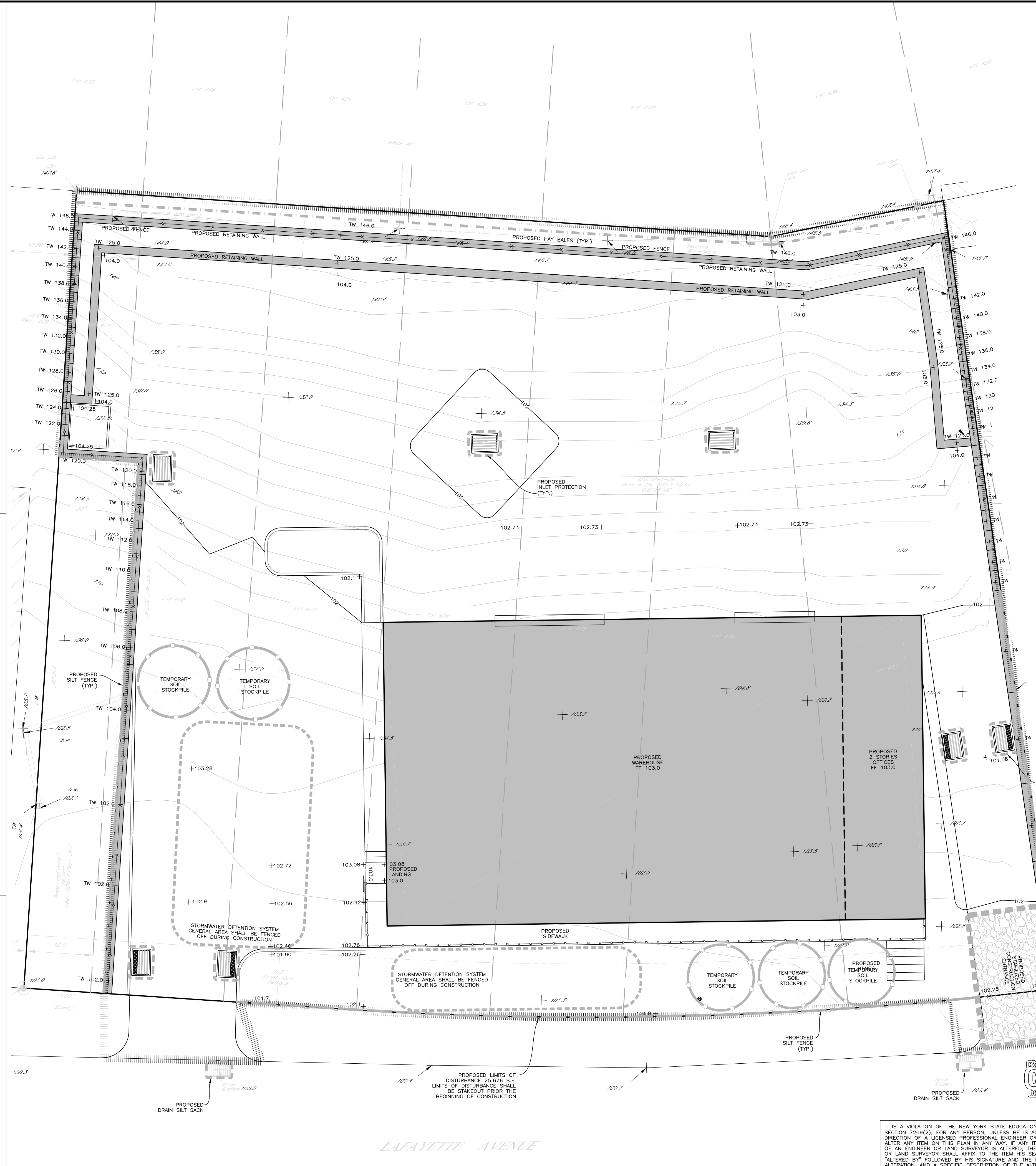
TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERMANENT SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

**INSTALLATION NOTES**

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

**TEMPORARY MATERIAL STOCKPILE N.T.S.**



- CONSTRUCTION SPECIFICATIONS**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH TIES OR STAPLES. POST SHALL PROTECT EITHER 1" TYPE OF HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
  - PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

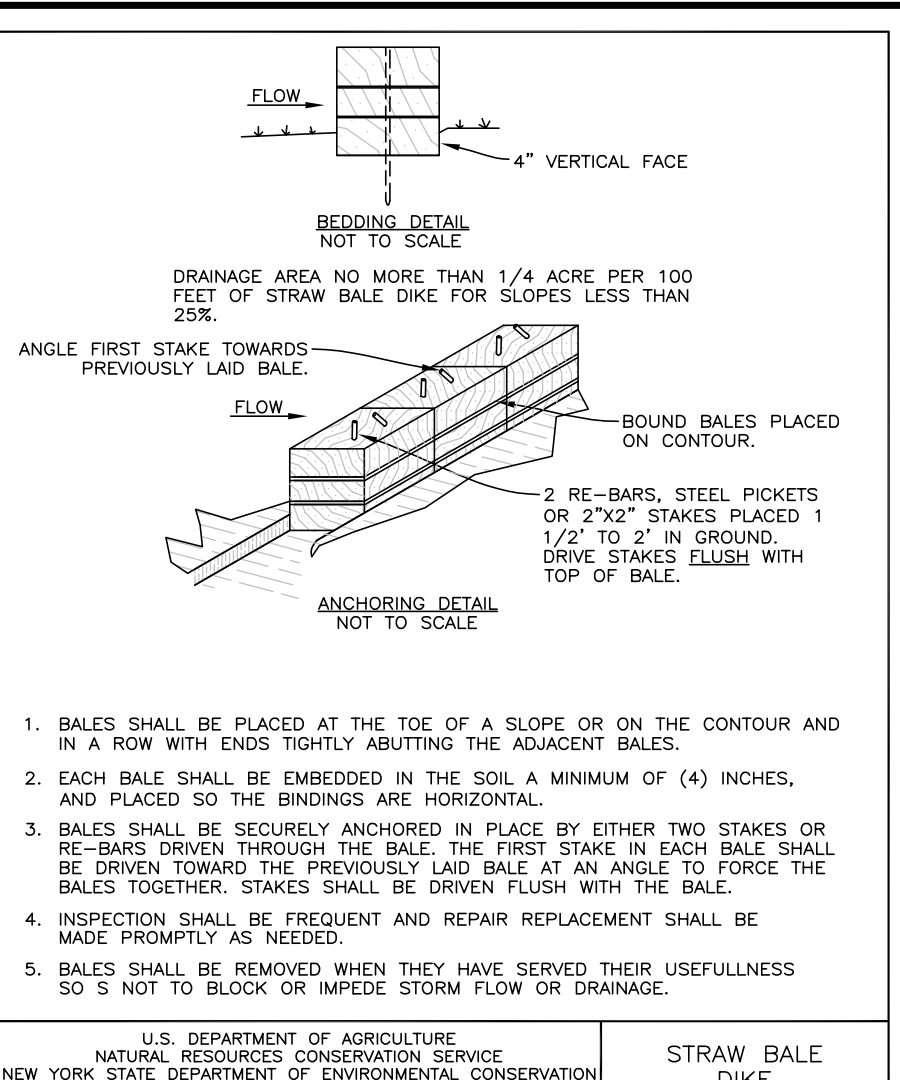
**SILT FENCE N.T.S.**

**CONSTRUCTION SEQUENCE:**

THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS ANTICIPATED TO BEGIN IN FALL 2022 AND BE COMPLETED BY FALL 2025.

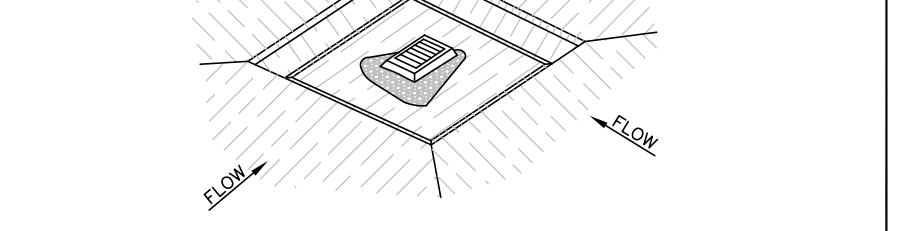
THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:

- PRE-CONSTRUCTION MEETING, STAKEOUT, EROSION CONTROL MEASURES, CLEARING.
- A PRE-CONSTRUCTION MEETING WILL TAKE PLACE WITH THE TOWN ENGINEER, APPLICANT, APPLICANT'S REPRESENTATIVE, UTILITY COMPANY AND CONTRACTORS.
- THE INITIAL FIELDWORK SHALL CONSIST OF SURVEYING AND STAKING FOR DISTURBANCE LIMITS AND EROSION CONTROL INSTALLATION.
- THE PLACEMENT OF A CONSTRUCTION TRAILER AND/OR FIELD OFFICE AND A CONSTRUCTION STAGING AREA, IF NECESSARY SHALL COMMENCE.
- ALL TREES TO BE PRESERVED WITHIN THE DISTURBANCE LIMITS SHALL BE MARKED AND PROTECTED PRIOR TO THE START OF CLEARING OPERATIONS. EROSION CONTROL SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN AND AS PER THE RESPECTIVE EROSION CONTROL DETAILS PER THE CONSTRUCTION SEQUENCE.
- SILT FENCE AND HAYBALES, WHERE INDICATED, SHALL BE INSTALLED.
- ANTI-TRACKING PADS SHALL BE INSTALLED AT ALL CONSTRUCTION ENTRANCES.
- TREES TO BE REMOVED SHALL BE CUT AT THIS TIME.
- TREE STUMPS SHALL BE REMOVED AT THIS TIME. TREE STUMP REMOVAL SHALL ONLY INCLUDE STUMPS WITHIN THE IMMEDIATE WORK AREA. SILT FENCE DAMAGED BY TREE STUMP REMOVAL SHALL BE REPLACED.
- DEMOLITION AND EARTHWORK
- INSTALL STRAW BALES AND SILT FENCE.
- CLEAR AND GRUB FOR REMAINING WORK AREA.
- SOIL STRIPPING AND STOCKPILING OCCUR AT THIS TIME.
- AFTER SILT FENCE AND HAYBALES HAVE ALL BEEN INSTALLED PRELIMINARY EARTHWORK OPERATIONS SHALL BEGIN.
- BUILDING CONSTRUCTION/GRADING/DRAINAGE/SYSTEM INSTALLATION/UTILITY INSTALLATION
- BUILDING EXCAVATION FOR THE FOOTINGS AND FOUNDATIONS SHALL BEGIN.
- THE BUILDING'S SUPERSTRUCTURE CONSTRUCTION BEGINS ONCE THE FOUNDATIONS HAVE PROPERLY CURED AND BACKFILLING IS COMPLETE.
- UTILITIES SUCH AS DRAINAGE, SEWER CONNECTION, AND ELECTRIC ALONG WITH OTHERS, AS REQUIRED, SHALL BE INSTALLED, BACKFILLED AND COMPACTED WHILE THE SUPERSTRUCTURE IS BEING BUILT.
- BEFORE THE DRAINAGE SYSTEM IS INSTALLED A DEEP AND PERCOLATION TEST SHALL BE PERFORMED. ALSO IT SHALL BE PROTECTED TO ENSURE SEDIMENT DOES NOT ENTER THE SYSTEM.
- THE DRAINAGE SYSTEM SHALL BE RAISED APPROXIMATELY 3" ABOVE FINISHED GRADE DURING CONSTRUCTION, PRIOR TO PAVING, AND PRIOR TO BINDER COURSE INSTALLATION.
- THE INFILTRATION SYSTEM SHALL BE INSTALLED AND PROTECTED FROM CONSTRUCTION EQUIPMENT.
- THE APPROPRIATE PROPOSED UTILITY SERVICES ARE INSTALLED TO THE BUILDING.
- ONCE ROUGH GRADING OPERATIONS ARE COMPLETED, FINAL GRADING WILL COMMENCE AND BINDER COURSE WILL BE INSTALLED. AFTER BINDER COURSE IS INSTALLED, INLET PROTECTION SHALL BE PAVED SURFACE INLET.
- SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING MAY BE INSTALLED.
- THE INFILTRATION SYSTEMS SHALL NOT BE PUT INTO SERVICE UNTIL THE TRIBUTARY AREA IS STABILIZED.
- STABILIZATION
- ROADWAYS/PARKING AREAS SHALL BE PAVED WITH TOP COURSE AND STRIPPED AS HEAVY EQUIPMENT IS NO LONGER REQUIRED DURING.
- REMOVAL OF EROSION CONTROL DEVICES
- AS AREAS ARE STABILIZED, SEDIMENT SHALL BE REMOVED AND EROSION CONTROL DEVICES SHALL BE DISCARDED IN AN APPROPRIATE MANNER. FINAL STABILIZATION FOR VEGETATED AREAS REQUIRES AT LEAST 80% VEGETATIVE COVER. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AND CLEANED IF NECESSARY.



**HAYBALE SEDIMENT BARRIERS N.T.S.**

- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, LIMIT STABILIZE WITH PERMANENT SEEDING. MAXIMUM DRAINAGE AREA 1 ACRE.

**EXCAVATED DROP INLET PROTECTION N.T.S.**

**INLET PROTECTION N.T.S.**



STATE OF NEW YORK  
NORTH ALFONZETTI  
LICENSED PROFESSIONAL ENGINEER  
076215

**ALFONZETTI ENGINEERING, P.C.**  
14 SMITH AVE, MT. KISCO, N.Y. 10549  
914-666-9800 INFO@ALFONZETTIENG.COM

**SITE DATA**

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TAX MAP #: 12212-1-29  
LOT AREA: 0.6115 AC  
ZONING: IND-A

**SOIL AND EROSION CONTROL PLAN**  
JUNE 13, 2022

PROJECT: 78 LAFAYETTE AVENUE  
TOWN OF NORTH CASTLE,  
WESTCHESTER COUNTY, NEW YORK

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FIRE DISTRICT: NORTH WHITE PLAINS FD  
SCHOOL DISTRICT: VALHALLA  
WATER DISTRICT: NORTH CASTLE WD#1

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: \_\_\_\_\_

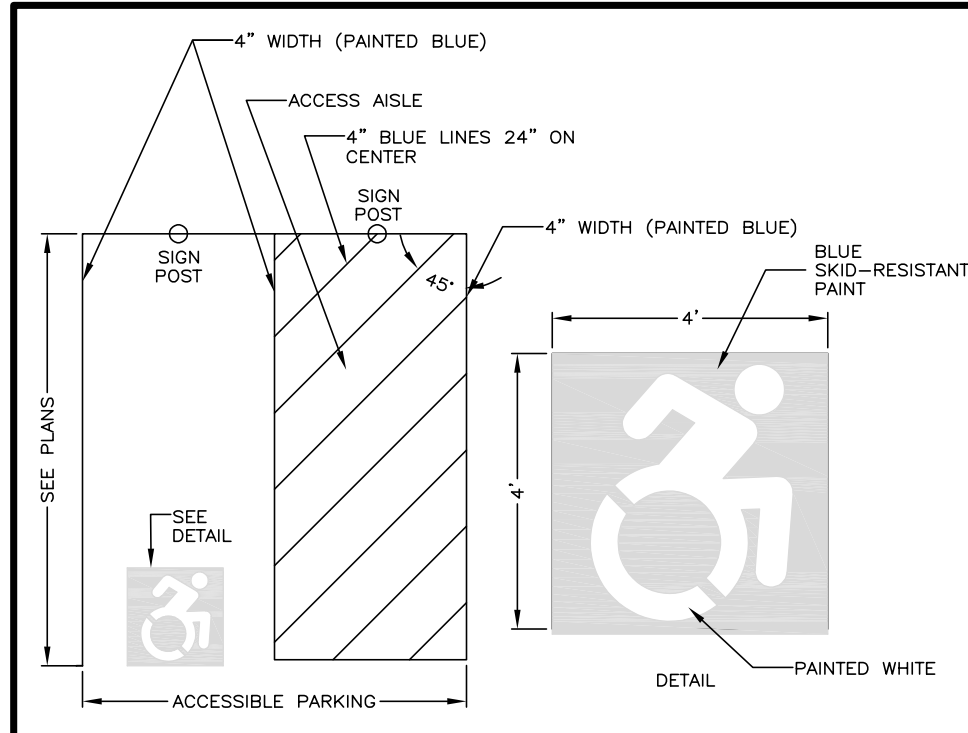
CHRISTOPHER CARTHY, CHAIRMAN  
TOWN OF NORTH CASTLE PLANNING BOARD

DATE: \_\_\_\_\_

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION:

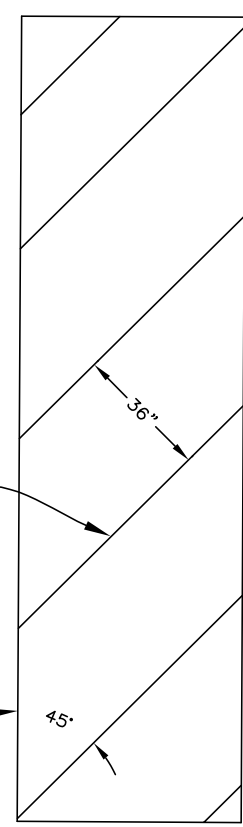
JOSEPH M. CERMELE, P.E.  
KELLARD SESSIONS CONSULTING  
CONSULTING TOWN ENGINEERS





- NOTES
1. ALL DIMENSIONS TO CENTER OF PAVEMENT STRIPING.
  2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 2.0%.
  3. THE ACCESSIBLE SYMBOL DEPICTED ABOVE DOES NOT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND IS SHOWN FOR COMPLIANCE WITH STATE AND LOCAL REGULATIONS ONLY.

ACCESSIBLE PARKING SPACE  
N.T.S.



CHEVRON STRIPING IN HANDICAP PARKING SPACE AND ELSEWHERE SHALL BE 30° O.C., 45° ANGLE

- NOTES
1. PARKING LOT STRIPING AND CHEVRONS SHALL BE 4" WIDE WHITE REFLECTIVE PAINT.
  2. PARKING LOT STRIPING AND CHEVRONS IN DESIGNATED HANDICAP AISLE SHALL BE 4" WIDE BLUE REFLECTIVE PAINT.

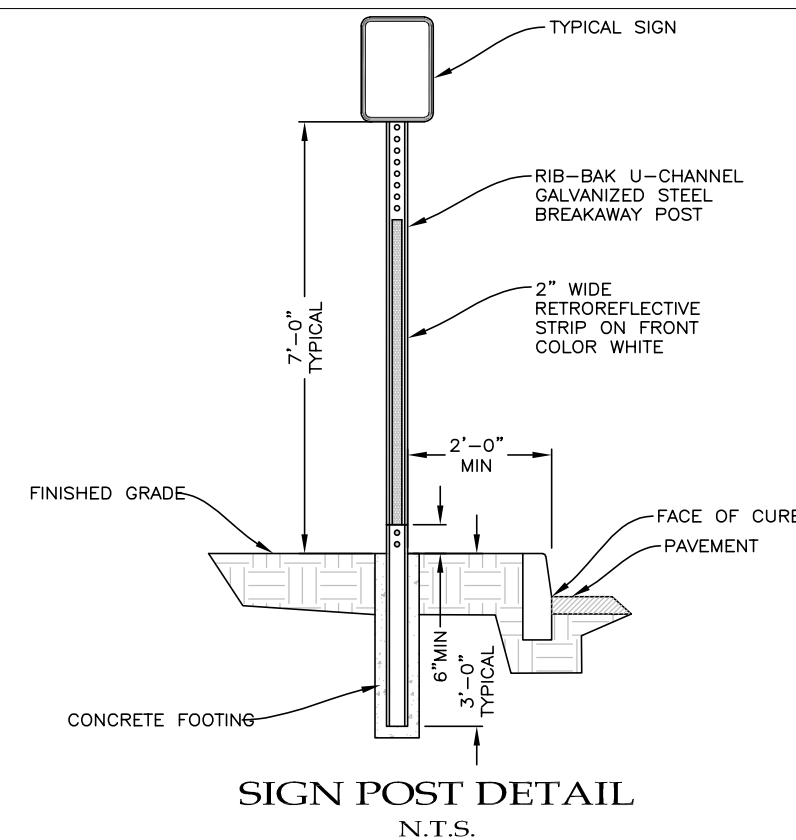
PAVEMENT MARKING DETAIL  
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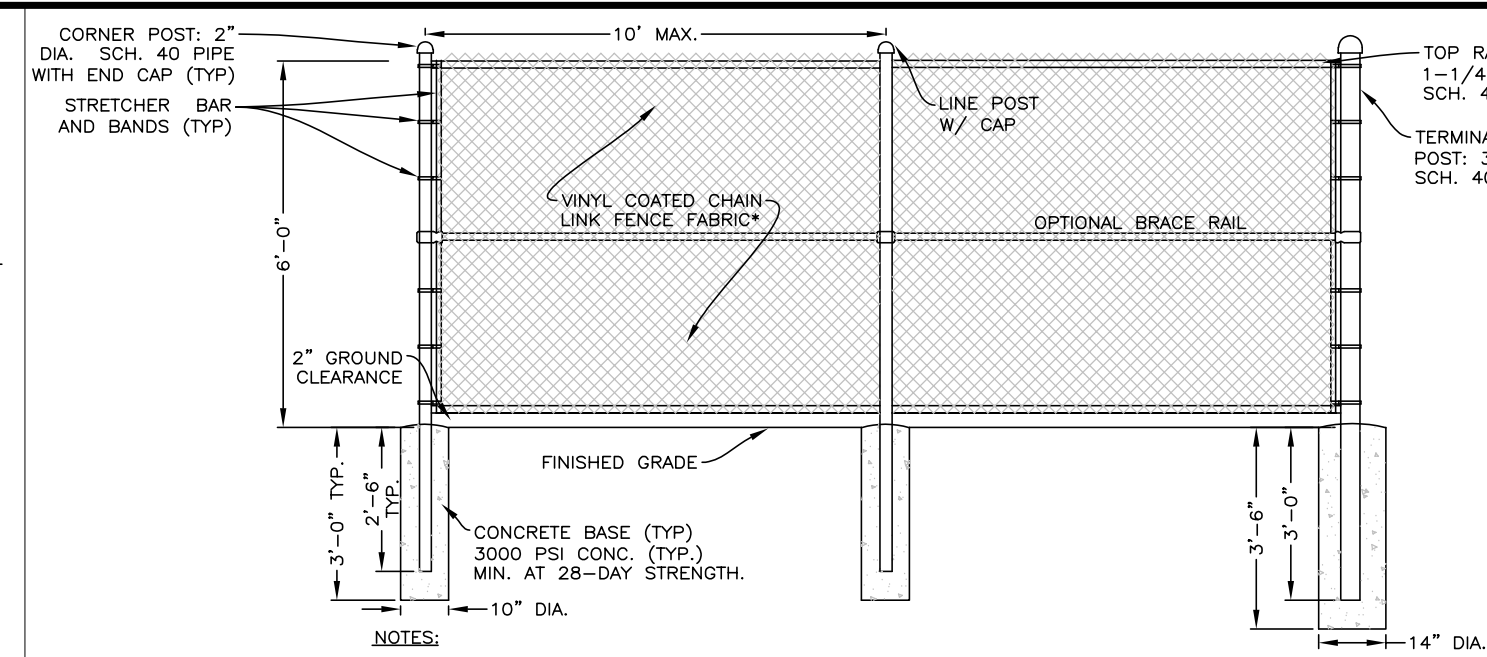
ACCESSIBLE PARKING ONLY SIGN DETAIL  
N.T.S.



NO PARKING ANY TIME SIGN DETAIL  
N.T.S.

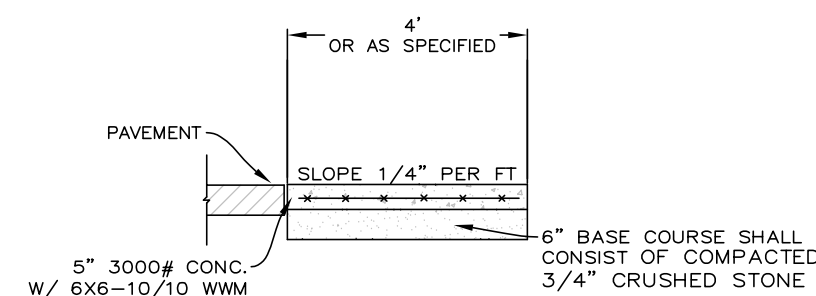


SIGN POST DETAIL  
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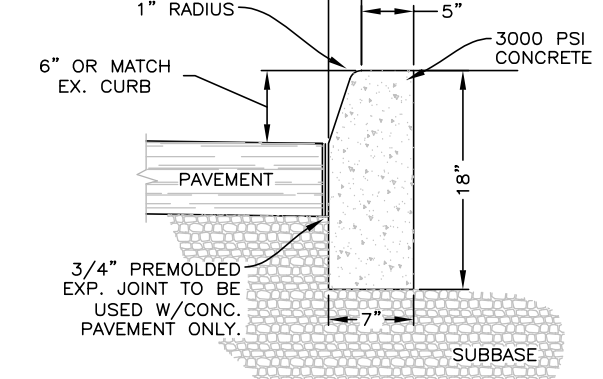


- NOTES
1. OPENINGS BETWEEN LINKS SHALL BE A MAXIMUM OF 2 INCHES.
  2. THE RAILINGS AND POSTS SHALL BE CAPABLE OF RESISTING A MINIMUM LATERAL LOAD OF 100 POUNDS.
  3. FENCE FABRIC SHALL BE CAPABLE OF WITHSTANDING A CONCENTRATED LOAD OF 50 POUNDS APPLIED ANYWHERE BETWEEN SUPPORTS ON AN AREA 12 INCHES SQUARE.
  4. FENCE FABRIC SHALL EXTEND ABOVE THE TOP RAIL A MINIMUM OF 1\"/>

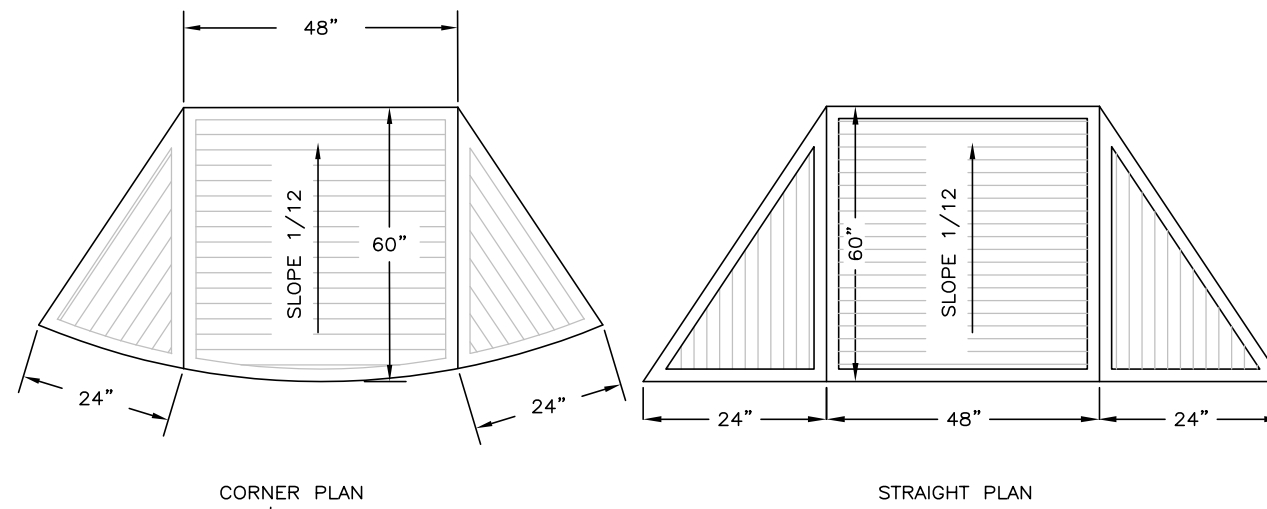
CHAIN LINK FENCE DETAIL  
(GARBAGE ENCLOSURE)  
N.T.S.



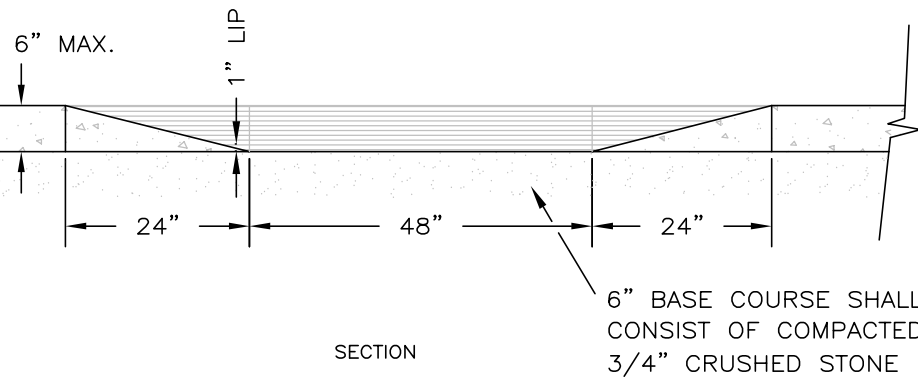
CONCRETE SIDEWALK  
N.T.S.



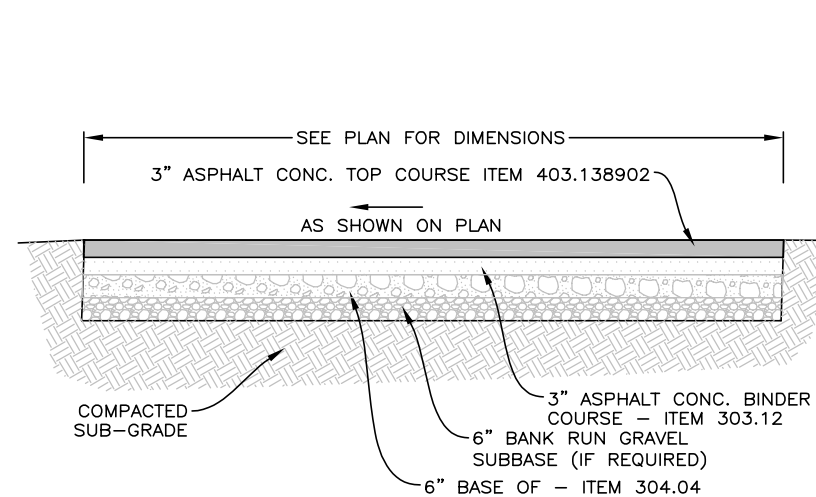
CONCRETE CURB  
N.T.S.



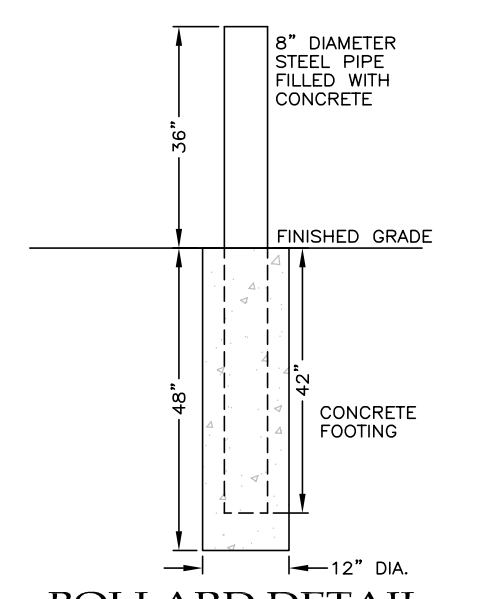
CORNER PLAN STRAIGHT PLAN



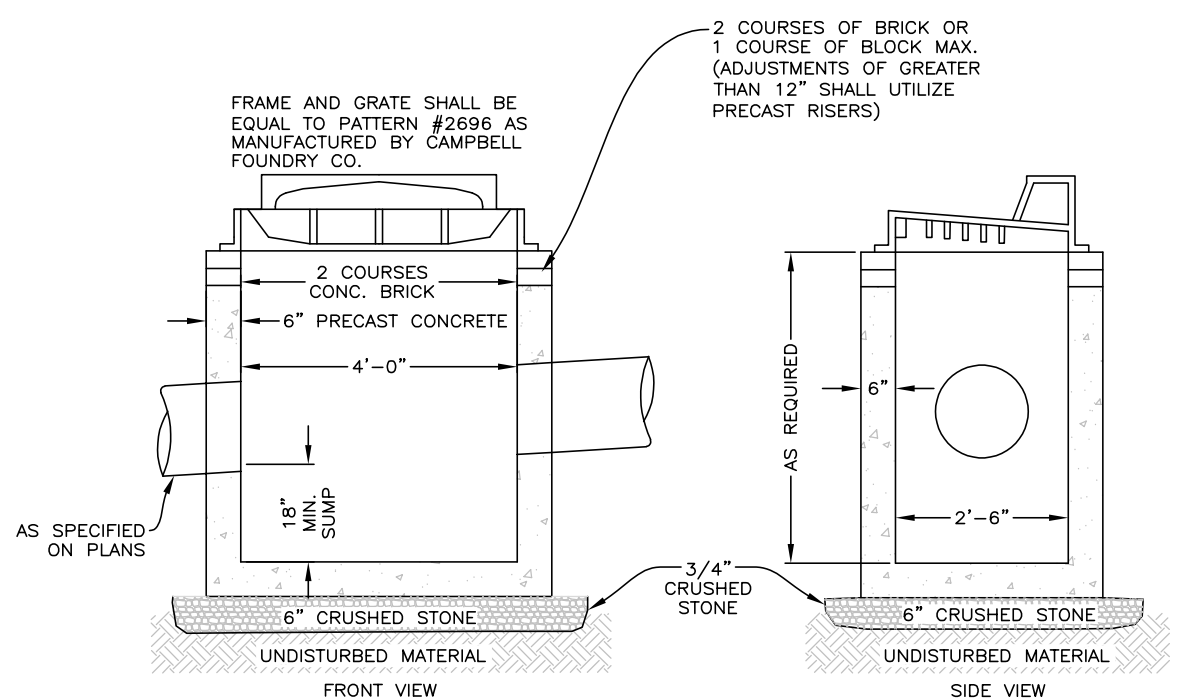
CONCRETE SIDEWALK RAMP  
N.T.S.



TYPICAL PAVEMENT SECTION  
N.T.S.

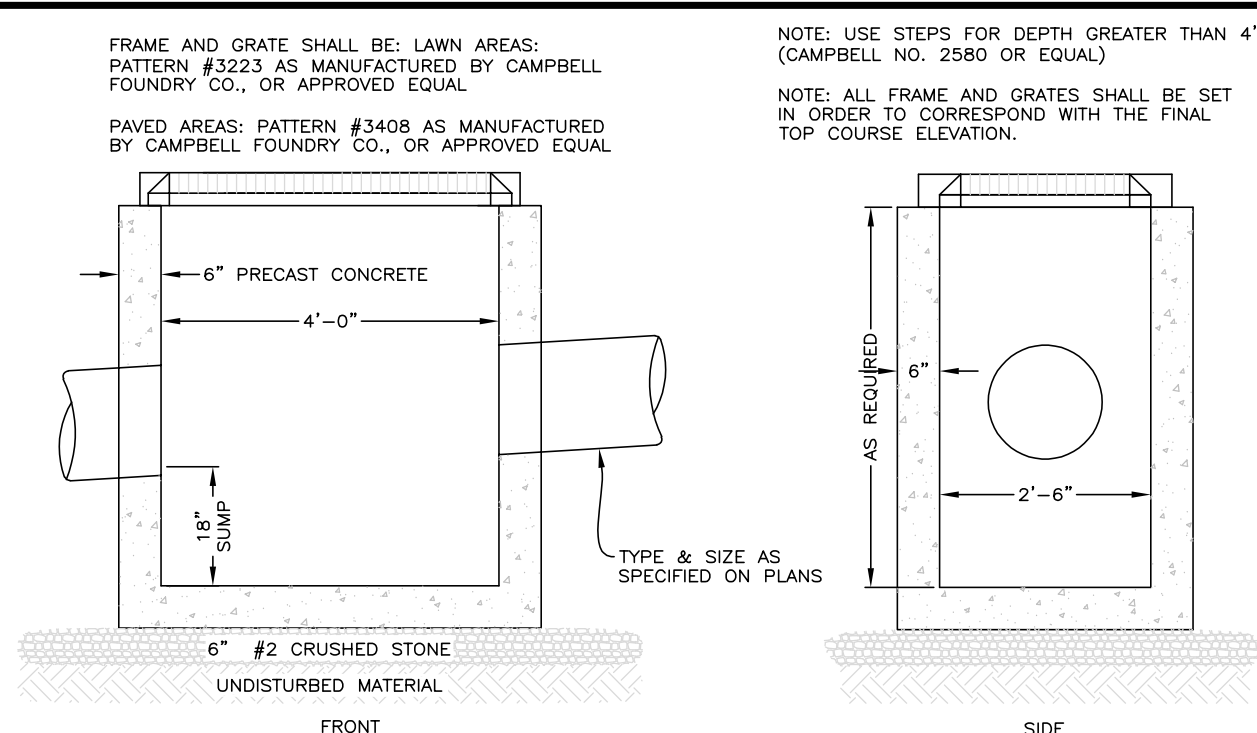


BOLLARD DETAIL  
N.T.S.

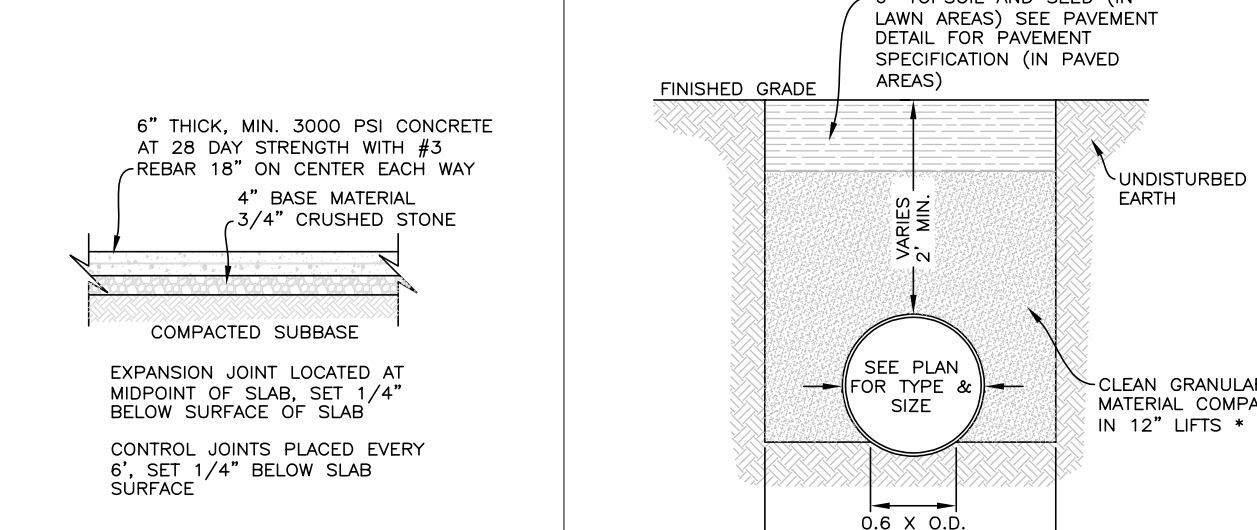


- NOTES
1. USE STEPS FOR DEPTH GREATER THAN 4\"/>

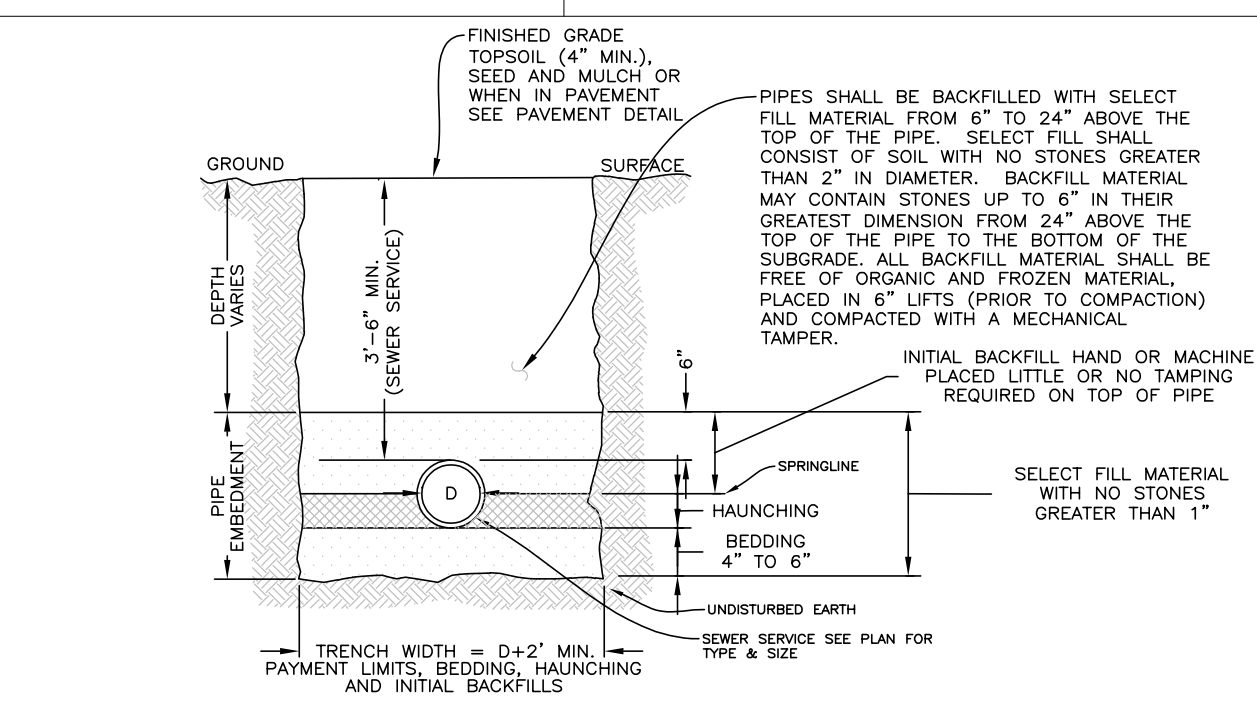
CATCH BASIN  
N.T.S.



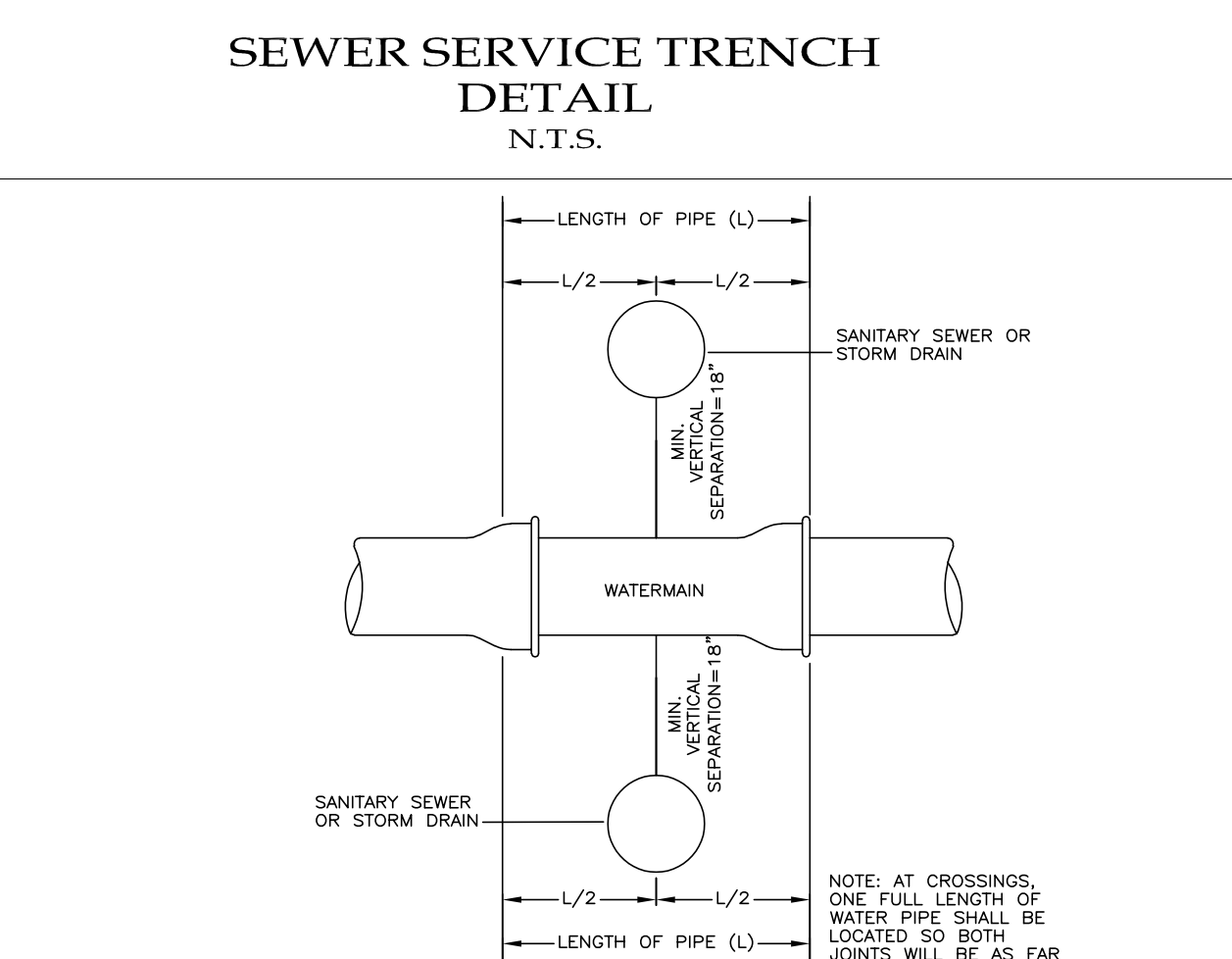
DRAIN INLET  
N.T.S.



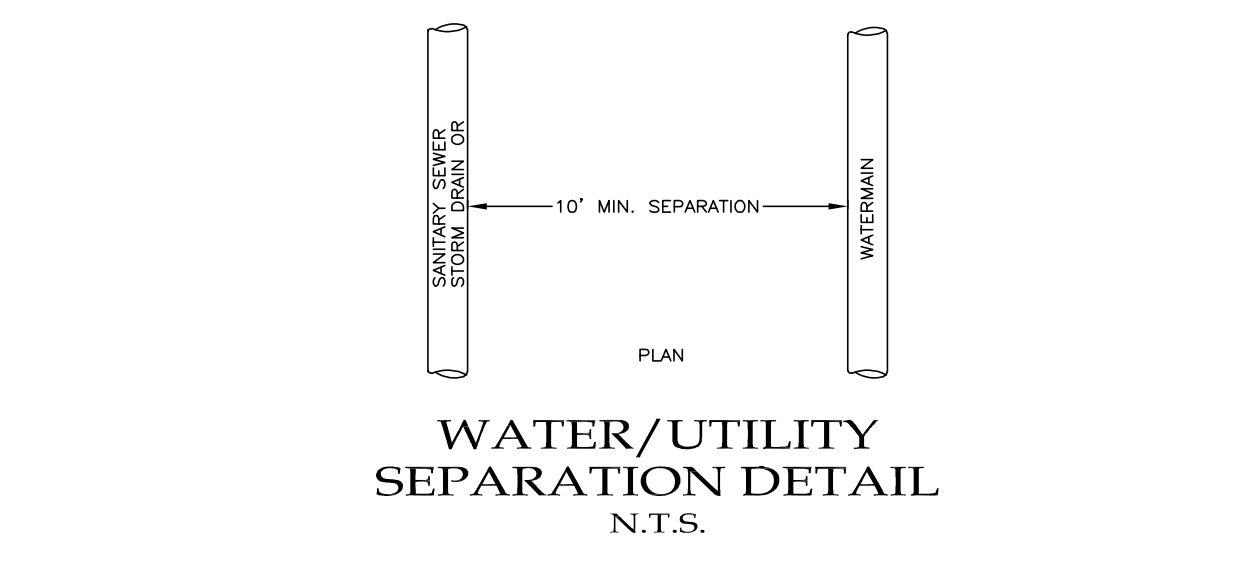
DRAIN PIPE TRENCH DETAIL  
N.T.S.



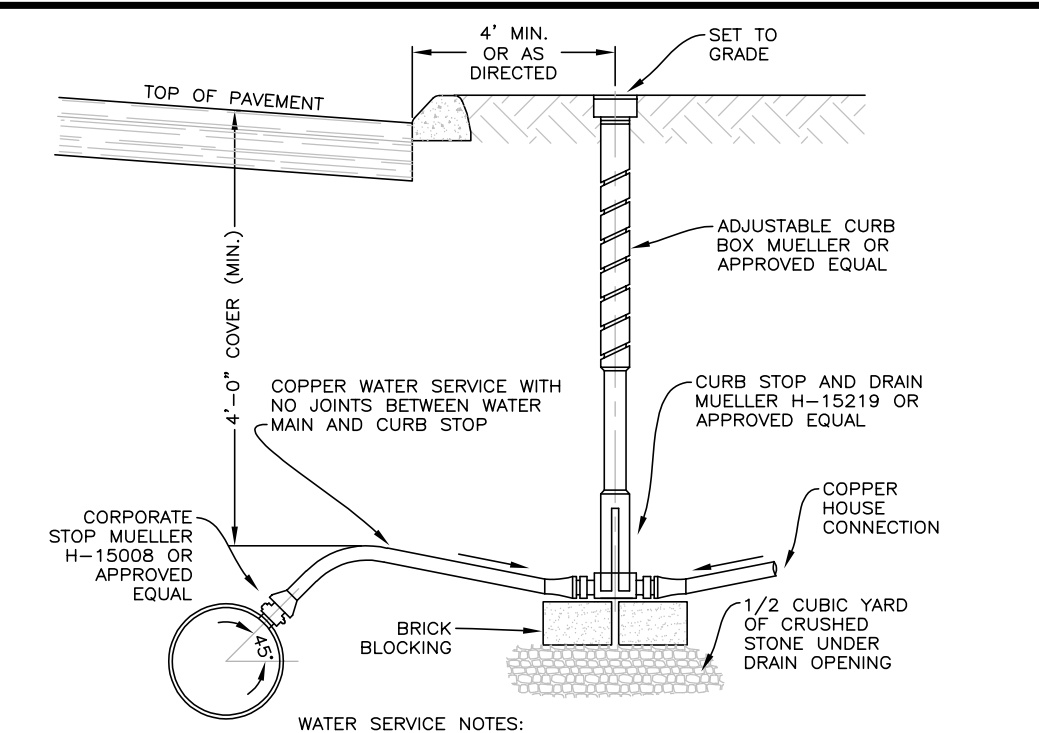
SEWER SERVICE TRENCH DETAIL  
N.T.S.



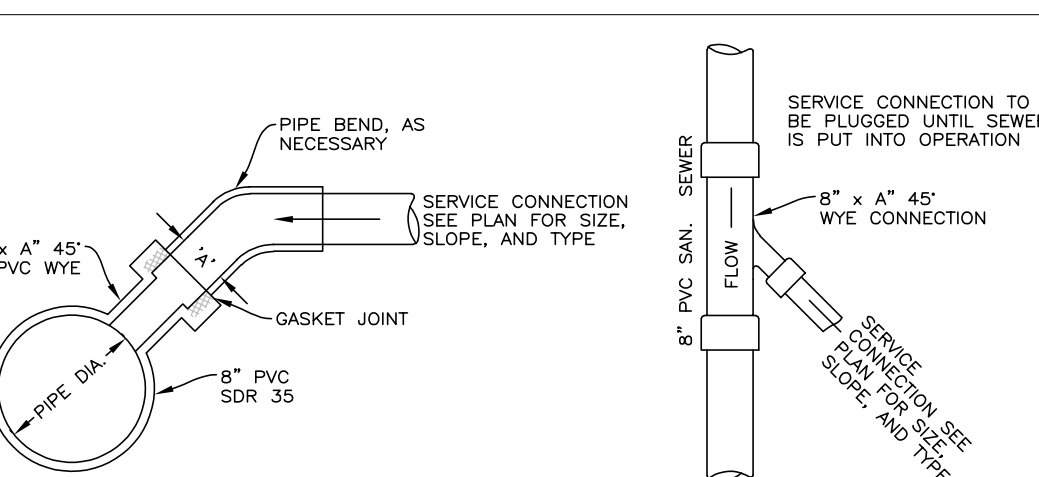
SANITARY OR STORM DRAIN WATERMAIN CROSSING  
N.T.S.



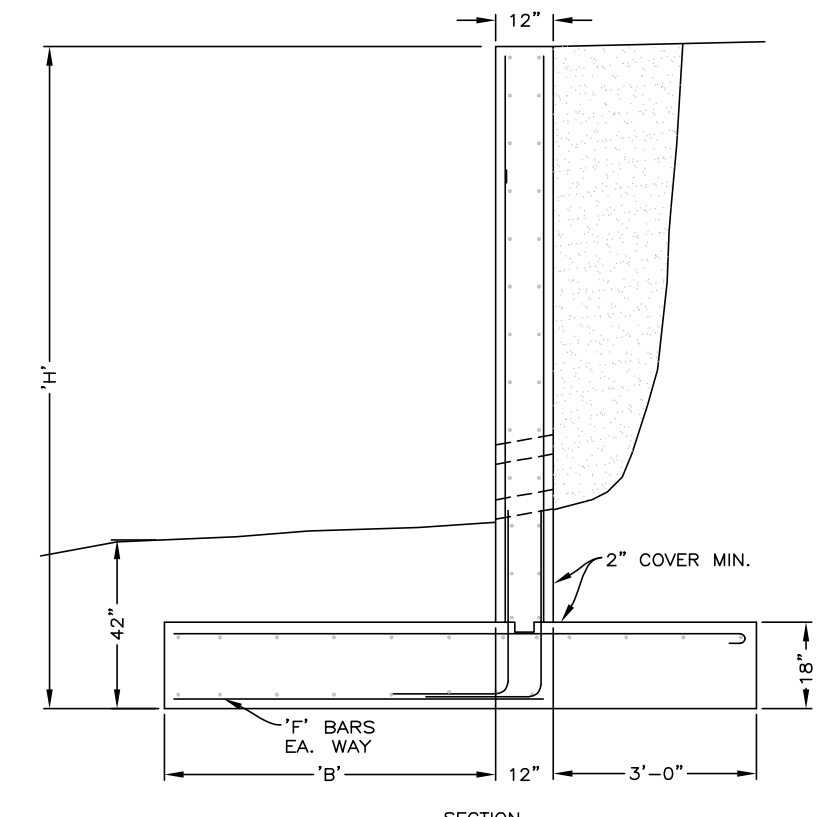
WATER/UTILITY SEPARATION DETAIL  
N.T.S.



WATER SERVICE CONNECTION DETAIL  
N.T.S.



SEWER CONNECTION FOR PVC PIPE  
N.T.S.



H (FT.-IN.)	A (IN.)	B (FT.-IN.)	E-BARS (IN.)	F-BARS (IN.)
5-0	12	2-1	#3-12 O.C.	#3-12 O.C.
6-0	12	2-7	#3-12 O.C.	#3-12 O.C.
8-0	12	3-7	#3-11 O.C.	#3-11 O.C.
10-0	12	4-7	#4-10 O.C.	#5-11 O.C.
12-0	12	5-9	#6-10 O.C.	#7-11 O.C.
14-0	12	7-0	#8-10 O.C.	#8-10 O.C.

F'c = 3,000 PSI

SHOP DRAWING SHALL BE APPROVED BY ENGINEER PRIOR TO CONSTRUCTION  
RETAINING WALL DETAIL  
N.T.S.

RETAINING WALL NOTE:

1. ALL WALLS GREATER THAN 4 FEET IN HEIGHT, SHALL BE DESIGNED BY A LICENSED N.Y.S. PROFESSIONAL ENGINEER.
2. ALL WALLS GREATER THAN 4 FEET IN HEIGHT, SHALL BE CERTIFIED BY A LICENSED N.Y.S. PROFESSIONAL ENGINEER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. SAFETY RAILINGS ON RETAINING WALLS BY OTHERS.

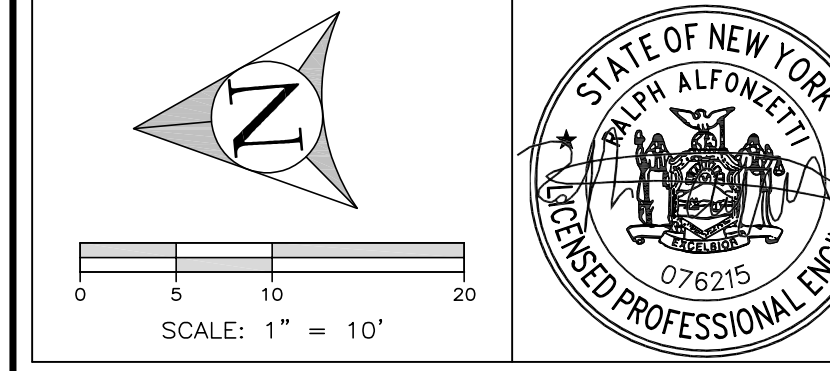
FIRE DISTRICT: NORTH WHITE PLAINS FD  
SCHOOL DISTRICT: VALHALLA  
WATER DISTRICT: NORTH CASTLE WD#1  
APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: \_\_\_\_\_

CHRISTOPHER CARTHY, CHAIRMAN  
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION, DATED: \_\_\_\_\_  
JOSEPH M. CERMELE, P.E.  
KELLARD SESSIONS CONSULTING  
CONSULTING TOWN ENGINEERS



IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209(2), FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER ANY ITEM ON THIS PLAN IN ANY WAY, IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



ALFONZETTI ENGINEERING, P.C.  
14 SMITH AVE, MT. KISCO, N.Y. 10549  
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA	
OWNER/APPLICANT: 2012 MARIA MARTINS IRREVOCABLE TRUST	SITE ADDRESS: 78 LAFAYETTE AVE. NORTH WHITE PLAINS, NY 10603 TAX MAP #: 12212-1-29 LOT AREA: 0.6115 AC ZONING: IND-A
APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: _____	
CHRISTOPHER CARTHY, CHAIRMAN TOWN OF NORTH CASTLE PLANNING BOARD	
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION, DATED: _____ JOSEPH M. CERMELE, P.E. KELLARD SESSIONS CONSULTING CONSULTING TOWN ENGINEERS	
SHEET 05 OF 05	
PROJECT: 78 LAFAYETTE AVENUE TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK	