

February 8, 2023

Alessandra Biaggi  
19 Jackson Road  
Bedford, NY 10504

Town of North Castle  
Planning Department  
17 Bedford Rd  
Armonk, NY 10504

**Cover Letter/Project Description for 19 Jackson Road, Bedford, NY**

It is the intention of this application to obtain an approval from the Planning Board for the construction of the following proposed scope of work:

1. One story addition to the existing house for a new bedroom suite.
2. Three (3) accessory structures which will include one (1) 800 SF pool house, one (1) 800 SF exercise room and one (1) 750 SF storage room.
3. Deck area between the existing pool and the three (3) new accessory structures.

Truly Yours,



Alessandra Biaggi  
Owner/Applicant



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
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[www.northeastleny.com](http://www.northeastleny.com)

## Application for Site Development Plan Approval

Application Name

KOLOC/BIAGGI RESIDENCE

**I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES**

Name of Property Owner: ALESSANDRA BIAGGI AND NATHANIEL KOLOC  
Mailing Address: 19 JACKSON ROAD, BEDFORD, NY 10506  
Telephone: (914) 960-6169 Fax: - e-mail ALESSANDRABIAGGI5@GMAIL.COM

Name of Applicant (if different): \_\_\_\_\_  
Address of Applicant: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_  
Interest of Applicant, if other than Property Owner:  
\_\_\_\_\_

Is the Applicant (if different from the property owner) a Contract Vendee?  
Yes  No   
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:  
RALPH ALFONZETTI, P.E  
Address: 14 SMITH AVE, MT. KISCO, NY 10549  
Telephone: (914) 666-9800 Fax: - e-mail RALPHA@ALFONZETTIENG.COM

Name of Other Professional: KENNETH HESSELBACHER, P.E  
Address: 26 ROCKY HILL RD, NEW FAIRFIELD, CT 06812  
Telephone: (203) 628-5601 Fax: - e-mail KENHESSEL111@YAHOO.COM

Name of Attorney (if any): \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

### Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: SAME AS OWNER Date: —

Signature of Property Owner: Alessandra Biaggio Date: 2/10/23

**MUST HAVE BOTH SIGNATURES**



II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 19 JACKSON RD

Location (in relation to nearest intersecting street):

983.63 +/- feet (north, south, east or west) of ROUNDHOUSE RD

Abutting Street(s): —

Tax Map Designation (NEW): Section 102.02 Block 2 Lot 65

Tax Map Designation (OLD): Section 1 Block 05 Lot 13.D

Zoning District: R-2A Total Land Area 4.30 ACRES

Land Area in North Castle Only (if different) \_\_\_\_\_

Fire District(s) BANKSVILLE School District(s) BYRAM

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No  Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

If yes, please identify name(s): \_\_\_\_\_

The boundary of any existing or proposed County or State park or any other recreation area?

No  Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No  Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No  Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No  Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

The boundary of a farm operation located in an agricultural district?

No  Yes (adjacent) \_\_\_\_\_ Yes (within 500 feet) \_\_\_\_\_

Does the Property Owner or Applicant have an interest in any abutting property?

No  Yes \_\_\_\_\_

If yes, please identify the tax map designation of that property:

\_\_\_\_\_



III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: NEW BEDROOM SUITE - (3) ACCESSORY STRUCTURE - DECK

Gross Floor Area: Existing 2649 S.F. Proposed 6690 S.F.

Proposed Floor Area Breakdown:

Retail N/A S.F.; Office N/A S.F.;

Industrial N/A S.F.; Institutional N/A S.F.;

Other Nonresidential N/A S.F.; Residential \_\_\_\_\_ S.F.;

Number of Dwelling Units: N/A

N/A Number of Parking Spaces: Existing \_\_\_\_\_ Required \_\_\_\_\_ Proposed \_\_\_\_\_

N/A Number of Loading Spaces: Existing \_\_\_\_\_ Required \_\_\_\_\_ Proposed \_\_\_\_\_

Earthwork Balance: Cut 1200 C.Y. Fill 0 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No \_\_\_\_\_ Yes

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No \_\_\_\_\_ Yes

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No \_\_\_\_\_ Yes

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No \_\_\_\_\_ Yes

(If yes, application for a State Wetlands Permit may also be required.)



#### **IV. SUBMISSION REQUIREMENTS**

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

## V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

### Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- NA Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

### Existing Conditions Data:

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- Location of existing parking and truck loading areas, with access and egress drives thereto.
- Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- Location, size and design of existing signs.
- Location, type, direction, power and time of use of existing outdoor lighting.
- Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- Location of existing floodplains, wetlands, ~~slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.~~

### Proposed Development Data:

- Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- Proposed sight distance at all points of vehicular access.
- Proposed number of employees for which buildings are designed
- Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- Proposed location and design of facilities for ~~water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.~~

- Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- Location, size and design of all proposed signs.
- Location, type, direction, power and time of use of proposed outdoor lighting.
- Location and design of proposed outdoor garbage enclosure.
- Location of proposed outdoor storage, if any.
- Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- Type of power to be used for any manufacturing
- Type of wastes or by-products to be produced and disposal method
- In multi-family districts, floor plans, elevations and cross sections
- The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- Proposed soil erosion and sedimentation control measures.
- For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <span style="font-size: 1.2em; font-family: monospace;">KOLOC / BIAGGI RESIDENCE</span>							
Project Location (describe, and attach a location map): <span style="font-size: 1.2em; font-family: monospace;">19 JACKSON RD BEDFORD, NY</span>							
Brief Description of Proposed Action: <span style="font-size: 1.2em; font-family: monospace;">NEW BEDROOM SUITE ADDITION NEW (3) ACCESSORY STRUCTURES NEW DECK</span>							
Name of Applicant or Sponsor: <span style="font-size: 1.2em; font-family: monospace;">ALESSANDRA BIAGGI</span>		Telephone: <span style="font-size: 1.2em; font-family: monospace;">(914) 960-6169</span>					
		E-Mail: <span style="font-size: 1.2em; font-family: monospace;">ALESSANDRA.BIAGGI@GMAIL.COM</span>					
Address: <span style="font-size: 1.2em; font-family: monospace;">19 JACKSON RD</span>							
City/PO: <span style="font-size: 1.2em; font-family: monospace;">BEDFORD</span>		State: <span style="font-size: 1.2em; font-family: monospace;">NY</span>	Zip Code: <span style="font-size: 1.2em; font-family: monospace;">10506</span>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: <span style="font-size: 1.2em; font-family: monospace;">PLANNING BOARD - CONSERVATION BOARD ARCHITECTURAL REVIEW BOARD - BUILDING DEPT.</span>			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<span style="font-size: 1.2em; font-family: monospace;">4.30</span> acres					
b. Total acreage to be physically disturbed?		_____ acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<span style="font-size: 1.2em; font-family: monospace;">0</span> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							







<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>ALESSANDRA BIAGGI</u> Date: <u>2/10/23</u></p> <p>Signature: <u>Alessandra Biaggi</u></p>		



TOWN OF NORTH CASTLE  
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**APPLICATIONS REQUIRING PLANNING BOARD APPROVAL**  
**SCHEDULE OF APPLICATION FEES**

<b><u>Type of Application</u></b>	<b><u>Application Fee</u></b>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 <sup>st</sup> Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 <sup>st</sup> Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00

Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.

\*Any amendment to previously approved applications requires new application forms and Fes\*



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**PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS**

<b><u>Type of Application Deposit*</u></b>	<b><u>Amount of Initial Escrow Account</u></b>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

\* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

Alessandra Biaggio  
Applicant Signature

2/10/23  
Date:





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GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: KOLOC RESIDENCE Date: 2/13/23

Tax Map Designation or Proposed Lot No.: 102.02-2-65

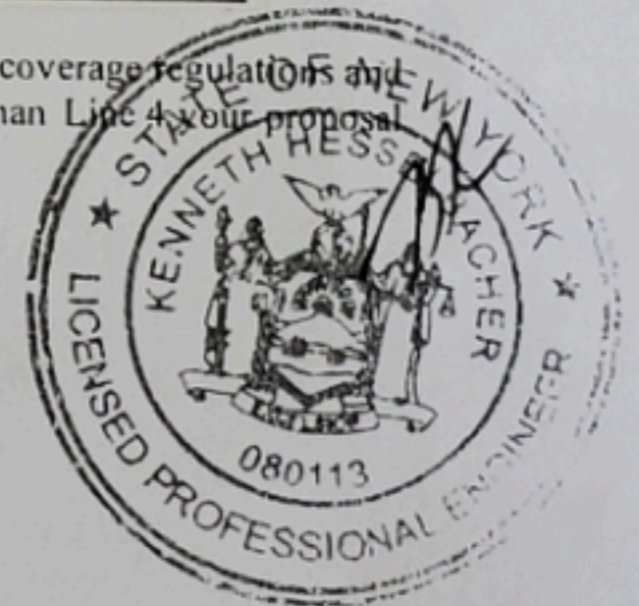
Gross Lot Coverage

- |     |   |                |
|-----|---|----------------|
| 1.  | Total lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>184,050</u> |
| 2.  | Maximum permitted gross land coverage (per Section 355-26.C(1)(b)):   | <u>20,540</u>  |
| 3.  | BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  |                |
|     | Distance principal home is beyond minimum front yard setback<br><u>82.5'</u> x 10 = <u>825</u>                      | <u>825</u>     |
| 4.  | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3  | <u>21,365</u>  |
| 5.  | Amount of lot area covered by principal building:<br><u>2939</u> existing + <u>1284</u> proposed =                  | <u>4,223</u>   |
| 6.  | Amount of lot area covered by accessory buildings:<br><u>179</u> existing + <u>2350</u> proposed =                  | <u>2,529</u>   |
| 7.  | Amount of lot area covered by decks:<br><u>0</u> existing + <u>3437</u> proposed =                                  | <u>3,437</u>   |
| 8.  | Amount of lot area covered by porches:<br><u>0</u> existing + <u>117</u> proposed =                                 | <u>117</u>     |
| 9.  | Amount of lot area covered by driveway, parking areas and walkways:<br><u>6386</u> existing + <u>0</u> proposed =   | <u>6,386</u>   |
|     | (EXCLUDING 78 SF OF EXIST'G COVERAGE)   |                |
| 10. | Amount of lot area covered by terraces:<br><u>894</u> existing + <u>0</u> proposed =                                | <u>894</u>     |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:<br><u>844</u> existing + <u>0</u> proposed = | <u>844</u>     |
| 12. | Amount of lot area covered by all other structures:<br><u>0</u> existing + <u>0</u> proposed =                      | <u>0</u>       |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 =   | <u>18,430</u>  |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4, your proposal does not comply with the Town's regulations.

[Signature]  
 Signature and Seal of Professional Preparing Worksheet

2/13/23  
 Date







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 WESTCHESTER COUNTY  
 17 Bedford Road  
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PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
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**FLOOR AREA CALCULATIONS WORKSHEET**

Application Name or Identifying Title: KOLOC RESIDENCE Date: 2/13/23  
 Tax Map Designation or Proposed Lot No.: 102.02-2-65

Floor Area

- |     |   |                |
|-----|---|----------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06):  | <u>184,050</u> |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)):   | <u>13,901</u>  |
| 3.  | Amount of floor area contained within first floor:<br><u>2047</u> existing + <u>1284</u> proposed =                         | <u>3,331</u>   |
| 4.  | Amount of floor area contained within second floor:<br><u>0</u> existing + <u>0</u> proposed =                              | <u>0</u>       |
| 5.  | Amount of floor area contained within garage:<br><u>423</u> existing + <u>0</u> proposed =                                  | <u>0</u>       |
| 6.  | Amount of floor area contained within porches capable of being enclosed:<br><u>0</u> existing + <u>201</u> proposed =       | <u>201</u>     |
| 7.  | Amount of floor area contained within basement (if applicable – see definition):<br><u>0</u> existing + <u>0</u> proposed = | <u>0</u>       |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):<br><u>0</u> existing + <u>235</u> proposed =  | <u>235</u>     |
| 9.  | Amount of floor area contained within all accessory buildings:<br><u>179</u> existing + <u>2350</u> proposed =              | <u>2,529</u>   |
| 10. | Proposed floor area: Total of Lines 3 – 9 =   | <u>6,719</u>   |

If Line 10 is less than or equal to Line 2, your proposal complies with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

2/13/23

Date









# SURVEY OF PROPERTY SITUATE IN THE TOWN OF NORTH CASTLE WESTCHESTER COUNTY NEW YORK

SCALE: 1"= 40'

SURVEYED: AUGUST 18, 2016

SURVEY BROUGHT TO DATE & WETLAND FLAGS LOCATED: DECEMBER 22, 2022

TOPOGRAPHIC INFORMATION: JANUARY 11, 2023

AMENDED TO SHOW EXISTING SEPTIC GALLEYS & TANK: JANUARY 23, 2023

- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF NORTH CASTLE AS:  
SECTION: 102.02 BLOCK: 2 LOT: 65
- PROPERTY ADDRESS: 19 JACKSON ROAD
- PROPERTY AREA: 187,415 Sq.Ft. - 4.3024 ACRES
- THE PREMISES SHOWN HEREON ARE DESCRIBED IN DEED RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE - DIVISION OF LAND RECORDS UNDER CONTROL No. 622023748.
- ELEVATIONS ARE BASED ON AN ARBITRARY DATUM, FINISHED FLOOR IS 100.0
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
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PREPARED FOR:

NATHANIEL KOLOC & ALESSANDRA BIAGGI

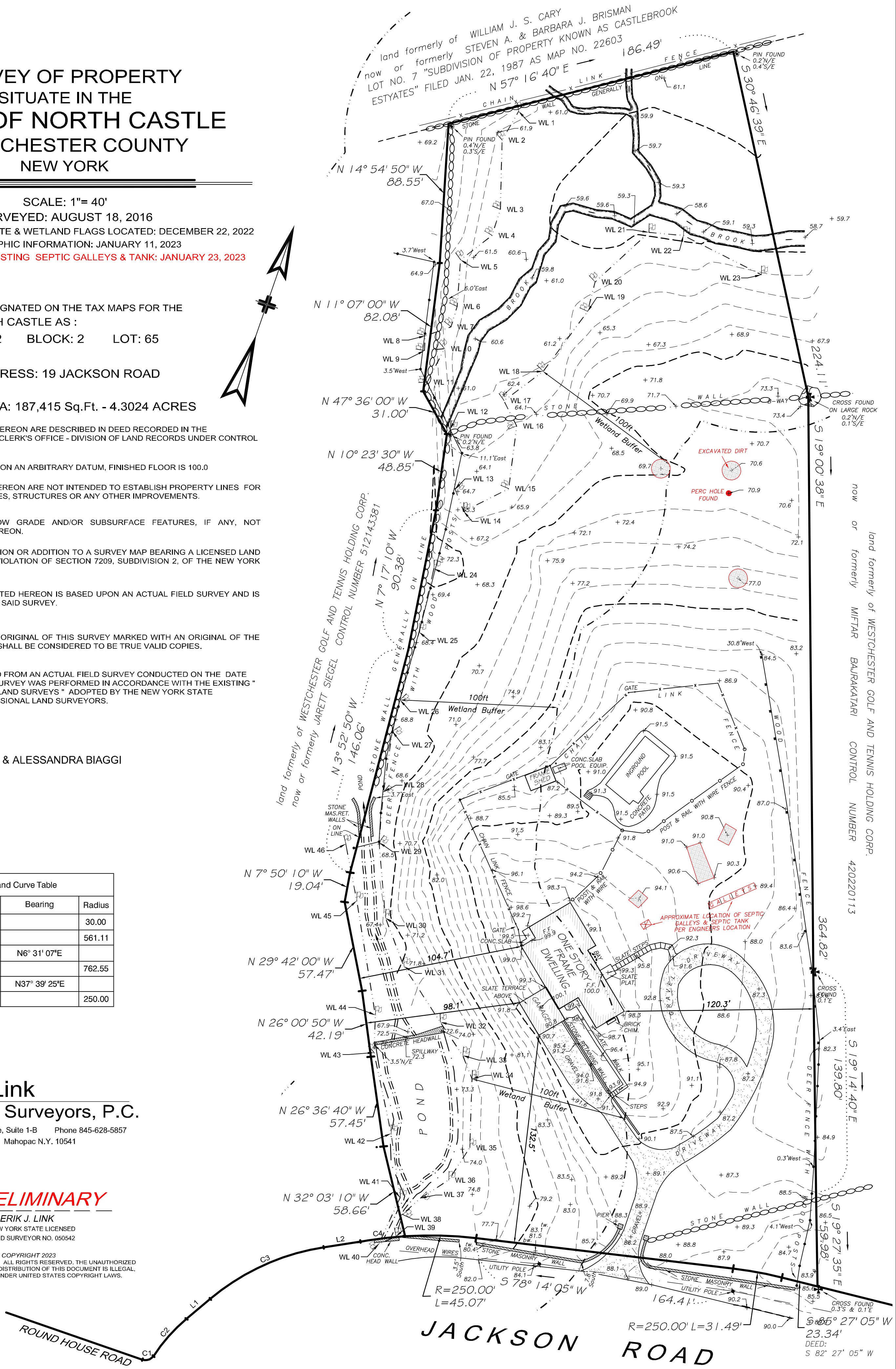
Parcel Line and Curve Table			
Line #/Curve #	Length	Bearing	Radius
C1	41.33		30.00
C2	164.48		561.11
L1	101.755	N6° 31' 07"E	
C3	414.42		762.55
L2	129.69	N37° 39' 25"E	
C4	131.98		250.00

**Link**  
**Land Surveyors, P.C.**  
21 Clark Place, Suite 1-B Phone 845-628-5857  
Mahopac N.Y. 10541

PRELIMINARY

ERIK J. LINK  
NEW YORK STATE LICENSED  
LAND SURVEYOR NO. 050542

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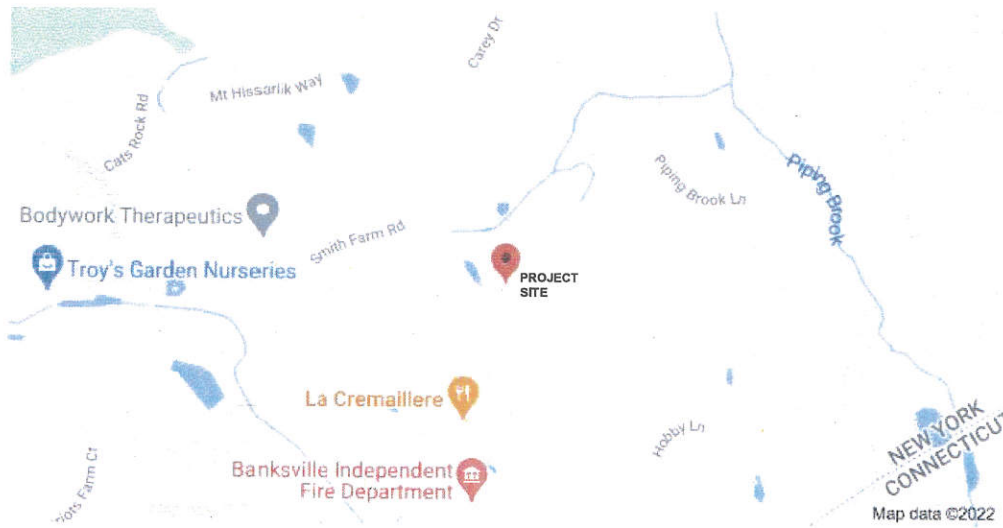


JACKSON ROAD

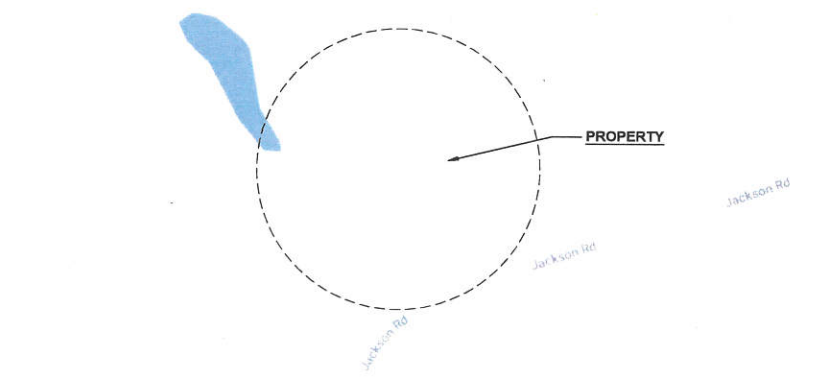
ROUND HOUSE ROAD



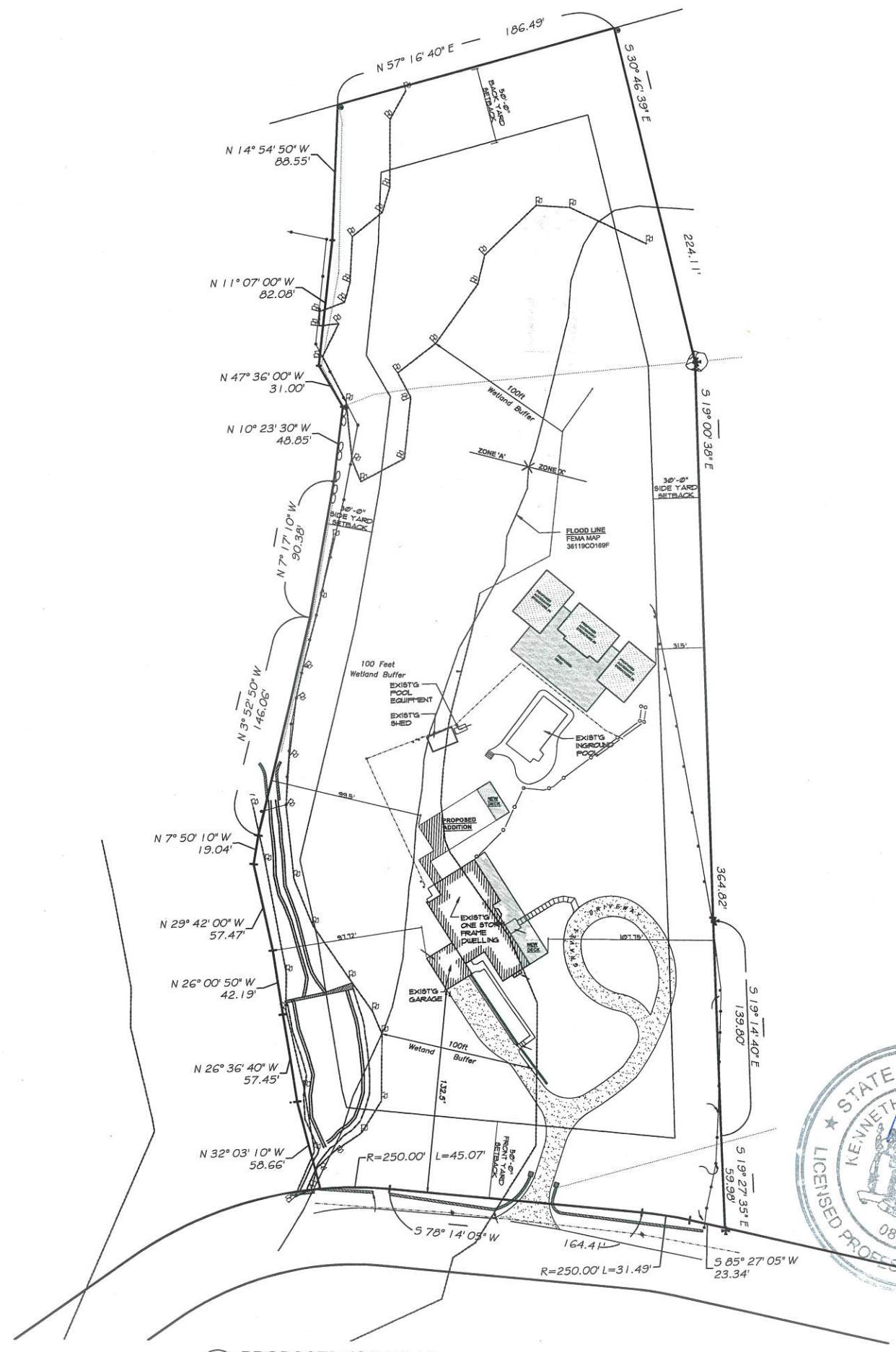
ZONING CONFORMANCE CHART					
TAX MAP DESIGNATION	SECTION: 102.02 - BLOCK: 2 LOT: 65				
ZONING DISTRICT: R-2A	SINGLE FAMILY RESIDENCE DISTRICT				
		REQUIRED	EXISTING	PROPOSED	VARIANCE REQUESTED
LOT AREA	S.F.	87,120	107,415	UNCHANGED	NO
LOT FRONTAGE	FT.	150	219.39	UNCHANGED	NO
LOT WIDTH	FT.	150	185.43	UNCHANGED	NO
LOT DEPTH	FT.	150	121.73	UNCHANGED	NO
FRONT YARD	FT.	50	132.5	UNCHANGED	NO
SIDE YARD #1	FT.	30	98.1	UNCHANGED	NO
SIDE YARD #2	FT.	30	99.5	315	NO
REAR YARD	FT.	50	279 +/-	274.58	NO
OFF STREET PARKING	CARS	2	2	UNCHANGED	NO
		MAXIMUM PERMITTED	EXISTING	PROPOSED	VARIANCE REQUESTED
MAX. BLDG COVERAGE (INCLUDING DECK AREA)	%	8	166	5.79	NO
MAX. FLOOR AREA	S.F.	13,901	2,643	6,719	NO
MAX. GROSS LAND COVERAGE	S.F.	21,365	11,242	18,430	NO
MAIN BLDG MAX HGT	FT./STORY	30 / 2 1/2	-	18 / 1	NO
ACCESSORY STRUCTURE MAX. BLDG HGT	FT./STORY	15 / 1	-	14'-8" / 1	NO



LOCATION MAP NO SCALE



VICINITY MAP NO SCALE



1 PROPOSED SITE PLAN SCALE: 1"=40'



**KOLOC/  
BIAGGI  
RESIDENCE**

19 JACKSON ROAD  
TOWN OF  
BEDFORD, NY



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**CIVIL ENGINEER:**  
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**SOIL SCIENTIST:**  
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**SURVEYOR:**  
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(845)628-5857

Submissions/Revisions		
Description	Date	Marc
RPRC SUBMISSION	11/22/23	
PLANNING BOARD SUBMISSION	2/13/23	

Drawing Title  
**PROPOSED  
SITE PLAN**

Drawing Number  
**SP-1**



**KOLOCI/  
BIAGGI  
RESIDENCE**

19 JACKSON ROAD  
TOWN OF  
BEDFORD, NY

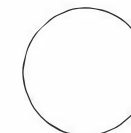


12 Kitchawan Road  
Pound Ridge NY 10576  
201 776 7700



instagram.com/christinamarraccini

Seal



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Submissions/Revisions

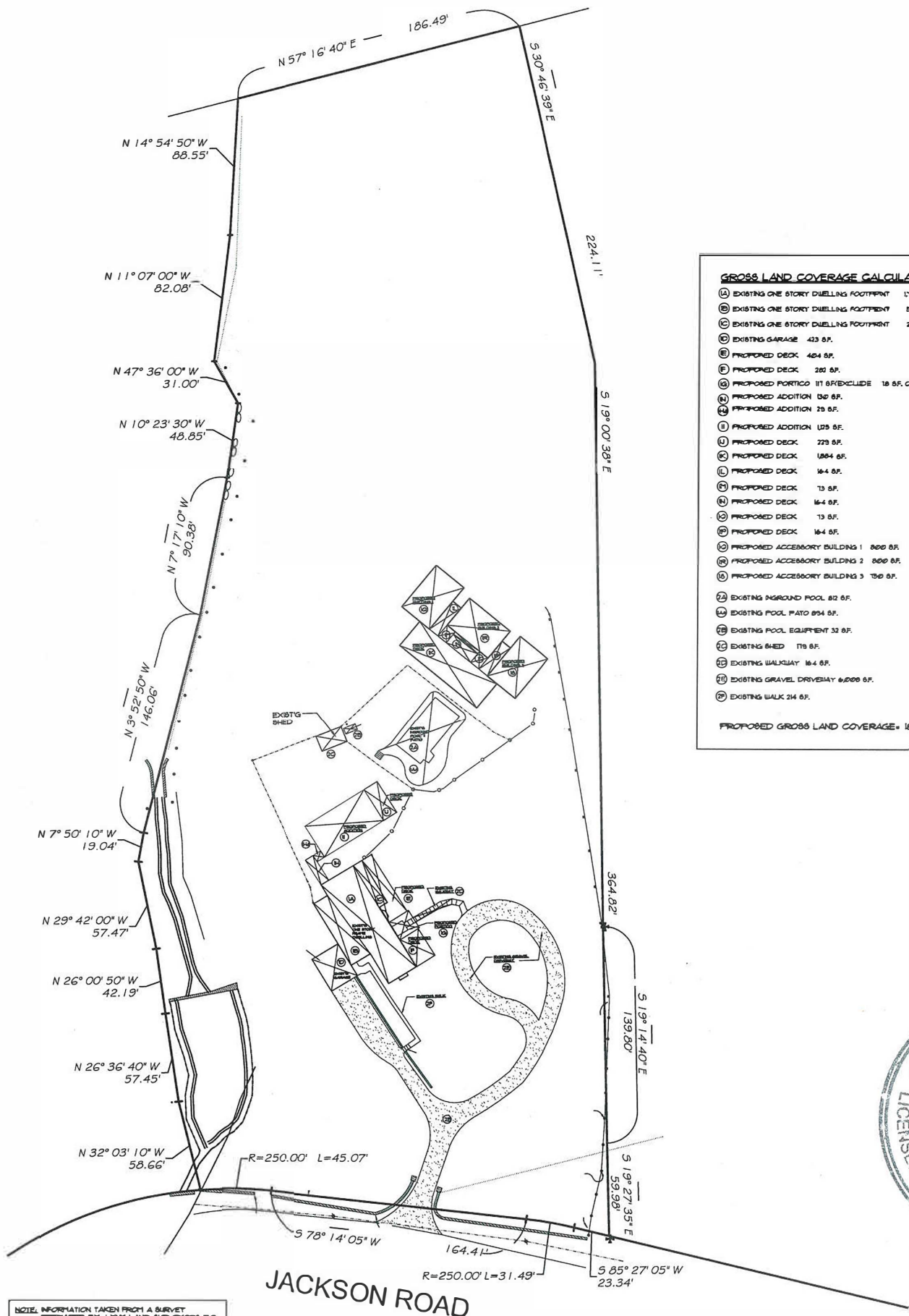
Description	Date	Mark
RFRC SUBMISSION	11/22/23	
PLANNING BOARD SUBMISSION	2/13/23	

Drawing Title

**GROSS LAND CALCULATIONS**

Drawing Number

**A-0**

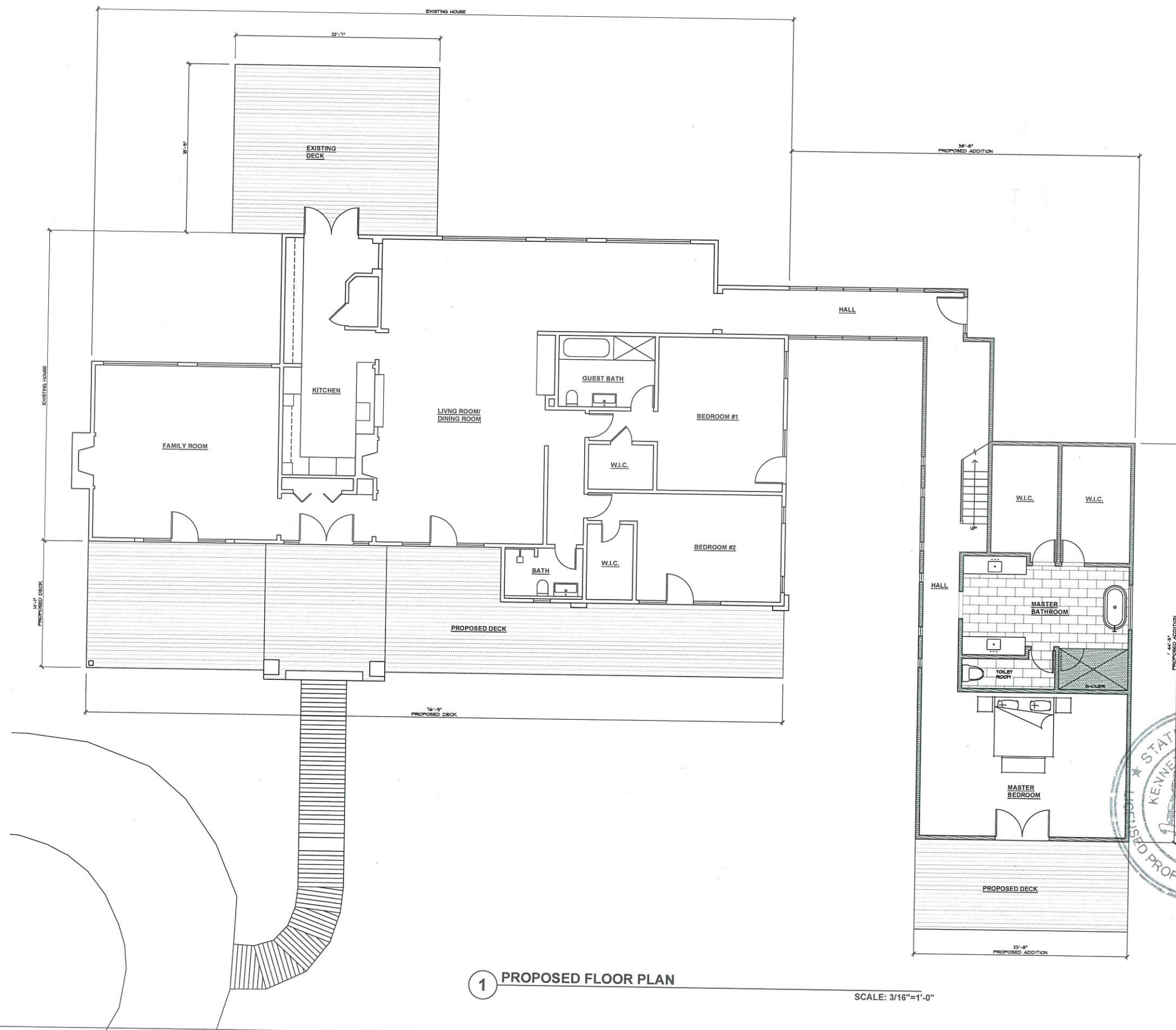


**GROSS LAND COVERAGE CALCULATIONS**

- (A) EXISTING ONE STORY DWELLING FOOTPRINT 1725 SF.
- (B) EXISTING ONE STORY DWELLING FOOTPRINT 820 SF.
- (C) EXISTING ONE STORY DWELLING FOOTPRINT 261 SF.
- (D) EXISTING GARAGE 433 SF.
- (E) PROPOSED DECK 464 SF.
- (F) PROPOSED DECK 281 SF.
- (G) PROPOSED PORTICO 111 SF (INCLUDE 18 SF. OF EXISTING COVERAGE)
- (H) PROPOSED ADDITION 180 SF.
- (I) PROPOSED ADDITION 125 SF.
- (J) PROPOSED DECK 225 SF.
- (K) PROPOSED DECK 1884 SF.
- (L) PROPOSED DECK 164 SF.
- (M) PROPOSED DECK 13 SF.
- (N) PROPOSED DECK 164 SF.
- (O) PROPOSED DECK 13 SF.
- (P) PROPOSED DECK 164 SF.
- (Q) PROPOSED ACCESSORY BUILDING 1 800 SF.
- (R) PROPOSED ACCESSORY BUILDING 2 800 SF.
- (S) PROPOSED ACCESSORY BUILDING 3 150 SF.
- (T) EXISTING INGROUND POOL 82 SF.
- (U) EXISTING POOL PATIO 854 SF.
- (V) EXISTING POOL EQUIPMENT 32 SF.
- (W) EXISTING SHED 178 SF.
- (X) EXISTING WALKWAY 164 SF.
- (Y) EXISTING GRAVEL DRIVEWAY 6,000 SF.
- (Z) EXISTING WALK 24 SF.

**PROPOSED GROSS LAND COVERAGE = 18,430 SF.**





1 PROPOSED FLOOR PLAN

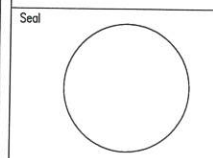
SCALE: 3/16"=1'-0"

**KOLOC/  
BIAGGI  
RESIDENCE**

19 JACKSON ROAD  
TOWN OF  
BEDFORD, NY



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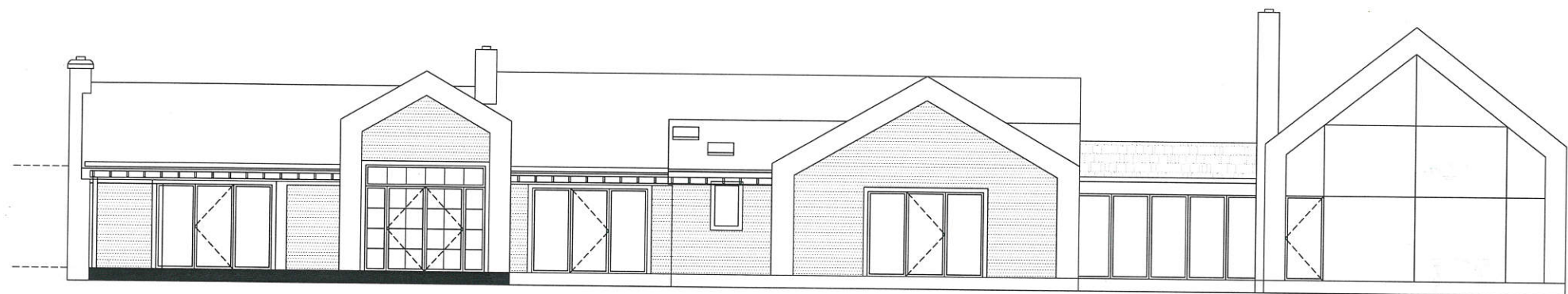
**SURVEYOR:**  
Link land surveyors, P.C.  
21 Clark Place, Suite 1-B  
Mahopac, N.Y. 10541  
(845)628-5857

Submissions/Revisions		
Description	Date	Marc
RFPRC SUBMISSION	11/22/23	
PLANNING BOARD SUBMISSION	2/13/23	

Drawing Title  
**EXISTING HOUSE  
PROPOSED PLAN**

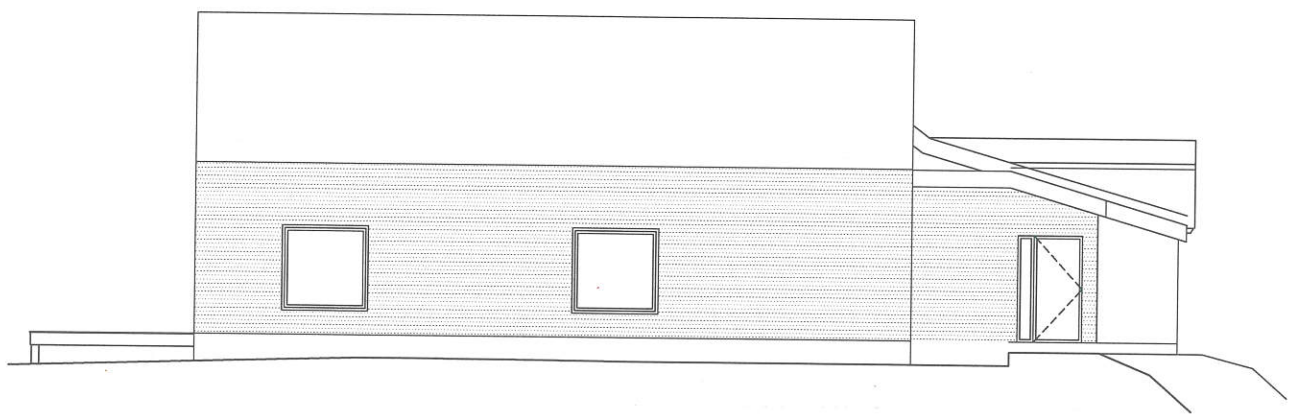
Drawing Number  
**A-1**





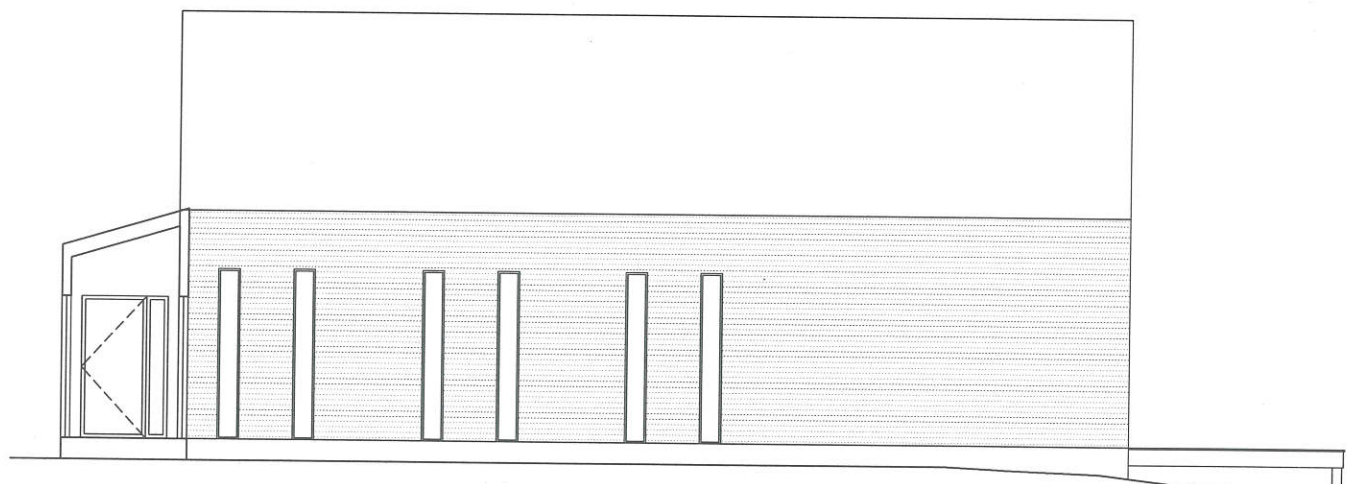
1 FRONT ELEVATION

SCALE: 3/16"=1'-0"



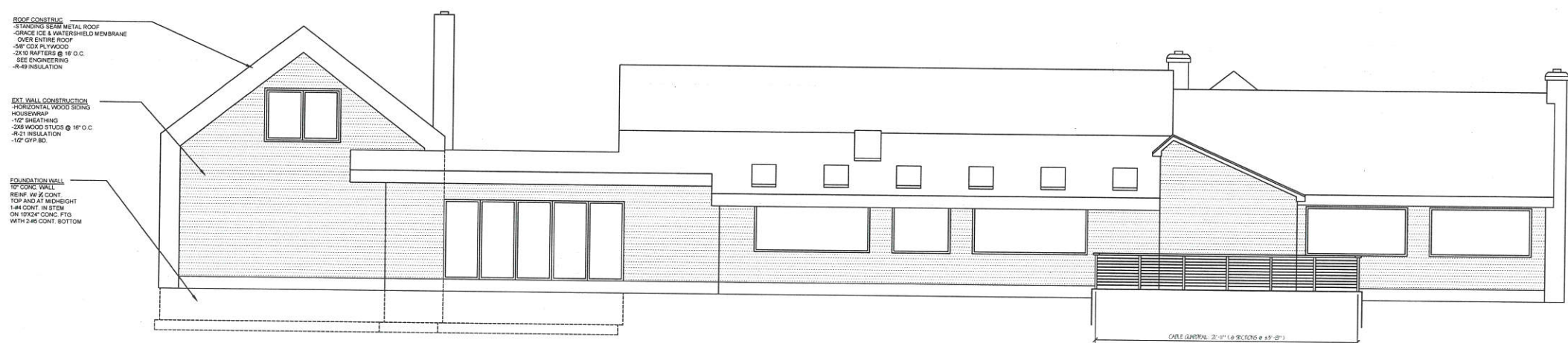
2 RIGHT SIDE ELEVATION

SCALE: 3/16"=1'-0"



3 LEFT SIDE ELEVATION

SCALE: 3/16"=1'-0"



4 REAR ELEVATION

SCALE: 3/16"=1'-0"

ROOF CONSTRUCTION  
 -STANDING SEAM METAL ROOF  
 -GRACE ICE & WATER-SHIELD MEMBRANE  
 OVER ENTIRE ROOF  
 -5/8" CDX PLYWOOD  
 -2X12 RAFTERS @ 16" O.C.  
 SEE ENGINEERING  
 -R-49 INSULATION

EXT. WALL CONSTRUCTION  
 -HORIZONTAL WOOD SING  
 HOUSEWRAP  
 -1/2" SHEATHING  
 -2X6 WOOD STUDS @ 16" O.C.  
 -R-21 INSULATION  
 -1/2" D.P.S.B.

FOUNDATION WALL  
 12" CONC. WALL  
 REIN. W/ #2 CONT.  
 TOP AND AT MID-HEIGHT  
 1-1/2" CONT. IN STEM  
 ON 18"x24" CONC. FTG.  
 WITH #4S CONT. BOTTOM

CHST. LANDING: 2' 0" (L) x 2' 0" (W) x 4' 0" (H)

**KOLOC/  
 BIAGGI  
 RESIDENCE**

19 JACKSON ROAD  
 TOWN OF  
 BEDFORD, NY



CHRISTINA  
 MARRACCINI



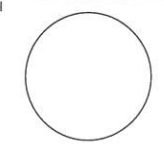
LUXURY  
 DESIGN  
 INTERIORS

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 201 776-7700



instagram.com/christinamarraccini

Seal



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Submissions/Revisions

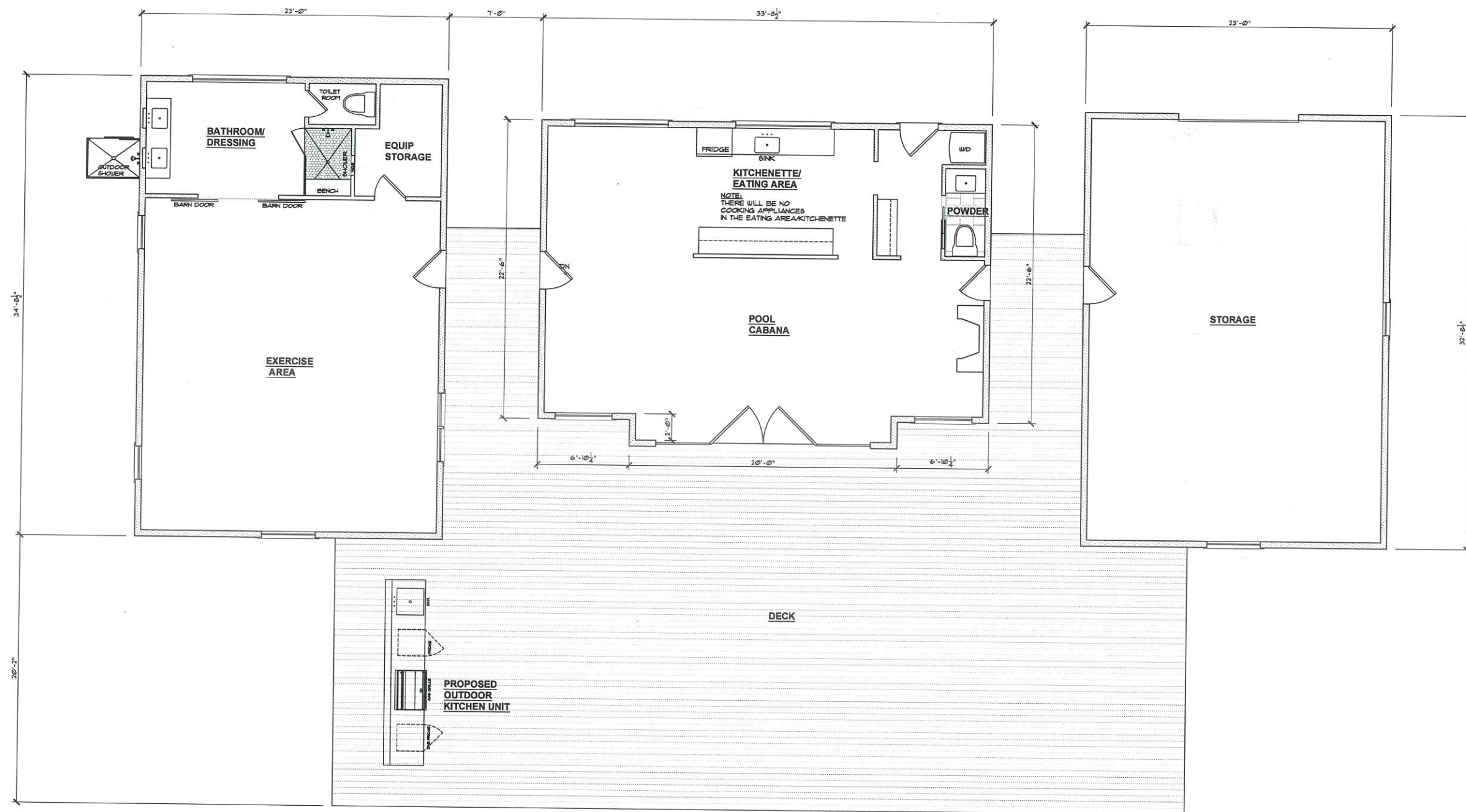
Description	Date	Marc
RPRC SUBMISSION	11/22/23	
PLANNING BOARD SUBMISSION	2/13/23	

Drawing Title  
**EXISTING HOUSE  
 PROPOSED  
 ELEVATIONS**

Drawing Number  
**A-2**







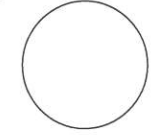
**KOLOC/ BIAGGI RESIDENCE**

19 JACKSON ROAD  
TOWN OF  
BEDFORD, NY



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Submissions/Revisions		
Description	Date	Marc
RPRC SUBMISSION	11/22/23	
PLANNING BOARD SUBMISSION	2/13/23	



**1 ACCESSORY STRUCTURES PLAN**

SCALE: 1/4"=1'-0"

Drawing Title  
**ACCESSORY STRUCTURES PLAN**

Drawing Number  
**A-3**



**KOLOC/  
BIAGGI  
RESIDENCE**

19 JACKSON ROAD  
TOWN OF  
BEDFORD, NY



CHRISTINA  
MARRACCINI

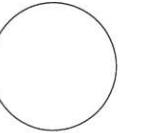


LUXURY  
DESIGN  
INTERIORS

42 Kitchawan Road  
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Seal



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Submissions/Revisions

Description	Date	Mark
RFRC SUBMISSION	11/22/23	
PLANNING BOARD SUBMISSION	2/13/23	

Drawing Title

**ACCESSORY  
STRUCTURES  
ELEVATIONS**

Drawing  
Number

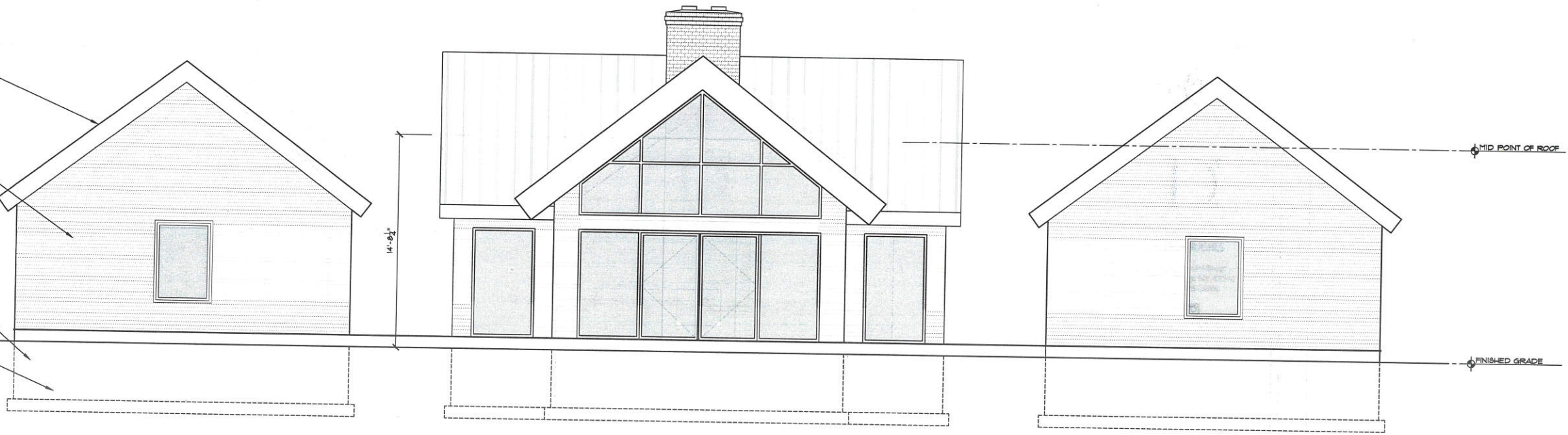
**A-4**

**ROOF CONSTRUCTION**  
-STANDING SEAM METAL ROOF  
-GRACE ICE & WATERSHIELD MEMBRANE  
OVER ENTIRE ROOF  
-5/8" CDX PLYWOOD  
-2X10 RAFTERS @ 16" O.C.  
SEE ENGINEERING  
-R-49 INSULATION

**EXT. WALL CONSTRUCTION**  
-HORIZONTAL WOOD SIDING  
HOUSEWRAP  
-1/2" SHEATHING  
-2X6 WOOD STUDS @ 16" O.C.  
-R-21 INSULATION  
-1/2" GYP. BD.

**FOUNDATION WALL**  
10" CONC. WALL  
REINF. W/ 3/4" CONT.  
TOP AND AT MIDHEIGHT  
1-#4 CONT. IN STEM  
ON 10'X24" CONC. FTG.  
WITH 2-#6 CONT. BOTTOM

**CRAWL SPACE SLAB CONSTRUCTION**  
-4" MIN. CONC. SLAB  
-WIRE MESH REINF.  
-POLYOLEFIN VAPOR BARRIER (15 MIL) 6"  
MIN. CRUSHED STONE



**1 ACCESSORY STRUCTURES FRONT ELEVATION**

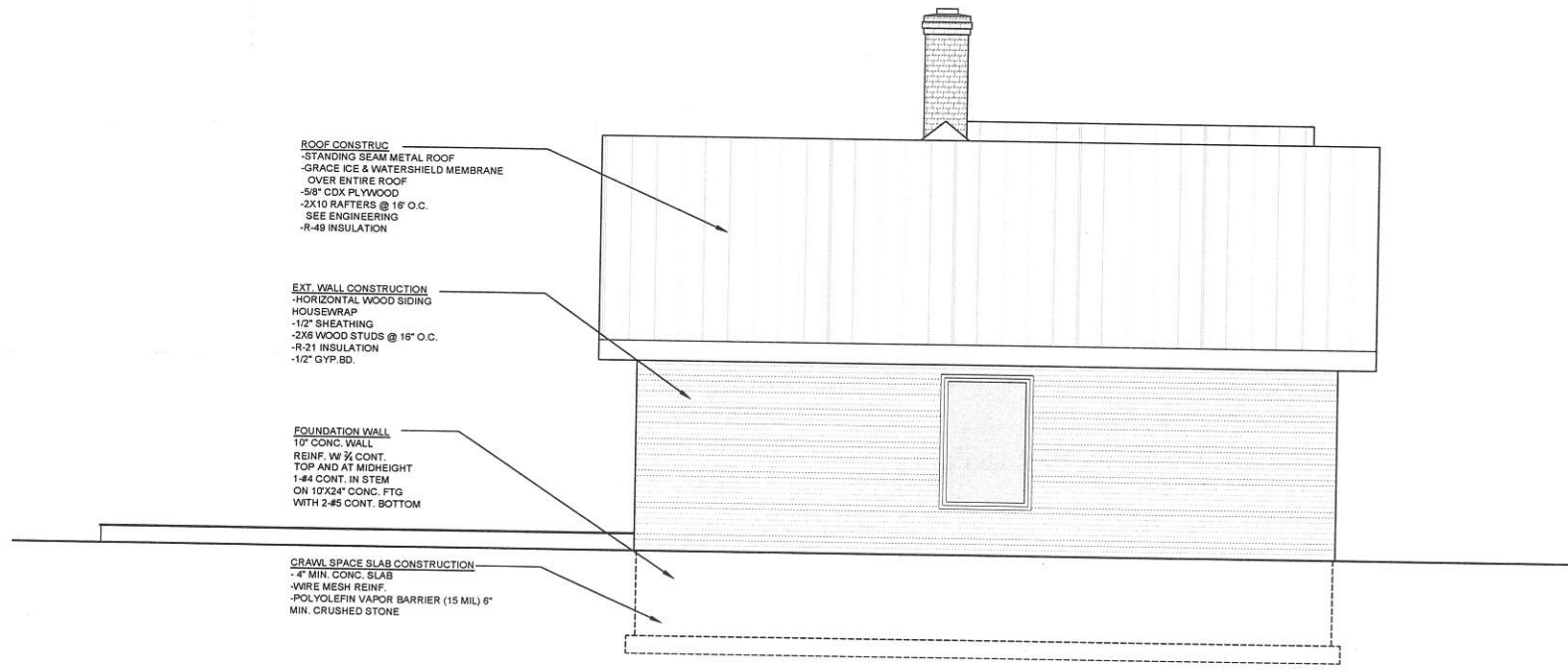
SCALE: 1/4"=1'-0"

**ROOF CONSTRUCTION**  
-STANDING SEAM METAL ROOF  
-GRACE ICE & WATERSHIELD MEMBRANE  
OVER ENTIRE ROOF  
-5/8" CDX PLYWOOD  
-2X10 RAFTERS @ 16" O.C.  
SEE ENGINEERING  
-R-49 INSULATION

**EXT. WALL CONSTRUCTION**  
-HORIZONTAL WOOD SIDING  
HOUSEWRAP  
-1/2" SHEATHING  
-2X6 WOOD STUDS @ 16" O.C.  
-R-21 INSULATION  
-1/2" GYP. BD.

**FOUNDATION WALL**  
10" CONC. WALL  
REINF. W/ 3/4" CONT.  
TOP AND AT MIDHEIGHT  
1-#4 CONT. IN STEM  
ON 10'X24" CONC. FTG.  
WITH 2-#6 CONT. BOTTOM

**CRAWL SPACE SLAB CONSTRUCTION**  
-4" MIN. CONC. SLAB  
-WIRE MESH REINF.  
-POLYOLEFIN VAPOR BARRIER (15 MIL) 6"  
MIN. CRUSHED STONE



**2 ACCESSORY STRUCTURES RIGHT SIDE ELEVATION**

SCALE: 1/4"=1'-0"







**Wetlands Survey  
The Koloc Site**

19 Jackson Road  
Tax ID 102.02 - 2 - 65  
North Castle, NY

Approx. 4.3-Acres Study Area

*Prepared for*  
**Nathaniel Koloc**

Dec. 5, 2022



*PJJ*



### **Introduction**

A wetland investigation was completed on property identified as 19 Jackson Road in the Town of North Castle, NY on Dec. 5, 2022, by Paul J. Jaehnig, Certified Professional Geologist, Soil Scientist, and Wetland Scientist. The work consisted of the taking of soil borings at selected locations across the site to identify the presence of wetland or hydric soils and the delineation or flagging of the wetland boundary. The work was conducted in accordance with the Town of North Castle Freshwater Wetlands Law. The work was conducted at the request of the client and property owner, Nathaniel Koloc.

### **Site Description**

The site is a 4.3 acres area property fronting on the north side of Jackson Road. The site is located an established, low-density residential neighborhood where there are woodland buffers between neighbors. The site consists of: a residence; in-ground swimming pool; shed; surrounding lawn; woodlands; and wetlands, including a pond, watercourses, and swampland (see *photos 1-12* in Appendix I and enclosed *Wetland and Soils Map*).

Slopes across the site vary from very gently sloping to steep sloping. The central and southern portions of the site slopes down in all directions from the relative high point on the southern-central portion of the site. The southwest corner of the site slopes down to the northwest. The northern portion of the site slopes down to the east. Steep slopes are on the southwest side of the site, as well as, some of the northwest-central portion of the site. Gently sloped areas are on the southeast, central, and northern portions of the site. Nearly level areas are on the southwest, some central, and northern portions of the site. Most of the site slopes down to the northeast. The southwest corner of the site slopes down to the west. Slopes around the residence, in-ground swimming pool, shed, yard, some woodland borders, and along the driveway, have been modified by past man-made work such as cut, fill, and grading of soil, which was carried-out in the course of developing the site.

A driveway with loose stone surface comes in off of the north side of Jackson Road and into the central-southern portion of the site. The driveway continues north for approx. 60 ft., splitting into two driveway branches: one continues northwest for approx. 80 ft. to the central-southern portion of the site; the second continues northeast for approx. 60 ft. to form a driveway loop that circles around the southeast portion of the site (see *photos 1 to 3* in Appendix I). The residence is located on the central-southern portion of the site (see *photos 2 & 4* in Appendix ).

An in-ground swimming pool is located on the central portion of the site (see *photo 5* in Appendix I). A wooden shed is located just to the west of the in-ground swimming pool. (see *photo 5* in Appendix I).

Lawn area covers most the vegetated ground on the central and southeast portions of the site. Pachysandra groundcover and landscape shrub plantings accent the edge of the lawn near the residence.



Non-wetland woodland borders are along southeast corner of the site, as well as, western, north-central, northeast, and northwest portions of the site (see *photo 6* in Appendix I). The tree canopy consists of beech, northern red oak, a few tall tulip, sugar maple, and black birch. White pine and hemlock grow on the southeast corner of the site. The woodland understory is open except for a few winged euonymus or barberry. Rhododendron shrubs grow on the woodland edge on the southeast edge of the site. Christmas fern and wintergreen grows on the woodland floor. Twig and leaf litter, and evergreen needle litter covers the woodland floor.

A small gently sloped meadow is located on the southwest portion of the site. The meadow has been recently cut. The vegetative cover consists of goldenrod, ragweed, and Japanese stilt grass.

### **Wetlands, Watercourses, and Waterbody**

#### **Introduction**

Wetland boundary was delineated in the field with consecutively numbered flags WL-A-1, A-2, A-3, etc. and plotted on the enclosed *Wetland and Soils Map*. Wetlands are on the northern portion of the site, as well as, the southwest corner of the site. Wetlands consist of: wetland WL-“A”, located on the northern portion of the site, is nearly level swampland with two associated brooks; wetland WL-“B”, located on the southwest corner of the site, is a small man-made pond with an associated brook. The two wetland areas are hydrologically connected via an off-site pond and watercourse situated to the west of the site.

#### **Wetland Description**

##### **Wetland WL-“A”**

Wetland WL-“A” consists of two brook with flanking swampland wetlands located on the northern portion of the site.

The first brook with channel approx. 4 to 6 ft. wide, 1.0 ft. to 1.5 ft. deep, and carrying 2 to 3 inches deep flowing water, comes into the northwest edge of the site as discharge from a small pond located on the property to the west of the site (see *photo 7* in Appendix I). The brook flows north for approx. 240 ft. across the northern portion of the site, and turns east crossing to the northeast edge of the site (see *photo 8* in Appendix I). The brook continues east and beyond the site. The brook has a nearly flat gradient. The brook meanders slightly. There is a stone-lined spillway channel coming from the off-site to a point approx. 60 ft. downstream of where brook enters the site (see *photo 9* in Appendix I). The spillway channel is dry.

A second smaller tributary brook enters the northeast edge of the site and continues southeast for approx. 60 ft. to where it merges with the first brook. This second brook has a channel 2 to 3 ft. wide, 1 ft. deep, and carries 1 to 2 inches deep flowing water. The brook has a gentle gradient. The brook meanders slightly.

Nearly level swampland wetland flanks the two brooks, covering much of the northern portion of the site. The swampland extends to the north, northwest, and east beyond the site for a number of acres. The swampland is very poorly drained on the southwest and northeast portions of the wetland. Remaining swampland on the central-northern, central-southern, and southernmost edge of the wetland are poorly drained. Micro-topography is well developed in the core portions of the wetland, and weakly developed to absent in the outer portions of the wetland. Those wetland areas in close proximity to the brooks may be subject to inundation at wetter periods of the year. The swampland vegetative cover consists of: thin and wide-spaced tree canopy of red maples with buttressed roots, and a few tall tulip trees with shallow roots; open understory; sparse herbaceous growth of sprouts of skunk cabbage, local clusters of small tussock sedge; and patches of Japanese stilt grass. Sphagnum moss covers some slight hummocks on the wetland floor. Matted leaves cover unvegetated areas of the wetland floor. Stones and boulders cover up to 10% of the wetland floor.

#### *Wetland WL-“B”*

Wetland WL-“B” consists of a man-made pond with an associated watercourse located on the southwest portion of the site. A brook, piped under Jackson Road, flows into the very southwest corner of the site. The brook has a rocky channel approx. 4 ft. wide, 2 ft. deep, and with 1 to 2 inches deep flowing water. The brook’s gradient is moderate to gentle and path linear. The brook continues north from the roadway pipe outlet for approx. 25 ft. where it discharges into a man-made pond (see *photo 10* in Appendix I). The pond is approx. 90 ft. long north to south, and up to 35 ft. wide east to west. There is a dam with spillway, constructed of concrete, on the north end of the pond (see *photo 11* in Appendix I). The pond is silted-up and its maximum depth is approx. 2 ft. deep gradient. Side banks of the pond are well-defined. The west bank consists of a fieldstone retaining wall approx. 3ft. height and adjacent land is nearly level neighbor’s lawn. The east bank is approx. 0.5 to 1.0 ft. height and vegetated with a few small tussock sedge and adjacent land very gently sloped meadow. The south bank is 0.5 ft. to 1.0 ft. height and adjacent land sloped and wooded. Excess surface drainage in the pond is discharged over the dam spillway and continues northwest for approx. 120 ft. as a brook with channel 6 to 8 ft. wide, 1.0 to 1.5 ft. deep, and carrying approx. 3 to 6 inches deep. The channel bed is rocky and gradient gentle. A narrow corridor of wetlands, approx. 20 ft. wide, flank the brook. The wetland is very poorly drained. Micro-topography is developed by the rocky channel bed. Soils are very soggy and may be subject to inundation at wetter periods of the year. The wetland has a vegetative cover of: a few red maples with shallow and exposed roots; shrub understory of spicebush and winterberry; and herbaceous growth of sensitive fern and skunk cabbage sprouts. Sphagnum moss covers some slight hummocks and rocks on the wetland floor. Matted leaves cover unvegetated portions of the wetland floor. The brook continues northwest and drains into a small pond on the neighboring property (see *photo 12* in Appendix I).

### Wetland Functions

Wetlands on the site provide the following wetland functions.

Wetland WL-“A” is an important local drainage conveyance area. The brooks bring concentrated drainage, collected from the adjacent watershed, down to other wetland systems, watercourses, and waterbodies, at lower elevations within the watershed. The associated wetland provides supporting hydrology for the brook, functioning as ground-water discharge points. Diffuse seeps and springs in the gently sloped portion of the wetland drainage to nearly level core portions of the wetland where drainage is made available to the associated watercourse. The level wetland areas flanking the brooks have micro-topography provide both water quality function and flood control function at times when the brooks may overtop their channels at wetter periods of the year. Wetland WL-“A” provides large wildlife habitat corridor used by browsing deer, coyote, raccoon, squirrel, chipmunk, frogs, snakes, as well as, butterflies and dragonflies. Songbirds nest and perch on the tree canopy in and along the wetlands.

Wetland WL-“B” provides storm-water control and attenuation function, as well as, water quality function, conveying drainage collected from uplands, upstream wetlands, and the adjacent roadway and delivering it down to lower elevation wetlands, watercourses and water-bodies in the watershed. The man-made pond with concave profile and restricted drainage outlet slows drainage piped into the site from under Jackson Road during storm-events. Pollutant load carried by intermittent storm-water run-off from Jackson Road is discharged into the brook near the southwest corner of the site. Upon reaching the pond many of the pollutants held in suspension settle-out, since the pond acts as a sort catch basin. Unfortunately, the pond has not been maintained and has silted-up over the years, reducing the ability of the pond to provide water quality function. The pond provides wildlife habitat function. The pond may be used by green and leopard frogs, possible snapping turtle, and waterfowl. Butterflies and dragon flies may buzz around the pond in the summer months. The pond and associated brook are quite shallow and likely cannot support a fish population. The brook section on the downstream side of the pond has a flanking wetland corridor that provides storm-water control function and water quality function for the downstream pond located on the neighboring property to the west of the site. Small song birds perch and nest along the shrub and tree cover in the wetlands along this section of the brook.

### New York State Dept. of Environmental Conservation (NYSDEC) Wetlands

There are no NYSDEC wetlands on the site according to review of the agency published maps (see enclosed *NYSDEC Wetland Map* in Appendix II).

### Regional Drainage

Excess surface drainage in the study area is directed northeast and away from the site (see *Regional Drainage Map* in Appendix III). Drainage continues along a well-defined watercourse, through Mount Kisco Country Club, ultimately flowing into Chappaqua Brook.

### Soils

Soil borings were taken across the site using a Dutch auger and spade. Each soil boring was logged or described noting soil horizon depth, color, texture, structure, and presence of any redoximorphic (wetland or hydric) soil features such as mottling. The water table, if encountered, was measured. The detailed description of each soil boring is provided in Appendix IV. Soil boring locations are shown on the enclosed *Wetland and Soils Map*.

Soils encountered in the study area include: non-wetland, well drained Charlton fine sandy loam (CIB), slopes 3 to 8 %, in the undisturbed, gently sloped woodland on the northern portion of the site; non-wetland, well drained Charlton-Chatfield complex (CrC), slopes 2 to 15%, in the undisturbed, gently sloped woodlands on the central and southern portions of the site; non-wetland, well drained Chatfield-Charlton complex (CsD), slopes 15 to 35%, in the undisturbed moderately to steep sloped woodlands on the southwest portion of the site; non-wetland, well drained Udorthents soil (Ud1), slopes varied, to describe soils where the natural soil profile has been mixed or disturbed due to the past man-made cut, fill, and grading of soil carried-out in the course of developing the site; non-wetland, moderately well drained Udorthents (Ud2), to describe lands previously disturbed by man adjacent to wetlands; wetland, poorly drained Aquents soils (Aq), slopes 0 to 3%, to describe wetland areas with natural soil profile mixed or disturbed by man; wetland, very poorly drained fluvaquents soils (Ff), slopes 0 to 2 %, to describe young wetland soil profiles formed along the brooks; wetland, poorly drained Leicester loam (LcA), slopes 0 to 3%, in the undisturbed, very gently sloped to nearly level swamplands on the northern portion of the site; wetland, very poorly drained Sun silt loam (Sh), slopes 0 to 3 %, in the undisturbed, nearly level swamplands on the northern portion of the site; and wetland, poorly drained Udorthents, wet substratum (Uc), slopes 0 to 3%, to describe a narrow area of wetland adjacent to pond on the southwest portion of the site where a thin cap of fill soil has been placed over a natural wetland soil profile and hydric or wetland conditions persist. The distribution of each soil-type found on the site is depicted on the enclosed *Wetland and Soils Map*.

## **Appendix I**

Selected Site Photographs





*Photo 1 Looking north near driveway entrance and toward split in driveway.*



*Photo 2 Looking northwest along driveway spur leading to south side of residence.*

***Dec. 2022 - The Koloc Site, 19 Jackson Road, North Castle, NY***





*Photo 3 Looking northwest across driveway loop and toward residence. .*



*Photo 4 Looking southeast toward northwest side of residence.*

***Dec. 2022- The Koloc Site, 19 Jackson Road, North Castle, NY***





*Photo 5 Looking northeast and downslope toward in-ground swimming pool. Note wooden shed in left edge of photo.*



*Photo 6 Looking south and upslope across woodlands. Note residence in upper center background of photo.*  
**Dec. 2022- The Koloc Site, 19 Jackson Road, North Castle, NY**





*Photo 7 Looking west toward neighbor's pond providing discharge to brook associated with wetland WL-"A".*



*Photo 8 Looking northeast and downstream along brook associated with wetland WL-"A". Note neighbor's residence in the background of photo.*

*Dec. 2022- The Koloc Site, 19 Jackson Road, North Castle, NY*





*Photo 9 Looking southwest and upstream along stone-lined spillway channel connected to neighbor's pond that drains into brook associated with wetland WL- "A".*



*Photo 10 Looking southeast across man-made pond associated with wetland WL- "B". Note dam in lower foreground of photo.*

*Dec. 2022- The Koloc Site, 19 Jackson Road, North Castle, NY*





*Photo 11 Looking southwest across dam of pond associated with wetland WL-“B”.*



*Photo 12 Looking northwest and downstream along brook associated with wetland WL-“B” where it discharges into neighbor’s pond.*

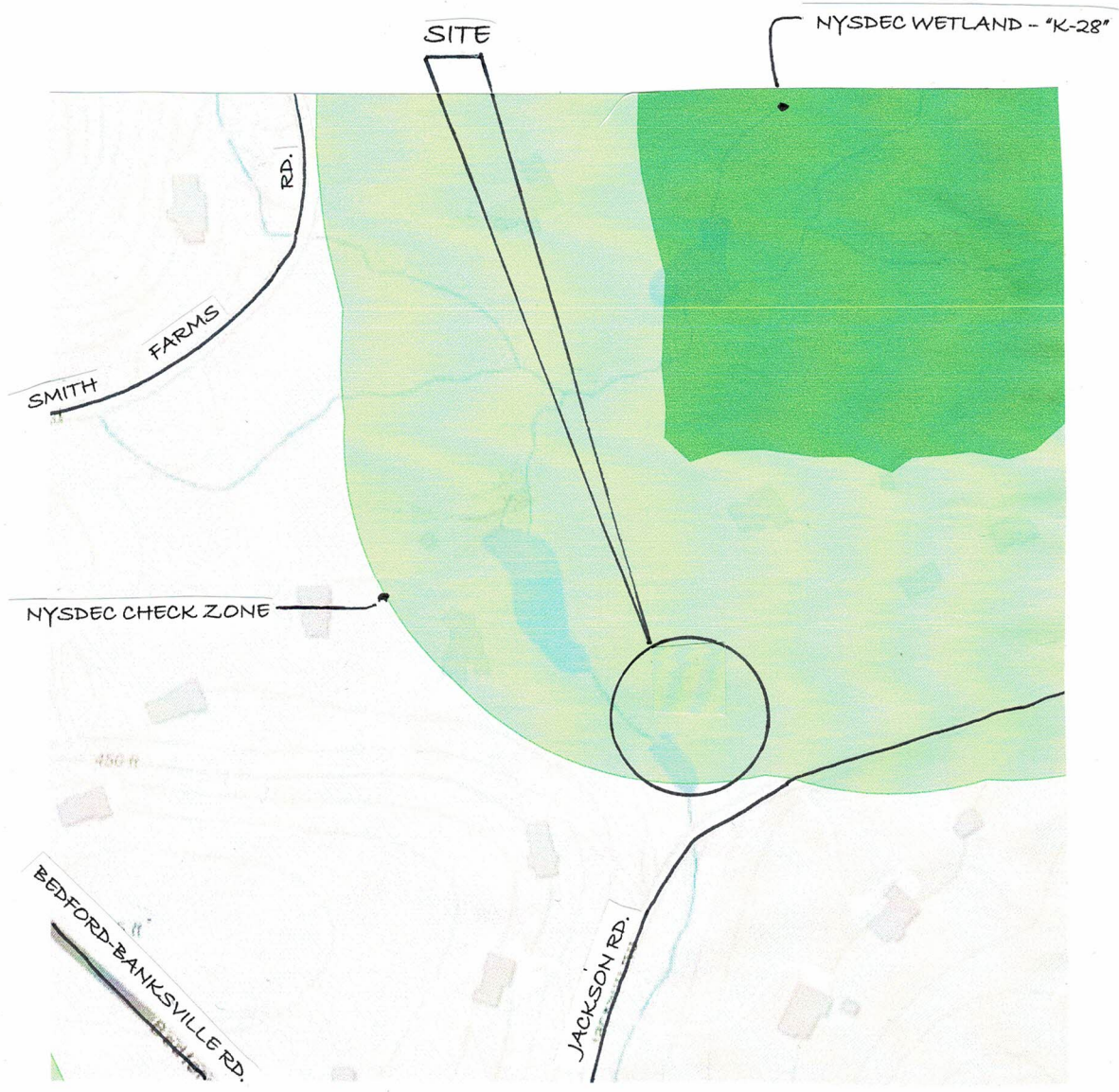
*Dec. 2022- The Koloc Site, 19 Jackson Road, North Castle, NY*



## **Appendix II**

NYSDEC Wetland Map





NYSDEC WETLAND MAP  
N.T.S.

## **Appendix III**

### Regional Drainage Map





## Appendix IV

### Soil Boring Logs

#### Key To Boring Logs

SS-1	Soil Boring
0-2"	Depth in inches from the ground surface
General Color	Munsell Color Notation Hue      Value      Chroma
Very dark gray	10YR      3      /      1



SS-1

SITE: GENTLY SLOPED WOODLANDS AT BAS OF WOODED SLOPE; TREE CANOPY OF TALL TULIP, NORTHERN RED OAK, AND FEW BEECH; OPEN UNDERSTORY; TWIG AND LEAF LITTER COVERS THE WOODLAND FLOOR.

0-2" VERY DARK GRAY BROWN 10YR 3/2 LOAM.

2-4" BROWN 10YR 4/3 LOAM.

4-20" BROWN 10YR 5/3 LOAM.

20-29" YELLOW BROWN 10YR 5/6 LOAM.

WATER TABLE NOT ENCOUNTERED.

SS-2

SITE: LEVEL WETLAND; VERY POORLY DRAINED; WEAK MICRO-TOPOGRAPHY; 20 FT. FROM SPILLWAY OF NEIGHBOR'S POND; WETLAND AREA UNVEGETATED BUT SHADED BY SURROUNDING WOODLAND CANOPY; MATTED LEAVES COVER UNVEGETATED WETLAND FLOOR.

0-1" BLACK 2.5Y 2.5/1 MUCK.

1-20" GRAY 10YR 5/1 SILT LOAM WITH 2% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 0".

SS-3

SITE: LEVEL WETLAND; VERY POORLY DRAINED; WEAK MICRO-TOPOGRAPHY; THIN CANOPY OF TALL TULIP; OPEN UNDERSTORY; HERBACEOUS GROWTH OF FEW CHRISTMAS FERN AND SKUNK CABBAGE SPROUTS; MATTED LEAVES COVER UNVEGETATED WETLAND FLOOR.

0-12" DARK GRAY 10YR 4/1 SILT LOAM WITH 10% BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

12-13" GREENISH GRAY 10Y 6/1 LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

13-28" GREENISH GRAY 10Y 6/1 FINE SANDY LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 0".

SS-4

SITE: LEVEL WETLAND; VERY POORLY DRAINED; MICRO-TOPOGRAPHY DEVELOPMENT; TREE CANOPY OF RED MAPLE AND WHITE OAK WITH BUTTRESSED AND SHALLOW ROOTS; OPEN UNDERSTORY; HERBACEOUS GROWTH OF TUSsock SEDGE AND SPROUTS OF SKUNK CABBAGE; SPHAGNUM MOSS COVERS SLIGHT HUMMOCK; MATTED LEAVES COVER UNVEGETATED GROUND; ADJACENT BROOK WITH CHANNEL 3 FT. WIDE, 1 FT. DEEP. AND 6 INCHES DEEP FLOWING WATER.

0-6" DARK GRAY 10YR 4/1 SILT LOAM.

6-7" GREENISH GRAY 10Y 6/1 LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

7-28" GREENISH GRAY 10Y 6/1 FINE SANDY LOAM WITH 20% DARK YELLOW BROWN 10YR 4/6 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 0".

SS-5

SITE: NEARLY LEVEL WOODLANDS; TALL TREE CANOPY OF NORTHERN RED OAK, BEECH, AND SUGAR MAPLE; OPEN UNDERSTORY; SPARSE WINTERGREEN GROUND COVER; TWIG AND LEAF LITTER COVERS WOODLAND FLOOR.

0-1" VERY DARK GRAY BROWN 10YR 3/2 LOAM.

1-4" BROWN 10YR 4/3 LOAM.

4-8" BROWN 10YR 5/3 LOAM.

8-28" YELLOW BROWN 10YR 5/6 LOAM.

WATER TABLE NOT ENCOUNTERED.

SS-6

SITE: LEVEL WOODLANDS; TREE CANOPY OF TALL TULIP TREES, AS WELL AS, FEW SMALLER IRONWOOD TREES; OPEN UNDERSTORY; SPARSE GROUND COVER OF WINTERGREEN; TWIG AND LEAF LITTER COVERS THE WOODLAND FLOOR.

0-1" VERY DARK GRAY BROWN 10YR 3/2 LOAM.



(SS-6 cont.)

1-3" LIGHT OLIVE BROWN 2.5Y 5/3 LOAM.

3-28" LIGHT OLIVE BROWN 2.5Y 5/4 FINE SANDY LOAM.

WATER TABLE NOT ENCOUNTERED.

SS-7

SITE: LEVEL TRAVEL-WAY ADJACENT TO BROOK; SHRUB UNDERSTORY OF WINGED EUONYMUS SHRUBS; SPARSE HERBACEOUS GROWTH OF CHRISTMAS FERN; TWIG AND LEAF LITTER COVERS WOODLAND FLOOR.

0-2" VERY DARK GRAY 10YR 3/1 LOAM.

2-8" BROWN 10YR 5/3 LOAM.

8-15" YELLOW BROWN 10YR 5/4 LOAM.

15-28" YELLOW BROWN 10YR 5/6 LOAM.

WATER TABLE NOT ENCOUNTERED.

SS-8

SITE: LEVEL GROUND ADJACENT TO MAN-MADE POND; CLOSELY-CROPPED MEADOW OF GOLDENROD, RAGWEED, AND JAPANESE STILT GRASS; FEW TUSsock SEDGE AND SOFT RUSH GROW ALONG SHORE OF POND; POND DEPTH APPROX. 2.0 FT. DEEP.

0-16" GRAY 2.5Y 5/1 LOAM WITH 5% MOTTLES (REDOX CONCENTRATIONS).

16-26" DARK GRAY 10YR 4/1 SILT LOAM WITH BROWN 7.5YR 4/4 MOTTLES (REDOX CONCENTRATIONS).

WATER TABLE AT 10".

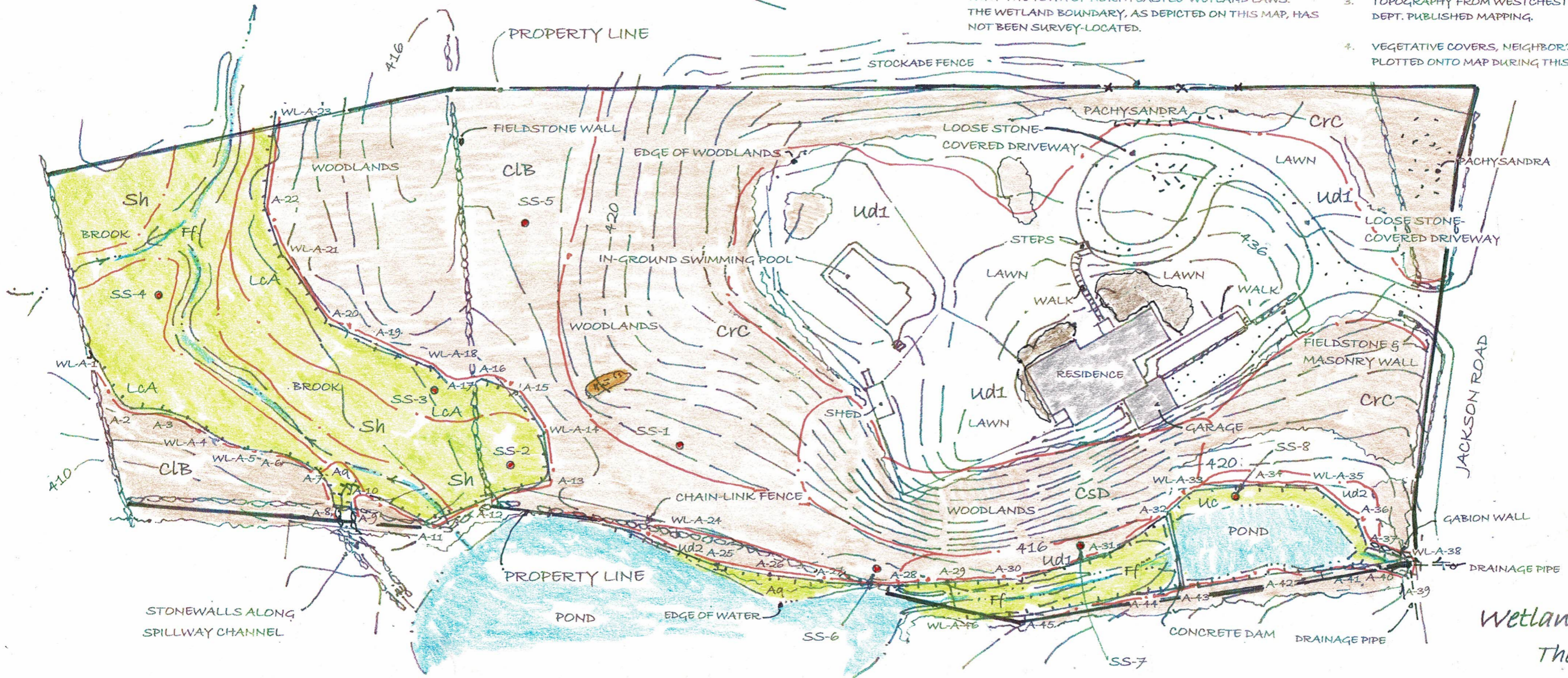




NOTES

1. WETLANDS INVESTIGATION COMPLETED DEC. 5, 2022 BY PAUL J. JAEHNIG - CERTIFIED PROFESSIONAL GEOLOGIST, SOIL SCIENTIST, AND WETLAND SCIENTIST IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE WETLAND LAWS. THE WETLAND BOUNDARY, AS DEPICTED ON THIS MAP, HAS NOT BEEN SURVEY-LOCATED.

- PROPERTY LINE, LOCATION OF RESIDENCE, DRIVEWAY, IN-GROUND SWIMMING POOL, POND, AND SHED, FROM SURVEY PREPARED BY LINK LAND SURVEYING.
- TOPOGRAPHY FROM WESTCHESTER COUNTY DEPT. OF PLANNING DEPT. PUBLISHED MAPPING.
- VEGETATIVE COVERS, NEIGHBOR'S POND, AND DRAINAGE COURSES, PLOTTED ONTO MAP DURING THIS WETLAND INVESTIGATION.



KEY TO MAP

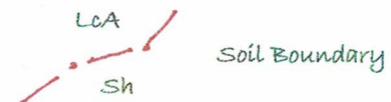
- WL-A-1 FLAGGED WETLAND BOUNDARY
- WL-A-2
- WL-A-3
- SS-1 SOIL BORING LOCATION
- 420 ELEVATION CONTOUR IN FEET
- ROCK OUTCROP

NON-WETLAND SOILS

- CLB Charlton fine sandy loam  
well drained, slopes 3 to 8 %
- CRC Charlton-Chatfield complex, rolling, v. rocky  
well drained, slopes 2 to 15 %
- CSD Chatfield-Charlton complex, hilly, v. rocky  
well drained, slopes 15 to 35 %
- ud1 udorthents  
well drained, slopes varied
- ud2 udorthents  
moderately well drained, slopes varied

WETLAND SOILS

- Aq Aquepts soils  
poorly drained, slopes 0 to 3 %
- Ff Fluvaquepts soils  
very poorly drained, slopes 0 to 2 %
- LcA Leicester loam  
poorly drained, slopes 0 to 3 %
- Sh Sun silt loam  
very poorly drained, slopes 0 to 2 %
- Uc Udorthents, wet substratum  
poorly drained, slopes 0 to 3 %



Wetlands & Soils Map  
The Koloc Site  
19 Jackson Road  
TAX ID 102.02-2-65  
North Castle, NY

Approx. 4.3 Acres Study Area

Prepared for  
Nathaniel Koloc

Dec. 5, 2022

Prepared By  
Paul J. Jaehnig - Wetlands and Soils Consulting  
P.O. Box 1071 Ridgefield, CT 06877

Scale: 1 inch = 60 ft.