

SITE PLAN SCALE 1"=10'-0"

PARKING REQUIREMENTS

CURRENT USE	SQ. FT	SPACES
PIZZA SHOP	1134 SQ. FT	5.67
BAR/CLUB SHOP	810 SQ. FT	4.05
WINE STORE	1611 SQ. FT	8.06
APTMENT (2 BRDM)	1160 SQ. FT	2.2
OFFICE SPACE (VACANT)	3839 SQ. FT	16.56
		35.54 = 36

PROPOSED USE

PROPOSED USE	SQ. FT	SPACES
PIZZA SHOP	1134 SQ. FT	5.67
BAR/CLUB SHOP	810 SQ. FT	4.05
WINE STORE	1611 SQ. FT	8.06
APTS		
2 APTS / 2 @ = 8 x 2%		8.8
		26.58 = 27

PREVIOUS VARIANCE GRANTED FOR 1 SPACE / 150 SQ. FT = 34 SPACES - 12 = 22 SPACES

PROPOSED USE REQUIRES 27 SPACES

SAME PARKING ARRANGEMENT AS PREVIOUSLY APPROVED

PROPOSED PARKING 22 SPACES ON MAY 1, 2003 ZBA GRANTED A 11 SPACE OFF-STREET PARKING VARIANCE

THE ARCHITECT CERTIFIES THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE SECTIONS WE 105 OF THE NY STATE ENERGY CONSERVATION CODE.

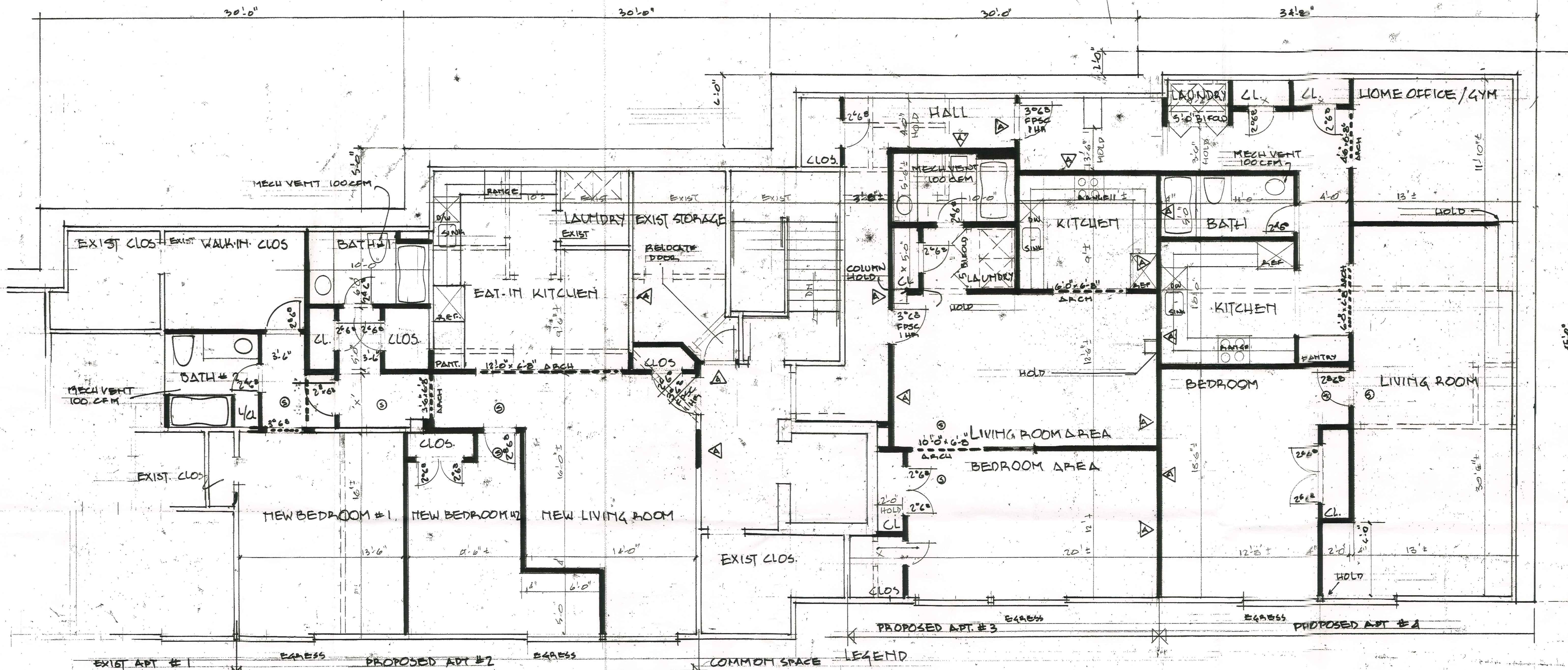
FURTHER, THAT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE, ITS RULES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES, RULES AND REGULATIONS.

IT IS A VIOLATION OF ARTICLE VII OF THE STATE EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY UNLESS SAID PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER. IF ANY ITEM IS ALTERED THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO THE ITEM ALTERED HIS/HER SEAL AND SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

GENERAL NOTES

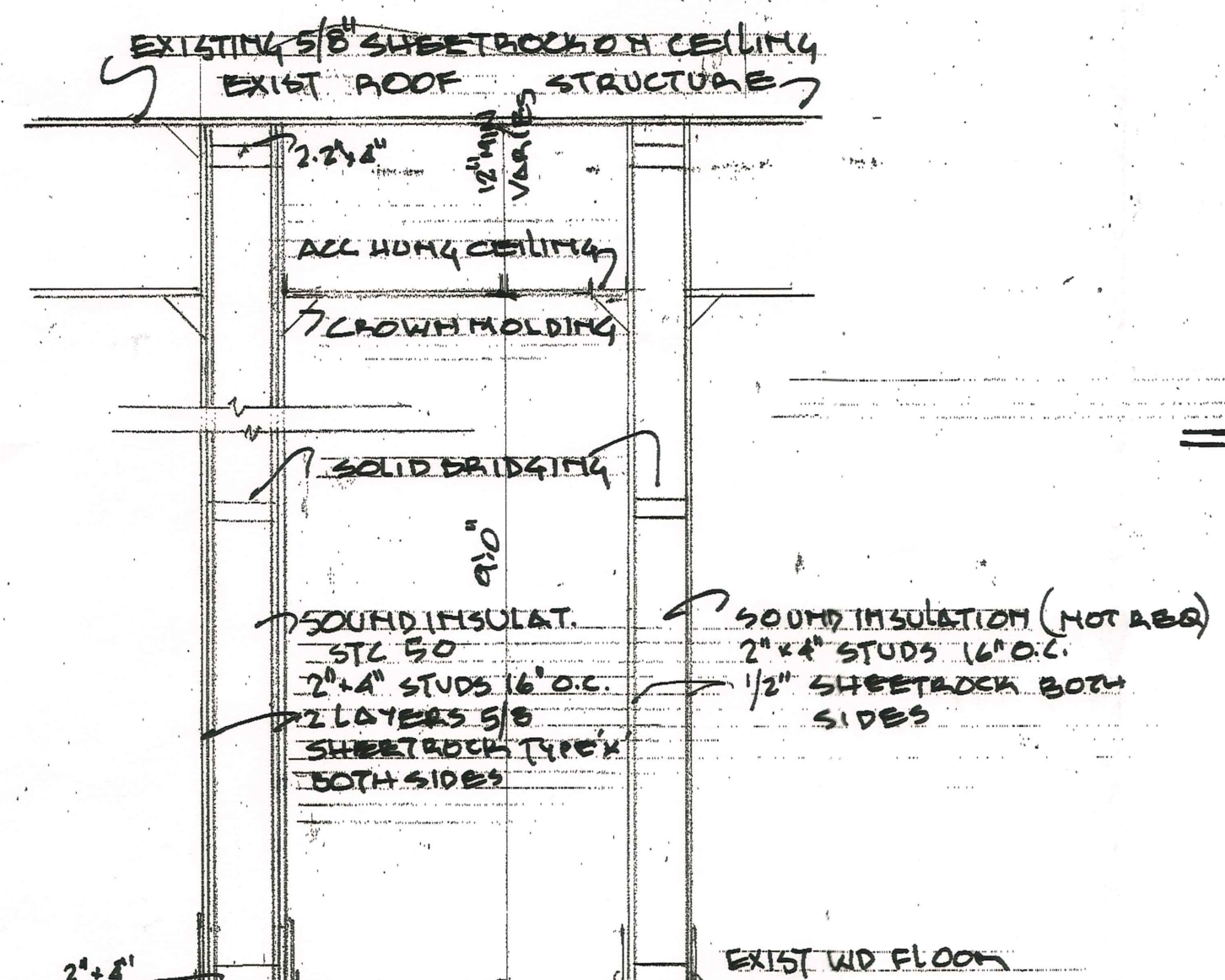
- SCOPE OF WORK:** THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE ALL WORK AS SHOWN ON THE DRAWINGS. ALL WORKMANSHIP AND MATERIAL SHALL BE OF GOOD QUALITY AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND TOLERANCES. CONTRACTOR SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING, BY REGISTERED MAIL, PRIOR TO THE START OF ANY WORK. DEVIATIONS, ALTERATIONS OR SUBSTITUTIONS TO THE CONTRACT DOCUMENTS ARE NOT PERMITTED UNLESS APPROVED BY THE ARCHITECT IN WRITING BEFORE THE START OF ANY WORK. THE ARCHITECT HAS NOT BEEN RETAINED FOR JOB SUPERVISION OR INSPECTIONS AND IS NOT RESPONSIBLE FOR SAME. IT IS A VIOLATION OF ARTICLE VII OF THE STATE EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THESE DOCUMENTS IN ANY WAY UNLESS SAID PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER. IF ANY ITEM BEARING THE SEAL OF AN ARCHITECT OR PROFESSIONAL ENGINEER IS ALTERED THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
- CODES:** ALL WORK AND MATERIAL SHALL CONFORM TO THE NEW YORK STATE BUILDING CODE AND ALL ITS RULES AND REGULATIONS, THE NY STATE ENERGY CONSERVATION CODE WE 105, ALL LOCAL RULES AND REGULATIONS, NATIONAL BOARD OF FIRE UNDERWRITERS, THE NATIONAL ELECTRICAL CODE, BOARD OF HEALTH, ETC.
- MATERIAL AND EQUIPMENT:** ALL MATERIAL AND EQUIPMENT SHALL BE UL APPROVED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS AND GOOD PRACTICE.
- PERMITS AND APPROVALS:** THE CONTRACTOR IS RESPONSIBLE FOR AND SHALL OBTAIN ALL APPROVALS AND PERMITS NECESSARY PRIOR TO THE START OF ANY WORK. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL FEES FOR PERMITS, APPROVALS, INSPECTIONS, C O P O, ETC SERVICES.
- UTILITIES:** THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY AND PERMANENT UTILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. INCLUDED SHALL BE ELECTRICAL POWER, SEWER (SDS) WATER (WELL) TELEPHONE, CABLE TV, ETC.
- INSURANCE:** THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE FULLY INSURED INCLUDING WORKMENS COMPENSATION AND DISABILITY INSURANCE.
- WOOD:** FRAMING OF THE ENTIRE HOUSE SHALL BE PLUMB, LEVEL, TRUE AND SECURELY NAILED IN ACCORDANCE WITH COMMON PRACTICE AND ALL APPLICABLE CODES AND STANDARDS. JOISTS, STUDS, CEILING JOISTS AND RAFTERS SHALL BE DOUBLED AROUND ALL OPENINGS AND UNDER PARALLEL PARTITIONS. ALL FLUSH JOIST HEADERS SHALL BE CONNECTED WITH APPROVED TYPE JOIST HANGERS. ALL RAFTERS, PLATES, JOISTS, ETC SHALL BE CONNECTED WITH APPROVED METAL CONNECTORS. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. FRAMING LUMBER SHALL BE STRESS GRADED, KILN DRIED, DOUGLAS FIR OR HEM-FIR 1100F OR BETTER AND AS INDICATED ON THE DRAWINGS. WHERE ENGINEERED WOOD SUCH AS L-JOISTS OR LAMINATED BEAMS ARE INDICATED THEY SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS STANDARDS, DETAILS AND SPECIFICATIONS. EXTERIOR WALLS SHALL BE 2"x6" STUDS 16" O.C. INTERIOR WALLS AS INDICATED ON THE DRAWINGS. PROVIDE FIRESTOPPING IN ALL WALLS. SUBFLOORS ARE TO BE 3/4" T&G PLYWOOD GLUED AND SCREWED TO FLOOR JOISTS. ROOF SHEATHING TO BE 5/8" CDX PLYWOOD AND WALL SHEATHING TO BE 1/2" CDX PLYWOOD. SHEETS SHALL BE LAID WITH JOINTS STAGGERED.
- SHEETROCK:** CONTRACTOR SHALL PROVIDE 5/8" SHEETROCK TYPE "X" ON THE CEILING AND BOTH SIDES OF THE COMMON WALLS OF THE GARAGE AREA, AND ON THE CEILING WITHIN 4'-0" OF THE BOILER. ALL OTHER WALLS AND CEILINGS IN LIVABLE AREAS TO RECEIVE 1/2" SHEETROCK. ALL SHEETROCK IN DAMP OR WET AREAS TO BE WATER RESISTANT SHEETROCK. ALL TILED WALL AREAS TO RECEIVE "DUROCK" AS BACKING. ALL SHEETROCK TO BE SCREWED IN PLACE. NO NAILING EXCEPT AT EDGES IS PERMITTED. ALL JOINTS ARE TO BE FINISHED USING TAPE AND THREE COATS OF JOINT COMPOUND. ALL INTERIOR AND EXTERIOR CORNERS TO RECEIVE METAL OR PLASTIC CASING BEADS. ALL WORK IS TO BE TOUCHED UP, LEVELED AND SANDED SMOOTH PRIOR TO AND AFTER WALLS HAVE BEEN PRIMED.
- PLUMBING:** THE PLUMBING CONTRACTOR SHALL PROVIDE THE PLUMBING DIAGRAM TO THE LOCAL BUILDING DEPARTMENT AND PERFORM ALL NECESSARY PRESSURE TESTS AND SCHEDULE INSPECTIONS WITH THE BLDG'S OFFICIAL AFTER ROUGHING IS COMPLETE. SOIL, VENT AND WASTE LINES SHALL BE PVC SCHEDULE 40. HOT AND COLD WATER PIPING SHALL BE TYPE "L" COPPER TUBING. ALL WATER PIPING SHALL BE INSULATED.
- HVAC:** THE HVAC CONTRACTOR SHALL PROVIDE A HEATING AND COOLING SYSTEM CAPABLE OF HEATING THE HOUSE TO 72 DEGREES FAHRENHEIT WHEN THE OUTSIDE TEMPERATURE IS 0 DEGREES FAHRENHEIT WITH A 15 MPH WIND. THE AC SYSTEM SHALL BE CAPABLE TO COOL THE HOUSE TO 68 DEGREES WHEN THE OUTSIDE TEMPERATURE IS 95 DEGREES. THE SYSTEM SHALL BE EQUIPPED WITH AN ELECTROSTATIC AIR FILTER AND HUMIDIFIER.
- ELECTRICAL:** THE ELECTRICAL CONTRACTOR SHALL INSTALL AN ELECTRICAL DISTRIBUTION SYSTEM IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE AND SCHEDULE ALL INSPECTIONS AND OBTAIN SIGN-OFFS FROM THE BOARD OF FIRE UNDERWRITERS. ALL CIRCUIT WIRING SHALL BE A MINIMUM OF #14 ROMEX CABLES.

PROJECT:
731 N. BROADWAY
NORTH WHITE
PLAINS, N.Y.
TITLE:
SITE PLAN
NOTES
SCALE: AS SHOWN
DATE: 10-6-2022
REV. DATE: 10-30-2022
(PARKING NEED)
APP'D BY:
SHEET 1 OF 2



PART SECOND FLOOR PLAN SCALE 1/4"=1'-0"

- LEGEND**
- ▲ INSULATE COMMON WALL WITH SOUND INSULATION STC OF 50
2 LAYERS OF 5/8" TYPE 'X' SHEETROCK ON BOTH SIDES AND TO
UNDERSIDE OF ROOF DECK
 - ⊙ SMOKE/HEAT/CARBON MONOXIDE DETECTORS DIRECT CONNECTION
& INTERCONNECTED
ENTIRE BUILDING IS SPRINKLERED WITH INTERIOR FIREALARM &
SMOKE DETECTION SYSTEM.
 - EXISTING
 - - - - - TO BE DEMOLISHED
 - NEW - 2"x4" STUDS 16" O.C. WITH 1/2" SHEETROCK
9'-0" CEILING HEIGHTS EXISTING



WALL TYPE ▲ **PARTITION DETAIL**
 2 HR RATING BETWEEN APTS & AROUND HALL
 BETWEEN ROOMS
 SCALE 1"=1'-0"

PROJECT:	731 N. BROADWAY NORTH WHITE PLAINS, N.Y.
TITLE:	SECOND FLOOR PLAN, WALL DET.
SCALE:	AS SHOWN
DATE:	10.6.2022
REV. DATE:	
APP'D BY:	
SHEET	2 OF 2



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

731 N Broadway



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

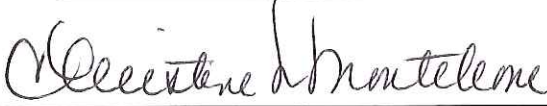
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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each ^{\$1,000!} required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.


Applicant Signature

10/25/2022
Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Bedrock Plaza Corp.
Mailing Address: 592 Route 22 Pawling NY 12564
Telephone: 845 855 4700 Fax: 845 855 7048 e-mail sandsmill@aol.com

Name of Applicant (if different): _____
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
Ralph Alfonzetti - Alfonzetti Engineering
Address: 14 Smith Avenue Mt. Kisco NY 10549
Telephone: 914 666 9800 Fax: _____ e-mail Info@AlfonzettiEng.com

Name of Other Professional: _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: Cecile Menteleone Date: 10/25/2022

Signature of Property Owner: Cecile Menteleone Date: 10/25/2022

MUST HAVE BOTH SIGNATURES

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Convert 2 office suites into 3 apartments

Gross Floor Area: Existing 4000 S.F. Proposed 4000 S.F.

Proposed Floor Area Breakdown:

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential 4000 S.F.;

Number of Dwelling Units: 3

Number of Parking Spaces: Existing 22 Required 20 Proposed 22

Number of Loading Spaces: Existing N/A Required N/A Proposed N/A

Earthwork Balance: Cut N/A C.Y. Fill N/A C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- NA Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- NA Existing zoning, fire, school, special district and municipal boundaries.
- NA Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- NA Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- NA Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- NA Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- NA North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- NA A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- NA Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- NA Location of existing parking and truck loading areas, with access and egress drives thereto.
- NA Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- NA Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- NA Location, size and design of existing signs.
- NA Location, type, direction, power and time of use of existing outdoor lighting.
- NA Location of existing outdoor storage, if any.
- NA Existing topographical contours with a vertical interval of two (2) feet or less.
- NA Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- NA Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- NA Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- NA Proposed sight distance at all points of vehicular access.
- NA Proposed number of employees for which buildings are designed
- NA Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- NA Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- NA Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- NA Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- NA Location, size and design of all proposed signs.
- NA Location, type, direction, power and time of use of proposed outdoor lighting.
- NA Location and design of proposed outdoor garbage enclosure.
- NA Location of proposed outdoor storage, if any.
- NA Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- NA Type of power to be used for any manufacturing
- NA Type of wastes or by-products to be produced and disposal method
- NA In multi-family districts, floor plans, elevations and cross sections
- NA The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- NA Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- NA Proposed soil erosion and sedimentation control measures.
- NA For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- NA For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- NA For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <p style="text-align: center; font-size: 1.2em;">Bedrock Plaza Corp.</p>			
Project Location (describe, and attach a location map): <p style="text-align: center; font-size: 1.2em;">731 N. Broadway</p>			
Brief Description of Proposed Action: <p style="text-align: center; font-size: 1.2em;">Convert 2 office suites into 3 apartments.</p>			
Name of Applicant or Sponsor: <p style="text-align: center; font-size: 1.2em;">Bedrock Plaza Corp.</p>		Telephone: 845 855 4700	
		E-Mail: sandsmill@aol.com	
Address: <p style="text-align: center; font-size: 1.2em;">592 Route 22</p>			
City/PO: <p style="text-align: center; font-size: 1.2em;">Pawling</p>		State: <p style="text-align: center; font-size: 1.2em;">NY</p>	Zip Code: <p style="text-align: center; font-size: 1.2em;">12564</p>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <p style="text-align: center; font-size: 1.2em;">Town of North Castle - Building Permit</p>			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>0.42</u> acres	
b. Total acreage to be physically disturbed?		<u>0</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>1.42</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Bedrock Plaza Corp.</u> Date: <u>10/25/2022</u> Signature: <u><i>Cecilia Monteleone</i></u></p>		



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY

17 Bedford Road

Armonk, New York 10504-1898

PLANNING BOARD
Peg Michelman, Chair

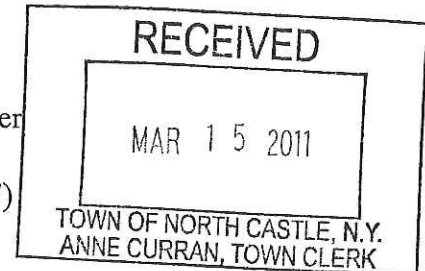
Telephone: (914) 273-3542

Fax: (914) 273-3554

www.northcastleny.com

RESOLUTION

Action:	Site Plan Approval Requirements Waiver
Application Name:	Bedrock Plaza
Designation:	Section 7, Block 2, Lot 14 (122.16-3-37)
Zone:	CB
Location:	731 North Broadway
Date of Approval:	March 14, 2011



WHEREAS, the Applicant is proposing a change of use from office space to residential apartment; and

WHEREAS, pursuant to Section 213-34 of the Town Code no building permit shall be issued, and no structure or use shall be established or changed, other than for one single-family dwelling or a special permit use approved in accordance with the procedures specified in Article VII of the Town Code except in conformity with a site development plan approved and endorsed by the Planning Board with its date of approval, and no certificate of occupancy for such structure or use shall be issued until all the requirements of such site plan and any conditions attached thereto have been met; and

WHEREAS, pursuant to Section 213-34 of the Town Code, where the Building Inspector finds that a change of use or occupancy will not require an increase in the number of off-street parking or loading spaces, as required by Article IX, beyond that required for the previous use, or in the number of spaces actually approved for construction to serve the previous use, site plan approval requirements may be waived by said Board; and

WHEREAS, the proposed change of use would not require additional off-street parking or loading spaces; and

WHEREAS, the Building Inspector has recommended to the Planning Board that a site plan waiver be issued; and

WHEREAS, the proposed change of use is a Type II Action under the State Environmental Quality Review Act (SEQRA); and

WHEREAS, the Planning Board is familiar with the nature of the site and surrounding area; and

Site Plan Approval Requirements Waiver

731 North Broadway

March 14, 2011

2 of 2

WHEREAS, the Planning Board has requested, received and considered comments from the Town Attorney, the Consulting Town Engineer and Consulting Town Planner regarding the proposed change of use; and

NOW, THEREFORE, BE IT RESOLVED, that in accordance with Section 213-34 of the Town Code, the Planning Board hereby waives the site plan approval requirements for the proposed change of use; and

BE IT FURTHER RESOLVED, that this site plan approval waiver shall be deemed to authorize only the particular change of use or uses specified in the permit; and

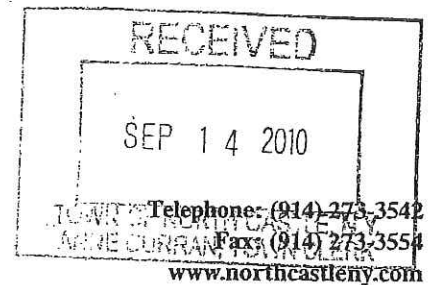
BE IT FURTHER RESOLVED, that this resolution shall not, except as described herein, supercede any previous site plan approval issued by the Planning Board.

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TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898



PLANNING BOARD
Peg Michelman, Chair

RESOLUTION

Action: Site Plan Approval Requirements Waiver
Application Name: Bedrock Plaza
Designation: Section 7, Block 2, Lot 4 (122.16-3-37)
Zone: CB
Location: 731 North Broadway
Date of Approval: September 13, 2010

WHEREAS, the Applicant is proposing a change of use from retail space to carry-out restaurant; and

WHEREAS, pursuant to Section 213-34 of the Town Code no building permit shall be issued, and no structure or use shall be established or changed, other than for one single-family dwelling or a special permit use approved in accordance with the procedures specified in Article VII of the Town Code except in conformity with a site development plan approved and endorsed by the Planning Board with its date of approval, and no certificate of occupancy for such structure or use shall be issued until all the requirements of such site plan and any conditions attached thereto have been met; and

WHEREAS, pursuant to Section 213-34 of the Town Code, where the Building Inspector finds that a change of use or occupancy will not require an increase in the number of off-street parking or loading spaces, as required by Article IX, beyond that required for the previous use, or in the number of spaces actually approved for construction to serve the previous use, site plan approval requirements may be waived by said Board; and

WHEREAS, the proposed change of use would not require additional off-street parking or loading spaces; and

WHEREAS, the Building Inspector has recommended to the Planning Board that a site plan waiver be issued; and

WHEREAS, the proposed change of use is a Type II Action under the State Environmental Quality Review Act (SEQRA); and

WHEREAS, the Planning Board is familiar with the nature of the site and surrounding area; and

WHEREAS, the Planning Board has requested, received and considered comments from the Town Attorney, the Consulting Town Engineer and Consulting Town Planner regarding the proposed change of use; and

Site Plan Approval Requirements Waiver

731 North Broadway

September 13, 2010

2 of 2

NOW, THEREFORE, BE IT RESOLVED, that in accordance with Section 213-34 of the Town Code, the Planning Board hereby waives the site plan approval requirements for the proposed change of use; and

BE IT FURTHER RESOLVED, that this site plan approval waiver shall be deemed to authorize only the particular change of use or uses specified in the permit; and

BE IT FURTHER RESOLVED, that this resolution shall not, except as described herein, supercede any previous site plan approval issued by the Planning Board.

F:\PLAN6.0\RESOLUTIONS\RESO 2010\BEDROCK PLAZA.SITE PLAN WAIVER.DOC

ZONING CALCULATIONS

SECTION 7 BLOCK 2 LOT 14
 ZONING DISTRICT: C-B
 PERMITTED USE: BUSINESS GROUP 'B'
 (OFFICES, SERVICE TYPE TRANSACTIONS)

	REQUIRED	PROPOSED
LOT AREA	5000 SQ FT	18000 SQ FT
FRONTAGE	90'	150'
DEPTH	100'	116'±
YARDS		
FRONT	10'	48'±
SIDE	0	0
REAR	30'	30'±
MAX BLDG COV %	35%	27%
MAX BLDG HEIGHT	2 STORIES	2 STORIES
	30'	29'
FLOOR AREA RATIO	1.4	1.7
OFF-STREET PARKING		21
OF STREET LOADING	1	1

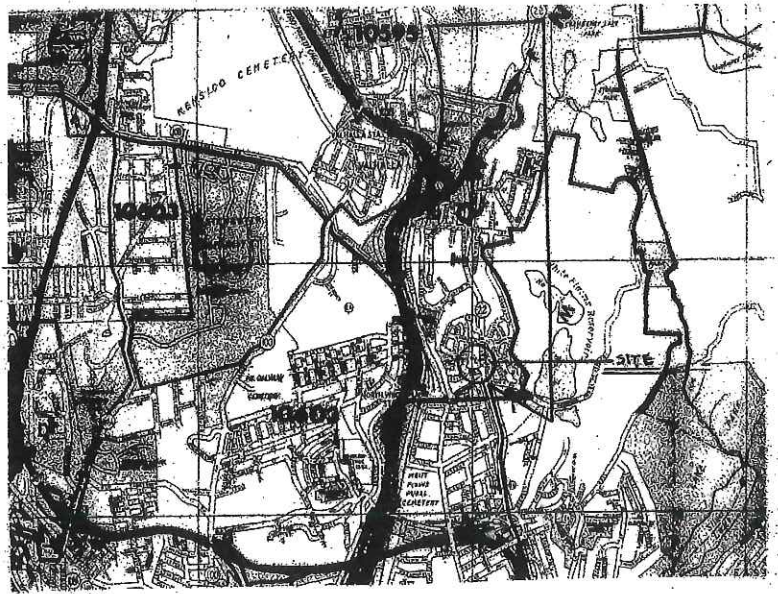
FLOOR AREA CALCULATIONS:

FIRST FLOOR	3533 SQ FT
SECOND FLOOR	4937 SQ FT
TOTAL	8470 SQ FT

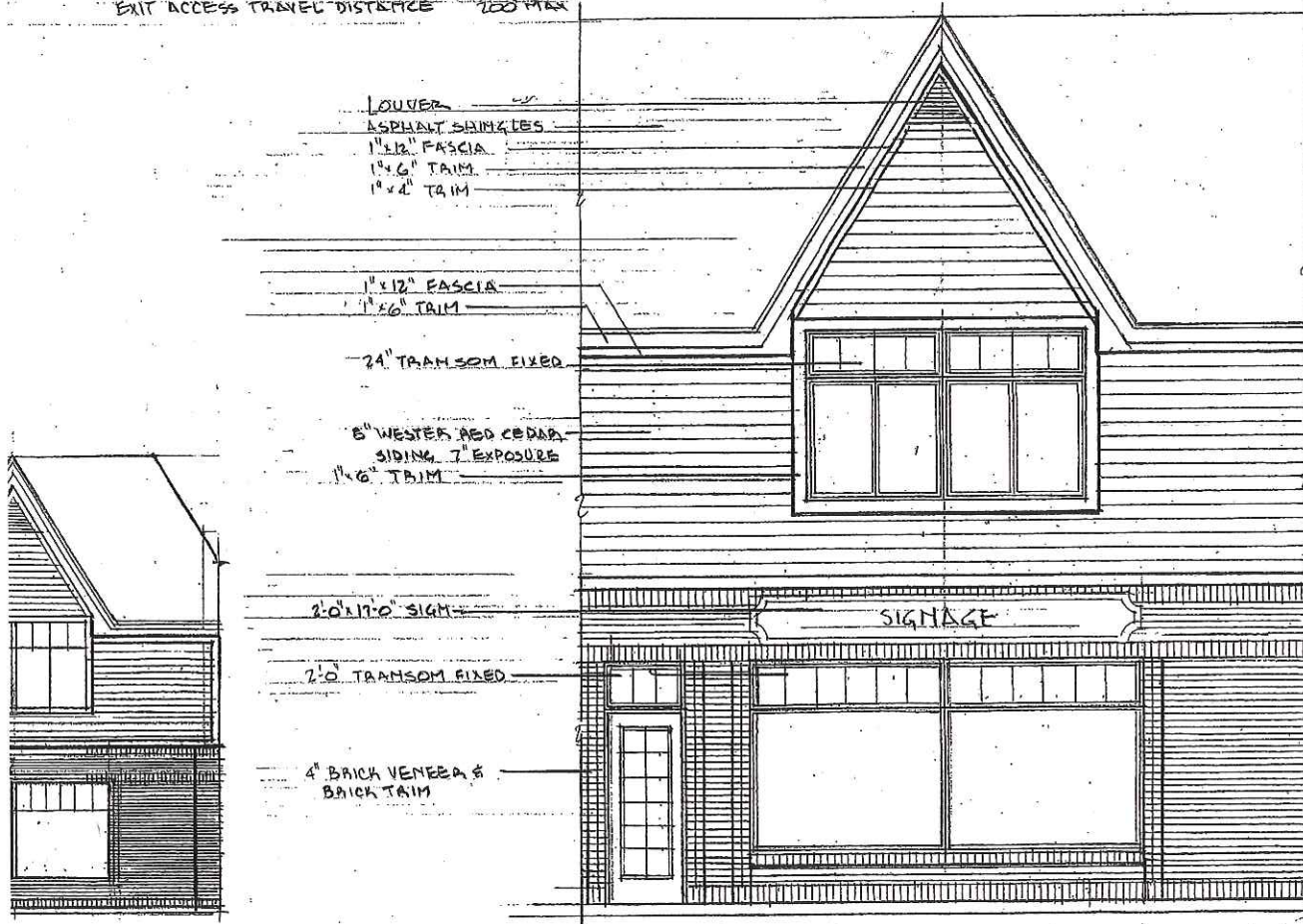
CONSTRUCTION CLASSIFICATION

TYPE V MAX 2 STORIES 9000 SQ FT
 10" FIRE RESISTANCE REQUIREMENTS
 FOR STRUCTURAL FRAME
 BEARING WALLS (EXTERIOR & INTERIOR)
 FLOOR CONSTRUCTION
 ROOF CONSTRUCTION

GROSS MAX OCCUPANT LOAD ON 2ND FLOOR 103
 $4937 \div 80 = 63$
 2 EXIT STRIPS PROVIDED $103 \times 63 = 189$ INCHES
 EXIT ACCESS TRAVEL DISTANCE 200' MAX



AREA MAP



TYPICAL ELEVATION SCALE 1/4"=1'-0"

IT IS A VIOLATION OF ARTICLE VI OF THE STATE EDUCATION LAW FOR ANY PERSON TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY UNLESS SAID PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR PROFESSIONAL ENGINEER. IF ANY ITEM BEARING THE SEAL OF AN ARCHITECT OR PROFESSIONAL ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO THE ITEM HIS/HER SEAL AND SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

HERBERT
LACKNER

ARCHITECT

#4 PLUM COURT
 KATONAH, NY 10536
 914 232 1282 PHONE
 914 232 1863 FAX

PROJECT:

731 N. BROADWAY
 NORTH WHITE
 PLAINS, N.Y.

TITLE: SECTION
 AREA MAP
 ELEVATIONS

ZONING INFO:

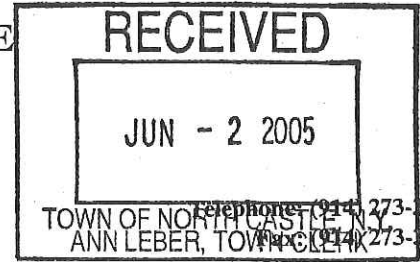
SCALE: AS SHOWN
 DATE: 9.18.01



PLANNING BOARD
Peg Michelman, Chair

TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898



RESOLUTION

Action:	Site Plan Approval
Project Name:	Dorex
Applicant/Owner:	Alfredo Maiorano
Designation:	Section 7, Block 2, Lot 14
Zoning District:	CB Zoning District
Location:	731 North Broadway
Area:	18,181 square feet
Approval Date:	May 23, 2005
Expiration Date:	May 23, 2006 (1 year)

WHEREAS, on March 7, 2003 an application for site plan approval was submitted to the Planning Board and the requisite fees were paid; and

WHEREAS, the application involves approval of a proposed 8,470 square foot retail/office building (not including basement) on North Broadway in the CB Zoning District; and

WHEREAS, the Applicant has indicated that the basement area shall be used for mechanical use only; and

WHEREAS, the subject property is approximately 18,181 square feet in the CB Zoning District and is designated on the Town of North Castle Tax Assessment Map as Section 7, Block 2, Lot 14; and

WHEREAS, the application consists of the following drawings:

- Plan labeled "Sheet 1 of 2," entitled "Site Plan Grading & Drainage Parking & Paving," dated October 27, 2004, last revised February 15, 2005, prepared by The Office of J.W. Delano Surveying Consultants.
- Plan labeled "Sheet 2 of 2," entitled "Site Plan Grading & Drainage Parking & Paving," dated October 27, 2004, last revised February 15, 2005, prepared by The Office of J.W. Delano Surveying Consultants.
- Plan labeled "Sheet 1 of 6," entitled "Site Plan – Site Details," dated October 12, 2000, last revised August 21, 2001, prepared by Herbert Lackner Architect.
- Plan labeled "Sheet 2 of 6," entitled "Cellar Floor Plan, Details," dated August 21, 2001, prepared by Herbert Lackner Architect.
- Plan labeled "Sheet 3 of 6," entitled "First Floor Plan Sections, Details," dated August 20, 2001, prepared by Herbert Lackner Architect.

Site Plan Approval for
Maiorano
May 23, 2005
Page 2 of 7

- Plan labeled "Sheet 4 of 6," entitled "Second Floor Plan Sections, Details," dated August 20, 2001, prepared by Herbert Lackner Architect.
- Plan labeled "Sheet 5 of 6," entitled "Roof Plan," dated August 22, 2001, prepared by Herbert Lackner Architect.
- Plan labeled "Sheet 6 of 6," entitled "Section – Area Map – Elevations – Zoning Information," dated September 18, 2001, prepared by Herbert Lackner Architect.

WHEREAS, an Environmental Assessment Form (EAF) dated March 7, 2003 was prepared by the Applicant and submitted to the Planning Board for its review and consideration; and

WHEREAS, the proposed action is an Unlisted Action under the State Environmental Quality Review Act (SEQRA); and

WHEREAS, the Planning Board declared its intent to act as Lead Agency on March 7, 2005; and

WHEREAS, the Applicant received Town Architectural Review Board approval on August 4, 2004; and

WHEREAS, the Planning Board has requested, received and considered comments from the Town Attorney, the Consulting Town Engineer and Consulting Town Planner regarding the proposed development; and

WHEREAS, the project site is located adjacent to North Broadway (N.Y. Route 22) and therefore, has been referred to the Westchester County Planning Board under the provisions of § 239-m of the New York State General Municipal Law; and

WHEREAS, the Planning Board has inspected the site and is familiar with the nature of the site, the surrounding area and the proposed development; and

WHEREAS, the proposed site plan exceeds the maximum permitted floor area ratio; and

WHEREAS, the proposed site plan does not meet the minimum off-street parking requirement; and

WHEREAS, the Applicant received the required off-street parking variance and FAR variance on May 5, 2005; and

WHEREAS, the requirements of the Zoning Ordinance and the Town of North Castle Comprehensive Plan Update have been met; and

NOW, THEREFORE, BE IT RESOLVED, that the site plan approval be granted, subject to the conditions and modifications identified below; and

BE IT FURTHER RESOLVED, that pursuant to Section 213-41 of the Town Zoning Code, this site plan approval shall be deemed to authorize only the particular use(s) shown on the approved site plan and shall expire if work is not initiated in accordance therewith within one (1) year, or if the use(s) for which site plan approval was granted ceases for more than one (1) year from the date of the issuance of the certificate of occupancy, or if all required improvements are not completed within eighteen (18) months of the date of this approval, or if all such required improvements are not maintained and all conditions and standards of this approval are complied with throughout the duration of the use(s).

Prior to the Signing of the Final Site Plan:

(The initials of the appropriate Town Official and date shall be placed in the space below to indicate that the condition has been satisfied.)

- _____ 1. The site plan shall be revised to depict the parallel parking spaces on the south side of the property as being reserved for employee parking to the satisfaction of the Town Consulting Planner and the Town Engineer.
- _____ 2. The site plan shall be revised to depict the elimination of the building wall that extends into the parking area of the southwesternmost parking space to the satisfaction of the Consulting Town Planner and the Town Engineer.
- _____ 3. The site plan shall be revised to depict traffic signage to the satisfaction of the Consulting Town Planner and the Town Engineer.
- _____ 4. The site plan shall be revised to depict an adequately sized off-street handicap parking space to the satisfaction of the Consulting Town Planner and the Town Engineer.
- _____ 5. The Applicant shall submit a site lighting plan (containing photometric data) that includes specific details regarding the proposed lighting element (e.g., incandescent, metal halide, etc.) to the satisfaction of the Consulting Town Planner and Town Engineer.
- _____ 6. The site plan shall be revised to identify the correct zoning district (CB).
- _____ 7. The Applicant shall submit a letter from the Building Inspector confirming that the proposed building height complies with the Town Code.

- _____ 8. The site plan shall be revised to depict 10' x 20' off street parallel parking spaces on the east side of the parking lot to the satisfaction of the Consulting Town Planner and the Town Engineer.
- _____ 9. The site plan shall be revised to clearly depict the site property lines to the satisfaction of the Consulting Town Planner.
- _____ 10. The site plan shall be revised to include details of the proposed refuse enclosure area to the satisfaction of the Consulting Town Planner.
- _____ 11. The site plan shall be revised to relocate the proposed sign island from the NYSDOT right-of-way to the area between the adjacent two middle parallel parking spaces to the satisfaction of the Consulting Town Planner.
- _____ 13. The site plan shall be revised to relocate the proposed light poles from the NYSDOT right-of-way to a newly proposed "island" area adjacent the southeastern most parallel parking space and the area between the adjacent two middle parallel parking spaces the satisfaction of the Consulting Town Planner.
- _____ 14. The site plan shall be revised to depict the elimination of all stormwater facilities, signage, lighting and all other encroachments into the New York State Department of Transportation (NYSDOT) right-of-way – or in the alternative the Applicant shall submit written evidence of approval of all encroachments by the NYSDOT to the satisfaction of the Consulting Town Planner and the Town Engineer.
- _____ 15. The site plan shall be revised to depict that a 2001 Seagrave Quint Fire Truck would be able to enter the parking lot to the satisfaction of the Town Engineer. It is noted that the fire truck has an overall length of 383", a wheel base of 192", a front overhang of 87", a rear overhang of 104" and a width of 94".
- _____ 16. The Applicant shall submit written evidence of securing a curb cut permit from the New York State Department of Transportation for the proposed driveways to the satisfaction of the Consulting Town Planner and Town Engineer.
- _____ 17. The floor plans and the site plan shall be revised to include a note indicating that the basement shall be used only for mechanical equipment (storage is not permitted) to the satisfaction of the Town Consulting Planner.

- _____ 18. Revision of the site plan to include the following notes:
- “This approval shall not authorize the removal of any Town-regulated trees.”
- “This approval shall not authorize any Town-regulated wetland disturbance.”
- _____ 19. The applicant shall submit a final site plan to the satisfaction of the Town Engineer and Town Planner incorporating final details of landscaping, grading and storm drainage, sediment and erosion control, driveway access and pavement specifications or other information deemed necessary and appropriate.
- _____ 20. Payment of all applicable fees, including any outstanding consulting fees.
- _____ 21. The Applicant shall furnish the necessary documentation confirming that all taxes assessed against the property have been paid.

Prior to the Issuance of a Building Permit:

(The initials of the appropriate Town Official and date shall be placed in the space below to indicate that the condition has been satisfied.)

- _____ 1. The approved site plan shall be signed by both the Planning Board Chairman and Town Engineer.
- _____ 2. The submission of a complete set of building plans for review and approval by the Town Building Inspector prior to the issuance of a building permit.
- _____ 3. The applicant shall secure to the satisfaction of the Town Engineer all necessary approvals from the Westchester County Department of Health and/or the Town of North Castle Sewer and Water Department.

Prior to the Issuance of a Certificate of Occupancy:

(The initials of the appropriate Town Official and date shall be placed in the space below to indicate that the condition has been satisfied.)

- _____ 1. The Applicant shall retain the service of a professional engineer or another licensed professional acceptable to the Town Engineer to inspect and certify the construction of the retaining wall to the satisfaction of the Town Engineer.
- _____ 2. The submission to the Town Building Inspector of an "As Built" site plan.

Other Conditions:

1. Pursuant to Section 213-15.D.3 of the Town Code, the Applicant shall be required to receive Architectural Board of Review for all signs.
3. Compliance with all applicable local laws and ordinances of the Town of North Castle and any conditions attached to permits issued thereunder.
4. All site work shall be completed in accordance with the Best Management Practices Manual for Erosion and Sediment Control prepared for Westchester County, New York (1991). All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass seed and mulched with hay or straw within one week of final grading. Mulch shall be maintained until suitable vegetative cover is established. All disturbed areas where soil is temporarily exposed or stockpiled for longer than one month shall be stabilized with a temporary seeding or ground cover.
5. All landscaping shown on this plan shall be maintained in a vigorous growing condition throughout the duration of the use. All plants not so maintained shall be replaced with new plants of comparable size and quality at the beginning of the next immediately following growing season.

APPLICANT, agreed and understood as to contents and conditions, including expiration, contained herein

5-24-05
Date

Alfredo Maiorano
Alfredo Maiorano

NORTH CASTLE PLANNING OFFICE,
as to approval by the North Castle Planning Board

5/24/05
Date

Valerie B. Desimone
Valerie B. Desimone, Planning Board Secretary

KELLARD ENGINEERING & CONSULTING P.C.
As to Drainage and Engineering Matters

5/26/05
Date

Nathaniel J. Holt, P.E.
Nathaniel J. Holt, P.E.
Consulting Town Engineer

STEPHENS BARONI REILLY & LEWIS LLP
As to Form and Sufficiency

5/31/05
Date

Roland A. Baroni, Jr. Esq., Town Counsel
Roland A. Baroni, Jr. Esq., Town Counsel

NORTH CASTLE PLANNING BOARD

6/2/05
Date

Peg Michelman
Peg Michelman, Chair

Zoning Board of Appeals
Town of North Castle
17 Bedford Road - Town Hall Annex
Armonk, New York 10504

RESOLUTION OF APPROVAL FOR AREA VARIANCE

ZONING BOARD OF APPEALS
TOWN OF NORTH CASTLE

-----X
In the matter of the Application

of
ALFREDO MAIORANO

-----X

WHEREAS, applicant, ALFREDO MAIORANO
owner of property located on 731 NORTH BROADWAY, NORTH WHITE PLAINS, NY
and known on the Tax Assessment map of the Town of North Castle as
Section 7, Block 2, Lot 14, has applied for
the following variance(s) from the provisions of the Zoning Code of the
Town of North Castle: (THE APPLICANT IS REQUESTING AN AREA VARIANCE FOR
PARKING AND FLOOR AREA RATIO(FAR))

SECTION 213.23:CB ZONE - REQUIRED OFF-STREET PARKING IS 1-SPACE FOR
Each 250 sq.ft. OF GROSS FLOOR AREA, and FAR(floor area ratio)
PERMITTED IS 0.25 to 0.27

SECTION 213.65B4: A VARIANCE SHALL EXPIRE IF WORK IS NOT INITIATED
PURSUANT THERETO WITHIN TWO(2) YEARS, UNLESS A BUILDING PERMIT OR
CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED FOR THE VARIANCE.

WHEREAS, prior to the hearing, members of the Board of Appeals con-
ducted an inspection of the premises and surrounding neighborhood; and

WHEREAS, on FEBRUARY 6TH, 2003, the Board conducted
a duly noticed public hearing on the application (which was adjourned to
and continued on MARCH 6TH, APRIL 10TH, & MAY 1ST, 2003 at which time all
interested parties had the opportunity to be heard; and

RESOLUTION OF APPROVAL; Area Variance

WHEREAS, the applicant has submitted proof of proper notice to nearby property owners required to receive notice thereof:

NOW, THEREFORE, the Board of Appeals makes the following findings:

1. The requested activity is a Type 2 action under the State Environmental Quality Review Act.
2. That the variation IS SUBSTANTIAL in relation to the requirements for setbacks BUT it is ameliorated by the other aspects.
3. That the effect of any increased population density which may thus be produced upon available services and facilities is not significant.
4. That a substantial change in the character of the neighborhood or a substantial detriment to adjoining properties will not be created.
5. That the difficulty cannot be alleviated by some method feasible for the applicant to pursue other than a variance.
6. That, in view of the manner in which the difficulty arose and considering all of the above factors, the interests of justice will be served by allowing the variance.
7. That the variance would not cause adverse aesthetic, environmental or ecological impacts on the property or on surrounding areas.

Continued on Page Three

RESOLUTION OF APPROVAL; Area Variance

NOW, THEREFORE, BE IT RESOLVED, that the application for relief by the grant of a variance from the requirements of the Zoning Code of the Town of North Castle **is(are) hereby granted: TO ALLOW THE CONSTRUCTION OF A NEW COMMERCIAL BUILDING HAVING INSUFFICIENT OFF-STREET PARKING AND FLOOR AREA RATIO.**

THIS VARIANCE IS SUBJECT TO THE FOLLOWING CONDITIONS

1. **THE REAR YARD & SLOPE BE RESTORED TO A GRADE OF NOT MORE THAN 50% THAT EXTENDS & REACHES THE EXISTING CREST OF THE CUT, IF ACCEPTABLE To the TOWN ENGINEER, THE TOWN ENGINEER HAVING TO APPROVE ANY SUCH RESTORATION OF THE SLOPE, OR SUCH OTHER PROVISIONS AS THE TOWN ENGINEER MAY DETERMINE;**
2. **THE PLANNING BOARD'S REVIEW & APPROVAL ON THE SAFETY FEATURES OF THIS RESTORATION OF THE SITE;**
3. **THAT THERE BE ADEQUATE SCREENING TO THE SATISFACTION OF THE PLANNING BOARD;**
4. A BUILDING PERMIT MUST BE OBTAINED FROM THE BUILDING INSPECTOR FOR ANY CONSTRUCTION RELATING TO THIS VARIANCE; AND A REVIEW FOR ALL OTHER STATE AND LOCAL CODES; AND
5. A "FOUNDATION AS-BUILT SURVEY IS REQUIRED AFTER FOUNDATION IS COMPLETED, AND A "FINAL AS-BUILT SURVEY IS REQUIRED" PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AND ALL SUBMITTED TO THE BUILDING INSPECTOR ACCORDING TO HIS INSTRUCTIONS.....
6. THIS VARIANCE SHALL EXPIRE IF WORK IS NOT INITIATED PURSUANT THERETO WITHIN ONE(1) YEARS FROM THE DATE OF THIS RESOLUTION. UNLESS A BUILDING PERMIT AND/OR A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED FOR THE VARIANCE.


RESOLUTION OF APPROVAL: Area Variance

Motion by: GEORGE NAGLE, JR.
Seconded by : CHARLES FEUER

<u>CHARLES FEUER</u>	voting	<u>AYE</u>
<u>JOSEPH MONTICELLI</u>		<u>AYE</u>
<u>MICHAEL ROSENBERG</u>		<u>AYE</u>
<u>GEORGE NAGLE, JR.</u>		<u>AYE</u>
<u>ROBERT SCHMIDT</u>		<u>AYE</u>

THE RESOLUTION IS GRANTED BY ORDER OF THE BOARD OF APPEALS.

DATED: June 5, 2003



ROBERT SCHMIDT, CHAIRMAN

I HEREBY CERTIFY this to be a true copy of a resolution approved by the vote of the Board of Appeals of the Town of North Castle at a meeting held on MAY 1ST, 2003, at the Town Hall Annex, North Castle, New York.



Linda DiFiore, Secretary

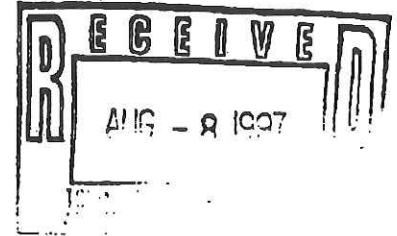


TOWN OF NORTH CASTLE

WESTCHESTER COUNTY

17 Bedford Road

Armonk, New York 10504



Telephone (914) 273-3542

Fax (914) 273-3554

PLANNING BOARD

Piers L. Curry, Chairman

R E S O L U T I O N

Action:	Site Plan Approval
Designation:	Section 7, Block 2, Lot 14
Location:	North Broadway (NYS Route 22) - North White Plains
Acreage:	0.42 acres
Zoning:	CB (Central Business) District
Applicant and Contract Vendee:	Broadway Pizzeria (Michael Fiorentino)
Approval Date:	July 14, 1997
Expiration Date:	July 14, 1998

WHEREAS, on February 27, 1997, a formal application for the approval of a site plan entitled "Sheet 1 - Proposed Parking for Broadway Pizzeria" dated February 27, 1997, revised June 11, 1997 and last revised July 10, 1997 prepared by Rudolph C. Petruccelli, P.E. of Petruccelli Engineering was submitted to the Planning Board and the application fee was paid; and

WHEREAS, the Planning Board and their professional consultants' have received and reviewed the following additional information and drawings:

- Sheet 2 - Drainage/Landscaping Plan Proposed Parking for Broadway Pizzeria dated February 27, 1997 and revised June 11, 1997 and last revised July 10, 1997, prepared by Rudolph C. Petruccelli, P.E. of Petruccelli Engineering
- Letter from Simon Sauberman, P.E. of Construction Technologies, Inc. that the rock at the site could be removed by either drilling, splitting or ripping and a stable 3V:1H slope can be achieved

WHEREAS, the subject property is approximately 0.42 acres in area and is designated on the Tax Maps of the Town of North Castle as Section 7, Block 14, Lot 2 and is zoned CB (Central Business) District; and

WHEREAS, the subject property is located on and has ingress/egress from North Broadway, NYS Route 22 (a state road), in the hamlet of North White Plains and has two existing curb cuts from NYS Route 22; and

WHEREAS, the site plan application is to raze the existing building and replace it with a new commercial building to serve as a restaurant and pizzeria; and

Resolution of Site Plan Approval
for Broadway Pizzeria
July 14, 1997

WHEREAS, in accordance with Article 8 of the State Environmental Quality Review Act and 6 NYCRR Part 617, the Planning Board has made a determination that the proposed development is an Unlisted Action and the threshold for the proposed building is less than the threshold which requires a coordinated review under SEQRA; and

WHEREAS, the Planning Board has requested, received and considered comments from the Town Attorney, the Town Engineer, the Building Inspector and the Planning Director regarding the proposed development; and

WHEREAS, on March 13, 1997, the Planning Board has inspected the site and are familiar with the nature of the site, the surrounding area and the proposed development; and

WHEREAS, the site plan provides a total of 30 parking spaces (2 handicapped, twenty-six (26) and two (2) full-sized employee parking spaces) and one (1) loading space; twenty-seven (27) parking spaces and one (1) loading space are required; and

WHEREAS, the applicant, at the Planning Board's request, has agreed to provide a one-way traffic pattern on the site with a 25 foot driveway which conforms to the Town Standards of 25 feet which is required for a two way traffic flow; and

WHEREAS, on July 28, 1997, the applicant was granted final approval from the Architectural Review Board for the proposed restaurant building; and

WHEREAS, the requirements of the Land Subdivision Regulations, Zoning Ordinances and the Town Development Plan of the Town of North Castle and the 1996 Town Comprehensive Plan Update have been met by said application and plat except as noted below;

NOW, THEREFORE, BE IT RESOLVED, that in accordance with Article 8 of the State Environmental Quality Review Law and 6 NYCRR Part 617 and the North Castle Town Environmental Quality Review Law, the Planning Board hereby makes a determination that the proposed development will not have a significant impact on the environment as any such impacts will be minimized or avoided through the design of the project and through the incorporation as conditions attached to the project approval those mitigating measures that have been identified;

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the application for site plan approval be granted subject to the following conditions and modifications:

Resolution of Site Plan Approval
for Broadway Pizzeria
July 14, 1997

The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the conditions have been met:

Prior to Signing the Site Plan:

- _____ 1. Submission to and approval by Westchester County Department of Health for review and approval of public sewer and water supply systems, if required. Any changes, revisions or amendments to the plans directed by the Westchester County Department of Health shall be resubmitted to the Town Engineer for his review. If the changes are substantive, according to the Town Engineer, the application may be referred back to the Planning Board for its subsequent review.
- _____ 2. The site plan, as approved, shall be signed by both the Planning Board Chairman and Town Engineer.
- _____ 3. The applicant shall submit final details to the satisfaction of the Town Engineer of site lighting specifications, final grading and storm drainage, utility connections, sight lines and curbing, driveway and pavement specifications.
- _____ 4. Payment of all applicable fees, including any consulting fees.
- _____ 5. The applicant shall furnish the necessary documentation that all taxes assessed against the property have been paid.
- _____ 6. A note shall be placed on the site plan stating that:

"The existing building on the site shall be demolished."

The Following Conditions do not require check-off by the Planning Board Secretary:

Prior to the Issuance of a Building Permit:

1. The submission of a complete set of building plans for review and approval by the Town Building Inspector prior to the issuance of a building permit.

Resolution of Site Plan Approval
for Broadway Pizzeria
July 14, 1997

2. The applicant shall obtain final approval for the design of the building.

Prior to the Issuance of a Certificate of Occupancy:

1. Compliance with all applicable local laws and ordinances of the Town of North Castle and any conditions attached to permits issued thereunder.
2. The submission to the Town Building Inspector of an "as built" site plan prior to the issuance of a Certificate of Occupancy.
3. The landscape plan shall be implemented as approved by the Planning Board. All landscaped material shall be maintained in a vigorous growing condition throughout the duration of use, and plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season. The landscaped buffer area shown on the plan shall conform to all the requirements of the site plan approval and be in accordance with Section 213-44H of the Zoning Ordinance; the applicant is requested by the Planning Board to provide at least half of the landscaping requirement in the parking lot area.
4. The applicant agrees to screen any waste container from public view and put it in an enclosure.
5. All site work shall be completed in accordance with the Best Management Practices Manual for Erosion and Sediment Control prepared for Westchester County, New York (1991). All areas of soil disturbance resulting from this project shall be seeded with an appropriate perennial grass seed and mulched with hay or straw within one week of final grading. Mulch shall be maintained until a suitable vegetative cover is established. All disturbed areas where soil is temporarily exposed or stockpiled for longer than one month shall be stabilized with a temporary seeding or ground cover.
6. The applicant shall install a sprinkler system for fire suppression and fire alarms. The building will be constructed to meet applicable building and fire codes. This will mitigate impacts on the Town and area fire departments that would serve the site.
7. The applicant shall stripe the pavement to indicate that the parking must take place in the designated area and that a one-way traffic flow is proposed. Two (2) handicapped parking spaces and 25 standards sized parking spaces shall be

Resolution of Site Plan Approval
for Broadway Pizzeria
July 14, 1997

appropriately marked. A total of 27 parking spaces shall be indicated on the site plan and one (1) loading space.

- 8. The applicant shall obtain all necessary approvals from NYSDOT for the curb cuts on NYS Route 22.
- 9. The applicant shall secure final approval from the Architectural Board of Review prior to the start of the construction of the building.
- 10. If during construction it is determined that the proposed rock slope cannot be removed in accordance with the approved plans, the applicant shall retain a licensed professional Engineer to submit an excavation and performance specification, subject to the review and approval of the Town Engineer. The specification shall require the continual supervision and consultation by a licensed professional engineer during the rock removal process and certification of the work (i.e. rock slope stability) upon completion. The performance specification shall be included on the construction plans. The construction plans shall include a separate plan which details the excavation process including temporary ramping and grading, material storage areas, equipment storage areas, protective barriers, etc.

The applicant shall submit four copies and a reproducible of the approved, signed Site Plan to the Planning Board Secretary.

NOW, THEREFORE, BE IT RESOLVED that this site plan approval will expire on July 14, 1998 if an extension of time has not been requested or granted by the North Castle Planning Board.

8/7/97
Dated

Piers L. Curry
Piers L. Curry, Chairman

Certified as Approved by the North Castle Planning Board

7/29/97
Dated

Joan Vetare
Joan Vetare, Secretary

