

RESREAL DESIGNS

Architecture & Engineering Services
For Homes

Municipality: Town of North Castle
Attention: Planning Dept
Property: 49 Sarles St., Armonk
Submission: Planning Board Review Application
Date: July 26, 2022

Enclosed please find the application package for 49 Sarles Street Armonk. The proposed application is for the proposed construction of a new inground swimming pool and surrounding patio at the rear yard of a residential property located at 49 Sarles Street Armonk.

The proposed application would require a modification to the Clearing/grading limit line that was defined under the original subdivision records. The original sub division records were for the Subdivision Plat Hammond Ridge Approved by Town of North Castle Planning Board 2/10/2003. The proposed grading limit modifications under this application is to allow for adequate space for the installation of the new stormwater management system that would service the new impervious areas created by the pool and patio.

Also, under the Town review process of this application, it has been noted that there is an existing dry stack stone wall and chain link fence installed at the rear of the property within the conservation easement. It has been requested to also have the Planning Board review these elements. The fence and walls were preexisting conditions on the property when the current owner took ownership of the property in 2021. As part of this application, we are requesting clarification that these existing conditions may remain in the conservation easement areas. There would be no proposed modifications to the existing retaining wall elements as part of the proposed application.

We thank you for your time and considerations with this application.

Thank you for your time & review.

John Scavelli, PE
Resreal Designs
John@resreal.com
914-330-7712
914-487-7580



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

Pool - 49 Sarles St Armonk 10504

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

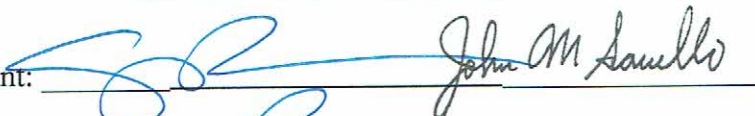

Name of Property Owner: <u>Craig Rosenman</u>
Mailing Address: <u>49 Sarles St Armonk 10504</u>
Telephone: <u>917-681-0246</u> Fax: _____ e-mail <u>croseman@gmail.com</u>
Name of Applicant (if different): <u>John Scavelli, PE</u>
Address of Applicant: <u>2875 Route 35 Katonah NY 10536</u>
Telephone: <u>914-330-7714</u> Fax: _____ e-mail <u>John@resreal.com</u>
Interest of Applicant, if other than Property Owner: <u>Engineer</u>
Is the Applicant (if different from the property owner) a Contract Vendee? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board
Name of Professional Preparing Site Plan: <u>John Scavelli, PE</u> <u>Engineer</u>
Address: <u>2875 Route 35 Katonah NY 10536</u>
Telephone: <u>914-330-7714</u> Fax: _____ e-mail <u>John@resreal.com</u>
Name of Other Professional: <u>Coral Sea Pools</u>
Address: <u>518-A North State Road Briarcliff Manor, NY 10510</u>
Telephone: <u>914-762-1133</u> Fax: _____ e-mail <u>anthony@coralseapools.com</u>
Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  John M Saullo Date: 7/21/22
Signature of Property Owner:  Date: 7/21/22

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 49 Sarles St Armonk 10504

Location (in relation to nearest intersecting street):
0 feet (north, south, east of west) of Sarles St

Abutting Street(s): _____

Tax Map Designation (NEW): Section 94.03 Block 1 Lot 7

Tax Map Designation (OLD): Section N/A Block _____ Lot _____

Zoning District: R-2A Total Land Area 6.49 Acres

Land Area in North Castle Only (if different) N/A

Fire District(s) Armonk School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?
No _____ Yes (adjacent) _____ Yes (within 500 feet) X
If yes, please identify name(s): New Castle

The boundary of any existing or proposed County or State park or any other recreation area?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?
No X Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?
No X Yes _____

If yes, please identify the tax map designation of that property:
N/A

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Residential

Gross Floor Area: Existing 11,218 S.F. Proposed 11,218 S.F.

Proposed Floor Area Breakdown:

Retail 0 S.F.; Office 0 S.F.;

Industrial 0 S.F.; Institutional 0 S.F.;

Other Nonresidential 0 S.F.; Residential 11,218 S.F.;

Number of Dwelling Units: 1

Number of Parking Spaces: Existing 4 Required 2 Proposed 4

Number of Loading Spaces: Existing N/A Required N/A Proposed N/A

Earthwork Balance: Cut 159 C.Y. Fill 0 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No X Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No x Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
49 Sarles Street Armonk 10504			
Name of Action or Project: New Pool			
Project Location (describe, and attach a location map): 49 Sarles Street Armonk 10504			
Brief Description of Proposed Action: Proposed New In-ground Concrete Pool 800 sf 20' x 40' & Patio at rear of existing single-family dwelling			
Name of Applicant or Sponsor: John Scavelli, PE		Telephone: 914-330-7712	
		E-Mail: john@resreal.com	
Address: 2875 Route 35			
City/PO: Katonah		State: NY	Zip Code: 10536
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		6.49 acres	
b. Total acreage to be physically disturbed?		0.40 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: John Scavelli Date: 7/26/22
 Signature: John M. Scavelli



RESREAL DESIGNS

Architecture & Engineering Services
For Homes

Town of North Castle Planning Board Report

Property Address

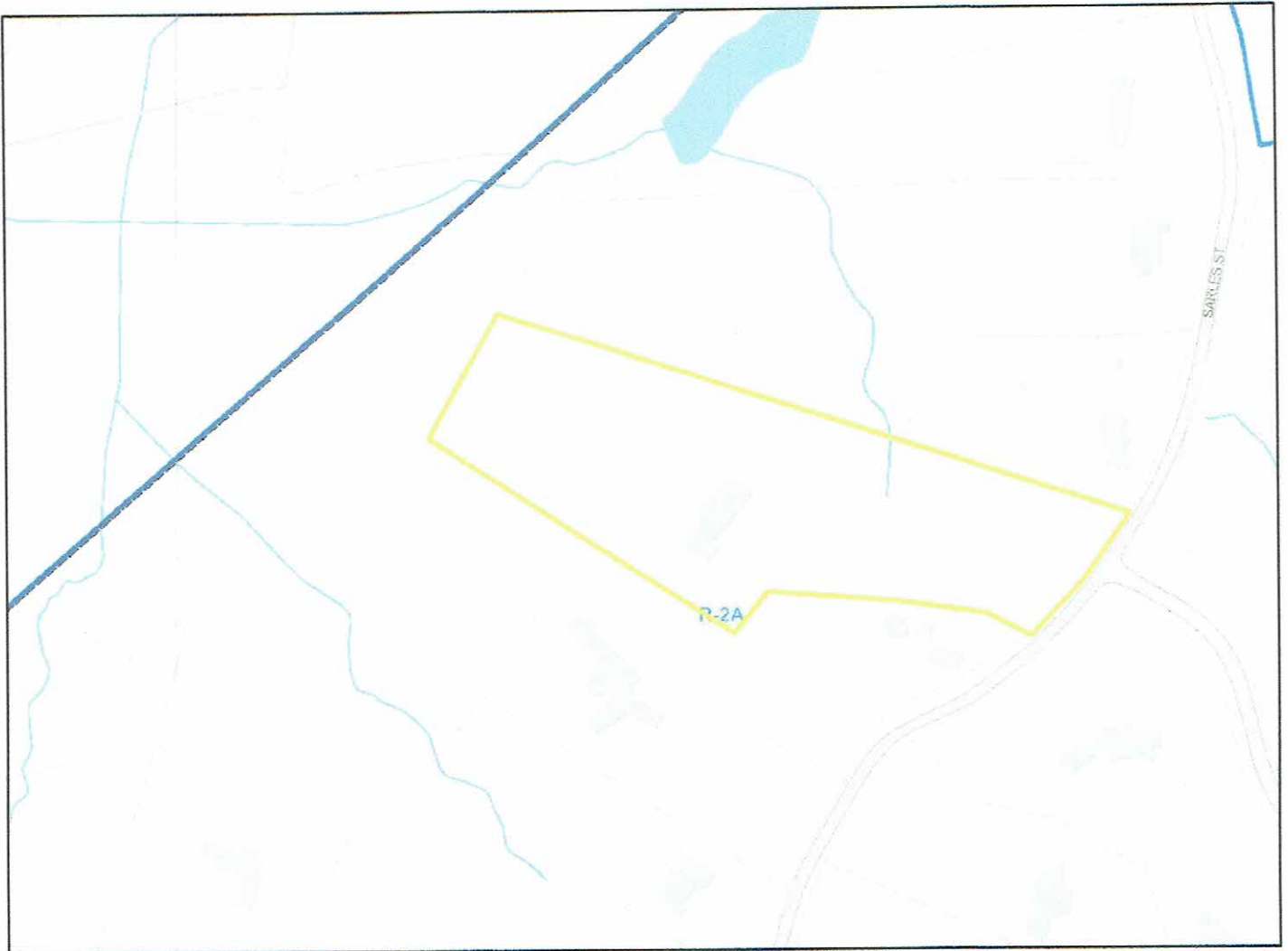
49 Sarles Street

Armonk, NY 10504



RESREAL DESIGNS
Architecture & Engineering Services
For Homes

PROJECT SITE – 49 SARLES STREET ARMONK





RESREAL DESIGNS

Architecture & Engineering Services

For Homes

PROJECT SITE – 49 SARLES STREET ARMONK





LEFT ADJACENT NEIGHBOR - 37 SARLES STREET ARMONK

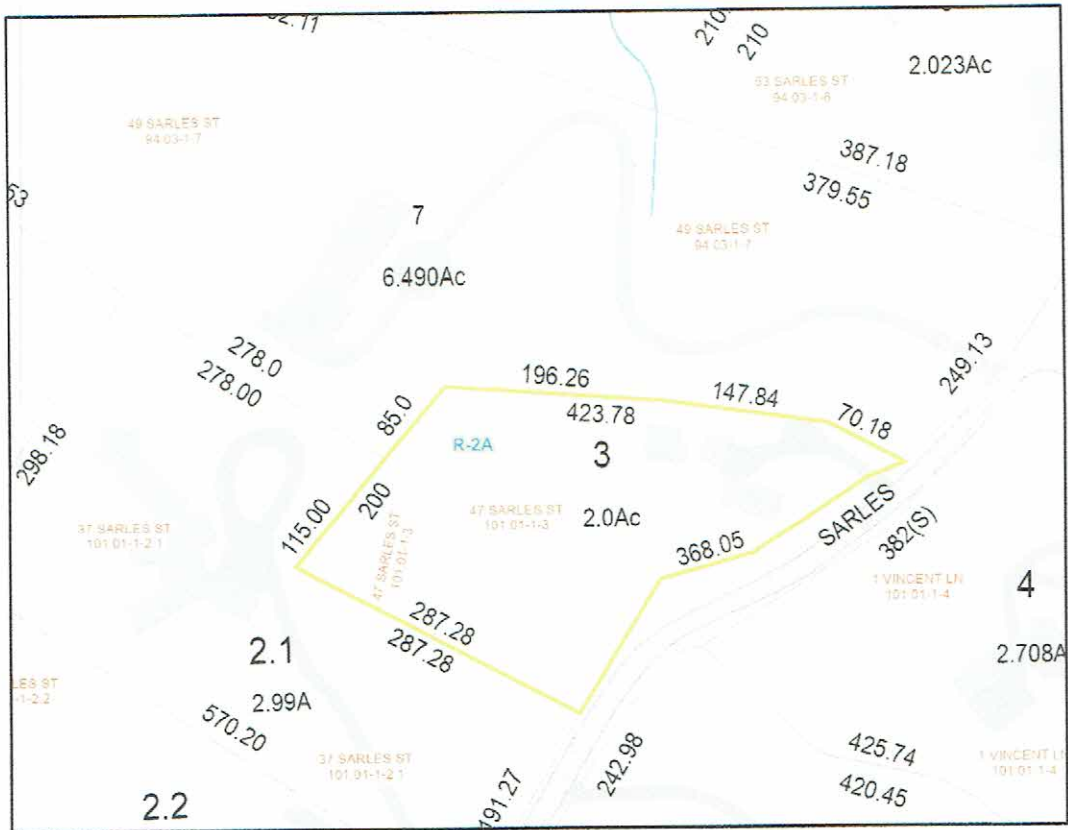




RESREAL DESIGNS

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LEFT ADJACENT NEIGHBOR - 47 SARLES STREET ARMONK

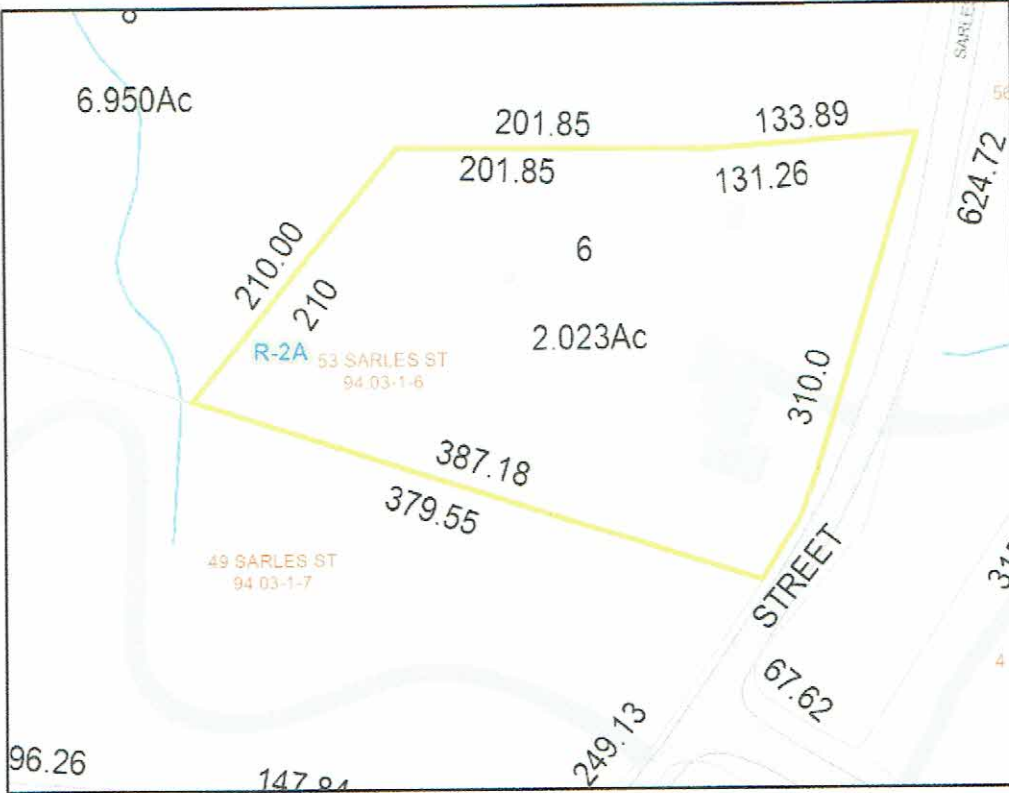




RESREAL DESIGNS

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RIGHT ADJACENT NEIGHBOR – 53 SARLES STREET

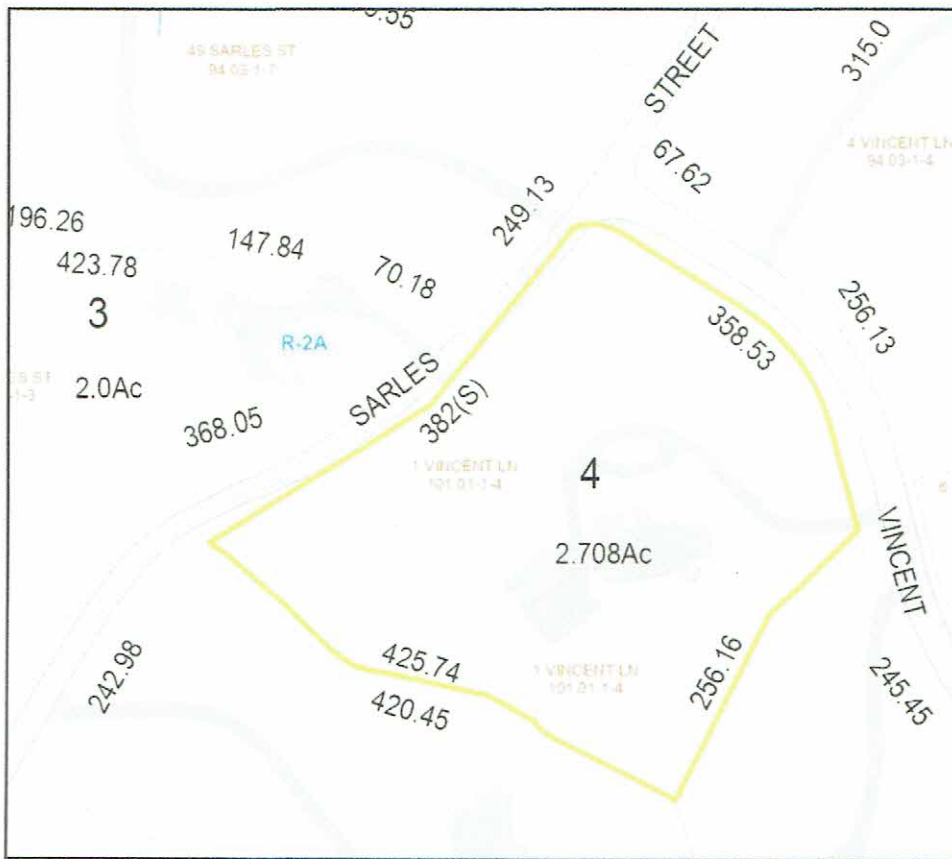




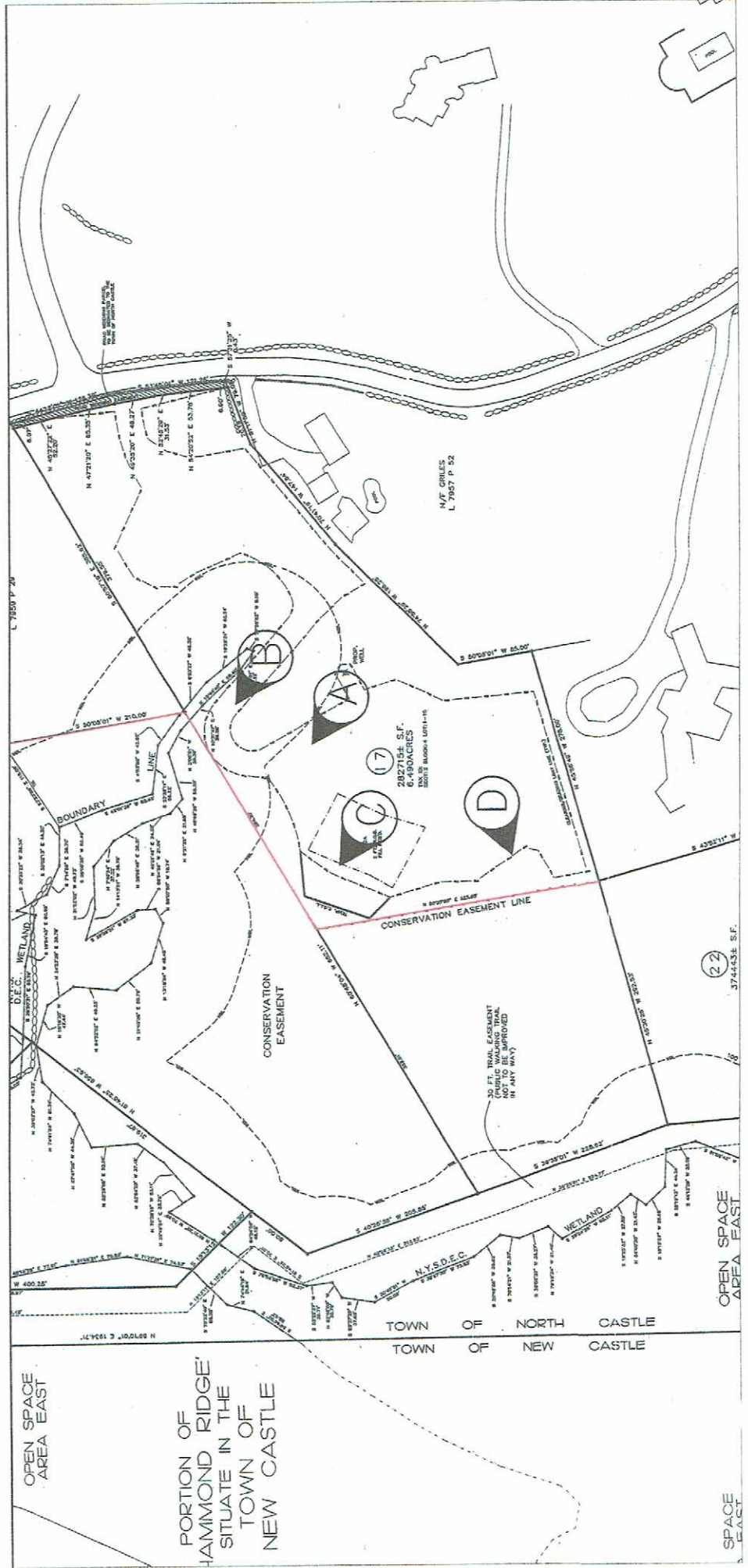
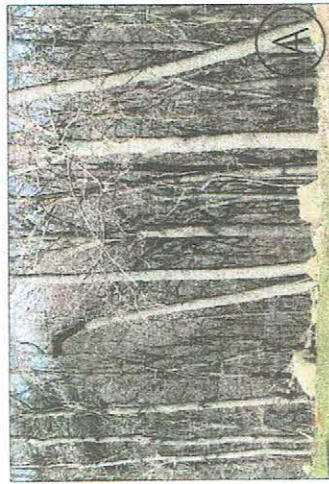
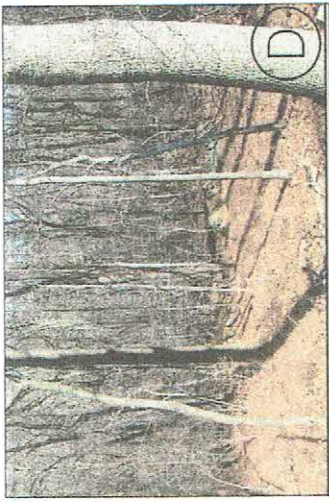
RESREAL DESIGNS

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For Homes

HOUSE ACROSS STREET – 1 VINCENT LANE



49 Sarles Street



TOWN OF NORTH CASTLE
CONSERVATION EASEMENT

2006
INSPECTION REPORT

SECTION, BLOCK, LOT: 2-4-1.15
ADDRESS: 49 Sarles Street
OWNER: Mr. & Mrs. Scott Baron

DESCRIPTION OF EASEMENT AREA:

ACREAGE: ±1.99

- Forest
- Meadow/Brush
- Wetland/Ravine
- Rock Outcrops
- Unvegetated
- Stone Walls
- Fencing
- Encroachments:
 - Tree Removal
 - Lawn
- Other:

Has boundary been marked in field: Yes No
Method of demarcation:

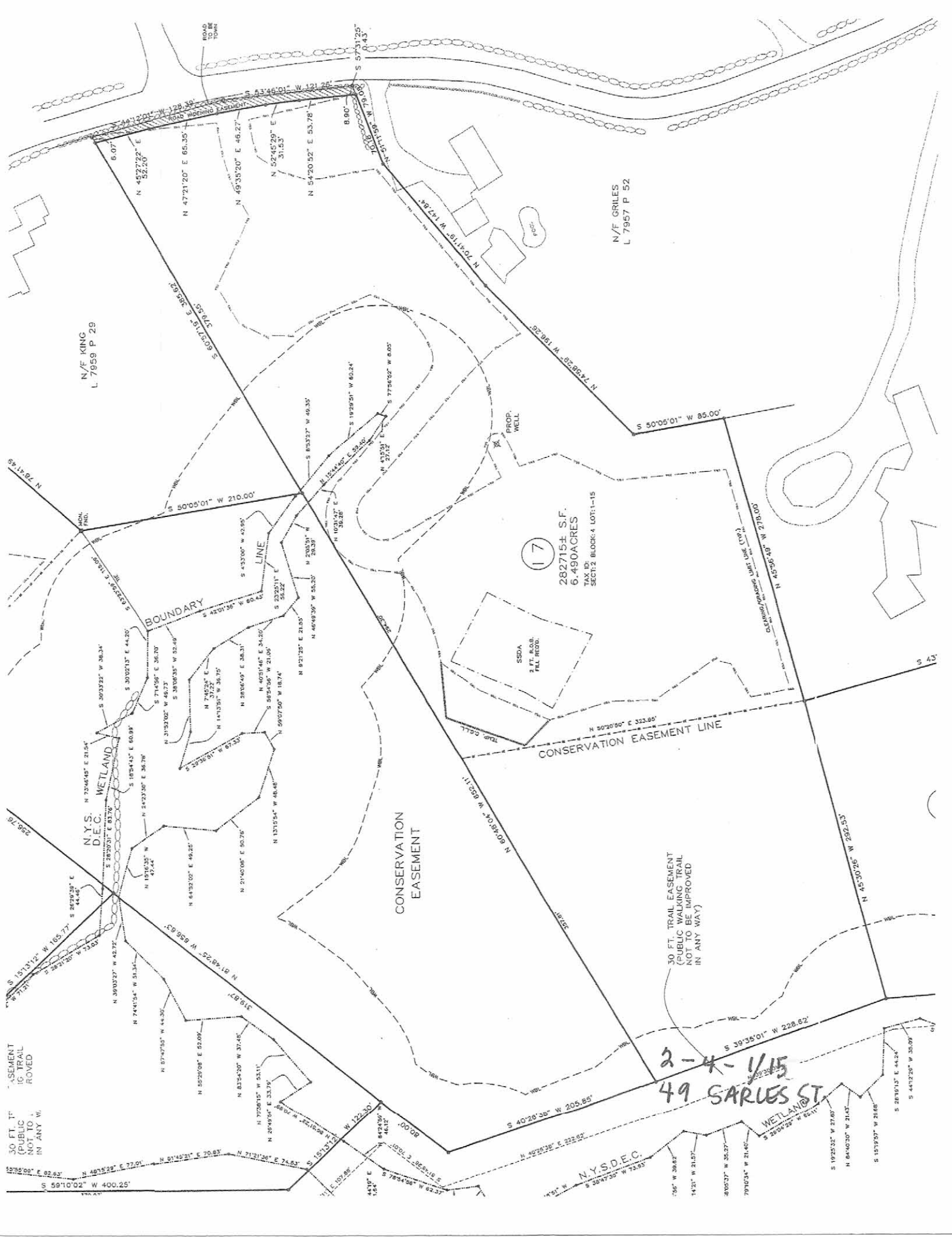
Comments:

NYSDEC Wetland.

EASEMENT MAP DESIGNATION: Map Area 4 - Hammond Ridge Subdivision

PHOTOGRAPHS: Attached

INSPECTED BY: _____ Kristopher Kellard _____



N/F KING
L. 7959 P. 29

N/F GRILES
L. 7957 P. 52

17

2827154 S.F.
6.490 ACRES
TAX ID:
SECT 2 BLOCK 4 LOT 11-15

CONSERVATION
EASEMENT

CONSERVATION EASEMENT LINE

30 FT. TRAIL EASEMENT
(PUBLIC WALKING TRAIL
NOT TO BE IMPROVED
IN ANY WAY)

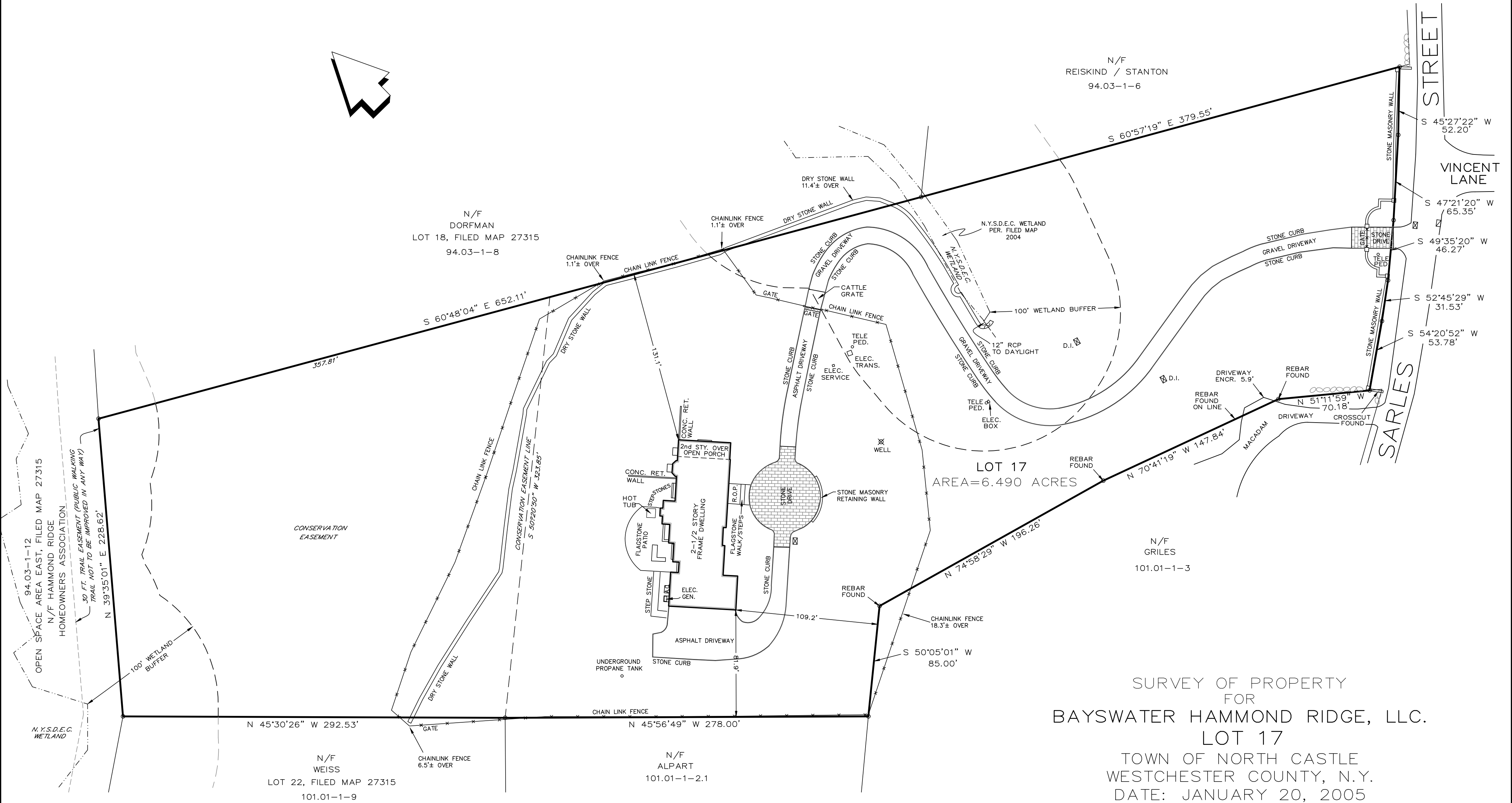
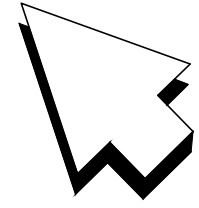
2-4-1/15
49 SARLES ST.

WETLAND

N.Y.S.D.E.C.

30 FT. TRAIL EASEMENT (PUBLIC WALKING TRAIL NOT TO BE IMPROVED IN ANY WAY)

WETLAND



SURVEY OF PROPERTY
FOR
BAYSWATER HAMMOND RIDGE, LLC.
LOT 17
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, N.Y.
DATE: JANUARY 20, 2005
UPDATED: MAY 1, 2021

SCALE: 1" = 50'


REVISED: UPDATED MAY 1, 2021
REVISED: JUNE 15, 2006 CERTIFICATIONS
REVISED: JUNE 8, 2006 FINAL DWELLING LOCATION
REVISED: JULY 14, 2005

CERTIFIED TO: CRAIG ROSENMAN AND SHIRA ROSENMAN, BANK OF AMERICA, N.A., ITS SUCCESSORS AND/OR ASSIGNS AND STEWART TITLE INSURANCE COMPANY, TO BE CORRECT AND ACCURATE.

REFERENCE: BEING LOT 17 AS SHOWN ON A MAP ENTITLED "SUBDIVISION PLAT HAMMOND RIDGE" FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON FEBRUARY 20, 2004 AS MAP NUMBER 27315.

COPIES OF THIS SURVEY NOT BEARING THE EMBOSSED SEAL OR RED SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID. GUARANTEES OF CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

UNAUTHORIZED ALTERATION OF THIS DOCUMENT, IN ANY WAY, CONSTITUTES A VIOLATION OF THE STATE OF NEW YORK EDUCATION LAW SECTION 7209 (2).


JAMES A. DILLIN, PLS
PROFESSIONAL LAND SURVEYOR
GOSHEN, NEW YORK

SITE DEVELOPMENT POOL PLANS : 49 SARLES STREET ARMONK, NY 10504



www.ResReal.com
(914)-330-7712
 2875 Route 35
 Katonah, NY 10536

PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 49 SARLES STREET
 PROJECT TOWN: ARMONK
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 94-03-1-7
 OCCUPANCY: SINGLE FAMILY DWELLING
 ZONING CODE: R-2A

OVERVIEW OF WORK:

1. NEW BELOW GROUND POOL AND SURROUNDING POOL PATIO

BUILDING CODE AND REFERENCE STANDARDS:

THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
2. ALL DIMENSIONS ARE TO ROUGH FRAMING
3. CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
4. CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
6. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS.
9. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
10. ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
11. DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL AND STATE LAW AND ORDINANCES.
2. POOLS WITH DIVING BOARDS SHALL MEET DIVING BOARD MANUFACTURER'S POOL GEOMETRIC STANDARDS AND/OR LOCAL CODES.
3. SIGNS & SAFETY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.
4. CONTRACTOR OR OWNER SHALL VERIFY ALL FIELD CONDITIONS & DIMENSIONS AT JOB SITE.
5. POOL LENGTH, GRADE BREAK LOCATIONS & DEPTH DIMENSIONS AS NOTED ON THE PLOT PLAN SHALL COMPLY WITH APSP SUGGESTED MINIMUM STANDARDS FOR RESIDENTIAL POOLS OR APPLICABLE STATE AND LOCAL HEALTH DEPARTMENTS REGULATIONS AND MANUFACTURERS RECOMMENDATIONS.
6. A SITE SPECIFIC SOILS INVESTIGATION MAY BE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION
7. WHERE FREEZING TEMPERATURES OCCUR, THE POOL SHALL BE WINTERIZED TO PREVENT DAMAGE TO THE POOL STRUCTURE, PLUMBING, AND POOL EQUIPMENT, CONTACT LOCAL PROFESSIONAL FOR PROPER WINTERIZATION PROCEDURES.
8. NO GROUND WATER SHALL BE ABOVE ANY PORTION OF THE POOL CONSTRUCTION.
9. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE POOL.
10. ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE..
11. THE NOISE LEVEL FROM THE POOL EQUIPMENT LOCATED LESS THAN 10 FEET FROM A PROPERTY LINE OF AN ADJOINING PROPERTY, SHALL NOT EXCEED AMBIENT NOISE LEVEL BY MORE THAN FIVE DECIBELS.
12. CONTINUOUS INSPECTION IS REQUIRED FOR SHOTCRETE/GUNITE POOLS.

POOL FOUNDATION NOTES:

1. ALL FOUNDATIONS, FOOTINGS AND SLABS SHALL BEAR ON UNDISTURBED, NON-ORGANIC MATERIALS, COMPACTED STRUCTURAL FILL OR CRUSHED STONE.
2. THE GENERAL CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA REGARDING OPEN HOLES, SLOPE STABILITY AND EXCAVATION PROCEDURES.
3. BACKFILLING OF FOUNDATIONS SHALL NOT EXCEED MORE THAN 2'-0" UNBALANCED BACK FILL CONDITIONS WITHOUT TEMPORARY SHORING OF FOUNDATIONS WALLS, UNLESS FLOOR SYSTEM HAS BEEN FRAMED OR DECKED.
4. WHEREVER BEDROCK IS ENCOUNTERED THE ROCK SHALL BE REMOVED TO 2'-0" BELOW BOTTOM OF FOOTINGS OR 1'-0" BELOW BOTTOM OF SLAB AND RESTORED IN 8" LIFTS OF COMPACTED CRUSHED STONE.
5. A GEOTECHNICAL EXPLORATION AND TESTING HAS NOT BEEN UNDERTAKEN. IT IS RESPONSIBILITY OF OWNER OR CONTRACTOR TO UNDERTAKE ANY ADDITIONAL TEST PITS, BORINGS OR INVESTIGATION AS NECESSARY TO ASSURE MINIMUM BEARING CAPACITY.

ENTRAPMENT PROTECTION REQUIREMENTS

1. SUCTION OUTLETS MUST BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA.
2. SINGLE OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR OTHER SUCH MULTIPLE SUCTION OUTLETS WHETHER ISOLATED BY VALVES OR OTHERWISE MUST BE PROTECTED AGAINST USER ENTRAPMENT.
3. ALL POOL AND SPA SUCTION OUTLETS (EXCEPT SURFACE SKIMMERS) MUST BE PROVIDED WITH:
 - O A COVER THAT CONFORMS WITH REFERENCE STANDARD ASME/ANSI A112.19.8M, ENTITLED SUCTION FITTINGS FOR THE USE IN SWIMMING POOLS, WADING POOLS, SPAS, HOT TUBS, AND WHIRL POOL BATH TUB APPLIANCES, OR
 - O A DRAIN GATE THAT IS 12" x 12" OR LARGER, OR
 - O A CHANNEL DRAIN SYSTEM APPROVED BY THE LOCAL CODE ENFORCEMENT OFFICIAL.
4. ALL POOL AND SPA SINGLE OR MULTIPLE OUTLET CIRCULATION SYSTEMS MUST BE EQUIPPED WITH ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. SUCH VACUUM RELIEF SYSTEMS SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING:
 - O SAFETY VACUUM RELEASE SYSTEM CONFORMING TO REFERENCE STANDARD ASME A112.19.17, ENTITLED MANUFACTURERS SAFETY VACUUM RELEASE SYSTEMS (SVRS) FOR RESIDENTIAL AND COMMERCIAL SWIMMING POOL, SPA, HOT TUB AND WADING POOL, OR
 - O A GRAVITY DRAINAGE SYSTEM APPROVED BY THE LOCAL CODE ENFORCEMENT OFFICIAL.
5. SINGLE OR MULTIPLE PUMP CIRCULATION SYSTEMS MUST BE PROVIDED WITH A MINIMUM OF TWO (2) SUCTION OUTLETS OF THE APPROVED TYPE.
6. THE SUCTION OUTLETS MUST BE SEPARATED BY A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF THREE (3) FEET.
7. THESE SUCTION OUTLETS MUST BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS.
8. IF THE POOL OR SPA IS EQUIPPED WITH VACUUM OR PRESSURE CLEANER FITTING(S), EACH FITTING MUST BE LOCATED:
 - O IN AN ACCESSIBLE POSITION WHICH IS AT LEAST SIX (6) INCHES AND NOT GREATER THAN TWELVE (12) INCHES BELOW THE MINIMUM OPERATIONAL WATER LEVEL, OR
 - O AS AN ATTACHMENT TO THE SKIMMER(S).

STRUCTURAL NOTES

1. SOIL SHALL HAVE A MINIMUM BEARING VALUE OF 2000 PSF, CONCRETE SHALL BE PLACED AGAINST UNDISTURBED SOIL OR BUILDING DEPARTMENT APPROVED 90% COMPACT FILL. THIS PLAN IS NOT SUITABLE WHERE POTENTIAL EXISTS FOR DIFFERENTIAL MOVEMENT FROM DISSIMILAR SOIL CONDITIONS UNDER POOL. SUCH AS CUT-FILL TRANSITIONS.
2. ALL REINFORCING STEEL SHALL BE DEFORMED BARS & CONFORM TO ASTM A615 GRADE 40 #4 BARS, SPLICES TO BE LAPPED A MINIMUM OF 24". MINIMUM CLEARANCE BETWEEN PARALLEL BARS IS 2-1/2".
3. #4 BARS SHALL BE USED FOR THE BASIC GRID. THE MAXIMUM SPACING IS #4 BARS AT 18" O.C..
4. THE PLAN TABLES SPECIFY THE MINIMUM REQUIRED REINFORCEMENT. FOR CONVENIENCE OF THE INSTALLER, THERE MAY BE MORE REINFORCEMENT THAN SPECIFIED AT ANY GIVEN POINT IN THE POOL STRUCTURE.
5. GROUNDING/BONDING (PER THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE) OF THE STRUCTURAL REINFORCING MUST BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE.
6. SHOTCRETE (GUNITE) OR CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. WHERE APPLICABLE, SHOTCRETE (GUNITE) TO BE IN CONFORMANCE WITH IBC SECTION 1904 DURABILITY REQUIREMENTS. CONCRETE THAT WILL BE EXPOSED TO FREEZING AND THAWING, DEICING CHEMICALS OR OTHER CONCRETE THAT WILL BE SUBJECT TO THE FOLLOWING EXPOSURES SHALL CONFORM TO THE CORRESPONDING MAXIMUM WATER-CEMENTITIOUS MATERIALS RATIOS AND MINIMUM SPECIFIED CONCRETE COMPRESSIVE STRENGTH REQUIREMENTS OF ACI 318; CONCRETE INTENDED TO HAVE LOW PERMEABILITY WHERE EXPOSED TO WATER, CONCRETE EXPOSED TO FREEZING AND THAWING IN A MOIST CONDITION OR DEICER CHEMICALS, OR CONCRETE WITH REINFORCEMENT WHERE THE CONCRETE IS EXPOSED TO CHLORIDES FROM DEICING CHEMICALS, SALT, SALT WATER, BRACKISH WATER, SEAWATER OR SPRAY FROM THESE SOURCES. CEMENT SHALL CONFORM TO ACI 318 SECTION 3.2, ASTM C 150.
7. SHOTCRETE/GUNITE IN CONTACT WITH SOIL SHALL BE IN ACCORDANCE WITH ACI 318 SECTION 4.3 FOR CONCRETE EXPOSURE TO SULFATE AND AS DIRECTED BY LOCAL BUILDING OFFICIAL.
8. KEEP CONCRETE DAMP CONTINUOUSLY FOR 14 DAYS.
9. ALL INTERIOR SURFACES OF POOL/SPA SHALL BE COATED WITH A WATER-RESISTANT SURFACE.
10. FLOOR TO WALL TRANSITION RADIUS MAY VARY DEPENDING ON CONTRACTOR OR OWNER DESIGN INTENT. RADIUS SHALL NOT BE LESS THAN 1-FOOT AND SHALL NOT EXCEED 5- FEET.
11. IN AREAS WITH SOIL CONDITIONS SUBJECT TO FROST-HEAVE, THE FOLLOWING REQUIREMENTS APPLY:
 - a. IN ACCORDANCE WITH BUILDING CODE REQUIRMENT, THE ENTIRE BOTTOM OF POOL STRUCTURE AND OR PLUMBING MUST EXTEND BELOW THE FROST LINE OF THE LOCALITY.
 - b. ALTERNATIVELY, WHERE DAMAGE TO THE POOL STRUCTURES, PLUMBING, ADJACENT STRUCTURES AND SURFACE IMPROVEMENTS IS A CONCERN, SELF-DRAINING GRANULAR BACKFILL MAY BE EXTENDED BELOW THE FROST-LINE WITH A MEANS TO PRECLUDE BUILD-UP OF WATER.

POOL ALARM REQUIREMENTS:

EVERY SWIMMING POOL THAT IS INSTALLED, CONSTRUCTED OR SUBSTANTIALLY MODIFIED AFTER DECEMBER 14, 2006 MUST BE EQUIPPED WITH AN APPROVED POOL ALARM WHICH:

- IS CAPABLE OF DETECTING A CHILD ENTERING THE WATER AND GIVING AN AUDIBLE ALARM WHEN IT DETECTS A CHILD ENTERING THE WATER;
- IS AUDIBLE POOLSIDE AND AT ANOTHER LOCATION ON THE PREMISES WHERE THE SWIMMING POOL IS LOCATED;
- IS INSTALLED, USED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS;
- IS CLASSIFIED TO REFERENCE STANDARD ASTM F2208, ENTITLED *STANDARD SPECIFICATION FOR POOL ALARMS* (EITHER THE VERSION ADOPTED IN 2002 AND EDITORIALY CORRECTED IN JUNE 2005, OR THE VERSION ADOPTED IN 2007); AND
- IS NOT AN ALARM DEVICE WHICH IS LOCATED ON PERSON(S) OR WHICH IS DEPENDENT ON DEVICE(S) LOCATED ON PERSON(S) FOR ITS PROPER OPERATION.

ELECTRICAL AND PLUMBING

ALL ELECTRICAL SHALL BE IN CONFORMANCE WITH NEC.

1. IN ACCORDANCE WITH NEC REQUIRMENTS ALL METAL WITHIN 5' HORIZ. OF INSIDE WALL OF POOL AND 12' VERT. ABOVE WATER LINE MUST BE BONDED VIA EQUIPOTENTIAL BONDING GRID. BONDING GRID SHALL EXTEND UNDER PAVED WALKING SURFACES 3' HORIZ. BEYOND INSIDE WALL OF POOL. CONCRETE REINFORCING TIE WIRES SHALL BE MADE TIGHT FOR BONDING PURPOSES.
2. OBTAIN ELECTRICAL AND PLUMBING PERMITS ALONG WITH POOL BUILDING PERMIT.
3. ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND IN ACCORDANCE WITH LOCAL REGULATIONS.
4. POOLS SHALL BE EQUIPPED WITH A FILTERING SYSTEM & A DRAIN.
5. BACKWASH SHALL BE DISPOSED OF IN AN APPROVED MANNER.
6. POOL/SPA WATER HEATER AND GAS PIPING INSTALLATION TO BE IN CONFORMANCE WITH ALL LOCAL CODE REQUIREMENTS.
7. WHERE REINFORCING STEEL IS ENCAPSULATED WITH A NONCONDUCTIVE COMPOUND, PROVISIONS SHALL BE MADE FOR AN ALTERNATIVE MEANS TO ELIMINATE VOLTAGE GRADIENTS THAT WOULD OTHERWISE BE PROVIDED BY BONDED REINFORCING STEEL.

ENERGY STATEMENT:

I, JOHN M. SCAVELLI, CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THIS DRAWING PACKAGE IS PREPARED IN CONFORMANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE CODE REQUIREMENTS FOR THE CLIMATE ZONE AND BUILDING TYPE LISTED BELOW.

CLIMATE ZONE: ZONE (4) WESTCHESTER

BUILDING TYPE: 1- FAMILY RESIDENTIAL

TEMPORARY POOL ENCLOSURES:

1. DURING THE INSTALLATION OR CONSTRUCTION OF A SWIMMING POOL, THE SWIMMING POOL MUST BE ENCLOSED BY A TEMPORARY ENCLOSURE. THE TEMPORARY MAY CONSIST OF A TEMPORARY FENCE, A PERMANENT FENCE, THE WALL OF A PERMANENT STRUCTURE, ANY OTHER STRUCTURE, OR ANY COMBINATION OF THE FOREGOING, HOWEVER:
2. ALL PORTIONS OF THE TEMPORARY ENCLOSURE MUST BE AT LEAST FOUR(4) FEET HIGH, AND
3. ALL COMPONENTS OF THE TEMPORARY ENCLOSURE MUST BE SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL BY ANY PERSON NOT ENGAGED IN THE INSTALLATION OR CONSTRUCTION PROCESS AND TO PROVIDE FOR THE SAFETY OF ALL SUCH PERSONS.
4. THE TEMPORARY ENCLOSURE MUST REMAIN IN PLACE THROUGHOUT THE PERIOD OF INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL, AND THEREAFTER UNTIL THE INSTALLATION OR CONSTRUCTION OF A PERMANENT ENCLOSURE HAS BEEN COMPLETED. THE TEMPORARY ENCLOSURE MUST BE REPLACED BY A PERMANENT ENCLOSURE. THE PERMANENT ENCLOSURE MUST COMPLY WITH ALL APPLICABLE NEW YORK STATE CODES OR REGULATIONS APPLICABLE TO SWIMMING POOL ENCLOSURES OR BY ANY LOCAL LAW APPLICABLE TO SWIMMING POOL ENCLOSURES AND IN EFFECT IN THE LOCATION WHERE THE SWIMMING POOL HAS BEEN INSTALLED OR CONSTRUCTED.
5. THE PERMANENT ENCLOSURE MUST BE COMPLETE WITHIN NINETY DAYS AFTER THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL, OR THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL, WHICHEVER IS LATER.

ENCLOSURES AND SAFETY DEVICES

1. PRIOR TO FILLING, THE POOL AND OR SPA SHALL BE COMPLETELY ENCLOSED BY 4' MIN. HIGH FENCING & GATES WITH NO OPENINGS GREATER THAN 4". GATES TO BE SELF-CLOSING & SELF-LATCHING WITH LATCH A MIN. OF 4' HIGH. WHERE THIS VARIES FROM LOCAL CODES, THE LOCAL CODES SHALL PREVAIL.

SUCTION OUTLETS SHALL BE DESIGNED TO PRODUCE CIRCULATION THROUGHOUT THE POOL OR SPA. SINGLE-OUTLET SYSTEMS, SUCH AS AUTOMATIC VACUUM CLEANER SYSTEMS, OR OTHER SUCH MULTIPLE SUCTION OUTLETS WHETHER ISOLATED BY VALVES OR OTHERWISE SHALL BE PROTECTED AGAINST USER ENTRAPMENT. ALL POOL AND SPA SUCTION OUTLETS SHALL BE PROVIDED WITH A COVER THAT CONFORMS TO ASME A112.19.8M, A 12-INCH BY 12-INCH DRAIN GRATE OR LARGER, OR AN APPROVED CHANNEL DRAIN SYSTEM WITH THE EXCEPTION OF SURFACE SKIMMERS.

IN ADDITION, WHEN REQUIRED BY CODE, ALL POOL AND SPA SINGLE- OR MULTIPLE-OUTLET CIRCULATION SYSTEMS SHALL BE EQUIPPED WITH AN ATMOSPHERIC VACUUM RELIEF SHOULD GRATE COVERS LOCATED THEREIN BECOME MISSING OR BROKEN. SUCH VACUUM RELIEF SYSTEMS SHALL INCLUDE AT LEAST ONE APPROVED OR ENGINEERED METHOD OF THE TYPE SPECIFIED HEREIN, AS FOLLOWS: 1. SAFETY VACUUM RELEASE SYSTEMS CONFORMING TO ASME A112.19.17S; OR 2. APPROVED GRAVITY DRAINAGE SYSTEM.

IN ADDITION, WHEN REQUIRED BY CODE, SINGLE- OR MULTIPLE-PUMP CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A MINIMUM OF TWO SUCTION OUTLETS OF THE APPROVED TYPE. A MINIMUM HORIZONTAL OR VERTICAL DISTANCE OF 3 FEET SHALL SEPARATE SUCH OUTLETS. THESE SUCTION OUTLETS SHALL BE PIPED SO THAT WATER IS DRAWN THROUGH THEM SIMULTANEOUSLY THROUGH A VACUUM-RELIEF-PROTECTED LINE TO THE PUMP OR PUMPS.

IN ADDITION, WHERE PROVIDED, VACUUM OR PRESSURE CLEANER FITTINGS(S) SHALL BE LOCATED IN AN ACCESSIBLE POSITION(S) AT LEAST 6 INCHES AND NOT GREATER THAN 12 INCHES BELOW THE MINIMUM OPERATIONAL WATER LEVEL OR AS AN ATTACHMENT TO THE SKIMMER(S).

BARRIER REQUIREMENTS: OUTDOOR RESIDENTIAL SWIMMING POOLS

AN OUTDOOR RESIDENTIAL SWIMMING POOL MUST BE PROVIDED WITH A BARRIER WHICH COMPLETELY SURROUNDS THE SWIMMING POOL AND OBSTRUCTS ACCESS TO THE SWIMMING POOL. PROPOSED BARRIER FOR THIS POOL INSTALLATION SHALL BE BY MEANS OF FENCING

BARRIERS PROVIDED FOR OUTDOOR RESIDENTIAL SWIMMING POOLS MUST SATISFY THE FOLLOWING REQUIREMENTS:

- THE BARRIER MUST COMPLETELY SURROUND THE SWIMMING POOL AND MUST OBSTRUCT ACCESS TO THE SWIMMING POOL.
- THE BARRIER MUST BE AT LEAST 4 FEET (48 INCHES) HIGH.
- THE SPACE BETWEEN THE BOTTOM OF THE BARRIER AND THE GROUND CANNOT EXCEED 2 INCHES.

DWELLING WALL AS BARRIER

1. WALLS OF DWELLING THAT SERVE AS PART OF BARRIER SHALL COMPLY WITH RCNYS R326.4.2.8 REQUIREMENTS.
2. ANY DOOR & WINDOW WITH DIRECT ACCESS TO POOL SHALL BE EQUIPPED WITH AUDIBLE ALARM IN ACCORDANCE WITH UL 2017
3. ACTIVATION TIMING SHALL BE IN COMPLIANCE WITH R326.4.2.6 A
4. ANY OPERABLE WINDOWS IN THE WALL SHALL HAVE LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE FLOOR.
5. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4 INCH DIA. SPHERE TO PASS THROUGH\
6. WHERE AN ALARM IS PROVIDE THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES OR MORE ABOVE THE THRESHOLD OF THE DOOR.

POOL HEATER NOTES:

1. A READILY ACCESSIBLE ON-OFF SIWTH THAT IS AN INTEGRAL PART OF THE HEATER SHALL BE PROVIDED IN COMPLIANCE WITH 2020 RCNYS N1103.10.1
2. A TIME SWITCH WITH PRE-SET SCHEDULE CONTROL SHALL BE INSTALLED FOR HEATER AND PUMP MOTORS.
3. POOL COVER SHALL BE PROVIDED FOR HEATED POOL WITH MINIMUM R-VALUE OF R-12.
4. ENERGY CONSUMPTION OF POOLS SHALL BE IN ACCORDANCE WITH RCNYS SECTION N1103.10.1-3

SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	SETBACK
	FENCING
	SILT FENCING
	EXISTING GRADE
	PROPOSED GRADE
	DRAIN PIPE
	GRAVEL
	TRENCH DRAIN
	PATIO
	POOL WATER
	COPING
	ELEV. +252.0 ELEVATION MARKER

PRESUMPTIVE SOIL LOAD BEARING VALUES				
CLASS OF MATERIALS	VERTICAL PRESSURE	LATERAL PRESSURE	COEFFICIENT OF FRICTION	COHESION
4. SAND/SILT/SAND, CLAYEY SAND, SILTY GRAVEL, & CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2,000 PSF	150 PSF/FT BELOW GRADE	0.25	130 PSF

*As per New York State International Building Code Table 1906.2

SIGNATURE BLOCK:

TOWN OF NORTH CASTLE PLANNING BOARD ENDORSEMENT OF APPROVAL RESOLUTION:

NAME: _____

DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
1	11/16/2021	JMS	JMS	JMS
2	04/27/2022	JMS	JMS	JMS
3	05/04/2022	JMS	JMS	JMS
4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
 JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:

**49 Sarles Street
 Armonk, NY 10504**

DRAWING TITLE:

**SITE IMPROVEMENTS
 POOL PLANS**

S -101

OWNER: **Rosenman**

Performed By: John Scavelli
Company Name: ResReal Designs
Address: 360 Route 202, Suite 7, Somers NY 10589
Phone: 914-330-7712
Date Performed: 11/2/2022

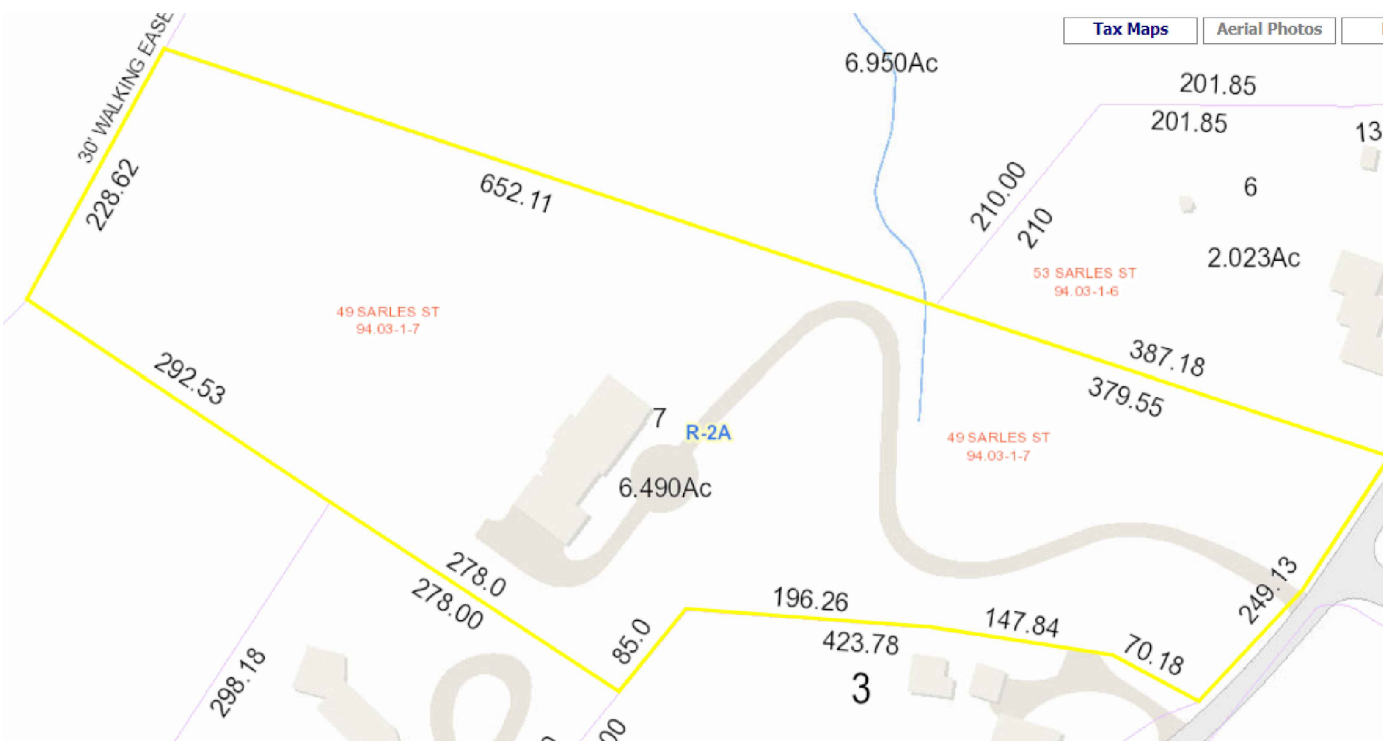
Weather Conditions: Clear
Temperature: 35 F
Soak Time: 30 MIN
Ground Water Level: N/A
Depth to Limiting Complete Certification: N/A

Address: 49 Sarles St Armonk 10504
Section: 94.03 Block: 1 Lot: 7
Soil Percolation Test Data
Soil: 8" TOPSOIL, BROWN SANDY LOAM 72" - DEEP HOLE TEST
PreSoak Date: 11/2/2022 Run Date: 11/2/2022

Hold#	Run#	Start	Stop	Elapse Time	Depth to Water from Ground Surface Start Inches	Water Level Drop in Inches	Soil Rate Min/In Drop
1	1	2:09 PM	2:39 PM	30 min	42"	43"	1" 1"/30 MIN
1	2	2:40 PM	3:10 PM	30 min	42"	43"	1" 1"/30 MIN
1	3	3:11 PM	3:41 PM	30 min	42"	43"	1" 1"/30 MIN
TOTAL							2" / HR



A AERIAL VIEW
SCALE: NTS



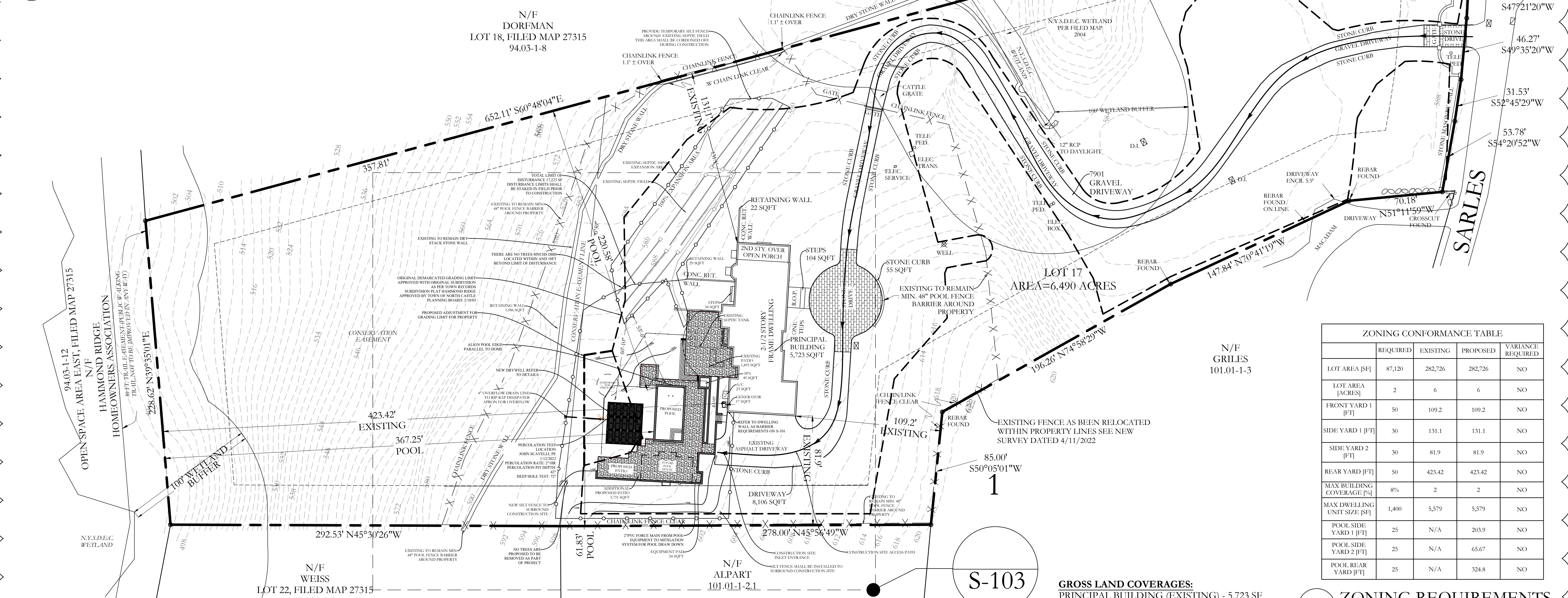
G GIS VIEW
SCALE: NTS

ADDITIONAL POOL CODE REQUIREMENTS:

1. INGROUND POOL DESIGNED IN CONFORMANCE WITH ANSI/APSP/ICC PER SECTION 326.3.2 OF THE 2020 NEW YORK STATE RESIDENTIAL CODE.
2. POOL ENCLOSURE SHALL COMPLY WITH CODE SECTION R326.4.2 - PERMANENT BARRIERS.
3. POTABLE WATER PROTECTION FOR SWIMMING POOLS SHALL COMPLY WITH CODE SECTION P2902 OF THE 2020 NYS RESIDENTIAL CODE.
4. ENTRAPMENT PROTECTION SHALL MEET CODE SECTION R326.5 OF THE 2020 NYS RESIDENTIAL CODE.
5. ALL SUCTION FITTINGS SHALL COMPLY WITH "ANSI/APSP/ICC 7 PER CODE SECTION R326.5.1.
6. ELECTRICAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF 2020 RESIDENTIAL CODE OF NEW YORK STATE CHAPTER 42 SWIMMING POOLS.

Test Performed By: John Scavelli, PE
Test Witnesses By: Kevin Dyma, Kallard Sessions
914.330.7712 | ResReal.com | 361 Route 202, Suite 7, Somers, NY 10589

PERCOLATION TEST RESULTS
SCALE: NTS



S-1 SITE PLAN
SCALE: 1"=40'-0"

THIS IS NOT INTENDED FOR DISTRIBUTION AS A PROPERTY SURVEY. THIS IS A PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES.

GROSS LAND COVERAGES:
PRINCIPAL BUILDING (EXISTING) - 5,723 SF
ASPHALT DRIVEWAY (EXISTING) - 8,106 SF
TERRACES (EXISTING) - 1,705 SF
EQUIPMENT (EXISTING) - 40 SF
OTHER STRUCTURES: APRON, GATE, CURBS RETAINING WALL (EXISTING) - 660 SF
TERRACES (PROPOSED) - 3,731 SF
POOL & SPA (PROPOSED) - 1,032 SF
RETAINING WALLS (PROPOSED) - 1,986 SF
TOTAL COVERAGE: - 22, 983 SF

ZONING CONFORMANCE TABLE				
	REQUIRED	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA [SF]	87,120	282,726	282,726	NO
LOT AREA [ACRES]	2	6	6	NO
FRONT YARD 1 [FT]	50	109.2	109.2	NO
SIDE YARD 1 [FT]	30	131.1	131.1	NO
SIDE YARD 2 [FT]	30	81.9	81.9	NO
REAR YARD [FT]	50	423.42	423.42	NO
MAX BUILDING COVERAGE [%]	8%	2	2	NO
MAX DWELLING UNIT SIZE [SF]	1,400	5,579	5,579	NO
POOL SIDE YARD 1 [FT]	25	N/A	203.9	NO
POOL SIDE YARD 2 [FT]	25	N/A	65.67	NO
POOL REAR YARD [FT]	25	N/A	324.8	NO

Z ZONING REQUIREMENTS
SCALE: NTS

www.ResReal.com
(914)-330-7712
2875 Route 35
Katonah, NY 10536

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 49 SARLES STREET
PROJECT TOWN: ARMONK
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 94.03-1-7
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-2A

SIGNATURE BLOCK:
TOWN OF NORTH CASTLE PLANNING BOARD ENDORSEMENT OF APPROVAL RESOLUTION:
NAME: _____
DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
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3	05/04/2022	JMS	JMS	JMS
4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
**49 Sarles Street
Armonk, NY 10504**

DRAWING TITLE:
**SITE IMPROVEMENTS
DETAILS SHEET 2**

S -102

OWNER:
Rosenman

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 49 SARLES STREET
PROJECT TOWN: ARMONK
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 94-03-1-7
OCCUPANCY: SINGLE-FAMILY DWELLING
ZONING CODE: R-2A

SIGNATURE BLOCK:
TOWN OF NORTH CASTLE PLANNING BOARD ENDORSEMENT OF APPROVAL RESOLUTION:
NAME: _____
DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
1	11/16/2021	JMS	JMS	JMS
2	04/27/2022	JMS	JMS	JMS
3	05/04/2022	JMS	JMS	JMS
4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
49 Sarles Street
Armonk, NY 10504

DRAWING TITLE:
SITE IMPROVEMENTS
DETAILS SHEET 3

S -103

OWNER:
Rosenman

EROSION CONTROL MEASURE NOTES:

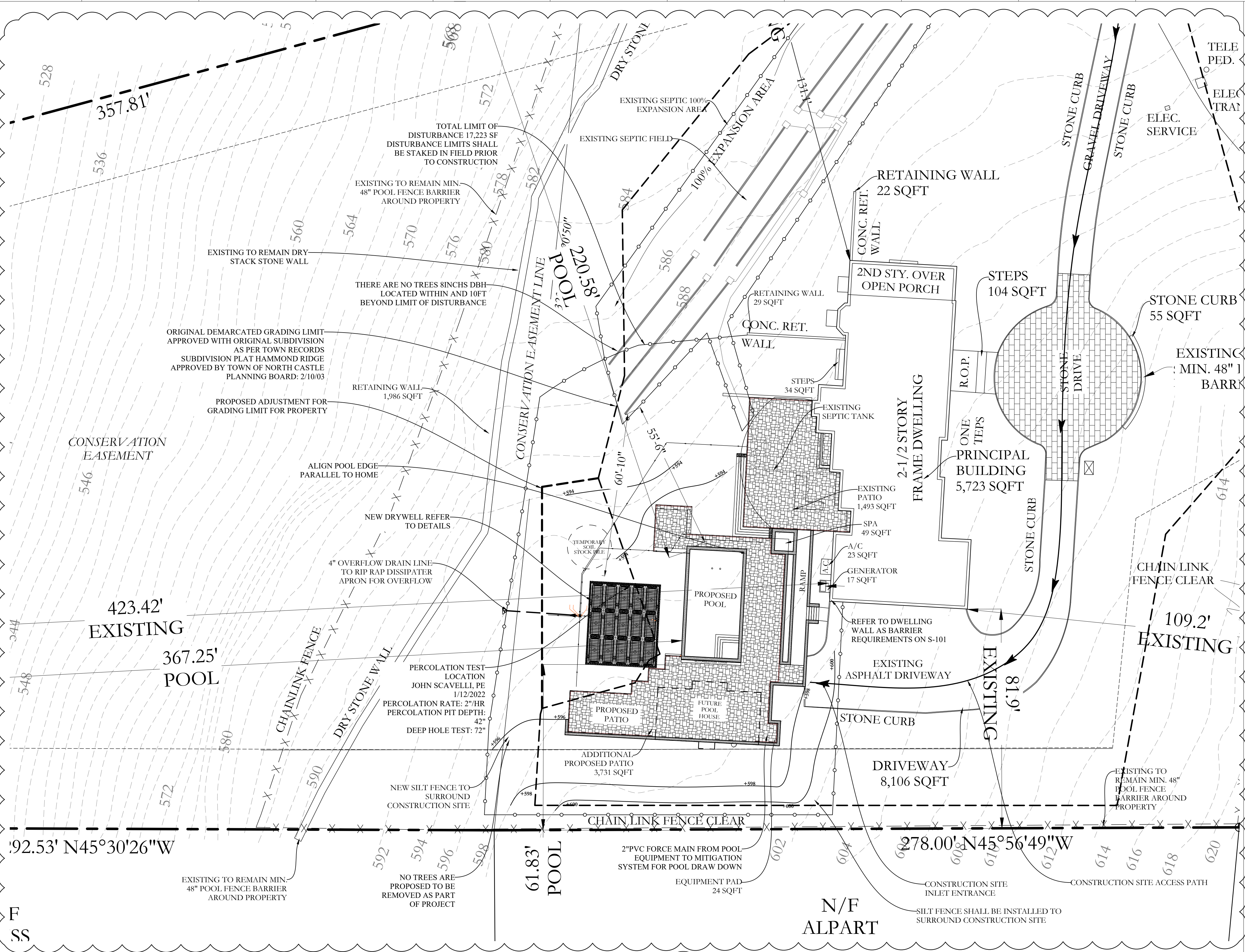
1. ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
2. APPROVAL OF THIS EROSION CONTROL MEASURES DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN.
3. A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
4. THE IMPLEMENTATION OF THESE PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
5. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
6. THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
7. ALL LOCATIONS OF EXISTING UTILITIES SHALL BE ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
9. CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING.
10. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
11. THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
12. THE EROSION CONTROL FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
13. FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM OF 6" WITHIN THE FIRST 10 FEET, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

LANDSCAPING NOTES:

1. FURNISH ALL MATERIALS, LABOR AND RELATED ITEMS AS REQUIRED FOR LANDSCAPING FINISHES AROUND PREMISES.
2. ALL DISTURBED GRASS AREAS SHALL BE REPLANTED WITH NEW GRASS SEED AND SHALL BE APPROPRIATELY COVERED TO FACILITATE NEW SEASONAL GRASS GROWTH.
3. ALL DEBRIS, ROCKS, FOREIGN OBJECTS OVER 2" DIAMETER SHALL BE REMOVED FROM TOP SURFACE OF ALL PREPARED LANDSCAPE AREAS PRIOR TO ANY NEW LANDSCAPING WORK.
4. SEED MIXTURE CONTAINING 40% PERENNIAL RYE GRASS, 25% CHEWING FESCUE AND 10% OF MIXED CLOVER OR SIMILAR COVERAGE SHALL BE SPREAD OVER EXCAVATED PREMISES AT THE RATE OF 100 POUNDS PER ACRES. SEED SHALL BE BRUSHED IN LIGHTLY AND ROLLED FIRM.
5. EXISTING TREES AND SHRUBS ON SITE SHALL BE PROTECTED DURING CONSTRUCTION.
6. EXISTING SHRUBS AND TREES SHALL BE GROOMED AND TRIMMED AND ALL ADDITIONAL DEBRIS TO BE REMOVED FROM SITE.

MATERIAL REMOVAL NOTES:

1. NO MATERIALS SHALL BE EXCAVATED OR REMOVED EXCEPT FROM THOSE AREAS AND PORTIONS OF EXCAVATED PREMISES AS ARE INDICATED FOR EXCAVATION OR REMOVAL ON SITE PLAN.
2. NO MATERIALS SHALL BE EXCAVATED OR REMOVED FROM ANY AREA OR PORTION OF THE EXCAVATED PREMISES AT ANY DEPTH BELOW THE PROPOSED GRADE SHOWN FOR SUCH AREA OR PORTION OF AREA.
3. THE GRADES AND SLOPES OF THE EXCAVATED PREMISES SHALL BE FINISHED IN ACCORDANCE WITH ALL DETAILS SHOWN ON TOPOGRAPHICAL MAP.



ADDITIONAL REQUIREMENTS:

1. CONTRACTOR SHALL SCHEDULE ALL REQUIRED EROSION AND SEDIMENT CONTROL INSPECTIONS WITH THE NORTH CASTLE TOWN ENGINEER WHICH WILL INCLUDE FINAL SIGN OFF APPROVAL FROM THE TOWN ENGINEER.
2. THE PROPOSED IN-GROUND POOL IS DESIGNED AND WILL BE CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC 5 & THAT THE PROPOSED SPA WILL BE CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC 3.
3. THE SUCTION GRATE COVERS SHALL CONFORM TO ANSI/ASME A112.19.18.
4. ALL GATES SHALL BE SELF LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (POOL SIDE OF ENCLOSURE) AND AT LEAST 40" ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54" FROM GRADE THEN THE LATCH HANDLE SHALL BE LOCATED WITHIN AT LEAST 3" BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN 0.5 INCH WITHIN 18" OF LATCH HANDLE

1 ENLARGED SITEPLAN
SCALE: 1"=20'-0"

THIS IS NOT INTENDED FOR DISTRIBUTION AS A PROPERTY SURVEY. THIS IS A PLOT PLAN PROVIDED FOR INFORMATION ONLY REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION REGARDING PROPERTY LINES.

F
SS

4

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 49 SARLES STREET
PROJECT TOWN: ARMONK
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 94-03-1-7
OCCUPANCY: SINGLE-FAMILY DWELLING
ZONING CODE: R-2A

SIGNATURE BLOCK:
TOWN OF NORTH CASTLE PLANNING
BOARD ENDORSEMENT OF APPROVAL
RESOLUTION:
NAME: _____
DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
1	11/16/2021	JMS	JMS	JMS
2	04/27/2022	JMS	JMS	JMS
3	05/04/2022	JMS	JMS	JMS
4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

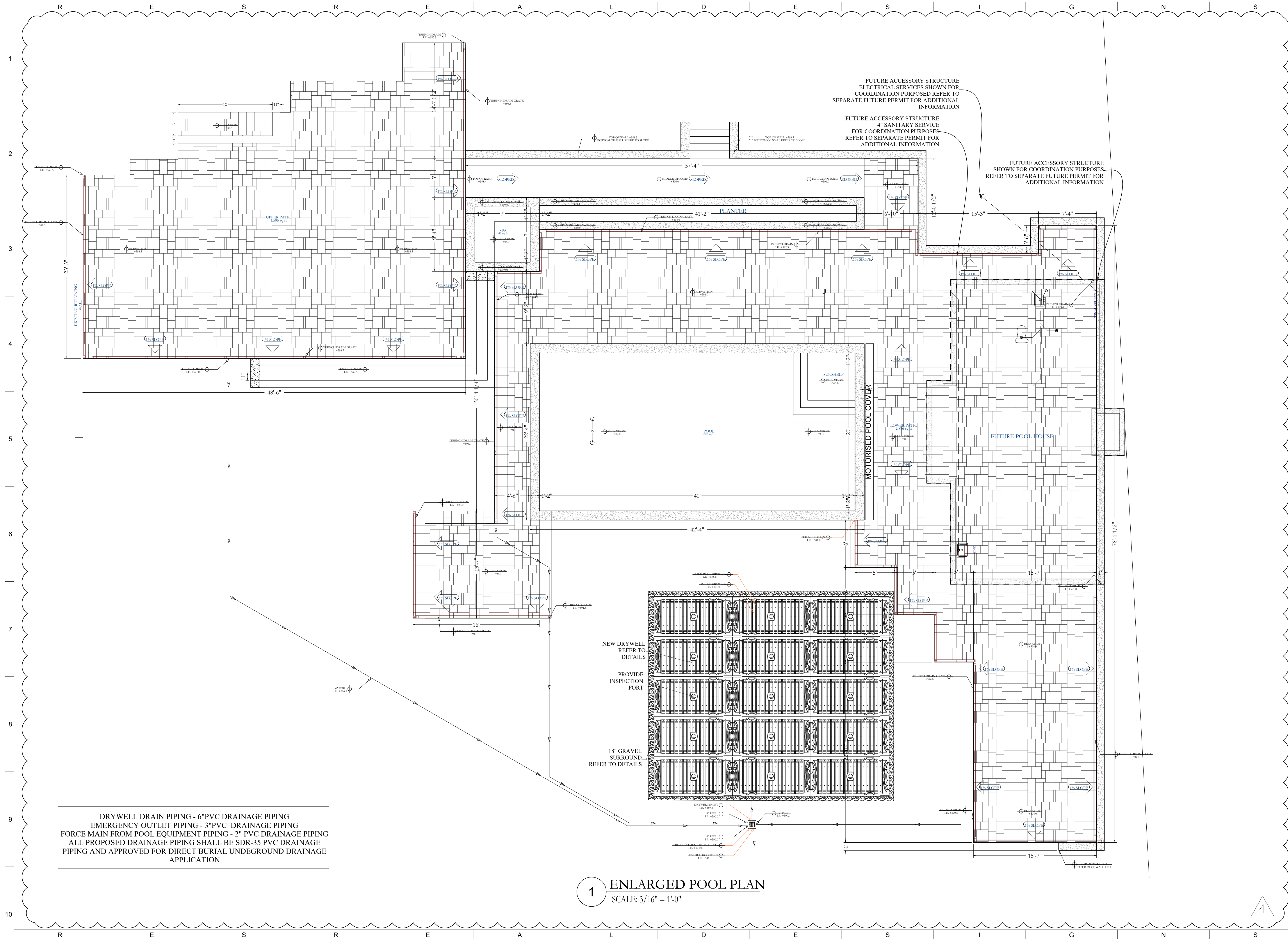
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON
UNLESS DIRECTED BY A REGISTERED ARCHITECT
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM
IN ANY WAY.

PROJECT:
**49 Sarles Street
Armonk, NY 10504**

DRAWING TITLE:
**SITE IMPROVEMENTS
DETAILS SHEET 4**

S -104

OWNER:
Rosenman



DRYWELL DRAIN PIPING - 6" PVC DRAINAGE PIPING
EMERGENCY OUTLET PIPING - 3" PVC DRAINAGE PIPING
FORCE MAIN FROM POOL EQUIPMENT PIPING - 2" PVC DRAINAGE PIPING
ALL PROPOSED DRAINAGE PIPING SHALL BE SDR-35 PVC DRAINAGE
PIPING AND APPROVED FOR DIRECT BURIAL UNDERGROUND DRAINAGE
APPLICATION

1 ENLARGED POOL PLAN
SCALE: 3/16" = 1'-0"

SIGNATURE BLOCK:
TOWN OF NORTH CASTLE PLANNING BOARD ENDORSEMENT OF APPROVAL RESOLUTION:
NAME: _____
DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
1	11/16/2021	JMS	JMS	JMS
2	04/27/2022	JMS	JMS	JMS
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4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

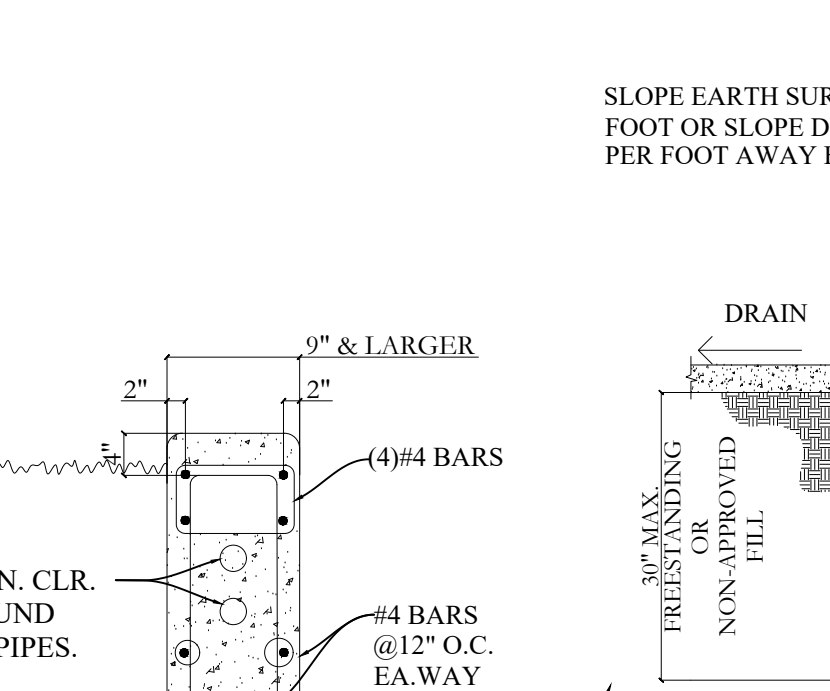
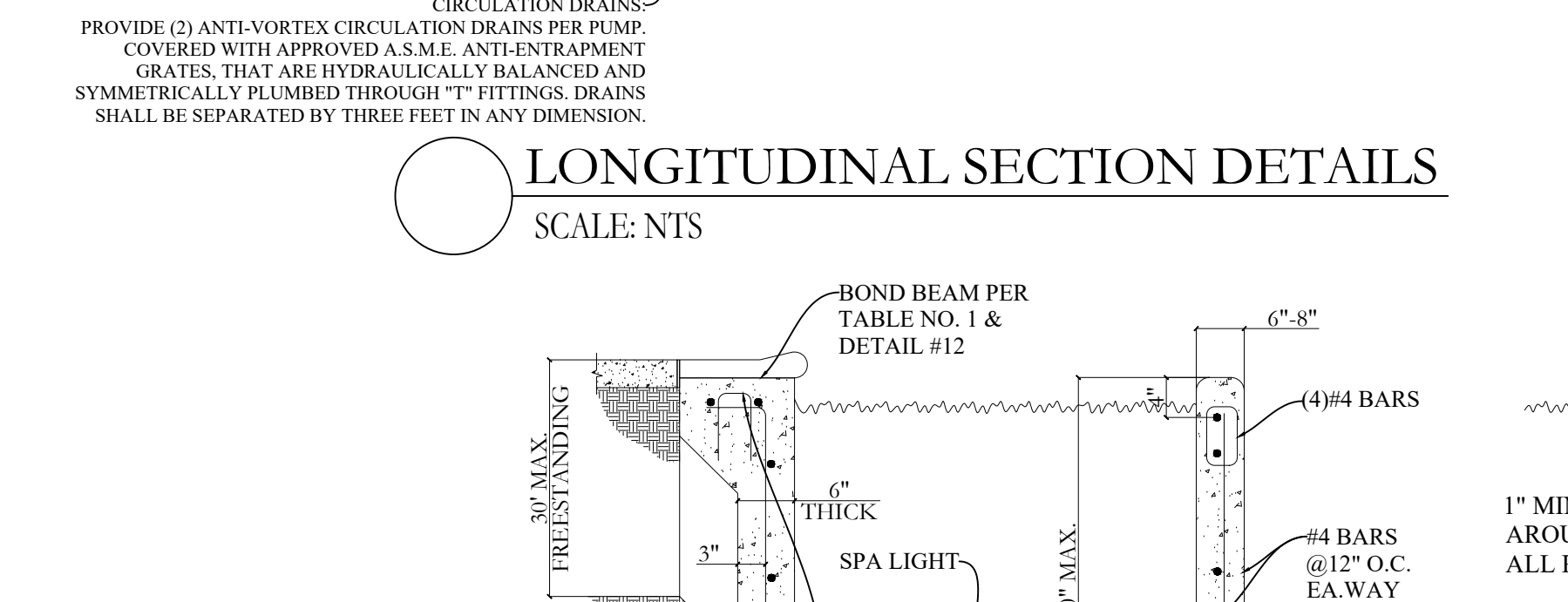
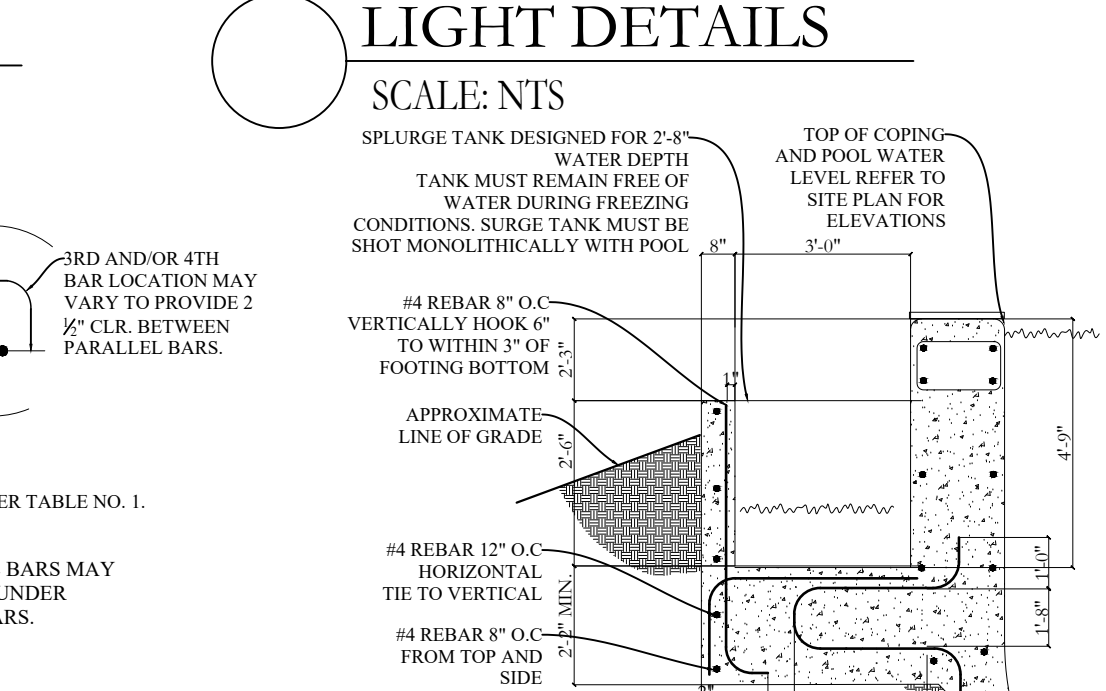
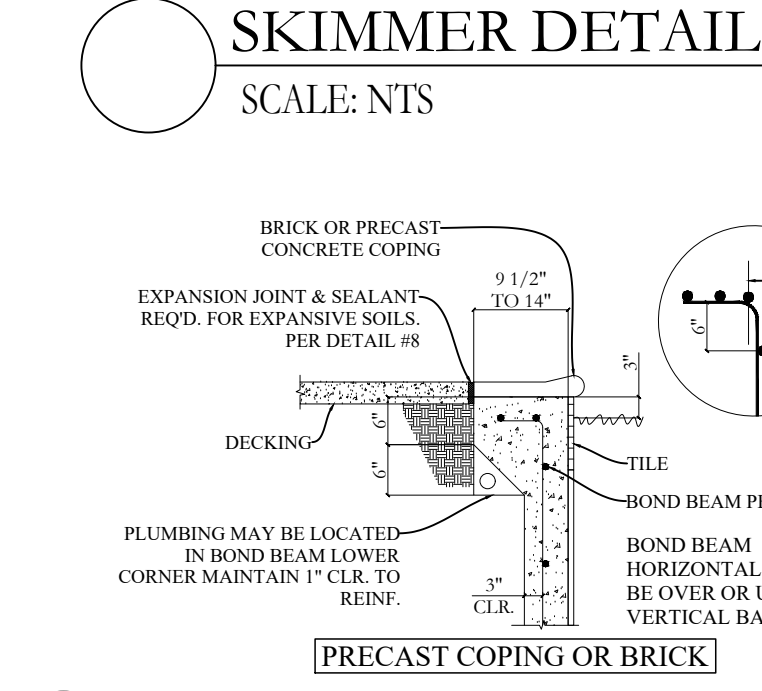
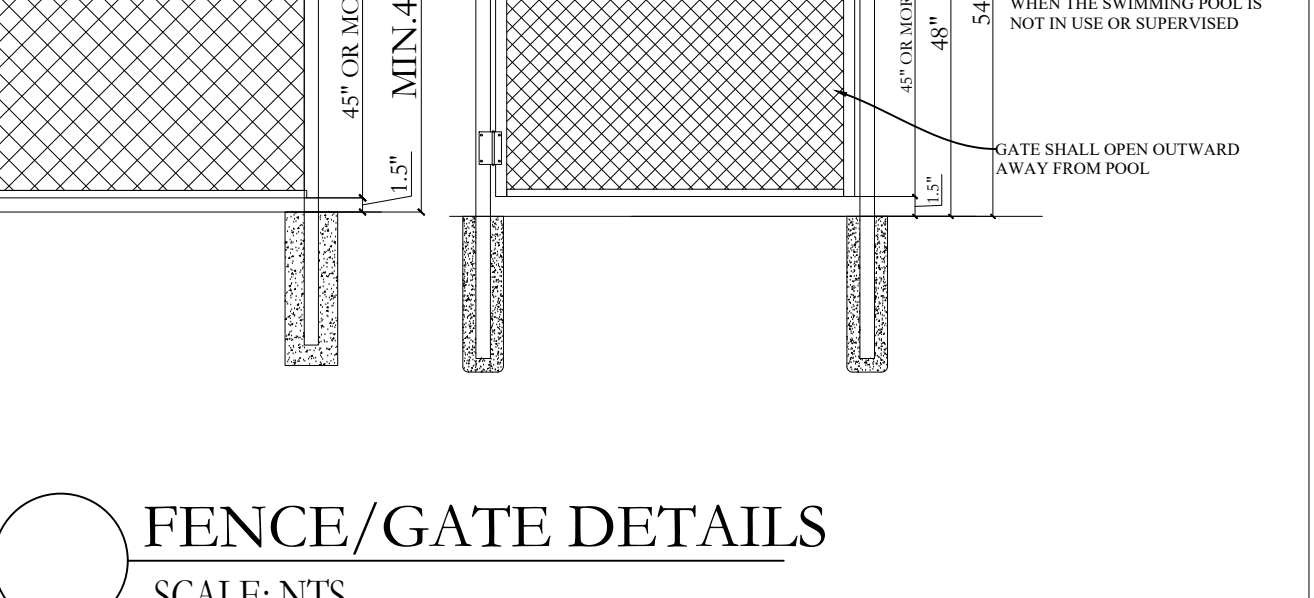
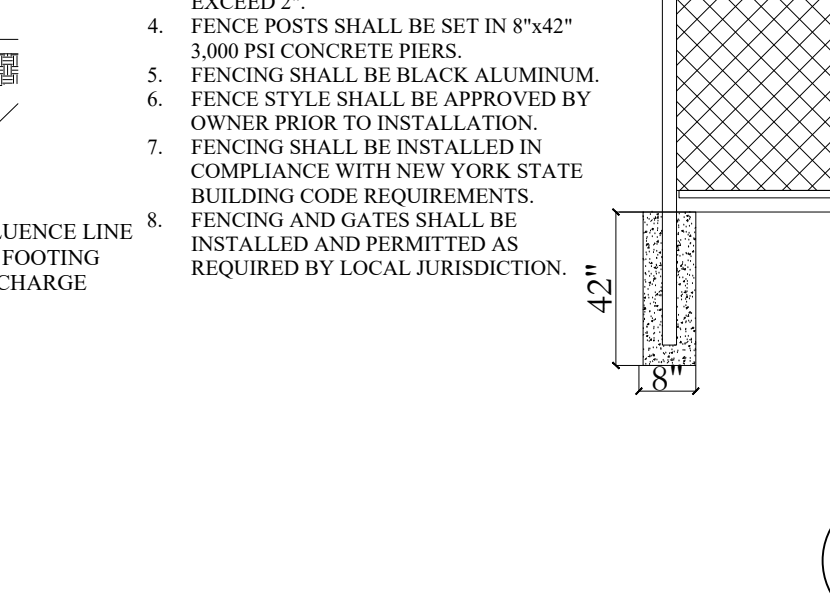
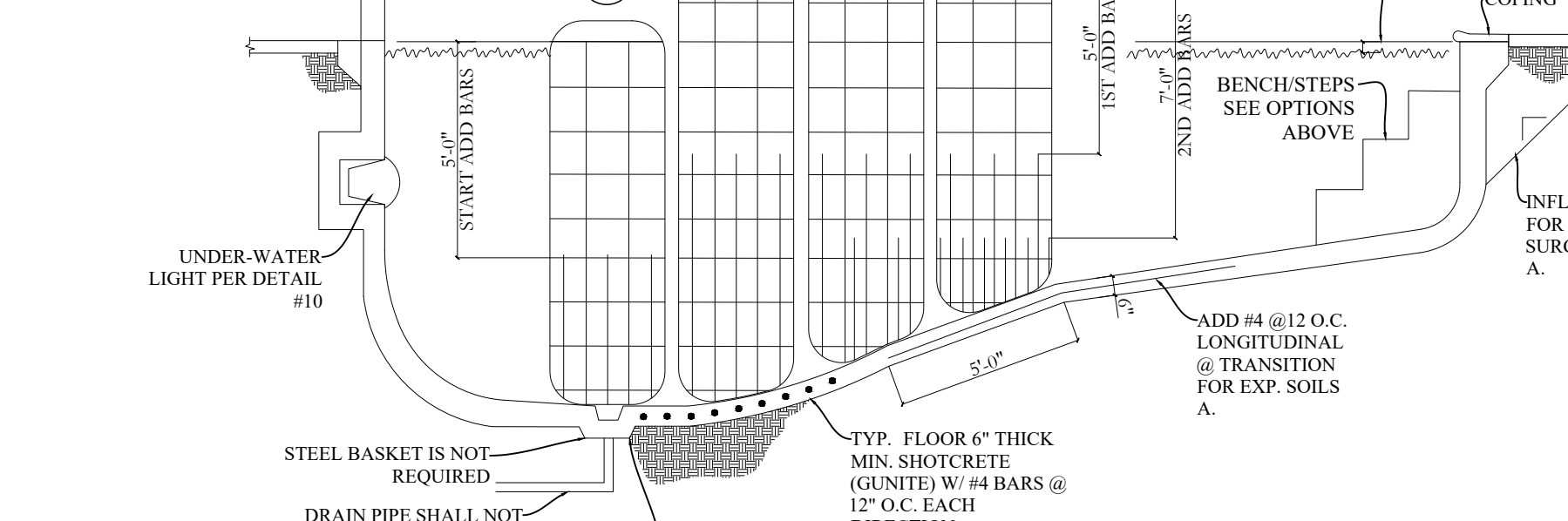
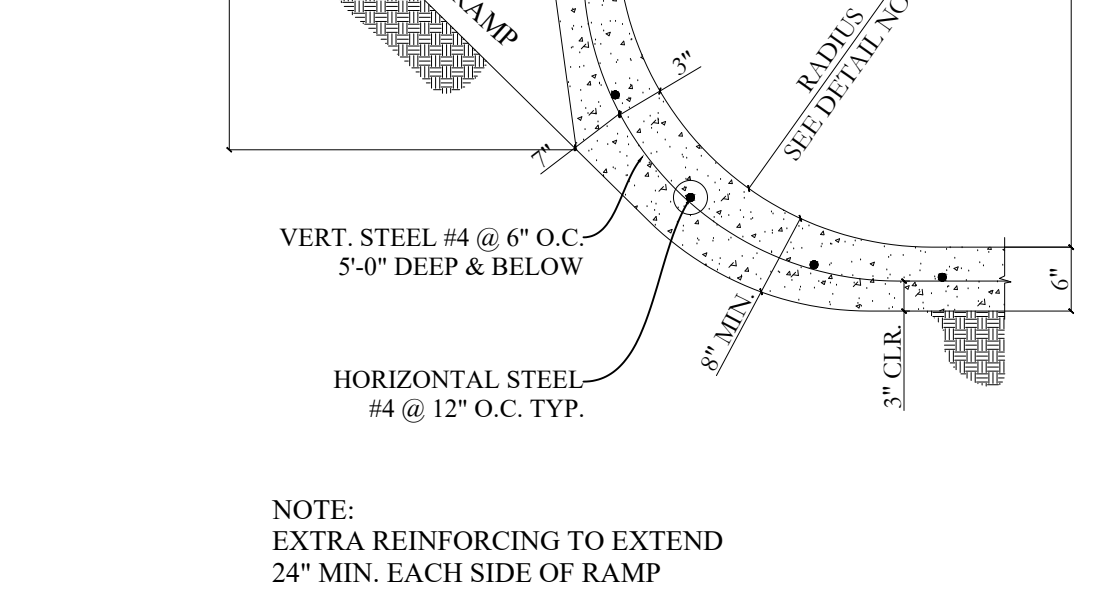
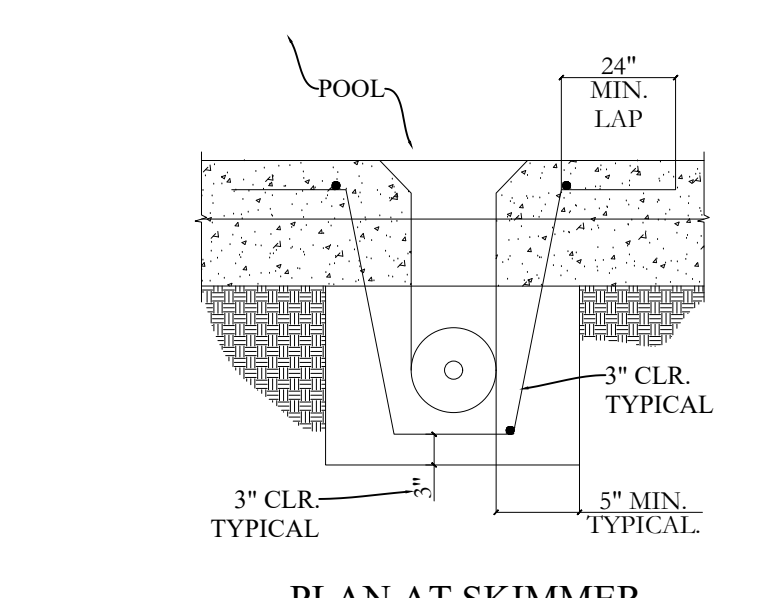
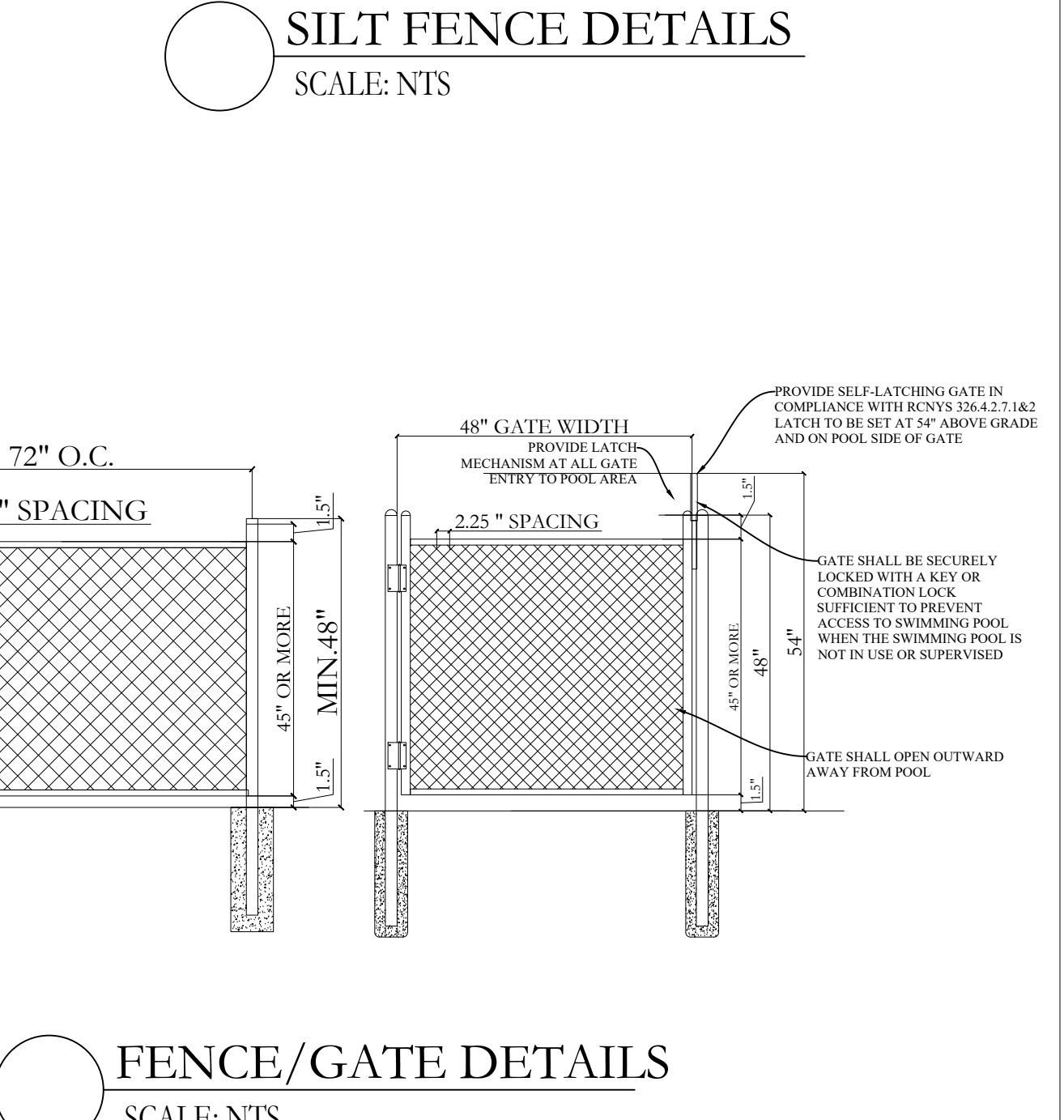
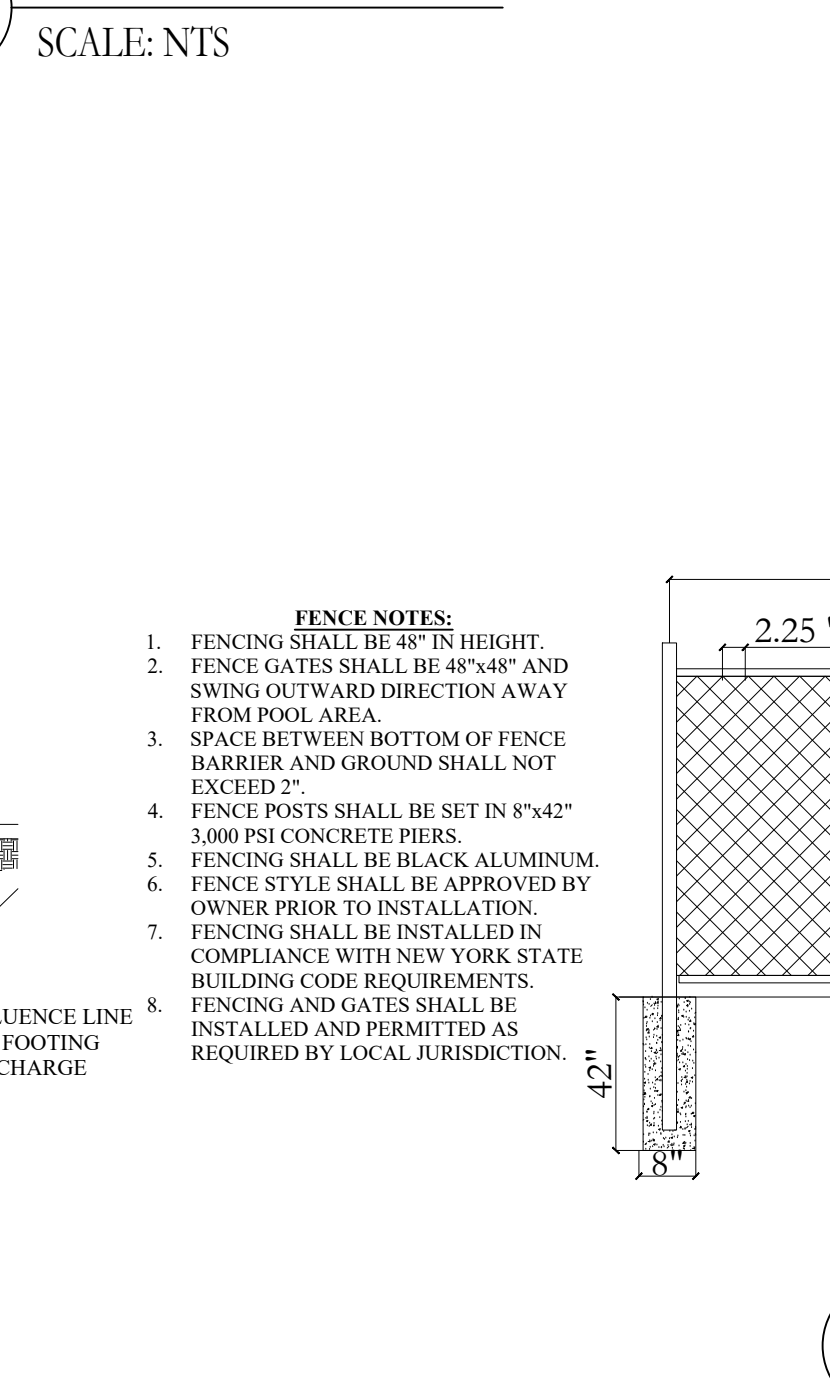
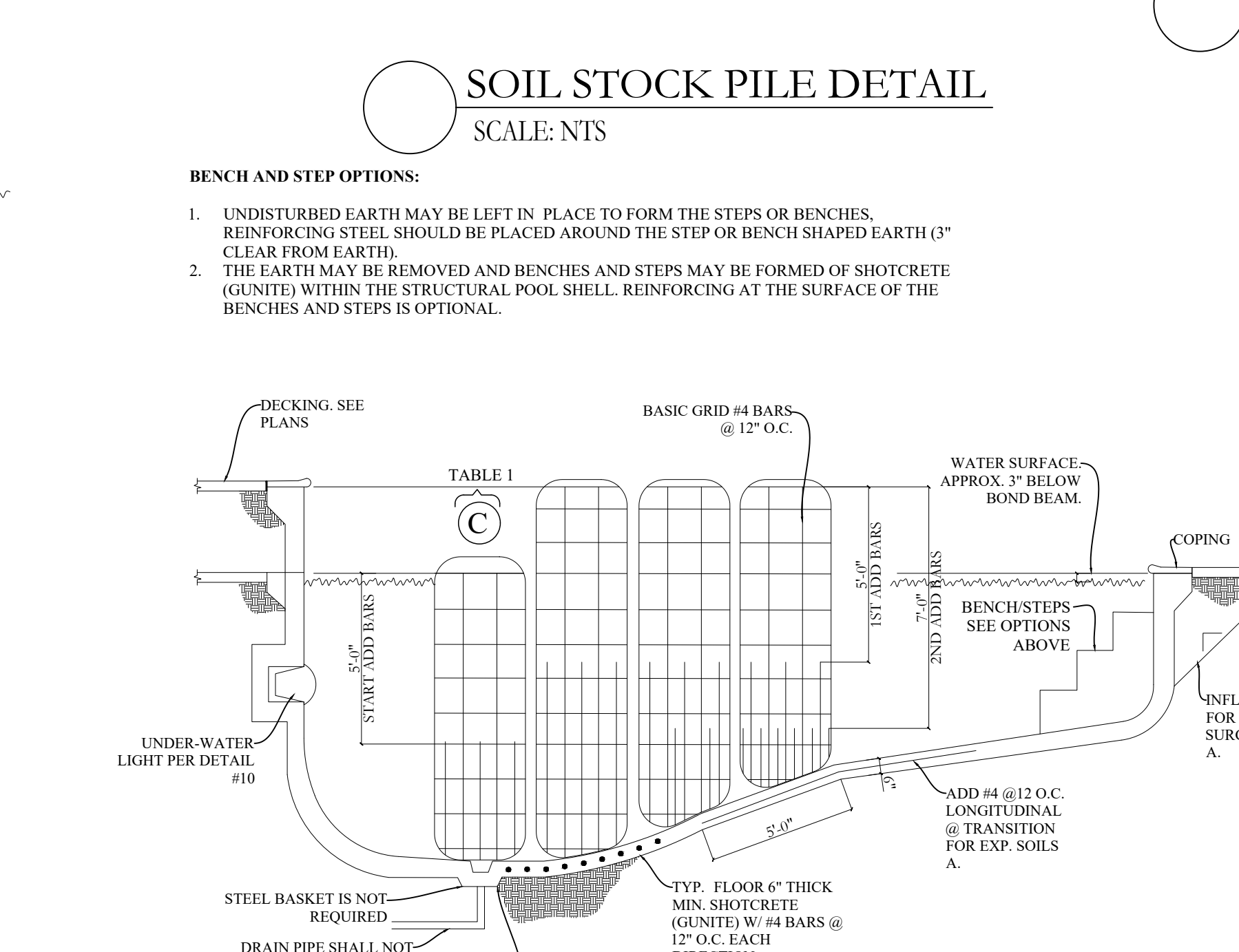
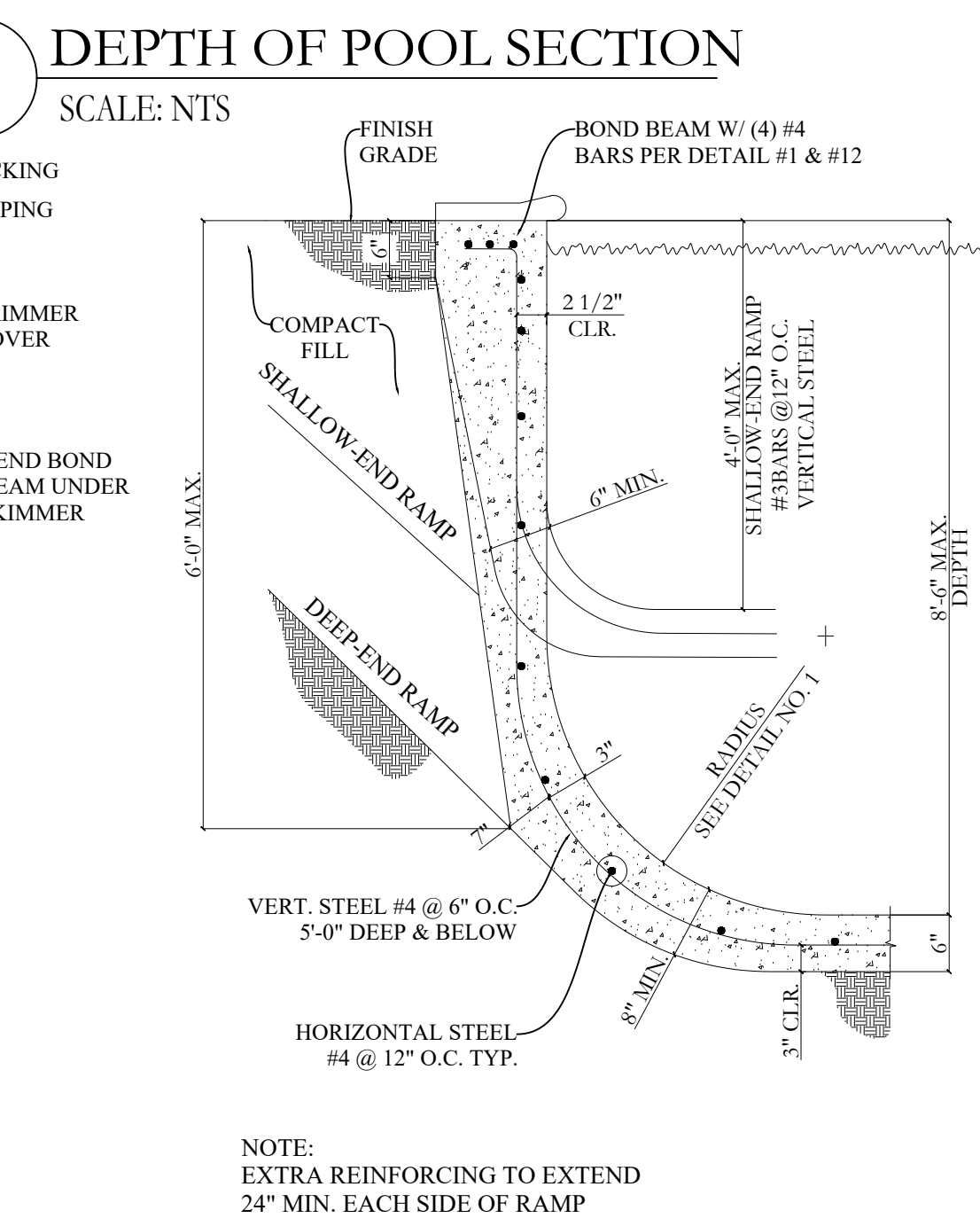
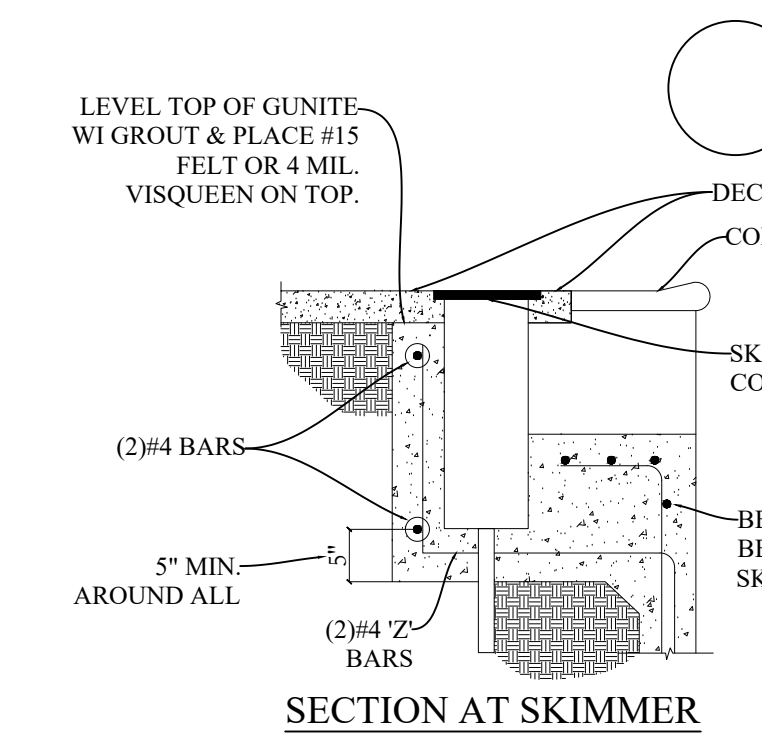
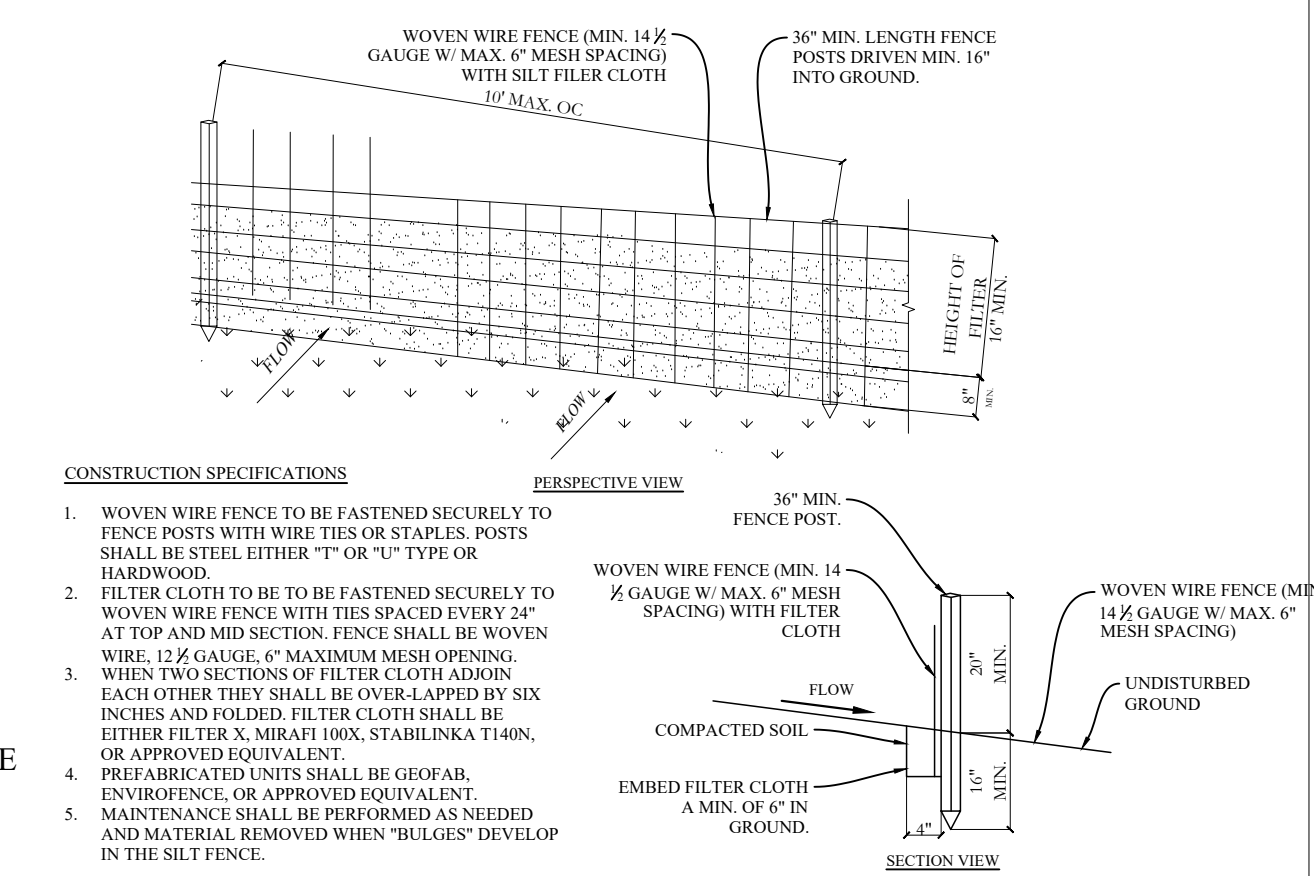
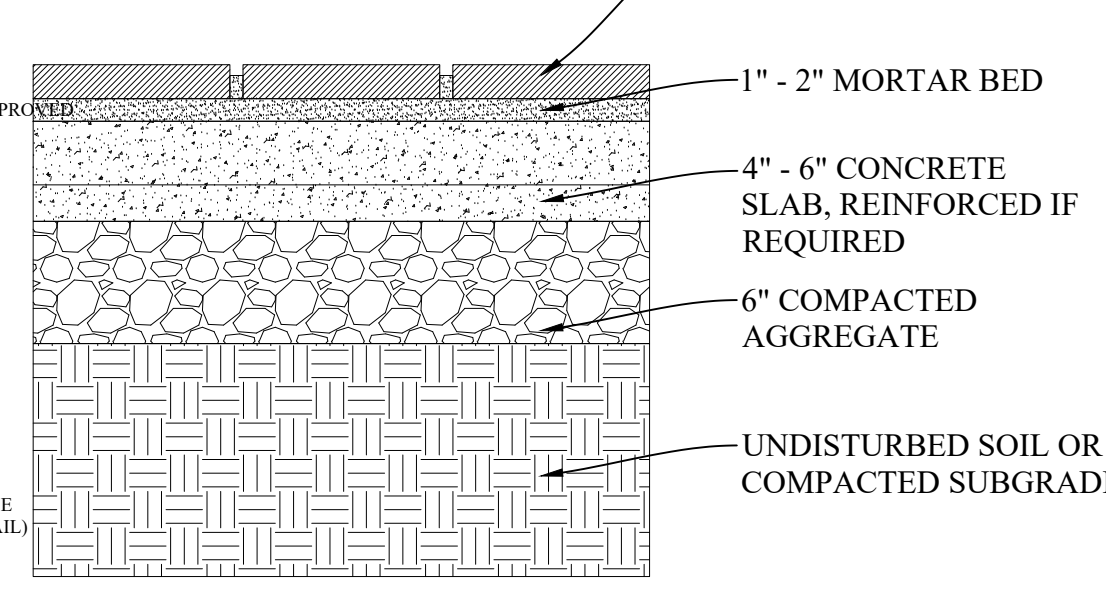
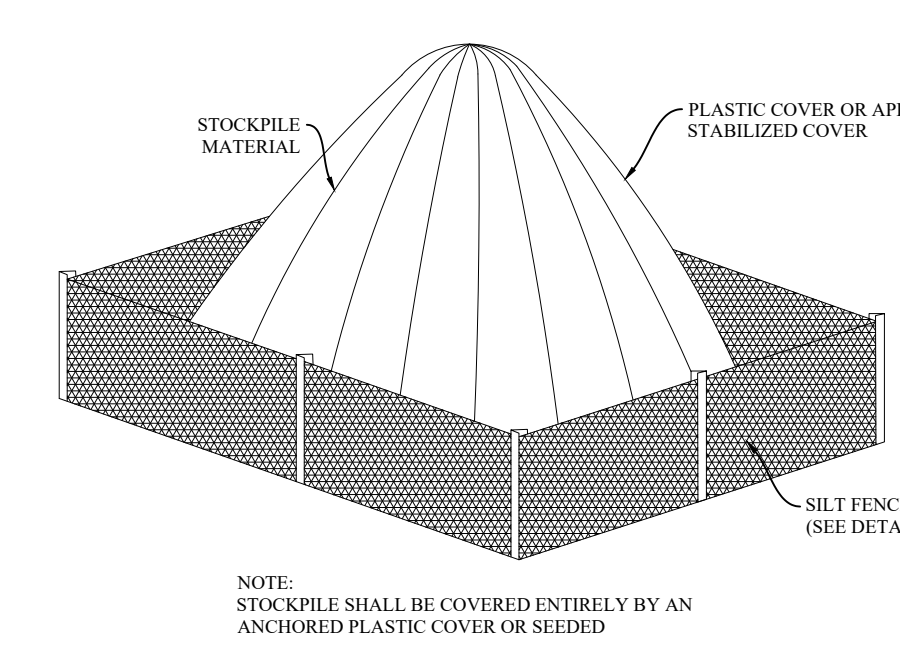
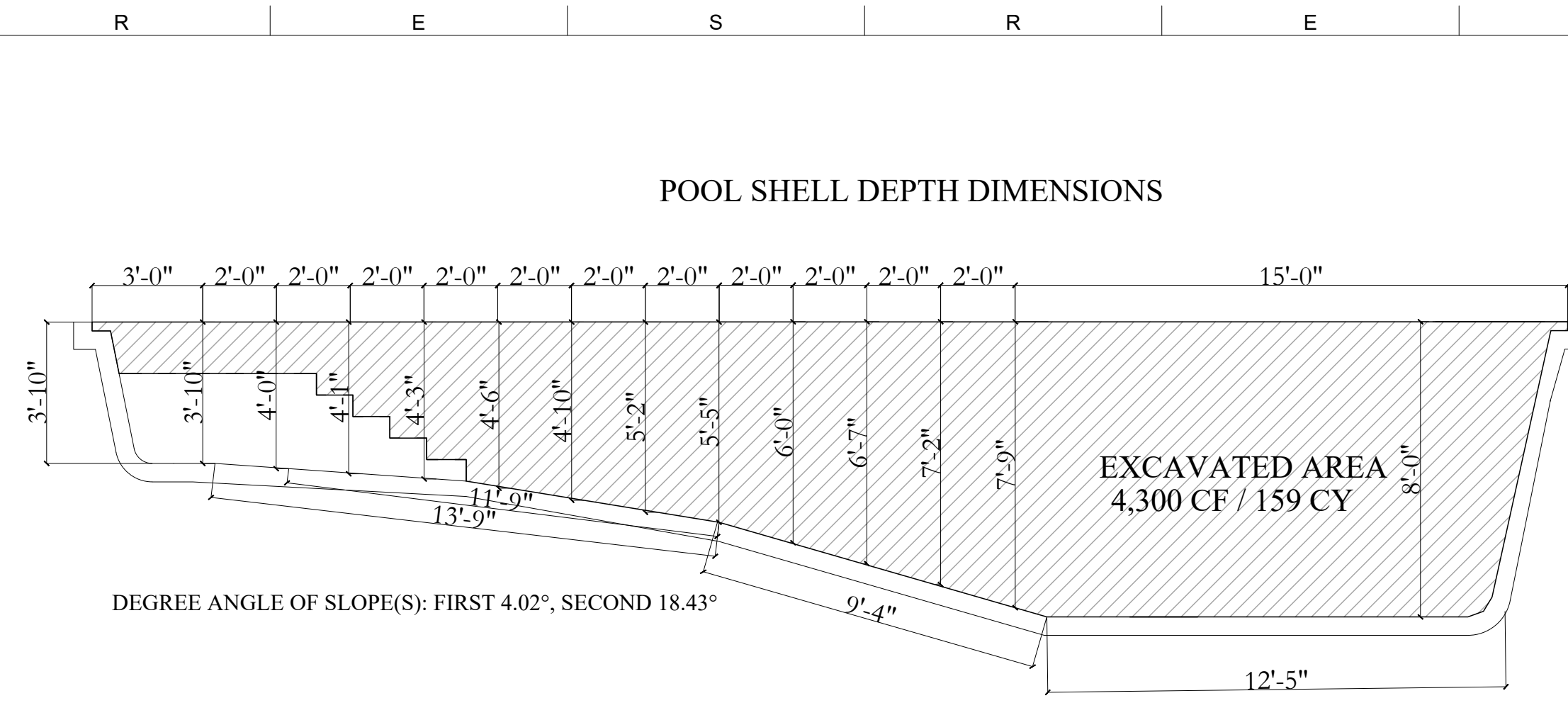
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PROJECT:
**49 Sarles Street
Armonk, NY 10504**

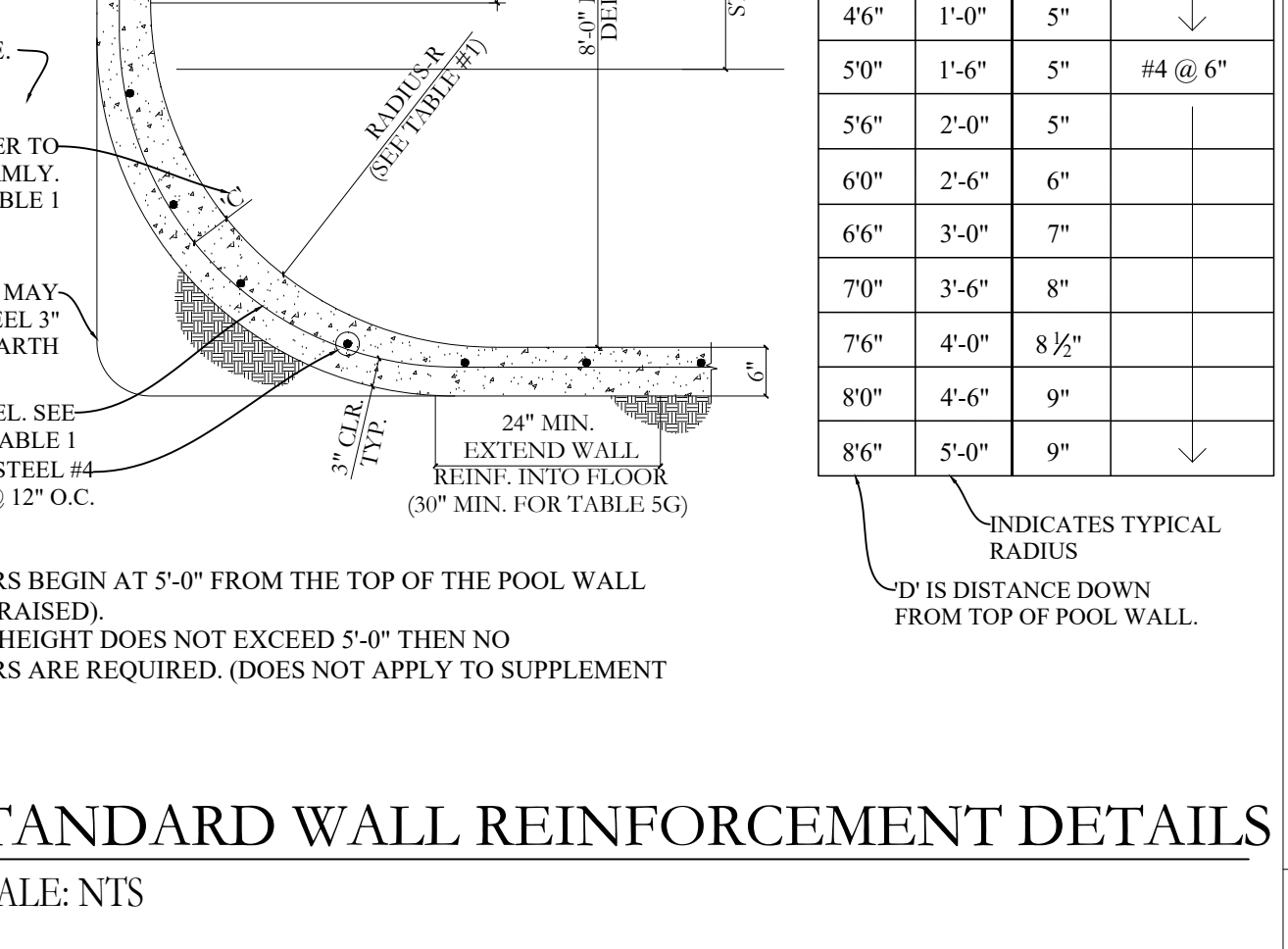
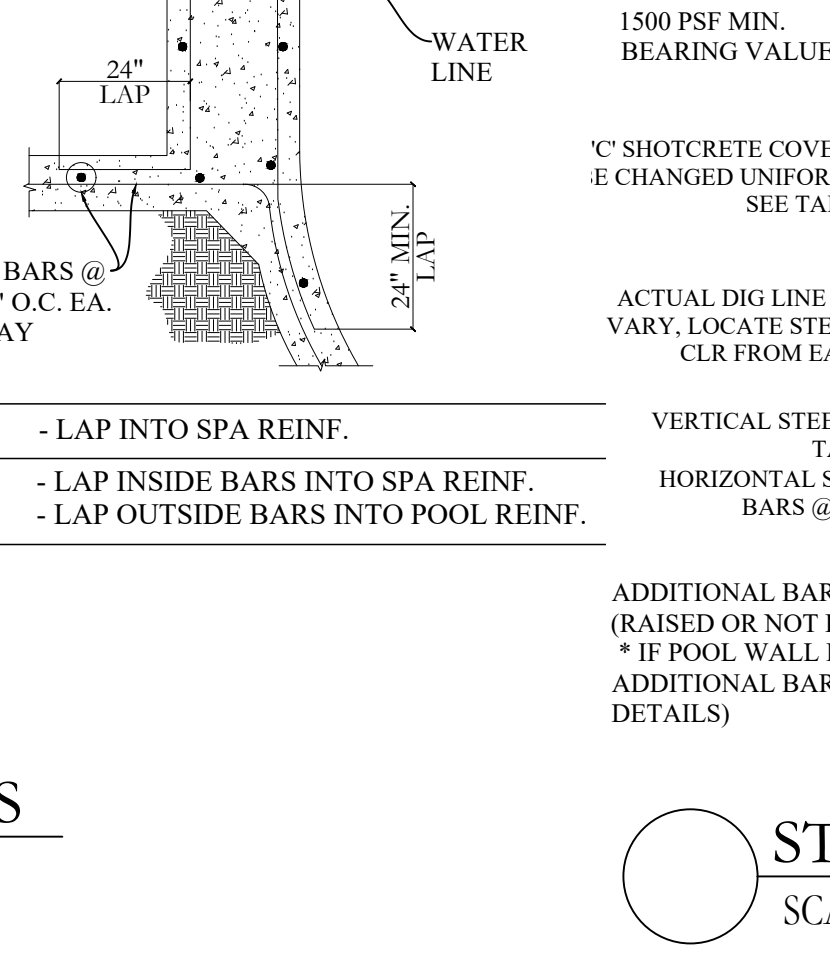
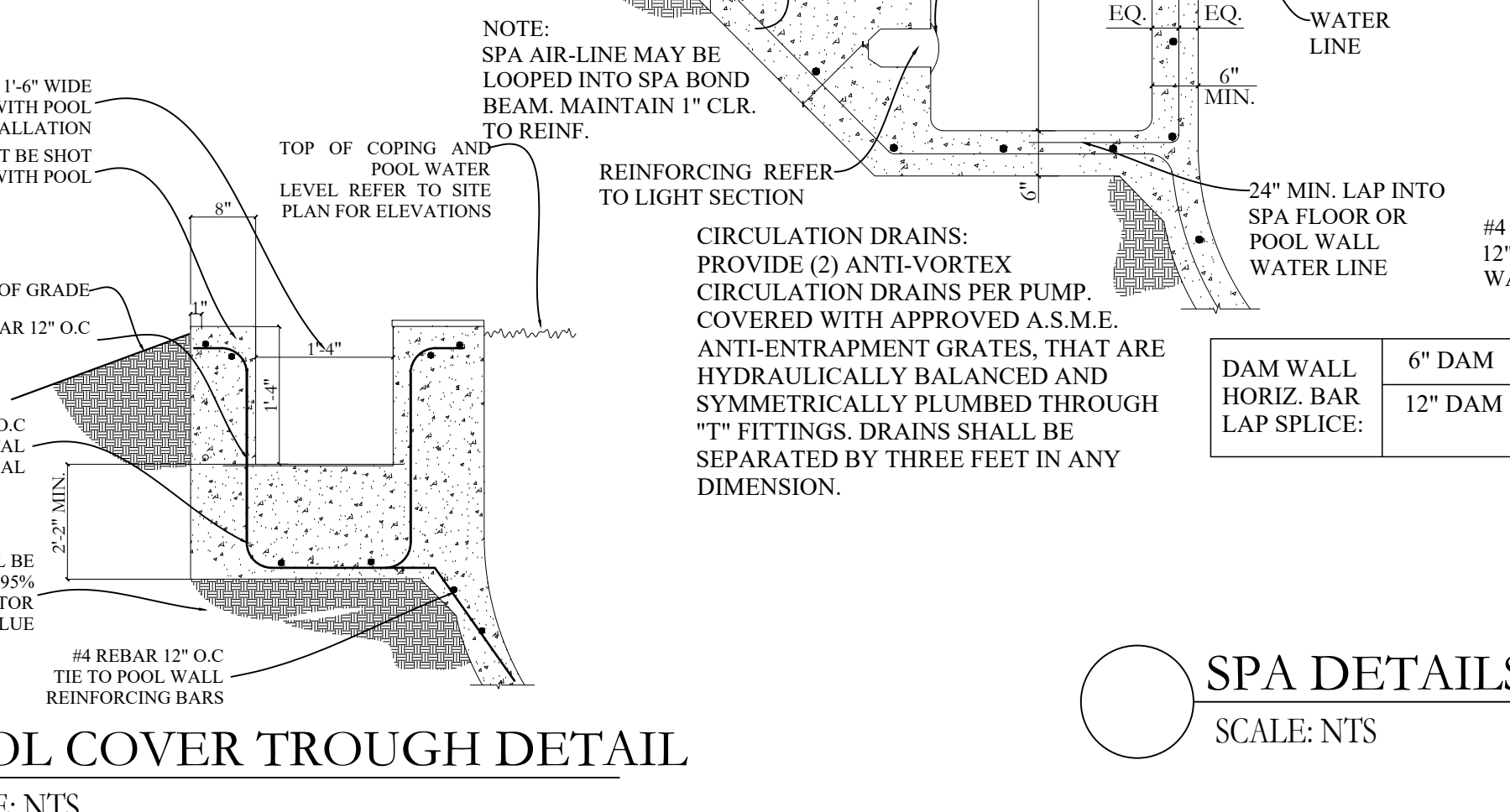
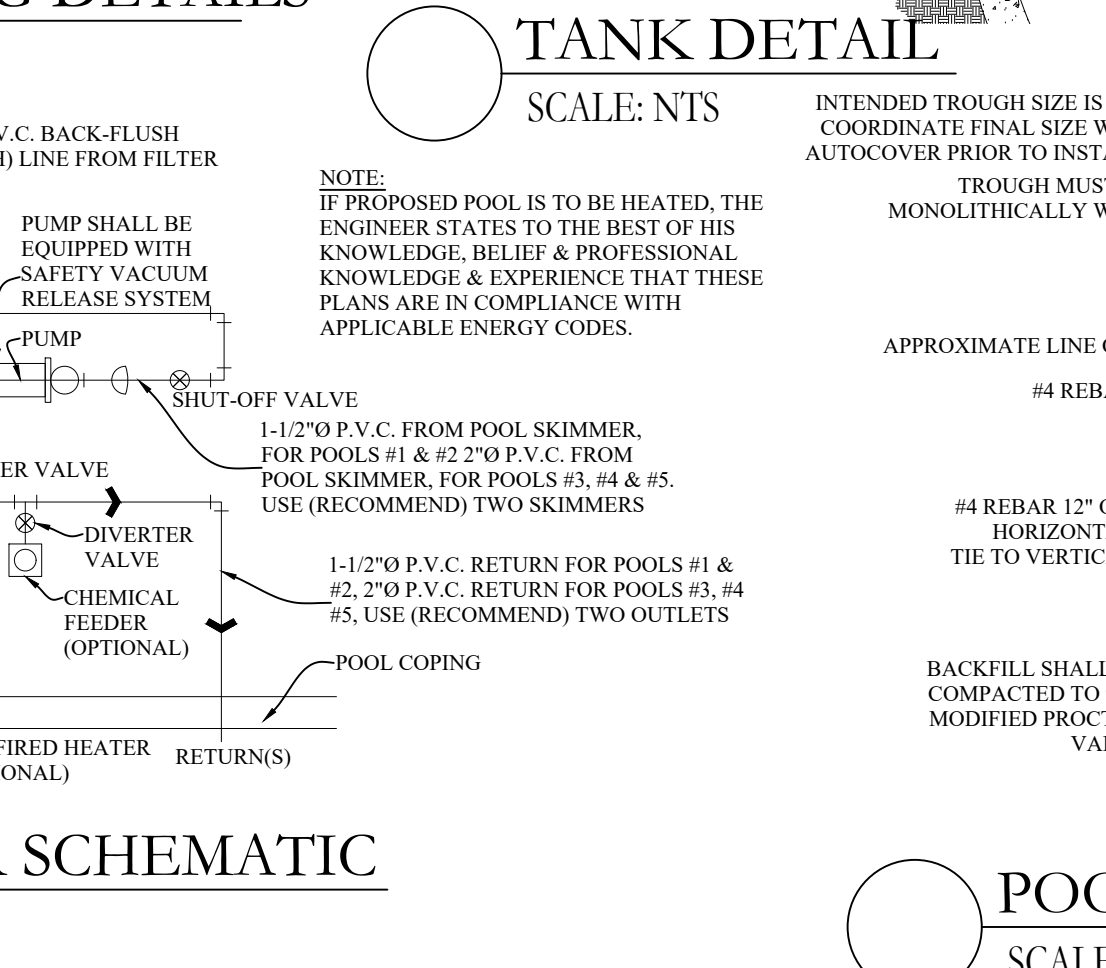
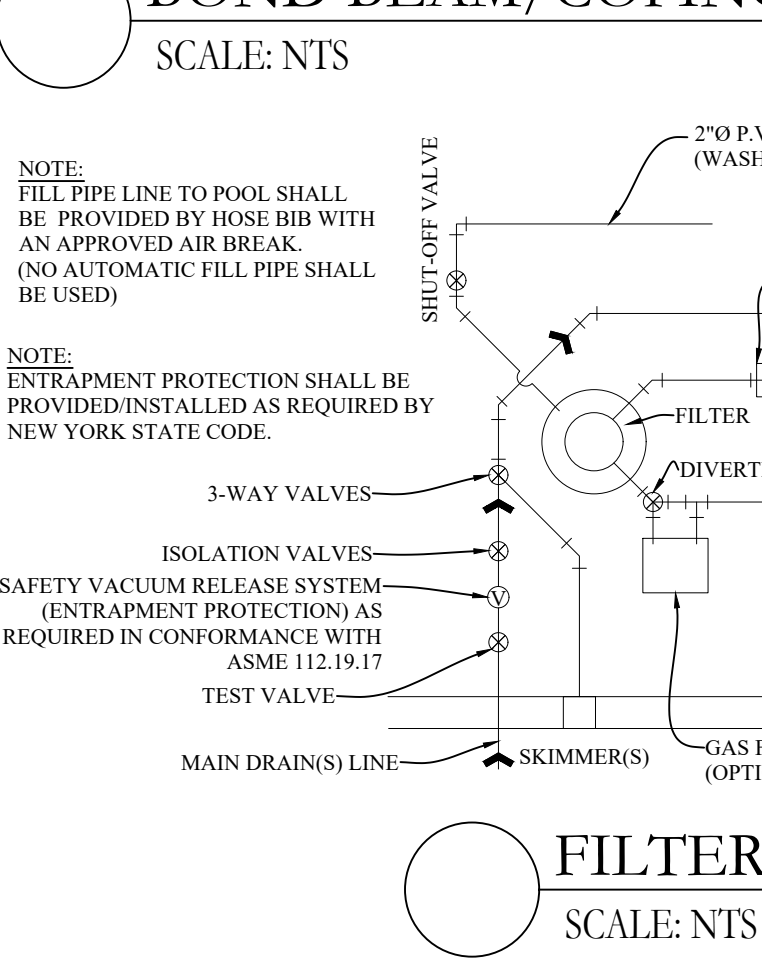
DRAWING TITLE:
**SITE IMPROVEMENTS
DETAILS SHEET 5**

S -105

OWNER:
Rosenman



E.F.P.			
D	R	C	VERTICAL STEEL
30"	1'-0"	3"	#4 @ 12"
36"	1'-0"	3"	
40"	1'-0"	4"	
46"	1'-0"	5"	
50"	1'-6"	5"	#4 @ 6"
56"	2'-0"	5"	
60"	2'-6"	6"	
66"	3'-0"	7"	
70"	3'-6"	8"	
76"	4'-0"	8 1/2"	
80"	4'-6"	9"	
86"	5'-0"	9"	



INDICATES TYPICAL RADIUS
'D' IS DISTANCE DOWN FROM TOP OF POOL WALL.

CULTEC RECHARGER® 330XLHD PRODUCT SPECIFICATIONS

GENERAL
CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC.
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER SHALL BE ARCHED IN SHAPE.
- THE CHAMBER SHALL BE OPEN-BOTTOMED.
- THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES TALL, 52 INCHES WIDE AND 8.5 FEET LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET.
- MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES HDPE.
- THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES HIGH BY 11.5 INCHES WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES TALL, 16 INCHES WIDE AND 24.2 INCHES LONG.
- THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 FT³ / FT - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT³ / UNIT - WITHOUT STONE.
- THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT - WITHOUT STONE.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
- THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
- THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES HIGH X 34.5 INCHES WIDE.
- THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES HIGH X 34.5 INCHES WIDE.
- THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
- THE HVLV FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- THE CHAMBER SHALL HAVE A 6 INCH DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
- MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET
- THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

STORM WATER CONSTRUCTION NOTES
1. THE STORM WATER RETENTION SYSTEM SHALL NOT BE CONNECTED FOR USE UNTIL CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.

EXISTING DRAINAGE SYSTEM NOTES
1. THE CURRENT SITE DOES NOT HAVE A MEANS OF STORM WATER RETENTION.
2. A NEW STORM WATER SYSTEM IS PROPOSED FOR ADDITIONAL SITE COVERAGE.

CULTEC NO. 66™ WOVEN GEOTEXTILE

GENERAL
CULTEC NO. 66™ WOVEN GEOTEXTILE IS UTILIZED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE.

GEOTEXTILE PARAMETERS

- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 315 LBS (1.40KN) PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TENSILE ELONGATION RESISTANCE OF 15% @ 6% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A MULLEN BURST RESISTANCE OF 600PSI (4138 KPA) PER ASTM D3786 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TEAR RESISTANCE OF 115 LBS (0.51 KN) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PUNCTURE RESISTANCE OF 150 LBS (0.66 KN) PER ASTM D4833 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 900 LBS (4.00 KN) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 70% @ 500 HRS. PER ASTM D4355 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.05 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 4 GPM/FT2 (160 LPM/M2) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERCENT OPEN AREA OF <1% PER CW-02215 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL CONSIST OF A 100% HIGH-TENACITY, SILT-FILM POLYPROPYLENE YARNS.

POST STORM WATER MANAGEMENT MAINTENANCE NOTES:

- SYSTEM SHOULD BE INSPECTED PRIOR TO SYSTEM OPERATION.
- STORMWATER INSPECTION PORTS ARE TO BE MONITORED ON A ROUTINE BASIS.
- ALL GUTTERS AND DOWNSPOUT SYSTEMS LEADING TO STORMWATER RETENTION AREAS SHOULD BE MAINTAINED FREE OF DEBRIS AND CLEANED ON A ROUTINE BASIS.
- OVERFLOW PORTS SHOULD BE MONITORED.
- SYSTEM RECOMMENDED TO BE CLEANED :
 - WHERE SYSTEM IS EXPERIENCING SILT AND/OR SOIL BUILD UP AS NOTED THROUGH THE INSPECTION PORT OR PRETREATMENT HOOD.
 - IF OUTLET PIPING IS NOTED TO BE CLOGGED AND WATER DISCHARGE IS NOTED FROM OVERFLOW SURCHARGE PIPING

EXTREME PRECIPITATION TABLE

STATE: NEW YORK
LONGITUDE: 73.709 WEST
LATITUDE: 41.159 NORTH
25 YEAR/24HR - 6.49 INCHES/HR
SOURCE - NORTHEAST REGIONAL CLIMATE CENTER (NRCC)
NATURAL RESOURCES CONSERVATION SERVICE (NRCS)

STORM WATER RETENTION NOTES

METHOD: TR-55
PROPOSED CURVE NUMBER (CN): 98
PROPOSED CURVE NUMBER (CN): DRIVEWAYS/ROOFS
EXISTING CURVE NUMBER (CN): 75
CURVE NUMBER (CN): RESIDENTIAL
SOIL TYPE: LpC URBAN LAND -PAXTON COMPLEX 8-15% HYDROLOGIC SOIL: GROUP B
SOIL SURVEY WESTCHESTER COUNTY: PaB -0.6-2.0 IN/HR

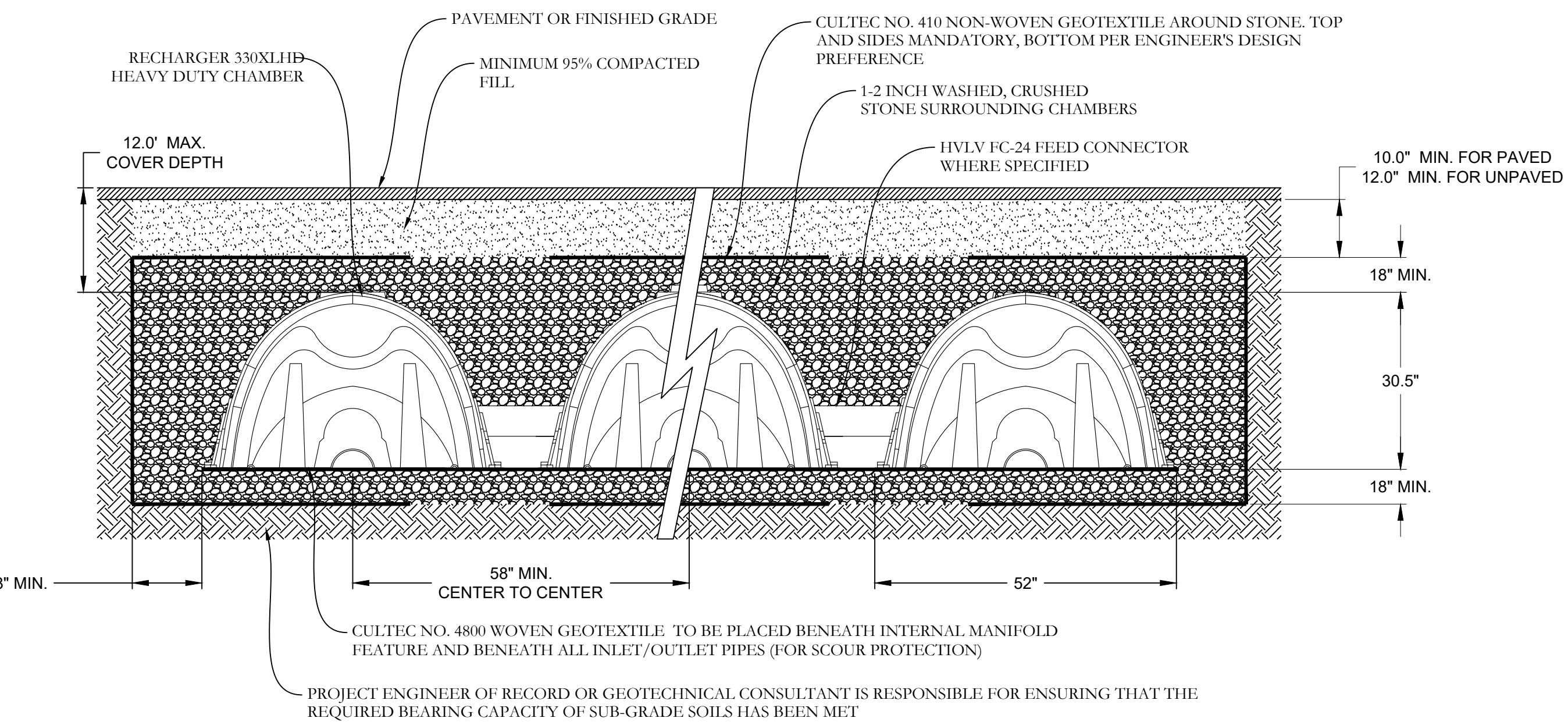
STORM WATER RETENTION CALCULATIONS

Culter 330XLHD Capacity per Unit	61.50 CF
Area of Impervious	680.0 SF
Location Longitude Latitude	73.709 W / 41.159 N
Rainfall Event	2.50 In
Rainfall Duration	3.0 Hr
Rainfall Rate	0.83 IN/HR
New Impervious: Paved/Roofs/Patio	680.0 SF
CF Direct Run Off	3.85 IN
Existing Soil Infiltration	1.64 IN
Net Infiltration	2.21 IN
Increase in Run Off	1.64 IN/CF
Loss Subsoil Absorption	0.00 CF
NO PRECALCULATION CREDIT USED	
Type	1st General National
CF Capacity/Unit	61.50
Required # of Units	14.3
Culter 330XLHD Capacity per Unit	61.50 CF
Unit # of Required Units	15
Total Required Capacity for #	922.50 CF
Infiltration Mitigation Credits	440.00
Total Required Capacity for 25 Year	482.50 CF
Sum	1278.00 CF
Proposed # of Units	15
Proposed Capacity	922.50 CF
Total Capacity	1004.00 CF

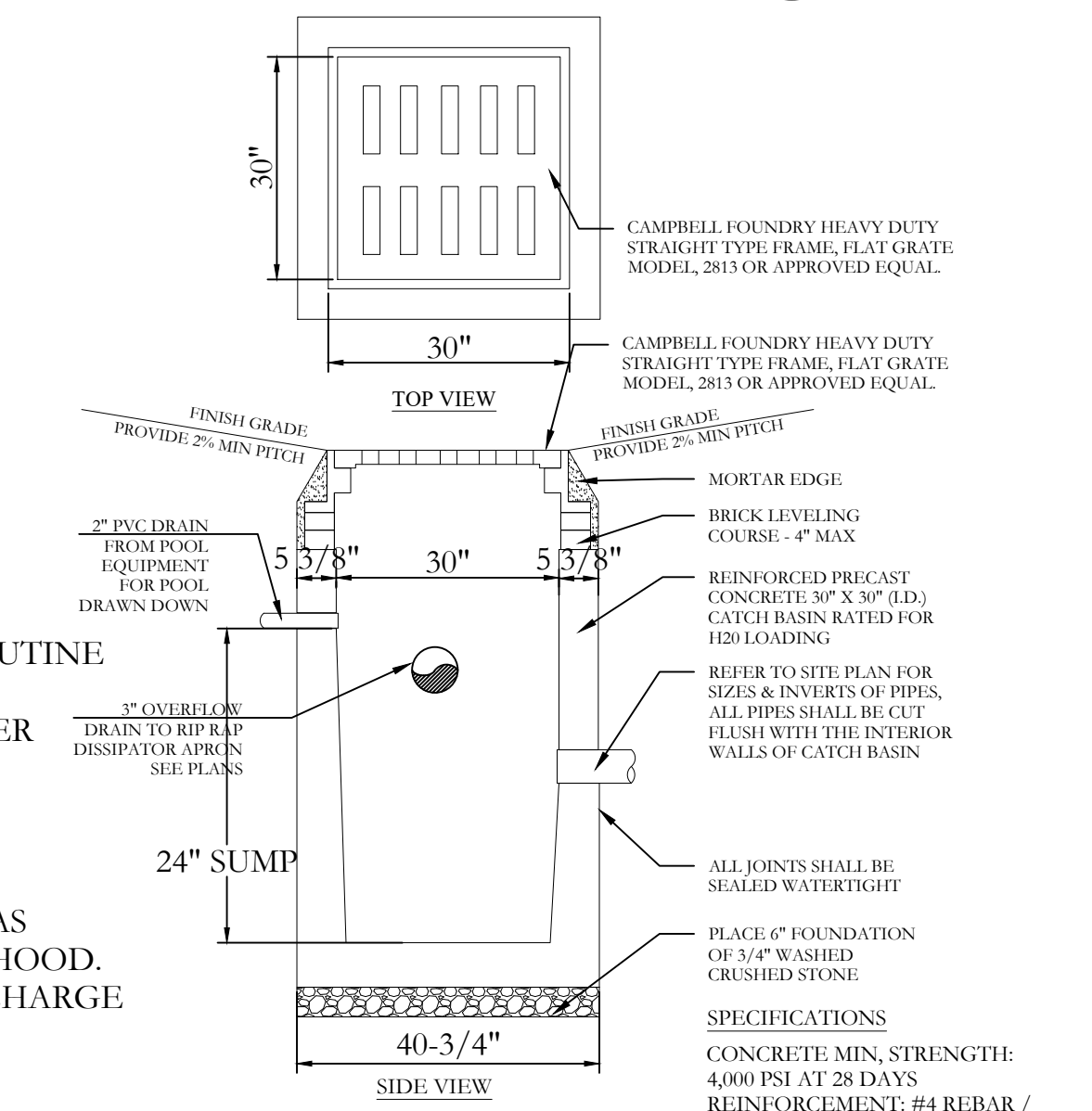
STORM WATER RETENTION MATERIAL

AREA [SF]	CHAMBERS [QTY]	CHAMBER VOLUME	STONE VOLUME	STONE VOID
(DW-1)	6,468	15	1376.8 cubic feet	56.4 cubic feet 40%

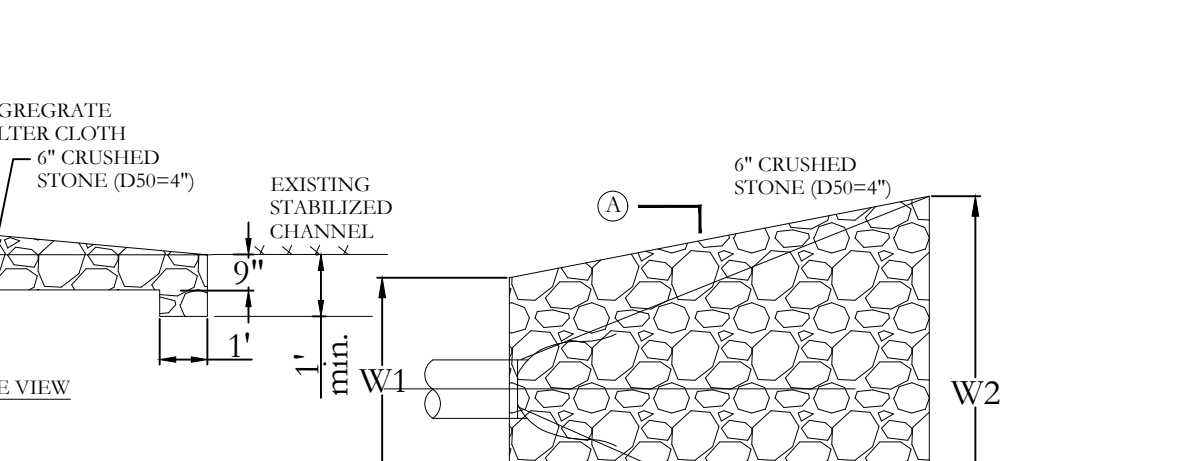
*12" STONE ABOVE CROWN, 18" STONE FOUNDATION DEPTH, 12" SIDE COVER



DRYWELL DETAILS
SCALE: NTS

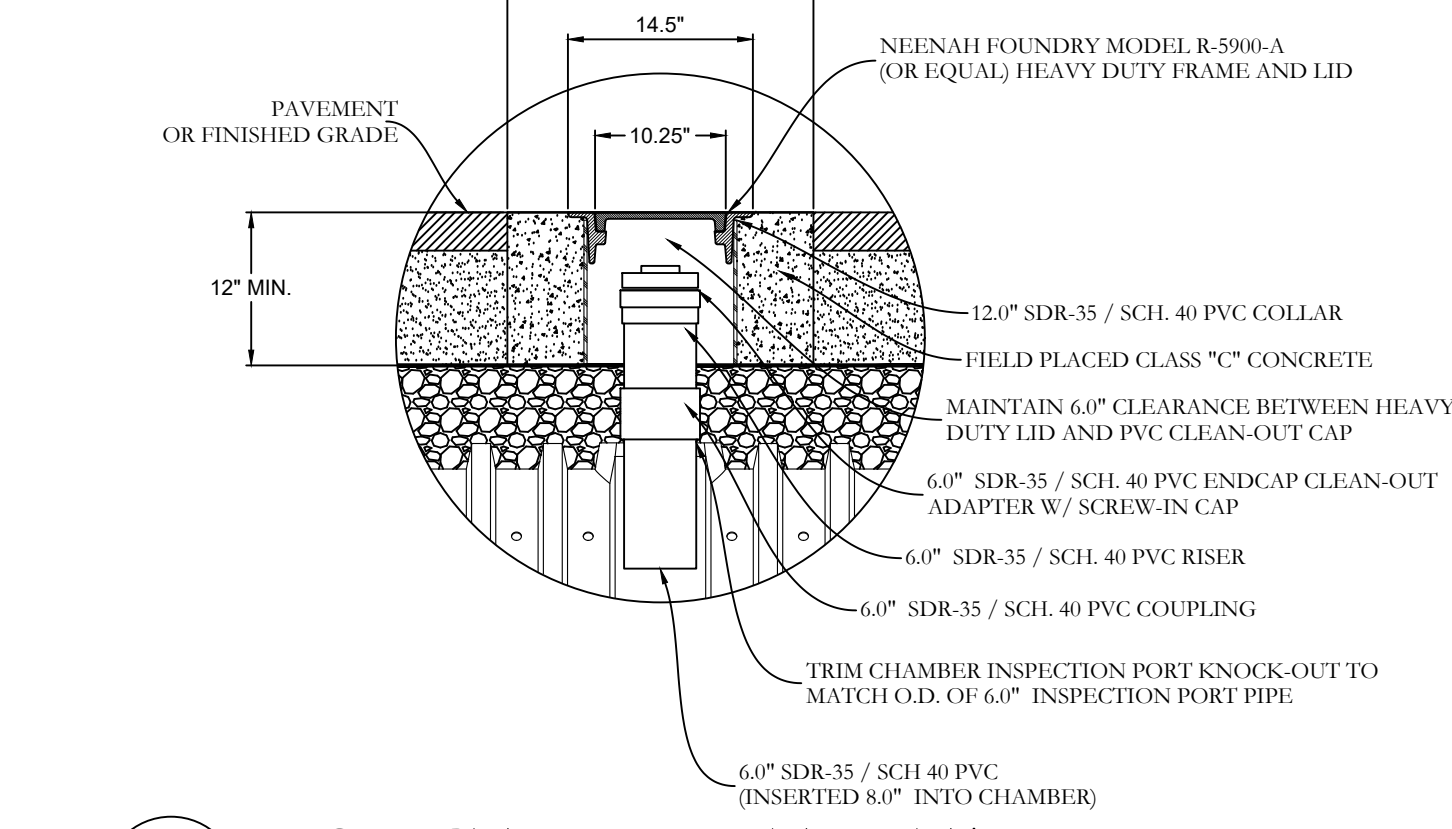


DRYWELL PRETREATMENT DETAIL
SCALE: NTS

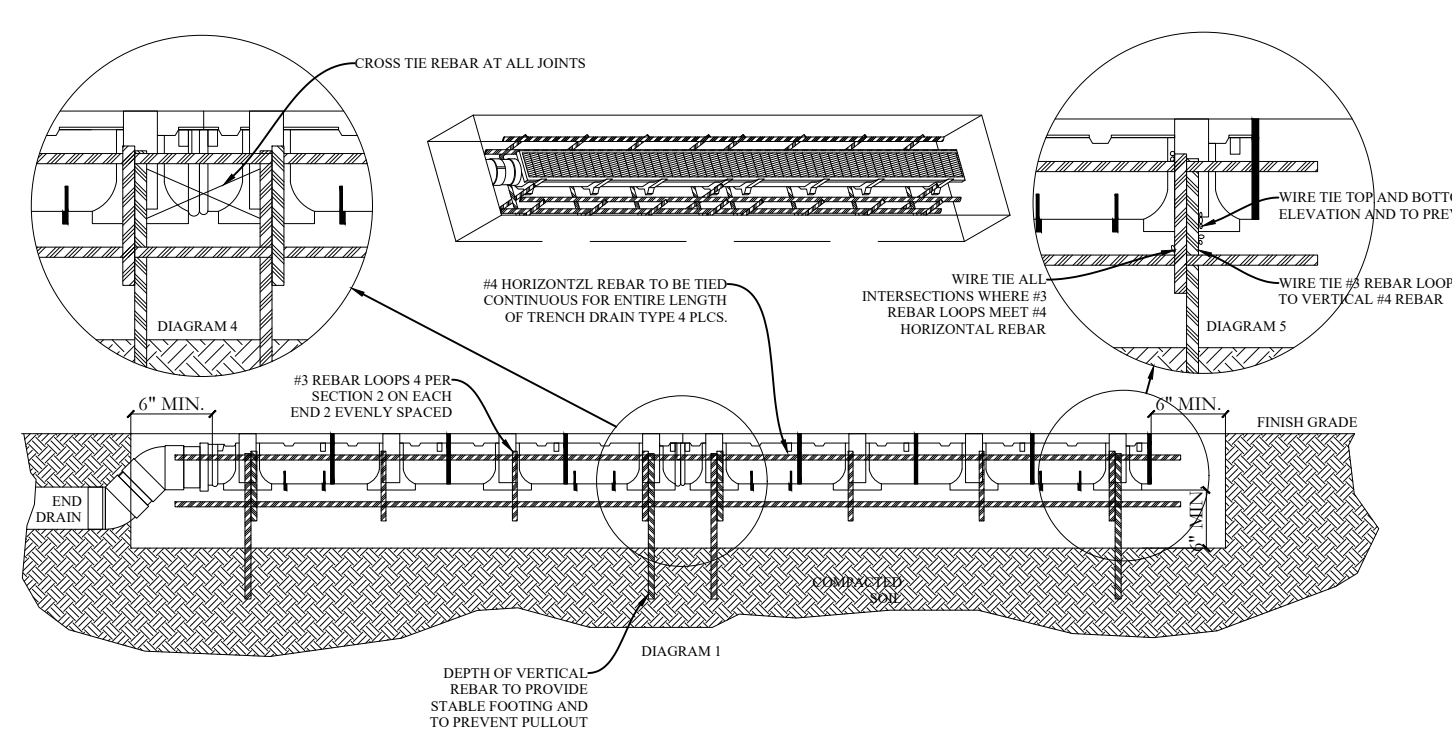


RIP RAP DISSIPATOR APRON
SCALE: NTS

INSPECTION PORT DETAIL
SCALE: NTS



TRENCH DRAIN NOTES:
1. TRENCH DRAIN SYSTEM SHALL BE POLYLOK HEAVY DUTY TRENCH DRAIN PL-90860 OR APPROVED EQUAL.
2. TRENCH DRAIN SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR H-20 LOADING.
3. TRENCH DRAIN SYSTEM SHALL BE SET IN 6" CONCRETE SURROUNDING BASE.
4. CONCRETE TO BE MINIMUM 5,000 AIR ENTRAINED CONCRETE MIX.
5. TRENCH DRAIN SHALL HAVE MINIMUM QTY (4) #4 VERTICAL REBARS INSTALLED PER EACH TRENCH DRAIN SECTION. REBAR SHALL BE CROSS TIED AS PER DETAILS.
6. PROVIDE MINIMUM OF 8" COMPACTED BASE OF 3/4" WASHED GRAVEL BELOW TRENCH DRAIN INSTALLATION



TRENCH DRAIN DETAIL
SCALE: NTS

TRENCH DRAIN NOTES:
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www.ResReal.com
(914)-330-7712
2875 Route 35
Katonah, NY 10536

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 49 SARLES STREET
PROJECT TOWN: ARMONK
BUILDING DEPARTMENT: NORTH CASTLE
PROPERTY IDENTIFICATION: 94.03-1-7
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R-2A

SIGNATURE BLOCK:
TOWN OF NORTH CASTLE PLANNING BOARD ENDORSEMENT OF APPROVAL RESOLUTION:
NAME: _____
DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
1	11/16/2021	JMS	JMS	JMS
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3	05/04/2022	JMS	JMS	JMS
4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



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JMS ENGINEERING SERVICES, PC

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PROJECT:
49 Sarles Street
Armonk, NY 10504

DRAWING TITLE:
SITE IMPROVEMENTS
DETAILS SHEET 6

S -106
OWNER:
Rosenman

GROSS LAND COVERAGES:
 PRINCIPAL BUILDING (EXISTING) - 5,723 SF
 ASPHALT DRIVEWAY (EXISTING) - 8,106 SF
 TERRACES (EXISTING) - 1,705 SF
 EQUIPMENT (EXISTING) - 40 SF
 OTHER STRUCTURES: APRON, GATE, CURBS RETAINING WALL (EXISTING) - 660 SF
 TERRACES (PROPOSED) - 3,731 SF
 POOL & SPA (PROPOSED) - 1,032 SF
 RETAINING WALLS (PROPOSED) - 1986 SF
 TOTAL COVERAGE: - 22, 983 SF



www.ResReal.com
 (914)-330-7712
 2875 Route 35
 Katonah, NY 10536

PROPERTY INFORMATION:
 PREPARED BY: JMS ENGINEERING SERVICES, PC
 PROJECT LOCATION: 49 SARLES STREET
 PROJECT TOWN: ARMONK
 BUILDING DEPARTMENT: NORTH CASTLE
 PROPERTY IDENTIFICATION: 94.03-1-7
 OCCUPANCY: SINGLE FAMILY DWELLING
 ZONING CODE: R-2A

SIGNATURE BLOCK:
 TOWN OF NORTH CASTLE PLANNING BOARD ENDORSEMENT OF APPROVAL RESOLUTION:
 NAME: _____
 DATE: _____

ISSUE	DATE	BY	CHECKED	APPROVED
0	08/18/2021	JMS	JMS	JMS
1	11/16/2021	JMS	JMS	JMS
2	04/27/2022	JMS	JMS	JMS
3	05/04/2022	JMS	JMS	JMS
4	07/13/2022	JMS	JMS	JMS

SEAL & SIGNATURE:



JOHN M. SCAVELLI PE LICENSE # 095178
 JMS ENGINEERING SERVICES, PC

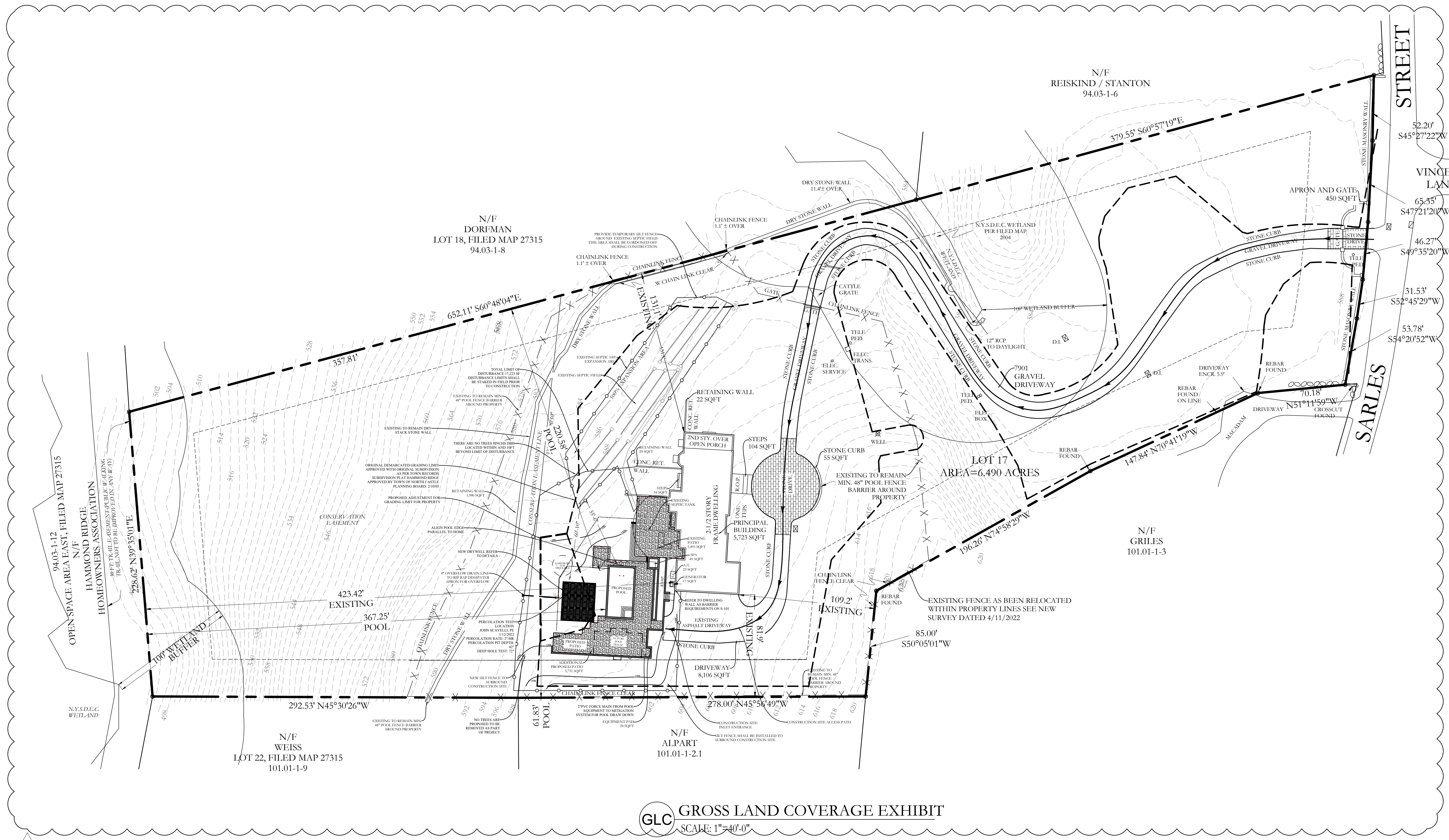
IT IS A VIOLATION OF STATE LAW FOR ANY PERSON UNLESS DIRECTED BY A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM IN ANY WAY.

PROJECT:
 49 Sarles Street
 Armonk, NY 10504

DRAWING TITLE:
 GROSS LAND COVERAGE

GLC-101

OWNER: Rosenman



GLC GROSS LAND COVERAGE EXHIBIT
 SCALE: 1"=40'-0"

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