



January 13, 2023

Mr. Christopher Carthy, Chairman
and Members of the Planning Board
Town of North Castle
17 Bedford Road
Armonk, NY 10504

RE: Rault Residence
209 Bedford Banksville Road
Town of North Castle, NY

Dear Chairman Carthy and Members of the Planning Board:

On behalf of the owner and applicant, Joseph and Celeste Rault, we are pleased to submit the following documents for your preliminary review of the Site Plan and request a positive referral to the ZBA for the proposed residential development on 209 Bedford Banksville Road:

I. Granoff Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
G. LND CVG.	Gross Land Coverage Site Plan	1/13/2023
F.A.R.	F.A.R. Site Plan	1/13/2023
	F.A.R. 2 Building Area Plans	1/13/2023
	Gross Land Calculation Worksheet	1/6/2023
	F.A.R. Calculation Worksheet	1/6/2023
	Zoning Site Plan	1/13/2023
BLDG. CVG.	Building Coverage Site Plan	1/13/2023
AS001	Architectural Site Plan	1/13/2023
A001	Main House-Full 1 st and 2 nd Floor Plan	1/13/2023
A002	Main House-Full Attic Floor Plan	1/13/2023
A101	Main House-Partial 1 st Floor	1/13/2023
A102	Main House-Partial 2 nd and Attic Floor	1/13/2023
A300	Main House-Full North Elevation	1/13/2023
A301	Main House-Partial North Elevation	1/13/2023
A302	Main House-West Elevation	1/13/2023



<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
A303	Main House-Partial South Elevation	1/13/2023
A101GAR	Garage Floor Plans	1/13/2023
A301 GAR	Garage-East and North Elevations	1/13/2023
A302 GAR	Garage-West and South Elevations	1/13/2023
A101 GH	Guest House-First Floor Plan	1/13/2023
A102 GH	Guest House-Second Floor Plan	1/13/2023
A301 GH	Guest House- East and North Elevations	1/13/2023
A302 GH	Guest House- West and South Elevations	1/13/2023
A101 PH	Pool House Plan and Elevations	1/13/2023
	Exterior Rendering Binder	
	Street Images, Google Earth View, Drone Pictures	

2. Site Design Consultants Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
	Site Plan	10/21/2022
	Existing Conditions Plan	11/25/2022
	Storm Water Details	11/25/2022
	Drainage and ESC Details	11/25/2022
	Storm Water Details	11/25/2022
	OWTS Plan	10/21/2022
	OWTS Details	10/21/2022

The revisions depicted on the above noted plans reflect responses to comments outlined in the Town of North Castle Planning Department Memorandum, dated December 5, 2022. For ease of review, we have repeated and enumerated the comments in italic print, followed by our responses:



Town of North Castle Planning Department, dated December 5, 2022

General Comments

Comment No. 1

The Applicant is proposing a Gross Floor area of 27,627 square feet and a Gross Land Coverage of 44,516 square feet. The maximum permitted amount of Gross Floor Area for the 6.02 acre lot is 16,249 square feet. The maximum permitted amount of Gross Land Coverage for the 6.02 acres lot is 27,469 square feet. The Application is premised upon transferring the permitted gross floor area and land coverage from 191 Bedford Banksville Road to 209 Bedford Banksville Road. However, if the lot area from 191 Bedford Banksville Road (4.35 acres) were combined with the 6.02 acres at 209 Bedford Road, the resulting 10.37 acre lot would permit a maximum permitted Gross Floor Area of 21,931 square feet and a maximum permitted gross land coverage of 41,674 square feet.

Response No. 1

The site plan has been revised to depict the following:

- Covered connections were removed (both open porches and enclosed space)
- Guest House was made smaller
- Pool House, Garage, and Main House have remained the same size since previous submission
- Total Lot I Gross Land Coverage is 40,438.68 sf
- Total Lot I FAR is 23,956.78 sf
- Detached Accessory Apartment (Guest House) is 3,884 sf
- Detached Pool House is 1,249.6 sf
- Detached (4) car Garage is 3,228.8 sf

Comment No. 2

The Applicant should describe the method proposed to restrict development at 191 Bedford Banksville Road.



Response No. 2

A Declaration shall be filed relative to Lot 2 establishing that shall never be any additional development than that already exists on the Lot. There is currently a 433 sf shed and a vegetable garden plot on this lot.

Comment No. 3

It appears that 191 Bedford Road is not vacant and contains a shed and garden. The Applicant should confirm that the gross land coverage and floor area existing on the lot are accounted for on the proposed combined 10.37 acre theoretical lot.

Response No. 3

The Gross Land Coverage and FAR are accounted for in our calculations.

Comment No. 4

If the existing shed and garden is proposed to remain at 191 Bedford Road, the Applicant should demonstrate that a use variance was previously issued or that the use is a preexisting permitted non-conforming use. Accessory uses are not permitted on a lot without a permitted principal use.

Response No. 4

The Lot was approved as part of subdivision in December of 1993. The shed was existing at the time of that approval and at the December 12th 2022 Planning Board meeting, the Town Attorney agreed that the shed was in fact a prior nonconforming structure.

Comment No. 5

It is difficult to determine the proposed changes to the principal dwelling. It is recommended that the Applicant provide existing and proposed elevations or highlight proposed changes on the elevations.



Response No. 5

We have highlighted all the proposed changes to the main house in plan and elevation.

Comment No. 6

The submitted building elevations for the various buildings should be revised to depict Building Height (average grade to roof midpoint) and Maximum Exterior Wall Height (lowest grade to roof midpoint).

Response No. 6

The elevations are now noted.

Comment No. 7

The site plan should be revised to include an updated zoning chart that includes a setback analysis for all structures, a height analysis from all buildings and a Building Coverage analysis that includes a total building coverage for the site (not just the principal building).

Response No. 7

We have included a zoning chart. (See site plan “Zoning”)

Comment No. 8

The Applicant should provide gross floor area backup exhibits for review.

Response No. 8

See sheets “F.A.R.”, “F.A.R. 2”, and excel spreadsheet for areas

Comment No. 9

The site plans should be revised to depict the Town-regulated wetland/stream and 100 foot buffer on all the site plans. It is not clear whether any disturbance is proposed within the buffer area.



Response No. 9

The buffer line has been added to all the site plans.

Comment No. 10

The site plan should be revised to include a chart that depicts the square footage of each structure, the number of stories, the height and the gross floor area percent of the Main House (with calculations).

Response No. 10

This chart has been added to sheet “F.A.R.” and “F.A.R.2” for areas and sheet “zoning” for building heights.

Comment No. 11

Pursuant to Section 355-40.K(4)(a) of the Town Code accessory apartments are not permitted to be located in an accessory structure unless the structure was constructed prior to October 11, 1984.

Response No. 11

The existing detached accessory apartment existed prior to the C.O. that was issued for it in 1955. The proposed new accessory apartment is in the nearly identical same location and is slightly larger.

Comment No. 12

Pursuant to Section 355-40.K(4)(b) of the Town Code, the Applicant should provide documentation that the principal dwelling CO was issued more than four years ago and that the Applicant has owned the property for two years.



Response No. 12

The applicant has a C.O. for the main house that was issued more than four years ago and the Applicant has owned the Property for more than two years.

Comment No. 13

Pursuant to Section 355-40.K(11) of the Town Code, the Applicant will need to demonstrate that the size of the apartment conforms to the Town Code. Specifically, where the gross floor area of the dwelling is less than or equal to 2,000 square feet, the accessory apartment shall in no case exceed 33% of such area. Where the gross floor area of the dwelling is greater than 2,000 square feet, the permitted maximum size of the accessory apartment may be increased by 25% of the gross floor area in excess of 2,000 square feet.

Response No. 13

The proposed principal building's sf is 11,771.14.
The proposed accessory apartment sf is 3,884.
33% of 11,771.14 sf is 3,884 sf.
See calculations on sheet "F.A.R."

Comment No. 14

Pursuant to Section 355-40.K(12) of the Town Code, within 30 days of receipt of a completed application which indicates conformance to all dimensional standards, the Building Inspector and the Fire Inspector shall conduct an on-site inspection of the residence and shall report on such inspection to the Planning Board and shall include in these reports the compliance of the proposed accessory unit with the requirements of this subsection, as well as building and fire codes, and other information as may be requested by the Planning Board.

Response No. 14

Duly noted.



Comment No. 15

Pursuant to Section 355-40.K(14) of the Town Code, prior to the issuance of a building permit for the establishment of an accessory apartment, the existing septic disposal system shall be reviewed by the Westchester County Department of Health, except where public sewer is provided. The Building Inspector shall reject all applications for building permits for accessory apartments in those cases where the Health Department report indicates that the septic system is inadequate for the requested use, or contains recommendations for improvements to the system until such time as such recommended improvements are installed. The applicant shall demonstrate to the Building Inspector that the septic disposal system has been cleaned within one year of the date of application. For properties provided with water supply from an on-site well, the applicant shall also collect a sample of well water for microbiological analysis to determine the presence of the coliform group. Such sample shall be analyzed by a state approved laboratory, and the results shall be reported to the Building Inspector and Health Department.

Response No. 15

Duly noted.

Comment No. 16

Pursuant to Section 355-40.K(15) of the Town Code, accessory apartments which have been approved by the Planning Board, following due notice and public hearing, shall be re-inspected by the Building Inspector every three years. The purpose of such continuing reinspection of the accessory unit shall be to determine if all required conditions of approval continue to be complied with, and report on such findings to the Planning Board. At the same time of such inspection, the Building Inspector shall also review and report on compliance with off-street parking requirements. If the Building Inspector finds that additional parking is necessary for the lot, he shall report such finding to the Planning Board and recommend the number of additional spaces to be provided. On the recommendation of the Building Inspector, the Planning Board may make a finding that the original conditions of special permit approval continue to be complied with, modify the conditions of special permit approval in accordance with the Building Inspector's recommendations or revoke the accessory apartment special permit approval.



Response No. 16

Duly noted.

Comment No. 17

Pursuant to Section 355-40.K(16) of the Town Code, a special permit uses for accessory apartments shall terminate upon change of ownership.

Response No. 17

Duly noted.

Comment No. 18

Pursuant to Section 355-37 of the Town Code, the Planning Board must determine that:

- The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located.*

- The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.*
- Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.*
- Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.*
- Where required, the provisions of the Town Flood Hazard Ordinance.*
- The Board finds that the proposed special permit use will not have a significant adverse effect on the environment.*

Response No. 18

Duly noted.



We trust the attached documents and above responses are sufficient for your review and we respectfully request placement on the January 30th, 2023 Planning Board agenda. Thank you for your consideration.

If you have any questions or require additional information, please do not hesitate to contact our office at (914) 273-5225.

Sincerely,
Granoff Architects

A handwritten signature in black ink, appearing to read 'Ken Andersen', is positioned above the typed name.

Ken Andersen, AIA
Project Architect

cc: Adam R. Kaufman, AICP
John Kellard, PE
Roland Baroni, Esq.
P. Daniel Hollis, III, Esq.
Joseph C. Riina, PE
Joseph and Celeste Rault

Existing Aerial

Mianus River

209 Bedford-Banksville Rd

LOT 1

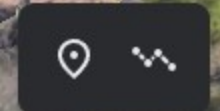
LOT 2



209 Bedford-Banksville Rd
Building

[More info](#)

[Add to project](#)



LOT 1 ENTRY



LOT 1 AND 2 STREET VIEW

209 Bedford-Bank...
209 Bedford-Banksville...
41.16°N, 73.66°W



LOT 1 AND 2 STREET VIEW

209 E Rd, B
209 Bedford-Banksville...
41.16°N, 73.66°W



2D
+ -
Navigation icons: person, compass, globe, zoom in, zoom out









PROPOSED SITE PLAN
RENDERING

NEW
POOL
HOUSE

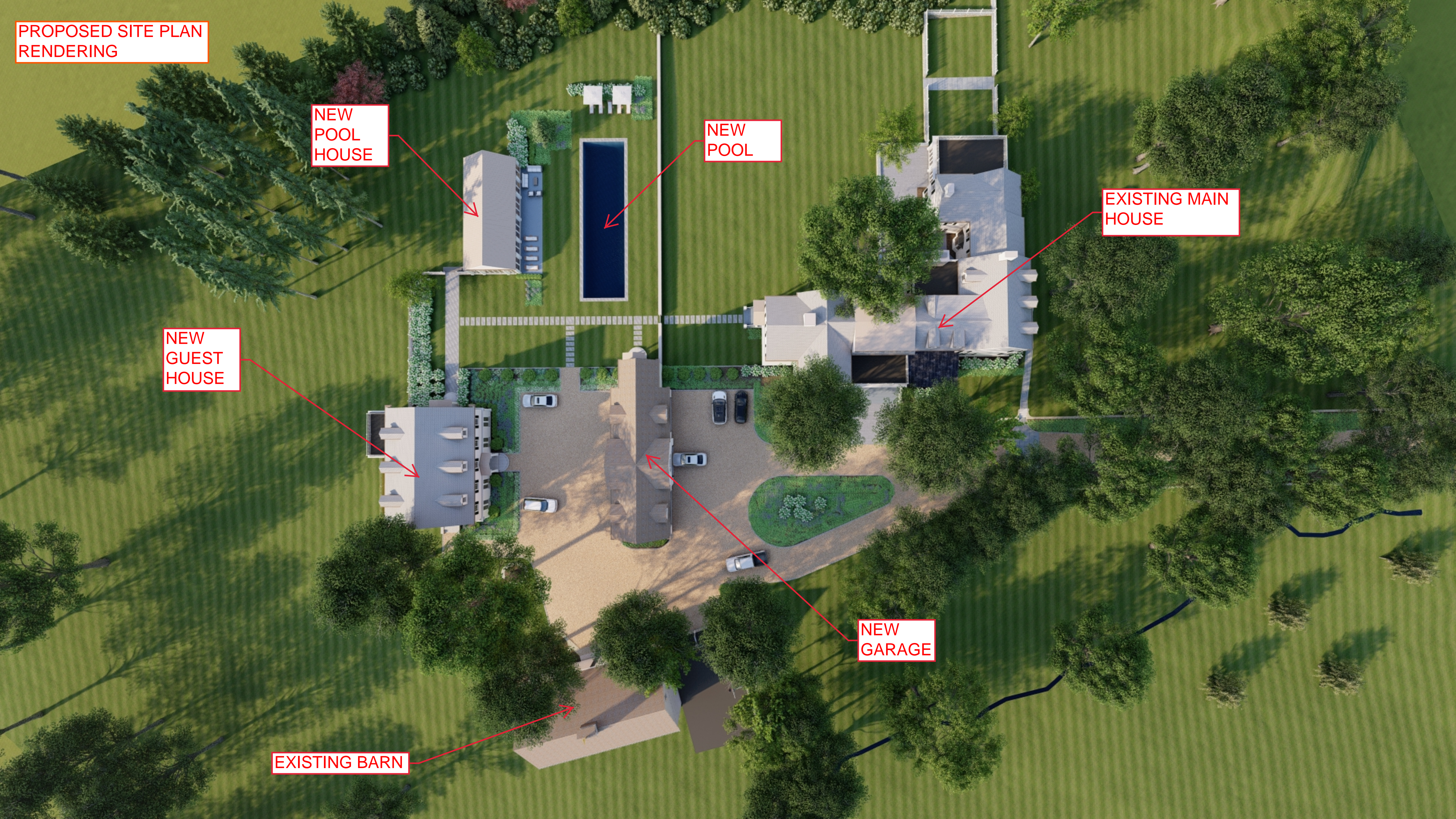
NEW
POOL

EXISTING MAIN
HOUSE

NEW
GUEST
HOUSE

NEW
GARAGE

EXISTING BARN



PROPOSED
RENDERING-
APPROACH
TO NEW
GARAGE



PROPOSED
RENDERING-
MAIN HOUSE



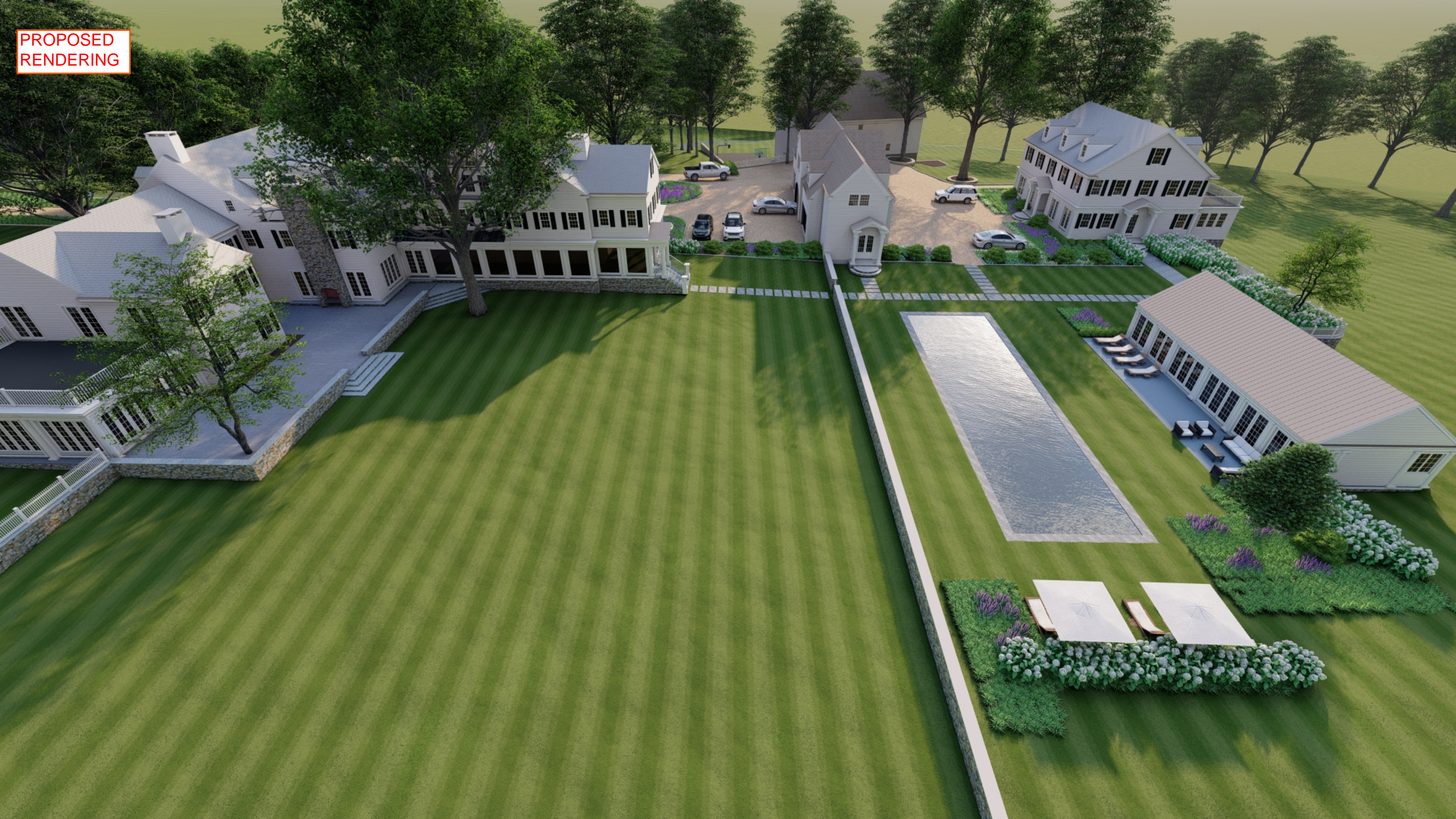
New
Addition

Renovate
Existing
Dormer

PROPOSED
RENDERING



PROPOSED
RENDERING





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Joseph & Celeste Rault Date: 01/13/2023

Tax Map Designation or Proposed Lot No.: 95.03-2-35

Gross Lot Coverage

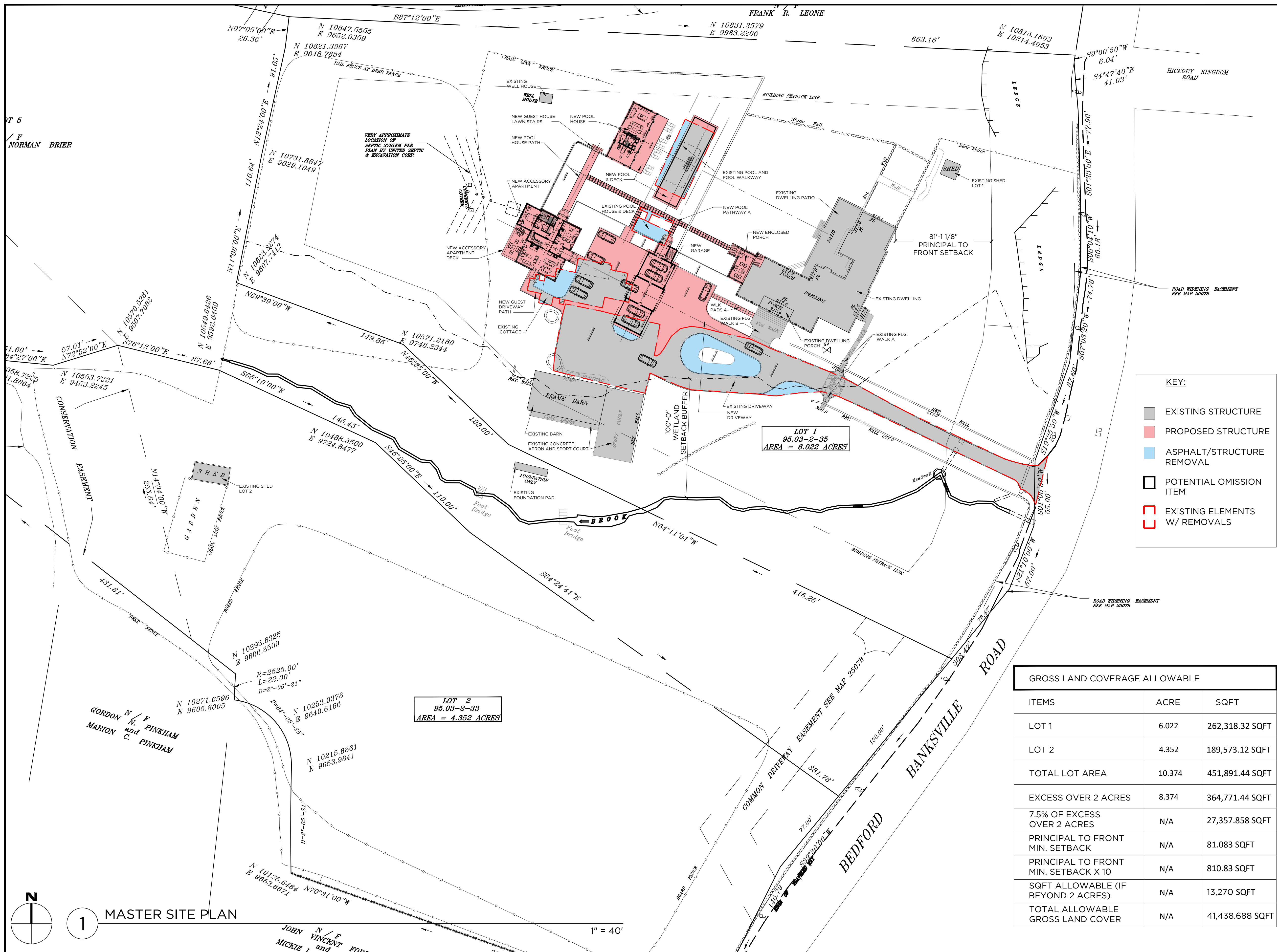
- | | | |
|-----|---|------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>451,891.44 SQFT</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): | <u>13270 SQFT</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
81.08 FT x 10 = | <u>810.83 SQFT</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>41,438.68 SQFT</u> |
| 5. | Amount of lot area covered by principal building :
5,675.40 SQFT existing + 561.71 SQFT proposed = | <u>6,237.11 SQFT</u> |
| 6. | Amount of lot area covered by accessory buildings :
1,855.46 SQFT existing + 5,197.17 SQFT proposed = | <u>11,191.31 SQFT</u> |
| 7. | Amount of lot area covered by decks :
0 SQFT existing + 385.94 SQFT proposed = | <u>385.94 SQFT</u> |
| 8. | Amount of lot area covered by porches :
264.1 SQFT existing + 0 SQFT proposed = | <u>264.1 SQFT</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
123,90.05 SQFT existing + 5,312.73 SQFT proposed = | <u>17,702.78 SQFT</u> |
| 10. | Amount of lot area covered by terraces :
1,779.05 SQFT existing + 0 SQFT proposed = | <u>1,779.05 SQFT</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
2,199.07 SQFT existing + 892.61 SQFT proposed = | <u>3,091.68 SQFT</u> |
| 12. | Amount of lot area covered by all other structures :
173.13 SQFT existing + 0 SQFT proposed = | <u>173.13 SQFT</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>40,825.1 SQFT</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



01/13/2023
Date



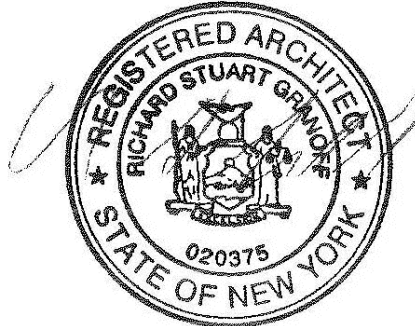
EXISTING BUILDINGS AND SITE COVERAGE	
BUILDING, STRUCTURE, SURFACES	SQFT
SHED LOT 1	187 SQFT
SHED LOT 2	433.46 SQFT
DWELLING	5,675.4 SQFT
DWELLING PORCH	264.1 SQFT
DWELLING PATIO	1,779.05 SQFT
FLG. WALK A	400.40 SQFT
DRIVEWAY	13,141.15 SQFT
FLG. WALK B	665.67 SQFT
COTTAGE	2,271.57 SQFT
BARN	2,117.05 SQFT
CONCRETE APRON & SPORT COURT	2,131.51 SQFT
FOUNDATION PAD	173.13 SQFT
WELL HOUSE	84.89 SQFT
POOL AND POOL WALKWAY:	1,669.36 SQFT
POOL HOUSE AND POOL DECK:	455.81 SQFT
GRAND TOTAL:	31,449.55 SQFT
COTTAGE REMOVAL	501 SQFT
DRIVEWAY REMOVAL	1,817.17 SQFT
POOL HOUSE & POOL DECK REMOVAL	388.25 SQFT
POOL AND POOL WALKWAY REMOVAL	268.19 SQFT
REMOVAL GRAND TOTAL	2,974.61 SQFT
EXISTING CONDITIONS W/ REMOVALS	28,474.94 SQFT
DRIVEWAY	3,797.37 SQFT
WALKWAY PADS A	128 SQFT
ENCLOSED PORCH	561.71 SQFT
GARAGE	1,844.99 SQFT
ACCESS. APARTMENT	2,102.58 SQFT
ACCESS. APARTMENT DECK	385.94 SQFT
ACCESS. APARTMENT PATH	289.11 SQFT
POOL PATHWAY A	636.3 SQFT
NEW POOL HOUSE PATH	424.1 SQFT
ACCESS. APARTMENT LAWN STAIRS	37.85 SQFT
POOL HOUSE	1,249.60 SQFT
POOL & POOL DECK	892.61 SQFT
GRAND TOTAL OF NEW:	12,350.16 SQFT
GRAND TOTAL PROPOSED COVERAGE:	40,825.10 SQFT
	41,438.68 SQFT ALLOWABLE

GROSS LAND COVERAGE ALLOWABLE		
ITEMS	ACRE	SQFT
LOT 1	6.022	262,318.32 SQFT
LOT 2	4.352	189,573.12 SQFT
TOTAL LOT AREA	10.374	451,891.44 SQFT
EXCESS OVER 2 ACRES	8.374	364,771.44 SQFT
7.5% OF EXCESS OVER 2 ACRES	N/A	27,357.858 SQFT
PRINCIPAL TO FRONT MIN. SETBACK	N/A	81.083 SQFT
PRINCIPAL TO FRONT MIN. SETBACK X 10	N/A	810.83 SQFT
SQFT ALLOWABLE (IF BEYOND 2 ACRES)	N/A	13,270 SQFT
TOTAL ALLOWABLE GROSS LAND COVER	N/A	41,438.688 SQFT

RAULT RESIDENCE

209 BEDFORD-BANKSVILLE ROAD
 BEDFORD, NY 10506

DATE: 01.13.23





TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Joseph & Celeste Rault Date: 01/13/2023

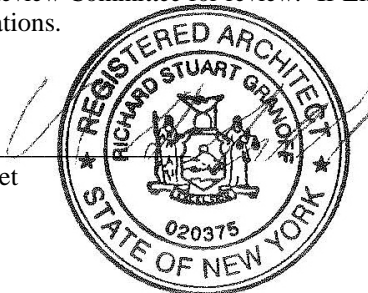
Tax Map Designation or Proposed Lot No.: 95.03-2-35

Floor Area

- | | | |
|-----|---|------------------------|
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>451,891.44 SQFT</u> |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | <u>21,936.54 SQFT</u> |
| 3. | Amount of floor area contained within first floor:
5,455.63 SQFT existing + 481.37 SQFT proposed = | <u>5,937 SQFT</u> |
| 4. | Amount of floor area contained within second floor:
4,378.8 SQFT existing + 363.2 SQFT proposed = | <u>4,742 SQFT</u> |
| 5. | Amount of floor area contained within garage:
0 SQFT existing + 1,905.72 SQFT proposed = | <u>1,905.72 SQFT</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
264 SQFT existing + 0 SQFT proposed = | <u>264 SQFT</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
0 SQFT existing + 0 SQFT proposed = | <u>0 SQFT</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
680.6 SQFT existing + 1,470.62 SQFT proposed = | <u>2,151.22 SQFT</u> |
| 9. | Amount of floor area contained within all accessory buildings:
3,822.35 SQFT existing + 5,134.49 SQFT proposed = | <u>8,956.84 SQFT</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>23,956.78 SQFT</u> |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town’s maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town’s regulations.

Signature and Seal of Professional Preparing Worksheet



01/13/2023
Date

Rault Residence
209 Bedford-Banksville Rd, NY

GROSS LAND COVERAGE AND NET SQFT						
Existing	Existing SQFT	Removal	Net SQFT	Proposed	Net SQFT	SUM
Principle Building						
Existing Dwelling	5,675.40		5,675.40	Enclosed Porch	561.71	6,237.11
					561.71	6,237.11 GRAND TOTAL:
Accessory Buildings						
Existing Cottage	2271.57	501	1770.57	N/A	1770.57	
Pool and Pool Walkway	1669.36	268.19	1401.17	New Pool House	1,249.60	2,650.77
Barn	2,117.05		2,117.05	N/A		2,117.05
Shed Lot 1	187		187	N/A		187
Existing Shed on Lot 2	433.46		433.46	New Garage	1,844.99	1,844.99
Existing Well House	84.89		84.89	ACCESS. APARTMENT	2,102.58	2,102.58
			1855.46		5197.17	11191.31 GRAND TOTAL:
Decks						
Existing Deck	0		0	ACCESS. APARTMENT DECK	385.94	385.94
						385.94 GRAND TOTAL:
Porches						
Existing Dwelling Porch	264.1		264.1			264.1
			0			0
			264.1		0	264.1 GRAND TOTAL:
Driveway, parking areas, and walkways						
Existing Flg. Walk A	400.4		400.4	New Walkway Pads A	128	528.4
Existing Flg. Walk B	665.67		665.67	New Pool House Path	424.1	1,089.77
Existing Driveway	13,141.15	1,817.17	11,323.98	New Driveway	3,797.37	15,121.35
				New Access Apt. Path	289.11	289.11
				New Pool Pathway A	636.3	636.3
				New Guest House Lawn Stairs	37.85	37.85
			12390.05		5312.73	17702.78 GRAND TOTAL:
Terraces						
Existing Dwelling Patio	1,779.05		1,779.05			1,779.05
			1779.05		0	1779.05 GRAND TOTAL:
Tennis Court, pool and mechanical equipment						
Pool House and Pool Deck	455.81	388.25	67.56	N/A	0	67.56
Pool Deck Extension			0		0	0
Existing Concrete Apron & Sport Court	2131.51		2131.51			2131.51
				New Pool and Pool Deck	892.61	892.61
			2199.07		892.61	3091.68 GRAND TOTAL:
All other Structures						
Existing Foundation Pad	173.13		173.13			173.13
			173.13		0	173.13 GRAND TOTAL:
Gross land coverage	Existing: 31,449.55	2974.61	28,474.94		12350.16	40825.1
					40825.1 GRAND TOTAL:	40,825.10 40825.1 w/o pool extension

BUILDING COVERAGE-BUILDINGS						
Existing	Existing SQFT	Removal	Net SQFT	Proposed	Net SQFT	SUM
Existing Dwelling	5,455.63		5,455.63	Proposed First Floor	481.37	5,937
Existing Dwelling Porch	0	0	0			0
Existing Cottage (DEMO)	0	0	0	New Accessory Apartment	2,060.40	2,060.4
Pool House and Pool Walkway (DEMO)	0	0	0	New Pool House	1,249.60	1,249.6
Barn	2,117.00		2,117	N/A		2,117
Well House	84.89		84.89			84.89
Shed Lot 1	187		187			187
Shed Lot 2	433.46		433.46			433.46
Garage (N/A)			0.00	New Garage	1,369.37	1,369.37
						13438.72 GRAND TOTAL:

FLOOR AREA CALCULATIONS					
Existing	Existing SQFT	Net SQFT	Proposed	Net SQFT	SUM
Main House					
Basement	0				0
Porch	264				264
1st	5455.63				481.37
2nd	4,378.80				363.2
Attic	680.6				147.54
TOTALS:					11771.14 GRAND TOTAL:
Barn					
1st	2117				0
Mezz	1000				1000
TOTALS:					3117 GRAND TOTAL:
Accessory Apartment					
1st (w/ stair extension)					2,071.89
2nd					1,813
Attic	0				0
TOTALS:					3884.89 GRAND TOTAL:
Garage					
1st	0				1,905.72
Attic	0				1,323.08
TOTALS:					3228.8 GRAND TOTAL:
Pool House					
1st					1,249.60
TOTALS:					1249.6 GRAND TOTAL:
Shed Lot 1					
1st	187				187
TOTALS:					187 GRAND TOTAL:
Shed Lot 2					
1st	433.46				433.46
TOTALS:					433.46 GRAND TOTAL:
Well House					
1st	84.89				84.89
TOTALS:					84.89 GRAND TOTAL:
OVERALL TOTAL					23956.78 OVERALL TOTAL:

Floor Area In First Floor			
EXIST	PROPOSED	EXISTING TOTAL	PROPOSED TOTAL
EXIST Main House First Floor	Main House First Floor	5455.63	481.37
5455.63 GRAND TOTAL:		5455.63	481.37
Floor Area In Second Floor			
EXIST Main House Second Floor	PROPOSED Second Floor	4,378.80	363.2
4378.8 GRAND TOTAL:		4378.8	363.2
Floor Area Garage			
		4378.8	363.2
		4378.8 EXISTING TOTAL	363.2 PROPOSED TOTAL
		4742 GRAND TOTAL	

BUILDING COVERAGE						
Existing	Existing SQFT	Removal	Net SQFT	Proposed	Net SQFT	SUM
Existing Main House Porch		264	0	264	0	264
Proposed Enclosed Porch Entry		0	0	0	30.94	30.94
New Garage Drive Through		0	0	0	501	536.35
New Garage Side Entry Porch		0	0	0	38.16	38.16
New Guest House Front Entry Porch		0	0	0	85.18	80.43
New Guest House Side Entry Porch		0	0	0	38.66	36.66
					986.54	986.54 GRAND TOTAL:
					14425.26	14425.26 GRAND TOTAL BUILDING + OPEN PORCH

3,884.89 GUEST HOUSE W/O PROPOSED ATTIC
11771.14 HOUSE TOTAL

0.41 Remove
3884.4762 33% OF FAR

			PROPOSED 1st Floor Garage	1,905.72		
	0 GRAND TOTAL:	0 EXISTING TOTAL		1,905.72	PROPOSED TOTAL	1905.72 GRAND TOTAL
Floor Area Porches						
EXIST Main House Porch	264					
	264 GRAND TOTAL:	EXISTING TOTAL		0 PROPOSED TOTAL		264 GRAND TOTAL
Floor Area Basement						
EXISTING Main House Basement	0		PROPOSED Guest House Basement	0		
	0 GRAND TOTAL:	0 EXISTING TOTAL		0 PROPOSED TOTAL		0 GRAND TOTAL
Floor Area Attics						
EXISTING Main House Attic	680.6		PROPOSED Main House Attic	147.54		828.14
			PROPOSED Guest House Attic			
			PROPOSED Garage Attic	1,323.08		
	680.6 GRAND TOTAL:	680.6 EXISTING TOTAL		1470.62	PROPOSED TOTAL	2151.22 GRAND TOTAL
Floor Area Accessory Buildings						
EXISTING Barn First Floor	2117		PROPOSED Pool House First	1,249.60		
EXISTING Barn Mezz	1000		PROPOSED Accessory Apartment First Floor	2,071.89		
EXISTING SHED LOT 1	187		PROPOSED Guest House Second Floor	1,813.00		
EXISTING SHED LOT 2	433.46					
EXISTING WELL HOUSE	84.89					
	3822.35 GRAND TOTAL:	EXISTING TOTAL		5134.49	PROPOSED TOTAL	8956.84 GRAND TOTAL
OVERALL TOTAL	14601.38	OVERALL TOTAL:		9,355	23,956.78	23956.78 OVERALL TOTAL:

GROSS LAND COVERAGE ALLOWABLE CALCULATIONS		PLANNING	
Item	Acre	SQFT	
Lot 1	6.022	262318.32	
Lot 2	4.352	189573.12	
Total Lot Area Combined	10.374	451891.44	
Excess over 2 Acres	8.374	364771.44	
7.5% Of Excess 2 Acres		27357.858	
Distance Principal to Min Front Set Back	81.083	810.83	
Distance x 10 feet			
Initial Allowable (if beyond 2 Acres)		13270	
TOTAL ALLOWABLE GROSS LAND		41438.688	

GROSS LAND COVERAGE ALLOWABLE CALCULATIONS		ARCHITECTURE	
Item	Acre	SQFT	
Lot 1	6.022	262318.32	
Lot 2	4.352	189573.12	
Lot 1 Excess Over 2 Acres	4.022	175198.32	
Lot 2 Excess Over 2 Acres	2.352	102453.12	
Lot 1 - 7.5% Of Excess 2 Acres		13139.874	
Lot 2 - 7.5% Of Excess 2 Acres		7683.984	
Distance Principal to Min Front Set Back	81.083	810.83	
Lot 1 - Initial Allowable (if beyond 2 Acres)		13270	
Lot 2 - Initial Allowable (if beyond 2 Acres)		13270	
TOTAL ALLOWABLE GROSS LAND		48174.688	

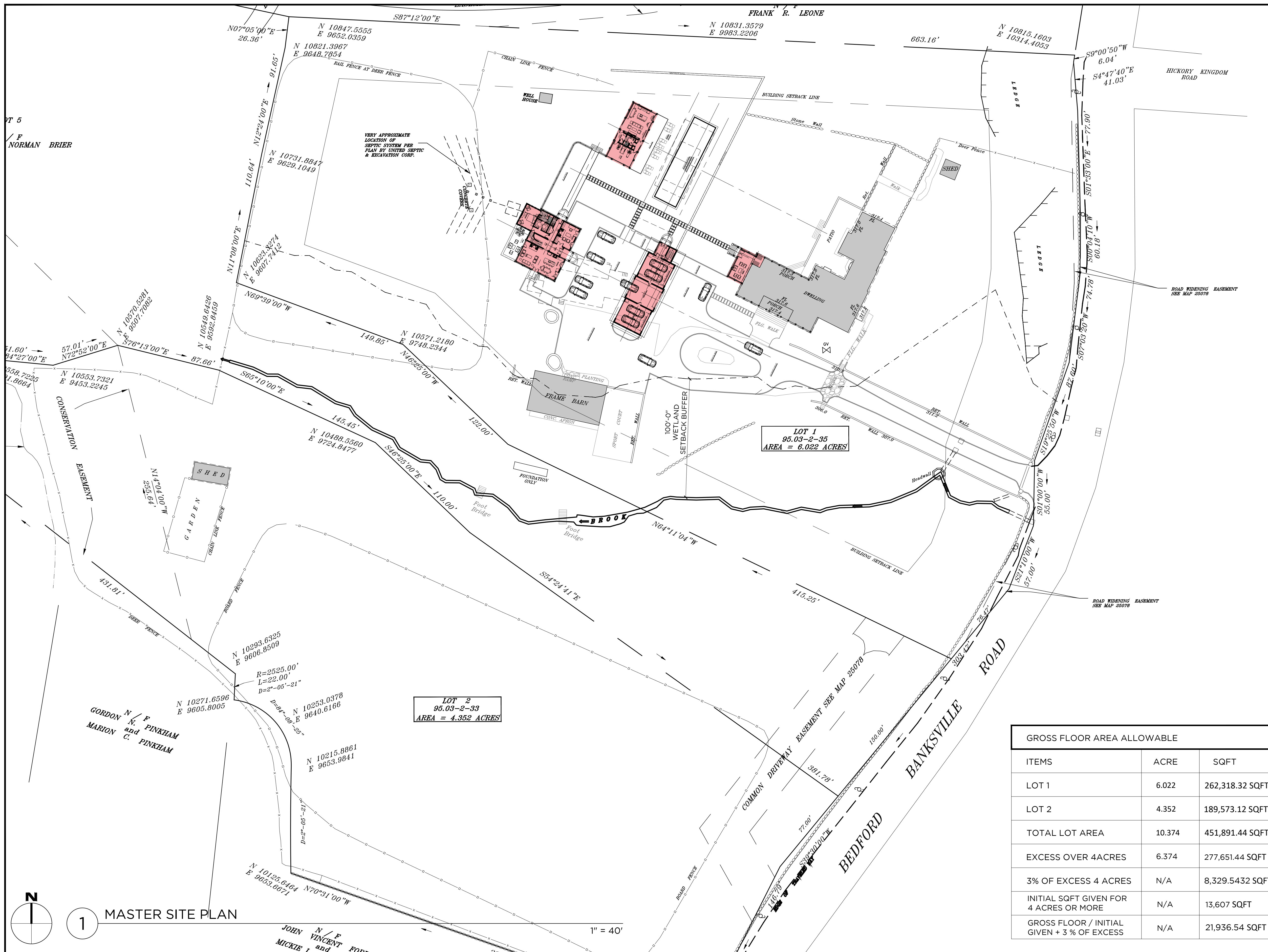
BUILDING COVERAGE ALLOWABLE CALCULATIONS		PLANNING	
Item	Acre	SQFT	
Lot 1	6.022	262318.32	
Lot 2	4.352	189573.12	
Total Lot Area Combined	10.374	451891.44	
Allowable Building Coverage (6%)		27113.4864	

BUILDING COVERAGE ALLOWABLE CALCULATIONS		ARCHITECTURE	
Item	Acre	SQFT	
Lot 1	6.022	262318.32	
Lot 2	4.352	189573.12	
Lot 1 - 6% of Lot Coverage	0.36132	15739.0992	
Lot 2 - 6% of Lot Coverage	0.26112	11374.3872	
Allowable Building Coverage (6%)		27113.4864	

GROSS FLOOR AREA ALLOWABLE CALCULATIONS		PLANNING	
Item	Acre	SQFT	
Lot 1	6.022	262318.32	
Lot 2	4.352	189573.12	
Total Lot Area Combined	10.374	451891.44	
Excess over 4 Acres	6.374	277651.44	
3% of Excess 4 Acres		8329.5432	
Initial SQFT given for 4 Acres or More		13607	
Gross Floor / Initial Given + 3% of Excess		21936.5432	

GROSS FLOOR AREA ALLOWABLE CALCULATIONS		ARCHITECTURE	
Item	Acre	SQFT	
Lot 1	6.022	262318.32	
Lot 2	4.352	189573.12	
Lot 1 - Excess over 4 Acres	2.022	88078.32	
Lot 2 - Excess over 4 Acres	0.352	15333.12	
Total of Excess		103411.44	
3% of Excess 4 Acres		3102.3432	
Lot 1- Initial SQFT given for 4 Acres or More		13607	
Lot 2- Initial SQFT given for 4 Acres or More		13607	
Gross Floor / Initial Given + 3% of Excess		30316.3432	

GROSS FLOOR AREA ALLOWABLE (25% EXCESS)		ARCHITECTURE
Item	SQFT	
GROSS FAR PRINCIPAL		11771.14
EXCESS BEYOND 2000 SQFT		9771.14
25% OF EXCESS		2442.785
INITIAL SQFT GIVEN		2000
TOTAL 25% EXCESS FAR		4442.785



FAR	
BUILDINGS	SQFT
EXISTING MAIN HOUSE - 1ST FLOOR	5,455.63 SQFT
EXISTING MAIN HOUSE - 2ND FLOOR	4,378.8 SQFT
EXISTING MAIN HOUSE - ATTIC	680.60 SQFT
EXISTING MAIN HOUSE - PORCH	264 SQFT
MAIN HOUSE - PROPOSED FIRST FLOOR	481.37 SQFT
PROPOSED MAIN HOUSE - SECOND FLOOR	363.2 SQFT
PROPOSED MAIN HOUSE - ATTIC	147.54 SQFT
BARN FIRST FLOOR	2117 SQFT
BARN MEZZ	1000 SQFT
ACCESSORY APARTMENT 1ST FLOOR	2,071.89 SQFT
ACCESSORY APARTMENT 2ND FLOOR	1,813 SQFT
GARAGE FIRST FLOOR	1,905.72 SQFT
GARAGE ATTIC	1,323.08 SQFT
POOL HOUSE FIRST FLOOR	1,249.60 SQFT
SHED LOT 1	187 SQFT
SHED LOT 2	433.46 SQFT
WELL HOUSE	84.89 SQFT
GRAND TOTAL:	23,956.78 SQFT
	21,936 SQFT ALLOWABLE

DETACHED ACC. APT. GROSS FLOOR AREA	
MAIN HOUSE EXISTING PORCH	264 SQFT
MAIN HOUSE EXISTING 1ST FL	5455.63 SQFT
MAIN HOUSE EXISTING 2ND FL	4,378.80 SQFT
MAIN HOUSE EXISTING ATTIC	680.6 SQFT
MAIN HOUSE PROP. 1ST FLOOR	481.37 SQFT
MAIN HOUSE PROP. 2ND FLOOR	363.2 SQFT
MAIN HOUSE PROP. ATTIC	147.54 SQFT
GROSS FLOOR AREA TOTAL	11,771.14 SQFT
33% MAX ALLOW. OF PRINCIPLE BUILD.	3,884 SQFT
PROPOSED ACCESS. APT. SQFT	3,884 SQFT
25% OF EXCESS ADDITION	
GROSS FLOOR AREA TOTAL	11,771.14 SQFT
EXCESS BEYOND 2,000 SQFT	9771.14 SQFT
25% OF EXCESS	2,442.785 SQFT
INITIAL SQFT GIVEN	2,000 SQFT
TOTAL 25% EXCESS GROSS FLOOR AREA	4,442.78 SQFT

GROSS FLOOR AREA ALLOWABLE		
ITEMS	ACRE	SQFT
LOT 1	6.022	262,318.32 SQFT
LOT 2	4.352	189,573.12 SQFT
TOTAL LOT AREA	10.374	451,891.44 SQFT
EXCESS OVER 4ACRES	6.374	277,651.44 SQFT
3% OF EXCESS 4 ACRES	N/A	8,329.5432 SQFT
INITIAL SQFT GIVEN FOR 4 ACRES OR MORE	N/A	13,607 SQFT
GROSS FLOOR / INITIAL GIVEN + 3 % OF EXCESS	N/A	21,936.54 SQFT

RAULT RESIDENCE

209 BEDFORD-BANKSVILLE ROAD
 BEDFORD, NY 10506

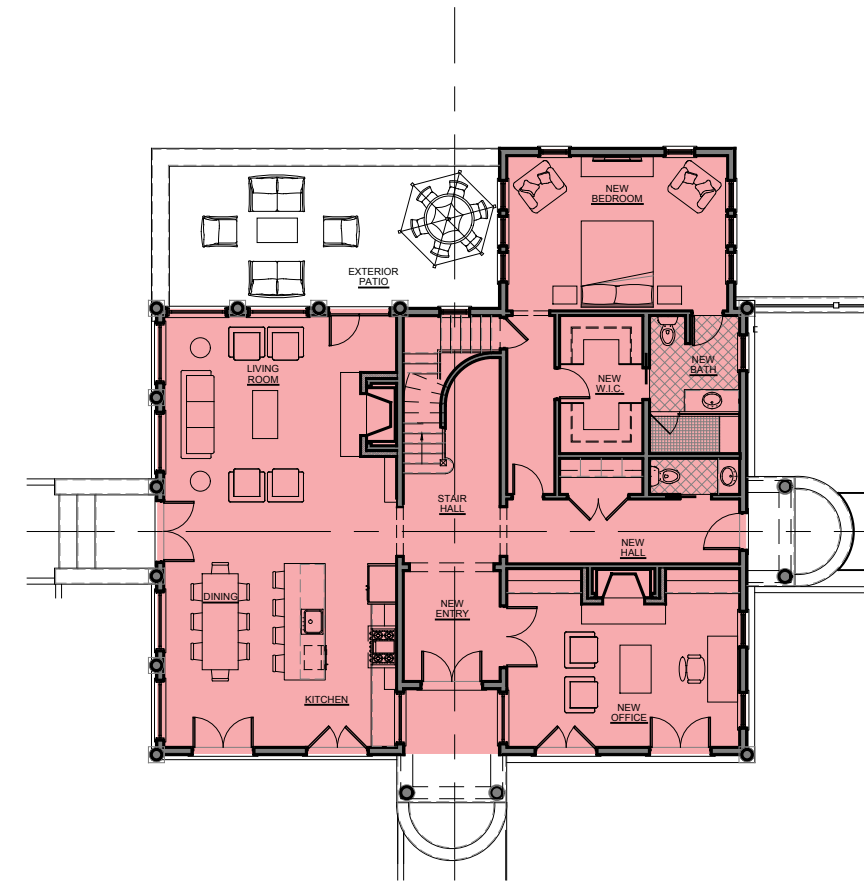
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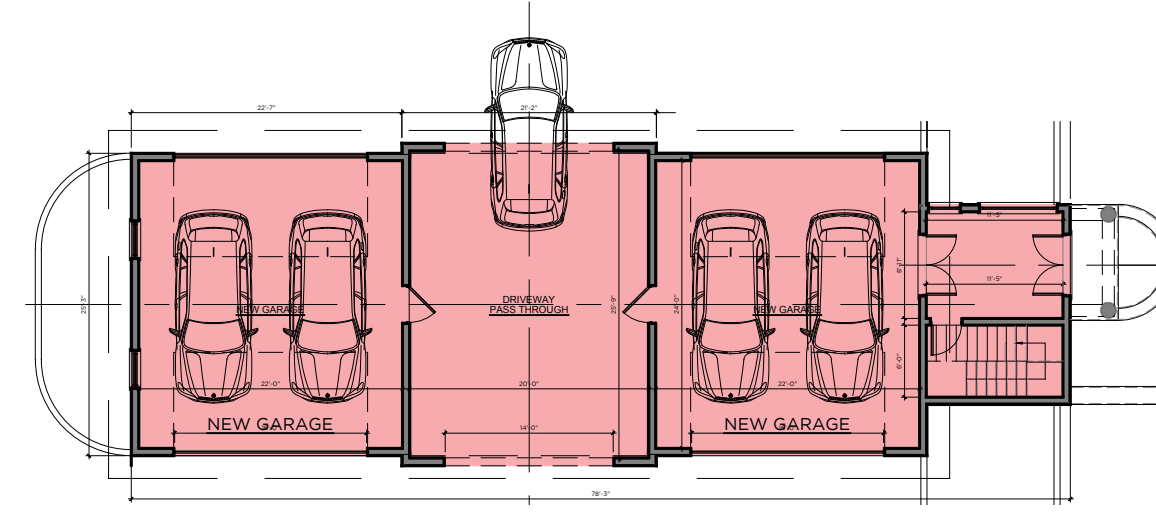
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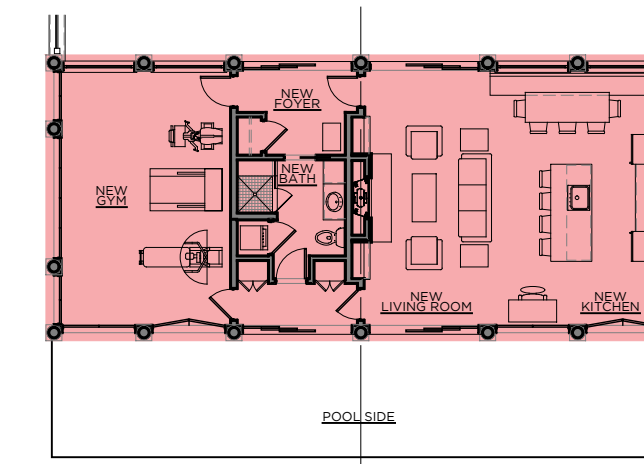
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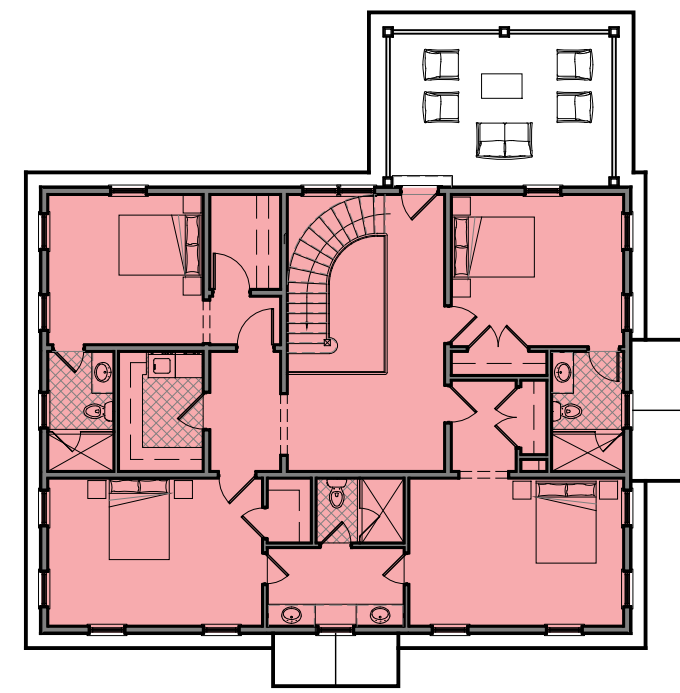
1 ACCESSORY APARTMENT FIRST FLOOR
2,071.89 SQFT 1/16" = 1'-0"



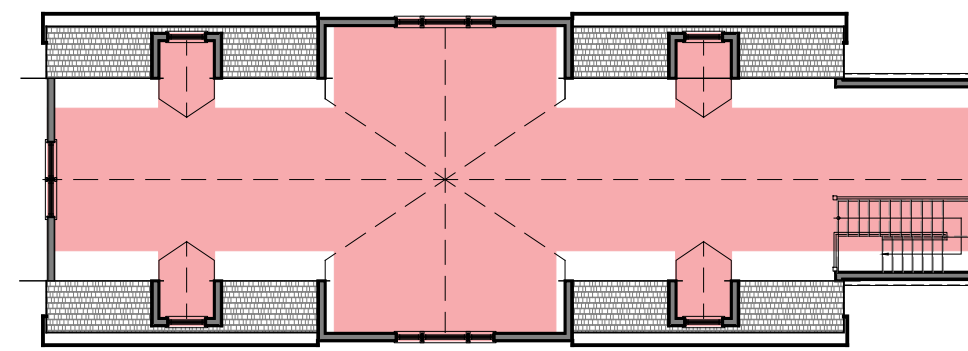
2 GARAGE FIRST FLOOR
1,905.72 SQFT 1/16" = 1'-0"



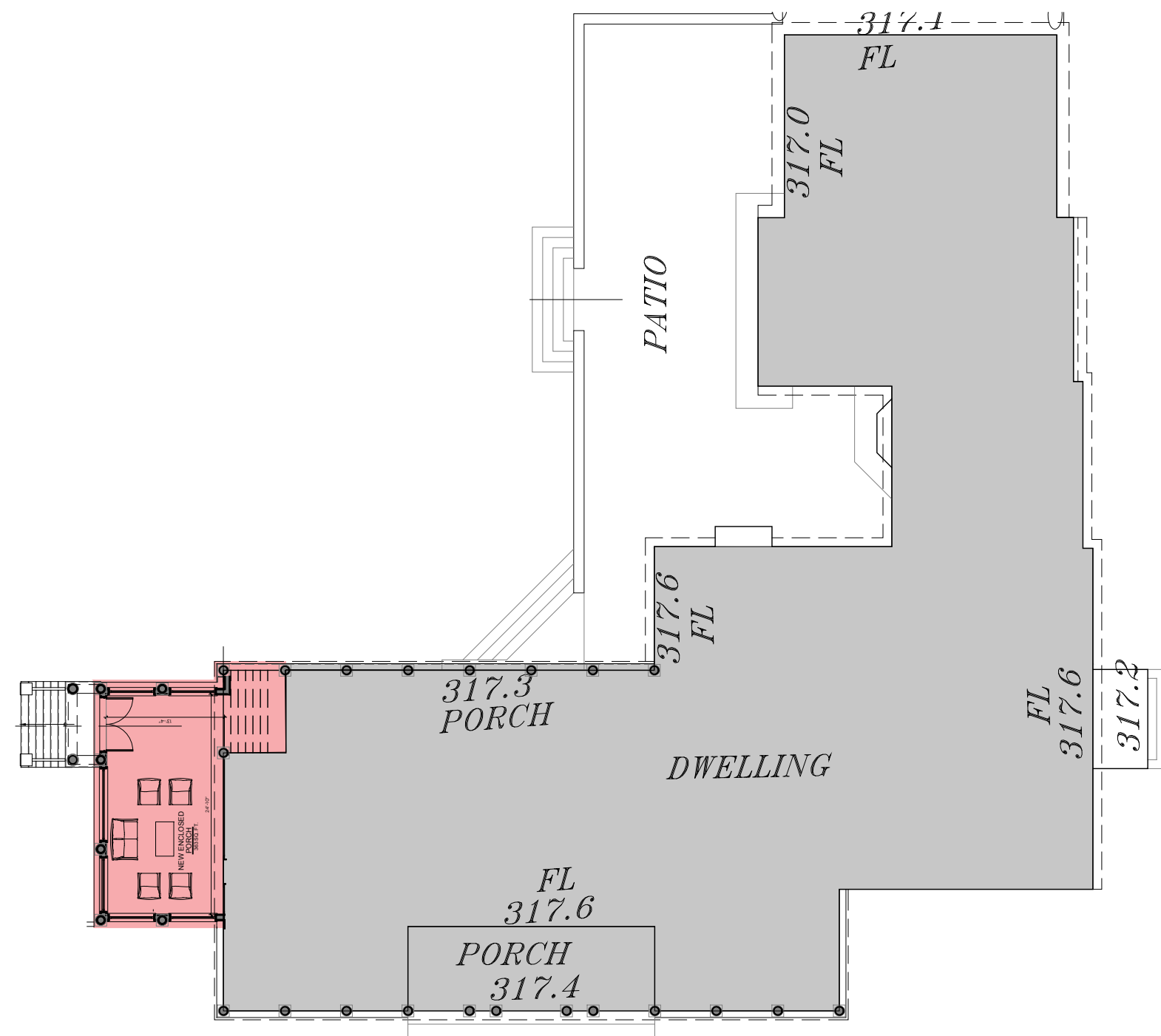
3 POOL HOUSE FIRST FLOOR
1,249.60 SQFT 1/16" = 1'-0"



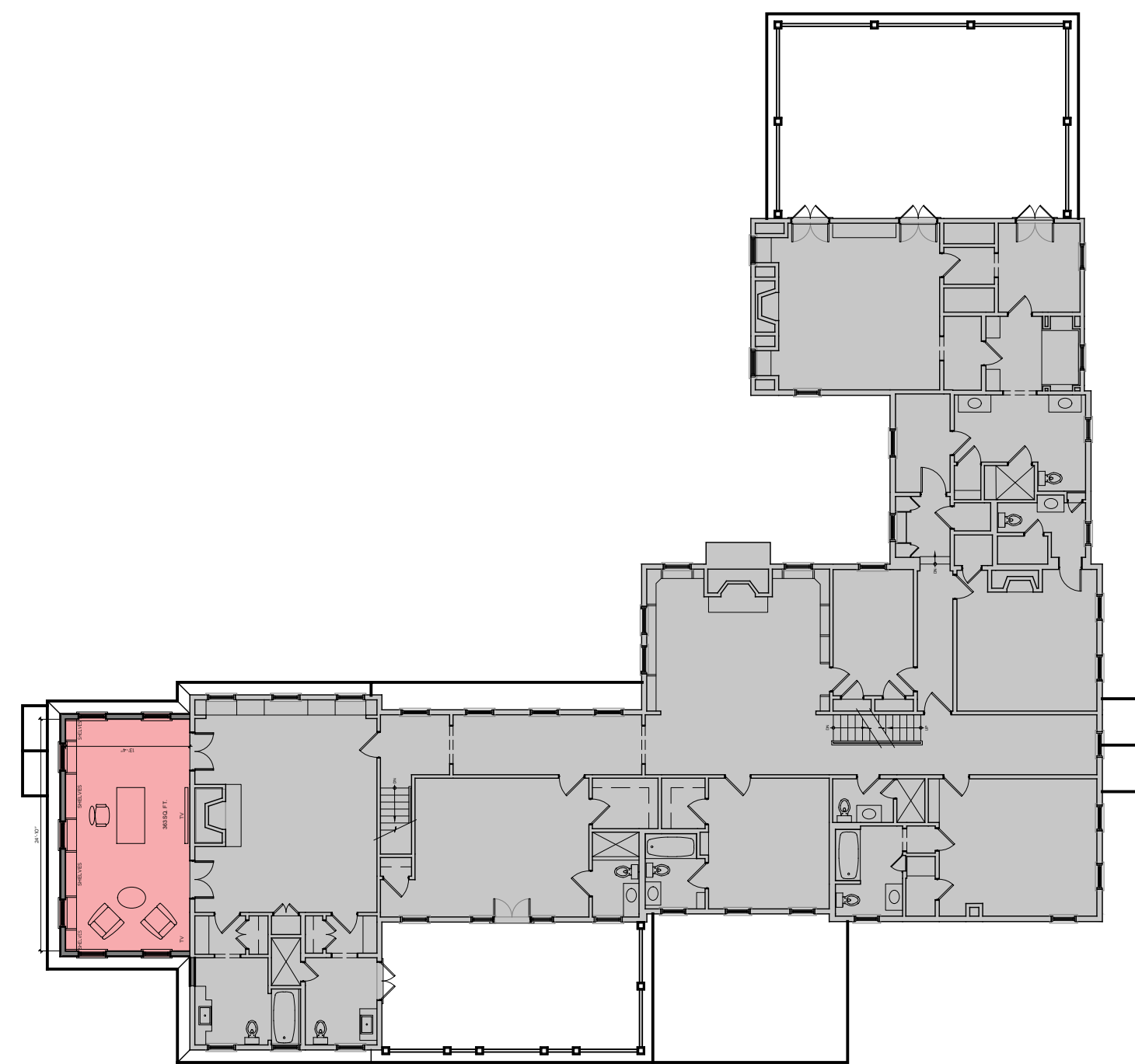
4 ACCESSORY APARTMENT SECOND FLOOR
1,813 SQFT 1/16" = 1'-0"



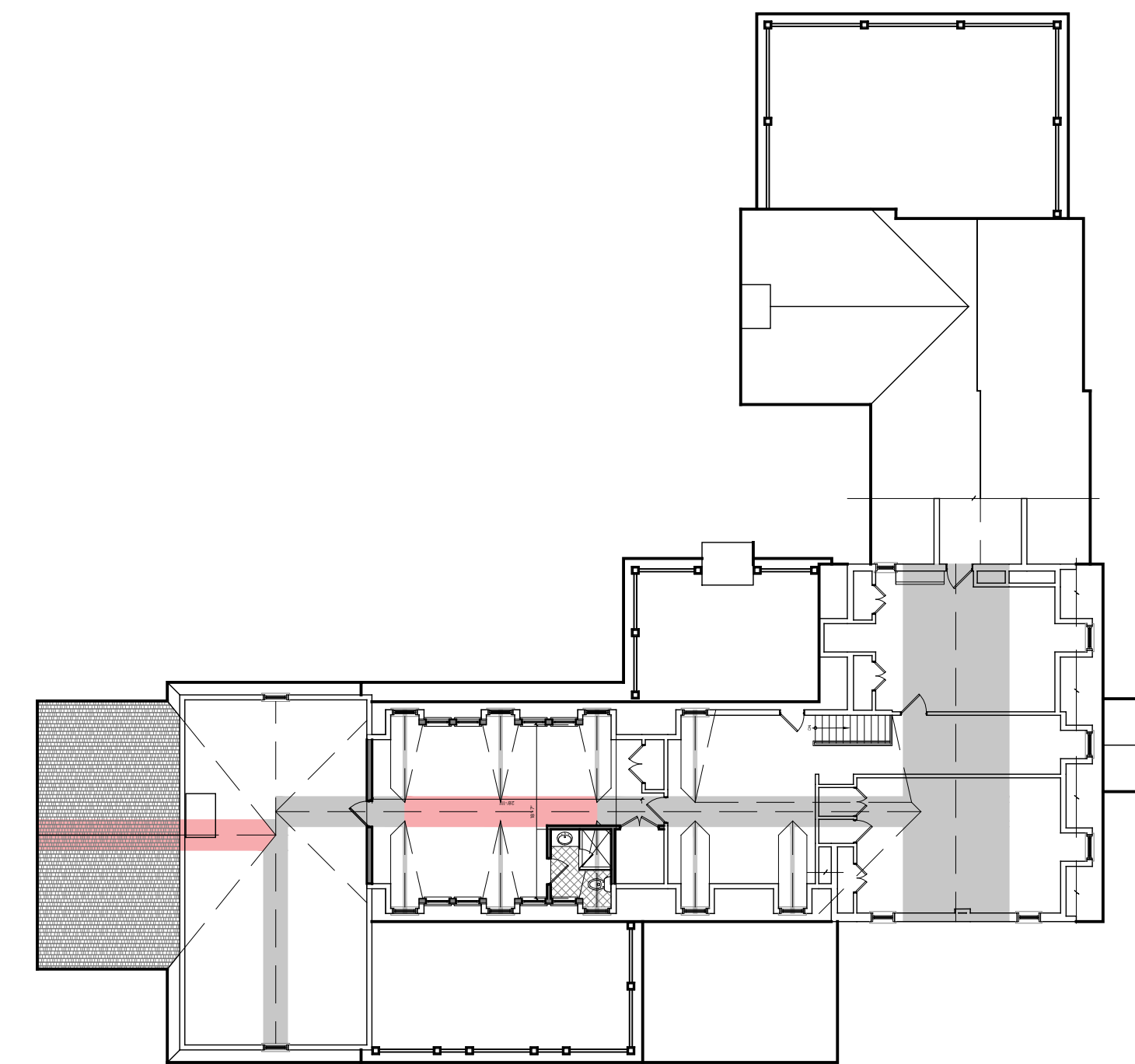
5 GARAGE ATTIC
1,323.08 SQFT 1/16" = 1'-0"



6 MAIN HOUSE FIRST FLOOR
5,937 SQFT 1/16" = 1'-0"



7 MAIN HOUSE SECOND FLOOR
4,742 SQFT 1/16" = 1'-0"



8 MAIN HOUSE ATTIC
828.14 SQFT 1/16" = 1'-0"



ZONING DISTRICT: R-4A			
DIMENSIONAL REGULATIONS	REQ.	PROP.	VARIANCE REQ.
MAIN HOUSE			
MINIMUM YARD REQ.:			
NORTHERN SIDE	50'	175'-10"	NONE
SOUTHERN SIDE	50'	207'-4"	NONE
REAR	50'	408'-6"	NONE
FRONT	75'	265'-4"	NONE
HEIGHT			
BUILDING HEIGHT	30'	29'-2"	NONE
BUILDING STORIES	N/A	2-1/2	NONE
GARAGE			
MINIMUM YARD REQ.:			
NORTHERN SIDE	50'	173'-10"	NONE
SOUTHERN SIDE	50'	131'-2"	NONE
REAR	50'	317'-2"	NONE
FRONT	75'	368'-11"	NONE
HEIGHT			
BUILDING HEIGHT	15'	23'-3"	REQUIRED
BUILDING STORIES	1-1/2	1-1/2	NONE
POOL HOUSE			
MINIMUM YARD REQ.:			
NORTHERN SIDE	50'	56'-8"	NONE
SOUTHERN SIDE	50'	249'-8"	NONE
REAR	50'	282'-11"	NONE
FRONT	75'	388'-4"	NONE
HEIGHT			
BUILDING HEIGHT	15'	14'-6"	NONE
BUILDING STORIES	1-1/2	1	NONE
ACCESSORY APARTMENT			
MINIMUM YARD REQ.:			
NORTHERN SIDE	50'	147'	NONE
SOUTHERN SIDE	50'	131'-10"	NONE
REAR	50'	217'-10"	NONE
FRONT	75'	426'-8"	NONE
HEIGHT			
BUILDING HEIGHT	15'	29'-1"	REQUIRED
BUILDING STORIES	1-1/2	2-1/2	REQUIRED

SITE DATA:

OWNER / DEVELOPER: JOSEPH & CELESTE RAULT
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

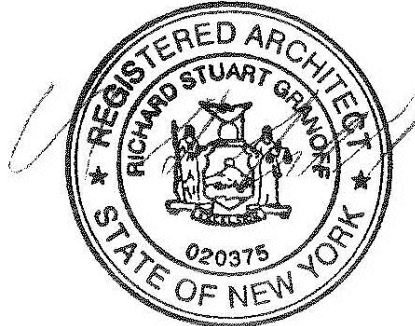
PROJECT LOCATION: 209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

EXISTING TOWN ZONING: R-4A, ONE FAMILY RESIDENCE DISTRICT (4 ACRES)
PROPOSED USE: R-4A, ONE FAMILY RESIDENCE DISTRICT (4 ACRES)
TOWN TAX MAP DATA: SECTION 95.03, BLOCK 2, LOT 35
SITE AREA: 6.022 ACRES (262,318.32 SF)
SEWAGE FACILITIES: ONSITE SUBSURFACE TREATMENT SYSTEM
WATER FACILITIES: PRIVATE WELL
WATERSHED: INLAND LONG ISLAND SOUND BASIN

RAULT RESIDENCE

209 BEDFORD-BANKSVILLE ROAD
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DATE: 01.13.23



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BUILDING COVERAGE TOTALS	
BUILDINGS	SQFT
EXISTING MAIN HOUSE	5455.63 SQFT
EXISTING ACCESSORY APARTMENT	0 SQFT (DEMO)
EXISTING POOL HOUSE	0 SQFT (DEMO)
EXISTING BARN	2,117 SQFT
EXISTING WELL HOUSE	84.89 SQFT
SHED LOT 1	187 SQFT
SHED LOT 2	433.46 SQFT
PROPOSED GARAGE	1,369.37 SQFT
PROPOSED ACCESSORY APARTMENT	2,060.40 SQFT
PROPOSED POOL HOUSE	1,249.6 SQFT
PROPOSED MAIN HOUSE 1ST FLOOR	481.37 SQFT
GRAND TOTAL:	13,438.72 SQFT

EXISTING MAIN HOUSE PORCH	264 SQFT
PROPOSED ENCLOSED PORCH ENTRY	30.94 SQFT
GARAGE DRIVE-THROUGH	536.35 SQFT
GARAGE SIDE ENTRY PORCH	38.16 SQFT
ACCESSORY APT. FRONT ENTRY PORCH	80.43 SQFT
ACCESSORY APT. SIDE ENTRY PORCH	36.66 SQFT
GRAND TOTAL:	986.54 SQFT
GRAND TOTAL:	14,425.26 SQFT

BUILDING COVERAGE ALLOWABLE:	
ITEMS	ACRES / SQFT
LOT 1	6.022 / 262,318 SQFT
LOT 2	4.352 / 189,573 SQFT
TOTAL FAR	10.374 / 451,891.44 SQFT
6% OF FAR MAX. BUILDING COVER.	27,113.48 SQFT ALLOWABLE

- KEY:
- EXISTING BUILDING COVERAGE
 - PROPOSED BUILDING COVERAGE
 - OPEN PORCHES

BUILDING COVERAGE:

THAT PERCENTAGE OF THE LAND AREA COVERED BY THE COMBINED AREA OF ALL BUILDINGS ON ALL OR THAT PORTION OF THE LOT WITHIN THE SAME ZONING DISTRICT AS THE MAIN BUILDING.

RAULT RESIDENCE

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DATE: 01.13.23



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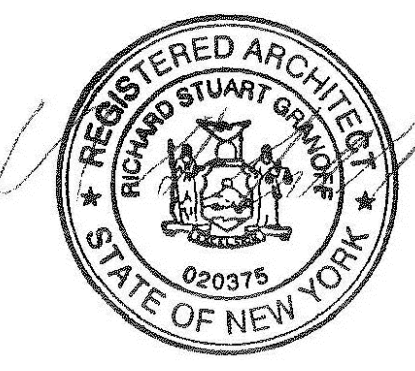


1 SITE PLAN

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 BEDFORD, NEW YORK

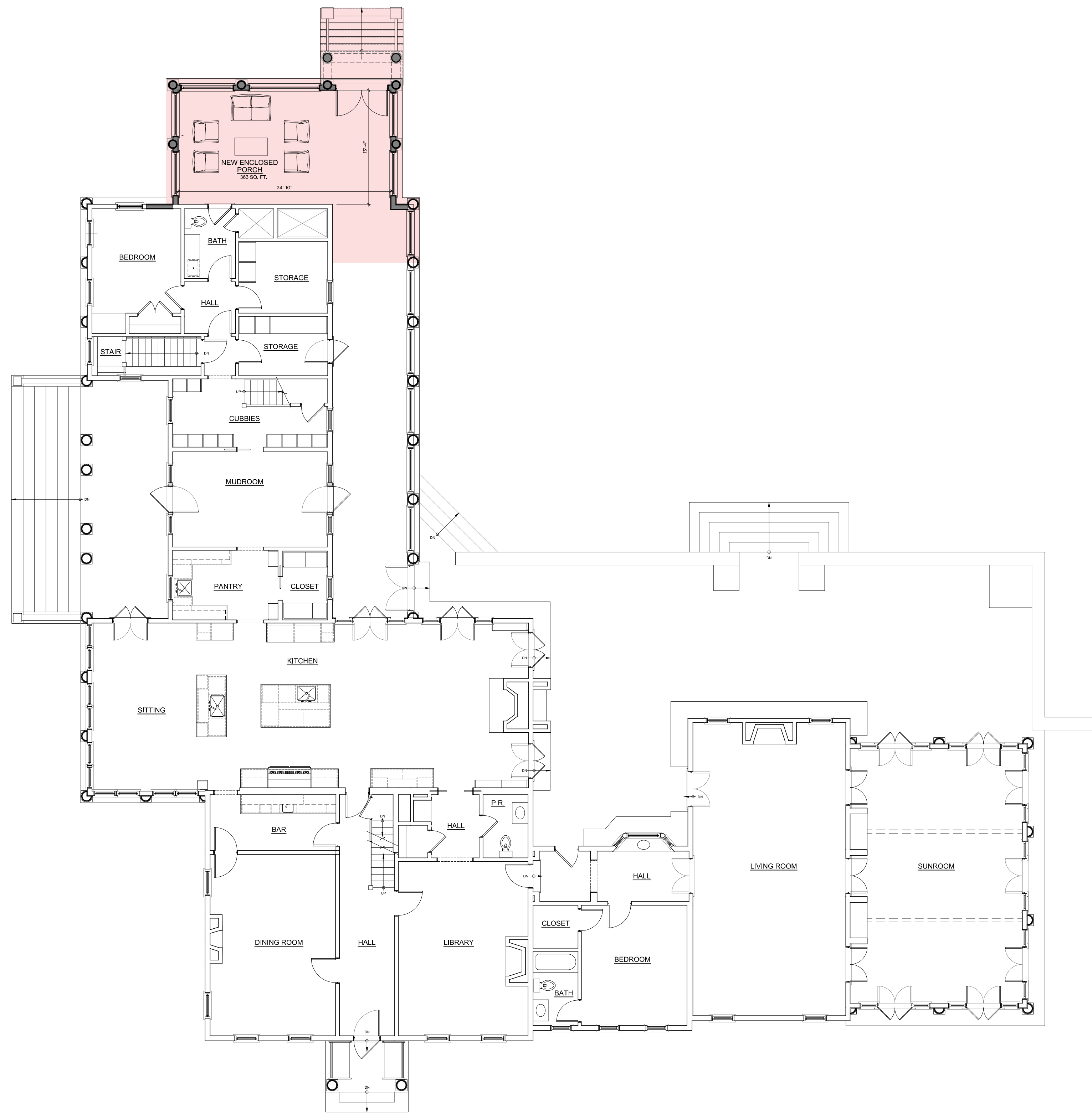
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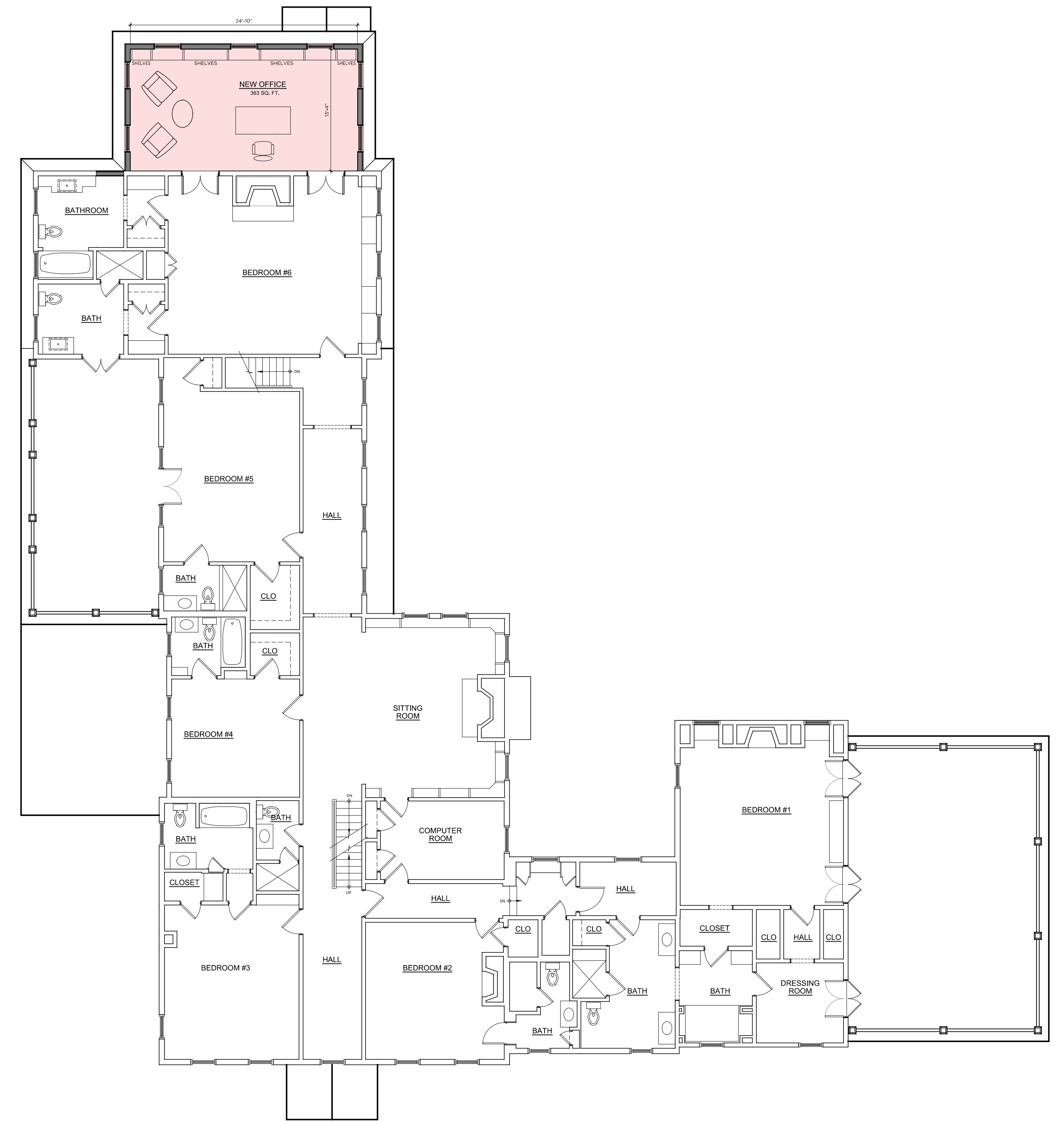
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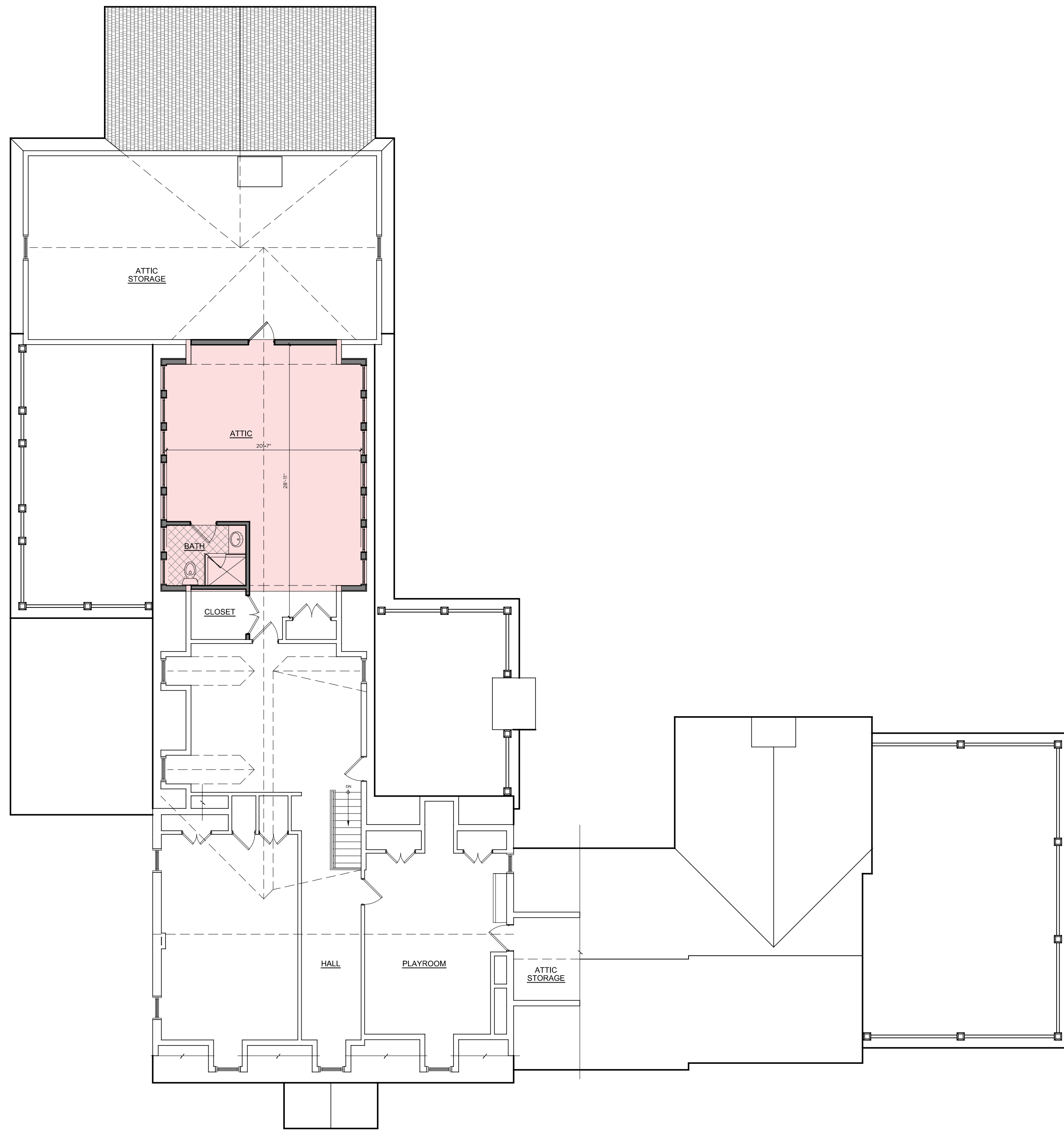
1 MAIN HOUSE FIRST FLOOR PLAN

1/8"=1'-0"



2 MAIN HOUSE SECOND FLOOR PLAN

1/8"=1'-0"



1 MAIN HOUSE ATTIC PLAN

1/8"=1'-0"



GRANOFF ARCHITECTS

330 RAILROAD AVENUE
GREENWICH, CT 06830

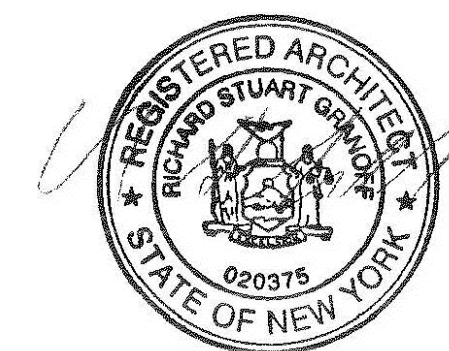
203.625.9460

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RAULT RESIDENCE

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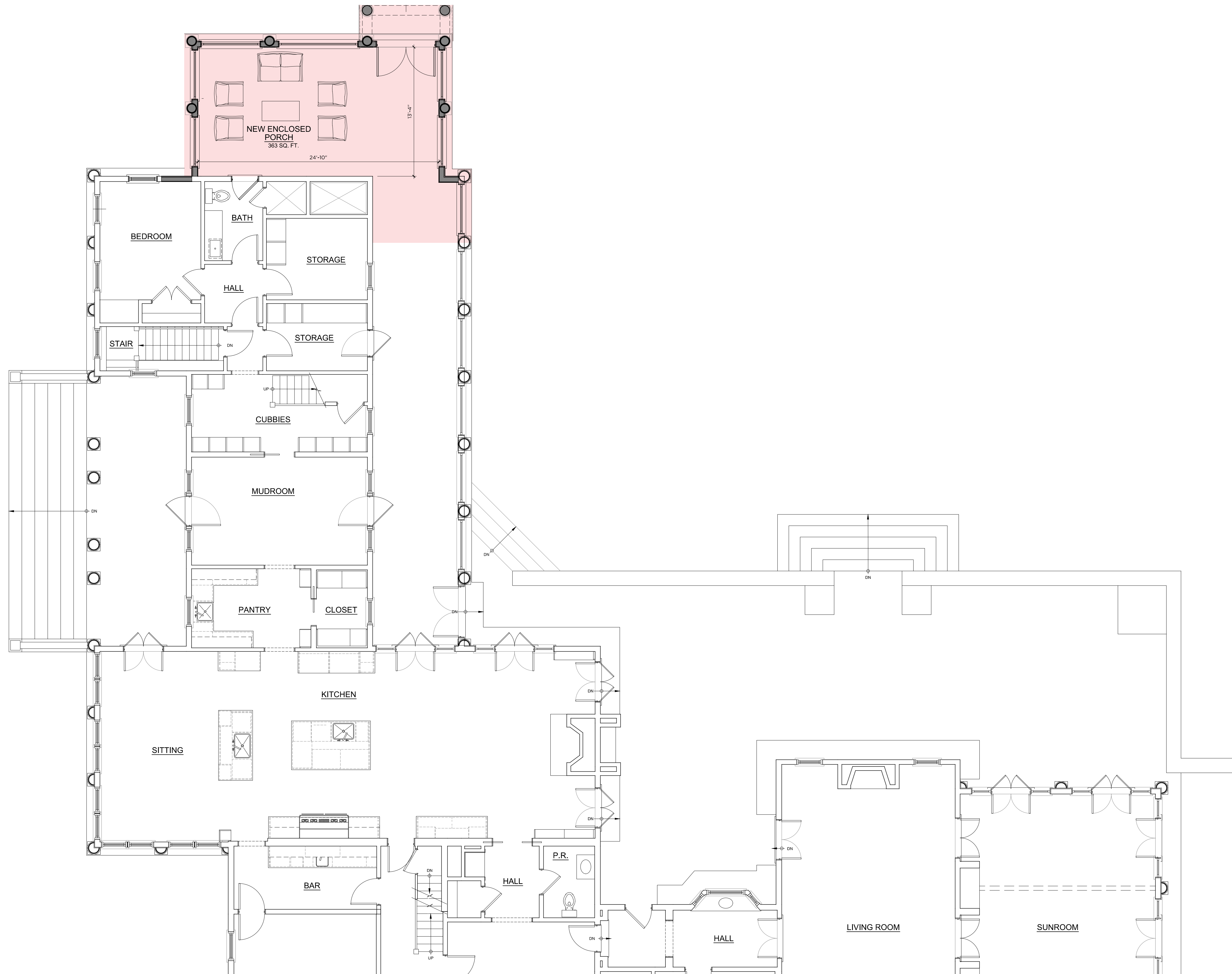
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1 FIRST FLOOR PLAN

3/16"=1'-0"



GRANOFF ARCHITECTS

330 RAILROAD AVENUE
GREENWICH, CT 06830

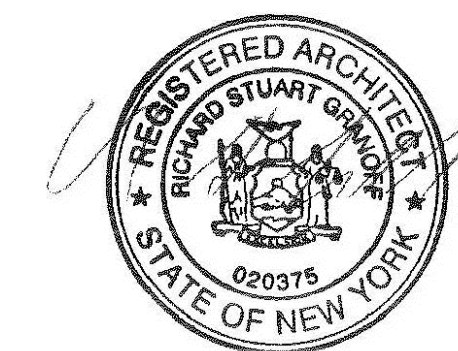
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RAULT RESIDENCE

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BEDFORD, NEW YORK

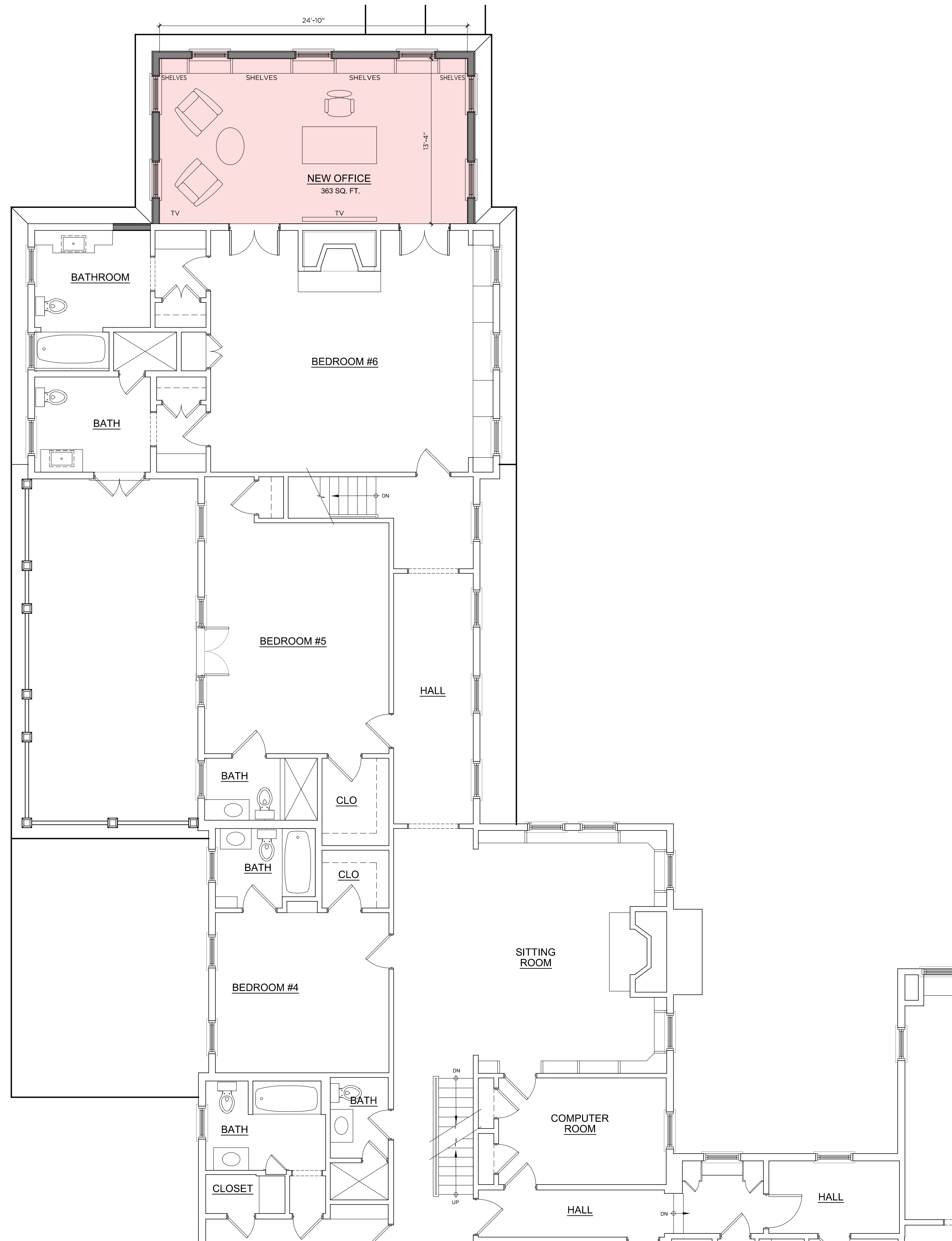
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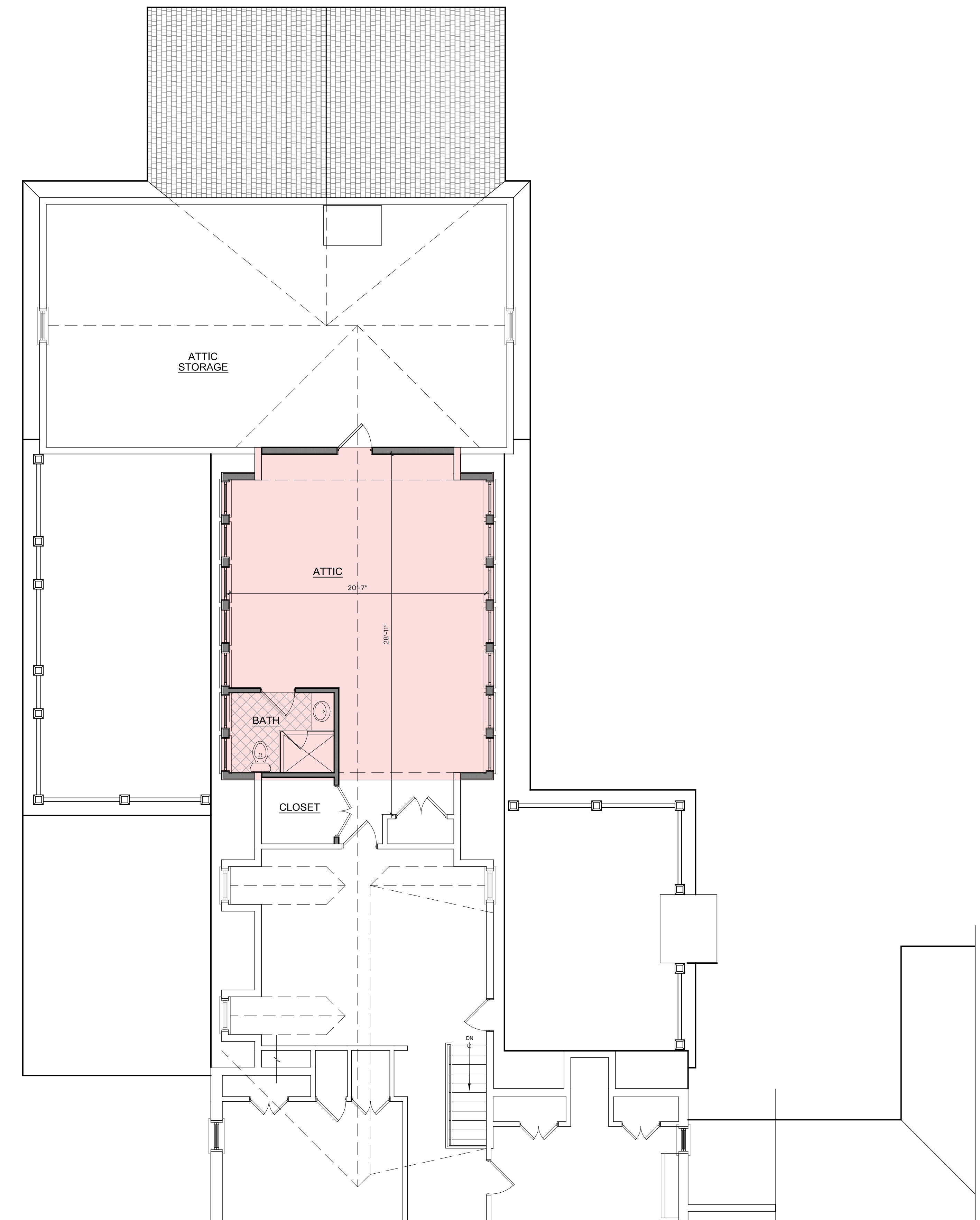
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1 SECOND FLOOR PLAN

3/16"=1'-0"



2 ATTIC PLAN

3/16"=1'-0"



1 NORTH ELEVATION
OPTION A

3/16"=1'-0"



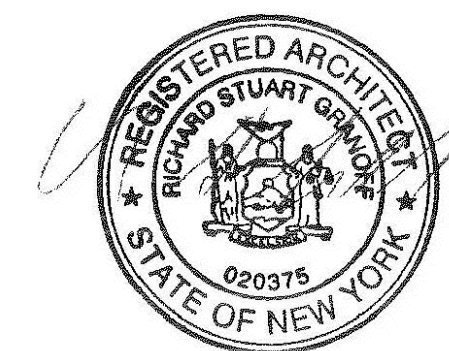
1 NORTH ELEVATION

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
 BEDFORD, NEW YORK

DATE: 1-13-23



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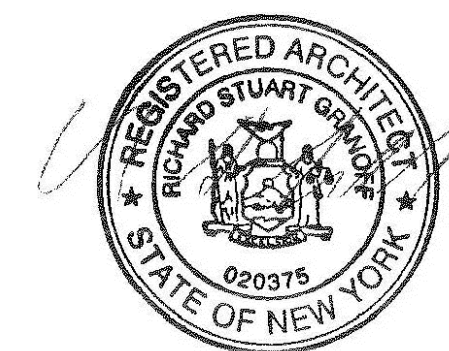
1 WEST ELEVATION

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
 BEDFORD, NEW YORK

DATE: 1-13-23



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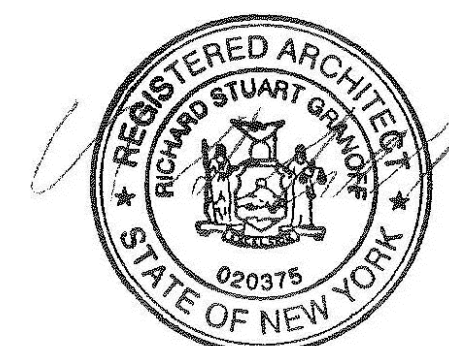
1 SOUTH ELEVATION

1/4"=1'-0"

RAULT RESIDENCE

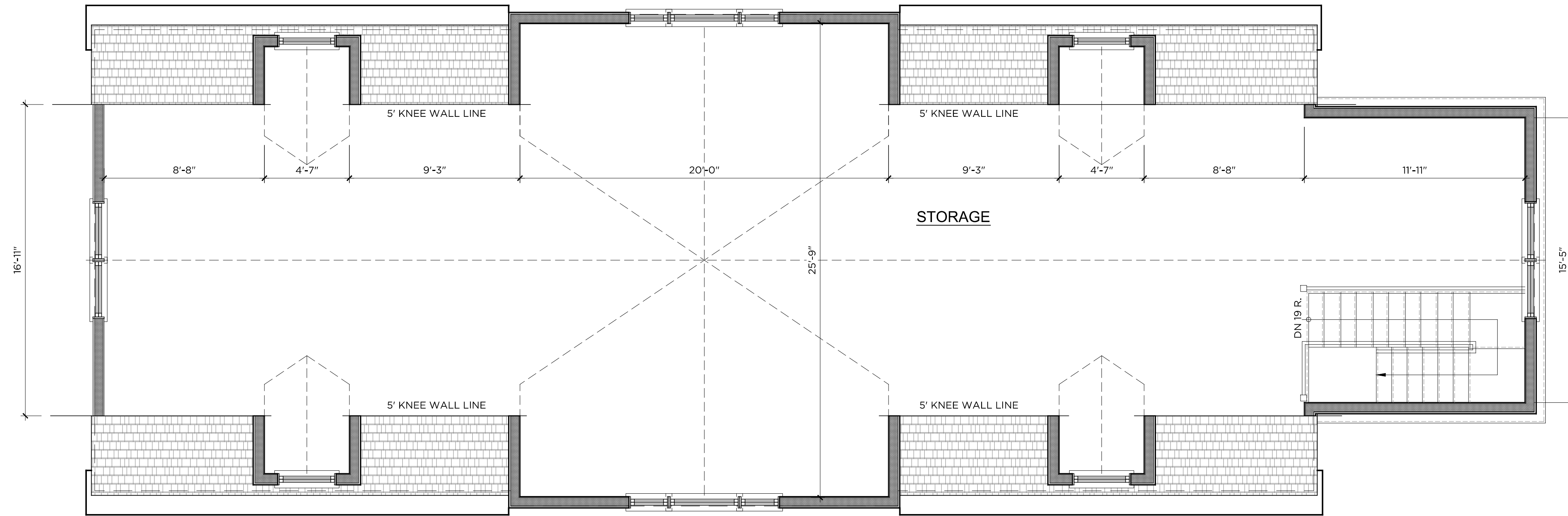
209 BEDFORD BANKSVILLE ROAD
 BEDFORD, NEW YORK

DATE: 1-13-23



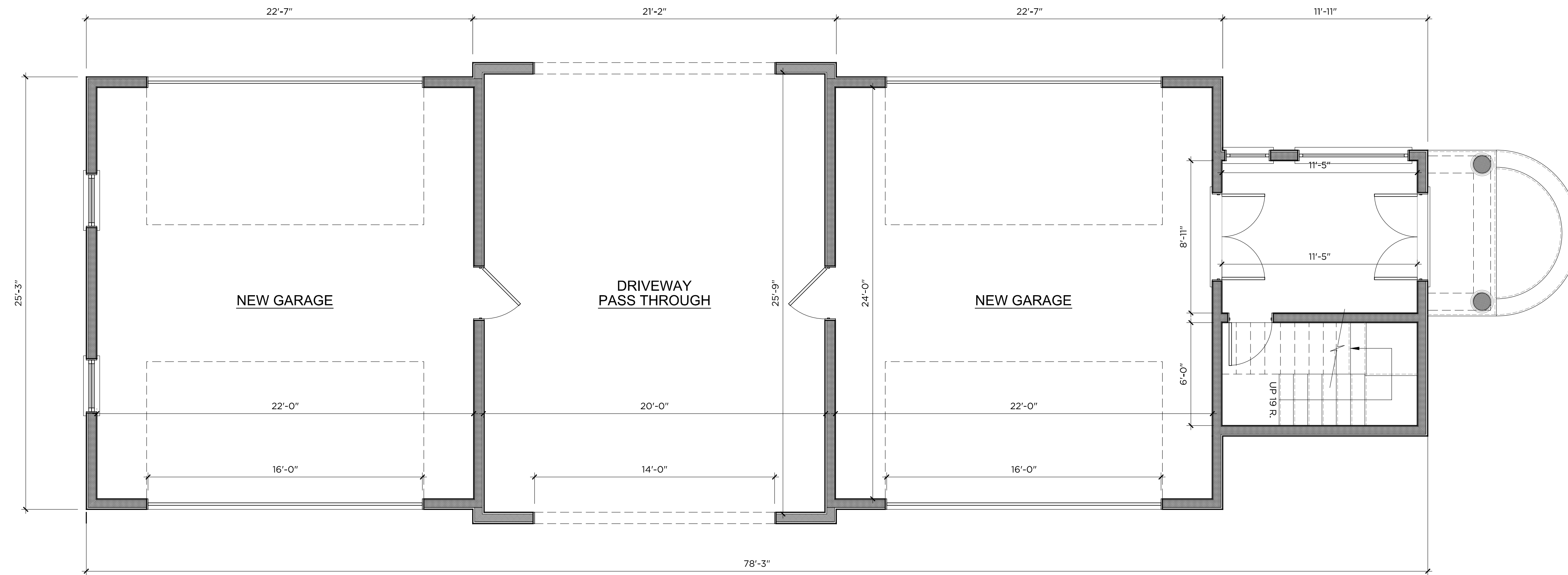
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A303

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2 GARAGE FIRST FLOOR PLAN
1,618 S.F.

1/4"=1'-0"



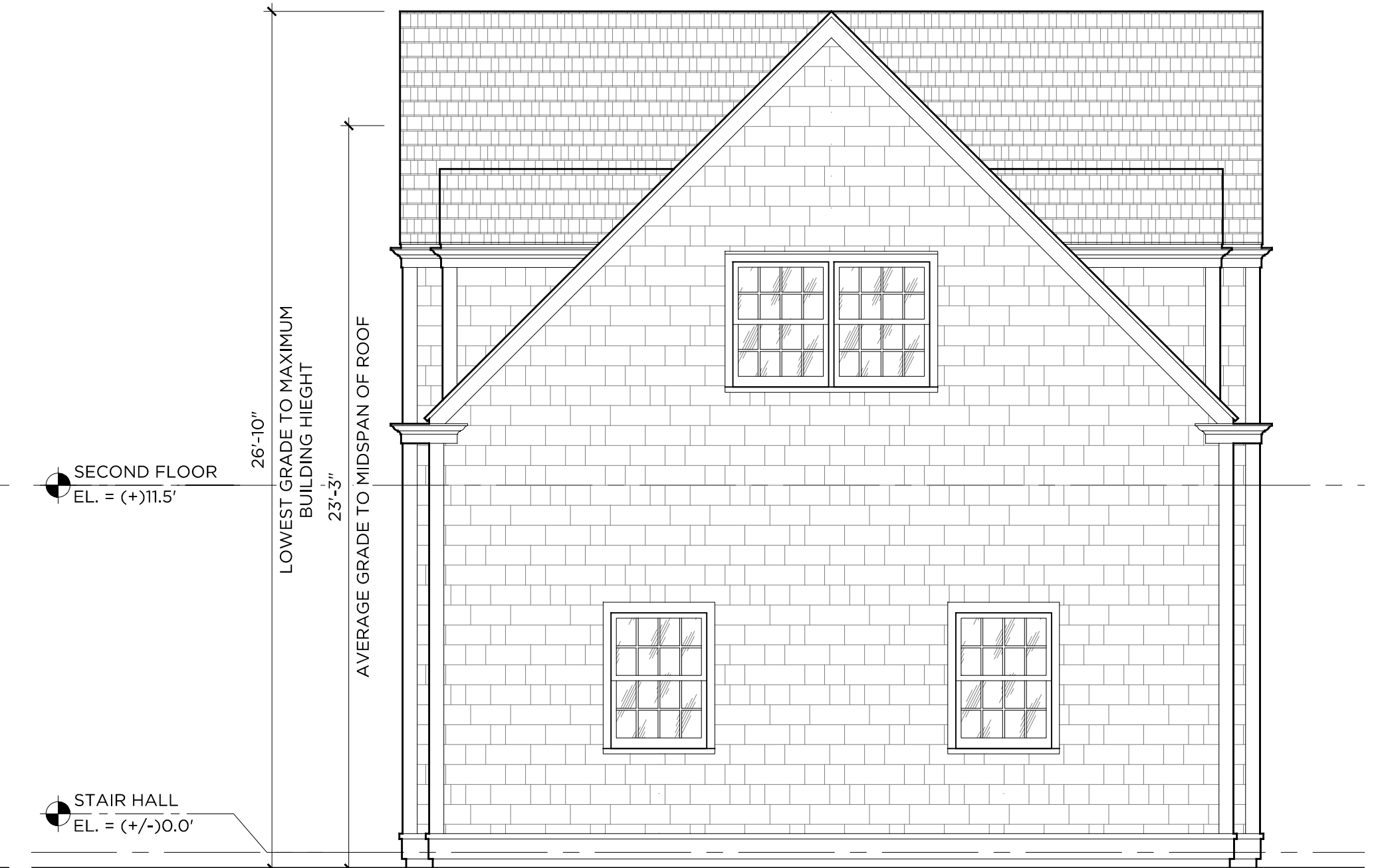
1 GARAGE FIRST FLOOR PLAN
1,906 S.F.

1/4"=1'-0"



1 EAST ELEVATION

1/4"=1'-0"



2 NORTH ELEVATION

1/4"=1'-0"

SECOND FLOOR
EL. = (+)11.5'

STAIR HALL
EL. = (+/-)0.0'

GARAGE
EL. = (-)0.5'

26'-10"
LOWEST GRADE TO MAXIMUM
BUILDING HEIGHT

23'-3"
AVERAGE GRADE TO MIDSPAN OF ROOF



1 WEST ELEVATION

1/4"=1'-0"



2 SOUTH ELEVATION

1/4"=1'-0"



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330 RAILROAD AVENUE
GREENWICH, CT 06830

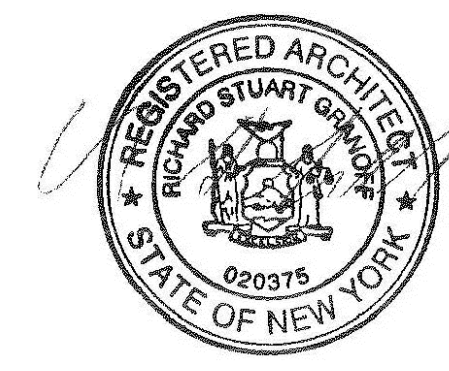
203.625.9460

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RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

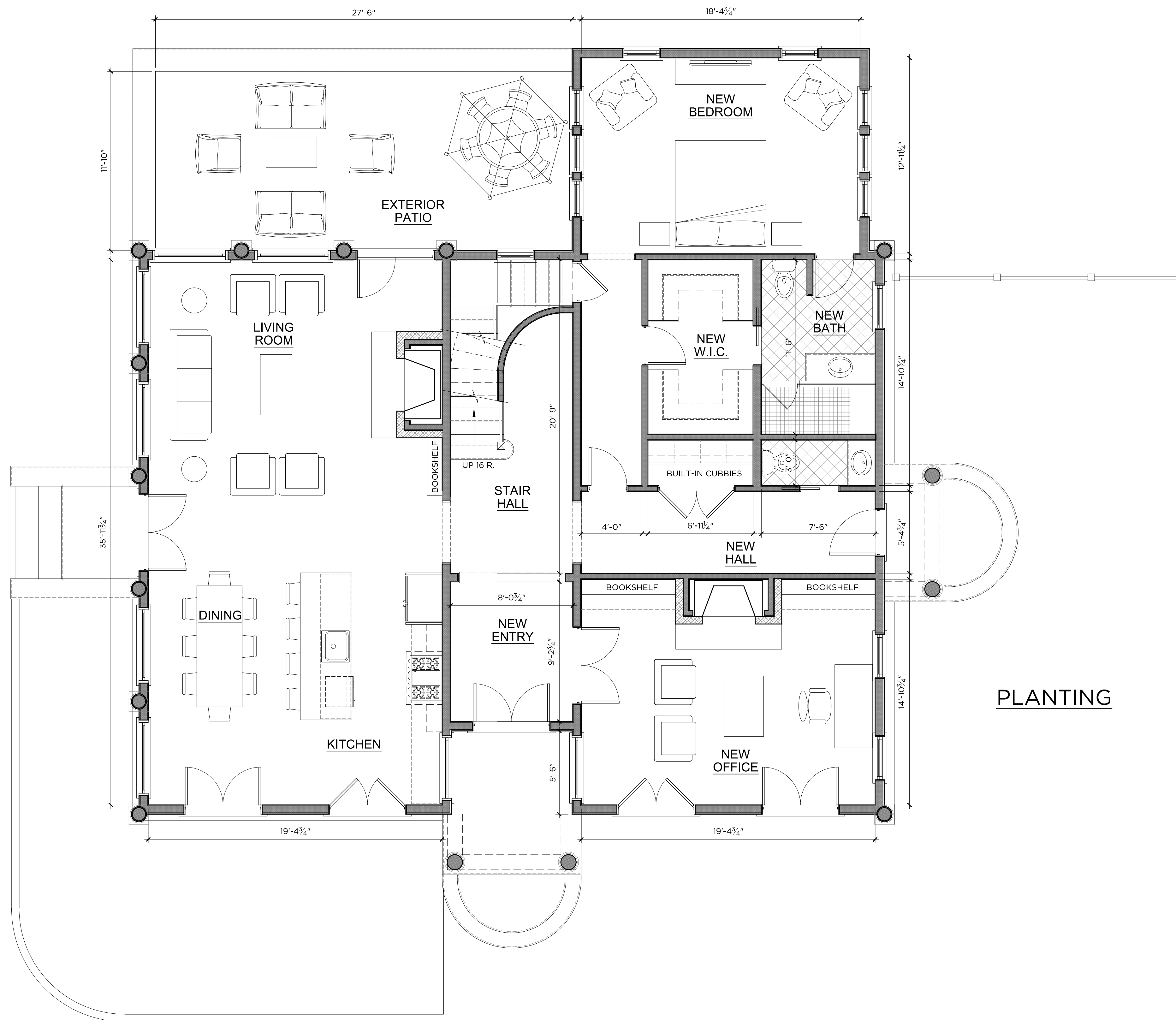
DATE: 1-13-23



DRAWING NO.:

A302 GAR

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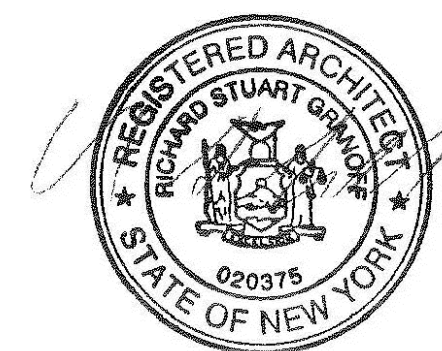
1 GUEST HOUSE FIRST FLOOR PLAN
2,268 S.F.

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

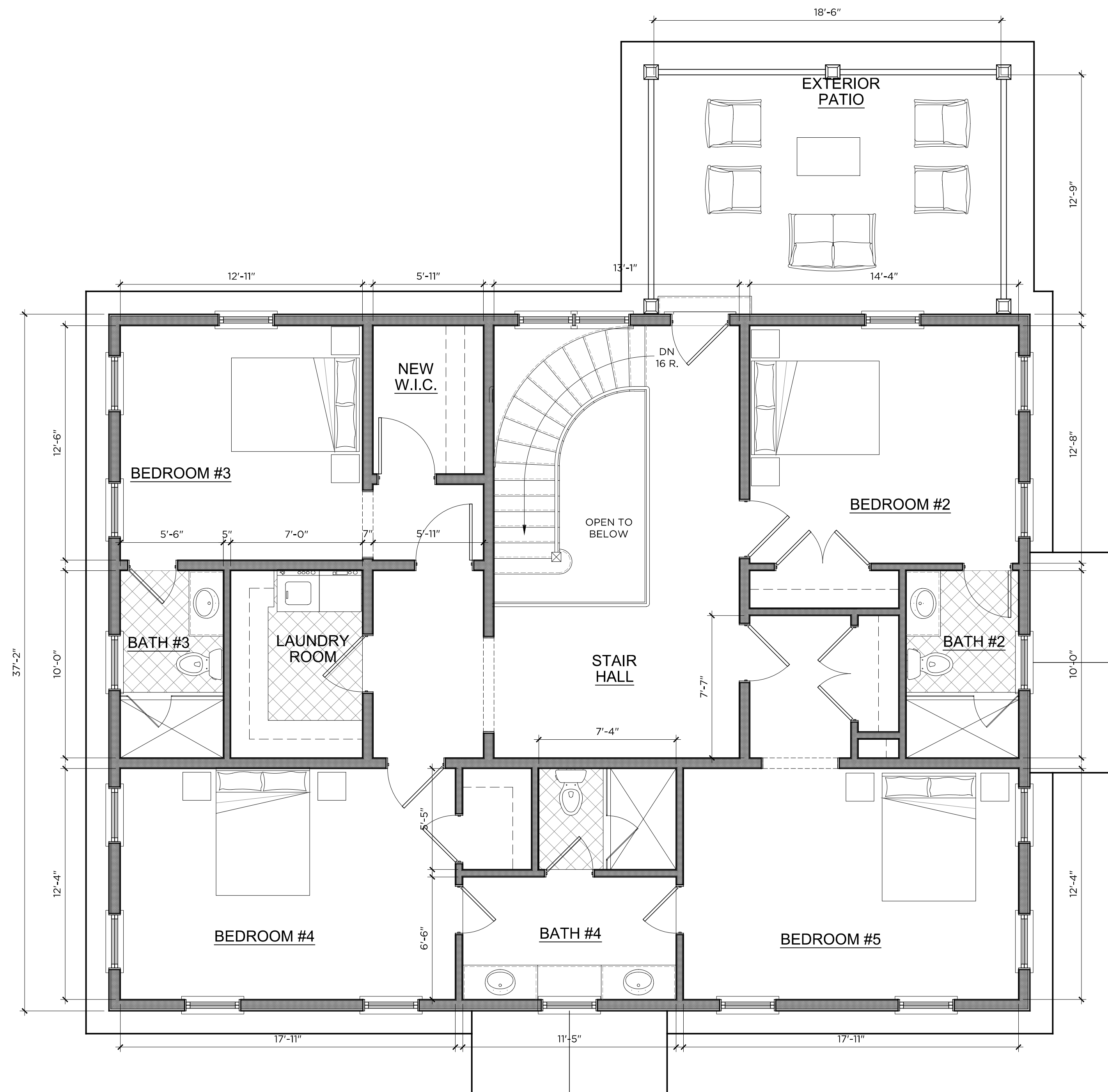
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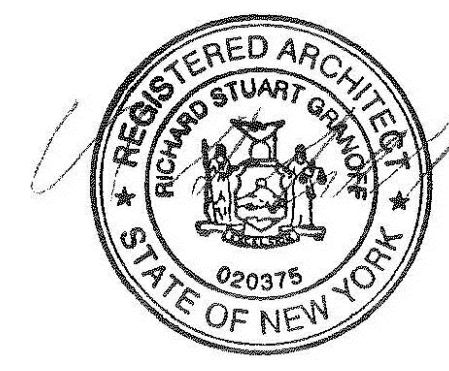
1 GUEST HOUSE SECOND FLOOR PLAN
1,988 S.F.

1/4"=1'-0"

RAULT RESIDENCE

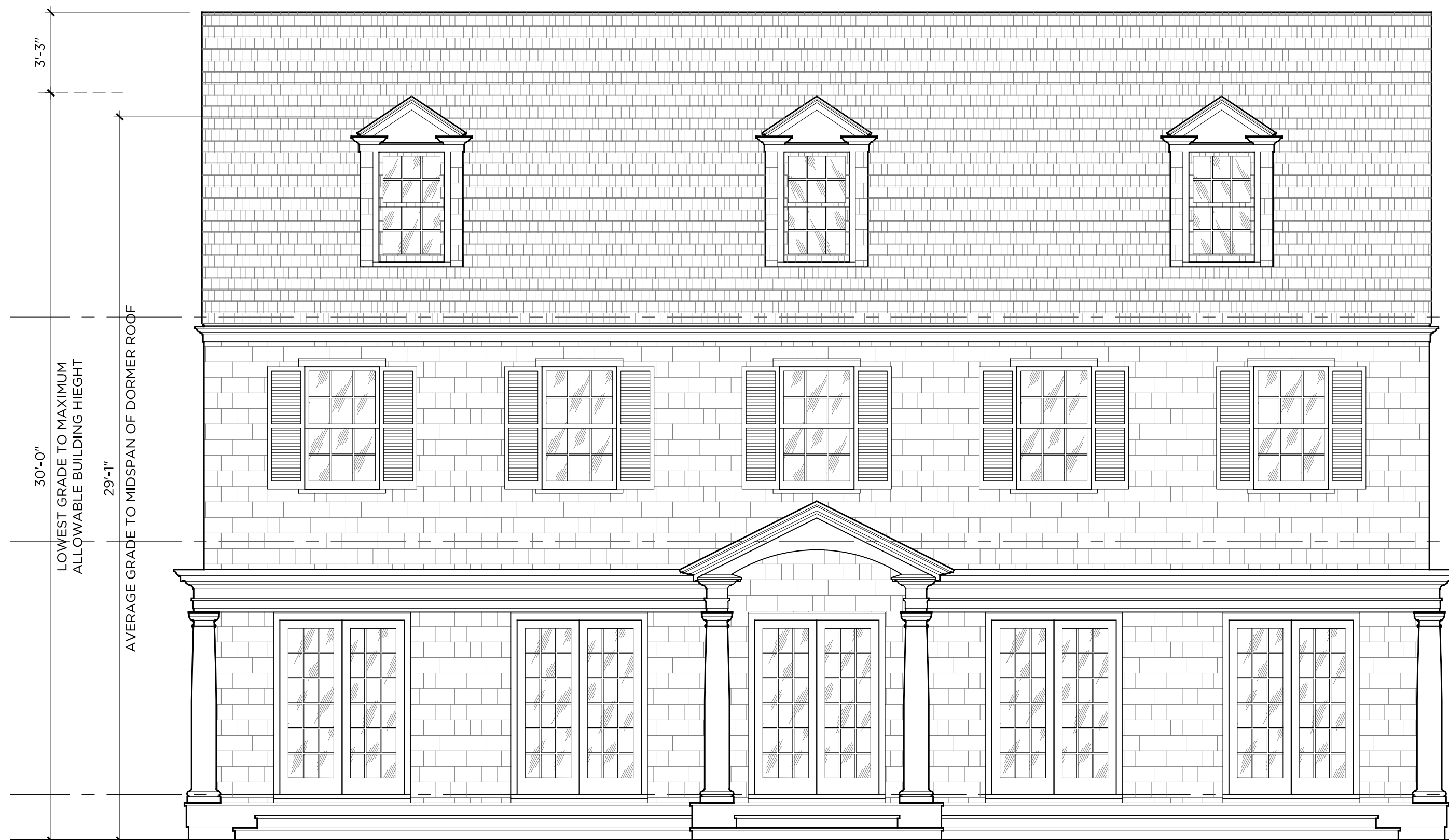
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 1-13-23



DRAWING NO:
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1 EAST ELEVATION

1/4"=1'-0"



2 NORTH ELEVATION

1/4"=1'-0"



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330 RAILROAD AVENUE
GREENWICH, CT 06830

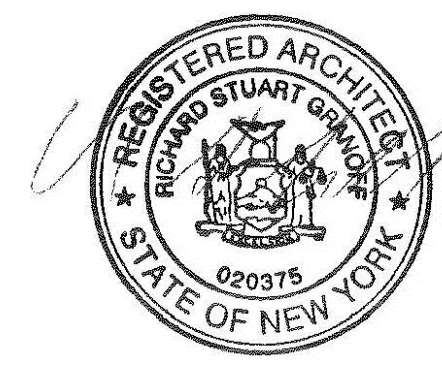
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DATE: 1-13-23



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1 WEST ELEVATION

1/4"=1'-0"



2 SOUTH ELEVATION

1/4"=1'-0"

SECOND FLOOR
EL. = (+)10.0'

FIRST FLOOR
EL. = (+)0.0'

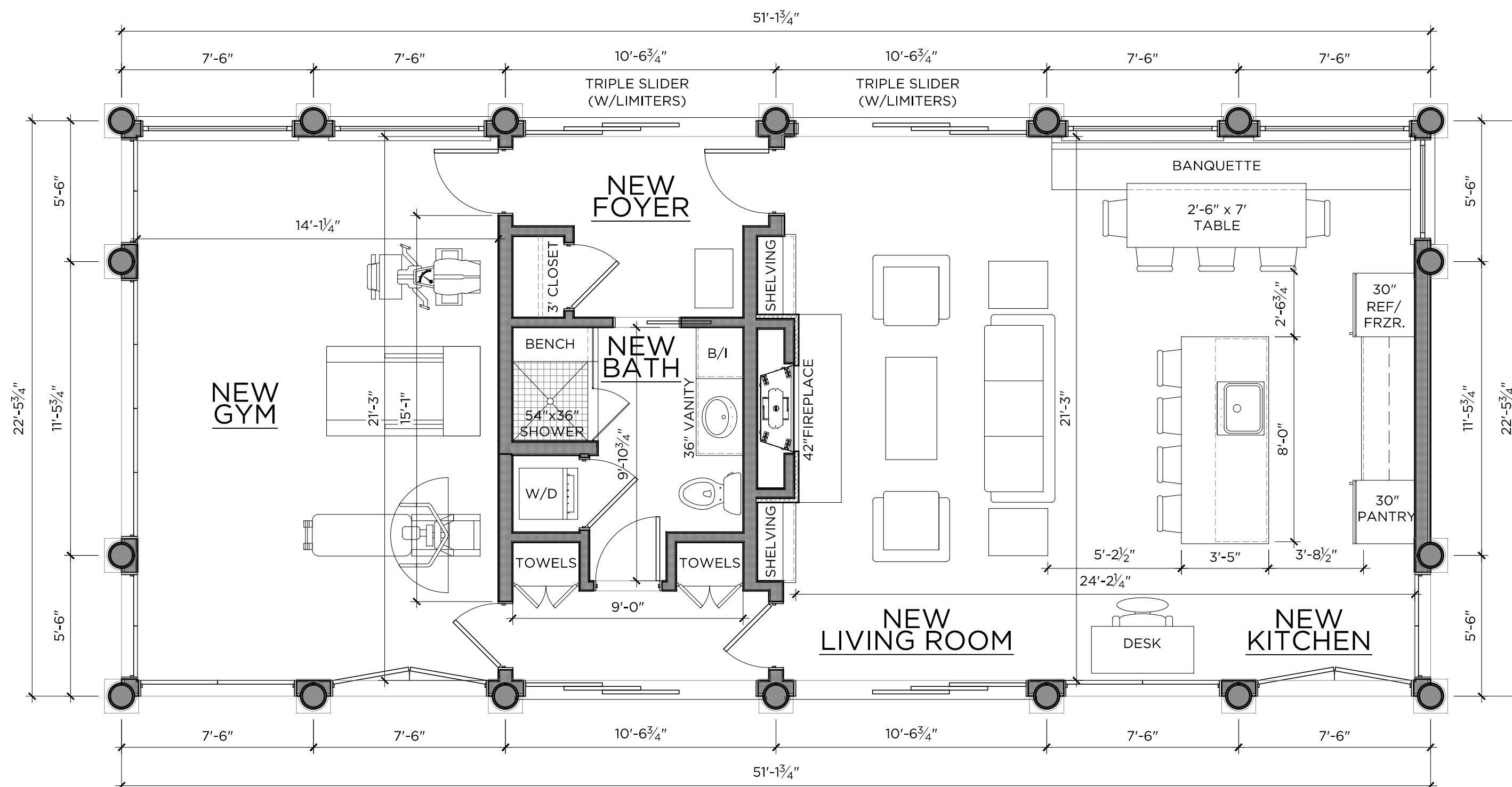
3'-3"

30'-0"

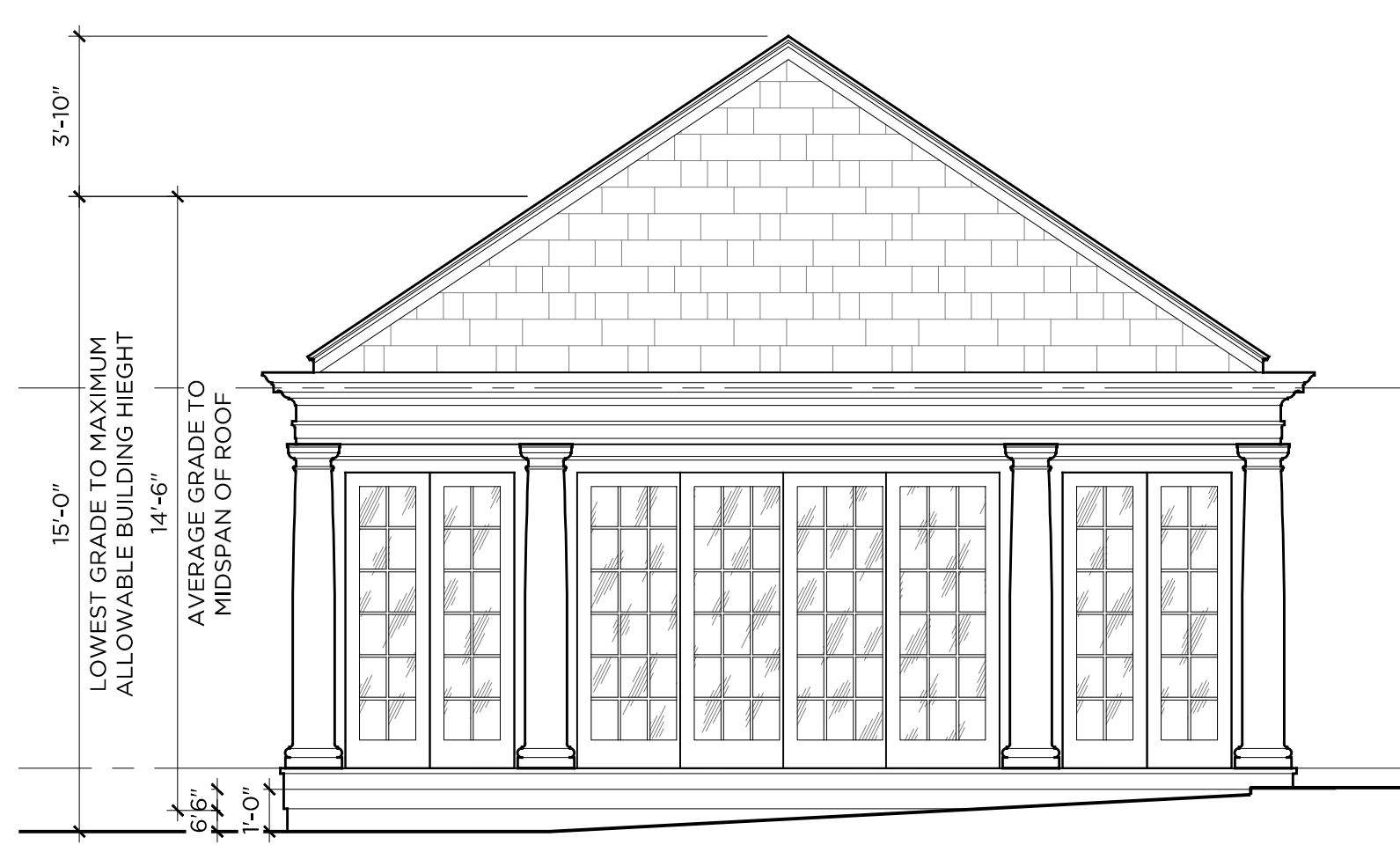
29'-1"

LOWEST GRADE TO MAXIMUM ALLOWABLE BUILDING HEIGHT

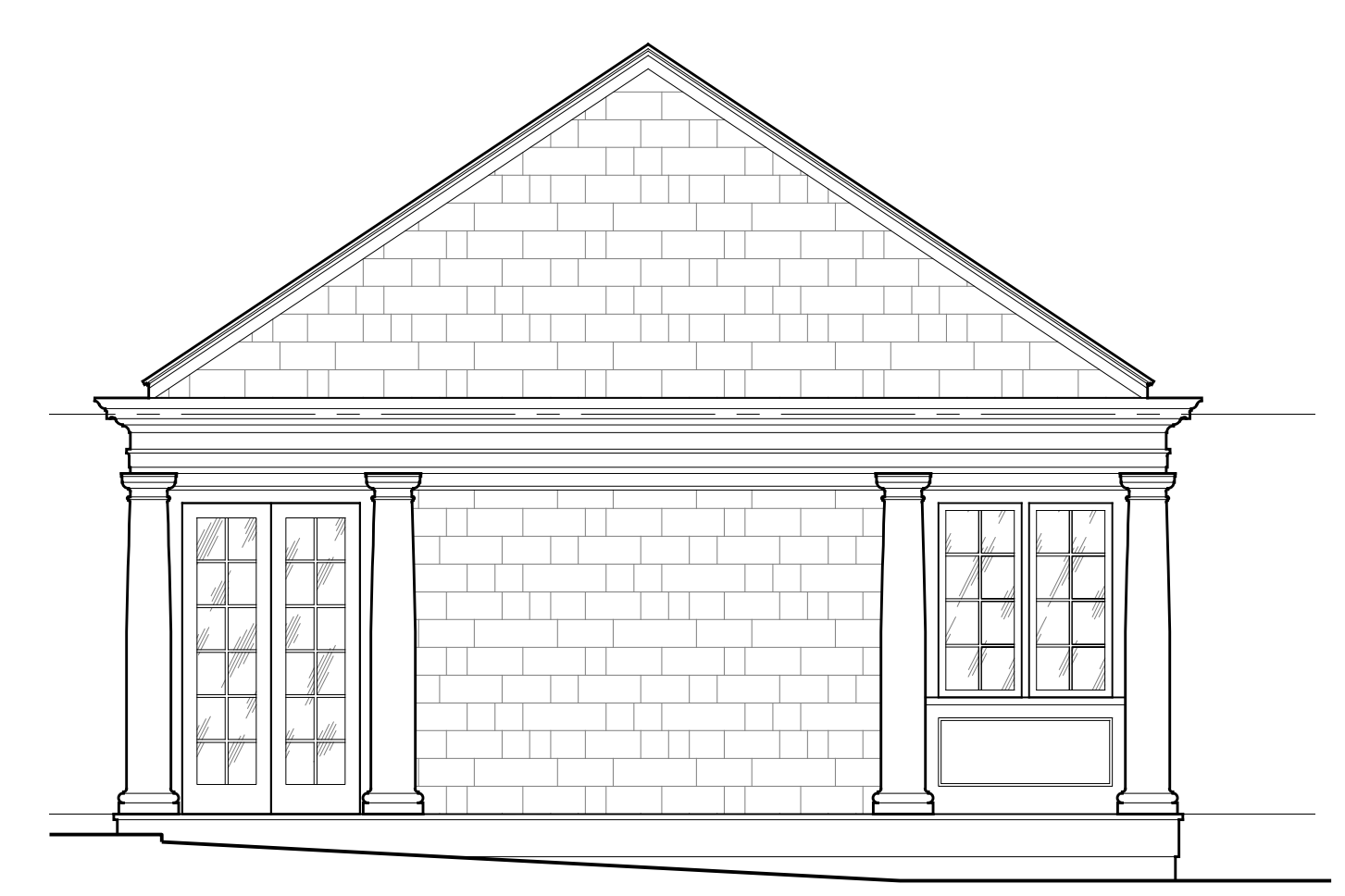
AVERAGE GRADE TO MIDSPAN OF DORMER ROOF



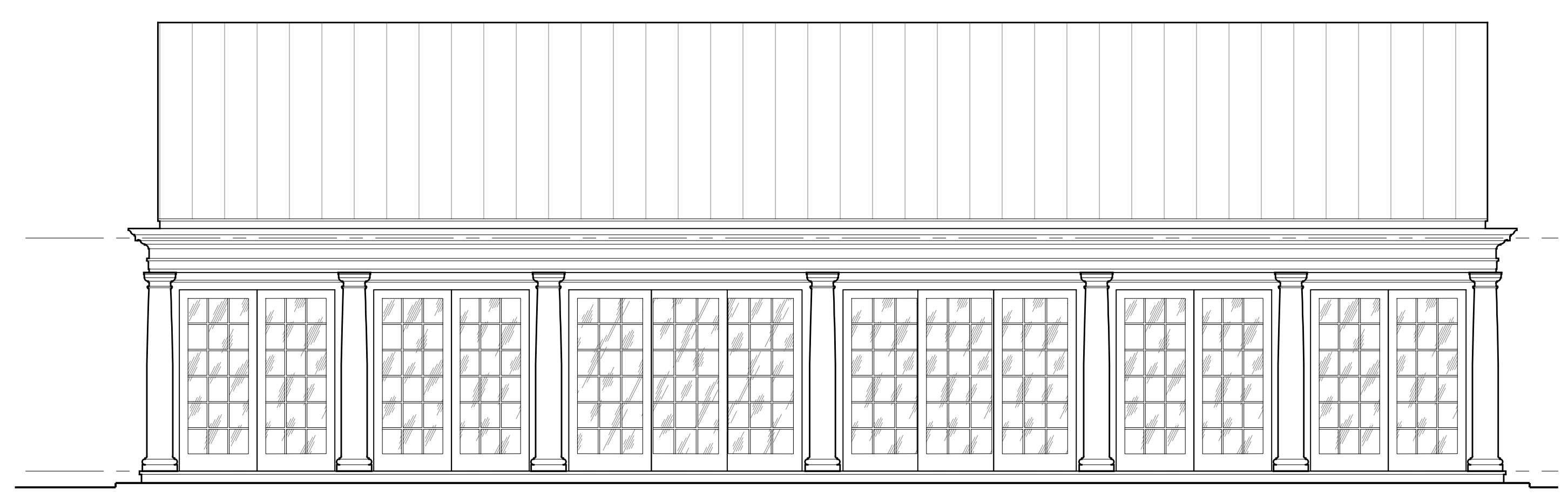
1 GUEST HOUSE FIRST FLOOR PLAN
1,150 S.F. 1/4"=1'-0"



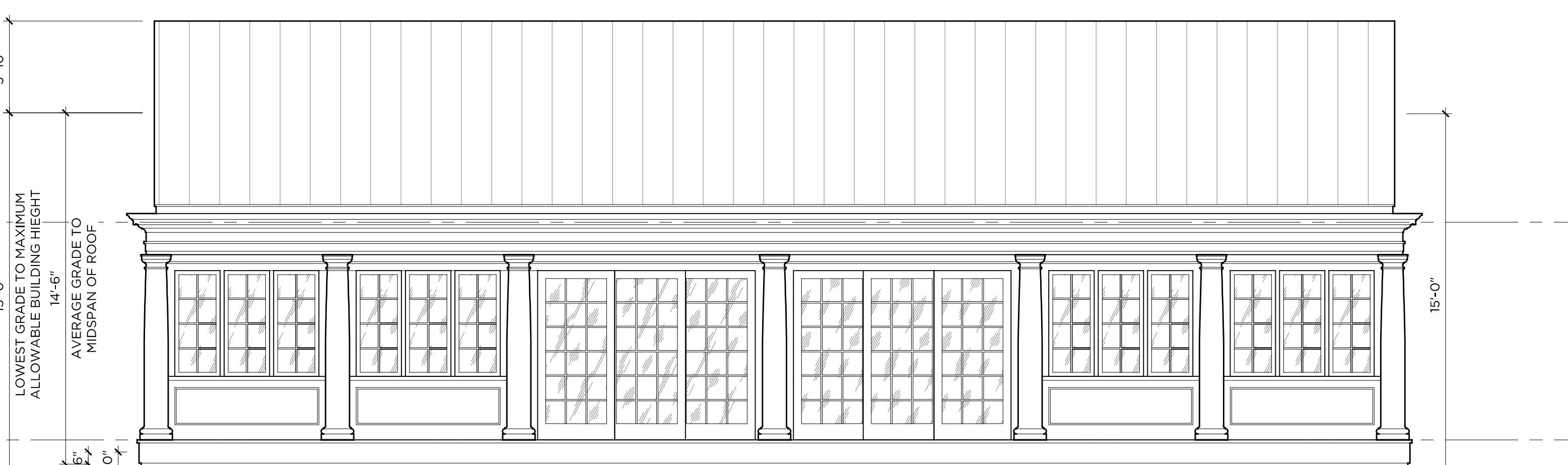
2 NORTH ELEVATION
1,150 S.F. 1/4"=1'-0"



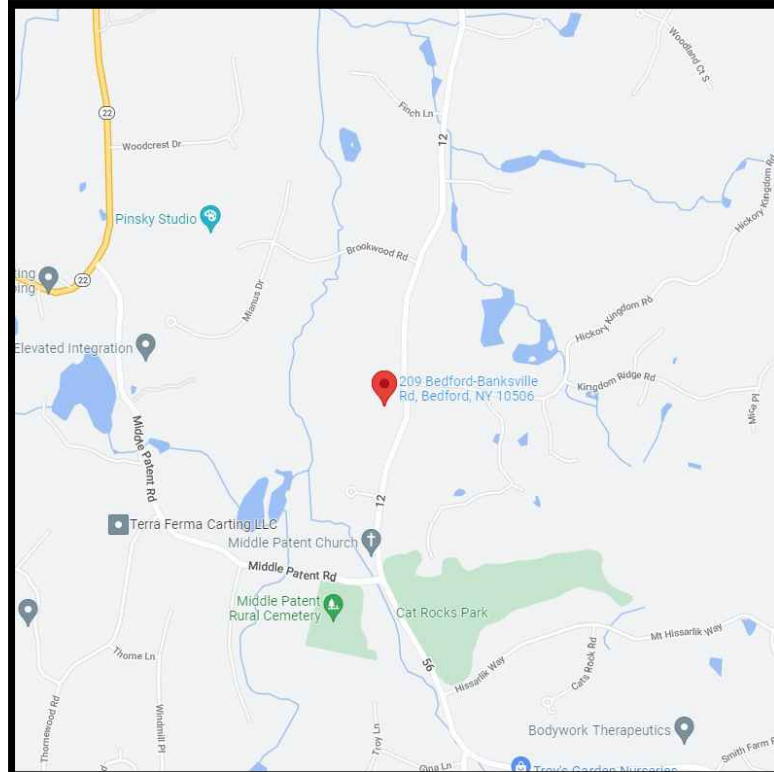
2 SOUTH ELEVATION
1,150 S.F. 1/4"=1'-0"



4 EAST ELEVATION
1/4"=1'-0"



5 WEST ELEVATION
1/4"=1'-0"



LOCATION MAP
NOT TO SCALE

SITE DATA:

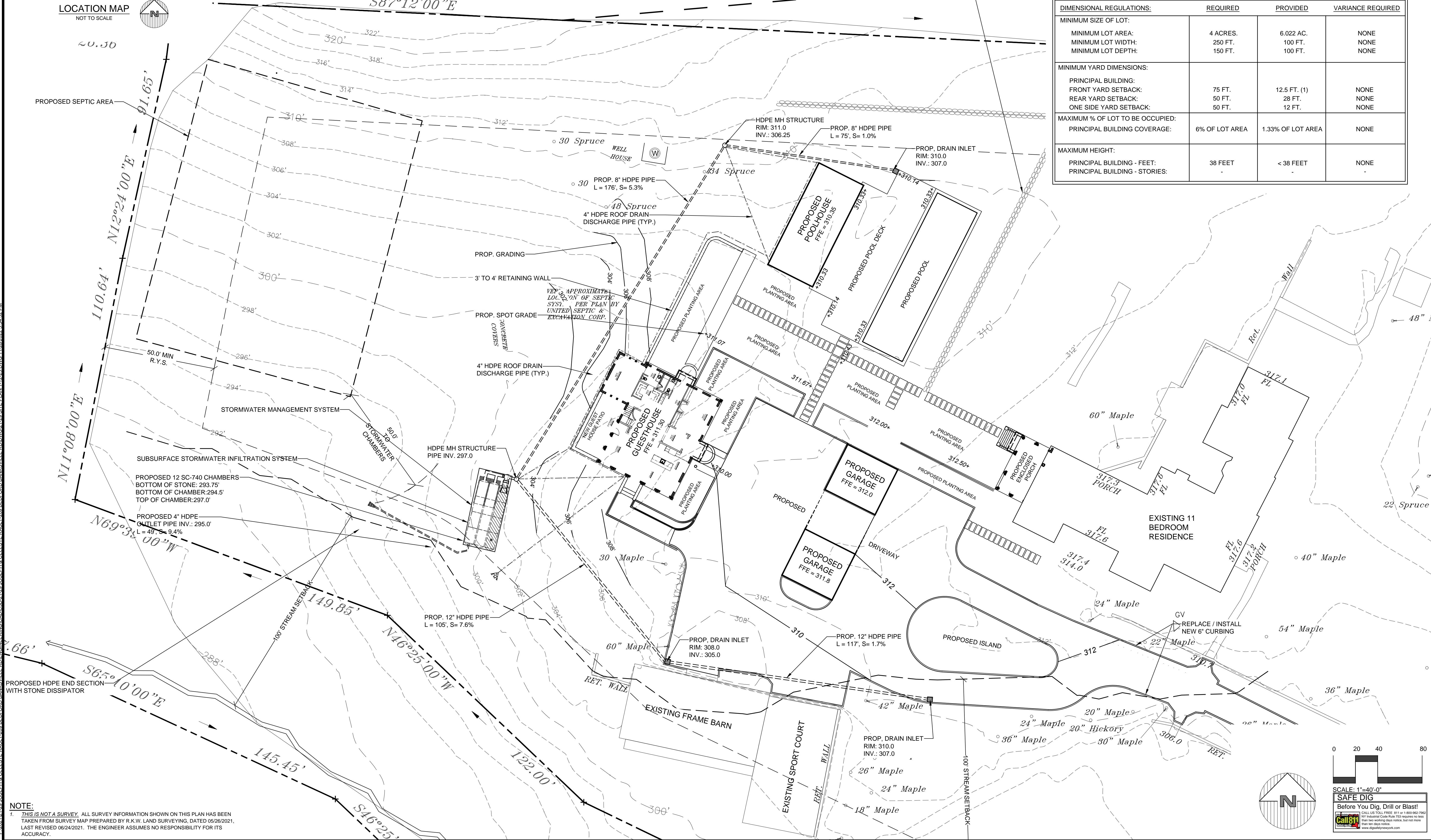
OWNER / DEVELOPER: JOSEPH & CELESTE RAULT
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

PROJECT LOCATION: 209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

EXISTING TOWN ZONING: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
PROPOSED USE: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
TOWN TAX MAP DATA: SECTION 95.03, BLOCK 2, LOT 35
SITE AREA: 6.022 ACRES (262,318.32 SF)
SEWAGE FACILITIES: ONSITE SUBSURFACE TREATMENT SYSTEM
WATER FACILITIES: PRIVATE WELL
WATERSHED: INLAND LONG ISLAND SOUND BASIN

ZONING SCHEDULE:

ZONING DISTRICT: R-4A, SINGLE FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	4 ACRES.	6.022 AC.	NONE
MINIMUM LOT WIDTH:	250 FT.	100 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	100 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	75 FT.	12.5 FT. (1)	NONE
REAR YARD SETBACK:	50 FT.	28 FT.	NONE
ONE SIDE YARD SETBACK:	50 FT.	12 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	6% OF LOT AREA	1.33% OF LOT AREA	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	38 FEET	< 38 FEET	NONE
PRINCIPAL BUILDING - STORIES:			



NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY R.K.W. LAND SURVEYING, DATED 05/26/2021, LAST REVISED 06/24/2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

SCALE: 1"=40'-0"

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www.sitedesignconsultants.com

Engineer: Joseph C. Rault, P.E.
NYS Lic. No. 64431

Revisions:
No. 1 Date 11/23/23 Comments: Plan Update

SCALE: 1" = 20'
DRAWN BY: AB
DATE: 11/25/2022

SITE PLAN

SITE PLAN PREPARED FOR
Joseph & Celeste Rault
209 Bedford Banksville Road
Town of North Castle Westchester County, New York

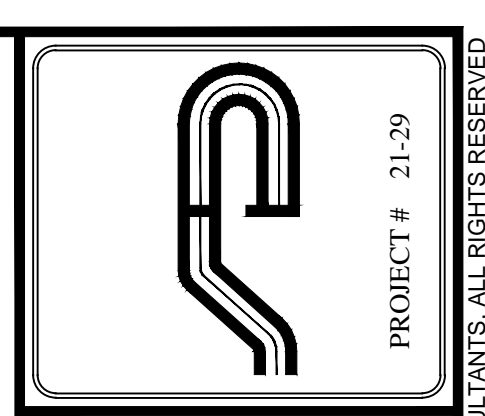
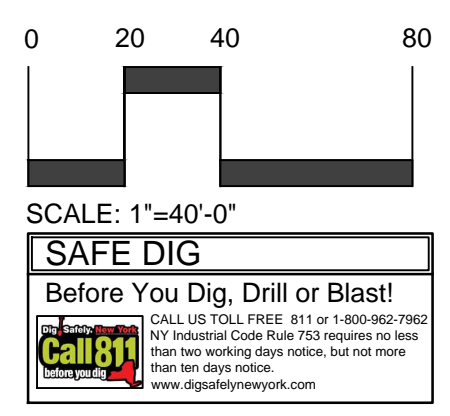
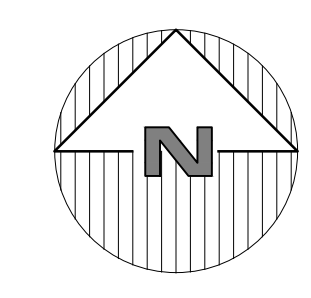
Sheet 1 of 5

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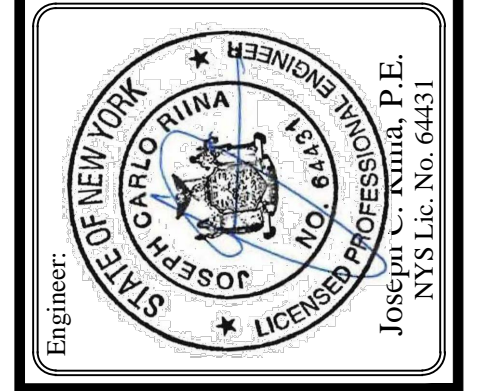


E:\2022\12-28 JOSEPH & CELESTE RAULT, ENGINEERS\CD\12-28 JOSEPH & CELESTE RAULT, ENGINEERS\CD\12-28 SITE PLAN 11-25-22.DWG 11/25/22 6:24:42 PM
 NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

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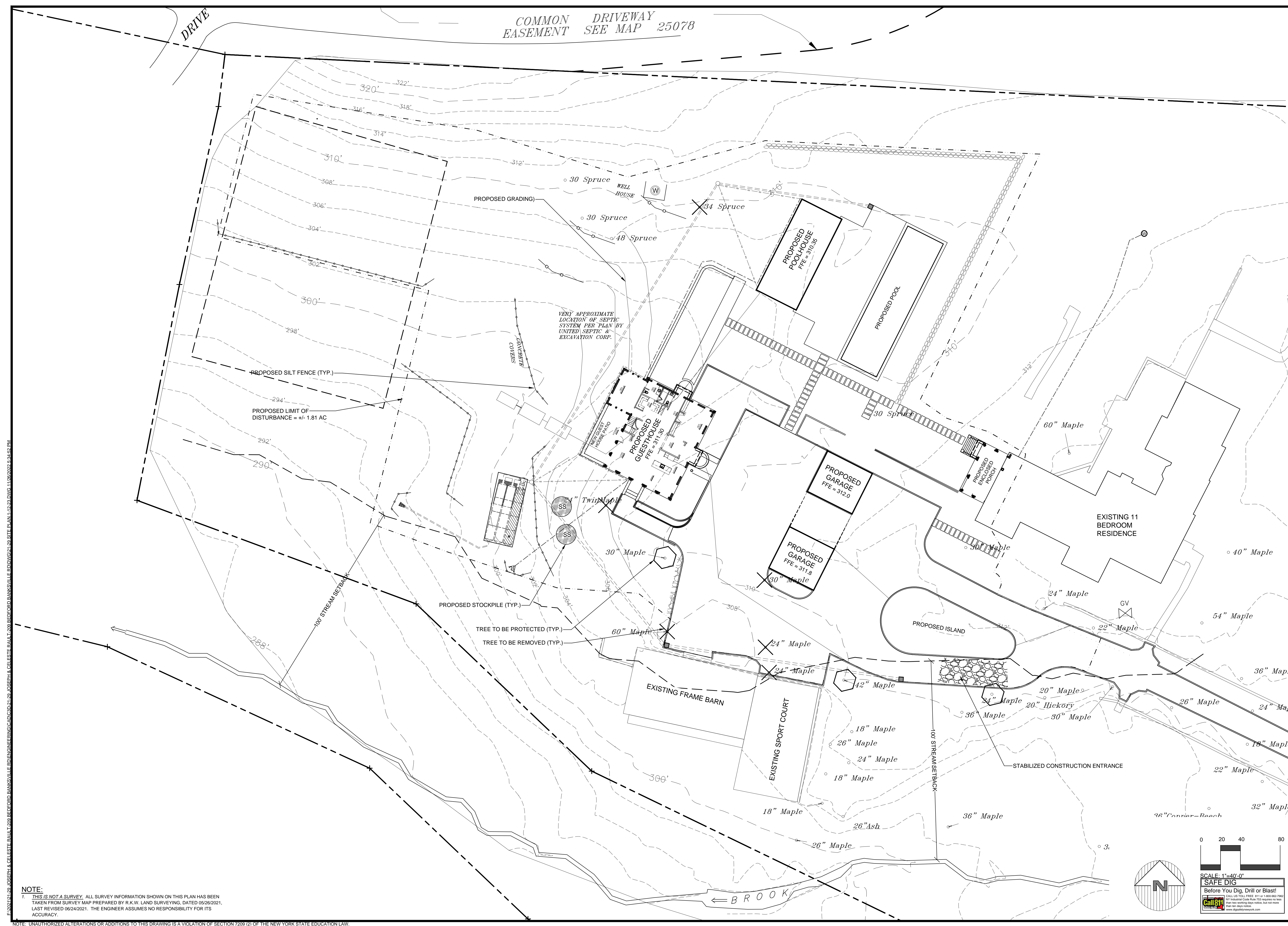
Revisions:	No.	Date	Comments
	1	11/23/22	Plan Update

SCALE: 1" = 40'-0"
 DRAWN BY: AB
 DATE: 11/25/22

EXISTING CONDITIONS PLAN

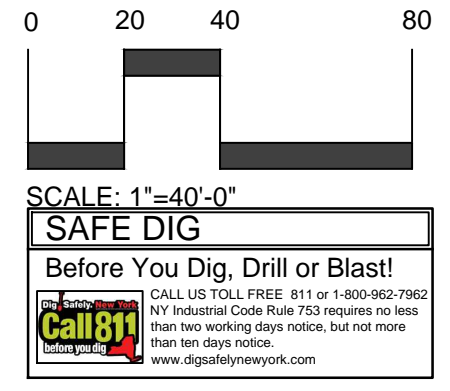
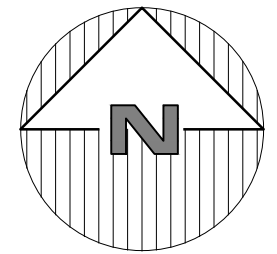
SITE PLAN PREPARED FOR
Joseph & Celeste Rault
 209 Bedford Banksville Road
 Westchester County, New York

PROJECT # 21-29
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E:\2022\12-20-2022\209 BEDFORD BANKSVILLE RD\DWG\21-20 SITE PLAN\112523.DWG 11/20/2022 8:24:52 AM
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Revisions:	No.	Date	Comments
1.	1/12/23		Plan Update

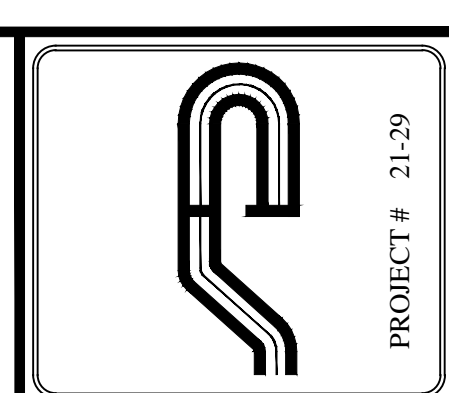
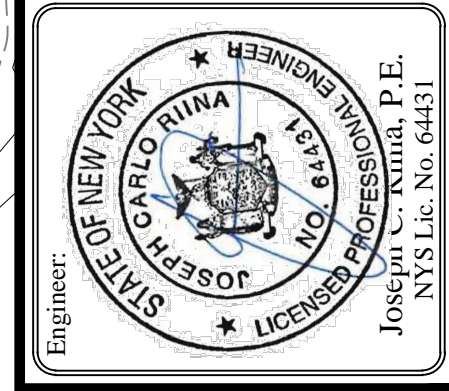
SCALE:	1" = 20'
DRAWN BY:	AB
DATE:	11/25/22

EROSION AND SEDIMENT CONTROL PLAN

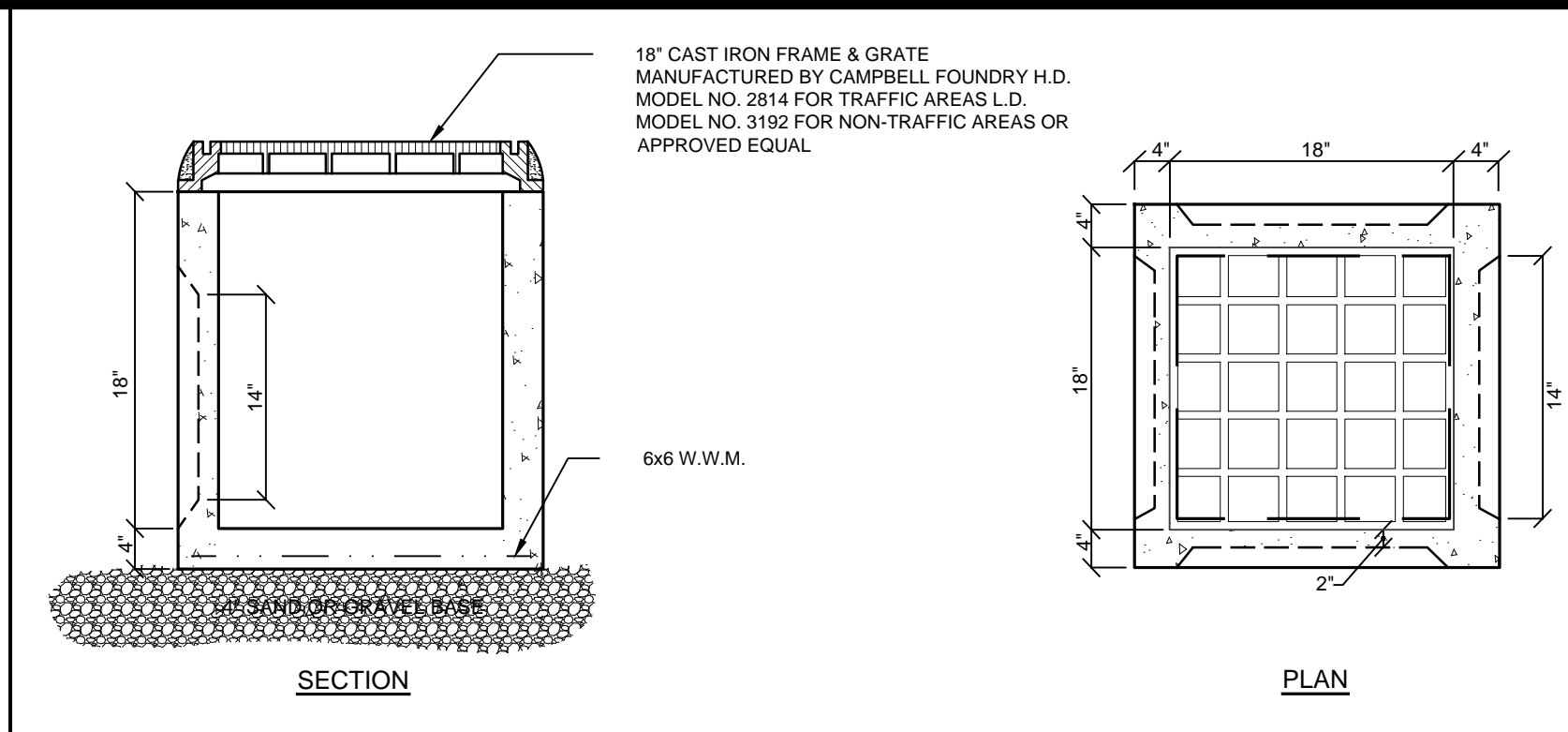
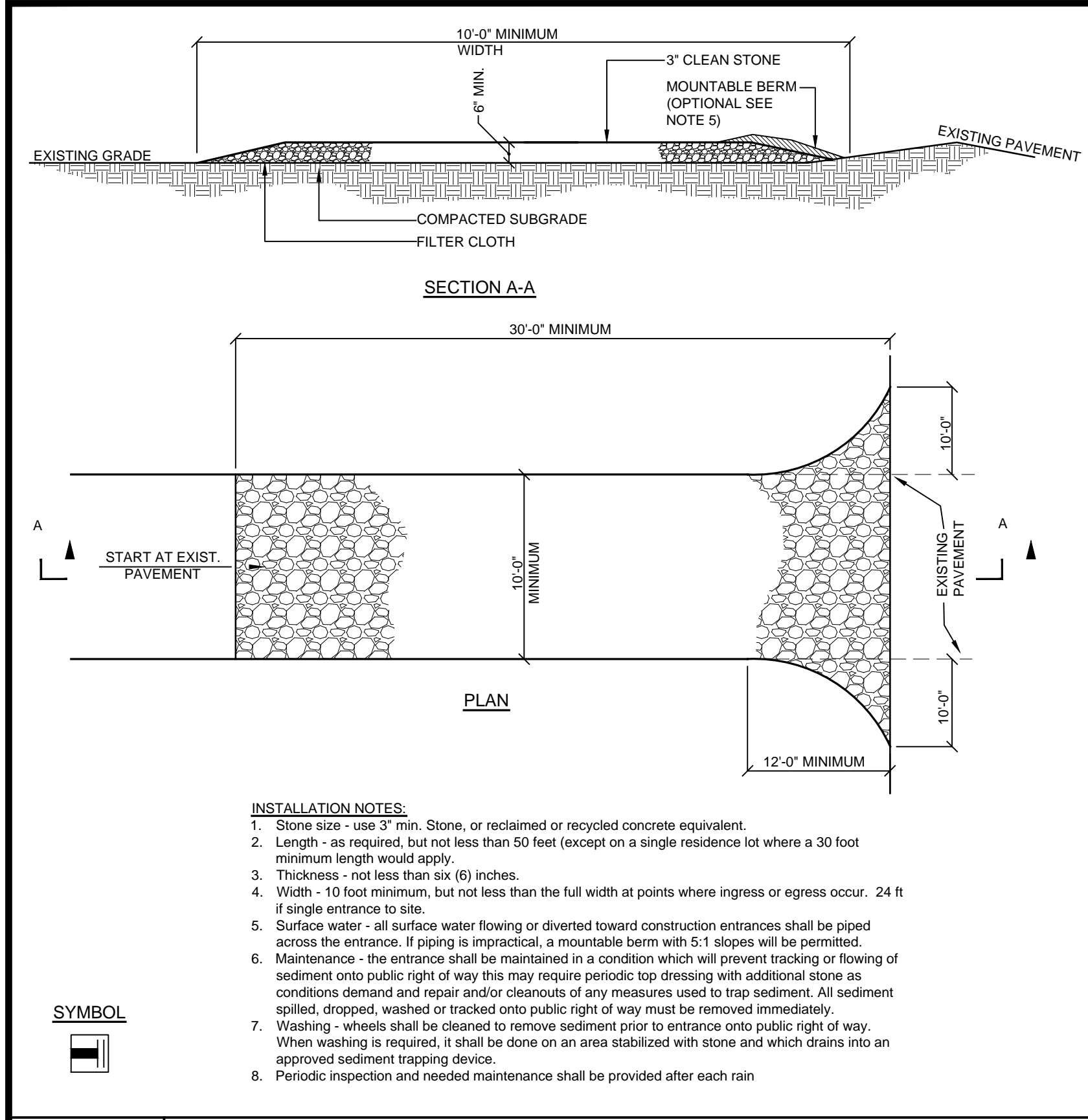
SITE PLAN PREPARED FOR
Joseph & Celeste Rault
 209 Bedford Banksville Road
 Town of North Castle Westchester County, New York

Sheet 3 of 5

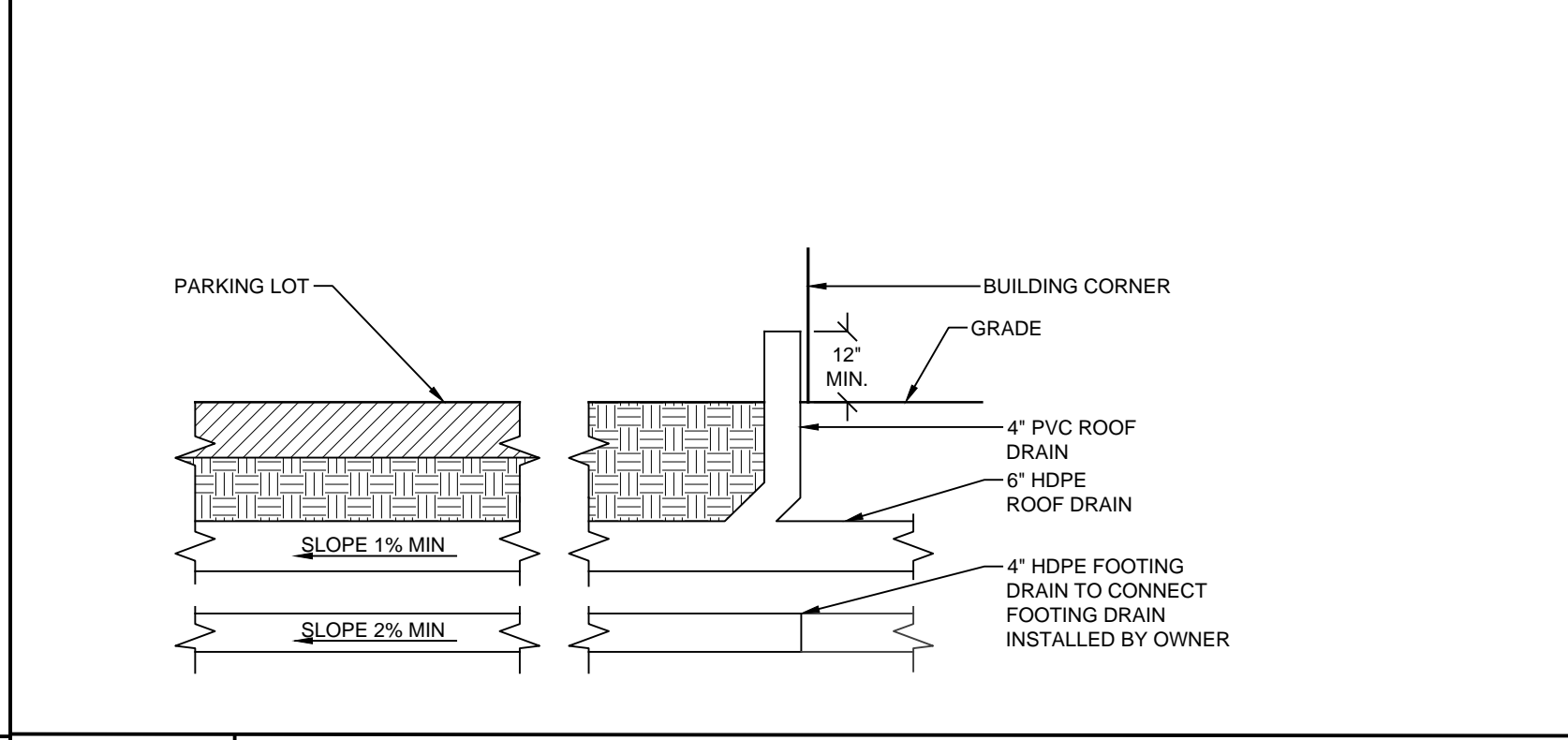
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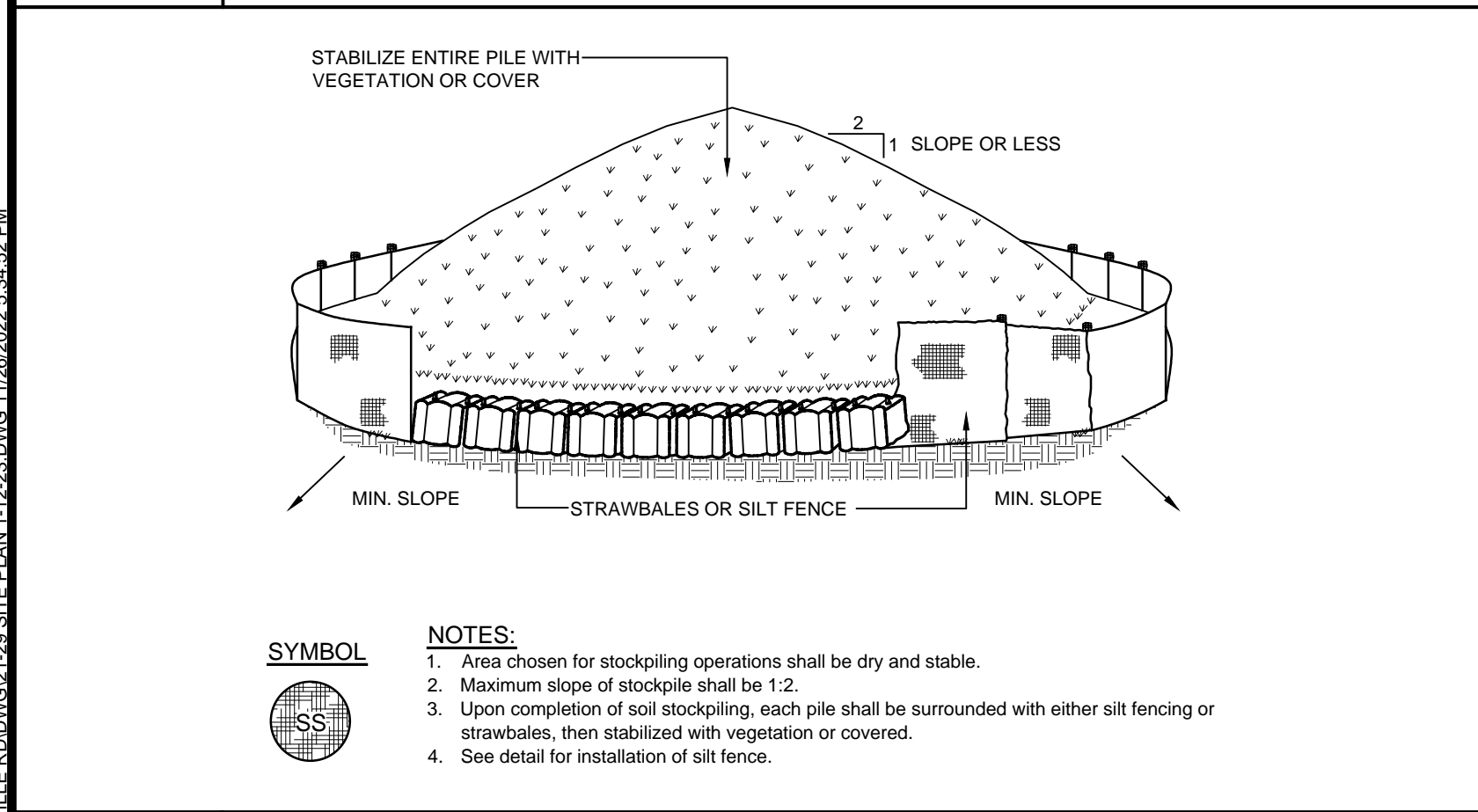


D-1 PRECAST DRAIN INLET DETAIL
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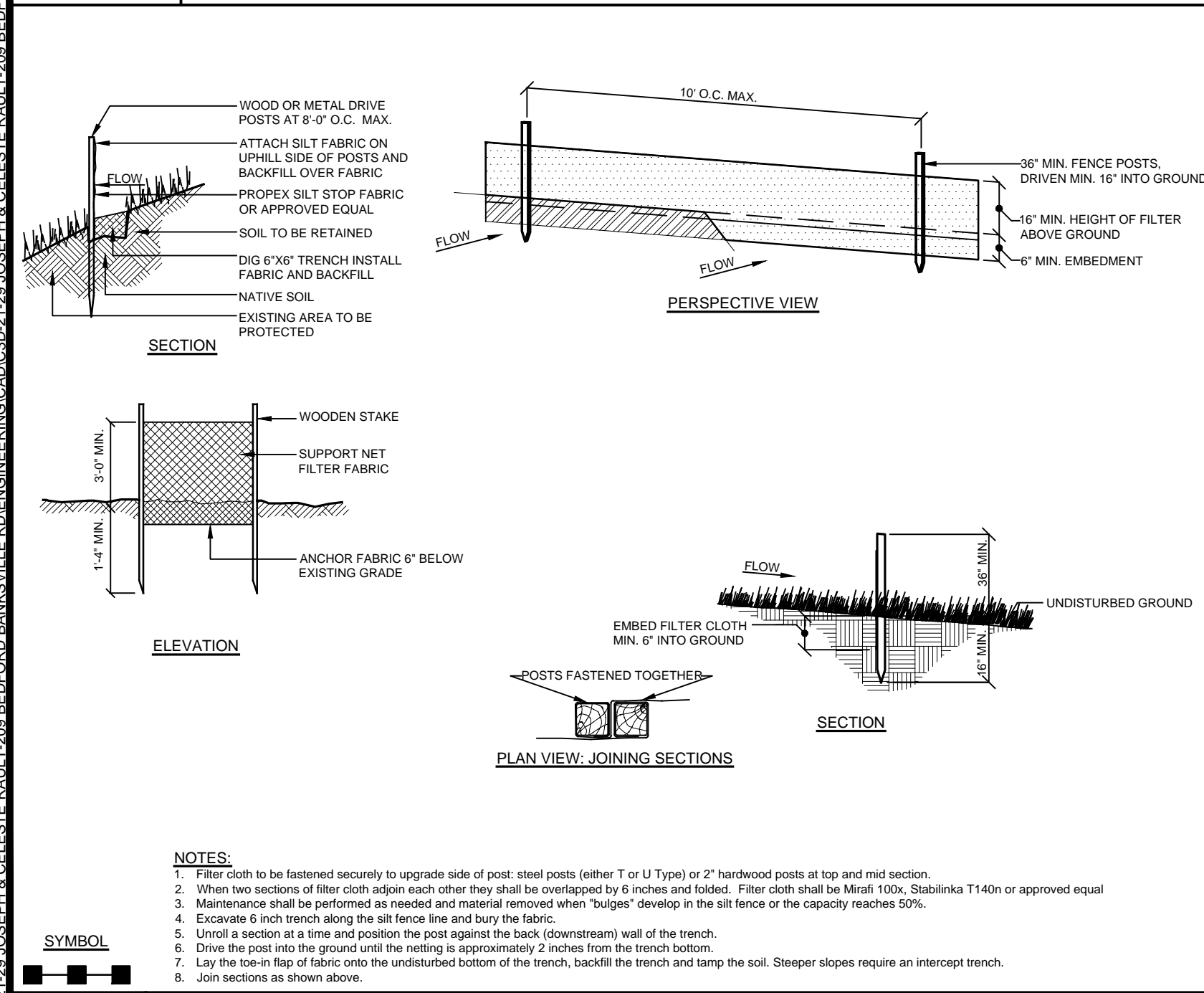


D-2 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE

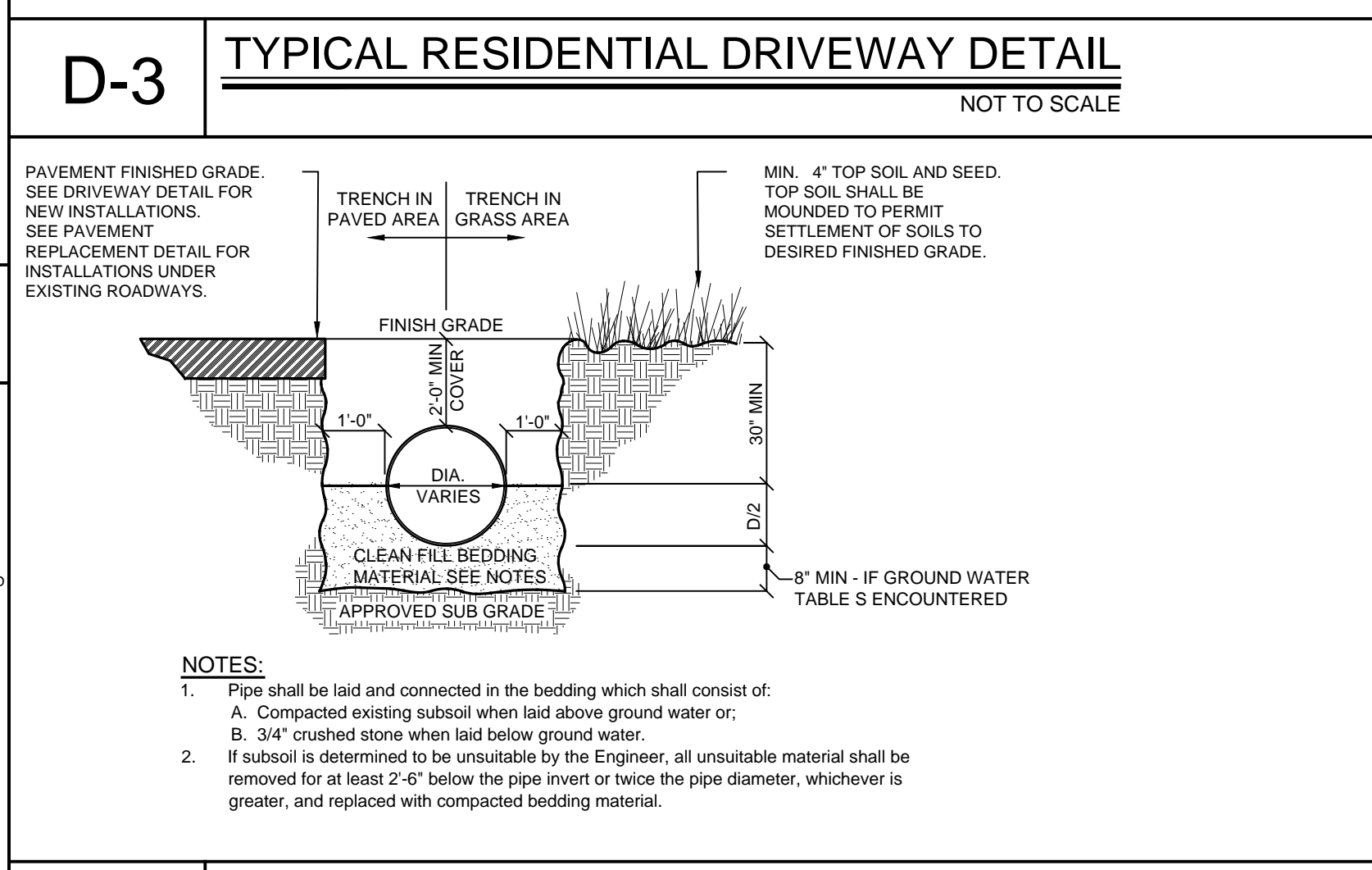
E-1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



E-2 SOIL STOCKPILE DETAIL
NOT TO SCALE



E-3 SILT FENCE DETAIL
NOT TO SCALE



D-3 TYPICAL RESIDENTIAL DRIVEWAY DETAIL
NOT TO SCALE



D-4 STORM PIPE BEDDING DETAIL
NOT TO SCALE

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas and basin have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufacturers requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place one half the volume of seed mix prior to laying net, and place the remaining seed after laying the stabilized blanket.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per the Town of North Castle requirements.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or the sediment pond. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	---	---		CLEAN/ REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:
Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

- Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the Additions, limits of disturbance, and Stormwater practices.
- Prior to commencement of work, an on-site preconstruction meeting will be held. This will be attended by the Owner responsible for any fines or penalties, the Operator responsible for complying with the approved construction drawings including the E&SC plan and details, the Environmental Planner responsible for E&SC monitoring during construction, town representatives from the Engineering Department and Code Enforcement.
- Temporary erosion and sediment controls (E&SCs) as shown on the approved construction drawings shall be installed as detailed.
- Remove existing vegetative cover and other surface features in the limit of construction.
- Excavate for the pool construction. Upon completion of pool walls backfill and grade area around the pool walls.
- Install infiltration chambers. Entry to the system shall be blocked until the site has reached final stabilization.
- Install underground services.
- Topsoil, rake, seed and mulch all disturbed areas.
- Upon stabilization of all disturbed areas and approval from the Town representative remove all temporary erosion and sediment controls

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYS DOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREeping RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREeping RED FESCUE 20
	REDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20
- SEEDING
 - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - Apply soil amendments and integrate into soil.
 - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - Stabilize seeded areas in drainage swales.
 - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - Seed between April 1st and May 15th or August 15th and October 15th.
 - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

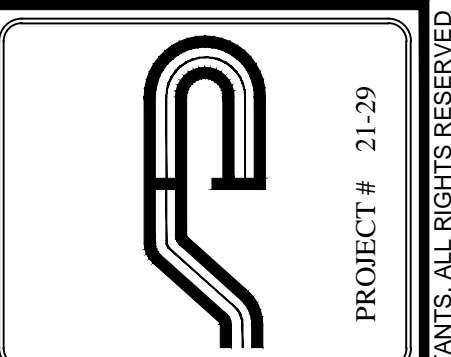
TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

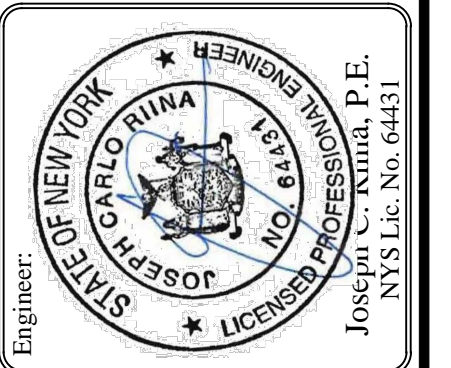
- Install erosion control measures.
 - Scarify areas of compacted soil.
 - Fertilize with 10-10-10 at 400/lb/acre.
 - Lime as required to pH 6.5.
- | SEED SPECIES: | MIXTURE | LBS./ACRE |
|---------------|-------------------------------------|-----------|
| | Rapidly germinating annual ryegrass | 20 |
| | Perennial ryegrass | 20 |
| | Cereal oats | 36 |

SEEDING:

Same as permanent vegetative cover



Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



Revisions:	No.	Date	Comments:
	1	1/12/23	Plan Update

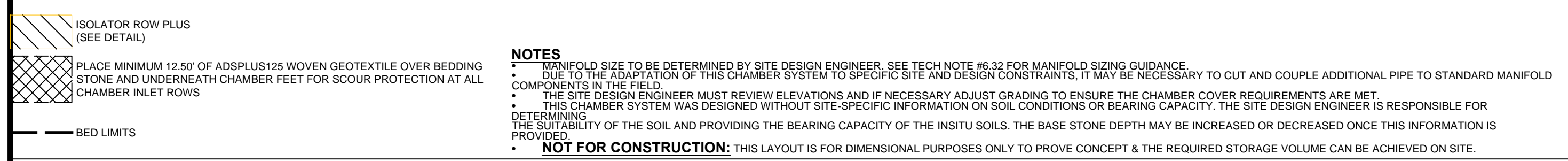
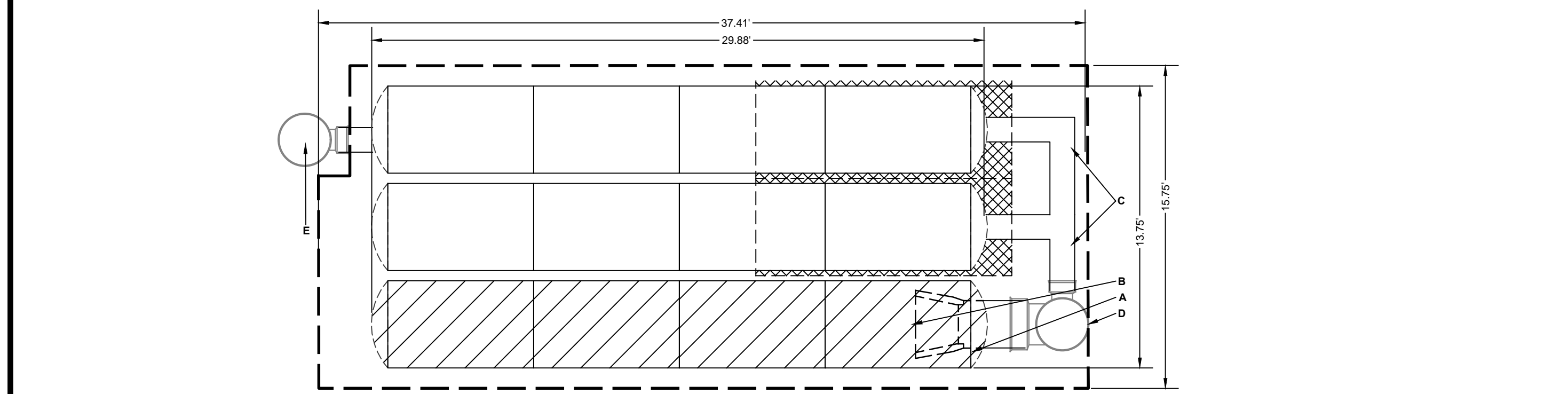
SCALE: N.T.S.
DRAWN BY: AB
DATE: 11/25/22

DRAINAGE & ESC DETAILS

Site Plan Prepared For
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

PROPOSED LAYOUT	CONCEPTUAL ELEVATIONS	PART TYPE	ITEM LAYOUT	DESCRIPTION	INVERT	MAX FLOW
5 STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED):			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	0.10'	
4 STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
6 STONE ABOVE (IN)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
6 STONE BELOW (IN)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	12.50'	
40 STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
535 INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE:			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		2.3 CFS IN
PERIMETER STONE INCLUDED (COVER STONE INCLUDED)	TOP OF SC-740 CHAMBER:			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
284 SYSTEM AREA (SF)	12" x 12" TOP MANIFOLD INVERT:			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
79.8 SYSTEM PERIMETER (IN)	24" ISOLATOR ROW PLUS INVERT:			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
	BOTTOM OF SC-740 CHAMBER:			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		
	BOTTOM OF STONE:			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS		

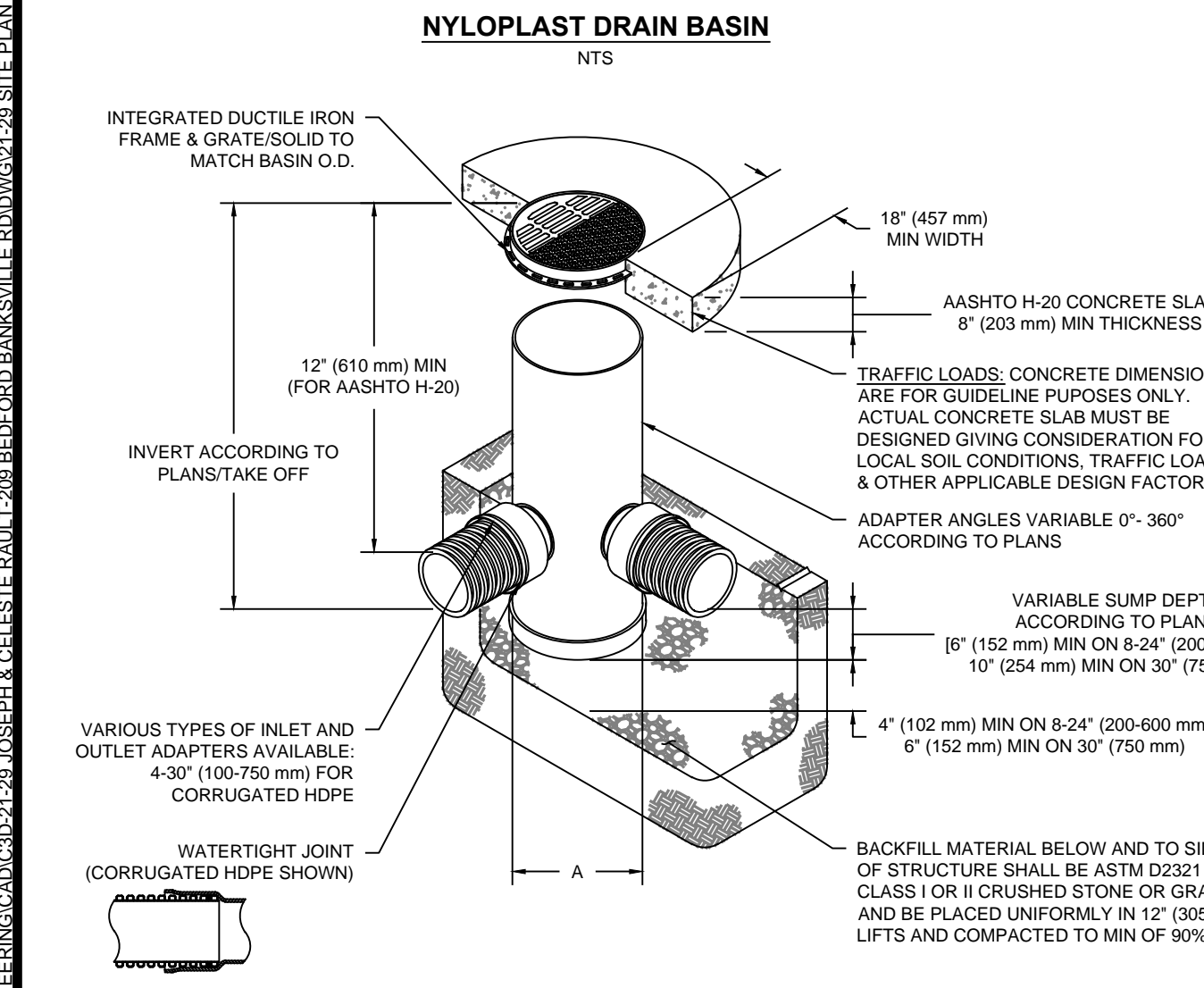


NOTES:

- 1. CHAMBER SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #32 FOR MANIFOLD SIZING GUIDANCE.
- 2. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- 3. THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- 4. **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

- INSPECTION & MAINTENANCE**
- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR PLUS ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - MIRRORS OR POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

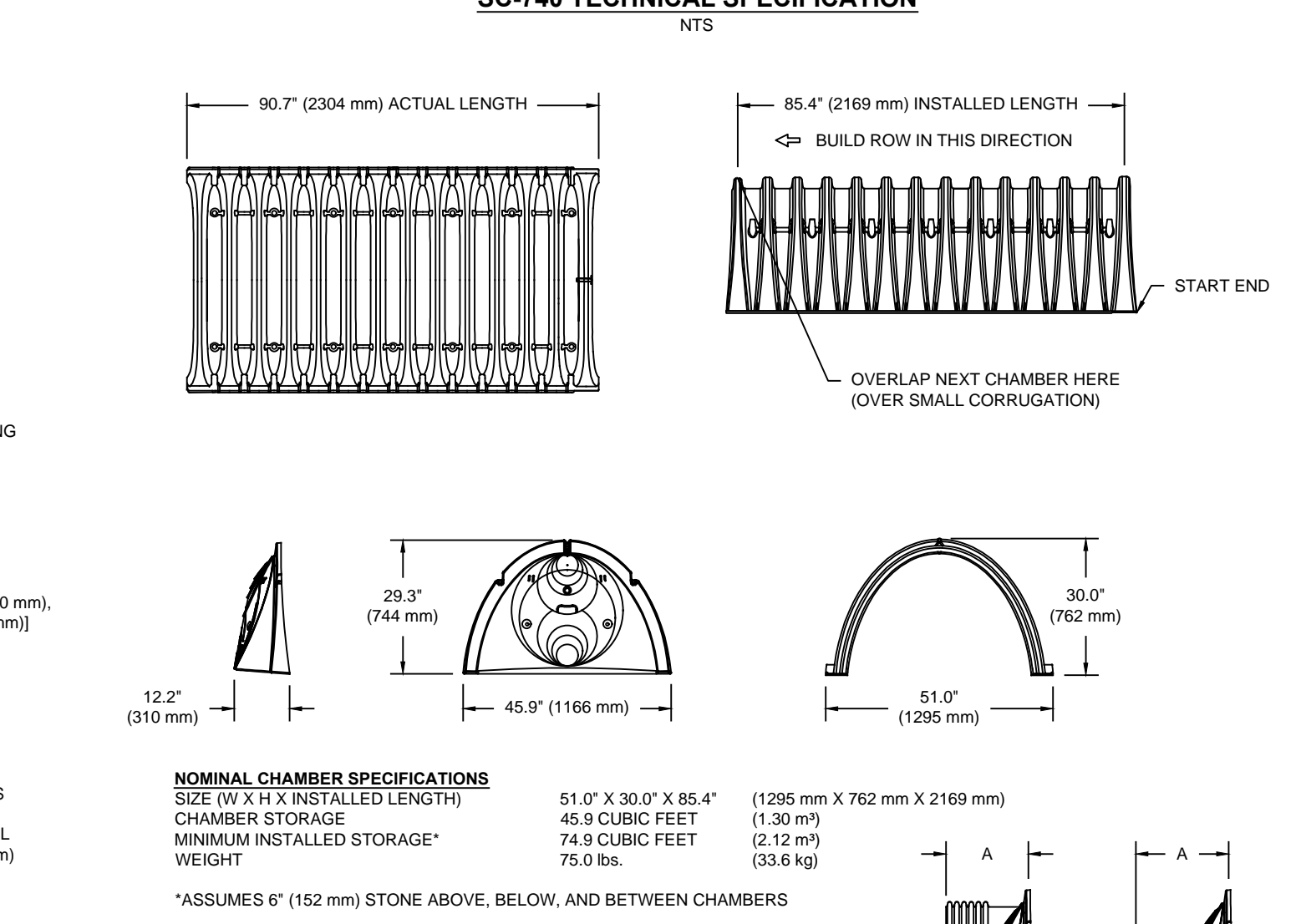
- NOTES:**
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
 - CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



NOTES:

- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
- TO ORDER CALL: 800-821-6710

A	PART #	GRATE/SOLID COVER OPTIONS
8" (200 mm)	2808AG	PEDESTRIAN LIGHT DUTY / STANDARD LIGHT DUTY / SOLID LIGHT DUTY
10" (250 mm)	2810AG	PEDESTRIAN LIGHT DUTY / STANDARD LIGHT DUTY / SOLID LIGHT DUTY
12" (300 mm)	2812AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
15" (375 mm)	2815AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
18" (450 mm)	2818AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
24" (600 mm)	2824AG	PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20
30" (750 mm)	2830AG	PEDESTRIAN AASHTO H-20 / STANDARD AASHTO H-20 / SOLID AASHTO H-20



NOMINAL CHAMBER SPECIFICATIONS

PART #	STUB	A	B	C
SC740EPE007 / SC740EPE007PC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	...
SC740EPE008 / SC740EPE008PC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.5" (13 mm)
SC740EPE009 / SC740EPE009PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.6" (15 mm)
SC740EPE010 / SC740EPE010PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	0.7" (18 mm)
SC740EPE011 / SC740EPE011PC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.2" (30 mm)
SC740EPE012 / SC740EPE012PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	...
SC740EPE013 / SC740EPE013PC	24" (600 mm)	18.5" (470 mm)	0.1" (3 mm)	...

ALL STUBS, EXCEPT FOR THE SC740ECEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

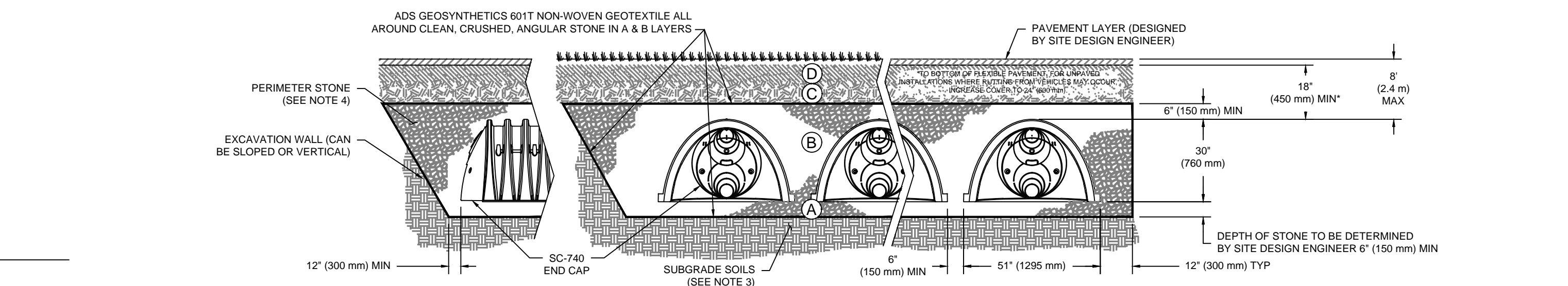
* FOR THE SC740ECEZ THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

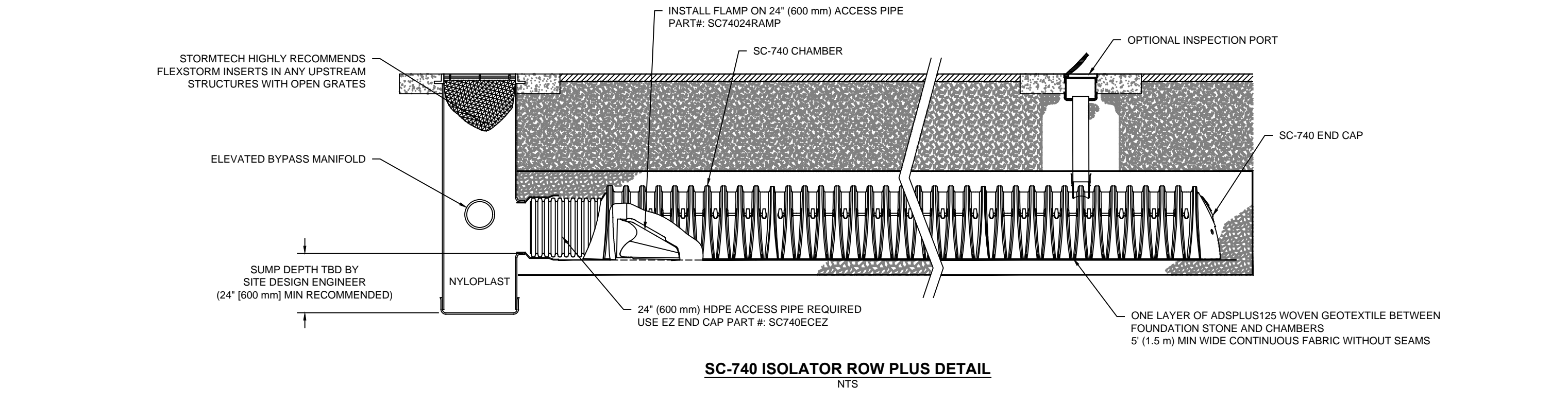
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 4" (100 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



- NOTES:**
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

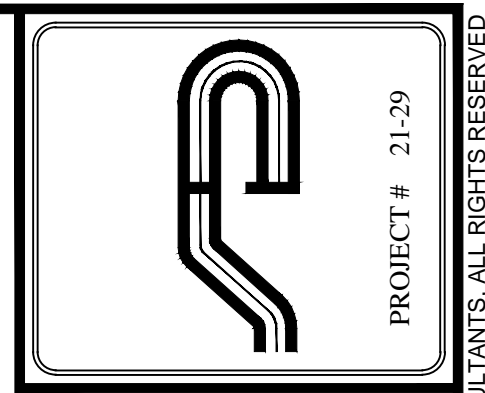


SC-740 STORMTECH CHAMBER SPECIFICATIONS

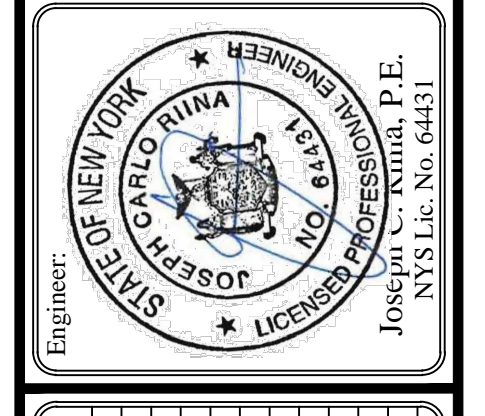
- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3.3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2787 FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
 - STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
 - MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
 - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
 - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
 - ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- NOTES FOR CONSTRUCTION EQUIPMENT**
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2698 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
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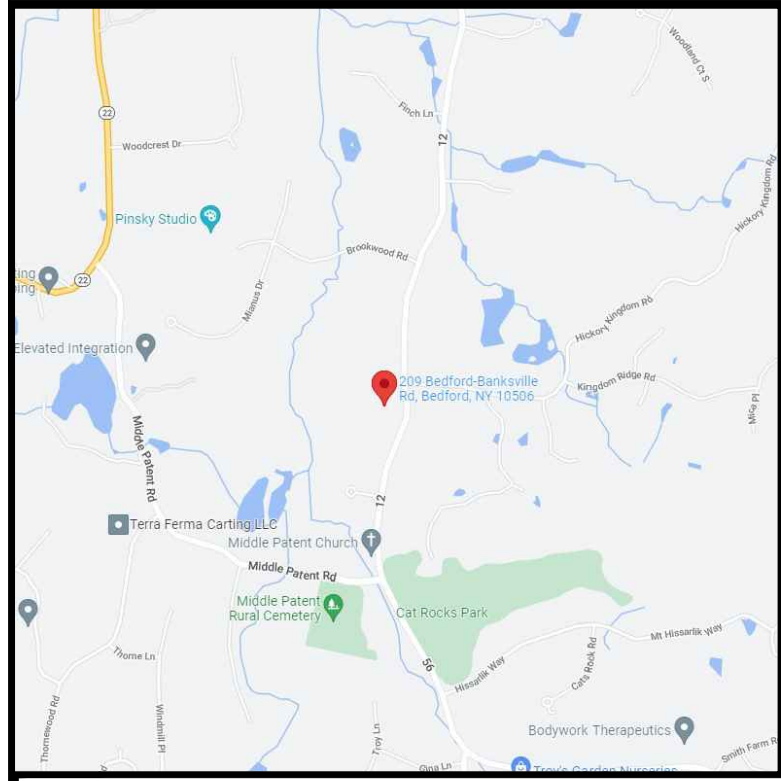


Revisions:	No.	Date	Comments	Plan Update
	1	1/12/23		

SCALE: N.T.S.
DRAWN BY: AB
DATE: 11/25/22

STORMWATER DETAILS

Site Plan Prepared For
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York
Town of North Castle



LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER / DEVELOPER: JOSEPH & CELESTE RAULT
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

PROJECT LOCATION: 209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

EXISTING TOWN ZONING: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
REALTY SUBDIVISION: CLAIRE PERKINS FILED MAP: 25078 DATE FILED: 12/16/93 LOT: 1
TOWN TAX MAP DATA: SECTION 95.03, BLOCK 2, LOT 35
SITE AREA: 6.022 ACRES (262,318.32 SF)

SEWAGE FACILITIES: ONSITE SUBSURFACE TREATMENT SYSTEM
WATER FACILITIES: PRIVATE WELL
WATERSHED: LI SOUND

DESIGN BASIS:
11 BEDROOM NEW RESIDENCE @ 150 GAL/BDRM = 1,650 GAL
5 BEDROOM EXIST. COTTAGE @ 110 GAL/BDRM = 550 GAL X 1.25 (25% INCREASE) = 688 GAL
1 BEDROOM POOL HOUSE @ 110 GAL/BDRM = 110 X 1.25% = 137.5
TOTAL DESIGN FLOW = 2,476 GAL.

LENGTH OF FIELDS:
PERCOLATION DESIGN RATE: 1-5 MIN/IN
APPLICATION RATE: 1.2 GPD/SF
L = (2,476 GPD / 1.2 GPD/SF) / 2 SF/LF = 1032 LF REQUIRED

SEPTIC ABANDONMENT NOTES:

- The existing septic system shall be abandoned in accordance with the latest rules and regulations of the Westchester County Department of Health.
- The septic system shall either be buried on site or hauled off site. If hauled off site, it shall be done by a hauler licensed to haul hazardous waste in the State of New York and disposed of at a NYS permitted/licensed hazardous waste disposal facility.
- Disposal manifest records for off site disposal shall be maintained by the Owner and provided to the Engineer and WCHD for their records.
- No portion of any septic system or associated appurtenances shall remain within 20 ft of the footprint of any structure including but not limited to the house, patio, deck or accessory buildings.
- Abandonment and removal of the septic system is the full responsibility of the owner. The Engineer shall not be held responsible and disclaims any liability for damage or loss incurred during or after construction. The Engineer whose seal appears hereon is not responsible for construction and therefore assumes no responsibility for construction practices, procedures, and results therefrom for the removal of said systems.

PRIVATE DRILLED WELL CONSTRUCTION REQUIREMENTS:

- All water supply drilled wells must not be constructed without a valid permit issued by the WCHD. Wells shall be constructed in accordance with NYSDOH and WCHD standards.
- Wells must be sited to meet all minimum restrictive distances. Wells must be sited as per plan. Any deviation must be approved by the Engineer and, if required, by the WCHD.
- There are no sources of contamination within 200' of the proposed well (where new wells are proposed).
- The top of the well must be 18" above finished grade which shall slope away in all directions to provide positive drainage.
- Minimum well yield shall be 5 gpm based on a 6 hour pump test and have a minimum 42 gallon pressure tank. Yield tests below 5 gpm will require a special design (see WCHD standards). Well yields below 2 gpm are not acceptable. If a well yield of less than 5 gpm is encountered, contact the WCHD immediately.
- Well locations shown on plan are based on setback requirements and does not guarantee adequate water supply. A hydrogeologist should be consulted for conformation of water supply, if desired.

MINIMUM RESTRICTIVE DISTANCES TO WELL:

- | | |
|-----------------------------|---|
| 1. Property Line | 10 feet |
| 2. Sewage System Tankage | 50 feet |
| 3. Foundation | 10 feet |
| 4. Swimming Pools | 10 feet |
| 5. Watercourse or Waterbody | 50 feet |
| 6. Absorption Trench | 100 feet; 200 feet general path of drainage |
| 7. Seepage Pit | 150 feet; 200 feet general path of drainage |
| 8. Tri-gallery, 4x4 | 150 feet; 200 feet general path of drainage |
| 9. Flow Diffuser | 100 feet; 200 feet general path of drainage |

GENERAL NOTES:

- A written permit and/or approval issued by the WCHD to construct an individual sewerage system shall terminate and therefore be null and void unless construction is undertaken within one (1) year of the date of issuance.
- If for any reason the approved construction plan cannot be followed, a revised plan must be prepared, submitted and approved by the WCHD.
- All construction to be in accordance with these plans and last revised set of WCHD Rules and Regulations.
- All SSTS and wells shall be located in the exact location as shown on this plan unless otherwise authorized by the WCHD.
- Existing wells and SSTS shown on this map were installed prior to approval date and are not part of this approval.
- All laundry and kitchen wastes shall be discharged into the SSTS.
- No cellar, roof or footing drains shall be discharged into the SSTS or within 25' of any well.
- Within 24-hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health (WCHD) that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to WCHD.
- Prior to commencement of operation, a Certificate of Compliance must be applied for and received from WCHD.
- The proposed SSTS shall be isolated and protected against damage by erosion, storage of earth or materials, displacement, compaction or other adverse physical change in the characteristics of the soil or in the drainage of area.
- Proposed septic area to be kept free of traffic and debris during house construction and install adequate drainage to prevent erosion after septic is installed.
- Any modifications or deviations from this plan must be approved by the Design Engineer and WCHD prior to construction.
- The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- The Design Engineer shall supervise the construction of the SSTS and make an open works inspection.
- The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
- The proposed OWTS shall be installed by a Westchester County licensed septic contractor.
- Contractor to verify all substructures encountered during construction.
- The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.
- Survey and topographical information shown hereon prepared by surveyor: R.K.W. Land Surveying.

SEPTIC CONSTRUCTION REQUIREMENTS:

- General**
- The installation of the OWTS shall be in accordance with the most recently enacted Rules and Regulations for the Design and Construction of Residential Subsurface Sewage Treatment Systems and Drilled Wells in Westchester County, NY.
 - The Westchester County Health Department approval expires one year from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the department.
 - All work performed including new installations, repairs, relocations, etc. shall have all current required permits or approvals.
 - No regrading in SSTS area except as shown on this plan.
 - Boulders, if any on surface of ground shall be cleared away prior to construction of the SSTS.
 - Prior to any excavation all underground utilities must be located. Call 1-800-962-7962.
- House Connection & Tanks**
- The house sewer to tank connection shall be a minimum 4" diameter at a minimum slope of 2.0%. The pipe shall be cast iron, ductile iron, or sewer grade PVC. All materials shall comply to the NYS Uniform Fire Prevention and Building Code(9NYCRR). The house trap shall have a cleanout and fresh air intake having a minimum diameter of one-half.
 - If cover exceeds 2 ft over any installed tank or chamber, a manhole and collar to grade is required for access. Minimum requirement of 6-12" of cover over all tanks and chambers.
- Absorption Fields**
- Absorption Fields to be constructed of 4" perforated PVC pipe or equal, encased in crushed stone over pipe with standard precast junction boxes at influent connection and 4" solid PVC pipe running from septic tank outlet to and between junction boxes.
 - Minimum Trench Depth = 18", Trench Width = 24"
 - Total depth of stone in trench = 12" (washed gravel 3/4" to 1 1/2").
 - Maximum backfill over trench - 14"
 - All septic field laterals shall be of equal length (60' max. w/o dosing and 100' max. if dosed) and parallel to contours at a slope rate of 1/16" per foot.
 - All pipes connecting to tank and boxes shall be cut flush with the inside wall of box.
 - PVC pipe to meet minimum standards of ASTM D-2729.
 - Absorption trenches shall not be installed or backfilled in wet, frozen, frost or snow covered soils.
 - Backfill material for the trenches shall contain no particles with any dimension greater than 4". Backfill septic material must be inspected and approved by the WCHD before installation.
 - No laterals shall be placed beneath a driveway or paved areas.
 - There shall be no trees within 10 feet of the absorption fields.
 - End caps to be placed at end of all 4" perforated P.V.C. pipe in absorption fields.
- Fill Section**
- R.O.B. gravel and impervious material to be inspected and approved by the Design Engineer prior to installation of the proposed system. Fill shall contain no particles greater than 4" in diameter. Fill shall be placed over expansion area where shown as required by WCHD.
 - Fill stabilization may not be achieved by mechanical compaction Only by a natural settling, for a period required by W.C.H.D. which may include a freeze-thaw cycle. Percolation tests must be done in stabilized fill and must meet the design rate.
 - Prior to submission of Certificate of Compliance to WCHD, fill section must be stabilized with grass seed and hay cover.
- WCHD NOTES:**
- The design professional shall supervise the construction of the SSTS and make an open works inspection.
 - Within 24-hours of the completion of the SSTS, the design professional must notify the Westchester County Department of Health that the SSTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to the Department.
 - The proposed Well shall be installed by a New York State Department of Environmental Conservation Registered well driller.
 - Drilled well to be sampled and tested in accordance with the ECHOH Private well testing law.
 - There are no sources of contamination within 200 feet of the proposed well.
 - There shall be no trees within 10 feet of the OWTS.
 - That no backfilling of a completed OWTS can occur until after it has been inspected and accepted by the Westchester County Department of Health.
 - After backfilling the OWTS, the entire area shall be covered with a minimum of 4 inches of clean top soil seeded and mulched.
 - There are DEC wetlands, streams, ponds etc. with in 200' of SSTS. There are no reservoir/reservoir stems or controlled lake with in 500' of SSTS.
 - There is 1.82 AC of proposed disturbance.
 - There are no existing or proposed wells within 200 feet of the proposed OWTS.
 - There are no existing SSTS within 200 ft of well unless otherwise shown on this plan.
 - Estimated construction and completion date: JANUARY 2023 to JANUARY 2024.

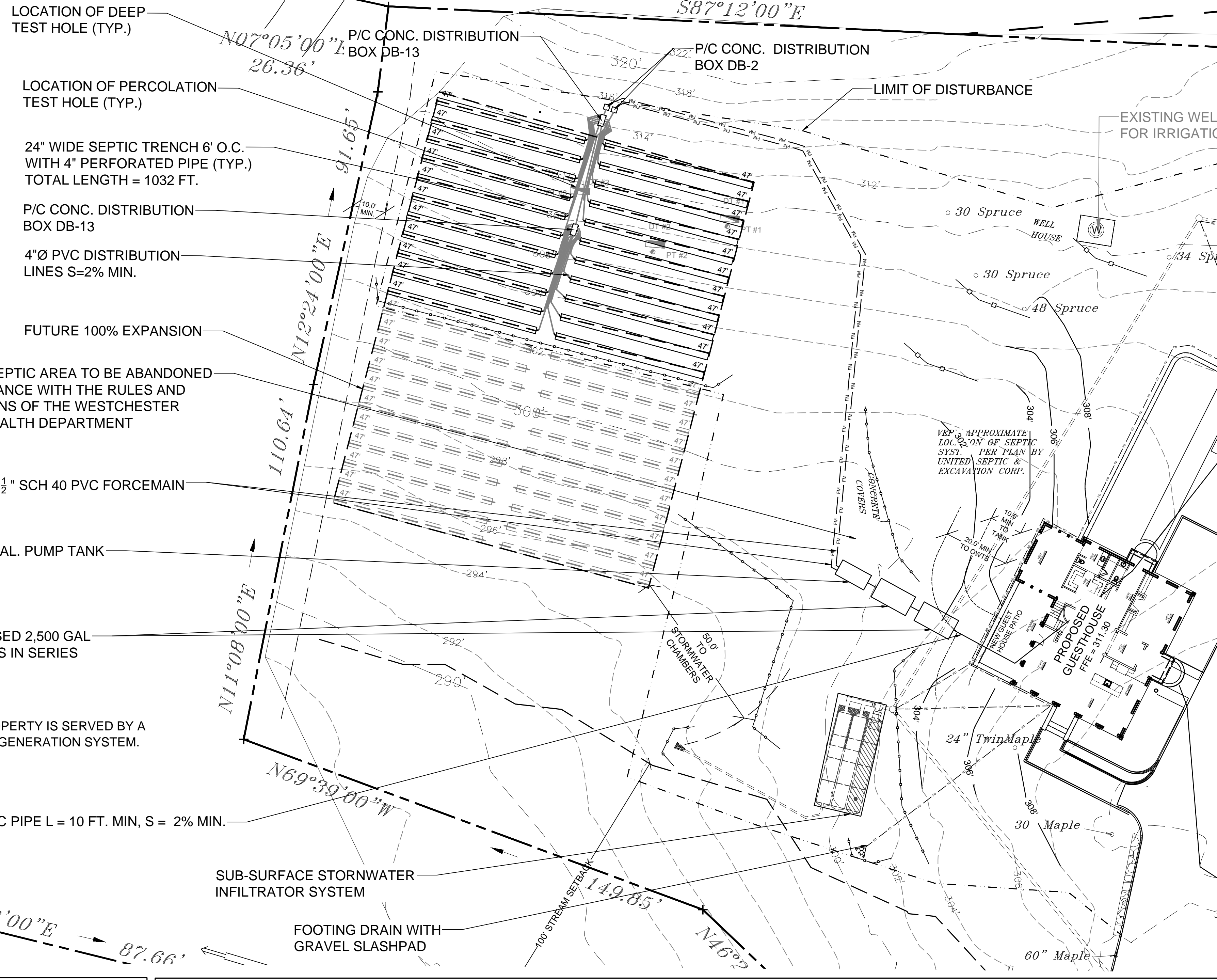
SEPARATION DISTANCES FROM WASTEWATER SOURCES						
WASTEWATER SOURCES	DRILLED WELL OR SECTION LINE (G) (FT)	TO STREAM LAKE WATERCOURSE (B) OR WETLAND (FT)	DWELLING (FT)	PROPERTY LINES (FT)	DRAINAGE DITCH/RAIN GARDEN (H) (FT)	INGROUND POOL (FT)
HOUSE SEWER	25' CIP 50' OTHER	25'	3'	10'	10'	10'
SEPTIC TANK	50'	50'	10' (H)	10'	10'	20'
EFFLUENT LINE / FORCE MAIN	50'	50'	10'	10'	10'	10'
DISTRIBUTION BOX / JUNCTION BOX	100'	100'	20' (D)	10'	20'	20'
ABSORPTION FIELD (F)	100' (A)	100'	20' (D)	10'	20'	35'
SEEPAGE PIT	150' (A)	100'	20' (D)	10'	20'	50'
DRY WELL (D) ROOF & FOOTINGS ROADS & DRIVEWAY	50' 100'	25' 25'	20' 20'	10'	10' 10'	20' 20'

NOTES:

- Wells located in the general path of drainage of a SSTS must be located 200 feet or more away. All public water supply wells must be 200 feet from absorption fields or seepage pits.
- Mean high water mark of defined stream or lake.
- Drywells are not allowed above OWTS (drywells, Stormwater infiltrator or other subsurface stormwater infiltrator units)
- For slab on grade foundations with no drains, distance can be reduced in half.
- For all systems involving placement of fill, separation distances are measured from the toe of the fill.
- Closest part of OWTS shall be located at least ten (10) feet from any water service line (i.e., PWS main, water service connection, well).
- Recommended
- Septic tanks are not permitted beneath raised decks and require a minimum of five (5) feet separation from deck piers (sonotubes)

ADDITIONAL SEPARATION DISTANCES FROM SSTA TO:

- Piped Drainage: 25 feet
- Open Channel Drainage: 50 feet
- Curtain Drain (upgrade from SSTS): 15 feet
- Curtain Drain (downgrade from SSTS): 50 feet
- Catch Basin: 50 feet
- Driveway: 5 feet
- Stormwater Basin: 100 feet (high water elevation)
- Above Ground Well: 10 feet
- Deck with Pilings / Sonotube: 10 feet
- Slab on Grade Foundation: 10 feet
- Roof & Footing Drain Discharge Pipe: 10 feet



LOCATION OF DEEP TEST HOLE (TYP.)

LOCATION OF PERCOLATION TEST HOLE (TYP.)

24" WIDE SEPTIC TRENCH 6' O.C. WITH 4" PERFORATED PIPE (TYP.) TOTAL LENGTH = 1032 FT.

P/C CONC. DISTRIBUTION BOX DB-13

4"Ø PVC DISTRIBUTION LINES S=2% MIN.

FUTURE 100% EXPANSION

EXISTING SEPTIC AREA TO BE ABANDONED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE WESTCHESTER COUNTY HEALTH DEPARTMENT

1 1/2" SCH 40 PVC FORCEMAIN

P/C CONCRETE 1,000 GAL. PUMP TANK IS TO BE INSTALLED

TWO PROPOSED 2,500 GAL SEPTIC TANKS IN SERIES

NOTE

THE ENTIRE PROPERTY IS SERVED BY A 100 KW BACKUP GENERATION SYSTEM.

4" SDR 35 PVC PIPE L = 10 FT. MIN, S = 2% MIN.

SUB-SURFACE STORMWATER INFILTRATOR SYSTEM

FOOTING DRAIN WITH GRAVEL SLASHPAD

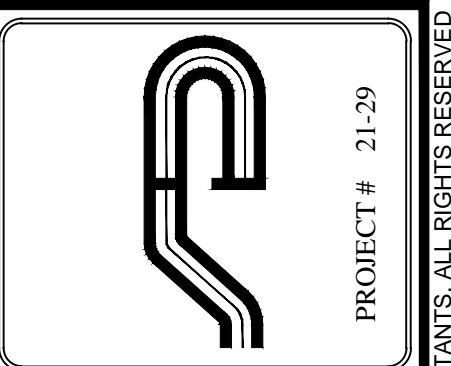
SOILS CLASSIFICATIONS			
TYPE	NAME	DESCRIPTION	HYDROLOGICAL GROUP
CsD	CHATFIELD/CHARLTON	FINE SANDY LOAM	B
C/C	CHARLTON/CHATFIELD	FINE SANDY LOAM	B

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY R.K.W. LAND SURVEYING, DATED 05/26/2021, LAST REVISED 06/24/2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

HEALTH DEPARTMENT SEPTIC SCHEDULE																						
LOT NO.	S.S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC. RATE (MIN/IN)	MIN. DESIGN RATE	DESIGN DATA										
												APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE	TANK SIZE	REQD. TRENCH LENGTH	BANK RUN FILL DEPTH	FILL VOLUME	CURTAIN DRAIN DEPTH	CURTAIN DRAIN LENGTH	REMARKS	
35	10,588.50 S.F.	262,318 S.F.	TP-#1	6" T.SOIL, 6'-62" MOD. SANDY LOAM, 62'-86" LOOSE COMP. SAND	7'-2"				PT-1	1-5 MIN.	1-5 MIN.	1.20	14 BRM	2,063 GPD	TWO 2,500 GAL TANKS	860 LF						
			TP-#2	6" T.SOIL, 6'-42" MOD. COMP. SANDY LOAM, 42'-86" MOD. COMP. SANDY LOAM	7'-2"			13.74 %	PT-2	1-5 MIN.	1-5 MIN.											
			TP-#3	6" T.SOIL, 6'-48" MOD. COMP. SANDY LOAM, 48'-86" LOOSE COMP. SAND	7'-2"				PT-3	1-5 MIN.												

NOTE: Required trench length taken from table in WCHD Rules and Regulations. (Based on Perc Test)

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



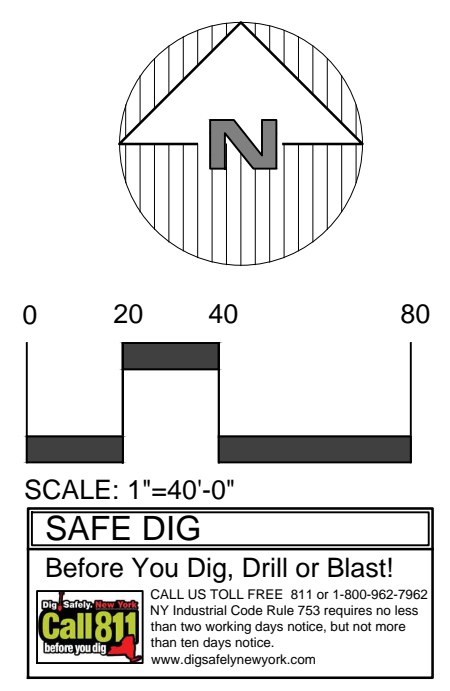
Site Design Consultants
Civil Engineers • Land Planners
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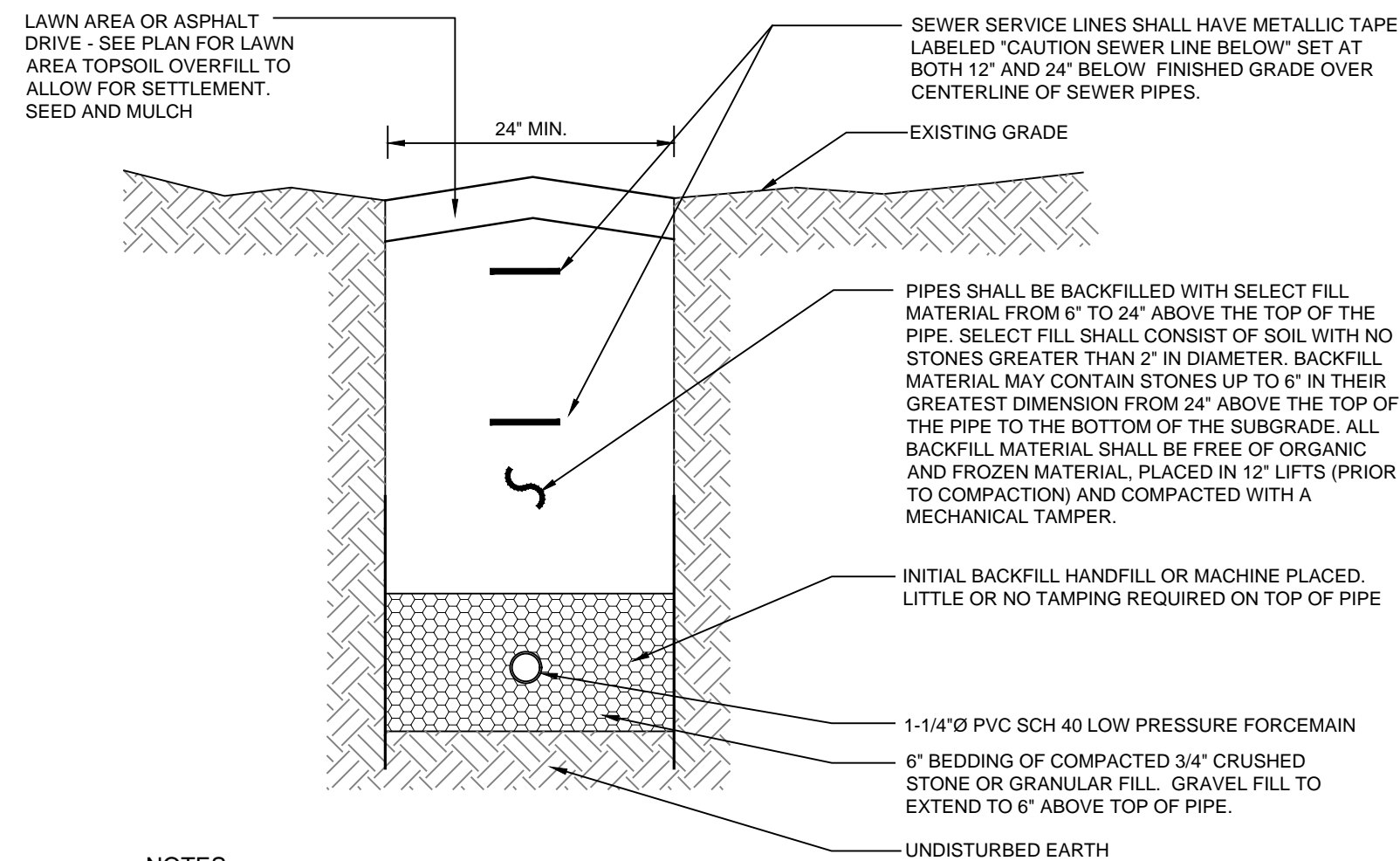
Revisions:	No.	Date	Comments:
	1.	1/12/23	Plan Update

SCALE: 1" = 20'
DRAWN BY: AB
DATE: 10/21/22

OWTS PLAN
OWTS PLAN PREPARED FOR
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York



SAFE DIG
Before You Dig, Drill or Blast!
Call 811 TOLL FREE 811-888-6868
NY Industrial Code Book 233 requires no less than working days notice, but not more than ten days notice.
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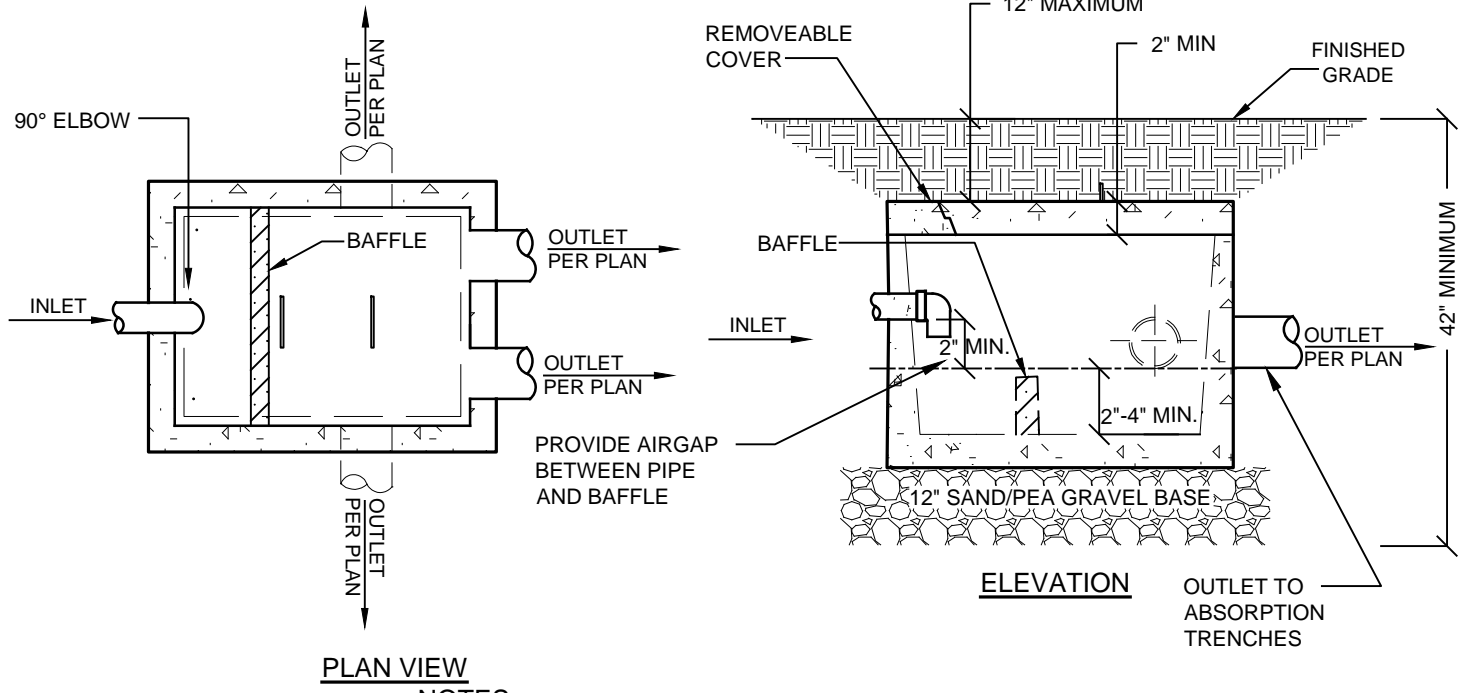


- NOTES:**
- Forcemain to be installed in conformance with all applicable standards, and shall be tested to withstand 2.5 times the maximum operating pressure or a min. 50 psi test pressure for 2 hrs.
 - When the forcemain is installed in a fill section, crushed stone, gravel or approved structural fill shall be installed.

S-1

LOW PRESSURE FORCE MAIN DETAIL

NOT TO SCALE

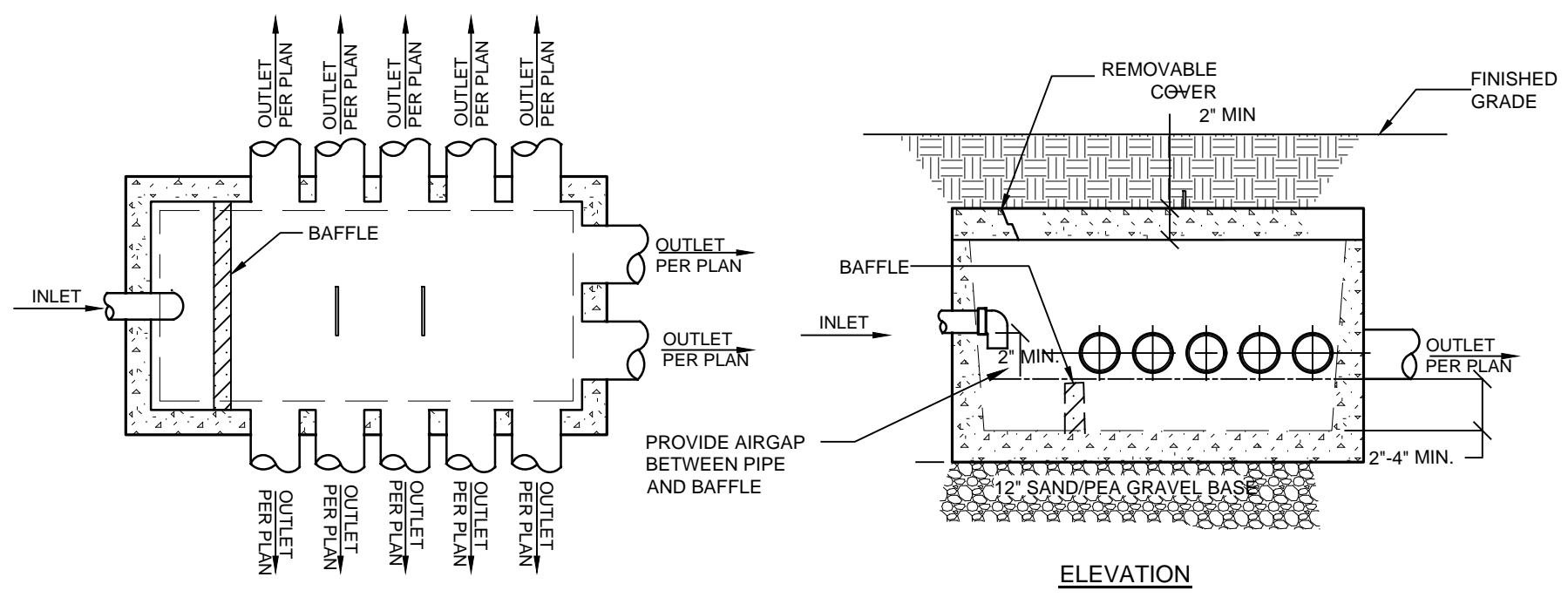


- NOTES:**
- Bottom of distribution box must be level and firmly supported below frost line.
 - Distribution box footing to extend to 42" below ground level.
 - Distribution box shall be constructed of waterproofed masonry construction.
 - Tight joint pipe shall be used from septic tank to box and between all boxes, discharge line from dose chamber, or forcemain from pump chamber to inlet side of distribution box.
 - Maximum cover above distribution boxes shall be 12 inches.
 - Distribution box shall have not less than two outlets with one outlet for each lateral.
 - All outlets shall be set at the same elevation.
 - Baffles to insure equal distribution, may be required.
 - All outlet pipes shall be cut flush with inside of distribution box.

S-4

DB-2 DISTRIBUTION BOX DETAIL

NOT TO SCALE

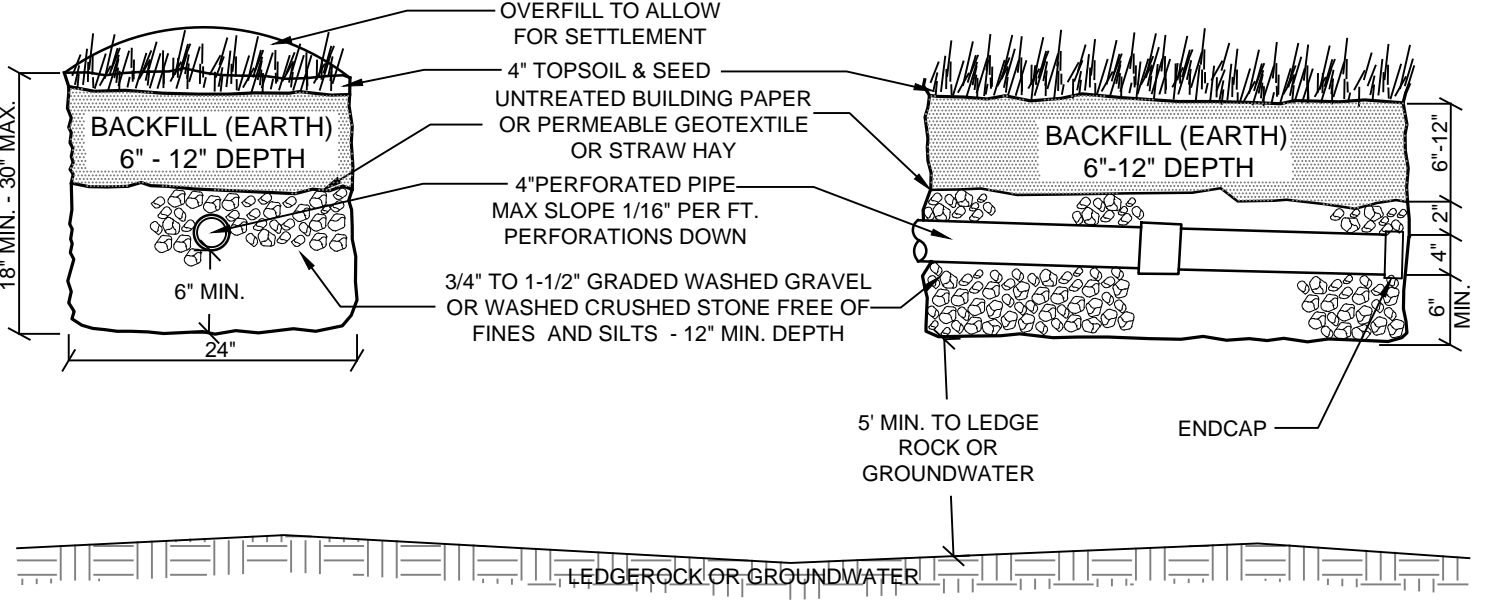


- NOTES:**
- Bottom of distribution box must be level and firmly supported below frost line.
 - Distribution box footing to extend to 42" below ground level.
 - Distribution box shall be constructed of waterproofed masonry construction.
 - Tight joint pipe shall be used from septic tank to box and between all boxes, discharge line from dose chamber, or forcemain from pump chamber to inlet side of distribution box.
 - Maximum cover above distribution boxes shall be 12 inches.
 - Distribution box shall have not less than two outlets with one outlet for each lateral.
 - All outlets shall be set at the same elevations.
 - Baffles to insure equal distribution, may be required.
 - All outlet pipes shall be cut flush with inside of distribution box.

S-2

DB-13 DISTRIBUTION BOX DETAIL

NOT TO SCALE

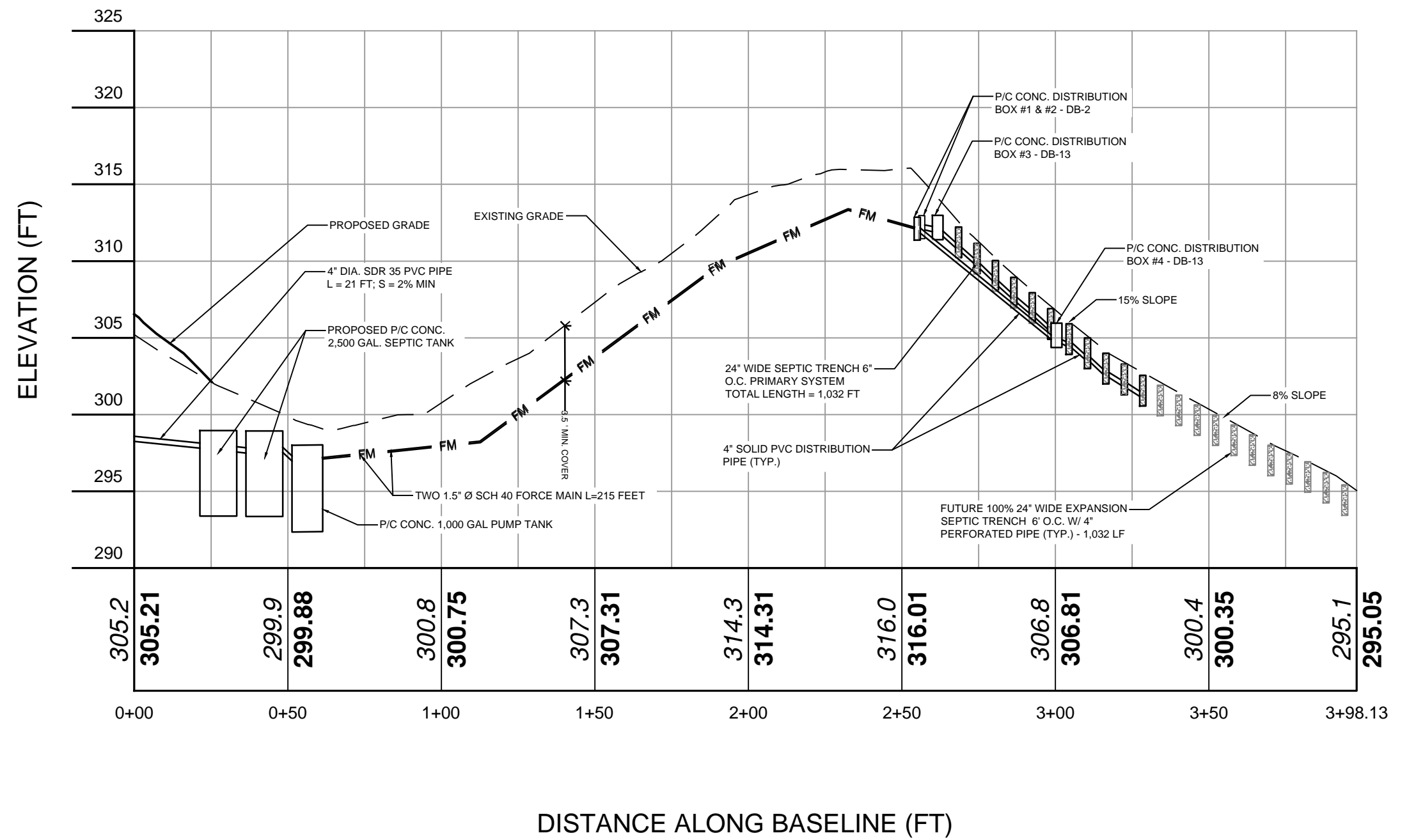


- NOTES:**
- Ends of all trenches are to be capped.
 - A separation distance of 5' minimum is required between the bottom of absorption trench and presence of ledgerrock and/or groundwater table.
 - 4 inch perforated PVC gravity distribution lines shall be set at a pitch of 1/16" to 1/32" per ft. for gravity systems and set level for dosed systems.
 - DO NOT install absorption trenches in wet or frozen soils.
 - Absorption trenches are to be installed parallel to the contour.

S-5

PERFORATED PIPE TRENCH DETAIL

NOT TO SCALE

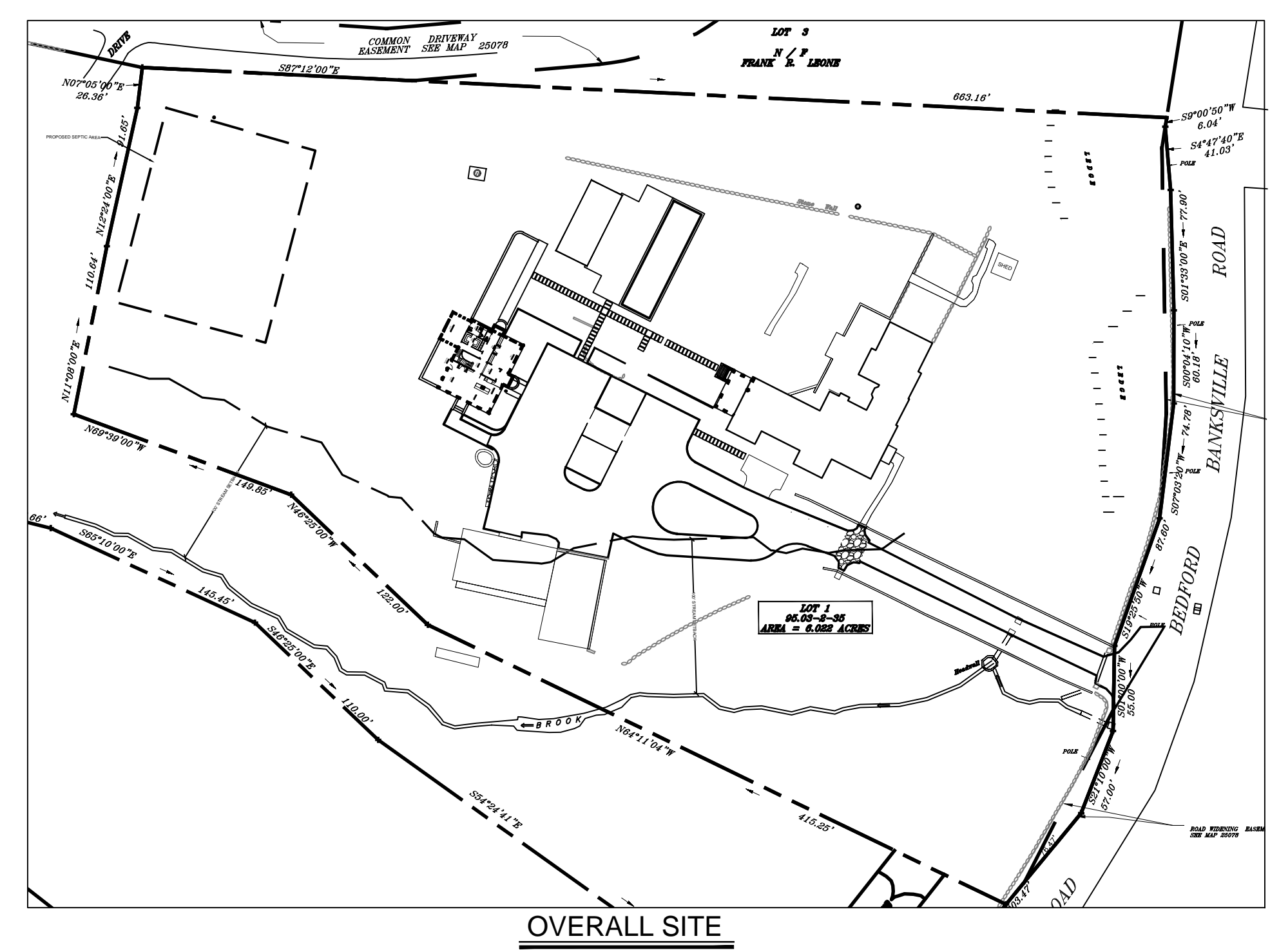


SEPTIC
VERT. SCALE: 1" = 8
HORIZ. SCALE: 1" = 40

PROPOSED RESIDENCE OWTS PROFILE

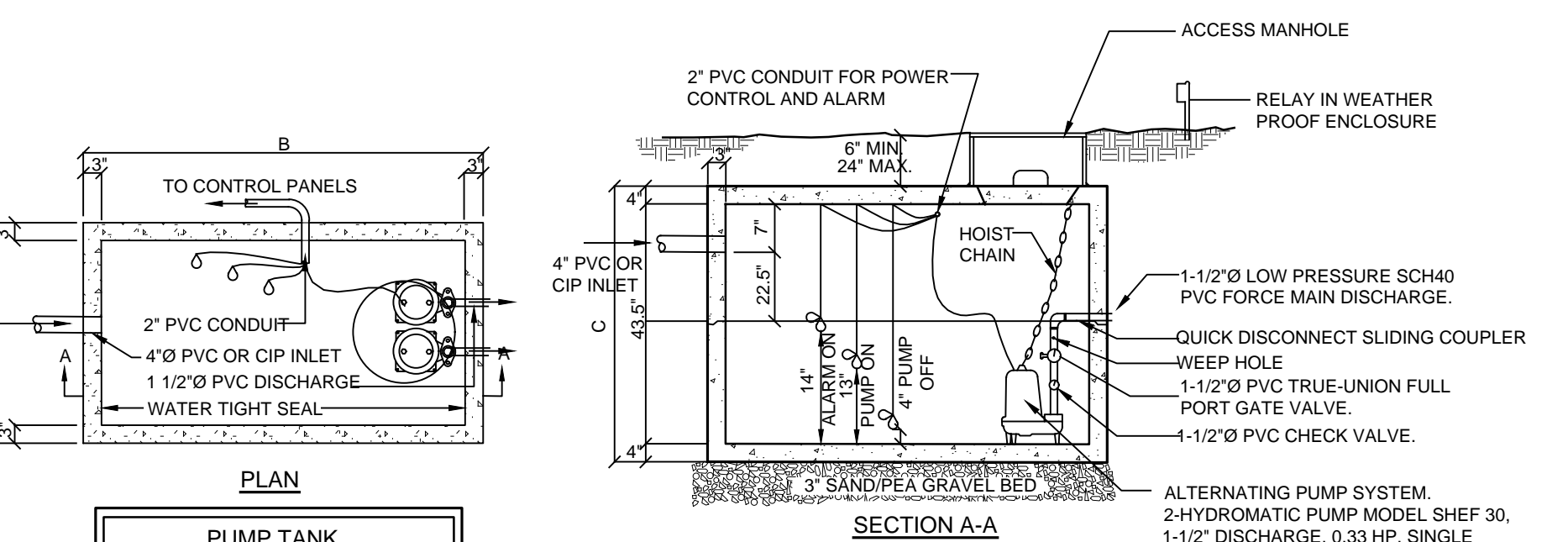
SCALE: 1"=40'

P-1



OVERALL SITE

SCALE: 1"=80'



LIQUID CAPACITY	A	B	C
660 Gal.	42"	54.5"	59"
750 Gal.	48"	60"	64.5"
1,000 Gal.	58"	70"	77"
1,250 Gal.	60"	72"	81"
1,500 Gal.	67"	78"	88"

- PUMP CALCULATIONS:**
TOTAL FLOW: 2,476 GAL./DAY
LENGTH OF FIELDS: 1,032 L.F. W/24" TRENCHES
RATE OF PUMPING: 0.5 GAL./L.F.
- HEAD LOSS CALCULATION:**
TOTAL HEAD LOSS = STATIC LOSS + FRICTION LOSS + MINOR LOSS
FROM DESIGN CALCULATIONS:
TDH = 15.5' + 3.3' = 18.8'
- NOTES:**
- The minimum required fill cover above the pump chamber shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the pump chamber is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - Pump shall be Hydromatic pump Model SHEF 30, 1-1/2" discharge, 0.33 HP, single phase, 1550 RPM, 3/4" solids handling, rated capacity of 16.5 GPM @ 18.5 FT TDH.
 - The Contractor shall provide one (1) spare pump of equal size to be maintained on site at all times.
 - Pump chamber as manufactured by M&M Concrete Products Inc.
 - Pump settings may vary for tanks whose dimensions differ from those shown above. Contractor shall notify engineer of any change.
 - All pipes connecting to the chamber shall be cut flush with the inside wall.
 - Contractor shall supply and install control / alarm panel within building basement or other approved location.
 - Electrical Underwriters Certificate is required for all installations.

S-6

DUPLEX PUMP CHAMBER DETAIL

NOT TO SCALE

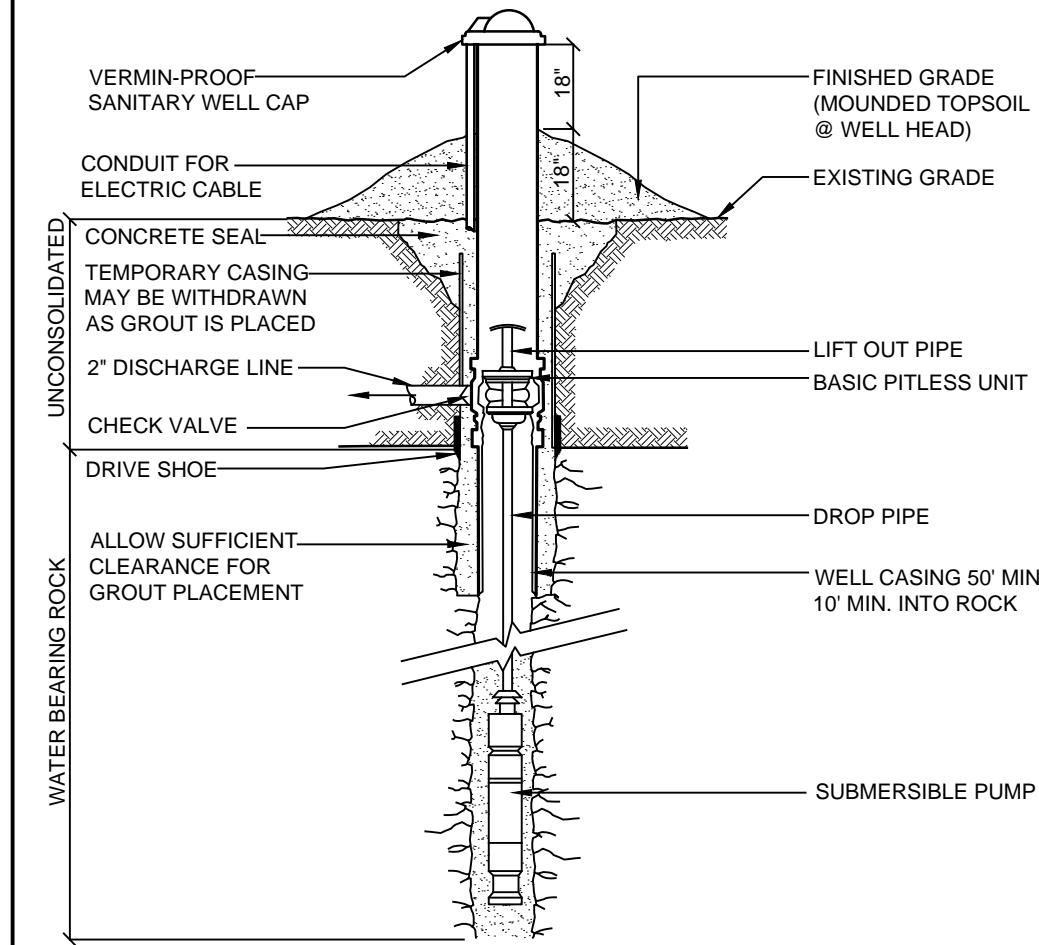
LIQUID CAPACITY	A	B	C	D	E	F	G	H	I	J	K	L
1,000 Gal.	50"	102"	07"	50"	40"	12"	3"	0"	4"	0"	20"	10"x14"
1,250 Gal.	60"	120"	07"	50"	40"	12"	3"	0"	4"	0"	20"	10"x14"
1,500 Gal.	65"	120"	07"	50"	40"	12"	3"	0"	4"	0"	20"	10"x14"
1,750 Gal.	70"	144"	07"	50"	40"	12"	3"	0"	4"	0"	20"	10"x14"
2,500 Gal.	78"	149"	83"	69.5"	59.5"	12"	6"	5"	4"	6"x9"	20"	10"x14"

- NOTES:**
- The minimum required fill cover above the septic tank shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extensions with steel frames and covers shall be installed and extended to finished grade. If the septic tank is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - The dual compartment baffle is required on all septic tanks with a length "B" equal to or greater than 10 feet.
 - For installations that require an overflow tank, a tank the same size as the septic tank shall be used. Dual compartment baffles are not required on overflow tanks regardless of the size.
 - All pipes connecting to the tank shall be cut flush with the inside wall.
 - Tank shall be manufactured by Mid Hudson Concrete Products, Inc.

S-3

PRECAST CONCRETE SEPTIC TANK DETAIL AND OVERFLOW TANK DETAIL

NOT TO SCALE

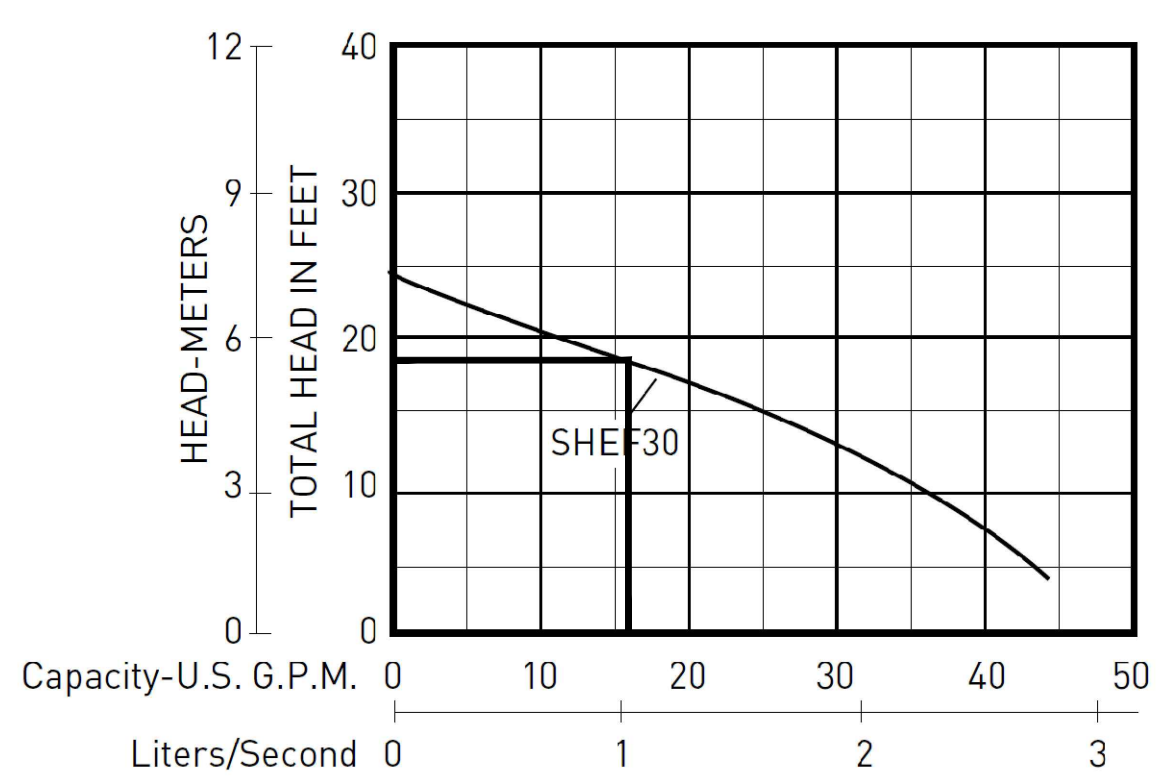


- NOTES:**
- The top of the well casing shall be set a minimum of 2 ft above the 100 yr high-water level or 18" above finished ground surface, whichever is greater.
 - A minimum of 4 feet of cover shall be provided over the water service line.

W-1

DRILLED WELL DETAIL

NOT TO SCALE



Site Design Consultants
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www.sitedesignconsultants.com

Engineer:
JOSEPH A. RAULT
Professional Engineer
NYS Lic. No. 64431

Revisions:	No.	Date	Comments:
	1	1/12/23	Plan Update

SCALE:	AS NOTED
DRAWN BY:	AB
DATE:	10/21/22

OWTS DETAILS

OWTS PLAN PREPARED FOR
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York

E:\2023\12-20-2023\JOSEPH A. CELESTE RAULT - 209 BEDFORD BANKSVILLE RD.DWG\23-01-20 SITE PLAN\12-20-23.DWG 11/26/2023 5:34:52 PM

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