



November 28, 2022

Mr. Christopher Carthy, Chairman
and Members of the Planning Board
Town of North Castle
17 Bedford Road
Armonk, NY 10504

RE: Rault Residence
209 Bedford Banksville Road
Town of North Castle, NY

Dear Chairman Carthy and Members of the Planning Board:

On behalf of the owner and applicant, Joseph and Celeste Rault, we are pleased to submit the following documents for your preliminary review of the Site Plan and request a positive referral to the ZBA for the proposed residential development on 209 Bedford Banksville Road:

I. Granoff Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
G. LND CVG.	Gross Land Coverage Site Plan	11/16/2022
BLDG. CVG.	Building Coverage Site Plan	11/16/2022
F.A.R.	F.A.R. Site Plan	11/16/2022
	Gross Land Calculation Worksheet	11/16/2022
	F.A.R. Calculation Worksheet	11/16/2022
AS001	Architectural Site Plan	8/15/2022
A101	Main House-1 st Floor	8/15/2022
A102	Main House-2 nd Floor	8/15/2022
A103	Main House-Attic	8/15/2022
A301a	Main House-North Elevation	8/15/2022
A301b	Main House-North Elevation	8/15/2022
A302	Main House-West Elevation	8/15/2022
A303a	Main House-South Elevation	8/15/2022
A303b	Main House-South Elevation	8/15/2022



<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
A101GAR	Garage Floor Plans	8/15/2022
A301 GAR	Garage-East and North Elevations	8/15/2022
A302 GAR	Garage-West and South Elevations	8/15/2022
A101 GH	Guest House-First Floor Plan	8/15/2022
A102 GH	Guest House-Second Floor Plan	8/15/2022
A301 GH	Guest House- East and North Elevations	8/15/2022
A302 GH	Guest House- West and South Elevations	8/15/2022
A101 PH	Pool House Plan and Elevations	8/15/2022
	Exterior Rendering Binder	
	Street Images and Google Earth View	

2. Site Design Consultants Drawings:

<u>Dwg. No.</u>	<u>Title</u>	<u>Rev. #/Date</u>
	Site Plan	10/21/2022
	OWTS Plan	10/21/2022

We trust the attached documents are sufficient for your review and we respectfully request placement on the December 12th Planning Board agenda. Thank you for your consideration. If you have any questions or require additional information, please do not hesitate to contact our office at (203) 625-9460.

Sincerely,
Granoff Architects

Ken Andersen, AIA
Project Architect

cc: Adam R. Kaufman, AICP
John Kellard, PE
Roland Baroni, Esq.
P. Daniel Hollis, III, Esq.
Joseph C. Riina, PE
Joseph and Celeste Rault



Existing Aerial

Mianus River

209 Bedford-Banksville Rd

LOT 1

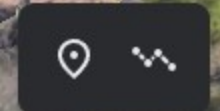
LOT 2



209 Bedford-Banksville Rd
Building

[More info](#)

[Add to project](#)



LOT 1 ENTRY



LOT 1 AND 2 STREET VIEW

209 Bedford-Bank...
209 Bedford-Banksville...
41.16°N, 73.66°W



LOT 1 AND 2 STREET VIEW

209 E Rd, B
209 Bedford-Banksville...
41.16°N, 73.66°W



2D
+ -
Navigation icons: person, compass, globe, zoom in, zoom out

PROPOSED SITE PLAN
RENDERING

NEW
POOL
HOUSE

NEW
POOL

EXISTING MAIN
HOUSE

NEW
GUEST
HOUSE

NEW
GARAGE

EXISTING BARN



PROPOSED
RENDERING



PROPOSED
RENDERING



PROPOSED
RENDERING





TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Joseph & Celeste Rault Date: 11/16/2022

Tax Map Designation or Proposed Lot No.: 95.03-2-35 (lot 1)

Gross Lot Coverage

- 1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 6.022 Ac
- 2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 26,410 SF
- 3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 - Distance principal home is beyond minimum front yard setback
106 x 10 = 1,060 SF
- 4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 27,470 SF (LOT 1)
20,520.54 (LOT 2)
- 5. Amount of lot area covered by **principal building**:
5,675.40 SQ existing + 0 SF proposed = 5,675.40 SF
- 6. Amount of lot area covered by **accessory buildings**:
1,917.44 SQ existing + 5,464.02 SF proposed = 11685.94 SF
- 7. Amount of lot area covered by **decks**:
0 SQ existing + 489 SF proposed = 489 SF
- 8. Amount of lot area covered by **porches**:
264.1 SQ existing + 2,226.91 SF proposed = 2491.01 SF
- 9. Amount of lot area covered by **driveway, parking areas and walkways**:
12,390.05 SQ existing + 5,365.63 SF proposed = 17,755.68 SF
- 10. Amount of lot area covered by **terraces**:
1,779.05 SQ existing + 0 SF proposed = 1,779.05 SF
- 11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
2,374.15 SQ existing + 2,092.64 SF proposed = 4,466.79 SF
- 12. Amount of lot area covered by **all other structures**:
173.13 SQ existing + 0 SF proposed = 173.13 SF
- 13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 44,516 SF

=47,990.54 SF
 TOTAL
 AVAILABLE

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

11/16/22
 Date



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
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Director of Planning

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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Joseph & Celeste Rault Date: 11/16/2022

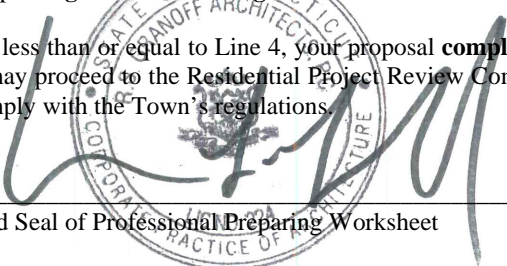
Tax Map Designation or Proposed Lot No.: 95.03-2-33 (lot 2)

Gross Lot Coverage

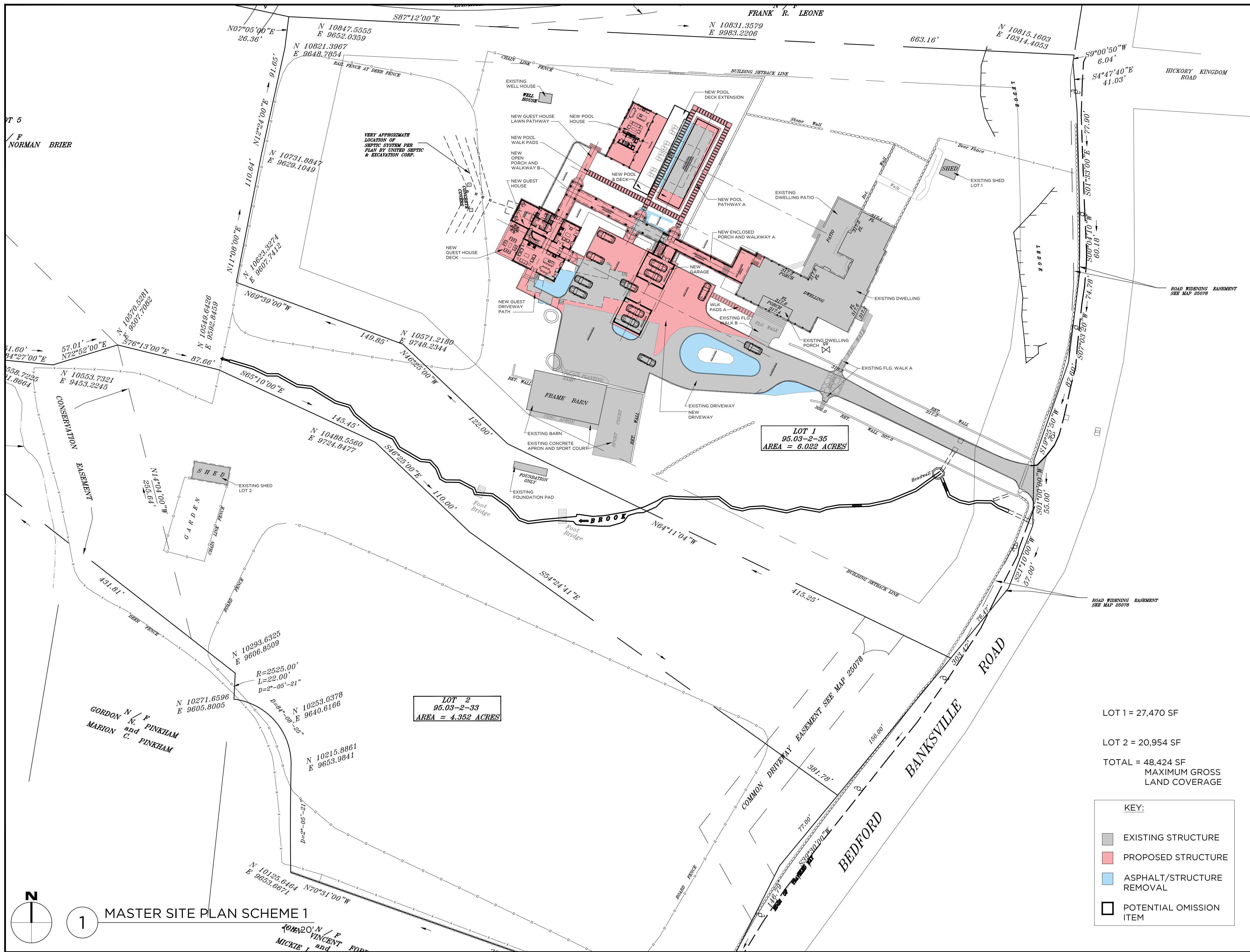
1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 4.352 Ac
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 20,954 SF
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):

Distance principal home is beyond minimum front yard setback
106 x 10 = 0 SF
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 0 SF
5. Amount of lot area covered by **principal building**:
0 SF existing + 0 SF proposed = 0 SF
6. Amount of lot area covered by **accessory buildings**:
0 SF existing + 0 SF proposed = 0 SF
7. Amount of lot area covered by **decks**:
0 SF existing + 0 SF proposed = 0 SF
8. Amount of lot area covered by **porches**:
0 SF existing + 0 SF proposed = 0 SF
9. Amount of lot area covered by **driveway, parking areas and walkways**:
0 SF existing + 0 SF proposed = 0 SF
10. Amount of lot area covered by **terraces**:
0 SF existing + 0 SF proposed = 0 SF
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 SF existing + 0 SF proposed = 0 SF
12. Amount of lot area covered by **all other structures**:
433.46 SF existing + 0 SF proposed = 433.46 SF
13. Proposed **gross land coverage**: Total of Lines 5 – 12 = 433.46 SF

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


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11/16/22
 Date



EXISTING BUILDINGS AND SITE COVERAGE	
BUILDING, STRUCTURE, SURFACES	SQFT
SHED LOT 1	187 SQFT
SHED LOT 2	433.46 SQFT
DWELLING	5,675.4 SQFT
DWELLING PORCH	264.1 SQFT
DWELLING PATIO	1,779.05 SQFT
FLG. WALK A	400.40 SQFT
DRIVEWAY	13,141.15 SQFT
FLG. WALK B	665.67 SQFT
COTTAGE	2,271.57 SQFT
BARN	2,117.05 SQFT
CONCRETE APRON & SPORT COURT	2,131.51 SQFT
FOUNDATION PAD	173.13 SQFT
WELL HOUSE	84.89 SQFT
POOL AND POOL WALKWAY:	1669.36 SQFT
POOL HOUSE AND POOL DECK:	455.81 SQFT
GRAND TOTAL:	31,449.55 SQFT
COTTAGE REMOVAL	439.02 SQFT
DRIVEWAY REMOVAL	1,817.17 SQFT
POOL HOUSE & POOL WALKWAY REMOVAL	102.39 SQFT
POOL & POOL DECK REMOVAL	213.17 SQFT
REMOVAL GRAND TOTAL	2,571.75 SQFT
EXISTING CONDITIONS W/ REMOVALS	28,877.80 SQFT
DRIVEWAY	3,797.37 SQFT
WALKWAY PADS A	128 SQFT
ENCLOSED PORCH & WALKWAY A	1,173.55 SQFT
GARAGE	1,844.99 SQFT
OPEN PORCH AND WALKWAY B	1,053.36 SQFT
GUEST HOUSE	2,369.43 SQFT
GUEST HOUSE DECK	489 SQFT
GUEST DRIVEWAY PATH	351.84 SQFT
POOL PATHWAY A	679.57 SQFT
POOL WALK PADS	176 SQFT
GUEST HOUSE LAWN PATHWAY	232.85 SQFT
POOL HOUSE	1,249.60 SQFT
POOL & POOL DECK	1,061.7 SQFT
POOL DECK EXTENSION	1030.94 SQFT
GRAND TOTAL OF NEW:	15,638.20 SQFT
GRAND TOTAL PROPOSED COVERAGE:	43,485.06 SQFT
	44,516.00 SQFT

LOT 1 = 27,470 SF
 LOT 2 = 20,954 SF
 TOTAL = 48,424 SF
 MAXIMUM GROSS LAND COVERAGE

KEY:

- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- ASPHALT/STRUCTURE REMOVAL
- POTENTIAL OMISSION ITEM

1 MASTER SITE PLAN SCHEME 1

RAULT RESIDENCE

209 BEDFORD-BANKSVILLE ROAD
 BEDFORD, NY 10506

DATE: 11.16.22



DRAWING NO.:

G.LND CVR.

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FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Joseph & Celeste Rault Date: 11/16/2022

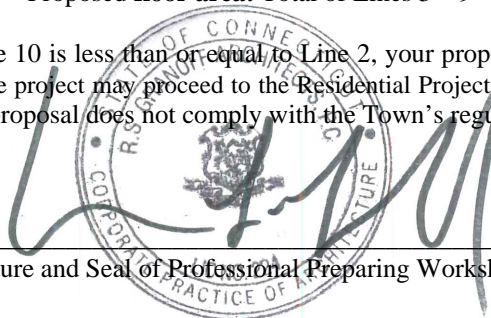
Tax Map Designation or Proposed Lot No.: 95.03-2-35 (lot 1) and (lot 2)

Floor Area

- | | | |
|-----|---|---|
| | | Lot 1=262,318 SF |
| | | Lot 2=189,573 SF |
| 1. | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): | |
| 2. | Maximum permitted floor area (per Section 355-26.B(4)): | Lot 1=16,249 SF
Lot 2=14,067 SF = <u>30,316 SF</u> |
| 3. | Amount of floor area contained within first floor:
<u>5426 SF</u> existing + <u>1,088 SF</u> proposed = | <u>6,514 SF</u> |
| 4. | Amount of floor area contained within second floor:
<u>5426 SF</u> existing + <u>394 SF</u> proposed = | <u>5,820 SF</u> |
| 5. | Amount of floor area contained within garage:
<u>0 SF</u> existing + <u>1,869 SF</u> proposed = | <u>1,869 SF</u> |
| 6. | Amount of floor area contained within porches capable of being enclosed:
<u>264 SF</u> existing + <u>1,145.54 SF</u> proposed = | <u>1,409.54 SF</u> |
| 7. | Amount of floor area contained within basement (if applicable – see definition):
<u>0 SF</u> existing + <u>0 SF</u> proposed = | <u>0 SF</u> |
| 8. | Amount of floor area contained within attic (if applicable – see definition):
<u>680.6 SF</u> existing + <u>2,109.49 SF</u> proposed = | <u>2,790.09 SF</u> |
| 9. | Amount of floor area contained within all accessory buildings:
<u>3,822.35 SF</u> existing + <u>5,401.49 SF</u> proposed = | <u>9,223.84 SF</u> |
| 10. | Proposed floor area : Total of Lines 3 – 9 = | <u>27,626.47 SF</u> |

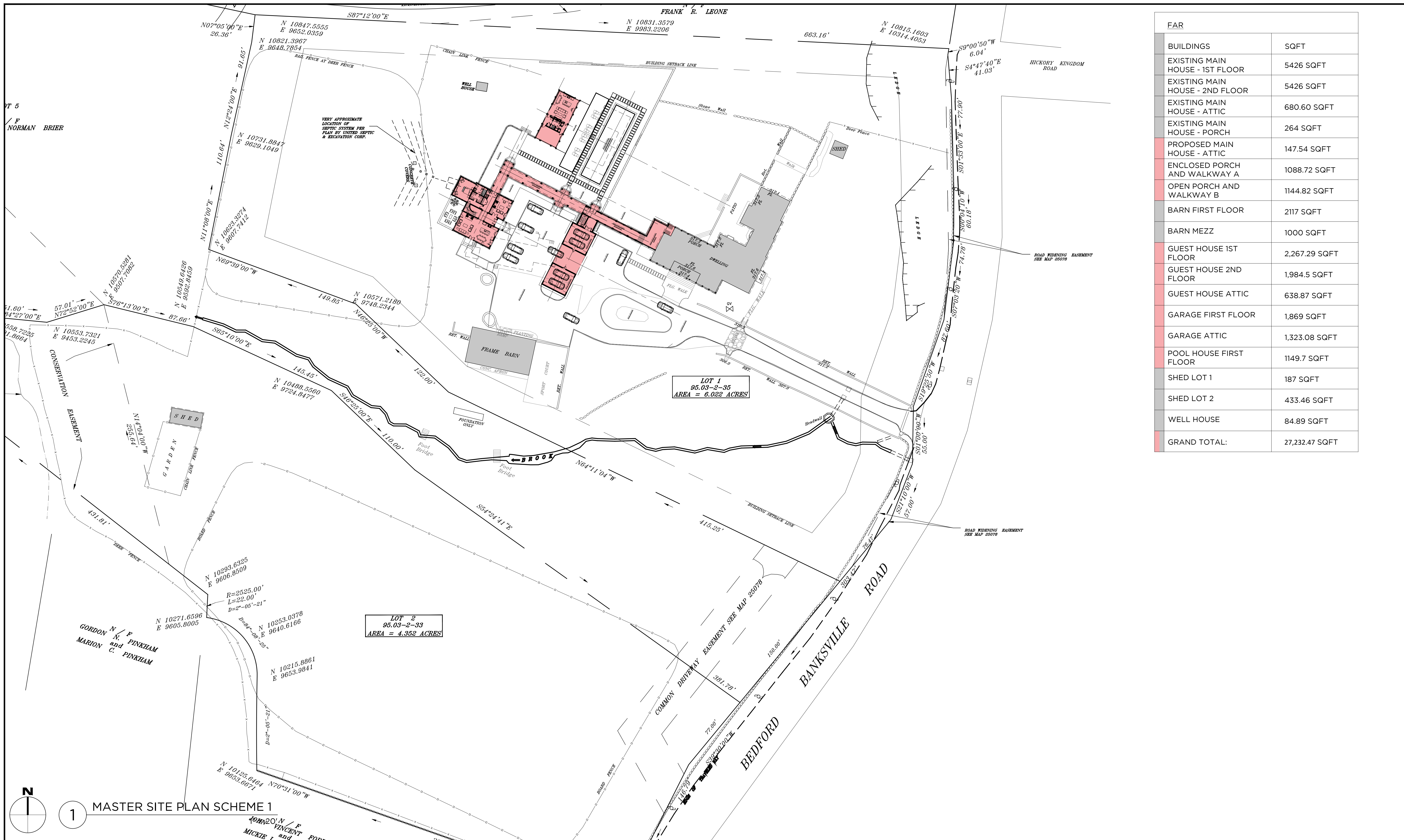
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet



11-30-22

Date



FAR	
BUILDINGS	SQFT
EXISTING MAIN HOUSE - 1ST FLOOR	5426 SQFT
EXISTING MAIN HOUSE - 2ND FLOOR	5426 SQFT
EXISTING MAIN HOUSE - ATTIC	680.60 SQFT
EXISTING MAIN HOUSE - PORCH	264 SQFT
PROPOSED MAIN HOUSE - ATTIC	147.54 SQFT
ENCLOSED PORCH AND WALKWAY A	1088.72 SQFT
OPEN PORCH AND WALKWAY B	1144.82 SQFT
BARN FIRST FLOOR	2117 SQFT
BARN MEZZ	1000 SQFT
GUEST HOUSE 1ST FLOOR	2,267.29 SQFT
GUEST HOUSE 2ND FLOOR	1,984.5 SQFT
GUEST HOUSE ATTIC	638.87 SQFT
GARAGE FIRST FLOOR	1,869 SQFT
GARAGE ATTIC	1,323.08 SQFT
POOL HOUSE FIRST FLOOR	1149.7 SQFT
SHED LOT 1	187 SQFT
SHED LOT 2	433.46 SQFT
WELL HOUSE	84.89 SQFT
GRAND TOTAL:	27,232.47 SQFT

1 MASTER SITE PLAN SCHEME 1

RAULT RESIDENCE

209 BEDFORD-BANKSVILLE ROAD
 BEDFORD, NY 10506

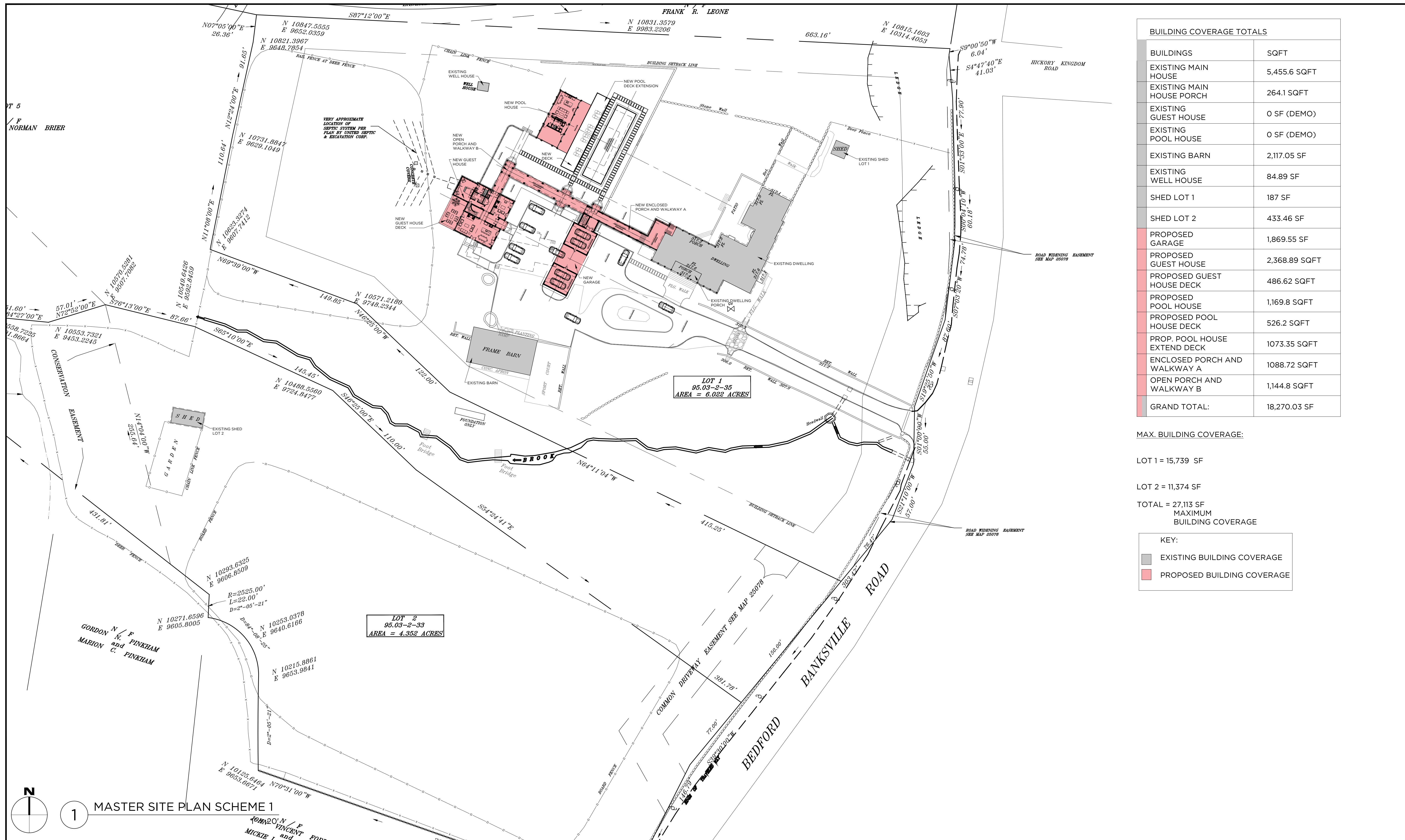
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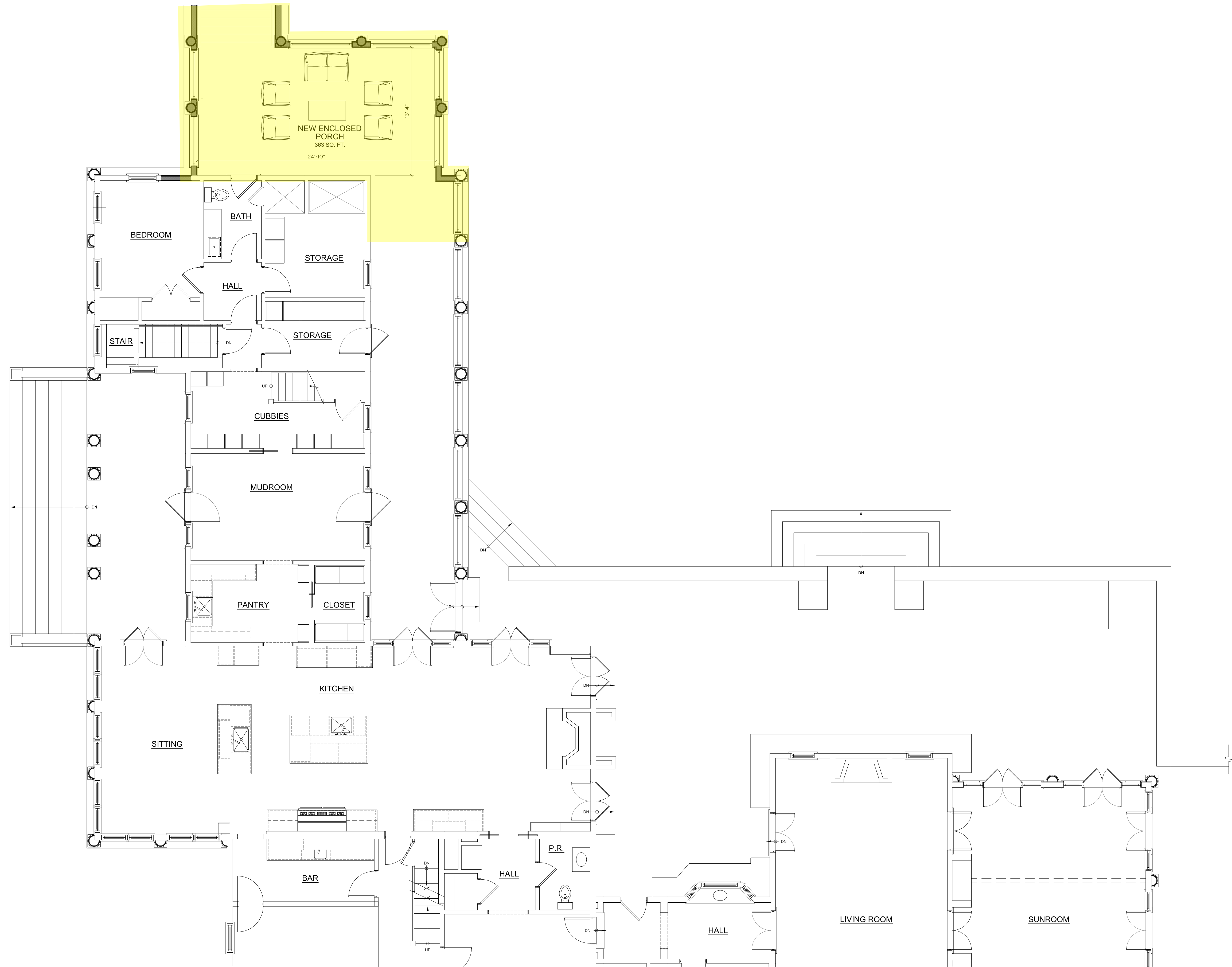


DRAWING NO.:

F.A.R.

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1 FIRST FLOOR PLAN

3/16"=1'-0"



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 330 RAILROAD AVENUE
 GREENWICH, CT 06830
 203.625.9460
 WWW.GRANOFFARCHITECTS.COM

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
 BEDFORD, NEW YORK

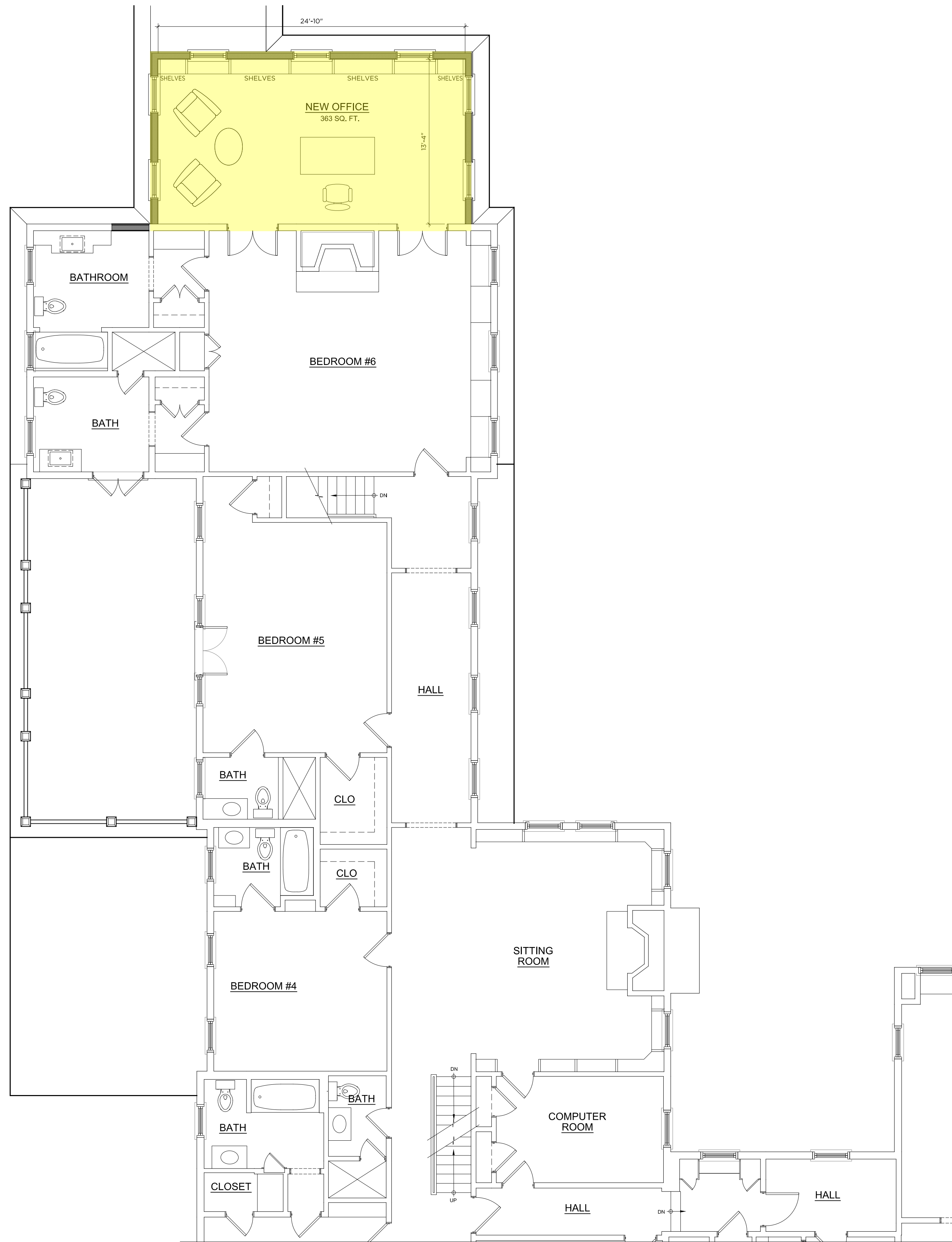
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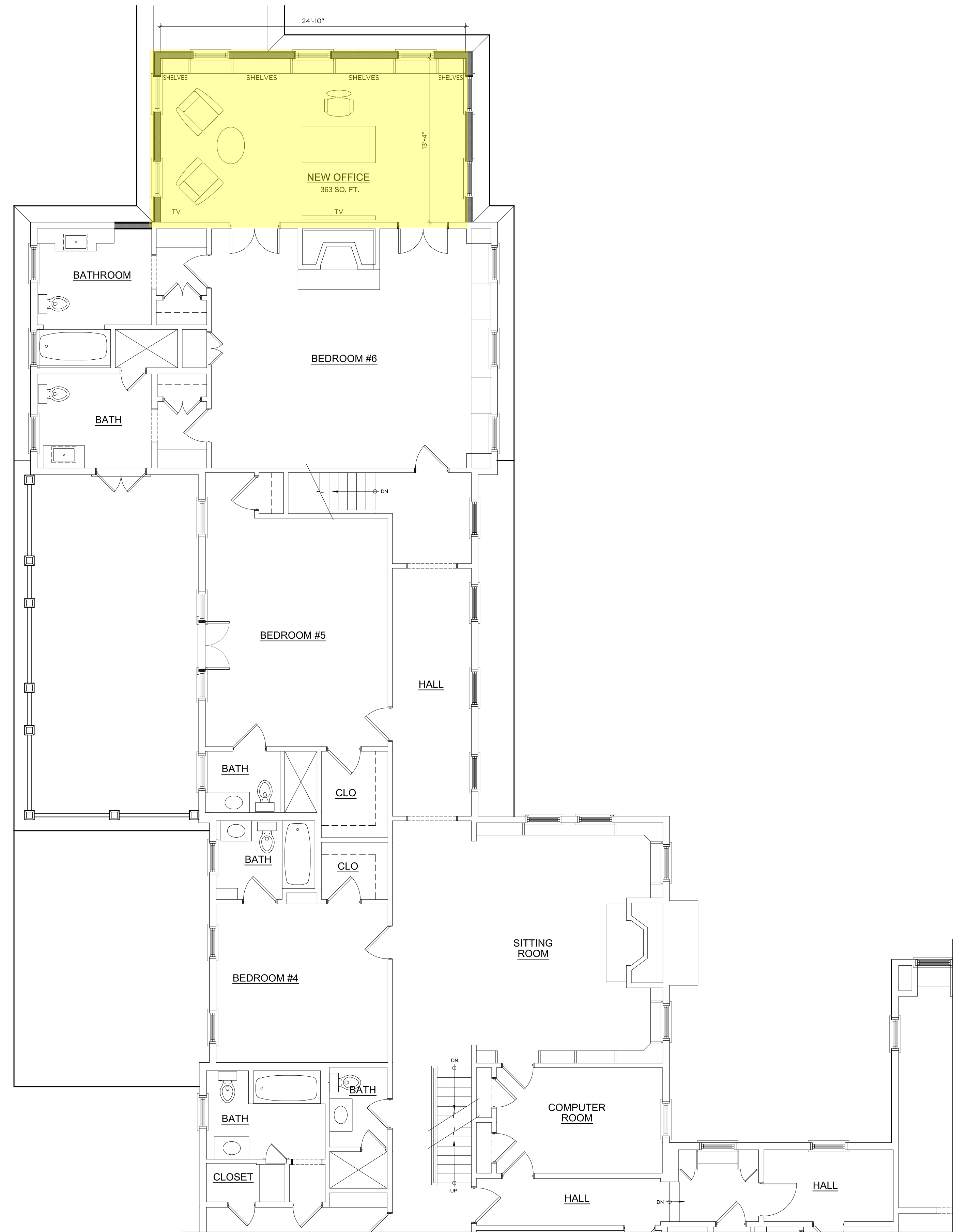
A101

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1 SECOND FLOOR PLAN
OPTION A

3/16"=1'-0"



2 SECOND FLOOR PLAN
OPTION B

3/16"=1'-0"

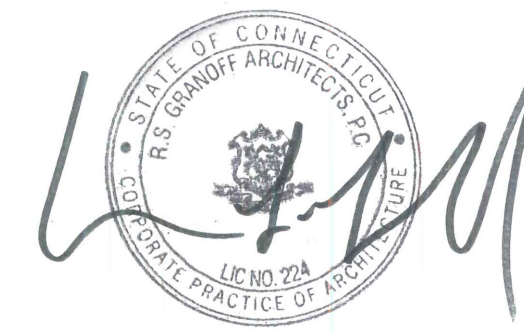


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GREENWICH, CT 06830
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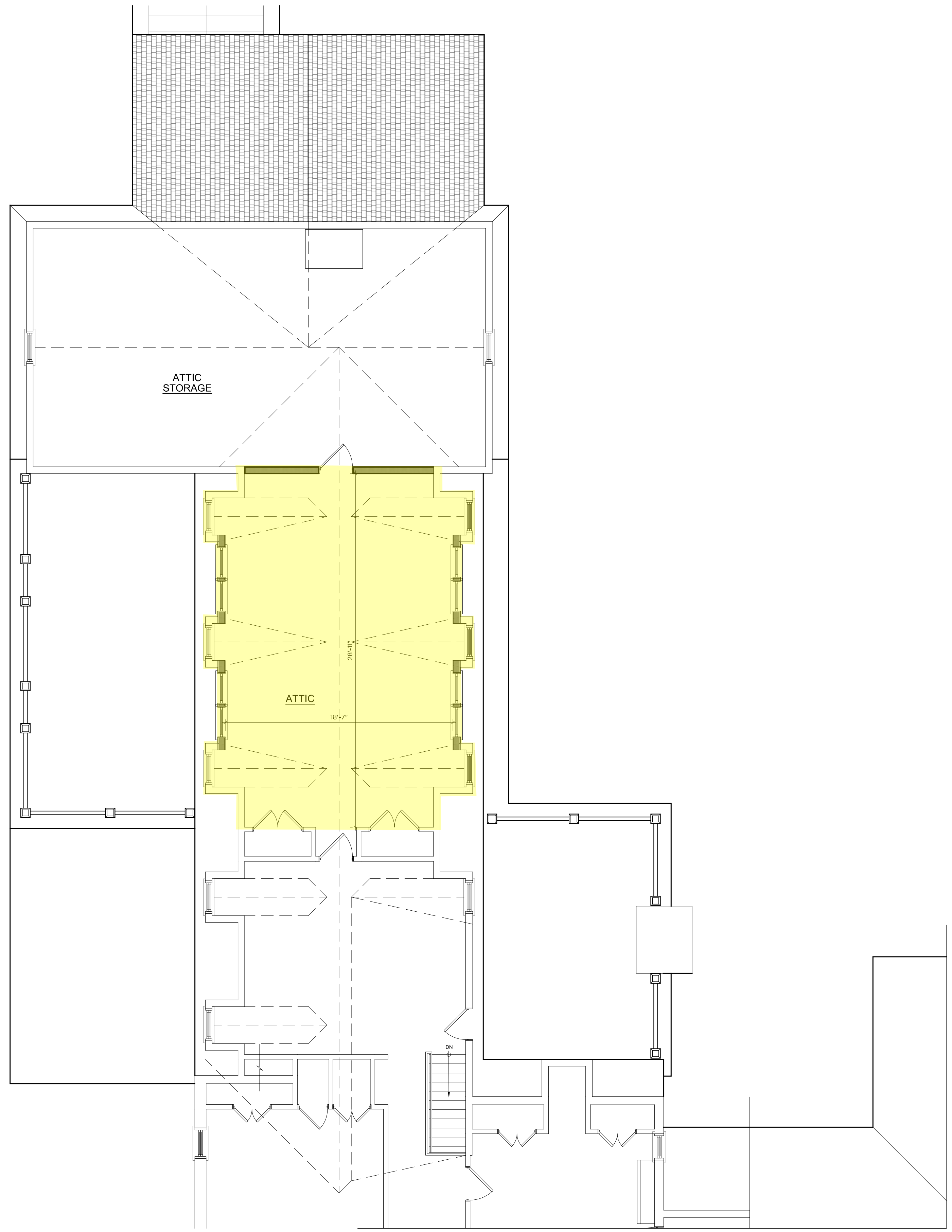
DATE: 8-15-22



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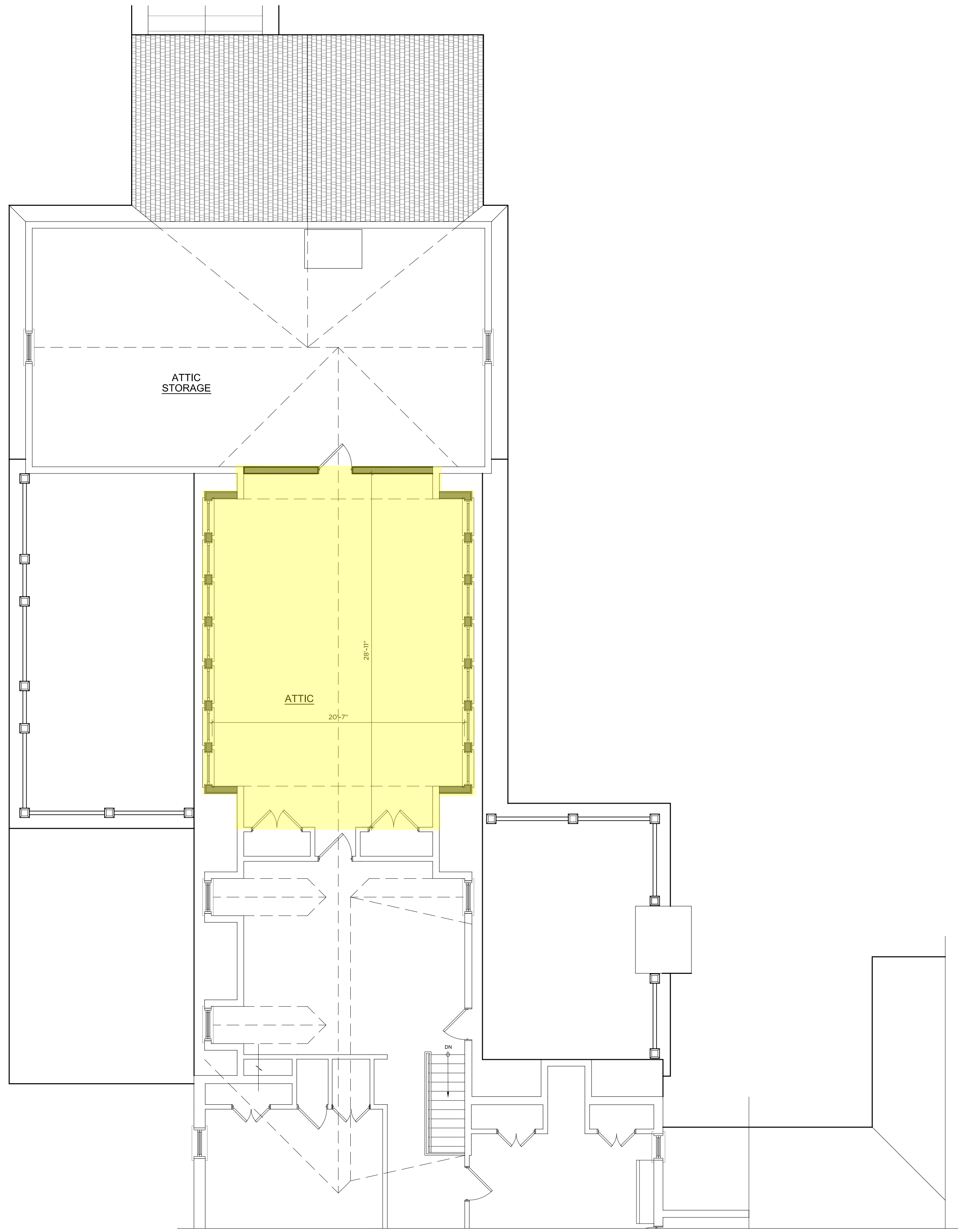
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1 ATTIC PLAN
OPTION A

3/16"=1'-0"



2 ATTIC PLAN
OPTION B

3/16"=1'-0"

RAULT RESIDENCE

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BEDFORD, NEW YORK

DATE: 8-15-22



DRAWING NO:
A103

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1 NORTH ELEVATION
OPTION A

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
 BEDFORD, NEW YORK

DATE: 8-15-22



DRAWING NO:
A301 A

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1 NORTH ELEVATION
OPTION B

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 8-15-22



DRAWING NO:
A301 B

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1 WEST ELEVATION

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
 BEDFORD, NEW YORK

DATE: 8-15-22





1 SOUTH ELEVATION
OPTION A

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 8-15-22



DRAWING NO:
A303 A

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1 SOUTH ELEVATION
OPTION B

1/4"=1'-0"

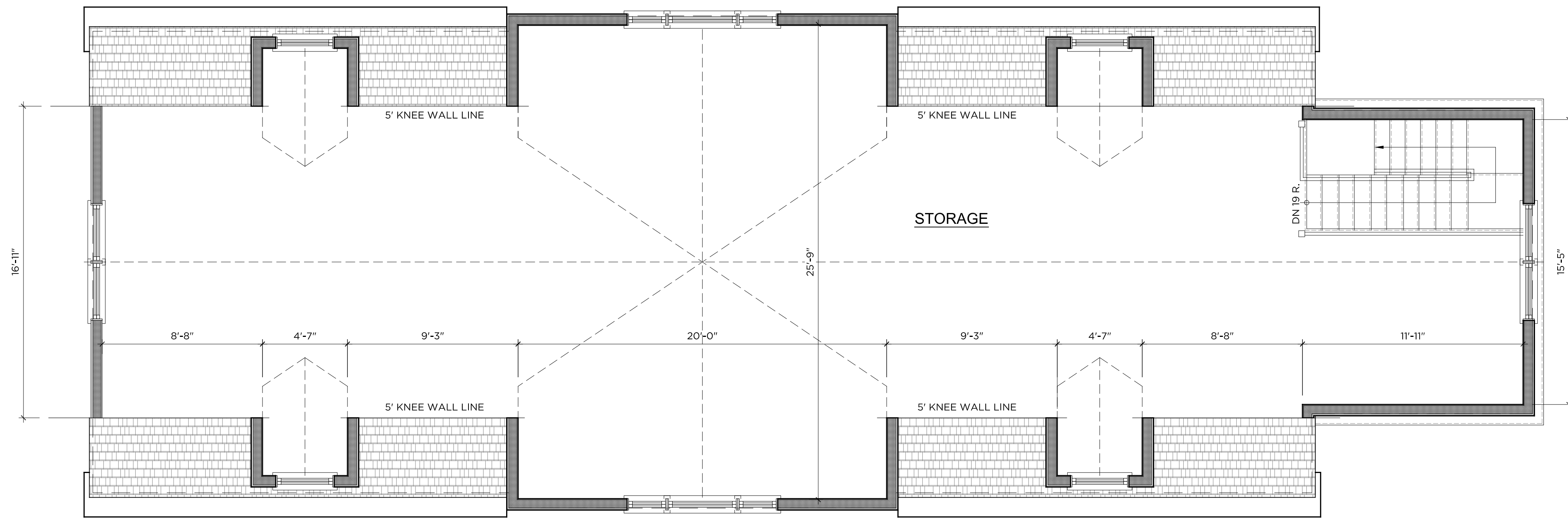
RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 8-15-22

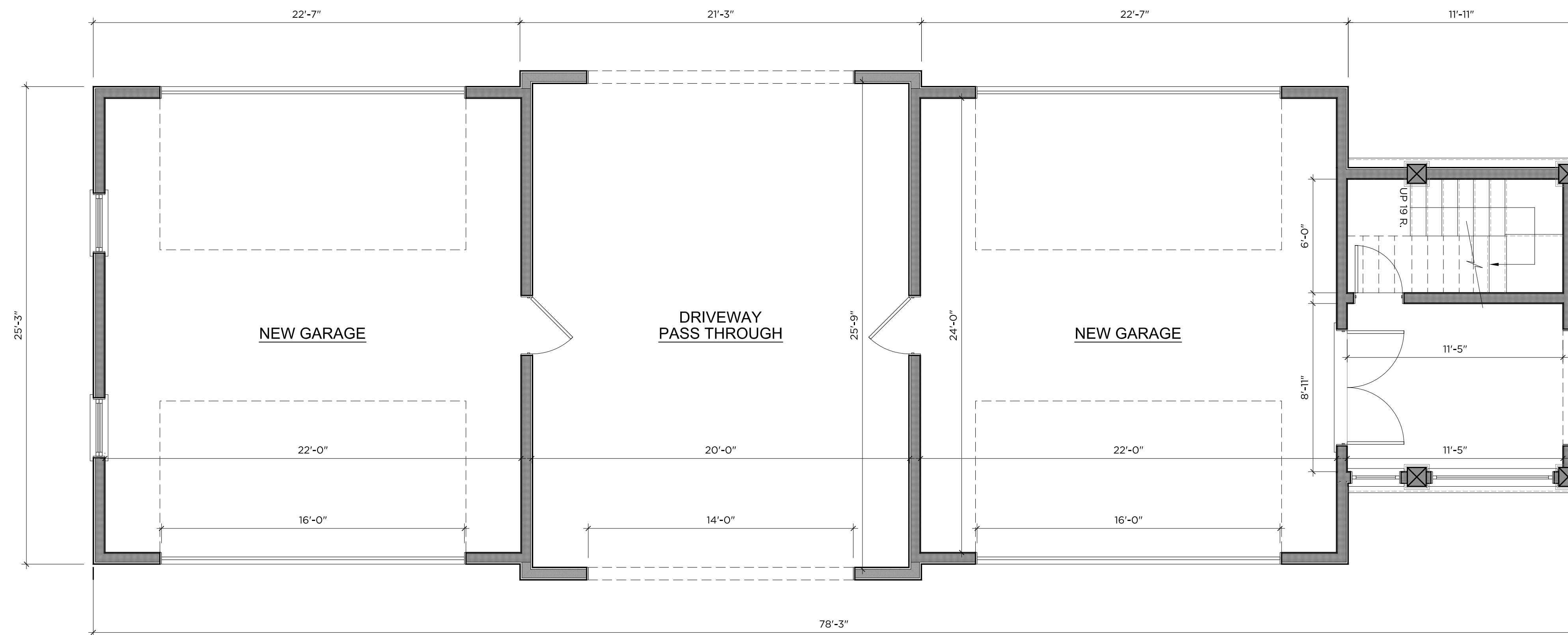


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2 GARAGE FIRST FLOOR PLAN
1,618 S.F.

1/4"=1'-0"



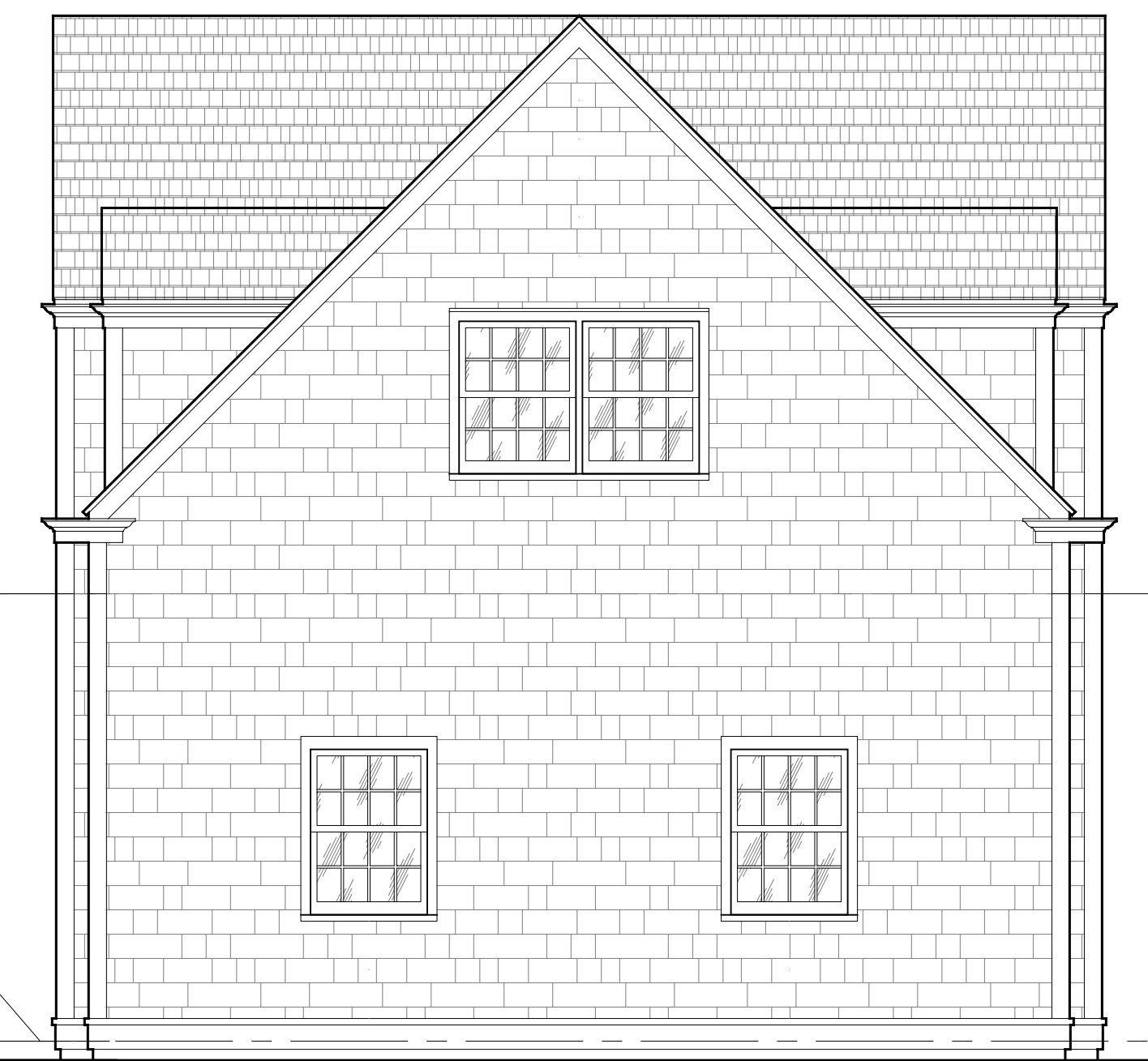
1 GARAGE FIRST FLOOR PLAN
1,906 S.F.

1/4"=1'-0"



1 EAST ELEVATION

1/4"=1'-0"



2 NORTH ELEVATION

1/4"=1'-0"

SECOND FLOOR
EL. = (+)11.5'

STAIR HALL
EL. = (+/-)0.0'

GARAGE
EL. = (-)0.5'

ENCLOSED
WALKWAY

DRIVEWAY PASS
THROUGH

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 8-15-22



DRAWING NO:
A301 GAR

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RAULT RESIDENCE

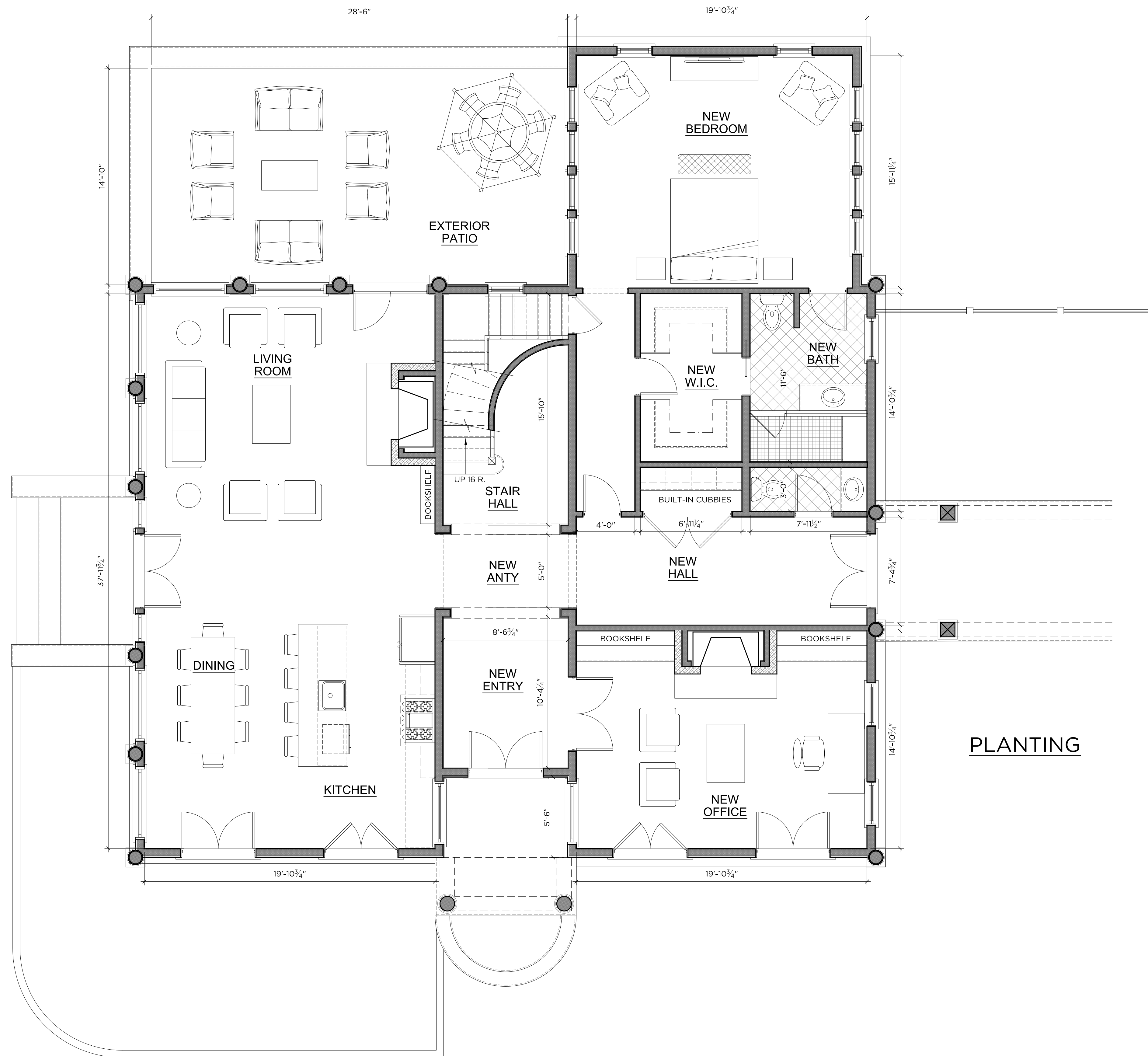
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DATE: 8-15-22



DRAWING NO:
A302 GAR

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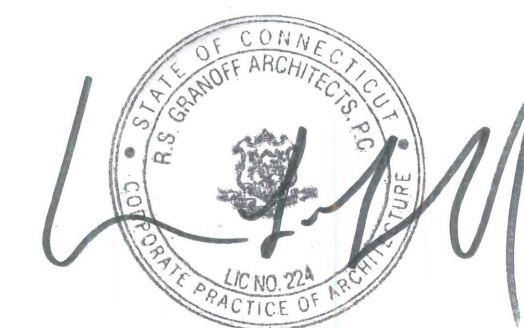
1 GUEST HOUSE FIRST FLOOR PLAN
2,268 S.F.

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

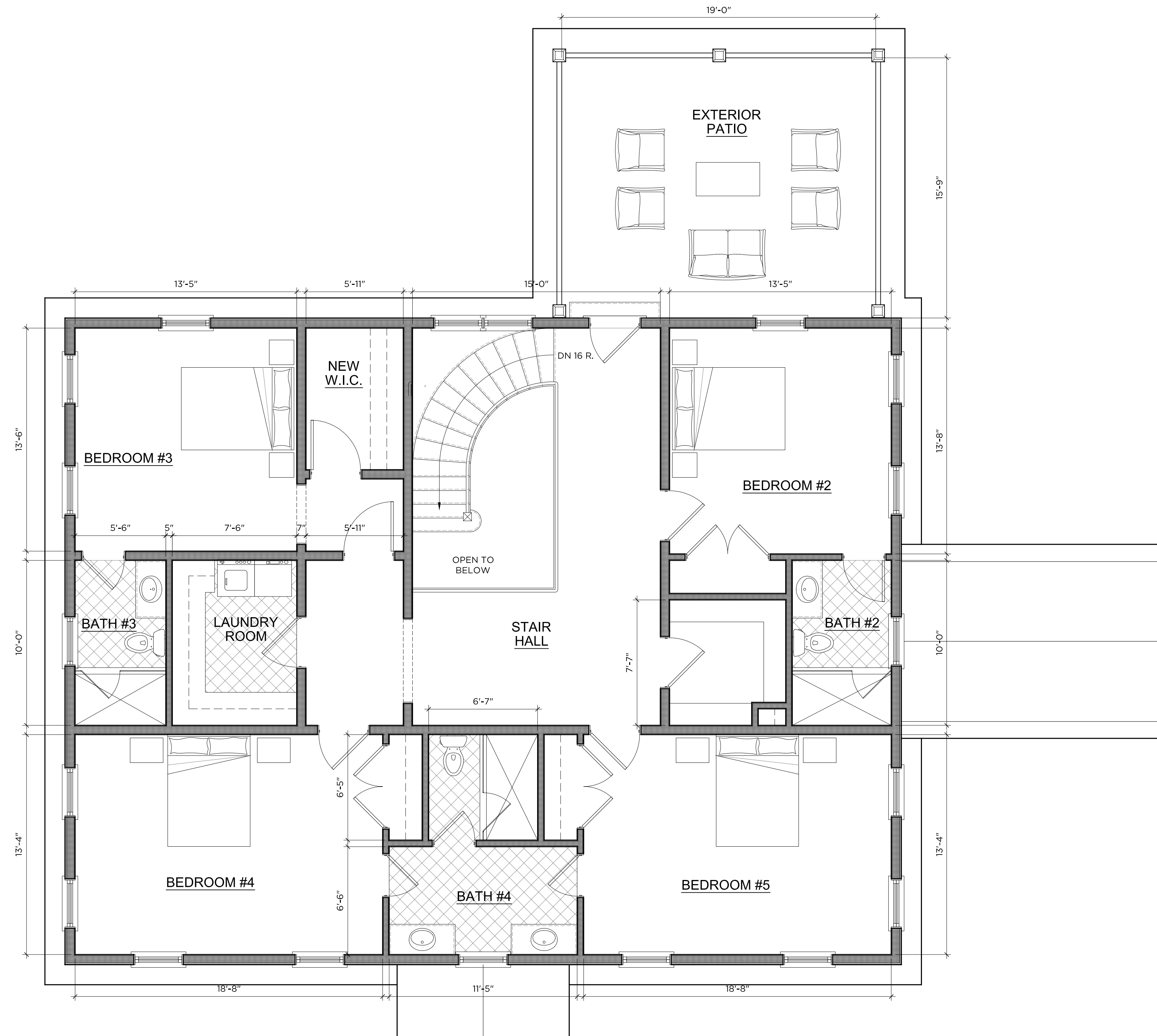
DATE: 8-15-22



DRAWING NO.:

A101 GH

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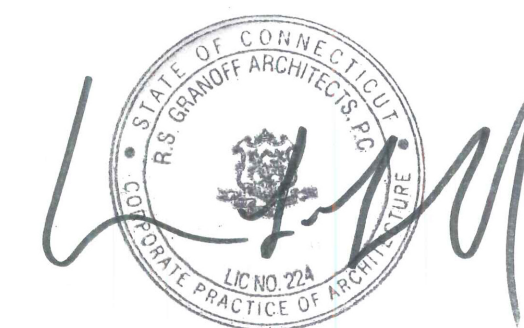
1 GUEST HOUSE SECOND FLOOR PLAN
1,988 S.F.

1/4"=1'-0"

RAULT RESIDENCE

209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 8-15-22



DRAWING NO.:

A102 GH

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1 EAST ELEVATION

1/4"=1'-0"

SECOND FLOOR
EL. = (+)10.0'

FIRST FLOOR
EL. = (+)0.0'



2 NORTH ELEVATION

1/4"=1'-0"



1 WEST ELEVATION

1/4"=1'-0"

SECOND FLOOR
EL. = (+)10.0'

FIRST FLOOR
EL. = (+)0.0'



2 SOUTH ELEVATION

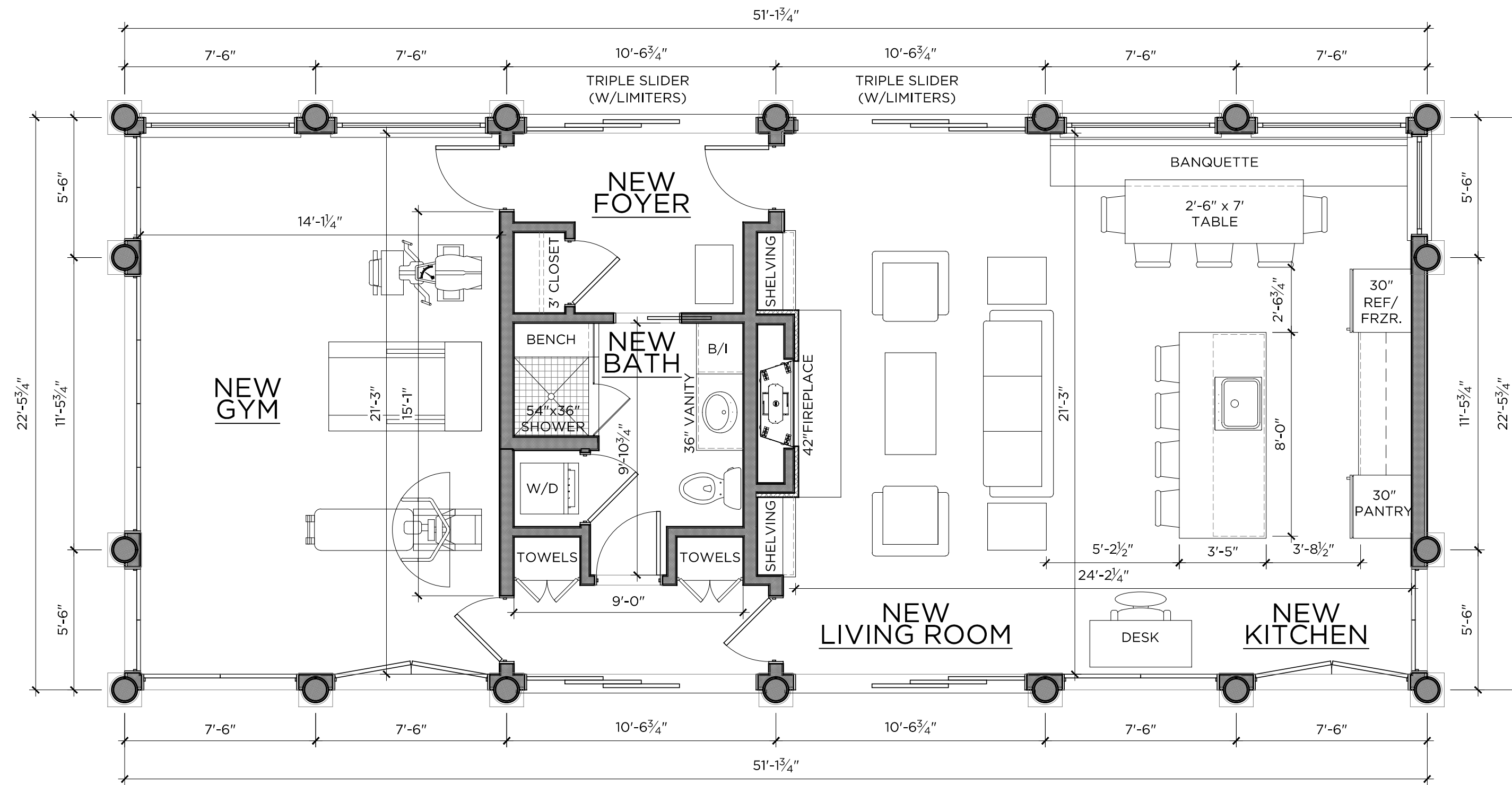
1/4"=1'-0"

RAULT RESIDENCE

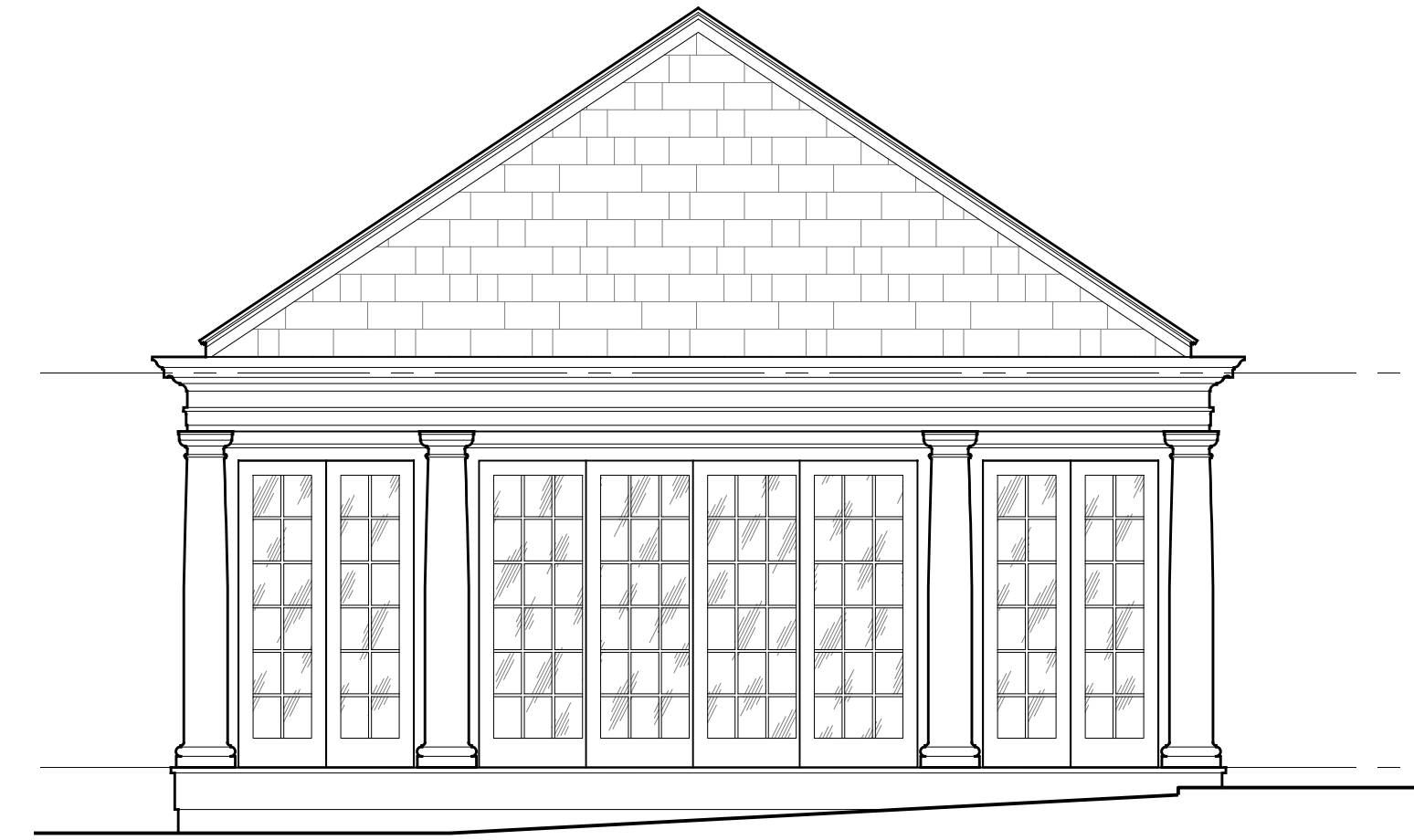
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NEW YORK

DATE: 8-15-22

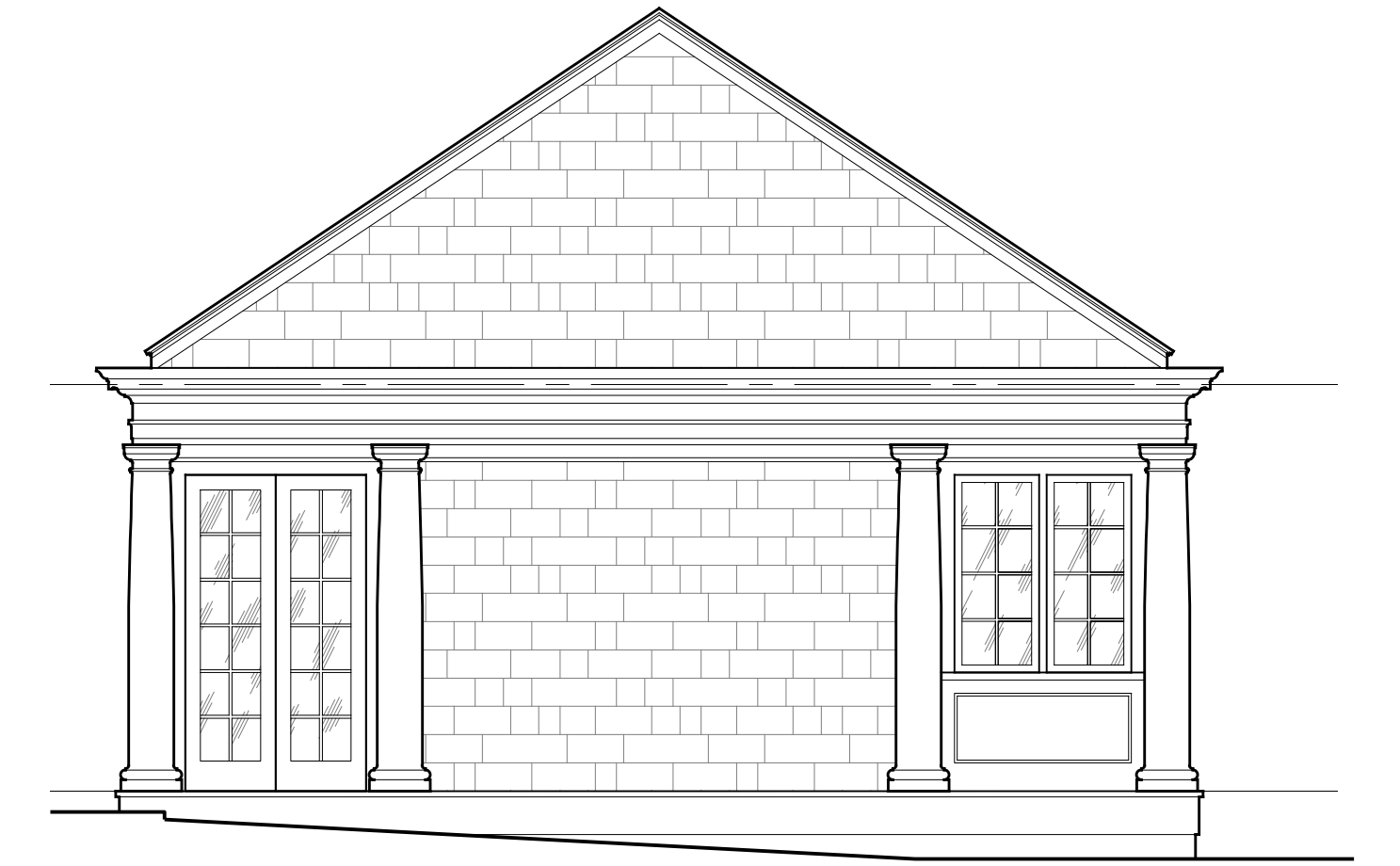




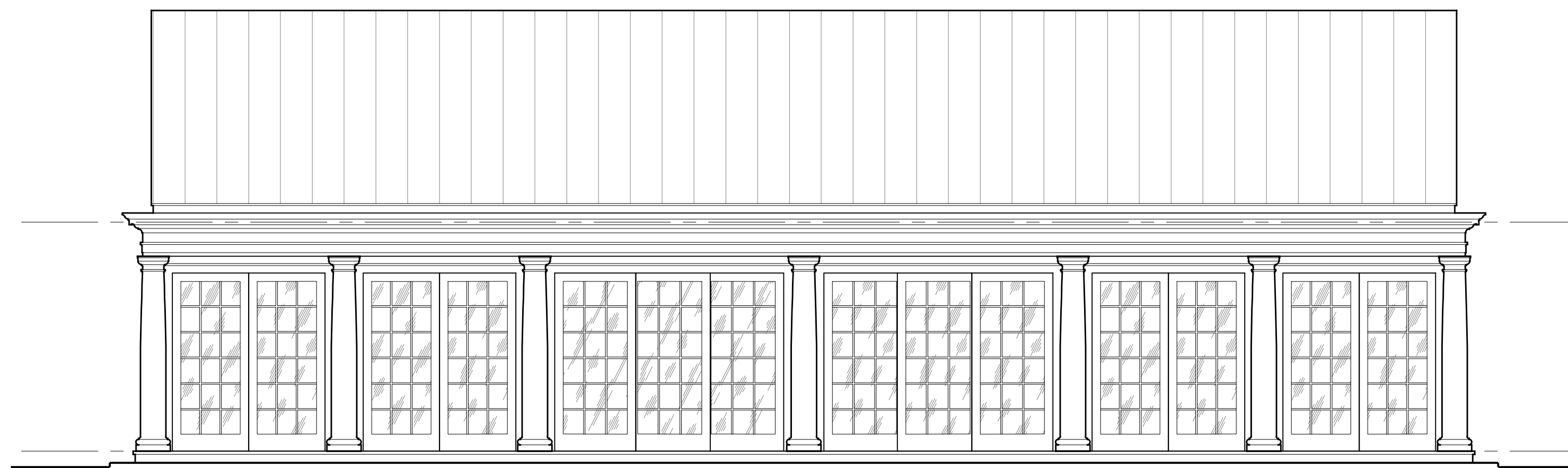
1 GUEST HOUSE FIRST FLOOR PLAN
1,150 S.F. 1/4"=1'-0"



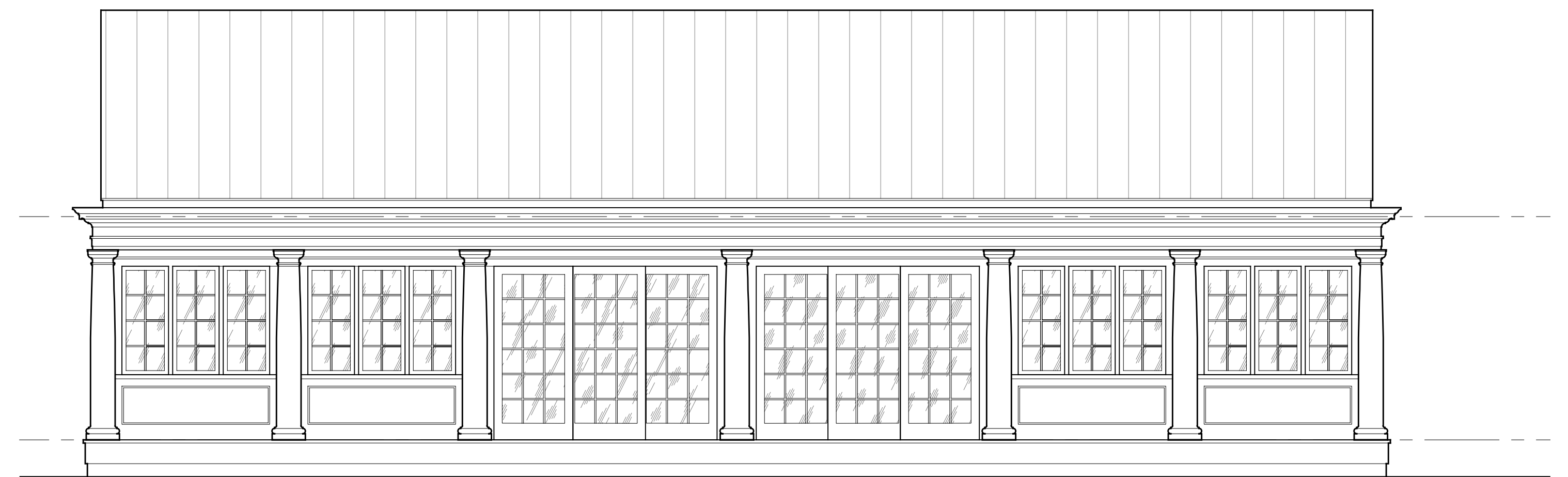
2 NORTH ELEVATION
1,150 S.F. 1/4"=1'-0"



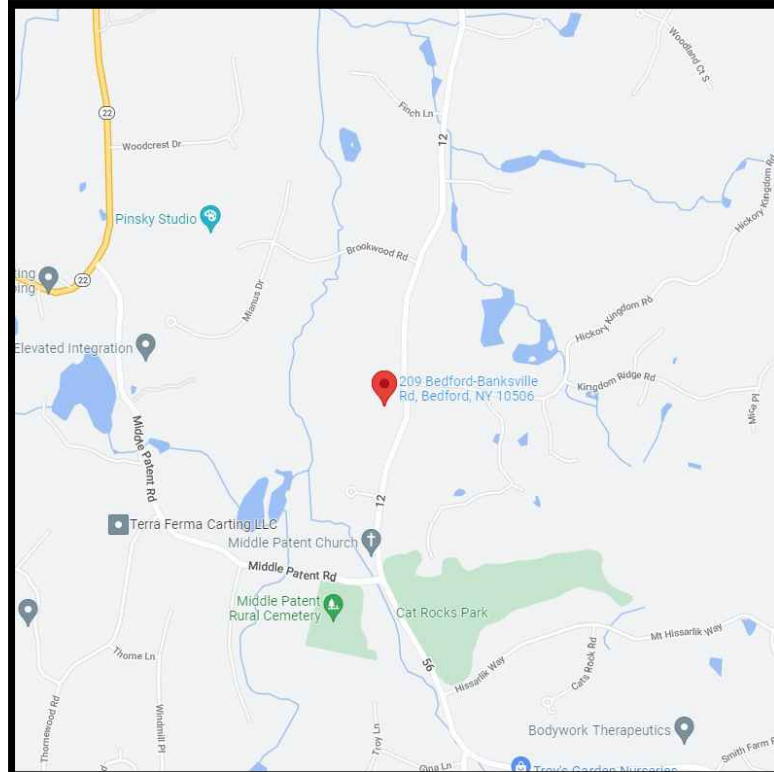
2 SOUTH ELEVATION
1,150 S.F. 1/4"=1'-0"



4 EAST ELEVATION
1/4"=1'-0"



5 WEST ELEVATION
1/4"=1'-0"



LOCATION MAP
NOT TO SCALE

SITE DATA:

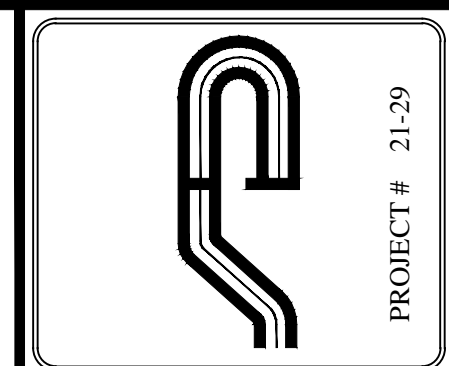
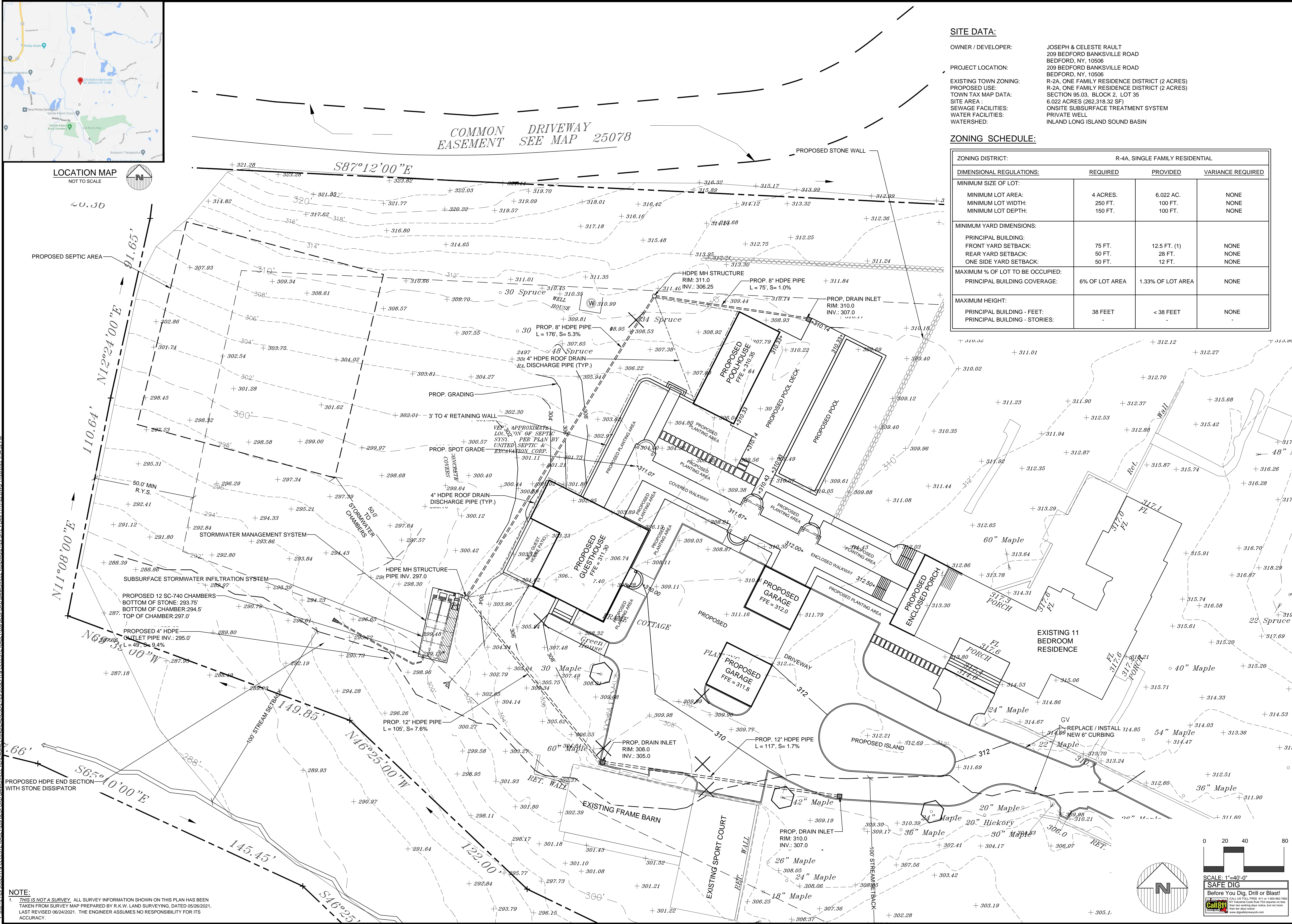
OWNER / DEVELOPER: JOSEPH & CELESTE RAULT
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

PROJECT LOCATION: 209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

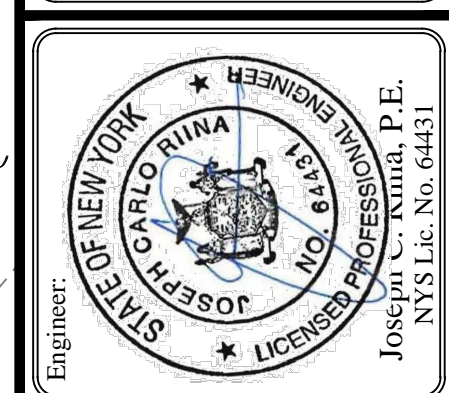
EXISTING TOWN ZONING: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
PROPOSED USE: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
TOWN TAX MAP DATA: SECTION 95.03, BLOCK 2, LOT 35
SITE AREA: 6.022 ACRES (262,318.32 SF)
SEWAGE FACILITIES: ONSITE SUBSURFACE TREATMENT SYSTEM
WATER FACILITIES: PRIVATE WELL
WATERSHED: INLAND LONG ISLAND SOUND BASIN

ZONING SCHEDULE:

ZONING DISTRICT:		R-4A, SINGLE FAMILY RESIDENTIAL		
DIMENSIONAL REGULATIONS:		REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:				
MINIMUM LOT AREA:	4 ACRES.	6.022 AC.	NONE	
MINIMUM LOT WIDTH:	250 FT.	100 FT.	NONE	
MINIMUM LOT DEPTH:	150 FT.	100 FT.	NONE	
MINIMUM YARD DIMENSIONS:				
PRINCIPAL BUILDING:				
FRONT YARD SETBACK:	75 FT.	12.5 FT. (1)	NONE	
REAR YARD SETBACK:	50 FT.	28 FT.	NONE	
ONE SIDE YARD SETBACK:	50 FT.	12 FT.	NONE	
MAXIMUM % OF LOT TO BE OCCUPIED:				
PRINCIPAL BUILDING COVERAGE:	6% OF LOT AREA	1.33% OF LOT AREA	NONE	
MAXIMUM HEIGHT:				
PRINCIPAL BUILDING - FEET:	38 FEET	< 38 FEET	NONE	
PRINCIPAL BUILDING - STORIES:			NONE	



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Revisions:	No.	Date	Comments
	###	###	###

SCALE: 1" = 20'
DRAWN BY: AB
DATE: 11/25/2022

SITE PLAN

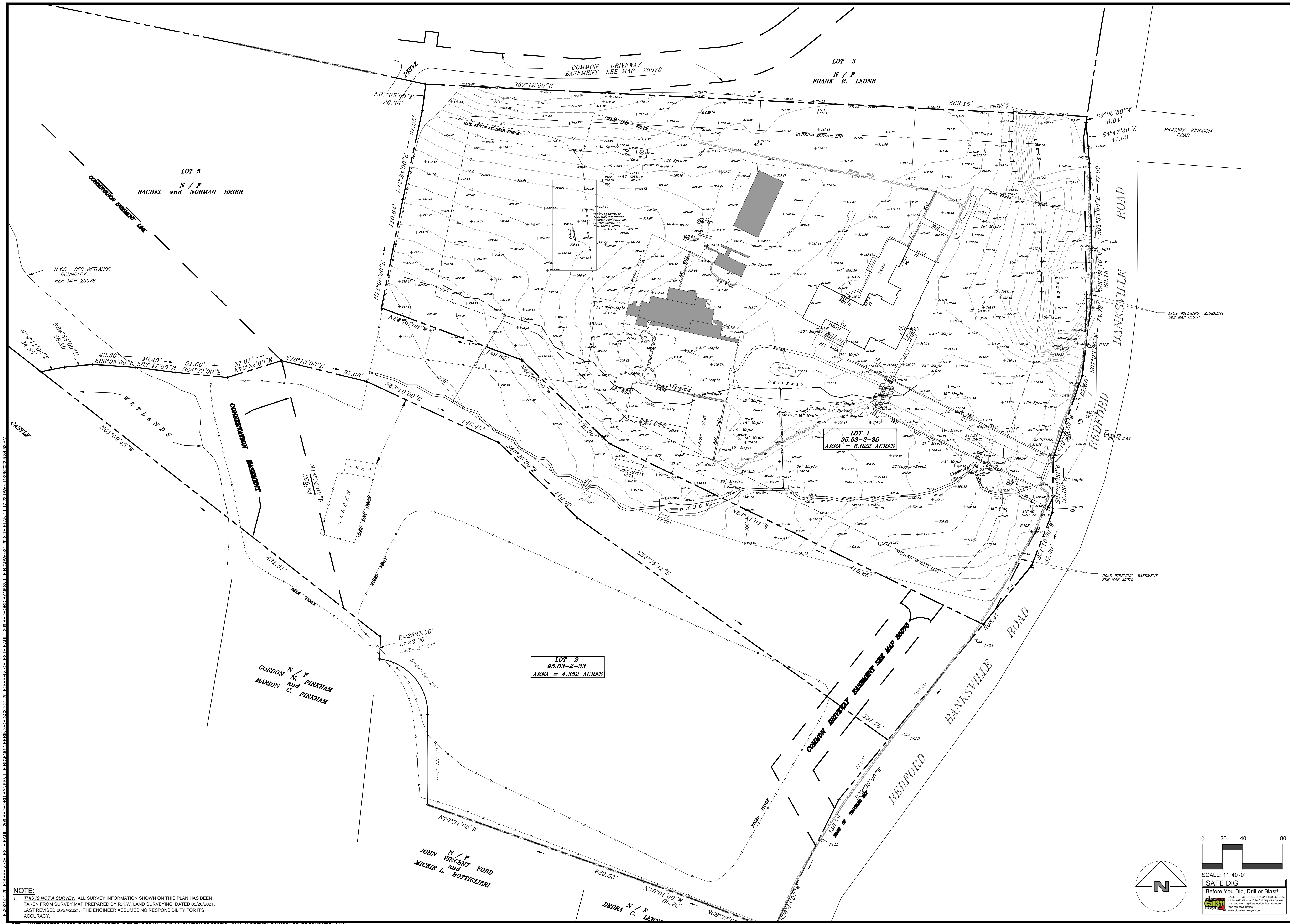
SITE PLAN PREPARED FOR
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York

Sheet 1 of 5

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY R.K.W. LAND SURVEYING, DATED 05/26/2021, LAST REVISED 06/24/2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



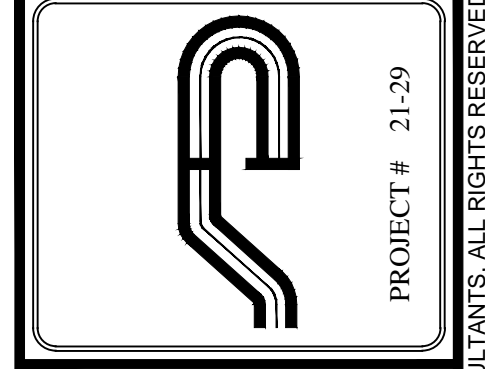
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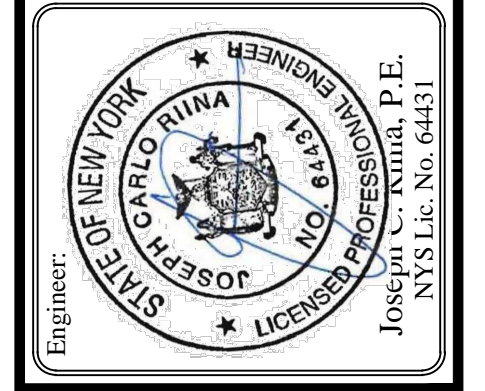
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E:\2022\12-28 JOSEPH & CELESTE RAULT, 209 BEDFORD BANKSVILLE ROAD\DWG\12-28 SITE PLAN 11-12-22.DWG, 11/26/2022, 6:24:52 PM

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



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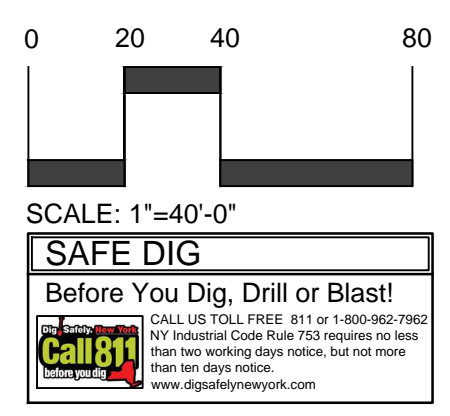
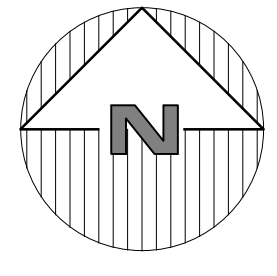
Revisions:	No.	Date	Comments

SCALE: 1" = 40'
 DRAWN BY: AB
 DATE: 11/25/22

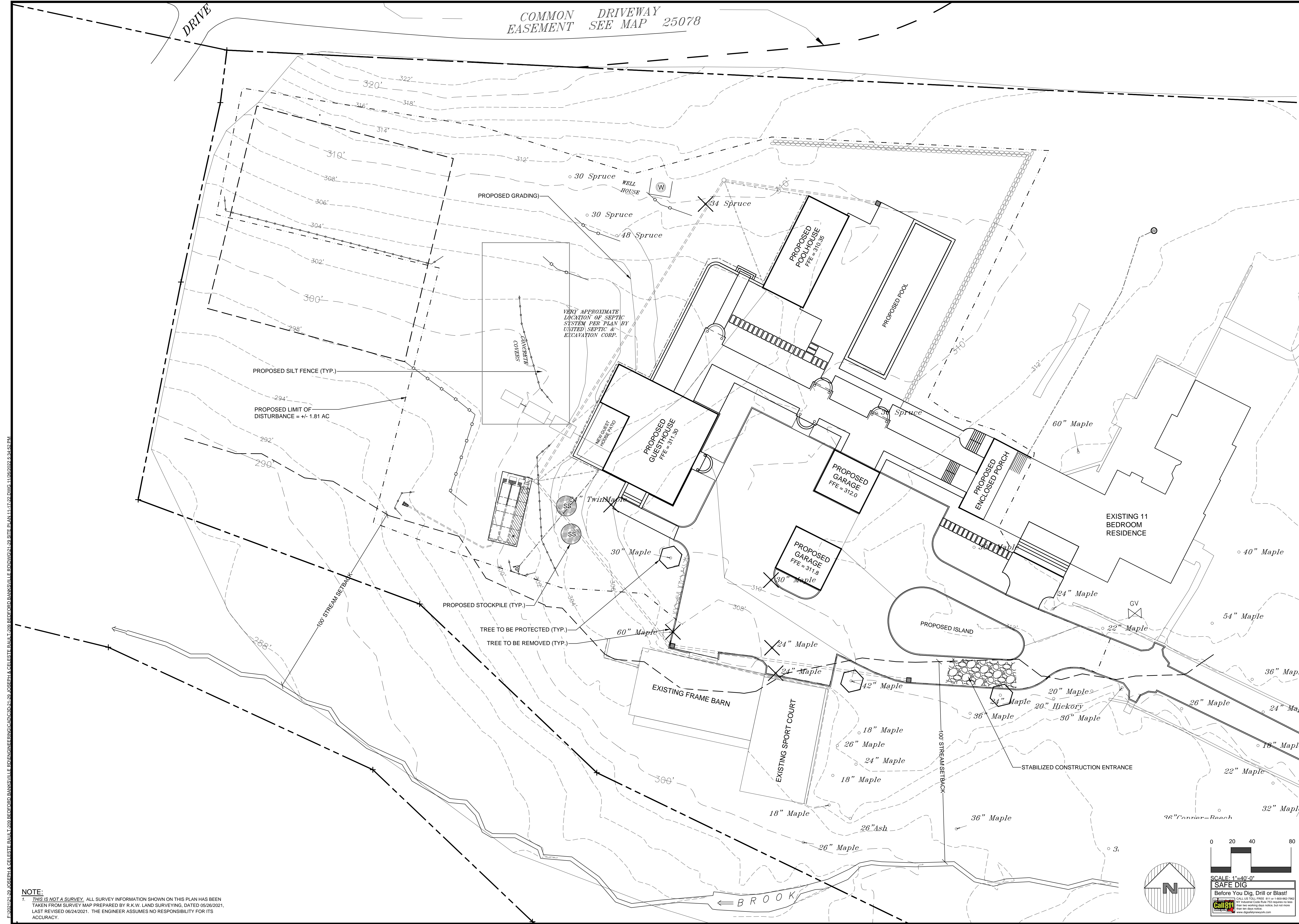
EXISTING CONDITIONS PLAN

Joseph & Celeste Rault
 209 Bedford Banksville Road
 Town of North Castle, Westchester County, New York

Sheet 2 of 5

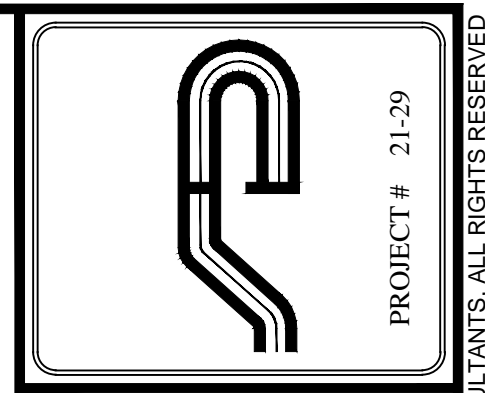
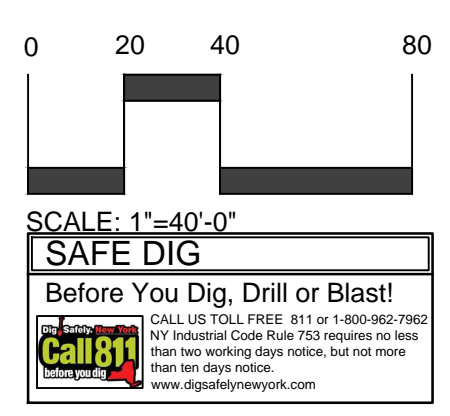
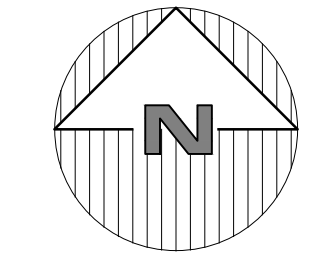


PROJECT # 21-29
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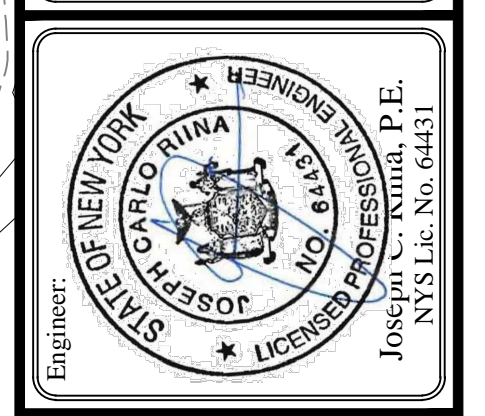


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NOTE:
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY R.K.W. LAND SURVEYING, DATED 05/26/2021, LAST REVISED 06/24/2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



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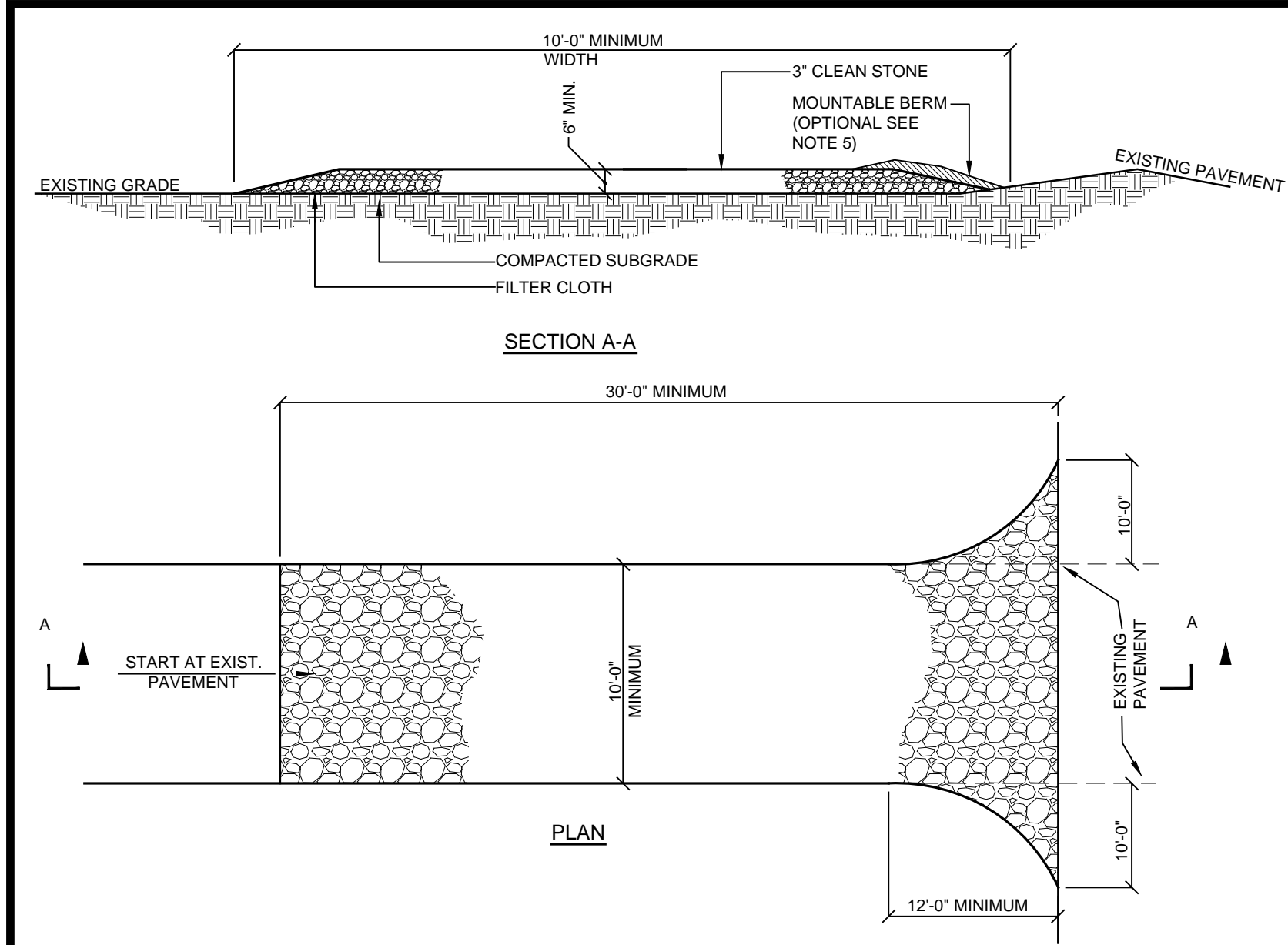


Revisions:	No.	Date	Comments
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SCALE: 1" = 20'
 DRAWN BY: AB
 DATE: 11/25/22

EROSION AND SEDIMENT CONTROL PLAN

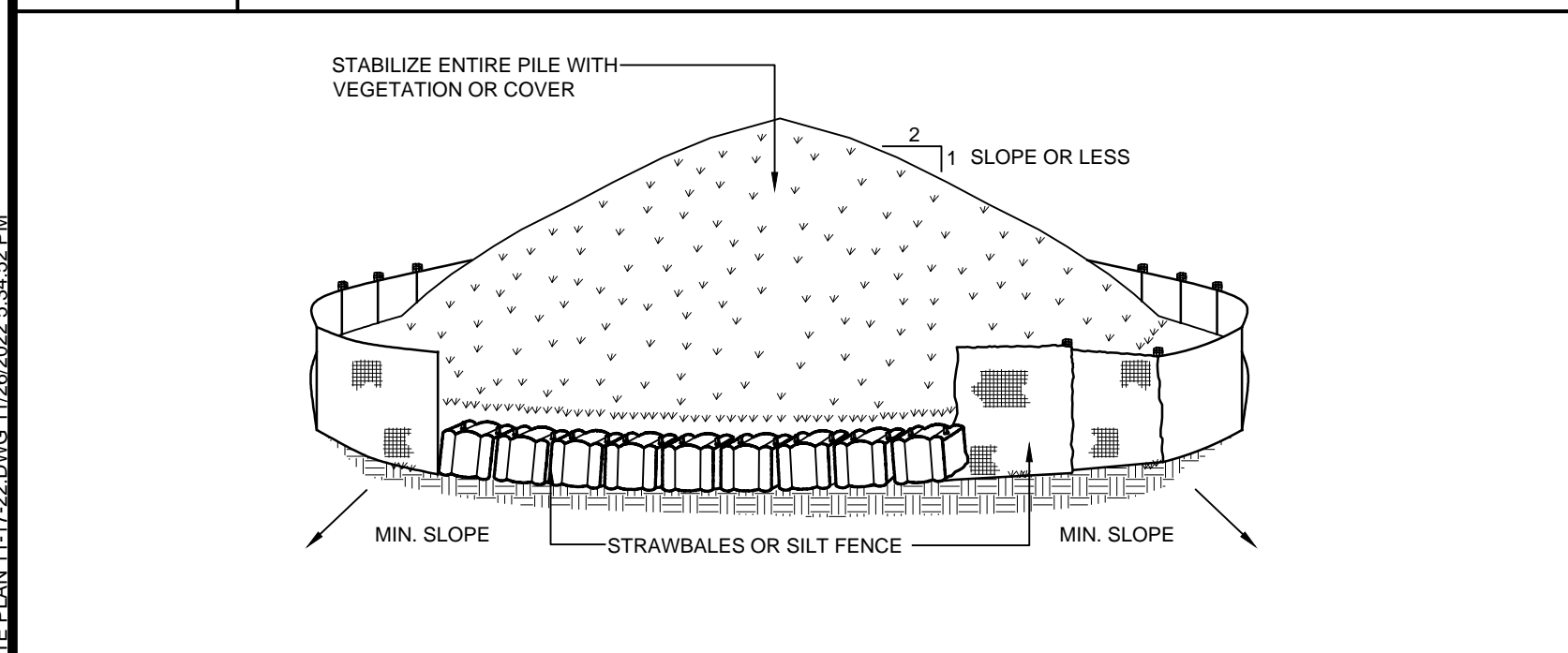
SITE PLAN PREPARED FOR
Joseph & Celeste Rault
 209 Bedford Banksville Road
 Town of North Castle, Westchester County, New York



INSTALLATION NOTES:

- Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
- Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
- Thickness - not less than six (6) inches.
- Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
- Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
- Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
- Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
- Periodic inspection and needed maintenance shall be provided after each rain.

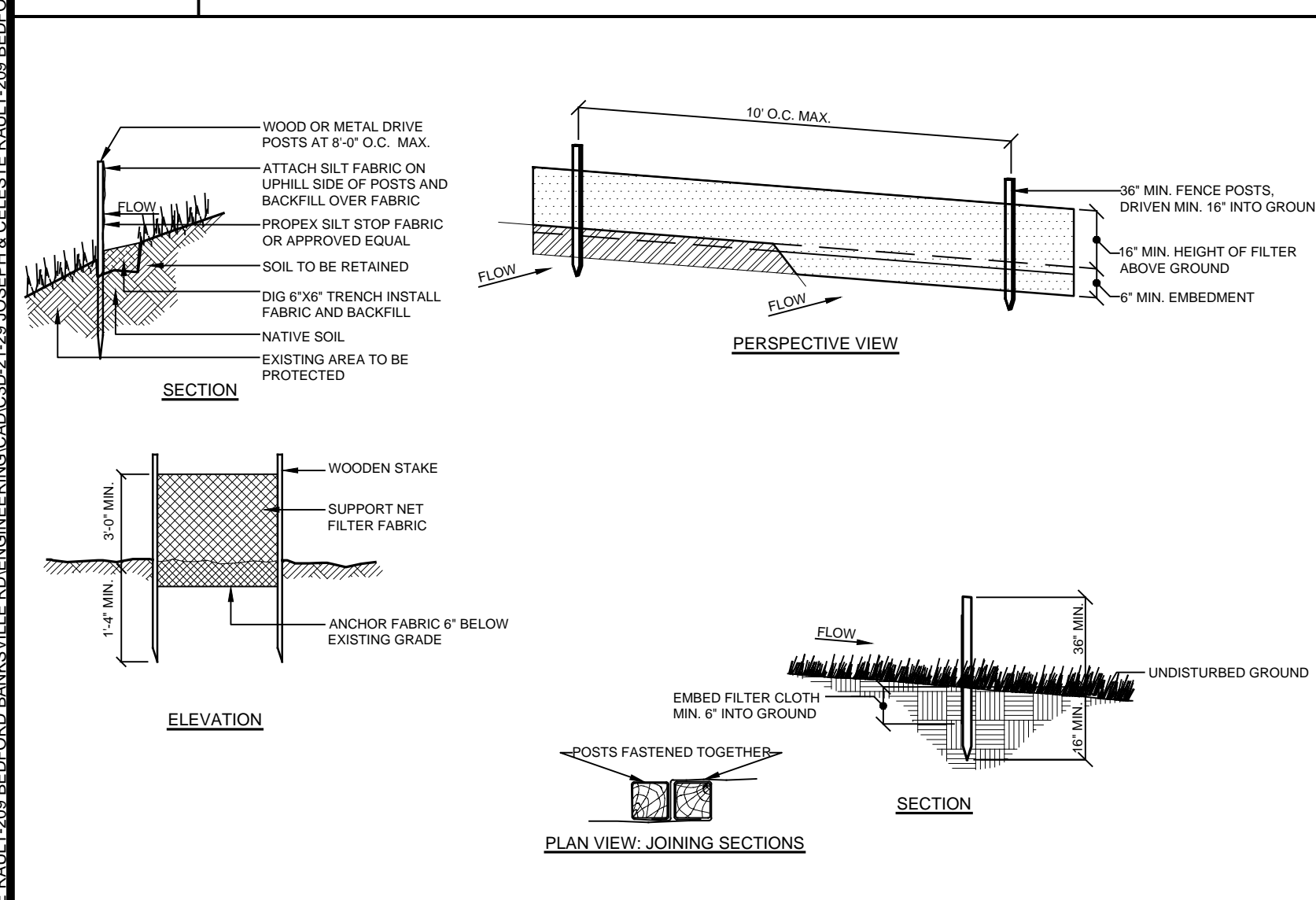
E-1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



NOTES:

- Area chosen for stockpiling operations shall be dry and stable.
- Maximum slope of stockpile shall be 1:2.
- Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
- See detail for installation of silt fence.

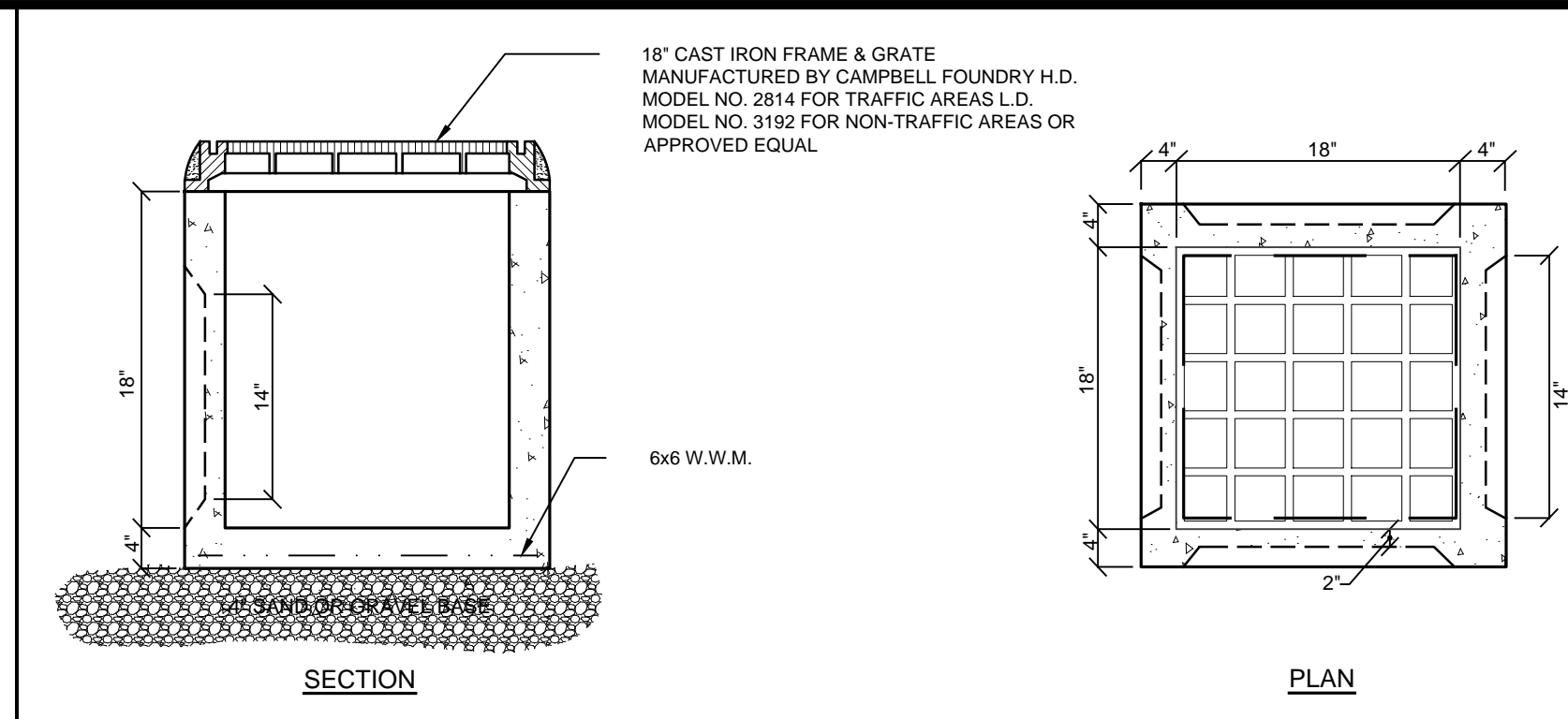
E-2 SOIL STOCKPILE DETAIL
NOT TO SCALE



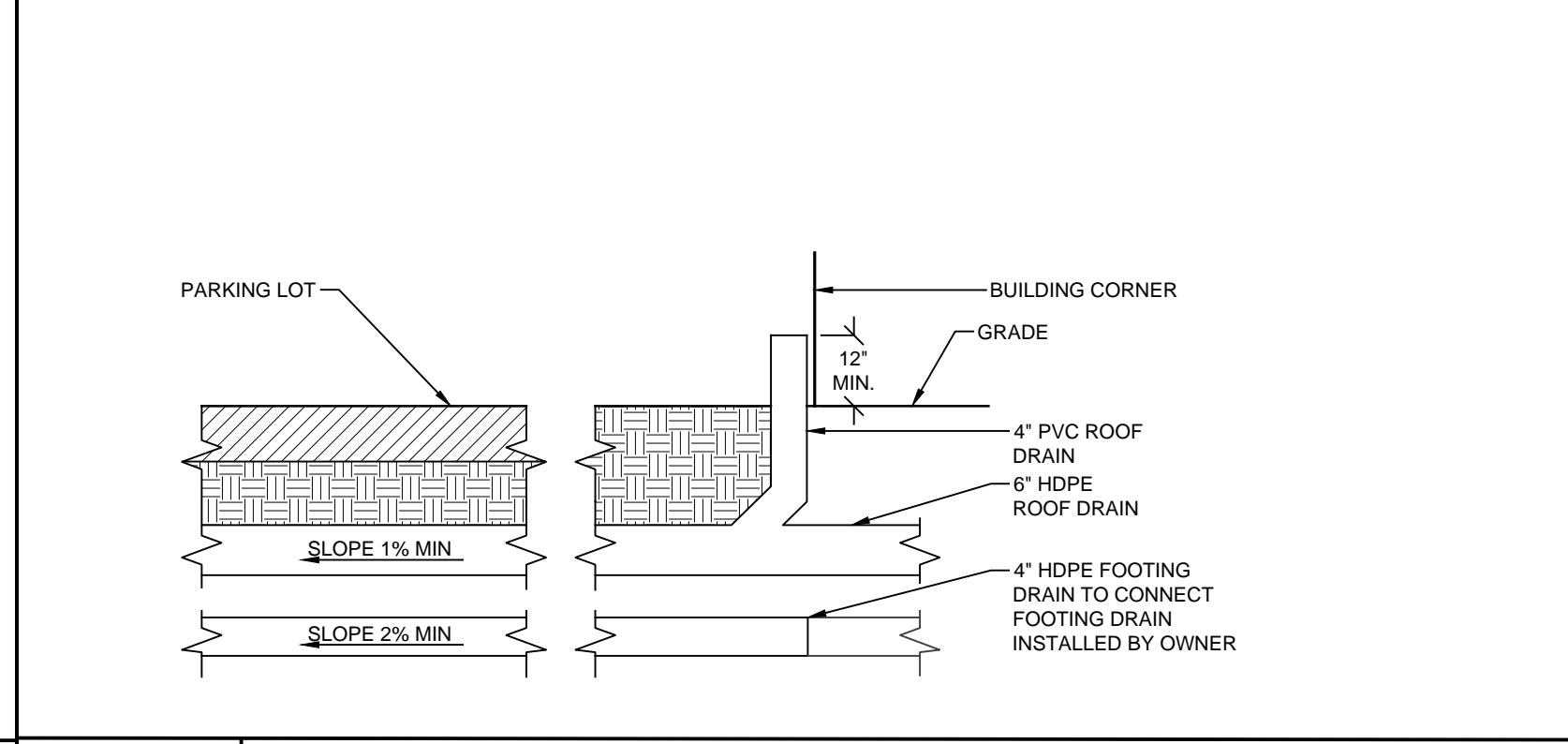
NOTES:

- Pipe shall be laid and connected in the bedding which shall consist of:
 - Compacted existing subsoil when laid above ground water or;
 - 3/4" crushed stone when laid below ground water.
- If subsoil is determined to be unsuitable by the Engineer, all unsuitable material shall be removed for at least 2'-6" below the pipe invert or twice the pipe diameter, whichever is greater, and replaced with compacted bedding material.

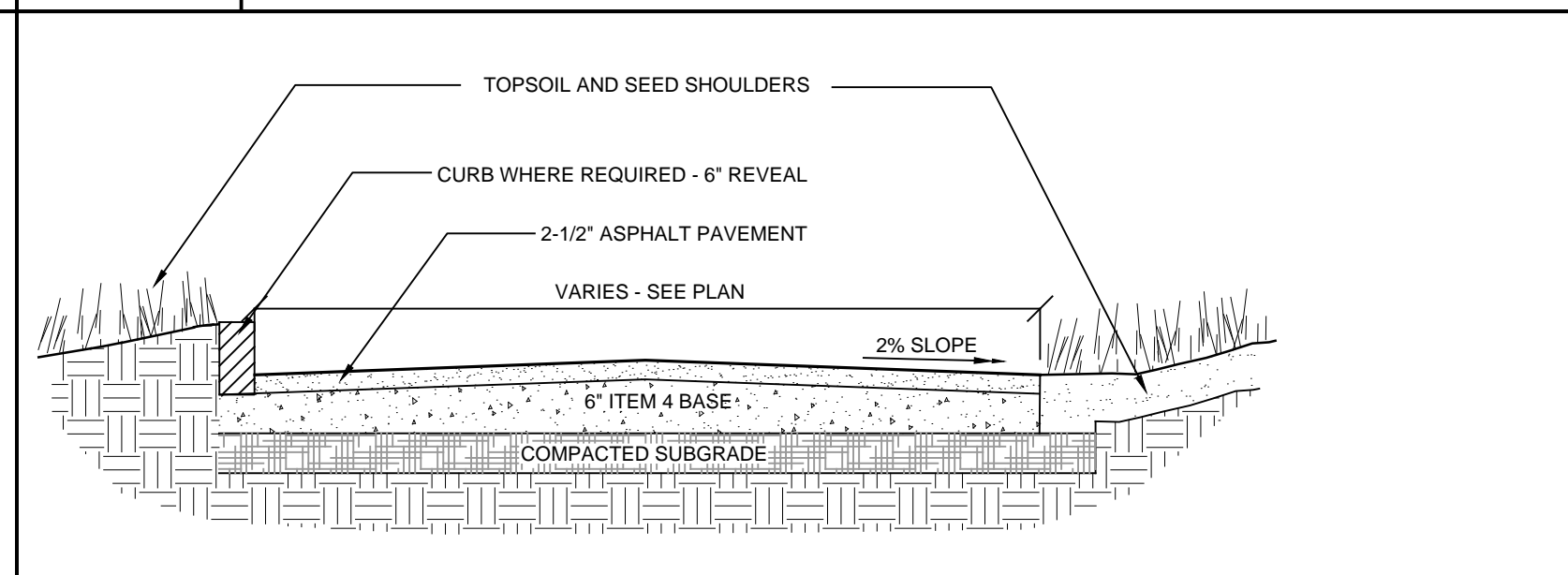
E-3 SILT FENCE DETAIL
NOT TO SCALE



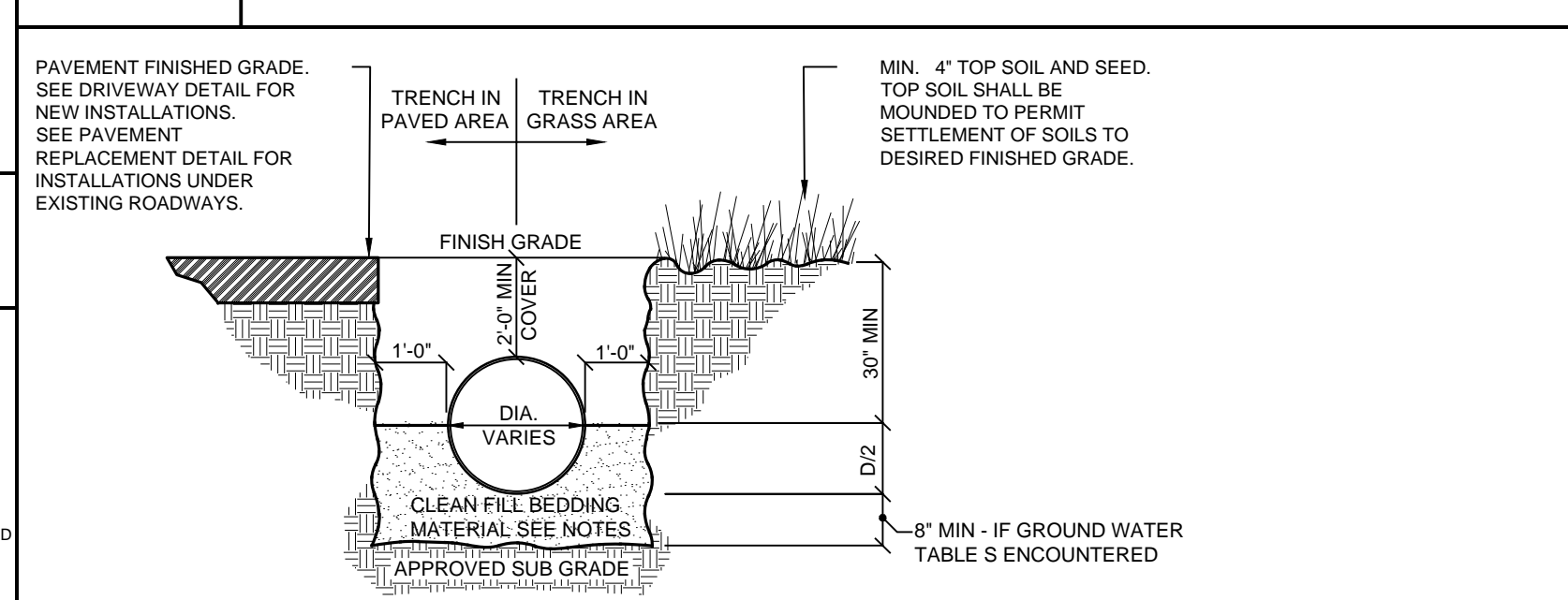
D-1 PRECAST DRAIN INLET DETAIL
NOT TO SCALE



D-2 ROOF & FOOTING DRAIN CONNECTION DETAIL
NOT TO SCALE



D-3 TYPICAL RESIDENTIAL DRIVEWAY DETAIL
NOT TO SCALE



NOTES:

- Pipe shall be laid and connected in the bedding which shall consist of:
 - Compacted existing subsoil when laid above ground water or;
 - 3/4" crushed stone when laid below ground water.
- If subsoil is determined to be unsuitable by the Engineer, all unsuitable material shall be removed for at least 2'-6" below the pipe invert or twice the pipe diameter, whichever is greater, and replaced with compacted bedding material.

D-4 STORM PIPE BEDDING DETAIL
NOT TO SCALE

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas and basin have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufacturers requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place one half the volume of seed mix prior to laying net, and place the remaining seed after laying the stabilized blanket.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per the Town of North Castle requirements.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or the sediment pond. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	---	---		CLEAN/ REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:
Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:
Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:
Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:
Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

- Prior to the beginning of any site work the major features of the construction must be field staked by a licensed surveyor. These include the Additions, limits of disturbance, and Stormwater practices.
- Prior to commencement of work, an on-site preconstruction meeting will be held. This will be attended by the Owner responsible for any fines or penalties, the Operator responsible for complying with the approved construction drawings including the E&SC plan and details, the Environmental Planner responsible for E&SC monitoring during construction, town representatives from the Engineering Department and Code Enforcement.
- Temporary erosion and sediment controls (E&SCs) as shown on the approved construction drawings shall be installed as detailed.
- Remove existing vegetative cover and other surface features in the limit of construction.
- Excavate for the pool construction. Upon completion of pool walls backfill and grade area around the pool walls.
- Install infiltration chambers. Entry to the system shall be blocked until the site has reached final stabilization.
- Install underground services.
- Topsoil, rake, seed and mulch all disturbed areas.
- Upon stabilization of all disturbed areas and approval from the Town representative remove all temporary erosion and sediment controls

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYS DOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to pH 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREeping RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREeping RED FESCUE 20
	REDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20
- SEEDING
 - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - Apply soil amendments and integrate into soil.
 - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - Stabilize seeded areas in drainage swales.
 - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - Seed between April 1st and May 15th or August 15th and October 15th.
 - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:

- Install erosion control measures.
- Scarify areas of compacted soil.
- Fertilize with 10-10-10 at 400/lb/acre.
- Lime as required to pH 6.5.

SEED SPECIES:

MIXTURE	LBS./ACRE
Rapidly germinating annual ryegrass	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:
Same as permanent vegetative cover

PROJECT # 21-29

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LICENSED PROFESSIONAL ENGINEERS
NYS Lic. No. 64431

Revisions:
No. | Date | Comments |
| ### | ### |

SCALE: N.T.S.
DRAWN BY: AB
DATE: 11/25/22

DRAINAGE & ESC DETAILS

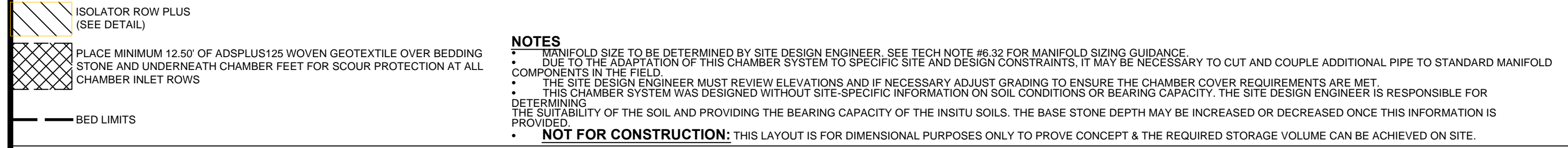
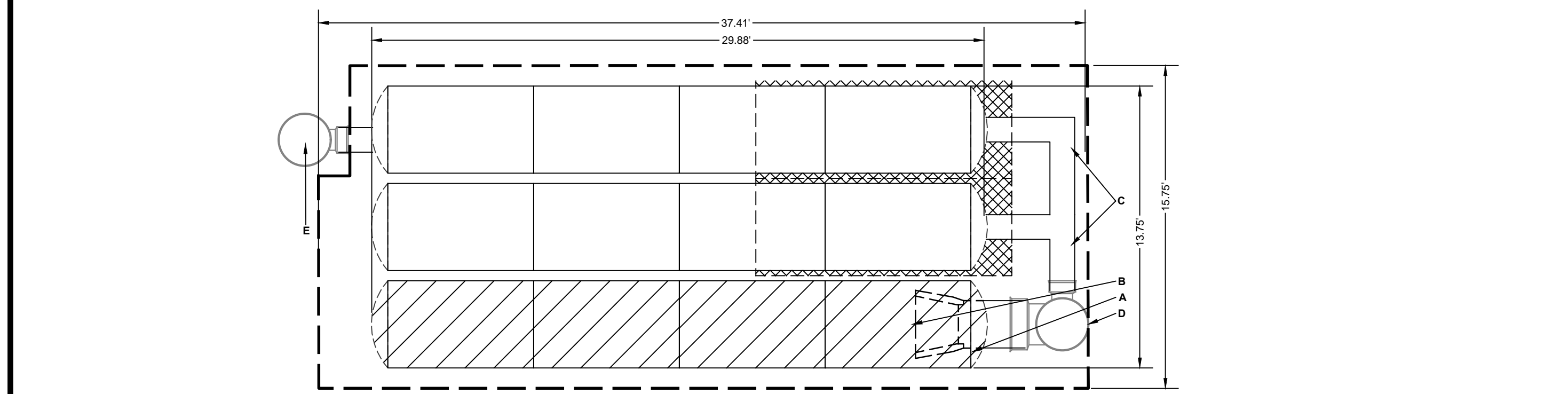
SITE PLAN PREPARED FOR
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York

Sheet 4 of 5

E:\2021\21-29 JOSEPH & CELESTE RAULT\209 BEDFORD BANKSVILLE\RD\DWG\21-29 SITE PLAN\11-25-22.DWG, 11/26/2022, 6:24:42 PM

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PROPOSED LAYOUT	CONCEPTUAL ELEVATIONS	PART TYPE	ITEM LAYOUT	DESCRIPTION	INVERT	MAX FLOW
5 STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT UNPAVED):			24" BOTTOM PREFABRICATED EZ END CAP, PART#: SC740ECEZ / TYP OF ALL 24" BOTTOM CONNECTIONS AND ISOLATOR PLUS ROWS	0.10'	
4 STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):					
6 STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):					
6 STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):				12.50'	
40 STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):					
535 INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE:					2.3 CFS IN
PERIMETER STONE INCLUDED	TOP OF SC-740 CHAMBER:					
(COVER STONE INCLUDED)	12" x 12" TOP MANIFOLD INVERT:					
284 SYSTEM AREA (SF)	12" BOTTOM CONNECTION INVERT:					
79.8 SYSTEM PERIMETER (ft)	24" ISOLATOR ROW PLUS INVERT:					
	BOTTOM OF SC-740 CHAMBER:					2.0 CFS OUT
	BOTTOM OF STONE:					



INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE LID ON NYLOPLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR PLUS ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE

i) MIRRORS OR POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN

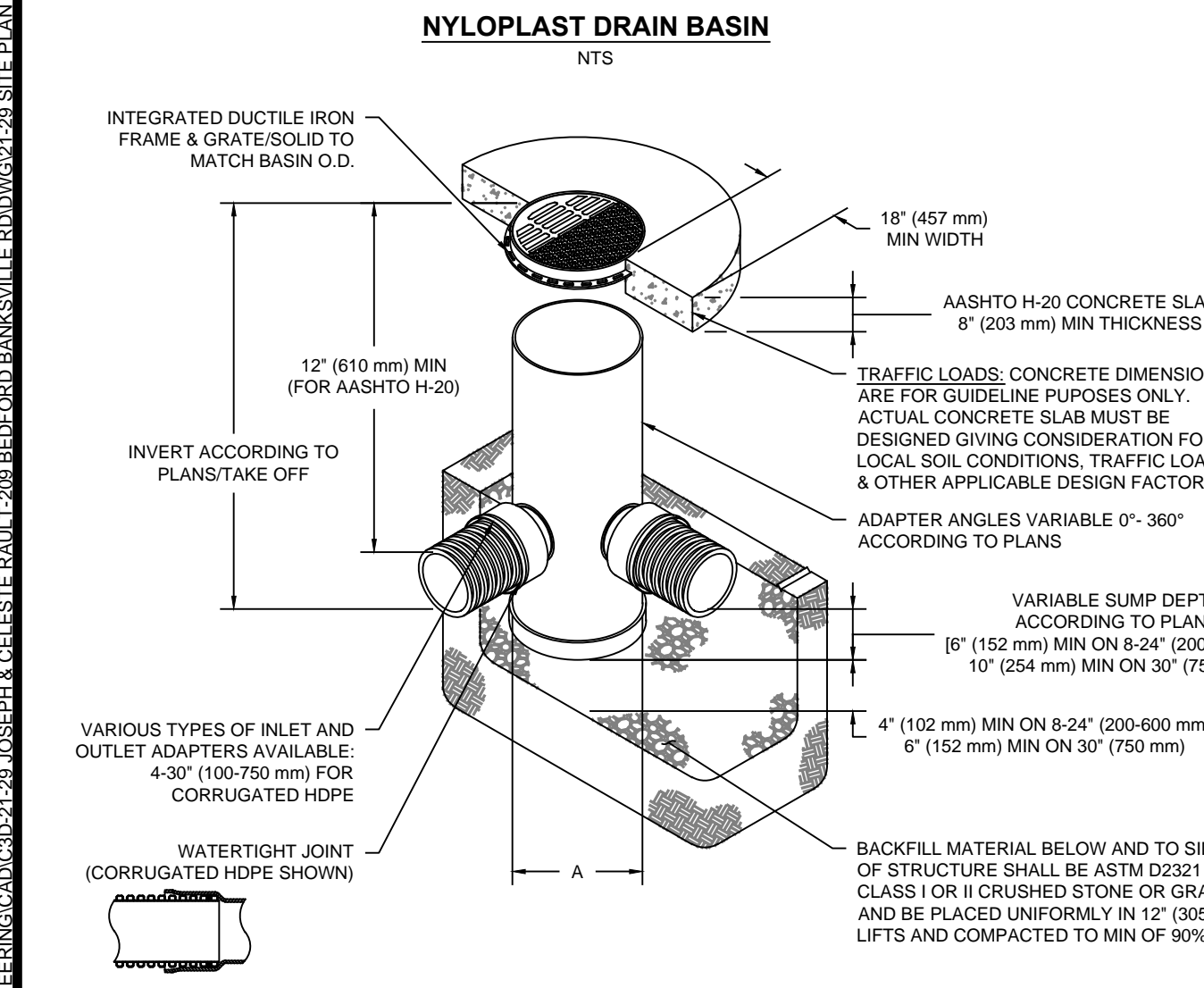
C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES:

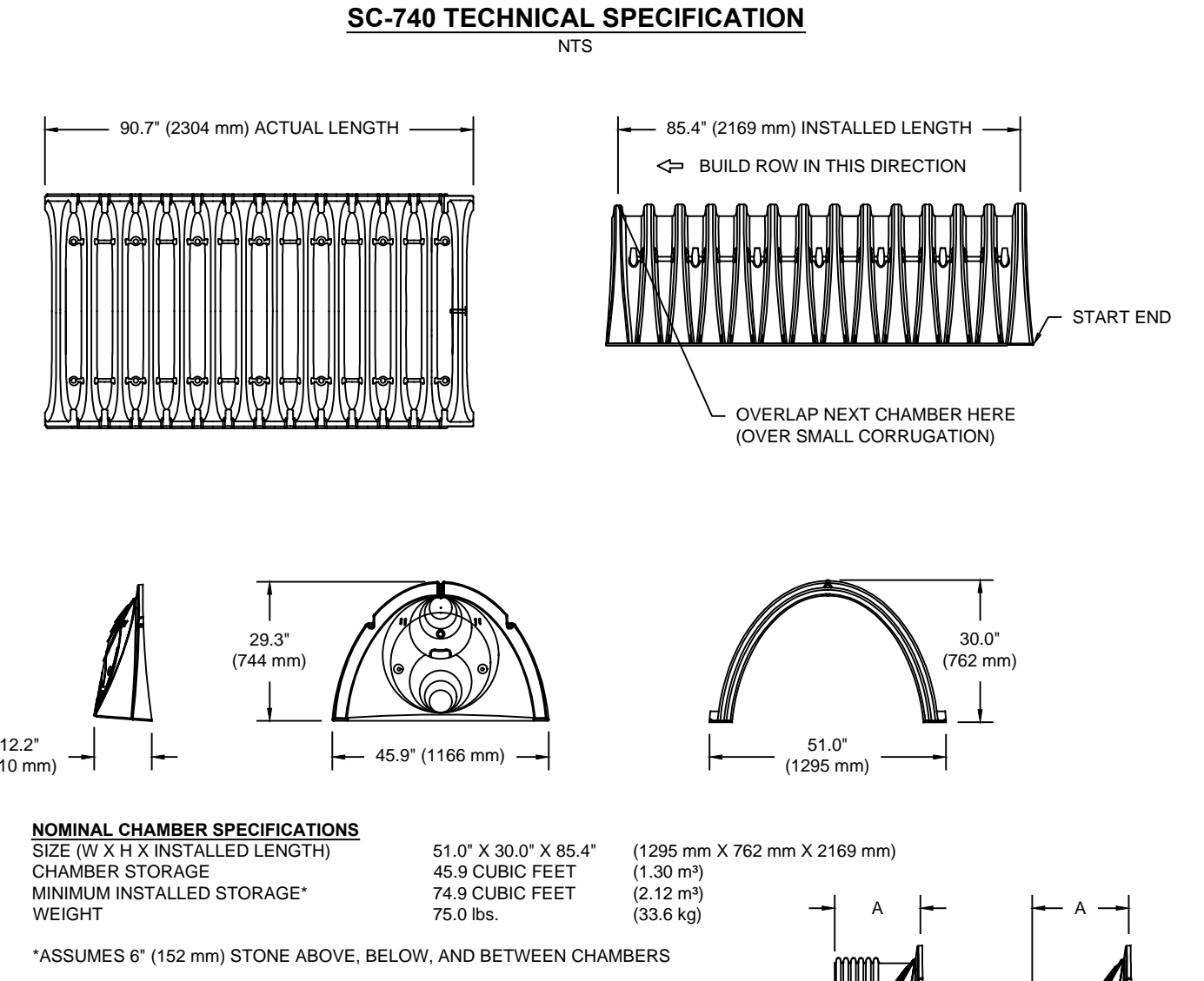
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



NOTES

- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
- TO ORDER CALL: 800-821-6710

A	PART #	GRATE/SOLID COVER OPTIONS
8" (200 mm)	2808AG	PEDESTRIAN LIGHT DUTY STANDARD LIGHT DUTY SOLID LIGHT DUTY
10" (250 mm)	2810AG	PEDESTRIAN LIGHT DUTY STANDARD LIGHT DUTY SOLID LIGHT DUTY
12" (300 mm)	2812AG	PEDESTRIAN LIGHT DUTY STANDARD AASHTO H-20 SOLID AASHTO H-20
15" (375 mm)	2815AG	PEDESTRIAN LIGHT DUTY STANDARD AASHTO H-10 SOLID AASHTO H-10
18" (450 mm)	2818AG	PEDESTRIAN LIGHT DUTY STANDARD AASHTO H-20 SOLID AASHTO H-20
24" (600 mm)	2824AG	PEDESTRIAN LIGHT DUTY STANDARD AASHTO H-20 SOLID AASHTO H-20
30" (750 mm)	2830AG	PEDESTRIAN LIGHT DUTY STANDARD AASHTO H-20 SOLID AASHTO H-20



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)

CHAMBER STORAGE: 51.0' X 30.0' X 85.4' (1295 mm X 762 mm X 2169 mm)

MINIMUM INSTALLED STORAGE: 45.9 CUBIC FEET (1.30 m³) / 74.9 CUBIC FEET (2.12 m³) / 75.0 lbs. (33.6 kg)

WEIGHT: 75.0 lbs. (33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PART #	STUB	A	B	C
SC740EPE001 / SC740EPE001PC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EPE008 / SC740EPE008PC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.5" (13 mm)
SC740EPE017 / SC740EPE017PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EPE088 / SC740EPE088PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	0.7" (18 mm)
SC740EPE107 / SC740EPE107PC	15" (375 mm)	18.4" (467 mm)	---	1.2" (30 mm)
SC740EPE108 / SC740EPE108PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EPE127 / SC740EPE127PC	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740ECEZ ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740ECEZ THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

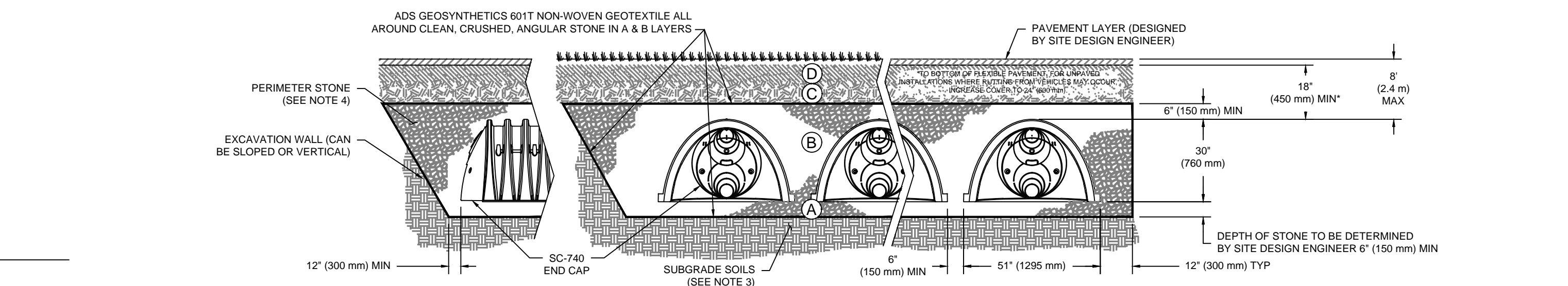
NOTE: ALL DIMENSIONS ARE NOMINAL.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ³ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

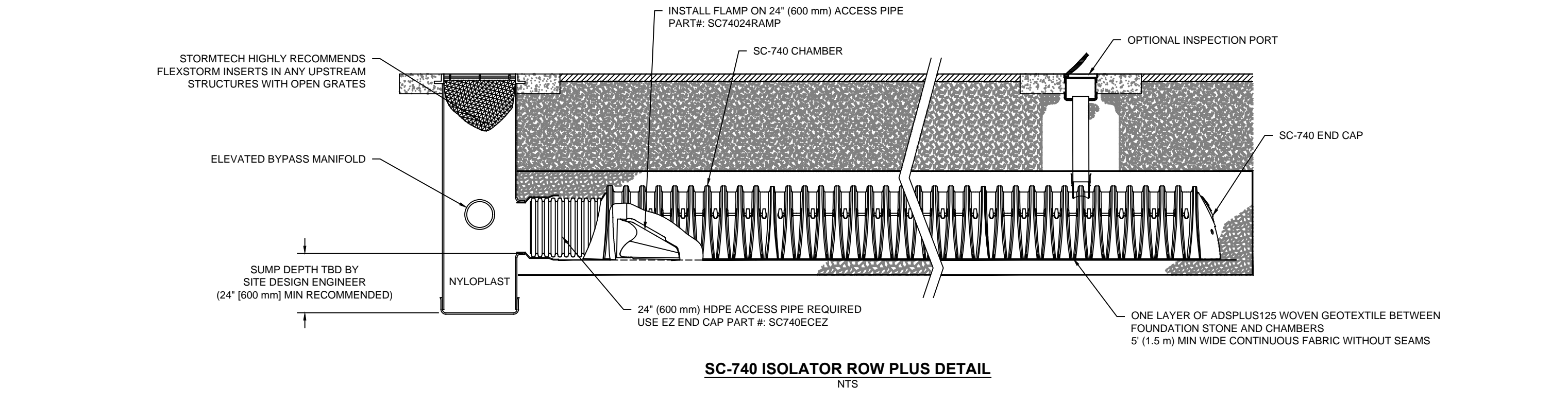
PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



SC-740 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LBS/FT². THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3.3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4-2" (20-50 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

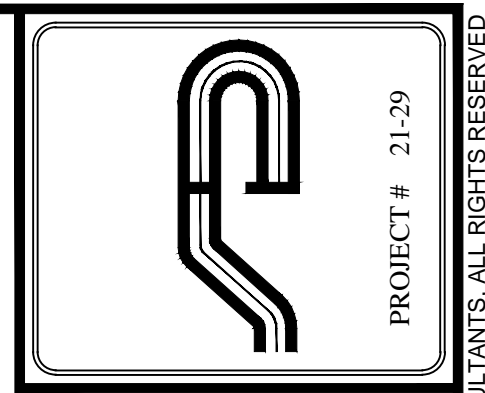
NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

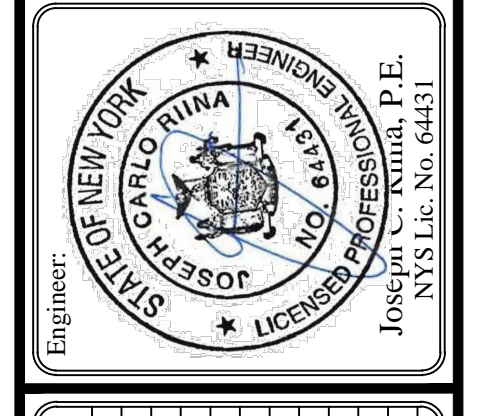
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2698 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

E:\2024\21-26 JOSEPH & CELESTE RAULT, INC. ENGINEERING\PROJECTS\21-26 JOSEPH & CELESTE RAULT, INC. ENGINEERING\DRAWINGS\21-26 SITE PLAN\11-12-24 DWG-11-26-0025-6-24-42.PLM



Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
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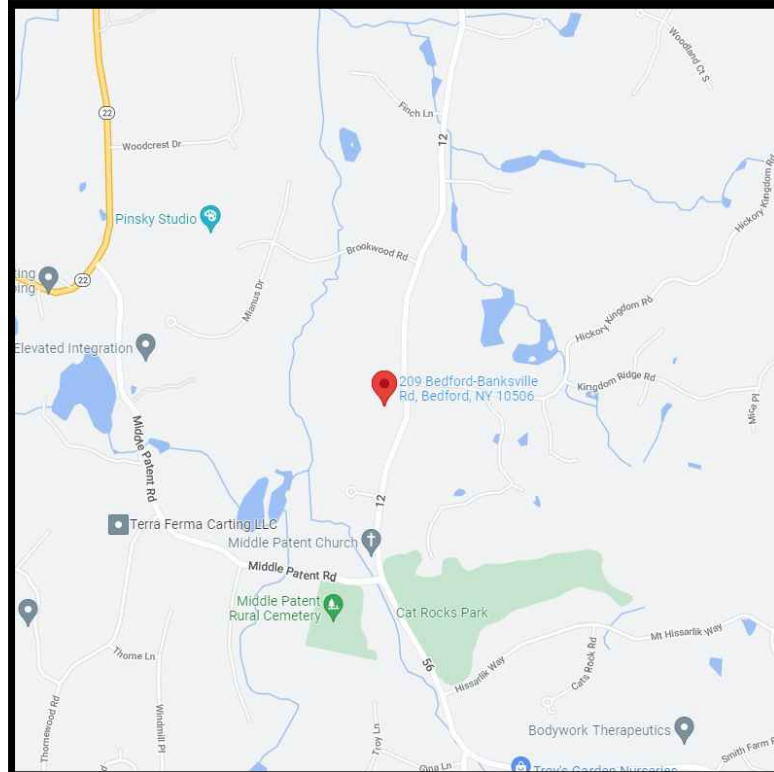


Revisions:	No.	Date	Comments
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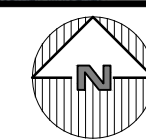
SCALE: N.T.S.
DRAWN BY: AB
DATE: 11/25/22

STORMWATER DETAILS

Site Plan Prepared For
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York
Town of North Castle



LOCATION MAP
NOT TO SCALE



SITE DATA:

OWNER / DEVELOPER: JOSEPH & CELESTE RAULT
209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

PROJECT LOCATION: 209 BEDFORD BANKSVILLE ROAD
BEDFORD, NY, 10506

EXISTING TOWN ZONING: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
PROPOSED USE: R-2A, ONE FAMILY RESIDENCE DISTRICT (2 ACRES)
TOWN TAX MAP DATA: SECTION 95.03, BLOCK 2, LOT 35

SITE AREA: 6.022 ACRES (262,318.32 SF)
SEWAGE FACILITIES: ONSITE SUBSURFACE TREATMENT SYSTEM
WATER FACILITIES: PRIVATE WELL

DESIGN BASIS:
11 BEDROOM NEW RESIDENCE @ 150 GAL/BDRM = 1,650 GAL
2 BEDROOM EXIST. COTTAGE @ 110 GAL/BDRM = 220 GAL x 1.25 (25% INCREASE) = 275 GAL
1 BEDROOM POOL HOUSE @ 110 GAL/BDRM = 110 X 1.25% = 137.5
TOTAL DESIGN FLOW = 2,063 GAL.

LENGTH OF FIELDS:
PERCOLATION DESIGN RATE: 1-5 MIN/IN
APPLICATION RATE: 1.2 GPD/SF
L = (2,063 GPD / 1.2 GPD/SF) / 2 SF/LF = 860 LF REQUIRED

SEPTIC ABANDONMENT NOTES:

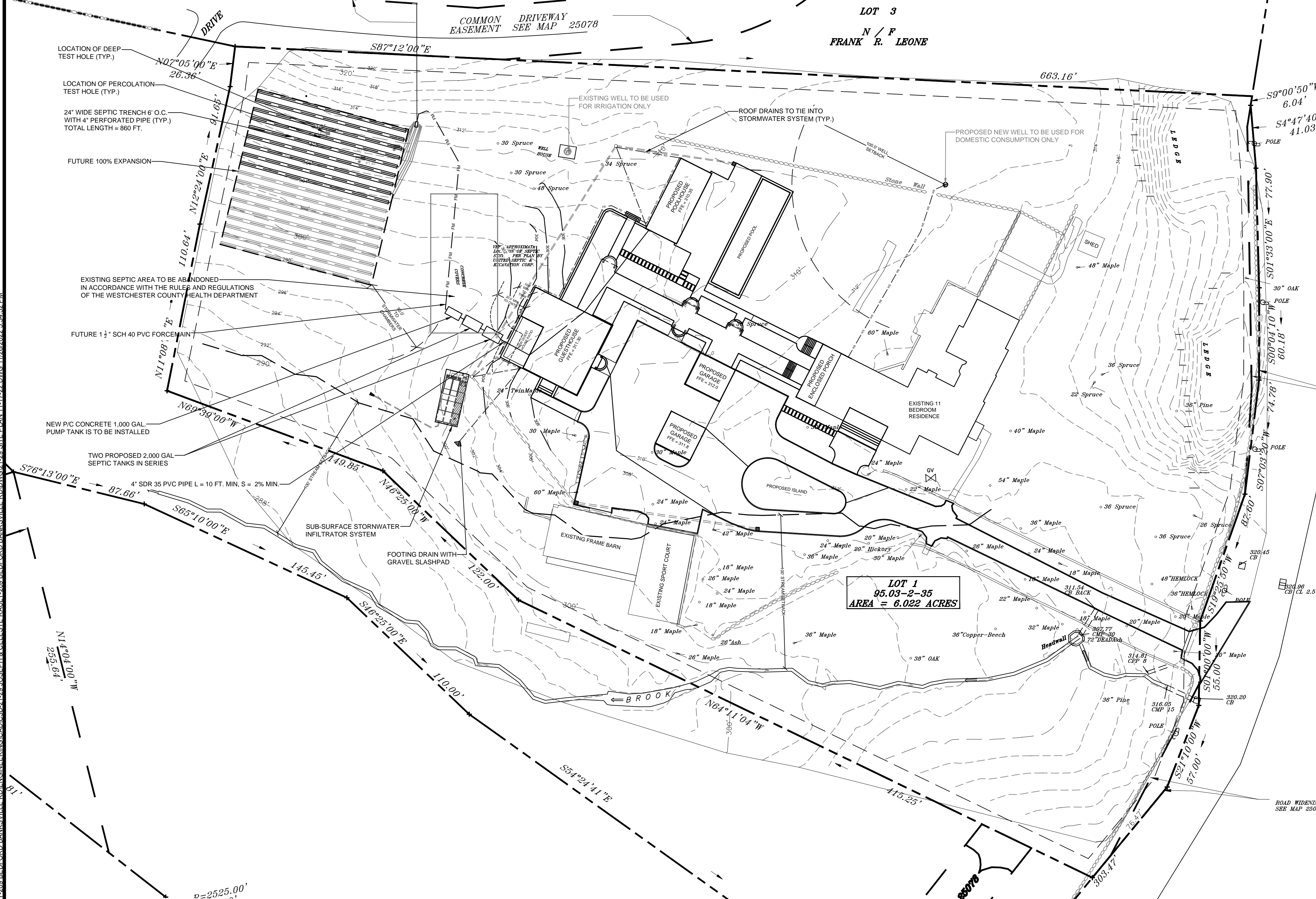
- The existing septic system shall be abandoned in accordance with the latest rules and regulations of the Westchester County Department of Health.
- The septic system shall either be buried on site or hauled off site. If hauled off site, it shall be done by a hauler licensed to haul hazardous waste in the State of New York and disposed of at a NYS permitted/licensed hazardous waste disposal facility.
- Disposal manifest records for off site disposal shall be maintained by the Owner and provided to the Engineer and WCHD for their records.
- No portion of any septic system or associated appurtenances shall remain within 20 ft of the footprint of any structure including but not limited to the house, patio, deck or accessory buildings.
- Abandonment and removal of the septic system is the full responsibility of the owner. The Engineer shall not be held responsible and disclaims any liability for damage or loss incurred during or after construction. The Engineer whose seal appears hereon is not responsible for construction and therefore assumes no responsibility for construction practices, procedures, and results therefrom for the removal of said systems.

GENERAL NOTES:

- A written permit and/or approval issued by the WCHD to construct an individual sewerage system shall terminate and therefore be null and void unless construction is undertaken within one (1) year of the date of issuance.
- If for any reason the approved construction plan cannot be followed, a revised plan must be prepared, submitted and approved by the WCHD.
- All construction to be in accordance with these plans and last revised set of WCHD Rules and Regulations
- All SSTS and wells shall be located in the exact location as shown on this plan unless otherwise authorized by the WCHD.
- Existing wells and SDS shown on this map were installed prior to approval date and are not part of this approval.
- All laundry and kitchen wastes shall be discharged into the SSTS.
- No cellar, roof or footing drains shall be discharged into the SSTS or within 25' of any well.
- Within 24-hours of the completion of the OWTS, the Design Professional must notify the Westchester County Department of Health (WCHD) that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to WCHD.
- Prior to commencement of operation, a Certificate of Compliance must be applied for and received from WCHD.
- The proposed SSTS shall be isolated and protected against damage by erosion, storage of earth or materials, displacement, compaction or other adverse physical change in the characteristics of the soil or in the drainage of area.
- Proposed septic area to be kept free of traffic during house construction and install adequate drainage to prevent erosion after septic is installed.
- Any modifications or deviations from this plan must be approved by the Design Engineer and WCHD prior to construction.
- The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
- All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- The Design Engineer shall supervise the construction of the SSTS and make an open works inspection.
- The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
- Proposed OWTS shall be installed by a Westchester County licensed septic contractor.
- Contractor to verify all substructures encountered during construction.
- The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
- The Contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
- Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.
- Survey and topographical information shown hereon prepared by surveyor: R.K.W. Land Surveying.

SEPTIC CONSTRUCTION REQUIREMENTS:

- General**
- The installation of the OWTS shall be in accordance with the most recently enacted Rules and Regulations for the Design and Construction of Residential Subsurface Sewage Treatment Systems and Drilled Wells in Westchester County, NY.
 - The Westchester County Health Department approval expires one year from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the department.
 - All work performed including new installations, repairs, relocations, etc. shall have all current required permits or approvals.
 - No grading in SSTS area except as shown on this plan.
 - Boulders, if any on surface of ground shall be cleared away prior to construction of the SSTS.
 - Prior to any excavation all underground utilities must be located. Call 1-800-962-7962.
- House Connection & Tanks**
- The house sewer to tank connection shall be a minimum 4" diameter at a minimum slope of 2.0%. The pipe shall be cast iron, ductile iron, or sewer grade PVC. All materials shall comply to the NYS Uniform Fire Prevention and Building Code(9NYCRR). The house trap shall have a cleanout and fresh air intake having a minimum diameter of one-half.
 - If cover exceeds 2 ft over any installed tank or chamber, a manhole and collar to grade is required for access. Minimum requirement of 6-12" of cover over all tanks and chambers.
- Absorption Fields**
- Absorption Fields to be constructed of 4" perforated PVC pipe or equal, encased in crushed stone over pipe with standard precast junction boxes at inlet connection and 4" solid PVC pipe running from septic tank outlet to and between junction boxes.
 - Minimum Trench Depth = 18", Trench Width = 24"
 - Total depth of stone in trench = 12" (washed gravel 3/4" to 1 1/2").
 - Maximum backfill over trench - 14"
 - All septic field laterals shall be of equal length (60' max. w/o dosing and 100' max. if dosed) and parallel to contours at a slope rate of 1/16" per foot.
 - All pipes connecting to tank and boxes shall be cut flush with the inside wall of box.
 - PVC pipe to meet minimum standards of ASTM D-2729.
 - Absorption trenches shall not be installed or backfilled in wet, frozen, frost or snow covered soils.
 - Backfill material for the trenches shall contain no particles with any dimension greater than 4". Backfill septic material must be inspected and approved by the WCHD before installation.
 - No laterals shall be placed beneath a driveway or paved areas.
 - There shall be no trees within 10 feet of the absorption fields.
 - End caps to be placed at end of all 4" perforated P.V.C. pipe in absorption fields.
- Fill Section**
- R.O.B. gravel and impervious material to be inspected and approved by the Design Engineer prior to installation of the proposed system. Fill shall contain no particles greater than 4" in diameter. Fill shall be placed over expansion area where shown as required by WCHD.
 - Fill stabilization may not be achieved by mechanical compaction Only by a natural setting, for a period required by W.C.H.D. which may include a freeze-thaw cycle. Percolation tests must be done in stabilized fill and must meet the design rate.
 - Prior to submission of Certificate of Compliance to WCHD, fill section must be stabilized with grass seed and hay cover.
- WCHD NOTES:**
- The design professional shall supervise the construction of the SSTS and make an open works inspection.
 - Within 24-hours of the completion of the SSTS, the design professional must notify the Westchester County Department of Health that the SSTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to the Department.
 - The proposed Well shall be installed by a New York State Department of Environmental Conservation Registered well driller.
 - Drilled well to be sampled and tested in accordance with the ECOH Private well testing law.
 - There are no sources of contamination within 200 feet of the proposed well.
 - There shall be no trees within 10 feet of the OWTS.
 - That no backfilling of a completed OWTS can occur until after it has been inspected and accepted by the Westchester County Department of Health.
 - After backfilling the OWTS, the area shall be covered with a minimum of 4 inches of clean top soil seeded and mulched.
 - There are DEC wetlands, streams, ponds etc. with in 200' of SSTS. There are no reservoir/reservoir stems or controlled lake with in 500' of SSTS.
 - There is 0.45 AC of proposed disturbance.
 - There are no existing or proposed wells within 200 feet of the proposed OWTS.
 - There are no existing SSTS within 200 ft of well unless otherwise shown on this plan.
 - Estimated construction and completion date: June 2022 to June 2023.



WASTEWATER SOURCES	DRILLED WELL OR SECTION LINE (G) (FT)	TO STREAM LAKE WATERCOURSE (B) OR WETLAND (FT)	DWELLING (FT)	PROPERTY LINES (FT)	DRAINAGE DITCH/RAIN GARDEN (H) (FT)	INGROUND POOL (FT)
HOUSE SEWER	25' CIP 50' OTHER	25'	3'	10'	10'	10'
SEPTIC TANK	50'	50'	10' (H)	10'	10'	20'
EFFLUENT LINE / FORCE MAIN	50'	50'	10'	10'	10'	10'
DISTRIBUTION BOX / JUNCTION BOX	100'	100'	20' (D)	10'	20'	20'
ABSORPTION FIELD (F)	100' (A)	100'	20' (D)	10'	20'	35'
SEEPAGE PIT	150' (A)	100'	20' (D)	10'	20'	50'
DRY WELL (D)	50'	25'	20'	10'	10'	20'
ROOF & FOOTINGS ROADS & DRIVEWAY	100'	25'	20'	10'	10'	20'

NOTES:

- Wells located in the general path of drainage of a SSTS must be located 200 feet or more away. All public water supply wells must be 200 feet from absorption fields or seepage pits.
- Mean high water mark of defined stream or lake.
- Drywells are not allowed above OWTS (drywells, Stormwater infiltrator or other subsurface stormwater infiltrator units)
- For slab on grade foundations with no drains, distance can be reduced in half.
- For all systems involving placement of fill, separation distances are measured from the toe of the fill.
- Closest part of OWTS shall be located at least ten (10) feet from any water service line (i.e. - PWS main, water service connection, well).
- Recommended
- Septic tanks are not permitted beneath raised decks and require a minimum of five (5) feet separation from deck piers (sonotubes)

ADDITIONAL SEPARATION DISTANCES FROM SSTA TO:

- Piped Drainage 25 feet
- Open Channel Drainage 50 feet
- Curtain Drain (upgrade from SSTS) 15 feet
- Curtain Drain (downgrade from SSTS) 50 feet
- Catch Basin 50 feet
- Driveway 5 feet
- Stormwater Basin 100 feet (high water elevation)
- Above Ground Well 10 feet
- Deck with Piers / Sonotube 10 feet
- Slab on Grade Foundation 10 feet
- Roof & Footing Drain Discharge Pipe 10 feet

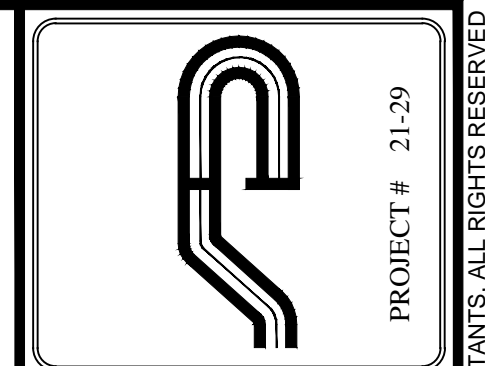
TYPE	NAME	DESCRIPTION	HYDROLOGICAL GROUP
CsD	CHATFIELD/CHARLTON	FINE SANDY LOAM	B
C/C	CHARLTON/CHATFIELD	FINE SANDY LOAM	B

LOT NO.	S.S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC. RATE (MIN/IN)	PERC. RATE (GPD/SF)	MIN. DESIGN RATE	APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN FLOW RATE	TANK SIZE	REQD. TRENCH LENGTH	BANK RUN FILL DEPTH	CURTAIN DRAIN DEPTH	REMARKS	
																					DESIGN BASIS
35	10,588.50 S.F.	262,318 S.F.	TP-#1	6" T.SOIL, 6"-62" MOD. SANDY LOAM, 62"-86" LOOSE COMP. SAND	7'-2"				PT-1	1-5 MIN.	1-5 MIN.	1.20	14 BRM	2,063 GPD	TWO 2000 GAL TANKS	860 LF					
			TP-#2	6" T.SOIL, 6"-42" MOD. COMP. SANDY LOAM, 42"-86" MOD. COMP. SANDY LOAM	7'-2"			13.74 %	PT-2	1-5 MIN.	1-5 MIN.	1.20	14 BRM	2,063 GPD	TWO 2000 GAL TANKS	860 LF					
			TP-#3	6" T.SOIL, 6"-48" MOD. COMP. SANDY LOAM, 48"-86" LOOSE COMP. SAND	7'-2"					PT-3	1-5 MIN.	1-5 MIN.	1.20	14 BRM	2,063 GPD	TWO 2000 GAL TANKS	860 LF				

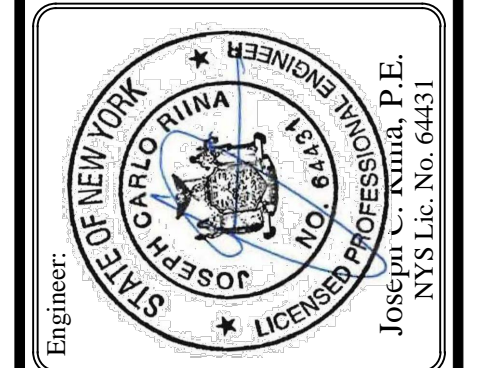
NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY R.K.W. LAND SURVEYING, DATED 05/26/2021, LAST REVISED 06/24/2021. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: Required trench length taken from table in WCHD Rules and Regulations. (Based on Perc Test)

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



Site Design Consultants
Civil Engineers • Land Planners
251-J Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

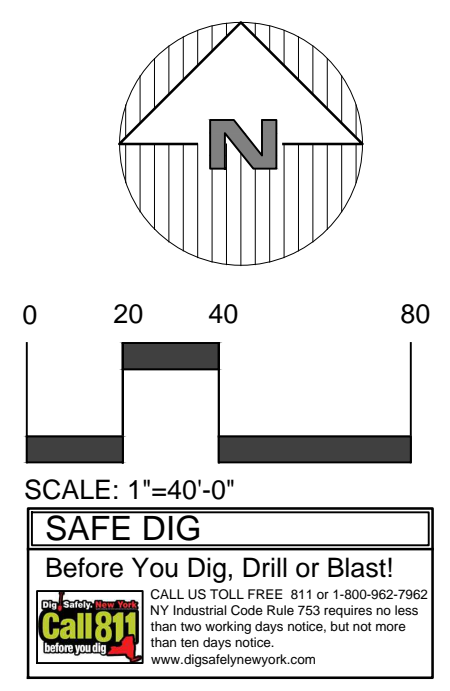


No.	Date	Comments

SCALE: 1" = 40'
DRAWN BY: AB
DATE: 10/21/22

OWTS PLAN

OWTS PLAN PREPARED FOR
Joseph & Celeste Rault
209 Bedford Banksville Road
Westchester County, New York





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WESTCHESTER COUNTY
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Armonk, New York 10504-1898

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Application for Site Development Plan Approval

Application Name

209 Bedford Banksville Road - Rault Residence



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Important General Information

- Prior to submitting an application, the "Notice to Applicants" should be reviewed.
- To appear before the Planning Board, all required application materials shall be submitted not later than **12:00 P.M., Monday, fourteen (14) days** prior to the date of the Planning Board meeting at which the application is scheduled to be heard or as otherwise noted by the Planning Board Secretary. Continuing Business can be submitted 12 days prior to the Next Planning Board meeting by the close of business. Except where noted.
If all required application materials, including the pertinent application fee and escrow monies are not submitted by that deadline, the application shall be automatically removed from the agenda.
At the discretion of the Planning Board Chairman, the application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Without prior authorization from the Planning Board, application submissions shall not be accepted at Planning Board meetings.
- At the time of submission, all required application materials shall be submitted. **Piecemeal** submissions **shall not** be accepted. Substitution of previously submitted materials shall not be permitted.
- All submissions shall be dated, with revision dates identified on new submissions.
- All submissions shall be accompanied by a cover letter describing the project and/or any changes as compared to previous submissions.
- To be considered complete for Planning Board hearing purposes, an application package shall contain the information identified in Parts IV and V of this application form.



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**AT THE TIME OF SUBMISSION TO THE PLANNING DEPARTMENT
PLEASE MAKE SURE THE FOLLOWING IS PROVIDED**

- ✓ SUBMISSION OF A SINGLE PDF FILE (PLANS, APPLICATION FORM, OTHER PAPERWORK) ON A DISK, THUMBDRIVE OR EMAIL

- ✓ COVER LETTER DESCRIBING THE PROJECT OR CHANGES TO THE PROJECT

- ✓ ALL PLANS ARE SIGNED AND SEALED BY A LICENSED NYS PROFESSIONAL



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NOTICE TO APPLICANTS

In the Town of North Castle, the Planning Board is responsible for the review and approval of all applications concerning site plans, subdivisions and lot line changes; some applications concerning special use permits, wetlands permits and tree removal permits; and the environmental review of those applications over which it has jurisdiction. The Planning Board may also have an advisory role in connection with some applications before the Town Board, such as those involving other categories of special use permits and zoning amendments.

The Planning Board is composed of five volunteer members – all residents of North Castle – who are appointed by the Town Board for five-year terms. As part of the review of some applications, the Planning Board is assisted on an as-needed basis by other lay boards of the Town, such as the Conservation Board (CB), the Zoning Board of Appeals (ZBA), the Open Space Committee and the Architectural Review Board (ARB). As part of the review of most applications, the Planning Board is also assisted by the Director of Planning, the Town Engineer, the Town Attorney and other special consultants when required.

FEES:

If you submit an application for Planning Board review, you will be required to reimburse the Town for the cost of professional review services, including legal and engineering services, incurred in connection with the review of your application. The charges for professional planning review services have been \$120/hour. If other types of professional consultant review services are required, those charges will be in accord with fees usually charged for such services and pursuant to a contractual agreement between the Town and such professional.

At the time of submission of an application, the Planning Board will require the establishment of an escrow account from which withdrawals shall be made to reimburse the Town for the cost of consultant fees and professional staff services.

ESCROW ACCOUNT:

Escrow Accounts are established for each application. Monies will be deducted from the account for professional review services rendered. Monthly escrow disbursement summaries will be mailed for your reference regarding your project. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, a letter will be mailed to the applicant and the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit. Additional information on these requirements is provided in the North Castle Town Code (see Sections 355-79B and 275-36.C).



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PROCEDURE:

Prior to submitting an application to the Planning Board for review and approval, prospective applicants should schedule an appointment with the Planning Board Secretary at (914) 273-3542 for a consultation with the Town Planner and the Town Engineer. When the appointment is made, a verbal description of the proposal should be provided to the Planning Board Secretary. The Town of North Castle is providing the services of the Director of Planning and the Town Engineer for *initial* consultation at no cost to the applicant so that it is possible to conduct the application review as efficiently as possible for the benefit of the applicant as well as the Planning Board.

After meeting with the Town Planner and Town Engineer, prospective applicants should prepare one complete set of application documents and plans. This set will be reviewed for completeness by the Town Planner. If determined to be incomplete, the Planning Department will submit a checklist indicating which items have not been adequately addressed. If determined to be complete, the checklist will be initialed and the Applicant should submit the remainder of the required application packages.

Once the checklist has been initialed and all application packages have been submitted, the Planning Board Secretary will schedule the application for the first available opening on the Planning Board's meeting agenda. However, if the required application material packages, including the pertinent application fee are not received at the Planning Board office by 12:00 PM, Monday, 14 days prior to the date of the Planning Board meeting at which you are scheduled to appear (or otherwise scheduled by the Planning Board Secretary), your application will be automatically removed from the agenda. At the discretion of the Planning Board Chairman, your application may be rescheduled, if appropriate, for the next available Planning Board meeting or the application may be removed from future agendas altogether. Additional requirements pertinent to each type of application are provided on the individual application forms, which you should carefully review prior to submitting your application.

When an application is deemed complete and submitted for review, it will be forwarded to the Planning Board Members and its professional advisors in advance of the meeting to allow adequate time for review, preparation of written reports and site inspections as necessary. Your application may also be forwarded to other boards and staff of the Town as well as to agencies outside of the Town, if required. Compliance with State Environmental Quality Review (SEQR) procedures is also required as part of the processing of all applications.

At your first appearance before the Planning Board, the Applicant will describe the project and the Planning Board will discuss any preliminary issues. The Planning Board discussion may be continued at future meetings, or if the Planning Board review has progressed sufficiently, the Application may be scheduled for a public hearing (if one is required) The public hearing may occur at a single Planning Board meeting, or it may be adjourned and continued at another Planning Board meeting. Because the nature and complexity of each application varies



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considerably, it is not possible to predict in advance the length of time needed to secure Planning Board approval. There are certain steps that you can take, however, to expedite the review process. These include, but are not limited to, the following:

- Be thoroughly familiar with the requirements pertinent to your application. Carefully review relevant provisions of the North Castle Town Code and the application form for your particular type of application. Be sure to check on what other types of approvals may be required in addition to that of the Planning Board. Approvals by other Town boards or departments as well as agencies outside of the Town may be required before you will be allowed to proceed with your project.
- Make sure that your application materials are accurately prepared and contain all required information. The information that we initially request is required, so make sure that your submission is complete. If supplementary information is requested as the review process continues, make sure that it is submitted in a timely fashion so the Planning Board can continue to move your application along.
- Follow up to make sure that your application materials are being submitted on time, or deliver them to the Planning office yourself.
- Attend the Planning Board meeting at which your application will be discussed and be on time for the meeting. If you cannot appear personally, make sure that your representative will be there and is thoroughly familiar with your application.

If the Application is approved by the Planning Board, a resolution of approval will be adopted by the Planning Board. It is the Applicant's responsibility to address any and all conditions of approval. Permits from the Building Department cannot be issued until all conditions have been addressed and the plans have been signed by the Planning Board Chair and the Town Engineer.

**ON LINE AGENDAS & PLANNING DEPARTMENT MEMORANDA CAN BE
REVIEWED AT**

WWW.NORTHCASTLENY.COM



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INFORMATION REGARDING PUBLIC HEARINGS

1. The North Castle Assessor's Office shall prepare a list of neighbors to be notified for the neighbor notifications and public hearings - **A minimum of one week's notice is required**. The fee is \$50.00 which includes the list of neighbors and two sets of labels for mailing. The Assessor's Office may be reached Monday – Friday from 8:30 a.m.– 4:30 p.m. at 273-3324. You may also e-mail your request to assessor@northcastleny.com

When requesting your list please reference the list of application types below so that you can tell the Assessor's office how many feet on all sides of the property to create the list for.

Subdivisions - All lots zoned R-10, R-5 and R-2F shall notice all neighbors within 200 feet from all sides of their property. All other zoning districts shall notice neighbors within 500 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Special Use Permit for Structures over 800 sq ft. & Accessory Apartment - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Site Plan, Non Residential - All Zoning Districts shall notice all neighbors within 250 feet from all sides of their property. Public hearing notice must be published in the newspaper.

Site Plan, Residential/ Neighbor Notification – All zoning districts R-3/4A or smaller shall notice all neighbors within 250' from all sides of their property. All zoning districts zoned R-1A or larger shall notice all neighbors within 500' from all sides of the property. No public hearing required, no publication in the newspaper required.

Wetlands Permit - All Zoning Districts shall notice all abutting property owners. Public hearing notice must be published in the newspaper.

2. The Director of Planning will prepare a Public Notice. The applicant and or professional will review, sign, date and return to the Planning Department Secretary. If there are any changes necessary, please edit and return for corrections. The corrections will be made and emailed back to the applicant who will forward it to the Journal Newspaper, when applicable.

If notification to the newspaper is not required, please continue to #3.



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You may email your public notice to legals@lohud.com. Please request an affidavit of publication which must be submitted to the Planning Board secretary prior to the public hearing. The Journal News requires three days prior notice before 12 noon, not counting weekends and holidays, for ad placement. Make sure the notice placement of the ad in the Greater Westchester Area. This notice cannot be published any sooner than 20 days prior to the meeting and must be published no less than 10 days prior to the meeting.

If you have any questions regarding your publication you may call 888-516-9220:
Email Address: legals@lohud.com

It is suggested that you purchase the newspaper for your records the day the notice is published.

3. Send out the Public Hearing Notice/ Neighbor Notification by First Class Mail. Notice shall be mailed by the applicant in official envelopes provided by the North Castle Planning Department; the list of noticed neighbors will be prepared by the Assessor's Office. This must be sent out no less than 10 days prior to the meeting and no more than 20 days prior to the meeting date. A Certificate of Mailing (PS Form 3817 or 3877) shall be filled out and post marked by the Post Office on the day of mailing. Neighbor Notifications – no publication in the newspaper required.
4. The Friday before the meeting or no later than 12:00 p.m. the day of the meeting the following **must** be submitted.
 - List of Neighbors prepared by the Assessor's Office
 - Certificate of Mailing – PS form 3817 or 3877 post marked by the US Post Office
 - Affidavit of publication from the Newspaper (only if published in the newspaper)



Name and Address of Sender		Check type of mail or service		Affix Stamp Here <i>(if issued as an international certificate of mailing or for additional copies of this receipt).</i> Postmark with Date of Receipt.											
		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail													
USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.				Handling Charge - if Registered and over \$50,000 in value											
2.															
3.															
4.									Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
5.															
6.															
7.															
8.															
Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office	Postmaster, Per (Name of receiving employee)													



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APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fes



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Applicant Signature

11-3-22

Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Joseph and Celeste Rault
Mailing Address: 209 Bedford Banksville Road
Telephone: 917-477-9899 Fax: _____ e-mail joerault@gmail.com

Name of Applicant (if different): Granoff Architects
Address of Applicant: 330 Railroad Avenue, Greenwich, CT 06830
Telephone: 203-625-9460 Fax: 203-625-9375 e-mail ka@granoffarchitects.com
Interest of Applicant, if other than Property Owner:
Architect

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
Granoff Architects
Address: 330 Railroad Avenue Greenwich CT 06830
Telephone: 203-625-9460 Fax: 203-625-9375 e-mail ka@granoffarchitects.com

Name of Other Professional: Site Design Consultants
Address: 251-F Underhill Avenue Yorktown Heights NY 10598
Telephone: 914-962-4488 Fax: 914-962-7386 e-mail _____
jriina@sitedesignconsultants.com

Name of Attorney (if any): P. Daniel Hollis, III, Esq.
Address: 55 Smith Avenue Mount Kisco, NY 10549
Telephone: 914-666-5600 Fax: 914-666-6267 e-mail pdhollis@hollislaidlaw.com

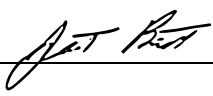
Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 11-30-22

Signature of Property Owner:  Date: **11/30/22**

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 209 Bedford Banksville Road

Location (in relation to nearest intersecting street):

50' feet (north, south, east or west) of Hickory Kingdom Road

Abutting Street(s): _____

Tax Map Designation (NEW): Section 95.03 Block 2 Lot 35

Tax Map Designation (OLD): Section _____ Block _____ Lot _____

Zoning District: R-4A Total Land Area 6.022 ac.

Land Area in North Castle Only (if different) _____

Fire District(s) Banksville FD School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Residential

Gross Floor Area: Existing 15,618 S.F. Proposed 11,976 S.F.

Proposed Floor Area Breakdown:

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential 27,595 S.F.;

Number of Dwelling Units: 2

Number of Parking Spaces: Existing _____ Required _____ Proposed _____

Number of Loading Spaces: Existing _____ Required _____ Proposed _____

Earthwork Balance: Cut _____ C.Y. Fill _____ C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No _____ Yes X

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- _____ Name of the application or other identifying title.
- _____ Name and address of the Property Owner and the Applicant, (if different).
- _____ Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- _____ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- _____ Existing zoning, fire, school, special district and municipal boundaries.
- _____ Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- _____ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- _____ Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- _____ Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- _____ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- _____ A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- _____ Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- _____ Location of existing parking and truck loading areas, with access and egress drives thereto.
- _____ Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- _____ Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- _____ Location, size and design of existing signs.
- _____ Location, type, direction, power and time of use of existing outdoor lighting.
- _____ Location of existing outdoor storage, if any.
- _____ Existing topographical contours with a vertical interval of two (2) feet or less.
- _____ Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- _____ Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- _____ Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- _____ Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- _____ Proposed sight distance at all points of vehicular access.
- _____ Proposed number of employees for which buildings are designed
- _____ Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- _____ Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- _____ Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- _____ Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- _____ Location, size and design of all proposed signs.
- _____ Location, type, direction, power and time of use of proposed outdoor lighting.
- _____ Location and design of proposed outdoor garbage enclosure.
- _____ Location of proposed outdoor storage, if any.
- _____ Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- _____ Type of power to be used for any manufacturing
- _____ Type of wastes or by-products to be produced and disposal method
- _____ In multi-family districts, floor plans, elevations and cross sections
- _____ The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- _____ Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- _____ Proposed soil erosion and sedimentation control measures.
- _____ For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- _____ For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- _____ For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

Short Environmental Assessment Form


Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Rault Residence			
Project Location (describe, and attach a location map): 209 Bedford Banksville Road Bedford NY			
Brief Description of Proposed Action: Enlarge existing uses on a single parcel and use an adjacent vacant parcel's coverage for the developed parcel. The vacant parcel will give up its development rights for future buildings.			
Name of Applicant or Sponsor: Granoff Architects, Ken Andersen		Telephone: 203-625-9460	
		E-Mail: ka@granoffarchitects.com	
Address: 330 Railroad Avenue			
City/PO: Greenwich		State: CT	Zip Code: 06830
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO
			YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Town of North Castle Planning Board, ZBA, and Building Department			<input type="checkbox"/>
			<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		6.022 acres	
b. Total acreage to be physically disturbed?		1.5 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		10.374 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Granoff Architects, Ken Andersen</u> Date: <u>11-30-22</u></p> <p>Signature: <u></u></p>		


November 30, 2022

Joseph Rault
209 Bedford Banksville Road
Bedford, NY 10506

To Whom it May Concern at the Town of North Castle:

I am writing to confirm that Ken Andersen of Granoff Architects is authorized to be the applicant for the Planning Board submission for my property at 209 Bedford Banksville Road.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe Rault", written in a cursive style.

Joseph Rault
Owner, 209 Bedford Banksville Road