

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: MR. NICOLA PERPEPAT
Mailing Address: 601 BEDFORD ROAD, ANMONK, NY 10504
Telephone: 917.731.5448 Fax: _____ e-mail PEPBB14@YAHOO.COM

Name of Applicant (if different): _____
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner: _____

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan: TC MERRITT'S LAND SURVEYORS
Address: 394 BEDFORD ROAD, PLEASANTVILLE, N.Y. 10570
Telephone: 914.769.8003 Fax: _____ e-mail SURVEY@TCMERRITT'S.COM

Name of Other Professional: Joseph Riina, P.E. (SEPTIC DESIGN)
Address: 251-F LINDERHILL AVE. YONKON HILLS, N.Y. 10598
Telephone: 914.962.4488 Fax: _____ e-mail JRIINA@SITEDESIGNCONSULTANTS.COM

Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____

Nicola Arpaia, AIA (ARPAIA ASSOCIATES P.C.)
136 NORTH WATER ST, GREENWICH CT 06850
203.313.6958 2 Nick@ArpaiaAssociates.com

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 601 Bedford Road, Armonk, NY 10504

Location (in relation to nearest intersecting street): ILANA COURT

500 feet (north, south, east or west) of ILANA COURT

Abutting Street(s): NONE

Tax Map Designation (NEW): Section 101.02 Block 2 Lot 52

Tax Map Designation (OLD): Section 101.02 Block 2 Lot 52

Zoning District: R-1.5A Total Land Area 1.56 AC 67,980#

Land Area in North Castle Only (if different) 1.56 AC

Fire District(s) ARMONK School District(s) BYRAM HILLS

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?
No Yes (adjacent) _____ Yes (within 500 feet) _____
If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?
No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?
No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?
No Yes _____

If yes, please identify the tax map designation of that property:

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: _____

Date: 9/17/23

Signature of Property Owner: _____

Date: 9/17/23

MUST HAVE BOTH SIGNATURES

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Special Use Permit:

Accessory Apartment _____

Accessory Structure over 800 square feet

Gross Floor Area: Existing 2,589 S.F. Proposed 0 S.F.

Number of Parking Spaces: Existing 3 Proposed 0
3 INDOOR & 3 OUTDOOR

Earthwork Balance: Cut 0 C.Y. Fill 0 C.Y. 0

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <i>Mr. Nicola Perpepat</i>							
Project Location (describe, and attach a location map): <i>601 BEDFORD ROAD, ARMONK, NY, 10504</i>							
Brief Description of Proposed Action: <i>RESTORATION OF EXISTING STRUCTURE.</i>							
Name of Applicant or Sponsor: <i>MR. NICOLA PERPEPAT</i>		Telephone: <i>917.731.5448</i>					
Address: <i>601 BEDFORD ROAD, ARMONK, NY, 10504</i>		E-Mail: <i>PERPEPAT@yahoo.com</i>					
City/PO: <i>ARMONK</i>		State: <i>NY</i>	Zip Code: <i>10504</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<i>1.56</i> acres					
b. Total acreage to be physically disturbed?		<i>0</i> acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>0</i> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

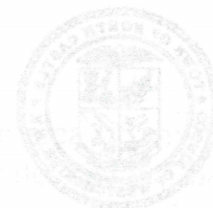
Applicant/sponsor name: Nicola Perdepat Date: 3/17/23

Signature: *Nicola Perdepat*

<input type="checkbox"/>	<input checked="" type="checkbox"/>	10. Will the proposed action connect to an existing public water supply?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	11. Will the proposed action connect to existing wastewater utilities?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply. <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Wetland <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal Government as threatened or endangered?
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	17. Will the proposed action create storm water discharge, either from point or non-point sources? a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898



PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastlenny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET


Application Name or Identifying Title: NICOLA PERDEPAT Date: _____

Tax Map Designation or Proposed Lot No.: 101.02, BLOCK 2, LOT 52

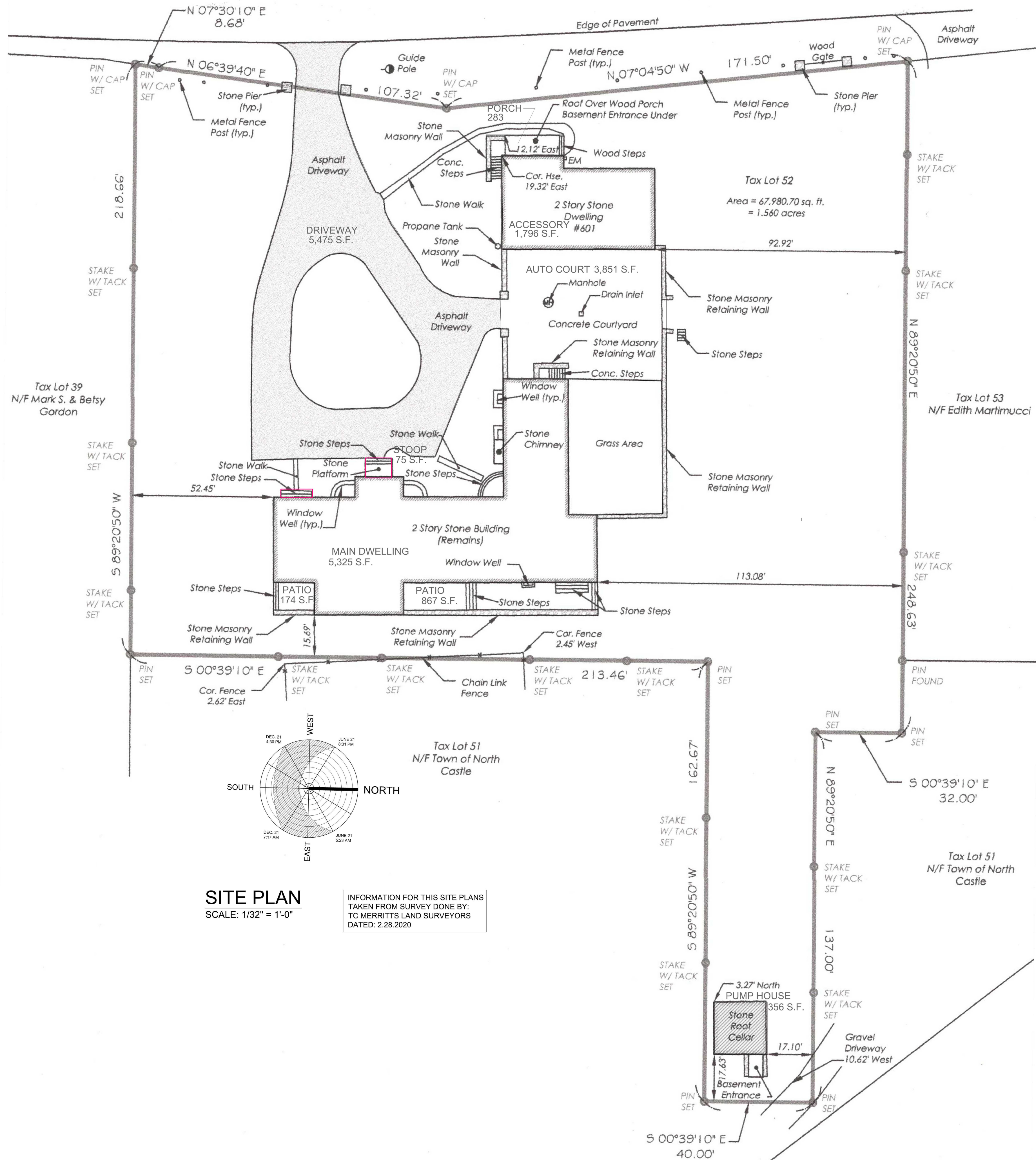
Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): 1.56 AC
2. **Maximum** permitted gross land coverage (per Section 355-26.C(1)(a)): 9,350
3. **BONUS** maximum gross land cover (per Section 355-26.C(1)(b)):
 Distance principal home is beyond minimum front yard setback
 _____ x 10 = 2,195
4. **TOTAL Maximum Permitted gross land coverage** = Sum of lines 2 and 3 11,545
5. Amount of lot area covered by **principal building**:
5,315 existing + 0 proposed = 5,315
6. Amount of lot area covered by **accessory buildings**:
1,769 existing + 0 proposed = 1,769
7. Amount of lot area covered by **decks**:
0 existing + 0 proposed = 0
8. Amount of lot area covered by **porches**:
283 existing + 0 proposed = 283
9. Amount of lot area covered by **driveway, parking areas and walkways**:
10,136 existing + 0 proposed = 10,136
10. Amount of lot area covered by **terraces**:
1,041 existing + 0 proposed = 1,041
11. Amount of lot area covered by **tennis court, pool and mechanical equip**:
0 existing + 0 proposed = 0
12. Amount of lot area covered by **all other structures**:
356 existing + 0 proposed = 356
13. **Proposed gross land coverage**: Total of Lines 5 – 12 = 18,900

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

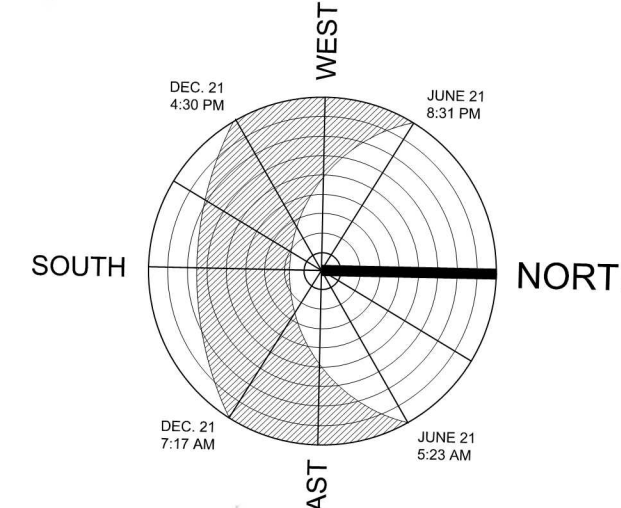
Nicola Arpaia AIA  3/16/03
 Signature and Seal of Professional Preparing Worksheet Date

ARMONK - BEDFORD ROAD (ROUTE 22)



SITE PLAN
 SCALE: 1/32" = 1'-0"

INFORMATION FOR THIS SITE PLANS
 TAKEN FROM SURVEY DONE BY:
 TC MERRITTS LAND SURVEYORS
 DATED: 2.28.2020



EXISTING STRUCTURES		EXISTING DRIVEWAY	
ACCESSORY	1,796	DRIVEWAY	5,475
MAIN DWELLING	5,315	AUTO COURT	3,851
PUMP HOUSE	356	WALKWAYS	675
		EXTERIOR STEPS	135
TOTAL	7,440 S.F.	TOTAL	10,136 S.F.
EXISTING PORCHES		EXISTING TERRACES	
PORCH	283	TERRACES	1,041
TOTAL	283 S.F.	TOTAL	1,041 S.F.
TOTAL EXISTING AS BUILT	18,900 S.F.		
PROPOSED (NOT APPLICABLE)	0		
TOTAL ALLOWED	11,545 S.F.		

3.15.2023 ISSUED FOR P&Z REVIEW AND APPROVAL

ISSUED/ REVISION DATE COMMENT:

ARPAIA ASSOCIATES, P.C.
 ARCHITECTS & DESIGNERS
 136 NORTH WATER STREET,
 GREENWICH, CT 06830
 Tel: 203.313.6956
 EMAIL: NICK@ARPAIAASSOCIATES.COM WEB SITE: WWW.ARPAIAASSOCIATES.COM

PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
 601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF ARPAIA ASSOCIATES, P.C.

DATE: 4.30.2021
 PROJECT NO.:
 DRAWING BY: O.O./N.A.
 CHECKED BY: N.A.
 DWG NO.:
A-103
 _ OF _



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898



PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

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www.northcastlenv.com

FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: NICOLA PERDEPAT Date: _____

Tax Map Designation or Proposed Lot No.: 101.02, BLOCK 2, LOT 62

Floor Area

1. Total Lot Area (Net Lot Area for Lots Created After 12/13/06): 1.56 AC
2. **Maximum** permitted floor area (per Section 355-26.B(4)): 9,034 #
3. Amount of floor area contained within first floor:
5,315 existing + 0 proposed = 5,315
4. Amount of floor area contained within second floor:
5,315 existing + 0 proposed = 5,315
5. Amount of floor area contained within garage:
0 existing + 0 proposed = 0
6. Amount of floor area contained within porches capable of being enclosed:
0 existing + 0 proposed = 0
7. Amount of floor area contained within basement (if applicable – see definition):
4,940 existing + 0 proposed = 4,940
8. Amount of floor area contained within attic (if applicable – see definition):
2,985 existing + 0 proposed = 2,985
9. Amount of floor area contained within all accessory buildings:
2,589 existing + 0 proposed = 2,589
10. Proposed **floor area**: Total of Lines 3 – 9 = 21,144

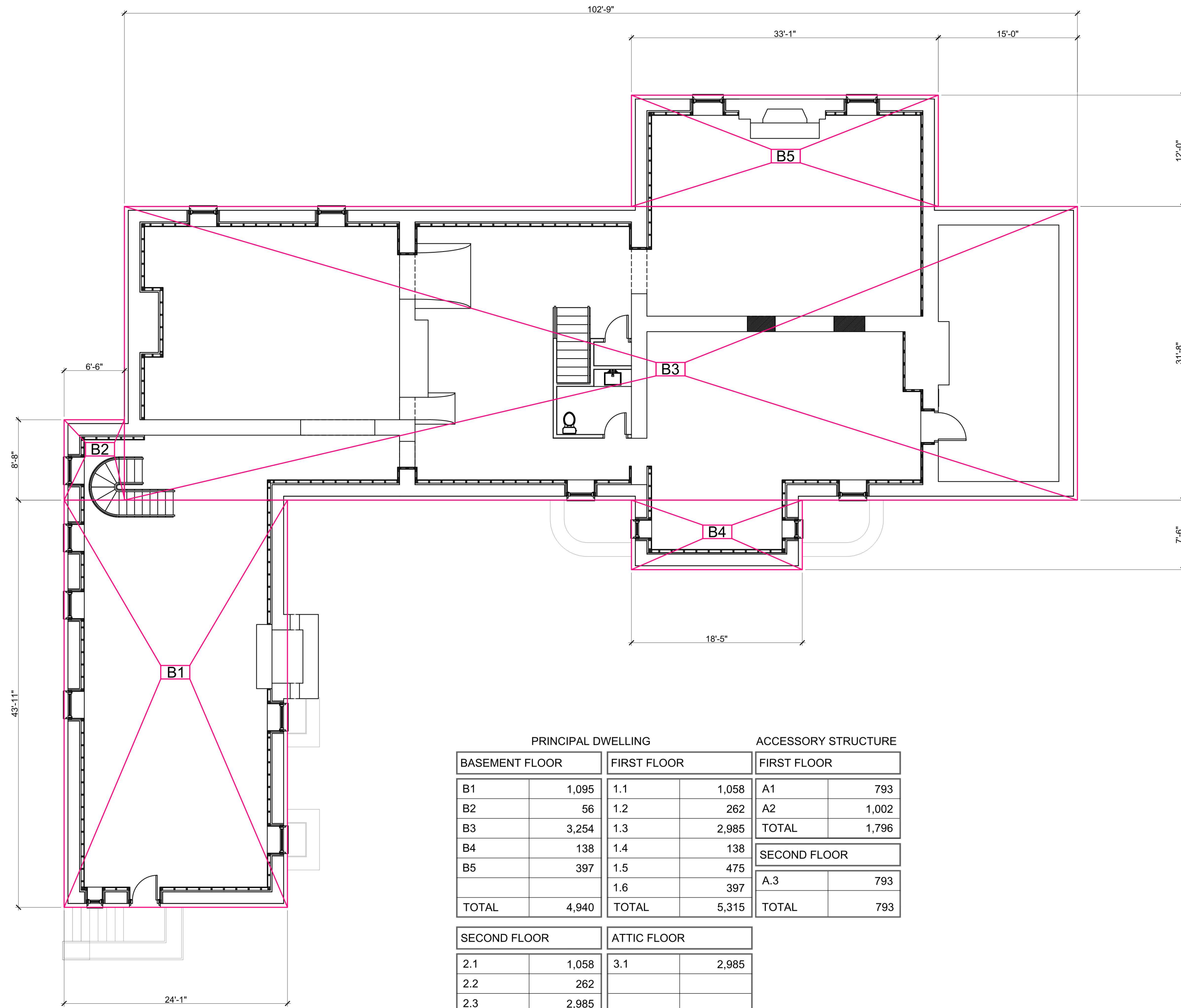
If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

Nicola Arpaia AIA
 Signature and Seal of Professional Preparing Worksheet



3/16/23

2023
 Date



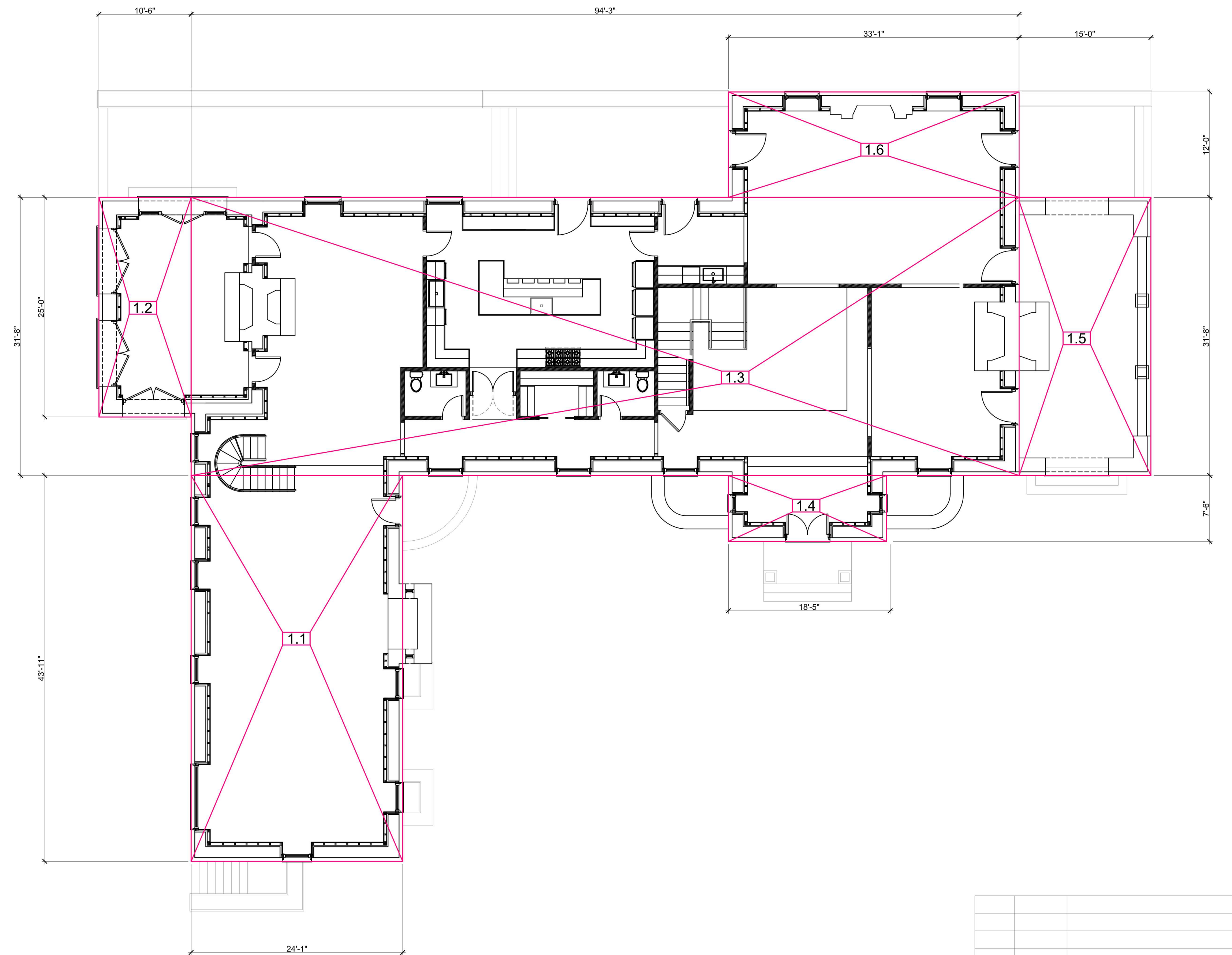
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRINCIPAL DWELLING			ACCESSORY STRUCTURE		
BASEMENT FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR		
B1	1,095	1.1	1,058	A1	793
B2	56	1.2	262	A2	1,002
B3	3,254	1.3	2,985	TOTAL	1,796
B4	138	1.4	138	SECOND FLOOR	
B5	397	1.5	475	A.3	793
		1.6	397	TOTAL	793
TOTAL	4,940	TOTAL	5,315	TOTAL	793

SECOND FLOOR		ATTIC FLOOR	
2.1	1,058	3.1	2,985
2.2	262		
2.3	2,985		
2.4	138		
2.5	475		
2.6	397		
TOTAL	5,315	TOTAL	2,985

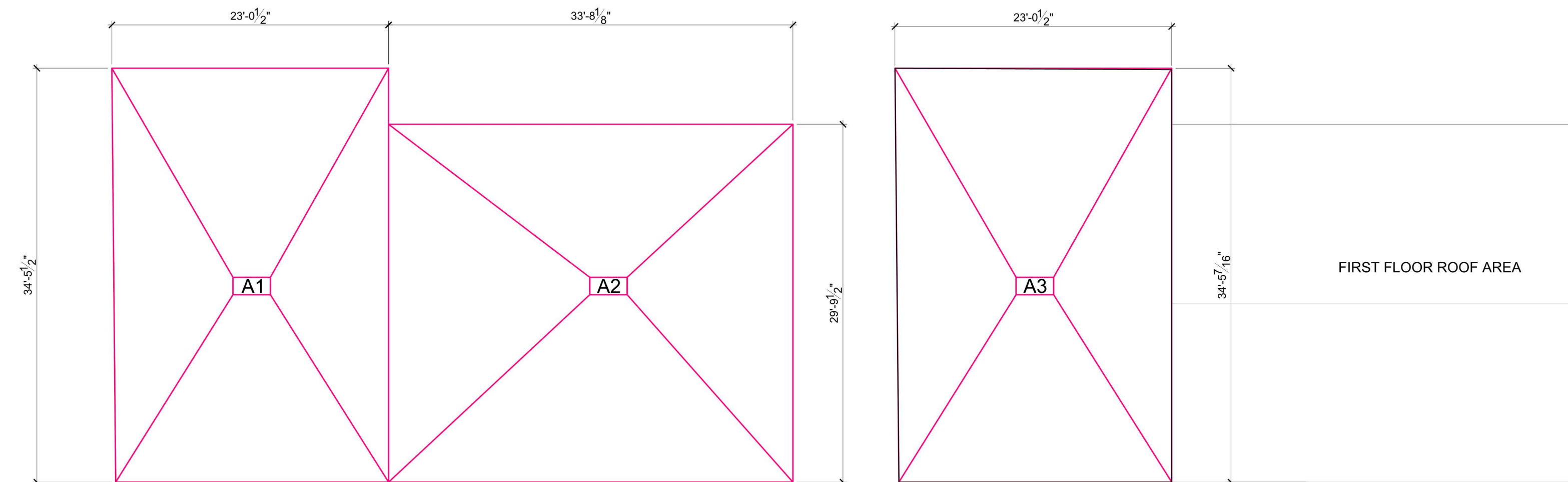
FLOOR AREA RATIO SCHEDULE	
BASEMENT FLOOR	4,940 S.F.
FIRST FLOOR	5,315 S.F.
SECOND FLOOR	5,315 S.F.
ATTIC FLOOR	2,985 S.F.
ACCESSORY F. FL.	1,796 S.F.
ACCESSORY S. FL.	793 S.F.
TOTAL EXISTING AS-BUILT FAR = 21,144 S.F.	
F.A.R. ALLOWED: 9034 + 132 = 9166.00 S.F.	

ZONE: R-1.5A
 FAR ALLOWED: 9,034 S.F. + 5% OVER 1.5 AC
 LOT AREA: 1.56 ACRES (67,980.70 S.F.)
 SURVEY / SITE PLAN BY: TC MERRITTS LAND SURVEYORS
 DATE: 2.28.2020

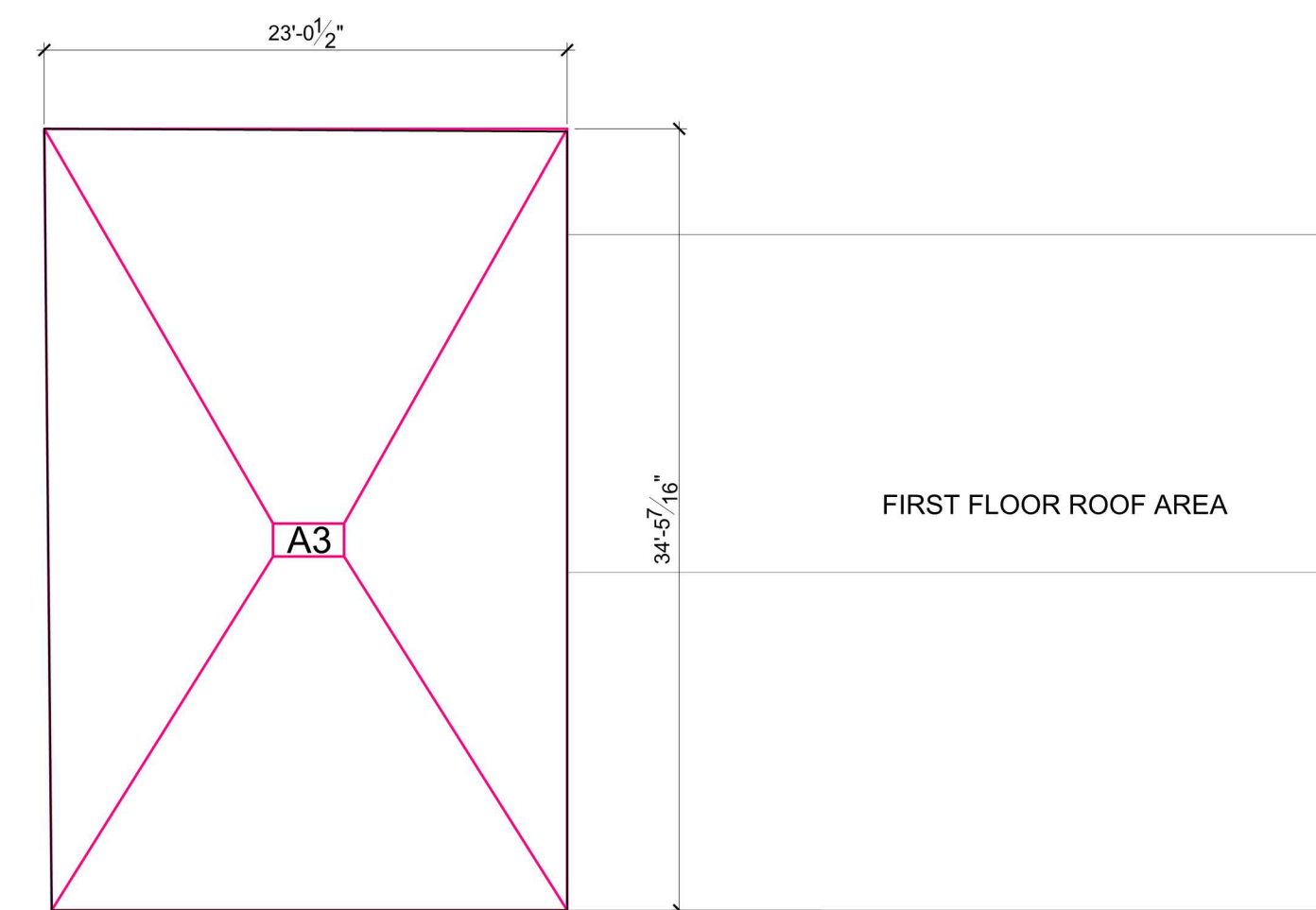


FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

ACCESSORY STRUCTURE



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

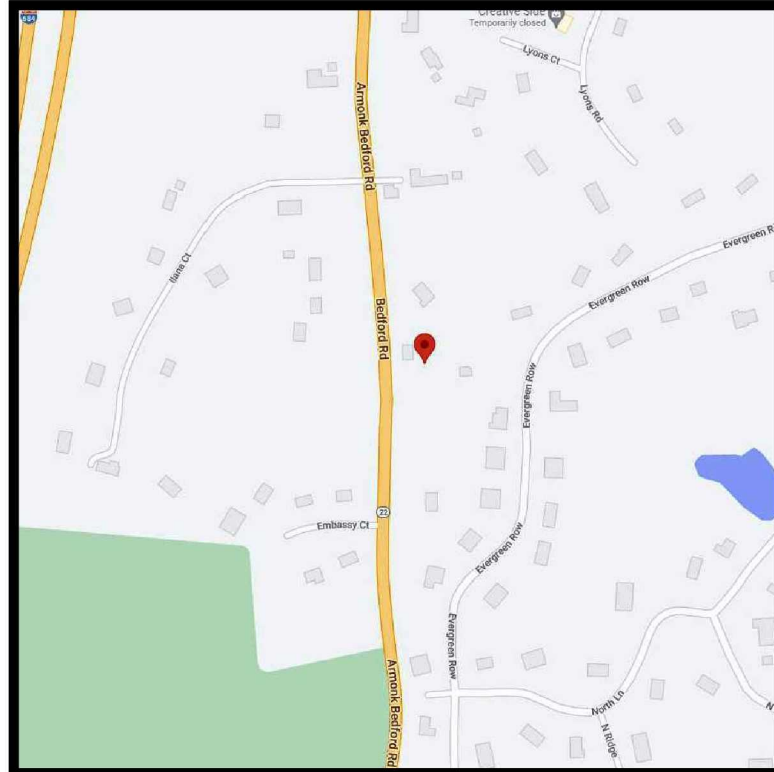
ISSUED/REVISION	DATE	COMMENT
	3.15.2023	ISSUED FOR P&Z REVIEW AND APPROVAL

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 ARCHITECTS & DESIGNERS
 136 NORTH WATER STREET,
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PERPEPAJ RESIDENCE
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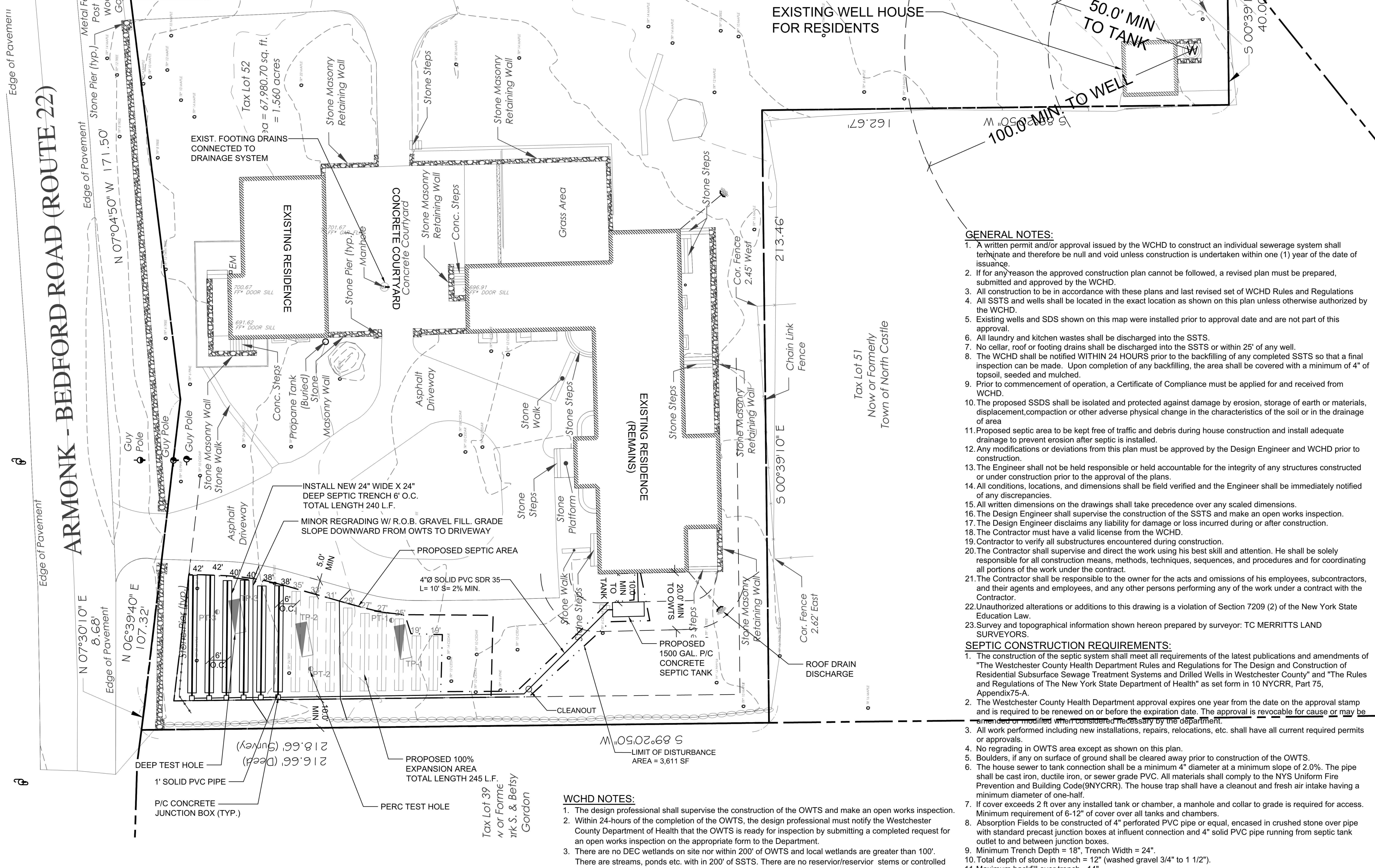
DATE: 4.30.2021
 PROJECT NO.:
 DRAWING BY: O.O./N.A.
 CHECKED BY: N.A.
 DWG NO.:
A-101
 SEAL & SIGNATURE



LOCATION MAP
NOT TO SCALE

SITE DATA:

OWNER / DEVELOPER: NICHOLAS PERPEAJ
50 CHESTNUT RIDGE ROAD
ARMONK, NY, 10504
601 BEDFORD ROAD
ARMONK, NY 10504
SECTION 101.02, BLOCK 2, LOT 52
1.56 ACRES (87980 SF)
SEWAGE FACILITIES: SUBSURFACE SEWAGE TREATMENT SYSTEM
WATER FACILITIES: DRILLED WELL
WATERSHED: LONG ISLAND SOUND

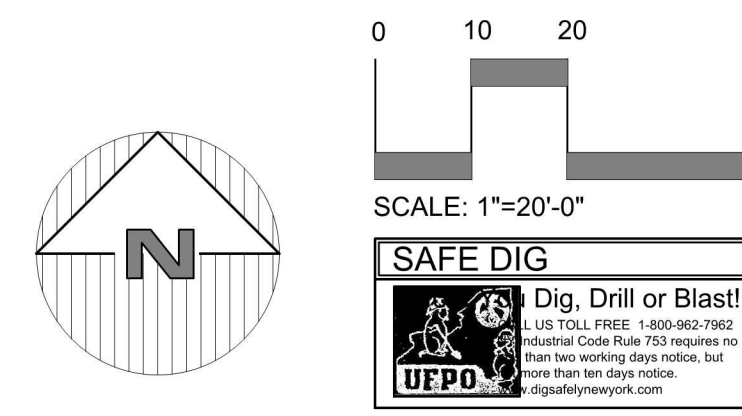


SEPARATION DISTANCES FROM WASTEWATER SOURCES						
WASTEWATER SOURCES	DRILLED WELL (AT HIGHER ELEVATION)	TO STREAM LAKE WATERCOURSE (B/C) OR WETLAND	DWELLING	PROPERTY LINES	DRAINAGE DITCH/RAIN GARDEN (H/FT)	IN-GROUND POOL, (FT.)
HOUSE SEWER (WATERTIGHT JOINTS) (CIP, DIP, OR SIMILAR)	25" CIP 50' OTHER	25'	3'	10'	10'	10'
SEPTIC TANK	50'	50'	10'	10'	10'	20'
EFFLUENT LINE TO DISTRIBUTION BOX	50'	50'	10'	10'	10'	10'
DISTRIBUTION BOX	100'	100'	20'	10'	20'	20'
ABSORPTION FIELD	100' (A)	100'	20'	10'	20'	35'
SEEPAGE PIT	150' (A)	100'	20'	10'	20'	50'
DRY WELL (ROOF & FOOTINGS)	50'	25'	20'	10'	10'	20'
DRY WELL (ROADS & DRIVEWAY)	100'	25'	20'	10'	10'	20'

- NOTES:**
- Wells located in the general path of a OWTS must be located 200 feet or more away. All public water supply wells must be 200 feet or more away.
 - Mean high water mark of defined stream or lake.
 - Drywells are not allowed above OWTS (drywells, storm water infiltration units or other subsurface storm water infiltration units).
 - For slab on grade foundations with no drains, distance can be reduced in half.
 - For all systems involving placement of fill, separation distances are measured from the toe of slope of the fill.
 - Closest part of OWTS shall be located at least 10 feet from any water service line (i.e. - PWS main, water service connection, well).
 - Recommended.
 - Septic tanks are not permitted beneath raised decks and require a minimum of 5 separation feet separation from deck piers (sonotubes).
- ADDITIONAL SEPARATION DISTANCES FROM ABSORPTION AREA TO:**
- Piped Drainage: 25 feet (horizontal or below)
 - Open Channel: Drainage: 50 feet
 - Curtain Drain (upgrade from SSTS): 15 feet
 - Curtain Drain (downgrade from SSTS): 50 feet
 - Catch Basin: 50 feet
 - Driveway: 5 feet
 - Storm Water Basin: 100 feet (high water elevation)
 - Above Ground Pool: 10 feet
 - Deck with Pillings/Sonotube: 10 feet
 - Slab on Grade Foundation: 10 feet
 - Roof and Footing Drain Discharge Pipe: 10 feet
- SWIMMING POOLS:**
- A minimum distance of 35 feet shall be maintained between the pool and any portion of the sewage treatment area in all other directions.
 - Above ground pools shall not be located over or within 10 feet of the SSTA, including the 100% replacement area.
- DECKS:**
- The minimum separation distance for deck support posts (pillings, sonotubes, etc.) to the absorption field is 10 feet and all tanks used in the SSTS (septic tanks, pump chambers, overflow tanks or pits) is 5 feet.
 - This provision also applies to the deck around and above ground pool.
 - In all circumstances, access to the tanks for repairs and pump-outs shall not be compromised by the deck installation.

- GENERAL NOTES:**
- A written permit and/or approval issued by the WCHD to construct an individual sewerage system shall terminate and therefore be null and void unless construction is undertaken within one (1) year of the date of issuance.
 - If for any reason the approved construction plan cannot be followed, a revised plan must be prepared, submitted and approved by the WCHD.
 - All construction to be in accordance with these plans and last revised set of WCHD Rules and Regulations.
 - All SSTS and wells shall be located in the exact location as shown on this plan unless otherwise authorized by the WCHD.
 - Existing wells and SDS shown on this map were installed prior to approval date and are not part of this approval.
 - All laundry and kitchen wastes shall be discharged into the SSTS.
 - No cellar, roof or footing drains shall be discharged into the SSTS or within 25' of any well.
 - The WCHD shall be notified WITHIN 24 HOURS prior to the backfilling of any completed SSTS so that a final inspection can be made. Upon completion of any backfilling, the area shall be covered with a minimum of 4" of topsoil, seeded and mulched.
 - Prior to commencement of operation, a Certificate of Compliance must be applied for and received from WCHD.
 - The proposed SSDS shall be isolated and protected against damage by erosion, storage of earth or materials, displacement, compaction or other adverse physical change in the characteristics of the soil or in the drainage of area.
 - Proposed septic area to be kept free of traffic and debris during house construction and install adequate drainage to prevent erosion after septic is installed.
 - Any modifications or deviations from this plan must be approved by the Design Engineer and WCHD prior to construction.
 - The Engineer shall not be held responsible or held accountable for the integrity of any structures constructed or under construction prior to the approval of the plans.
 - All conditions, locations, and dimensions shall be field verified and the Engineer shall be immediately notified of any discrepancies.
 - All written dimensions on the drawings shall take precedence over any scaled dimensions.
 - The Design Engineer shall supervise the construction of the SSTS and make an open works inspection.
 - The Design Engineer disclaims any liability for damage or loss incurred during or after construction.
 - The Contractor must have a valid license from the WCHD.
 - Contractor to verify all substructures encountered during construction.
 - The Contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences, and procedures and for coordinating all portions of the work under the contract.
 - The Contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors, and their agents and employees, and any other persons performing any of the work under a contract with the Contractor.
 - Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.
 - Survey and topographical information shown hereon prepared by surveyor: TC MERRITTS LAND SURVEYORS.
- SEPTIC CONSTRUCTION REQUIREMENTS:**
- The construction of the septic system shall meet all requirements of the latest publications and amendments of "The Westchester County Health Department Rules and Regulations for The Design and Construction of Residential Subsurface Sewage Treatment Systems and Drilled Wells in Westchester County" and "The Rules and Regulations of The New York State Department of Health" as set forth in 10 NYCRR, Part 75, Appendix 75-A.
 - The Westchester County Health Department approval expires one year from the date on the approval stamp and is required to be renewed on or before the expiration date. The approval is revocable for cause or may be amended or modified when considered necessary by the department.
 - All work performed including new installations, repairs, relocations, etc. shall have all current required permits or approvals.
 - No regrading in OWTS area except as shown on this plan.
 - Buildings, if any on surface of ground shall be cleared away prior to construction of the OWTS.
 - The house sewer to tank connection shall be a minimum 4" diameter at a minimum slope of 2.0%. The pipe shall be cast iron, ductile iron, or sewer grade PVC. All materials shall comply to the NYS Uniform Fire Prevention and Building Code (9NYCRR). The house trap shall have a cleanout and fresh air intake having a minimum diameter of one-half inch.
 - If cover exceeds 2 ft over any installed tank or chamber, a manhole and collar to grade is required for access. Minimum requirement of 6-12" of cover over all tanks and chambers.
 - Absorption Fields to be constructed of 4" perforated PVC pipe or equal, encased in crushed stone over pipe with standard precast junction boxes at influent connection and 4" solid PVC pipe running from septic tank outlet to and between junction boxes.
 - Minimum Trench Depth = 18"; Trench Width = 24".
 - Total depth of stone in trench = 12" (washed gravel 3/4" to 1 1/2").
 - Maximum backfill over trench = 14".
 - All septic field laterals shall be of equal length (60' max. w/o dosing and 100' max. if dosed) and parallel to contours at a slope rate of 1/32" per foot or 0.25%.
 - All pipes connecting to tank and boxes shall be cut flush with the inside wall of box.
 - PVC pipe to meet minimum standards of ASTM D-2729.
 - Absorption trenches shall not be installed or backfilled in wet, frozen, frost or snow covered soils.
 - Backfill material for the trenches shall contain no particles with any dimension greater than 4". Backfill septic material must be inspected and approved by the WCHD before installation.
 - No laterals shall be placed beneath a driveway or paved areas.
 - End caps to be placed at end of all 4" perforated P.V.C. pipe in absorption fields.
 - Run of bank sand and gravel and impervious material to be inspected and approved by the Design Engineer prior to installation of the proposed system. Fill shall contain no particles greater than 4" in diameter. Fill shall be placed over expansion area where shown as required by WCHD.
 - Fill stabilization may not be achieved by mechanical compaction. Only by a natural setting, for a period required by W.C.H.D. which may include a freeze-thaw cycle. Percolation tests must be done in stabilized fill and must meet the design rate.
 - Prior to submission of Certificate of Compliance to WCHD, fill section must be stabilized with grass seed and hay cover.
 - Spa pool drainage and filter backwash will not discharge to any SSTA.

- WCHD NOTES:**
- The design professional shall supervise the construction of the OWTS and make an open works inspection.
 - Within 24-hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to the Department.
 - There are no DEC wetlands on site nor within 200' of OWTS and local wetlands are greater than 100'. There are streams, ponds etc. with in 200' of SSTS. There are no reservoir/reservoir stems or controlled lake with in 500' of OWTS.
 - There is 3,935 sqft of proposed disturbance.
 - There are no existing or proposed wells within 100 feet of the proposed OWTS nor within 200 feet in the line of drainage.
 - There are no existing OWTS within 200 ft of well unless otherwise shown on this plan.
 - Estimated construction and completion date: July 2022 to July 2023.
 - Within 24 hours of the completion of the OWTS, the design professional must notify the Westchester County Department of Health (WCHD) that the OWTS is ready for inspection by submitting a completed request for an open works inspection on the appropriate form to WCHD.
 - That no backfilling of a completed OWTS can occur until after it has been inspected and accepted by the Westchester County Department of Health.
 - After backfilling the OWTS, the area shall be covered with a minimum of 4 inches of clean top soil, seeded and mulched.
 - There shall be no trees within 10' of the OWTS.
 - Prior to any excavation, all underground utilities must be located. Call 1-800-962-7962.



HEALTH DEPARTMENT SEPTIC SCHEDULE																				
LOT NO.	S.S.T.A. AREA (S.F.)	LOT AREA (S.F.)	TEST HOLE NO.	DEEP TEST PIT DESCRIPTION	TOTAL DEPTH	DEPTH TO WATER	DEPTH TO ROCK	PERCENT SLOPE AREA	PERC TEST NO.	PERC. RATE (MIN/IN)	MIN. DESIGN RATE	DESIGN DATA					REMARKS			
												APPLICATION RATE (GPD/SF)	NO. OF BEDROOMS	DESIGN TANK SIZE	REQD. TRENCH LENGTH	BANK RUN FILL DEPTH		CURTAIN DRAIN DEPTH		
52	3,752 S.F.	67,984 S.F.	TP-#1	6" T.SOIL, 6"-36" MED.SANDY LOAM & SM. COBBLES	7'-0"			6.0%	PT-1	2.3 MIN.	1.5 MIN.	1.00	5 BRM	550 GPD	1500 GAL	230 LF			DOSING REQD.	
			TP-#2	6" T.SOIL, 6"-30" MED. SANDY LOAM, 30"-84" MED. SANDS & SM. COBBLES	8'-0"				PT-2	2.3 MIN.										
			TP-#3	6" T.SOIL, 6"-30" MED. SANDY LOAM, 30"-84" MED.FINE SANDS & SM. COBBLES	8'-0"				PT-4	2 MIN.										

NOTE: Required trench length taken from table in WCHD Rules and Regulations. (Based on Perc Test)

PROJECT # 22-13

Site Design Consultants
Civil Engineers • Land Planners
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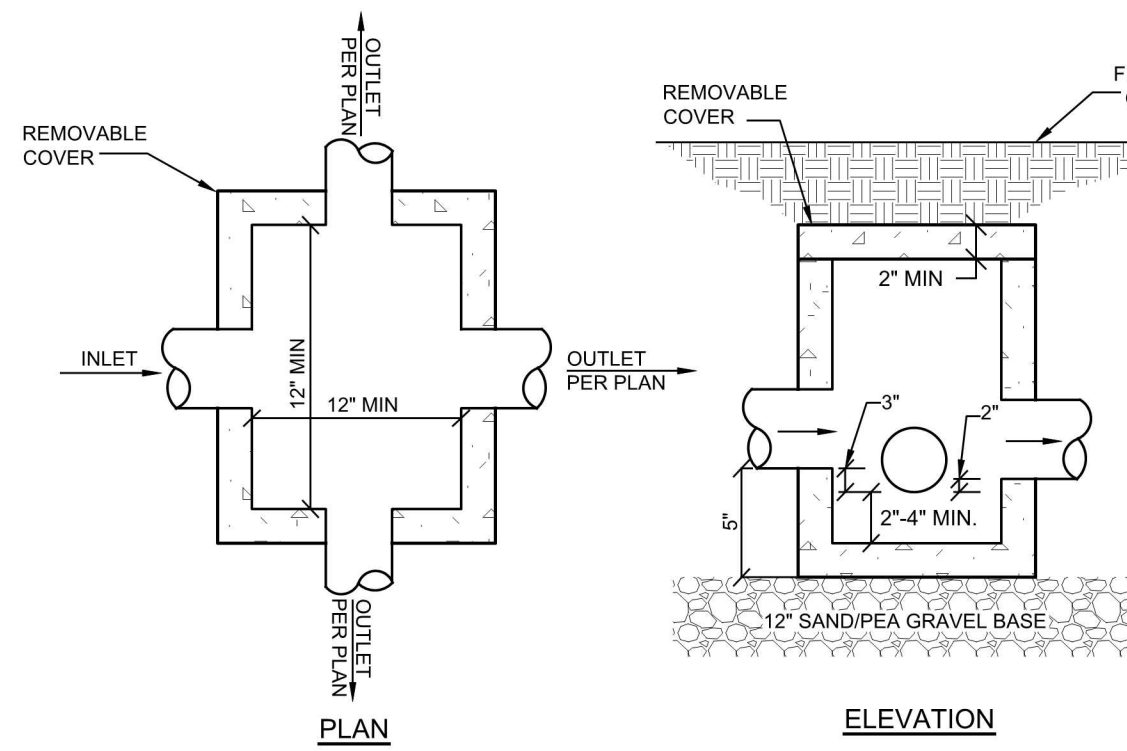
SEPTIC PLAN AND GENERAL NOTES

PROPOSED SEPTIC PLAN
PREPARED FOR
NICHOLAS PERPEAJ
PROJECT LOCATION
601 BEDFORD ROAD
Westchester Co., New York

Sheet 1 of 2

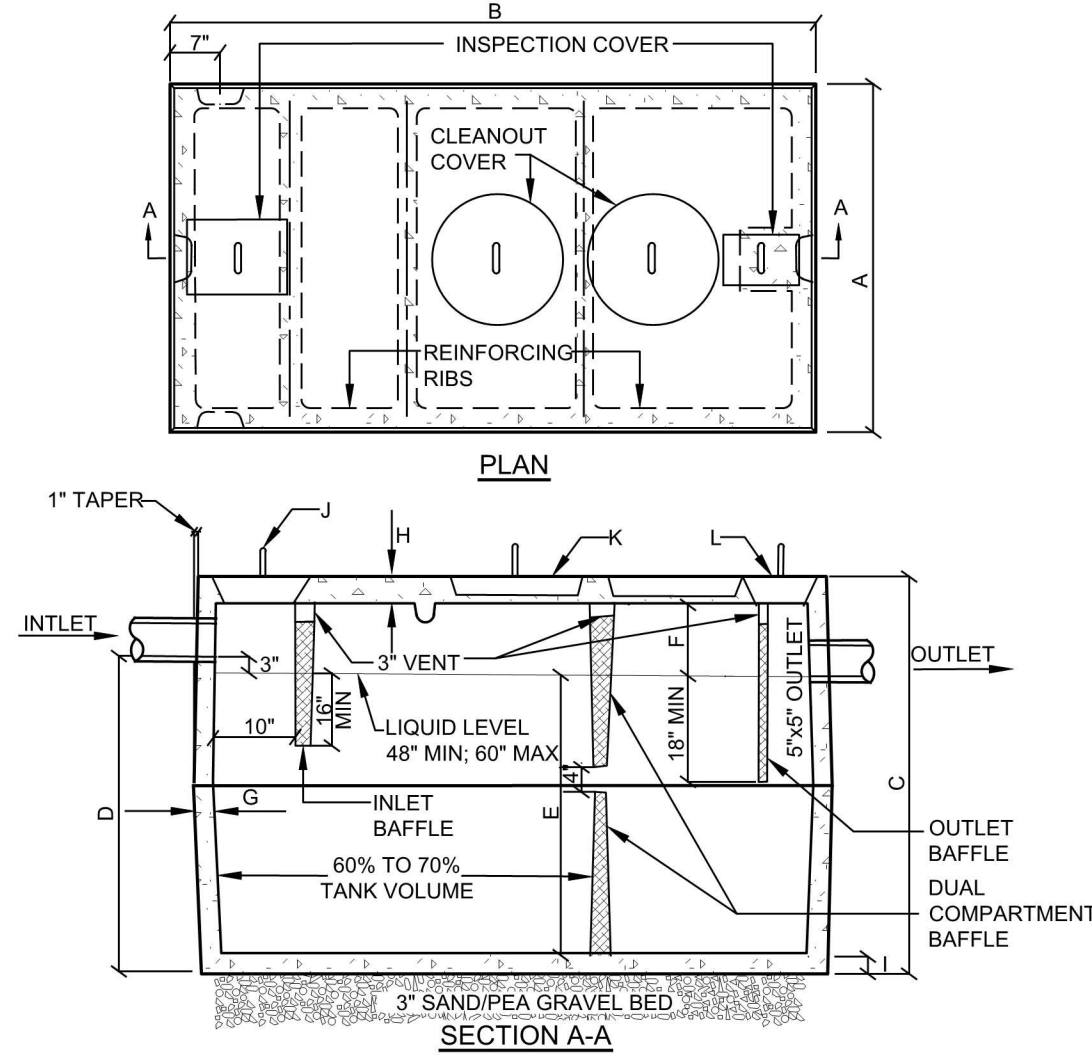
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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



- NOTES:**
- Bottom of junction box must be level and firmly supported below frost line.
 - Junction box footing shall extend to 36" below ground level.
 - Junction boxes shall be placed on single branch distributors.
 - Junction boxes shall be constructed of waterproofed masonry construction.
 - Tight joint pipe shall be used between the septic tank and junction box and between all junction boxes and laterals.
 - All pipes connecting to the junction box shall be cut flush with the inside wall.
 - Maximum cover above junction boxes shall be 12 inches.
 - The clear inside dimension of junction boxes shall be a minimum of 12" x 12".
 - All pipes shall be cut flush with inside of junction box.

S-1 JUNCTION BOX DETAIL
NOT TO SCALE



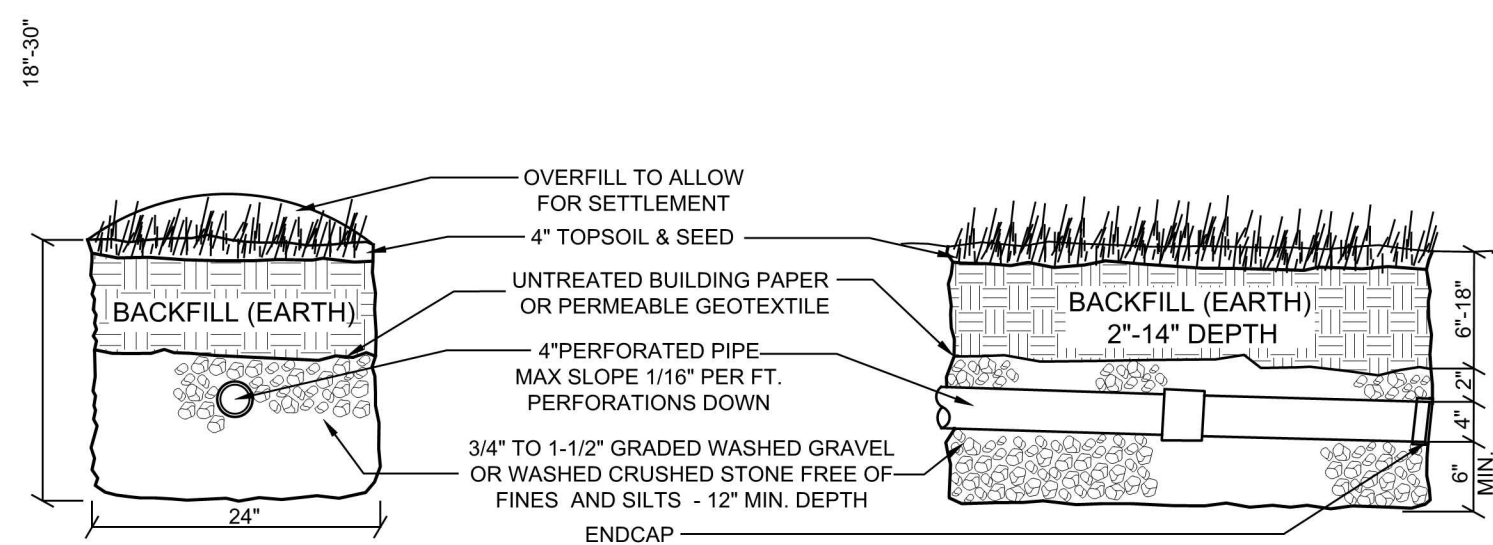
SEPTIC TANK SPECIFICATIONS & CAPACITIES

LIQUID CAPACITY	A	B	C	D	E	F	G	H	I	J	K	L
1,000 Gal	50"	100"	60"	50"	40"	12"	3"	5"	4"	8"x9"	20'0"	10'x14'
1,250 Gal	50"	120"	60"	50"	40"	12"	3"	5"	4"	8"x9"	20'0"	10'x14'
1,500 Gal	65"	128"	67"	56"	48"	12"	3"	5"	4"	6"x9"	20'0"	10'x14'
2,000 Gal	78"	144"	67"	56"	48"	12"	3"	5"	4"	6"x9"	20'0"	10'x14'

NOTE: Add 4" to H for H-20 Loading

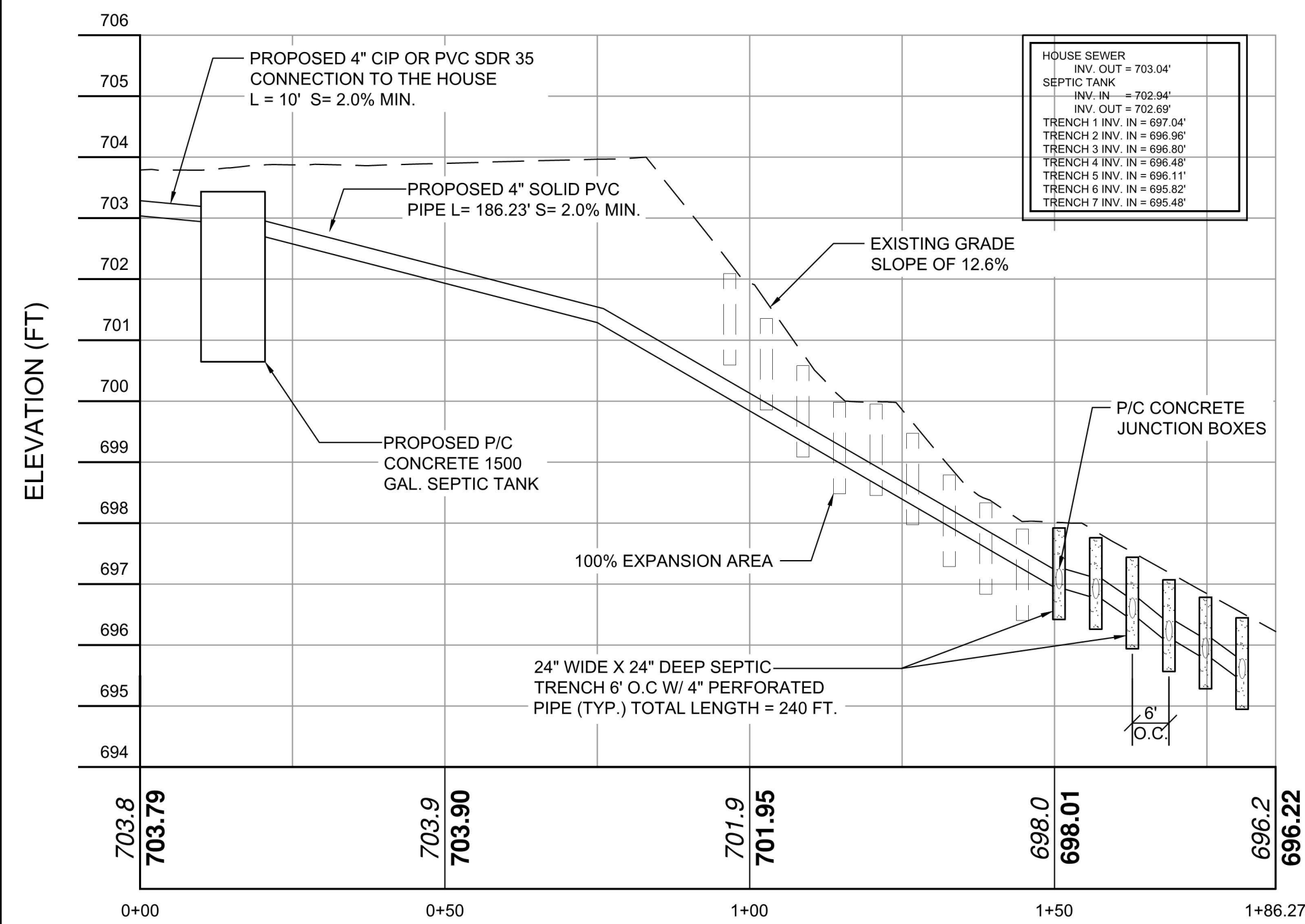
- NOTES:**
- The minimum required fill cover above the septic tank shall be 6 to 12 inches with a maximum cover depth of 24 inches. When required fill cover exceeds 24 inches, manhole extended with steel frames and covers shall be installed and extended to finished grade. If the septic tank is rated for H-20 vehicle loading, the manholes, frames and covers shall be H-20 rated also.
 - The dual compartment baffle is required on all septic tanks with a length "B" equal to or greater than 10 feet.
 - For installations that require an overflow tank, a tank the same size as the septic tank shall be used. Dual compartment baffles are not required on overflow tanks regardless of the size.
 - All pipes connecting to the tank shall be cut flush with the inside wall.
 - Tank shall be manufactured by Mid Hudson Concrete Products, Inc.

S-2 PRECAST CONCRETE SEPTIC TANK DETAIL AND OVERFLOW TANK DETAIL
NOT TO SCALE

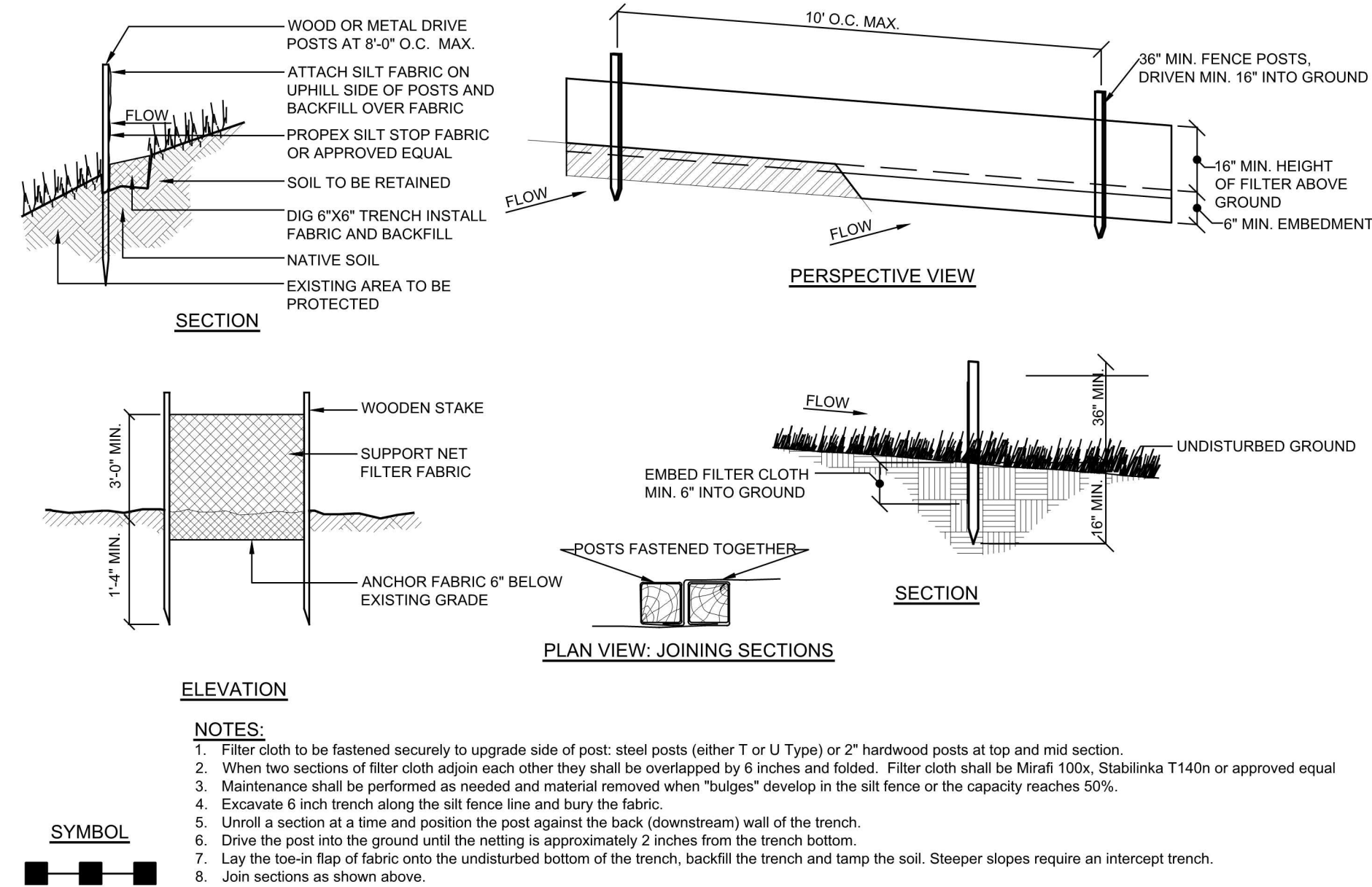


- NOTES:**
- Ends of all trenches are to be capped.
 - Minimum 5' of soil between the bottom of absorption trench and presence of groundwater table and/or creviced rock.
 - Maximum slope, 4 inch gravity distribution lines (1/16" per ft) 0.5% maximum.
 - Maximum slope, when dosing is provided (1/32" per ft) 0.25% maximum.

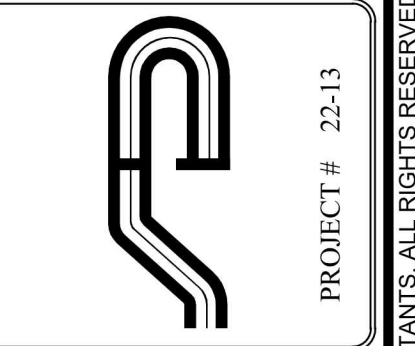
S-3 PERFORATED PIPE TRENCH DETAIL
NOT TO SCALE



S-4 SEPTIC PROFILE
NOT TO SCALE



E-1 SILT FENCE DETAIL
NOT TO SCALE



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Revisions:

No.	Date	Comments
1	10/25/22	HD Comments

SCALE: AS NOTED
DRAWN BY: GO
DATE: 06/27/22

SEPTIC PROFILE AND DETAILS

PROPOSED SEPTIC PLAN
PREPARED FOR
NICHOLAS PERPEPAJ
PROJECT LOCATION
601 BEDFORD ROAD
Westchester Co., New York

SECTION 1 : GENERAL DATA

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE 2020 INTERNATIONAL RESIDENTIAL BUILDING CODE, THE 2020 INTERNATIONAL FUEL GAS CODE, THE 2020 INTERNATIONAL FIRE CODE, THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE, THE 2020 INTERNATIONAL PLUMBING CODE, THE 2020 INTERNATIONAL MECHANICAL CODE, CONTRACTORS TO COMPLY WITH ALL CODES AND O.S.H.A. REQUIREMENTS PERTAINING TO THEIR WORK.
- THE GENERAL CONTRACTOR (G.C.) AND ALL SUBCONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SCAFFOLDING, SURFELS, LAYOUT AND SERVICES NECESSARY TO EXECUTE AND COMPLETE ALL WORK AS REQUIRED AS PER THE CONSTRUCTION DOCUMENTS, UNLESS OTHERWISE NOTED. PREPARATION AND INSTALLATIONS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS LATEST WRITTEN INSTRUCTIONS WHETHER OR NOT SPECIFICALLY NOTICED ON DRAWINGS.
- THE G.C. AND ALL SUBCONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH ALL LATEST APPLICABLE CODES AND REGULATIONS REGARDING THEIR WORK ON THIS PROJECT.
- THE G.C. & SUB-CONTRACTORS TO PROVIDE AND FILE WORKERS COMPENSATION WITH THE BUILDING DEPARTMENT.
- THE G.C. TO OBTAIN AND PAY FOR ALL APPLICABLE PERMIT FEE. THE SUB-CONTRACTORS ARE TO OBTAIN AND PAY FOR PERMIT REQUIRED IN CONNECTION WITH THEIR WORK. (OR AS PER AGREEMENT WITH OWNER).
- THE G.C. AND ALL SUB-CONTRACTORS ARE TO ARRANGE AND PAY FOR ALL FEES IN CONNECTION WITH ALL REQUIRED INSPECTIONS. (OR AS PER AGREEMENT WITH OWNER).
- PLANS ARE SUBJECT TO CHANGES AS DIRECTED BY THE BUILDING DEPARTMENT.
- THE G.C. AND ALL SUB-CONTRACTORS ARE TO REVIEW THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, NOTES AND ADDENDUMS THOROUGHLY TO DETERMINE THE EXTENT OF WORK UNDER THEIR TRADE AND THE WORK OF OTHER TRADES REQUIRING COORDINATION, FOR THEY WILL BE RESPONSIBLE FOR SAME. THE ARCHITECT WILL CLARIFY ANY DISCREPANCIES OR CONTRACTOR QUESTIONS IN WRITING PRIOR TO BID SUBMISSION AND DURING THE BUILDING PHASE.
- DO NOT SCALE DRAWINGS. USE COMPUTED DIMENSIONS ONLY. IF A DISCREPANCY IS DISCOVERED, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED REASONABLY CORRECT. BUT IF IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATIONS AS IT MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORSEEN CONDITIONS.
- THE G.C. AND ALL SUB-CONTRACTORS ARE TO INVESTIGATE THE JOB SITE AND ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS AND COMMENCING CONSTRUCTION. ALL EXISTING CONDITIONS AND DIMENSIONS TO BE FIELD VERIFIED. DISCREPANCIES AND UNCOVERED CONDITIONS NOT ADDRESSABLE SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT. ALL WORK IS TO BE PERFORMED IN A NEAT, PROFESSIONAL MANNER BY SKILLED MECHANICS.
- THE G.C. AND ALL SUB-CONTRACTORS ARE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON SITE AT ALL TIMES. SPECIAL ATTENTION TO SAFETY IS TO BE PROVIDED DURING ALL REQUIRED DEMOLITION OR ERECTION WORK. THE ARCHITECT AND THE ARCHITECTS AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND IS HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY CLAIMS, LOSSES, SUITS, OR LEGAL ACTIONS ARISING FROM THE CONTRACTORS PERFORMANCE OF THE WORK ON THIS PROJECT.
- N/A
- THE G.C. TO NOTIFY THE BUILDING DEPARTMENT @ THE REQUIRED TIME FOR ALL MANDATORY INSPECTIONS AND ADHERE TO THE DEPARTMENT RULES AND REGULATIONS.
- THE G.C. WILL SECURE AND PAY FOR ALL FEES FOR THE CERTIFICATE OF OCCUPANCY AFTER COMPLETION OF THE WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS, ADDENDUMS, AND APPROVED CHANGE ORDERS. SUBMIT COPIES OF THE CERTIFICATE OF OCCUPANCY TO THE OWNER PRIOR TO SUBMITTING FINAL PAYMENT, OR AS PER AGREEMENT WITH OWNER
- THE OWNER AND THE ARCHITECT RESERVES THE RIGHT TO REQUEST SUBMITTALS AND/OR SHOP DRAWINGS FOR APPROVAL ON ANY AND ALL ITEMS SPECIFIC ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO STRUCTURAL, STEEL, STEEL REINFORCEMENT, DOOR HARDWARE, PLUMBING, ELECTRICAL FIXTURES AND HVAC EQUIPMENT. THE CONTRACTOR MUST SUBMIT (3) COPIES OF EQUIPMENT AND FIXTURE CUTS ON ITEMS THAT THE CONTRACTOR IS REQUESTING TO SUBSTITUTE FOR THE ITEMS SPECIFIED ON THE DRAWINGS.
- THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS ARE TO GUARANTEE WORK UNDER THEIR CONTRACT INCLUDING PARTS AND LABOR.
- PRIOR TO ANY EXCAVATION, THE GENERAL CONTRACTOR AND OR OWNER, IN ACCORDANCE WITH PUBLIC ACT 77-303, SHALL CONTACT "CALL BEFORE YOU DIG" @ 800-222-4455 FOR MARK OUT OF UNDERGROUND UTILITIES.

SECTION 2 : SITE WORK

- PLACEMENT OF FOOTINGS TO BE ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 4,000 P.S.F.
- NEW FOOTINGS SHALL REST ON UNDISTURBED SOIL. IF SOIL AND BEARING CAPACITY DOES NOT MEET OR EXCEED THE 4,000 S.F., NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- EXCAVATION SHALL BE PROTECTED FROM FROST DURING COLD WEATHER.
- PLACEMENT OF FLOOR SLABS AND PAVEMENTS ARE TO BE PLACED ON COMPACTED FILL AT 95% OF MAXIMUM DENSITY COMPLYING WITH ASTM D1557.
- BACK FILLING AND COMPACTION AT FOUNDATION WALLS AND PIERS ARE TO BE PERFORMED ON EACH SIDE SIMULTANEOUSLY. DIFFERENCES IN FILL ELEVATIONS ARE NOT TO EXCEED 6" ON EITHER SIDE OF THE FOUNDATION AT ANY TIME.
- SOIL FOR BACK FILLING AND COMPACTION ARE TO BE FREE OF ORGANIC MATERIAL, ROCK OR LUMPS GREATER THAN 6" OR PREDOMINATELY GRANULAR NON-EXPANSIVE SOILS, FREE OF ROOTS AND OTHER DELETERIOUS MATTER.
- SOIL MOISTURE TO BE WITHIN OPTIMUM MOISTURE CONTENT BEFORE COMPACTING MOISTEN OR AERATE EACH LAYER TO PROVIDE OPTIMUM MOISTURE CONTENT. ANY SOIL WHICH IS WET TO COMPACT MUST BE REMOVED, STOCKPILED AND ALLOWED TO DRY PRIOR TO PLACEMENT.
- PLACE BACK FILL IN LAYERS NOT TO EXCEED 18" IN LOOSE DEPTH.
- DO NOT PLACE BACK FILL MATERIALS ON SURFACES THAT ARE MUDDY, FROZEN, OR CONTAIN FROST.
- SITE CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT FOR EARTHWORK.
- SITE CONTRACTOR TO EXAMINE EXISTING SITE CONDITIONS, SOIL CHARACTERISTICS, CONTOURS, TREES AND UTILITY LOCATIONS, AND OTHER OBSTRUCTIONS THAT MAY BE ENCOUNTERED ON THE SITE DURING EXCAVATING.
- CLEARING AND GRUBBING: THE ENTIRE SITE IS TO BE CLEARED OF ALL VEGETATION, RUBBISH, FENCES, ABANDONED UNDERGROUND PIPES AND OBSTRUCTIONS.
- REMOVE ALL STUMPS, ROOTS, AND DEBRIS TO A DEPTH OF 24" IN THE AFFECTED AREA.
- STRIP ALL TOP SOIL AND ORGANIC SOIL FROM THE SITE. STOCK PILE STOCKPILE AWAY FROM BUILDING SITE.
- EXCAVATING AND TRENCHING OF UTILITY LINES IN LOCATIONS INDICATED ON THE SITE PLAN. DEPTHS TO BE AS REQUIRED FOR FROST PROTECTION, PITCH, AND UTILITY COMPANY REQUIREMENTS. (SEE SITE ENGINEER DWG.)
- IF AN UNSUITABLE SOIL IS DISCOVERED IN THE AREA UNDERNEATH OF THE NEW FOOTINGS (ORGANICS, LOOSE FILL, AND ETC.) SOIL SHALL BE REPLACED WITH COMPACTED FILL OF GRAVEL, OR CRASHED STONE. PLACE BACKFILL IN LOTS NOT EXCEEDING 9" IN LOOSE LIFT THICKNESS. NOTIFY THE ENGINEER BEFORE PROCEEDING WITH STRUCTURAL BACKFILL TO CONFIRM SUITABILITY OF BEARING STRAIN. FOUNDATION BACKFILL MATERIAL IS TO BE CONTROLLED FILL MATERIAL. A UNIFORM GRAYED MIXTURE OF SAND AND GRAVEL, WEIGHING NO LESS THAN 120 POUNDS DRY DENSITY AFTER ON-SITE COMPACTION. THE MIXTURE IS TO HAVE NO STONE GREATER THAN 3" ANY ONE DIMENSION AND IS TO HAVE LESS THAN 10% BY WEIGHT, PASSING A #200 SIEVE. THE FILL SHALL BE PLACED IN MAXIMUM LIFTS OF 8 INCHES BEFORE COMPACTION.
- AT THE APPROPRIATE TIME, THE SITE CONTRACTOR SHALL SPREAD STOCKPILED TOPSOIL OVER DISTURBED AREAS TO A MINIMUM THICKNESS OF 6" AFTER COMPACTION. GRADE TO MEET FINISHED GRADES AS INDICATED ON THE SITE PLAN (SEE SITE ENGINEER DWG.). TOPSOIL IS TO BE FREE OF ROCKS LARGER THAN 6" IN DIAMETER, TREE ROOTS AND STUMPS AND OTHER UNACCEPTABLE DEBRIS.
- ANY REMAINING TOPSOIL SHALL BE DISPOSED OF, AS PER OWNER.
- ALL INFORMATION PERTAINING TO SITE ENGINEERING REFER TO DOCUMENTS BY: TC MERRITTS LAND SURVEYORS - 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570.

SECTION 3 : CONCRETE CONTINUE

- STRUCTURAL CONCRETE: LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTES' BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-02).
- TWENTY-EIGHT DAY COMPRESSIVE STRENGTH FOR CONCRETE SHALL BE AS FOLLOWS:

FOOTINGS	3,500PSI
SLAB ON GRADE	3,500PSI
WALLS	3,500PSI
- ALL POURS ARE TO BE TERMINATED BY FORMS, PROVIDE KEYWAYS AS INDICATED ON THE DRAWINGS. ALL CONCRETE IS TO BE FORMED.
- ROD REINFORCEMENT: ASTM #615 GRADE 60. (GRADE 40 MAY BE USED FOR TIES AND STRRIPS).
- DETAILS WORKMANSHIP AND PROCEDURE: ACI 318 AND ACI 315.
- THE FOUNDATION SUBCONTRACTOR IS TO PROVIDE HIGH CHAIRS, SPACERS, SUPPORTS, ETC. AS NECESSARY FOR THE PROPER PLACEMENT OF THE REINFORCEMENT STEEL.
- PROVIDE CLEARANCES FROM FACES OF CONCRETE TO REINFORCEMENT AS FOLLOWS:

CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
EXPOSED TO EARTH OR WEATHER (#6 BAR OR SMALLER)	1 1/2"
EXPOSED TO EARTH OR WEATHER (#6 BAR OR LARGER)	2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH: SLABS, WALLS AND JOISTS	3/2"
BEAMS, GIRDERS, COLUMNS (PRINCIPAL REINFORCEMENT, TIES, STRIRUPS OR SPIRALS)	1 1/2"

- LENGTH OF REINFORCEMENT SPLICES ARE TO CONFORM TO A.C.I. BUILDING CODE REQUIREMENTS, BUT IN NO CASE ARE THE SPLICES TO BE LESS THAN 48 BAR DIAMETERS.
- MESH REINFORCEMENT: ASTM A-185 & A82.
- ALL SLABS ON: (SEE DETAILS FOR ACTUAL THICKNESS) MINIMUM 4" THICK REINFORCED WITH 6X6 - 10 / 10 WELDED WIRE FABRIC. PLACE ON VAPOR BARRIER AND 6" MIN OF COMPACTED GRAVEL. BACKFILL UNDER SLAB ON GRADE SHALL BE COMPACTED THOROUGHLY WITH GRANULAR CLEAN FILL IN LAYERS OF 12" MAXIMUM.
- W.W.F. IS TO LAP ONE FULL MESH SQUARE AT ALL SIDE AND END LAPS, AND BE WIGGED TOGETHER.
- PLACE A MINIMUM OF 4" CRUSHED STONE UNDER ALL SLABS ON GRADE. (OR AS INDICATED ON DRAWINGS)
- INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE, LAP ENDS A MINIMUM OF 6" AND TAPE.
- PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED A MAXIMUM OF 10' 0" O.C.
- PROVIDE 1/4" X 1" DEEP SAWN CUTS CUT INTO SLABS WITH 24 HOURS OF POUR OR FORMED JOINT FOLDED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.
- INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER ALL SLABS ON GRADE, LAP ENDS A MINIMUM OF 6" AND TAPE.
- PROVIDE EXPANSION JOINTS BETWEEN ALL SLABS AND VERTICAL SURFACES, BETWEEN SIDEWALK SLABS AND CURBS, SIDEWALK SLABS AND EXTERIOR WALLS AND IN SIDEWALK SLAB SPACED A MAXIMUM OF 10' 0" O.C.
- PROVIDE 1/4" X 1" DEEP SAWN CUTS CUT INTO SLABS WITH 24 HOURS OF POUR OR FORMED JOINT FOLDED WITH SEALER AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ARCHITECT.
- THE FOUNDATION CONTRACTOR IS TO ASCERTAIN THE LOCATIONS OF ALL SLEEVES, INSERTS, ANCHOR BOLTS AND EMBEDMENTS REQUIRED BY ALL OTHER TRADES. SUCH EMBEDMENTS ARE TO BE CHECKED FOR COMPLETENESS AND PROPER LOCATION PRIOR TO CONCRETE BEING PLACED.
- NOTIFY THE BUILDING DEPARTMENT @ LEAST 24 HOURS OR REQUIRED TIME PRIOR TO THE PLACEMENT OF CONCRETE FOOTINGS FOR REQUIRED INSPECTIONS.
- CURING OF CONCRETE IS TO START AS SOON AS THE FINISHES WILL NOT BE MARRED THEREBY, DELAYING THE CURING PROCESS WILL NOT BE PERMITTED.
- ALL COLD WEATHER CONCRETE TO BE PERFORMED IN ACCORDANCE WITH ALL RECOMMENDATIONS OF THE A.C.I. PROVIDE AND INSTALL TEMPORARY INSULATING BLANKETS AS REQUIRED TO PROTECT CONCRETE FROM FREEZING. NON-SHRINK GROUTS SUCH AS THOSE CONTAINING CALCIUM CHLORIDE MAY NOT BE USED.
- PROVIDE NON-SHRINK GROUT UNDER ALL LEVELING PLATES AND BEARING PLATES.
- APPLY TROWEL FINISH TO ALL MONOLITHIC SLAB SURFACES EXPOSED TO VIEW OR RECEIVING FLOORING. VARIATIONS IN FLOOR SLABS ARE NOT TO EXCEED 1/8" IN 10' 0" UNLESS SLAB PITCHES TOWARD FLOOR DRAIN.
- APPLY NON-SLIP BROOM FINISHES TO ALL EXTERIOR WALLS AND ELSEWHERE AS INDICATED ON THE DRAWINGS.
- INSTALL CONCRETE SLAB SEALER TO ALL INTERIOR SLABS EXPOSED TO VIEW NOT RECEIVING FINISHES TO PREVENT DUSTING U.N.S.
- PROVIDE MECHANICAL WATERPROOF SEALER @ ALL CONCRETE AND MASONRY FOUNDATION WALL PENETRATIONS. TEST FOR LEAKAGE PRIOR TO BACKFILL & FINISH.

SECTION 4 : MASONRY

- CONCRETE MASONRY UNITS (CMU) ARE TO BE GRADE "TY" TYPE "I" CONFORMING TO A.S.T.M. C-90 "HOLLOW LOAD BEARING UNITS". CMU WIDTHS FOR WALL THICKNESSES AS INDICATED ON THE DRAWINGS. PROVIDE CORNER, SASH, HALF HEIGHT AND ALL OTHER TYPES OF CMU REQUIRED TO COMPLETE MASONRY WALLS AS INDICATED.
- OBTAIN ALL CMU FROM ONE MANUFACTURER BEING OF UNIFORM SIZE, COLOR AND TEXTURE FOR EACH CMU TYPE REQUIRED FOR EACH CONTINUOUS AREA, AND EACH VERTICAL RELATED AREAS.
- STORE ALL CMU OFF GROUND TO PREVENT CONTAMINATION. COVER CMU (PROTECT FROM THE ELEMENTS).
- MORTAR IS TO BE TYPE "S" MORTAR IN CONFORMANCE WITH A.S.T.M. C-270 "MORTAR FOR UNIT MASONRY. AVERAGE COMPRESSIVE STRENGTH TO BE 1800 P.S.I. AT 28 DAYS.
- ALL CMU MASONRY WORK SHALL HAVE HORIZONTAL JOINT REINFORCEMENT "DUR-O-WAL" GALVANIZED STEEL TRUSS EVERY 2nd BLOCK. JOINT REINFORCEMENT IS TO BE PLACED IN FIRST AND SECOND BED JOINTS ABOVE AND BELOW OPENINGS. REINFORCEMENT IS TO BE LAPPED MINIMUM OF 6" REINFORCEMENT SIZED FOR CMU THICKNESS INDICATED.
- CMU IS TO HAVE "DUR-O-WAL" DUR-O-EYE 370 TRUSS REINFORCEMENT EVERY SECOND BLOCK COURSE VENEER TIES 18" O.C. REINFORCEMENT SIZED FOR CMU THICKNESS INDICATED.
- PROVIDE MECHANICAL WATERPROOF SEALER @ ALL CONCRETE AND MASONRY FOUNDATION WALL PENETRATIONS. TEST FOR LEAKAGE PRIOR TO BACKFILL & FINISH.
- PROVIDE "KOR-FIL" BLOCK INSULATION OR INJECTED FOAM INSULATION IN THE CORES OF CMU WALLS EXPOSED TO THE EXTERIOR AND AS NOTED.
- ALL MASONRY WALLS TO BE PROPERLY SHORED AGAINST WIND AND OTHER LATERAL LOADS UNTIL FLOOR AND ROOF CONSTRUCTION IS COMPLETELY INSTALLED. THE G.C. IS TO ASSUME FULL RESPONSIBILITY FOR MASONRY WALL STABILITY.
- PROVIDE ALL ANCHOR BOLTS WITH NUTS AND WASHERS, IN SIZES AND QUANTITIES INDICATED ON THE DRAWINGS. THAT ARE TO BE EMBEDDED INTO MASONRY. ANCHOR BOLTS ARE TO CONFORM TO THE STANDARDS OF A.S.T.M. A307.
- COORDINATE INSTALLATION OF ALL EMBEDMENTS PROVIDED BY OTHER TRADES.
- CONSTRUCT ALL OPENINGS, SLEEVES, CHASES, ETC. REQUIRED BY OTHER TRADES AND AS INDICATED ON THE DRAWINGS.
- EXTERIOR WALLS (2X6): 2" CLOSED CELL SPRAY INSULATION PLUS R-13 BATT = (R-27 TOTAL)
- FIEXTERIOR RM BOARD: 5" CLOSED CELL SPRAY INSULATION WITH MIN. R-35
- GI ATTIC ROOF: 7" CLOSED CELL TO THE UNDERSIDE OF ROOF WITH R-49 MIN.
- FROVIDE FIRE RETARDANT OVER MAT AS REQUIRED BY CODE & AS PER LOCAL CODE / INSPECTOR.
- INSTALL WIRE STRAP ATTENUATION FLANKER @ ALL INTERIOR WALLS, FLOORS AND CEILING, BY ROXUL "SAFE & SOUND"
- INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER CONCRETE SLAB ON GRADE
- ALL PERIMETER OF ROOF CORNICE AND VALLEYS SHALL HAVE ONE LAYER OF ICE AND WATER SHEILD BY GRACE OR APPROVED EQUAL @ MINIMUM 36" FROM SIDE OF EXTERIOR WALL (SEE DRAWINGS FOR LOCATION).
- FILL CMU CORES SOLIDLY WITH GROUT A MINIMUM OF THREE (3) COURSES UNDER EACH LINTEL BEARING PLATES, EMBEDMENTS, OR OTHER SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- ALL STEEL LINTELS TO BEAR A MINIMUM OF 4" ONTO SUPPORTS. PRECAST CONCRETE PRECAST CONCRETE UNITS ARE TO BEAR A MINIMUM OF 6" ONTO SUPPORTS (AS REQUIRED).
- PROVIDE VERTICAL AND HORIZONTAL CONTROL AND EXPANSION JOINTS IN ALL EXTERIOR MASONRY WALLS MAXIMUM SPACING TO BE 20'-0" O.C. PROVIDE SASH BLOCK UNITS AND DUR-O-WAL OR EQUAL PRE FORMED REGULAR RAPID CONTROL JOINTS. PROVIDE CONTROL AND EXPANSION JOINTS EVEN IF NOT SPECIFIED ON THE DRAWINGS.
- CALLING FOR CONTROL AND EXPANSION JOINTS TO BE G.E. SILICONE BASE SEALANT OR AN APPROVED EQUAL. INSTALL WITH APPROPRIATE FOAM BACKER ROD IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- THE CONTRACTOR IS TO PROTECT ALL MASONRY WALLS FROM COLD WEATHER. INSTALLATIONS TO PREVENT MORTAR FROM FREEZING.

SECTION 5 : STEEL / METALS CONTINUE

- CONSTRUCTION SHALL CONFORM TO AISC "MANUAL OF STEEL CONSTRUCTION", LATEST EDITION.
- MATERIALS FOR STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:
ASTM A36 SPECIFICATIONS FOR ROLLED STEEL.
ASTM A500, GRADE B FOR COILED STEEL TUBING.
- ALL BOLTED CONNECTIONS SHALL BE MADE USING A325-F BOLTS, 3/4" DIAMETER INSTALLED IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL JOINTS" USING A325 OR A490 BOLTS. UNLESS OTHERWISE DETAILED.
- STEEL CONCRETE REINFORCEMENT:
BARS: NEW BILLET STEEL, DEFORMED BARS, ASTM A 615, GRADE 60 AS NOTED ON DRAWINGS. WELDED WIRE FABRIC (WWF): ASTM A185, SIZES AS NOTED ON DRAWINGS.
- PROVIDE 1/2" DIAMETER THREADED ANCHOR BOLTS WITH NUT & WASHER AT 6" O.C. MAXIMUM. MINIMUM 2 PER PLATE TO ANCHOR EXTERIOR BOLLS AND 12" WITHIN ENDS OF EACH PLATE. ANCHOR BOLTS SHALL BE A307 STEEL. EMBEDMENT TO BE 6" FOR POURED CONCRETE, 15" FOR C.I.M.U. (SEE DETAIL DRAWINGS FOR SPECIFIED LENGTH).
- ALL STEEL SHALL BE SHOP PAINTED WITH GRAY ZINC CHROMATE PRIMER 2.0 MILS. IN THICKNESS, EXCEPT WHERE FIELD WELDING IS TO BE DONE. ALL WELDS AND BARE SPOTS SHALL RECEIVE TOUCHUP PAINTING.
- ALL COLUMNS UNLESS OTHERWISE NOTED, SHALL BE 3 1/2" DIAMETER (# 3 D.I.) STANDARD STEEL PIPE COLUMNS (SCHEDULE 40 TYP) WITH BEARING PLATES AT TOP AND BOTTOM WELDED TO COLUMN. PRIME COAT OF PAINT TO BE APPLIED AFTER WELDING.
- WORKMANSHIP: AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.

SECTION 6 : WOOD / PLASTICS

- ALL STRUCTURAL LUMBER WORK SHALL CONFORM WITH "NFA" NATIONAL DESIGN SPECIFICATIONS, AND THE STANDARDS OF AITC.
- SAWN LUMBER: DOUGLAS FIR STRUCTURAL GRADE #2. MOISTURE CONTENT FOR LUMBER SHALL NOT EXCEED 19 %.
- LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL) SHALL BE "MICRO-LAM" AND "PARALAM" TYPE BEAMS AND COLUMNS AS MANUFACTURED BY "LVELE" OR APPROVED EQUAL.
- ENGINEERED JOISTS SHALL BE "TJI" PRO TYPE AS MANUFACTURED BY "LVELE" OR APPROVED EQUAL. SIZE AND SPACING AS SHOWN.
- USE GALVANIZED "SIMPSON STRONG-TIE CONNECTORS" (OR EQUAL) AT ALL FLUSH FRAMING, AT ALL RAFTERS TO PLATE HURRICANE WIND CONNECTIONS, AND AS SHOWN ON DRAWINGS.
- ALL NAILING SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CT BUILDING AND IRC 2009 CODES AND 2013 AMENDMENT (SEE FASTENING SCHEDULE DWG. S-102).
- ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE OF KNOTS AND LARGE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZE INDICATED ON DRAWINGS.
- ALL WORKMANSHIP INCLUDING NAILING, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO THE NY STATE BUILDING CODE 2020.
- PROVIDE LEDGER, BLOCKING, NAILERS, AND ROUGH FRAMING HARDWARE AS REQUIRED.
- ALL NEW LUMBER SHALL BE DOUGLAS FIR LARCH, NO 2 OR BETTER, WITH MIN. FB-900 PSI & E 1,600,000 PSI.
- ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING AND BE KILN DRY.
- ALL BEAMS AND JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.
- PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF OPENINGS UNLESS OTHERWISE NOTED ON PLANS.
- PLYWOOD AND OR ENGINEERED SHEATHING FOR SUBFLOOR SHALL BE 3/4" 1/2" ON WALLS AND 5/8" ROOF SURFACES APA-C PLUGGED EXTERIOR OR APA UNDERLAYMENT EXTERIOR. INDEK STAMP SHALL BE VISIBLE ON ALL SHEETS. (OR AS INDICATED ON FRAMING DRAWINGS)
- ENGINEERED GIRD SHEATHING SHALL BE GLUED AND SCREWED TO JOISTS @ 6" O.C. AT EXTERIOR EDGES AND 12" 12" ON CENTER AT INTERMEDIATE SUPPORT.
- USE PLY CLIPS OR OTHER EDGE SUPPORT FOR ALL PLYWOOD SHEATHING.
- PLACE FACE GRAIN IN DIRECTION OF SPAN (TRAVEL TO JOIST SPAN).
- LEAVE 1/16" SPACE AT ALL PLYWOOD PANEL AND JOINTS AND 1/16" SPACE AT ALL PANEL EDGE JOINTS.
- PROVIDE SOLID BLOCKS EVERY 8'-0" BOTTOM ENDS OF BRIDGINS SHALL NOT BE WAILED UNTIL AFTER ENTIRE STRUCTURE IS COMPLETE. AS PER ENGINEERED FLOOR SYSTEM MANUF. RECOMMENDATION.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- WOOD PLATES AND BOLLS IN CONTACT WITH CONCRETE FOUNDATION WALLS AND CONCRETE SLABS SHALL BE PRESSURE TREATED WOOD.

SECTION 7 : THERMAL & MOISTURE

- PROVIDE PROTECTION DRAM BOARD OVER WATERPROOF MEMBRANE @ FOUNDATION WALLS - APPLY AS PER MANUFACTURE SPECIFICATION AND RECOMMENDATION (SEE DRAWINGS AND DETAILS).
- PROVIDE 6" PERFORATED PVC FOOTING DRAINS INSIDE & OUTSIDE OF FOUNDATION WALL WITH CRUSHED STONE WRAPPED WITH FILTER FABRIC ALONG FOOTING. FITCH TO STORM WALLS. AS REQUIRED AND PER EXISTING CONDITION. VERY EXISTING IN THE FIELD (SEE SITE DRAWINGS).
- ALL WINDOWS AND DOORS TO BE WEATHER STRIPPED, FLASHED AND CAULKED.
- ALL SEALANTS TO BE SILICONE, COLOR TO MATCH SURROUNDING MATERIALS.
- ALL METAL FLASHING AND METAL ROOF SHALL BE COPPER INSTALL AS PER MANUFACTURE SPECIFICATION AND RECOMMENDATION.
- USE COPPER METAL FLASHING AT WINDOWS AND DOOR HEADS, DOOR PAN, OPEN VALLEY, DRIP EDGE, TOP OF SKIRTS, CHIMNEY FLASHING AND STEP FLASHING.
- ALL ROOF TO ROOF AND ROOF TO WALL JOINTS TO BE FLASHED WITH COPPER.
- EXTERIOR STUCCO TO BE INSTALLED AS PR THE STUCCO MANUFACTURES ASSOCIATION RECOMMENDATION AND BEST PRACTICE.
- PROVIDE WALL "TYVEK STUCCO WRAP", INSTALL AS PER MANUFACTURE SPECIFICATION AND BEST PRACTICE.
- ALL INSULATION TO BE MINIMUM OF THE FOLLOWING: (SEE DRAWINGS AND RESHECK REPORT FOR TYPE AND LOCATIONS)

AGRAWAL SPACE FLOOR	2" CLOSED CELL SPRAY INSULATION R-14 (2" MINIMUM)
BASEMENT SLAB	N/A
C/BASEMENT/CRAWL SPACE WALL	2" CLOSE CELL SPRAY INSULATION R-14 (2" MINIMUM)
DIEXTERIOR WALLS (2X4):	3" CLOSED CELL SPRAY INSULATION PLUS R-21
EXEXTERIOR WALLS (2X6):	2" CLOSED CELL SPRAY INSULATION PLUS R-13 BATT = (R-27 TOTAL)
FIEXTERIOR RM BOARD:	5" CLOSED CELL SPRAY INSULATION WITH MIN. R-35
GI ATTIC ROOF:	7" CLOSED CELL TO THE UNDERSIDE OF ROOF WITH R-49 MIN.
FROVIDE FIRE RETARDANT OVER MAT AS REQUIRED BY CODE & AS PER LOCAL CODE / INSPECTOR.	
INSTALL WIRE STRAP ATTENUATION FLANKER @ ALL INTERIOR WALLS, FLOORS AND CEILING, BY ROXUL "SAFE & SOUND"	
INSTALL 6 MIL POLYETHYLENE VAPOR BARRIER UNDER CONCRETE SLAB ON GRADE	
- ALL PERIMETER OF ROOF CORNICE AND VALLEYS SHALL HAVE ONE LAYER OF ICE AND WATER SHEILD BY GRACE OR APPROVED EQUAL @ MINIMUM 36" FROM SIDE OF EXTERIOR WALL (SEE DRAWINGS FOR LOCATION).

SECTION 8 : WINDOWS & DOORS

- SEE ARCHITECTURAL DRAWINGS AND SCHEDULES FOR SPECIFICATIONS OF ALL EXTERIOR AND INTERIOR WINDOWS AND DOORS.
- ALL GLAZING IN DOORS, SHOWER / TUB ENCLOSURE AND DOORS, FIXED SIDE LIGHTS AND INTERIOR PARTITIONS WHERE SUCH GLAZING EXTENDS TO WITHIN 6" OF FLOOR LEVEL, TO BE SHAT THERMOPROOF TYPE GLASS, TEMPERED OR LAMINATED AS PER CODE REQUIREMENTS.

SECTION 9 : FINISHES

- SEE ARCHITECTURAL DRAWINGS AND FINISH / MATERIAL SCHEDULES FOR SPECIFIC FINISHES OF FLOORS, WALLS AND CEILINGS FOR THE INTERIORS.
- ALL INTERIOR DRYWALL SURFACE TO BE 5/8" TYPE "X" OR (AS NOTED ON PLANS) AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 2 FINISHED PAINT COAT.
- ALL INTERIOR G.I.B. WALLS INDICATED AS HAVING A FIRE RESISTANT RATING SHALL BE 5/8" TYPE "X" GYPSUM BOARD.
- ALL BATHROOM WALLS, WET AREAS, AND LAUNDRY ROOMS SHALL HAVE 5/8" WATER-RESISTANT GYPSUM WALL BOARD AND SHALL RECEIVE 3 (THREE) COATS OF JOINT COMPOUND, TAPED AND SPACKLED, SANDED, PRIMED AND READY TO RECEIVE 2 FINISHED PAINT COAT.
- ALL SHOWERS, TUB AREAS, WALLS OR CEILINGS DESIGNATED TO RECEIVE A TILE FINISH SHALL HAVE CEMENTITIOUS BACKER BOARD WITH 3 (THREE) COATS CEMENT BOARD JOINT COMPOUND AND JOINT MESH AS REQUIRED PRIOR TO TILE APPLICATION.
- ALL FLOORS DESIGNATED AS A MID JOB APPLICATION FOR A TILE FLOOR SHALL HAVE 30 # FELT PAPER OVER PLYWOOD SUBFLOOR, WIRE LATH WITH A MINIMUM OF 1 1/4" THICK CEMENT. CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH MID JOB FINISHED FLOOR.
- ALL FLOORS DESIGNATED AS A THIN SET APPLICATION FOR A TILE FLOOR SHALL HAVE 1/2" CEMENTITIOUS BOARD OVER PLYWOOD SUBFLOOR. CONTRACTOR SHALL COORDINATE FRAMING AS REQUIRED FOR ALL ADJACENT FINISHED FLOORS TO BE FLUSH AND LEVEL WITH THIN SET FINISHED FLOOR.
- ALL FLOORS DESIGNATED AS FINISHED WOOD FLOORS SHALL HAVE ROBIN PAPER OVER 1/4" WOOD SUBFLOOR AND SHALL RECEIVE 1 (ONE) COAT OF SEALER AND A MINIMUM OF 2 (TWO) COATS OF POLYURETHANE. CONTRACTOR SHALL COORDINATE.
- ALL EXTERIOR "AZEK" TRIM FOR WINDOWS AND DOORS, FASCIAS, FREEZES, MOLDINGS, PANELS, ETC. SHALL BE SECURED USING STAINLESS STEEL FINISH FASTENERS - AS PER MANUFACTURE RECOMMENDATION AND BEST PRACTICE.
- EXTERIOR WALL STUCCO TO BE INSTALLED AS PR THE STUCCO MANUFACTURES ASSOCIATION RECOMMENDATION AND BEST PRACTICE.

SECTION 10: SPECIALTIES

- NO WORK UNDER THIS SECTION.

SECTION 11: EQUIPMENT

- ALL KITCHEN APPLIANCES AND LAUNDRY EQUIPMENT IS TO BE SELECTED BY THE OWNER. THE CONTRACTOR SHOULD INCLUDE THE COST OF INSTALLATION OF THIS EQUIPMENT AND COST OF ALL MECHANICAL AND/OR ELECTRICAL CONNECTIONS FOR A COMPLETE INSTALLATION.

SECTION 12: FURNISHING

- NO WORK UNDER THIS SECTION.

SECTION 13: SPECIAL CONST.

- NO WORK UNDER THIS SECTION.

SECTION 14: CONVEYING SYSTEM

- NO WORK UNDER THIS SECTION.

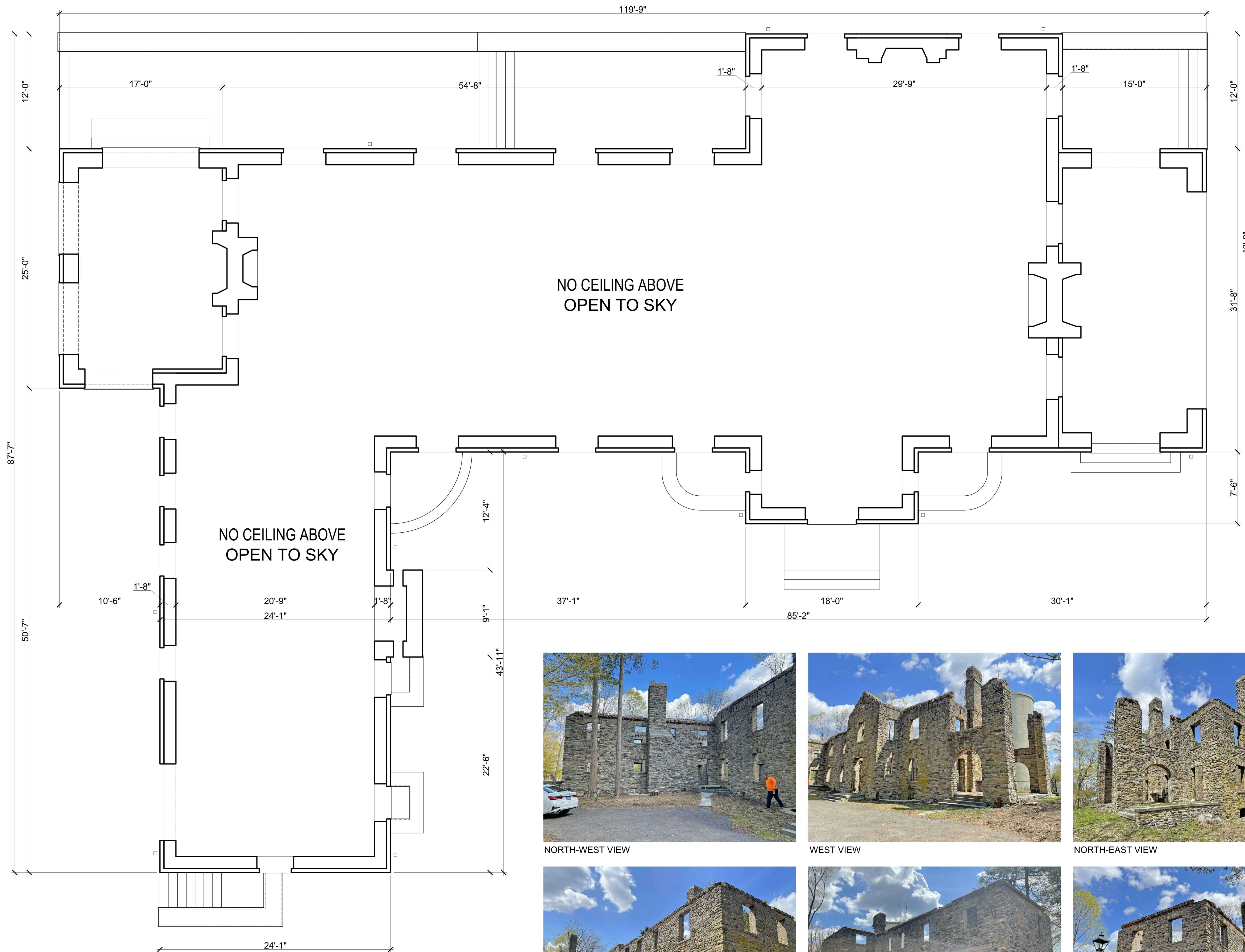
SECTION 15: MECHANICAL & PLUMBING

- PROVIDE NEW HVAC SYSTEM WITH SEPARATE ZONES & INSTALL THERMOSTATS AS REQUIRED. PROVIDE HOT WATER HEATING SYSTEM. SYSTEMS TO BE DESIGNED BY HVAC SUB CONTRACTOR TO MEET ALL APPLICABLE CODES.
- HVAC CONTRACTOR TO PROVIDE SIZING CALCULATIONS FOR (BTU) REQUIREMENT. PROVIDE EFFICIENT FURNACE UNIT SIZE WITH MODEL # AND SYSTEM. (TO BE APPROVED BY OWNER).
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL PLUMBING RELATED FIXTURES, VENTILATION, HEATING AND AIR CONDITIONING. ALL WORK SHALL COMPLY WITH THE 2020 INTERNATIONAL MECHANICAL CODE AND LOCAL CODE (IF APPLIED BY LOCAL JURISDICTION). SUBCONTRACTORS SHALL COORDINATE WORK WITH ALL TRADES.
- HEATING, FRESH AIR EXCHANGER AND A.C. EQUIPMENT SHALL BE 50' 0" SIZED AND INSTALLED TO MAINTAIN 68 DEGREE F INDOOR TEMPERATURE WITH 0 DEGREES F. OUTDOOR TEMPERATURE.
- ALL HEATING AND AIR CONDITIONING, ACCESSORIES AND APPURTENANCES SHALL BE U.L. LISTED AND INSTALLED IN ACCORDANCE WITH SAME.
- BATHROOM, KITCHEN AND DRYERS SHALL BE EXHAUSTED TO THE EXTERIOR IN ACCORDANCE WITH THE 2020 INTERNATIONAL MECHANICAL CODE AND MANUFACTURER SPECIFICATIONS.
- MECHANICAL ROOM SHALL BE VENTED WITH FRESH AIR INTAKES IN ACCORDANCE WITH MECHANICAL CODE.
- ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE 2020 INTERNATIONAL PLUMBING AND LOCAL CODE HAVING JURISDICTIONS AND BEST PRACTICE.
- PROVIDE SHUT OFF VALVES ALL ALL FIXTURES AND APPLIANCES.
- ALL PLUMBING PIPING TO COMPLY WITH LOCAL CODE. INSULATE HOT AND COLD WATER SUPPLY PIPING.
- PROVIDE NON FREEZE OUTDOOR HOSE BIBS WHERE INDICATED ON PLANS, OR AS DIRECTED BY OWNER. PLUMBING CONTRACTOR TO INCLUDE FOUR (4) NON FREEZE HOSE BIBS FOR AS PER OWNER G.C. AGREEMENT.
- NO WATER, SOIL OR WASTE LINES SHALL BE EXPOSED IN UNINSULATED AND UNHEATED SPACES IN THE CRAWL SPACE OR BASEMENT. WATER SERVICE SHALL BE PROTECTED FROM FREEZING WHERE EXPOSED IN UNHEATED SPACES.
- PITCH WALL LINES TO LOW POINT TO DRAIN AND PROVIDE DRAIN VALVE.
- GAS SYSTEM TO COMPLY WITH WITH THE 2020 INTERNATIONAL FUEL GAS CODE.
- GAS PIPING, FITTINGS, VALVES HANGERS, ETC. TO COMPLY WITH CODES HAVING JURISDICTION.
- PLUMBING CONTRACTOR SHALL INCLUDE IN BASE BID ALL PLUMBING FIXTURES & INSTALLATION AS INDICATED ON DRAWINGS INCLUDING ALL FITTINGS REQUIRED FOR PROPER WORKING CONDITIONS. PLUMBING FIXTURE TO BE SELECTED BY OWNER. PROVIDE PRICING ALLOWANCES FOR FIXTURES.
- A-301 BUILDING SECTIONS
- A-302 BUILDING SECTIONS
- A-401 WALL SECTIONS & DETAILS
- A-402 WALL SECTIONS & DETAILS
- A-501 SCHEDULES

ZONING INFORMATION			
ZONE: R-1.5A	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	65,340 S.F.	67,980.70 S.F.	NO CHANGES
MIN. LOT WIDTH	150'	285 +/-	NO CHANGES
MIN. LOT DEPTH	150'	218 +/-	NO CHANGES
FRONT YARD	50'	19' +/-	NO CHANGES
SIDE YARD	30'	52.45'	NO CHANGES
REAR YARD	40'	15.69'	NO CHANGES
MAX. STORIES / HEIGHT	-- 30'	-- 30' +/-	NO CHANGES
MAX. BUILDING COVERAGE	10%	11.45%	NO CHANGES
	6,534 S.F.	7,480 S.F. +/-	

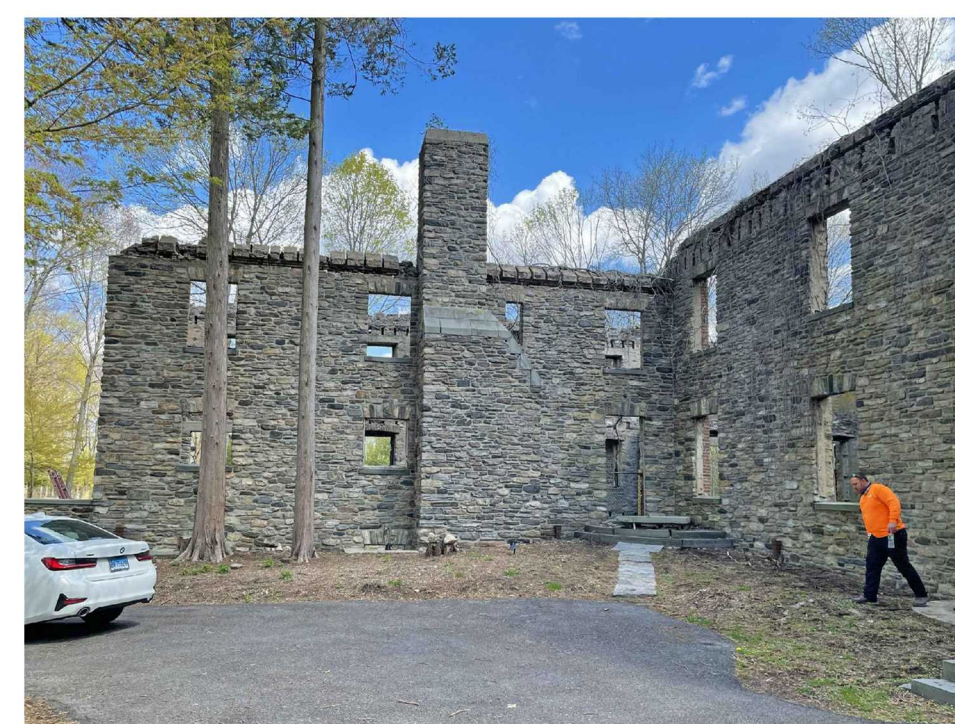
SECTION 16 : ELECTRICAL

- SEE LIGHTING PLANS FOR LOCATION AND DESIGN PURPOSE ONLY (OR AS PER OWNER G.C. AGREEMENT).
 - ALL ELECTRICAL WORK IS TO CONFORM WITH THE 2020 INTERNATIONAL RESIDENTIAL CODE. THE ELECTRICAL CONTRACTOR (E.C.) IS TO OBTAIN ALL PERMITS IN CONNECTION WITH THE ELECTRICAL WORK REQUIRED.
 - THE ELECTRICAL CONTRACTOR (E.C.) TO OBTAIN ALL PERMITS IN CONNECTION WITH THE ELECTRICAL WORK REQUIRED.
 - THE E.C. SHALL VERIFY ALL CONDITIONS IN CONNECTION WITH THE ELECTRICAL WORK SPECIFIED PRIOR TO SUBMITTING BID. NOTIFY THE ARCHITECT AND THE OWNER OF ANY DISCREPANCIES.
 - THE E.C. SHALL VERIFY THE EXISTING ELECTRICAL SERVICE AND REQUIRED DEMANDS TO CONFORM TO THE LOCAL UTILITY COMPANY REQUIREMENTS. THE E.C. IS TO ARRANGE FOR AND PAY ALL FEES TO OBTAIN ELECTRICAL SERVICE FROM UTILITY COMPANY OR AS PER AGREEMENT WITH OWNER.
 - THE E.C. TO COORDINATE FINAL LAYOUT / LOCATION OF LIGHTING, SWITCHES, OUTLETS ETC. WITH OWNER.
 - ALL ELECTRICAL FIXTURES AND EQUIPMENT TO BE UNDER THE UNDERWRITERS LABORATORY (U.L.) LABELS.
 - ALL LIGHT FIXTURES TO BE SELECTED BY THE OWNER.
 - SERVICE PANEL BOARDS AND SUB PANELS TO BE MANUFACTURED BY GENERAL ELECTRIC OR AN APPROVED EQUAL. PANEL BOARDS TO HAVE NUMBER AND SIZE OF CIRCUIT BREAKERS AS REQUIRED.
 - THE E.C. TO FILL IN PANEL DIRECTORIES FOR ALL PANELS TO CONFORM TO FINAL ARRANGEMENT OF CIRCUITS.
 - THE E.C. TO COORDINATE ELECTRICAL CONNECTIONS WITH ALL OTHER TRADES SUPPLYING ELECTRICAL EQUIPMENT UNDER THEIR CONTRACTS.
 - IF REQUESTED BY OWNER, PROVIDE ALL HIGH AND LOW VOLTAGE (CONTROL) WIRING FOR ELECTRICAL EQUIPMENT TO BE AGREED WITH OWNER PRIOR TO COMMENCING WORK.
 - THE E.C. TO PROVIDE TEMPORARY POWER AND LIGHTING AS REQUIRED TO INSURE THE SAFETY OF ALL PERSONNEL AND POWER REQUIREMENTS FOR ALL TRADES.
 - THE E.C. TO FIRE STOP ALL ELECTRICAL PENETRATIONS THROUGH FLOORS AND WALLS BY FILLING ALL VOIDS, GAPS, AND OPENINGS USING APPROVED FIRE STOPPING MATERIALS.
 - ALL SWITCHES/DIMMER ARE TO BE MOUNTED 45" 2" A.F.F. TO CENTERLINE OF SWITCH/DIMMER. MULTIPLE SWITCHES AND/OR DIMMERS ARE TO BE GANGED AND PROVIDED WITH SINGLE GANG PLATE.
 - ALL WALL OUTLETS TO BE PLACED WITHIN BASE (DETERMINE WITH OWNER WITH FINAL SELECTION OF BASE AND CENTERLINE).
 - THE E.C. TO OBTAIN AND PAY FEE FOR ALL CERTIFICATES OF INSPECTION BY THE BOARD OF FIRE UNDERWRITERS, AND ALL BOARDS OR AGENCIES HAVING JURISDICTION. SUBMIT COPIES OF THE CERTIFICATE OF INSPECTION TO THE OWNER PRIOR TO REQUEST FOR FINAL ACCEPTANCE AND PAYMENT.
- | DESIGN LOADS | |
|---|-----------|
| A - ROOF LOADS: NEW ONLY | |
| LIVE LOAD: | 30# PSF |
| DEAD LOAD: | 15# PSF |
| B - ALL FLOORS: NEW ONLY | |
| LIVE LOAD: | 40# PSF |
| DEAD LOAD: | 15# PSF |
| C - OUTDOOR TERRACES & PORCHES OVER FINISH SPACES: NEW ONLY | |
| LIVE LOAD: | 60# PSF |
| DEAD LOAD: WOOD FRAMING | 20# PSF |
| D - GROUND SNOW LOAD: | 30# PSF |
| E - MINIMUM ASSUMED SOIL BEARING: | 4,000 PSF |
- | SHOP DRAWINGS: | |
|----------------|-------------------------|
| INTERIOR | STEEL |
| JST | JOIST |
| LAV | LABORATORY |
| LGT | LIGHTING |
| LVL | LAMINATED VENEER LUMBER |
| M.O. | MASONRY OPENING |
| MAS. | MASONRY |
| MAT. | MATERIAL |
| MAX. | MAXIMUM |
| MCH. | MECHANICAL |
| MFL. | MANUFACTURER |
| MIN. | MINIMUM |
| MISC. | MISCELLANEOUS |
| MTL. | METAL |
| ML. | MELT |
| N.A. | NOT APPLICABLE |
| N.I.C. | NOT IN CONTRACT |
| N.T.S. | NOT TO SCALE |
| NO. | NUMBER |
| NOM. | NOMINAL |
| O.C. | ON CENTER |
| O.D. | OUTSIDE DIAMETER |
| O.H. | OVER HANG |
| OH | OVER HEAD |
| OPEN. | OPENING |
| PL. @ # | OVERLAY LINE |
| T & G | TONGUE AND GROOVE |
| T.B. | THROUGH BOLT |
| T.O.M. | TOP OF MASONRY |
| | |

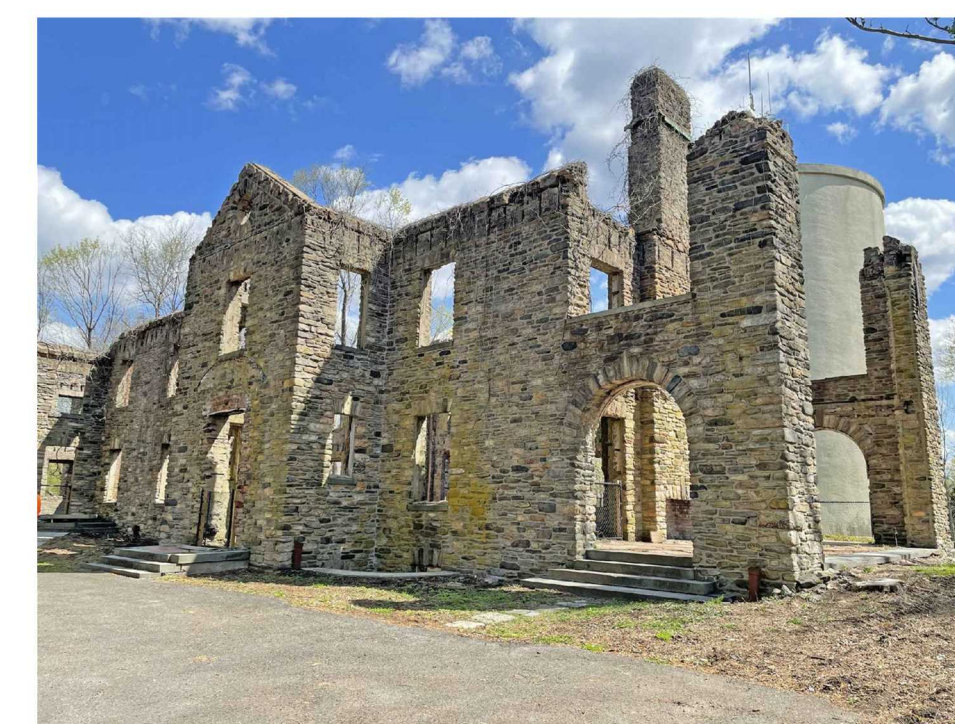


**FIRST FLOOR PLAN
EXISTING**
SCALE: 3/16" = 1'-0"

- REMOVAL NOTES:**
- DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, PLUMBING FIXTURES, CASEWORK, ETC. TO BE REMOVED.
 - THE CONTRACTOR SHALL NOT CONSIDER REMOVAL AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONSTRUCTION DOCUMENTS.
 - REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING REMOVAL.
 - THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
 - MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES. FIRE ALARM AND SMOKE DETECTION SYSTEM SHALL REMAIN OPERATIONAL AT ALL TIMES. PROTECT SMOKE DETECTORS AS REQUIRED AND IN CONFORMANCE WITH CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.
 - ALL REMOVAL SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.
 - THOROUGHLY CLEAN ADJACENT AREAS OF DUST, DIRT AND DEBRIS CAUSED BY REMOVAL WORK BEFORE NEW WORK BEGINS. RETURN ADJACENT AREAS TO CONDITION FOUND PRIOR TO START OF REMOVAL WORK.
 - PROVIDE TEMPORARY PARTITIONS/DUST PROTECTION (RATED AND/OR NON-RATED) AS REQUIRED. REVIEW LOCATIONS OF TEMPORARY PARTITIONS/DUST PROTECTION WITH OWNER AND ARCHITECT PRIOR TO START OF WORK.
 - HAZARDOUS MATERIAL: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED AND ADHERE TO ALL PERTAINING AGENCIES AND GOVERNMENT COMPLIANCE.
 - ALL WORK SHALL BE DONE IN PROTECTED SPACE. NO DUST OR DIRT SHALL TRAVEL FROM CONSTRUCTION AREA TO ADJACENT AREAS OR PROPERTIES. TEMPORARY DUST PROTECTION SHALL BE ERECTED PRIOR TO START OF WORK.
 - PRIOR TO ANY REMOVAL, THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND MAINTAIN STRUCTURAL INTEGRITY OF THE REMAINING DWELLING STRUCTURAL ELEMENTS. O.C. SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT FRAMING DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC. WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
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 - ANY FLOOR OPENINGS SHALL BE COVERED & PROTECTED DURING REMOVAL AND CONSTRUCTION PHASE.
 - THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
 - REFUSE FROM DEMOLITION SHALL BECOME PROPERTY OF THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL CONSTRUCTION REFUSE LEGALLY.
 - REMOVE AND DISCONNECT AS PER CODE ALL EXISTING ELECTRIC, TELEPHONE, ALARM CONDUIT, WIRING, RECEPTACLES, LIGHT FIXTURES, PANELS AND EQUIPMENT IMPACTED BY PROPOSED WORK.
 - REMOVE AND DISCONNECT AS PER CODE ALL EXISTING PLUMBING, SANITARY, STORM, SUPPLY AND GAS RISERS IF EXISTING. VALVES AND PIPING IMPACTED BY PROPOSED WORK.
 - ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED AS PER APPLICABLE CODES.
 - REMOVE IN ITS ENTIRETY ALL LIGHT FIXTURES AND STORE ON SITE IF FLAGGED TO BE REUSED.
 - REMOVE ALL FLOOR FINISH IN ITS ENTIRETY IMPACTED BY PROPOSED CONSTRUCTION PLAN.
 - REMOVE ALL ELECTRICAL OUTLETS, TELEPHONE JACKS AND EMERGENCY LIGHTS IMPACTED BY PROPOSED CONSTRUCTION PLAN.
- SAFETY & SHORING NOTES:**
- SAFE ACCESS OF ALL WORKERS, PEDESTRIANS AND OWNER SHALL BE MAINTAINED AT ALL TIMES BY THE GENERAL CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN SAFE MEANS OF ACCESS TO AND FROM ALL POINTS OF CONSTRUCTION SITE AND CONFORM TO OSHA STANDARDS AND ALL APPLICABLE CODES.
 - CONSTRUCTION SITE SAFETY SHALL BE THE CONCERN AND RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS.
 - CONTRACTOR SHALL PROVIDE ADEQUATE SHORING DURING CONSTRUCTION AS REQUIRED BY OSHA, ALL APPLICABLE CODES AND BEST PRACTICE.



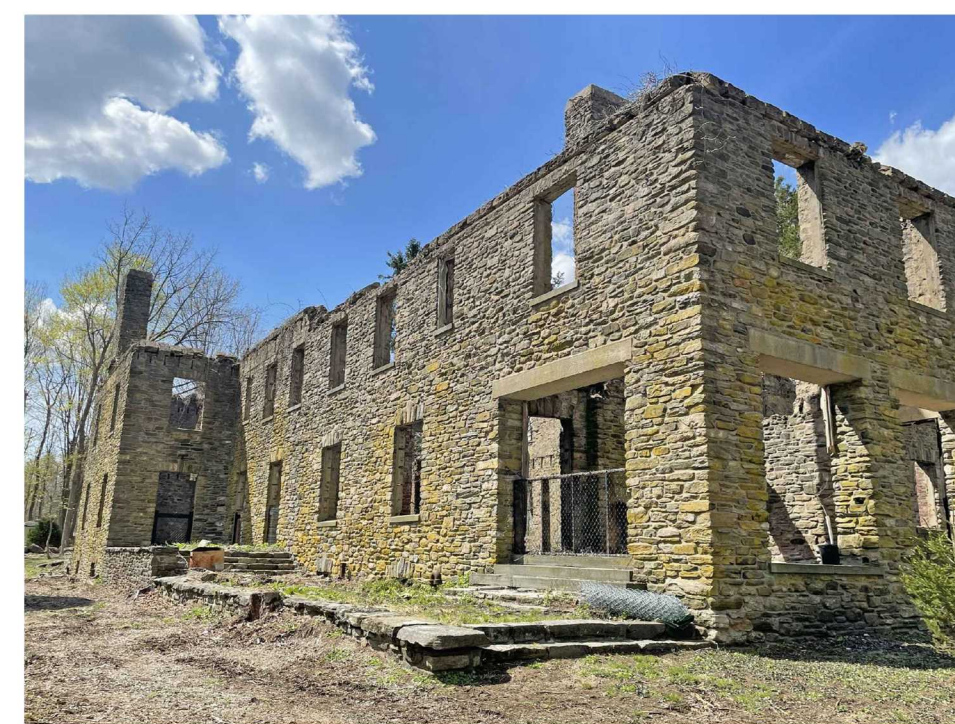
NORTH-WEST VIEW



WEST VIEW



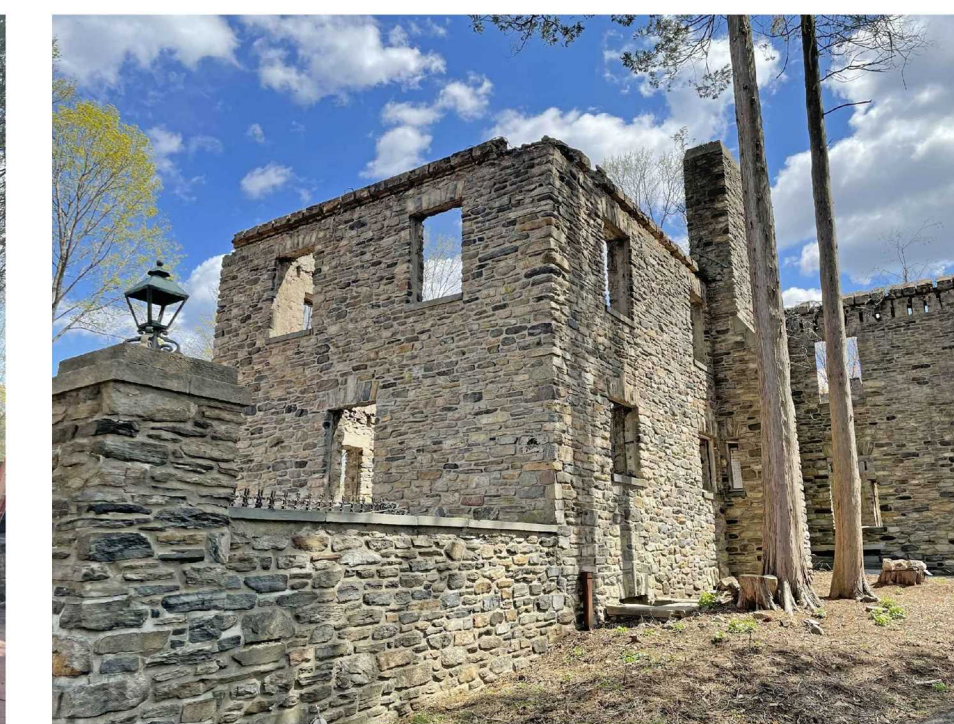
NORTH-EAST VIEW



SOUTH-EAST VIEW



SOUTH-WEST VIEW



WEST-NORTH-WEST VIEW

EXISTING CONDITION IMAGES

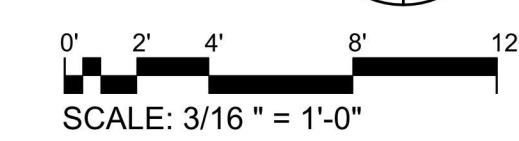
ISSUE/REVISION	DATE	COMMENT
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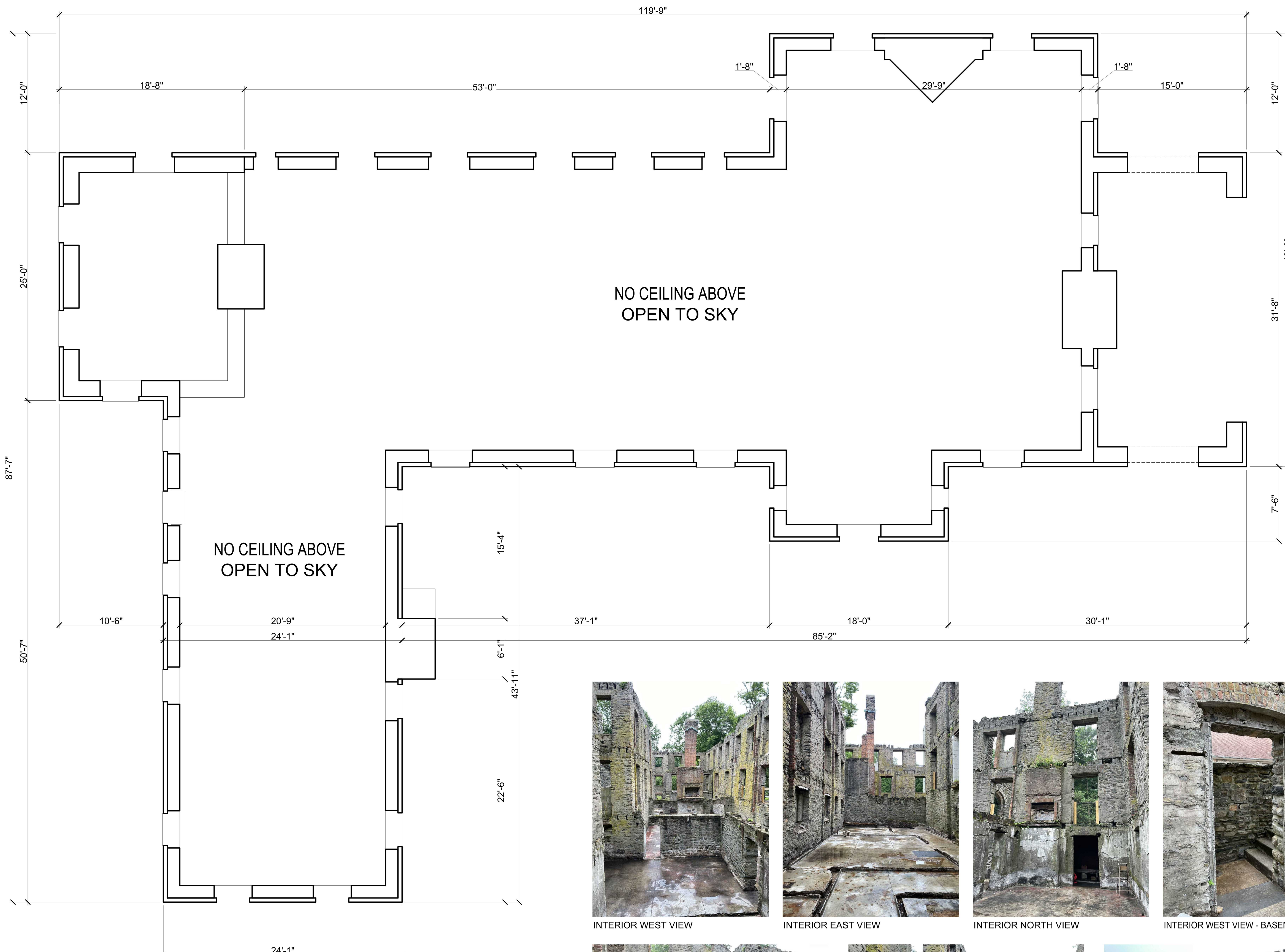
**ARPAIA ASSOCIATES, P.C.
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136 NORTH WATER STREET,
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**PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION**
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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PROJECT NO.:
DRAWING BY: O.O. / N.A.
CHECKED BY: N.A.
DWG NO.:
EX-102
SEAL & SIGNATURE



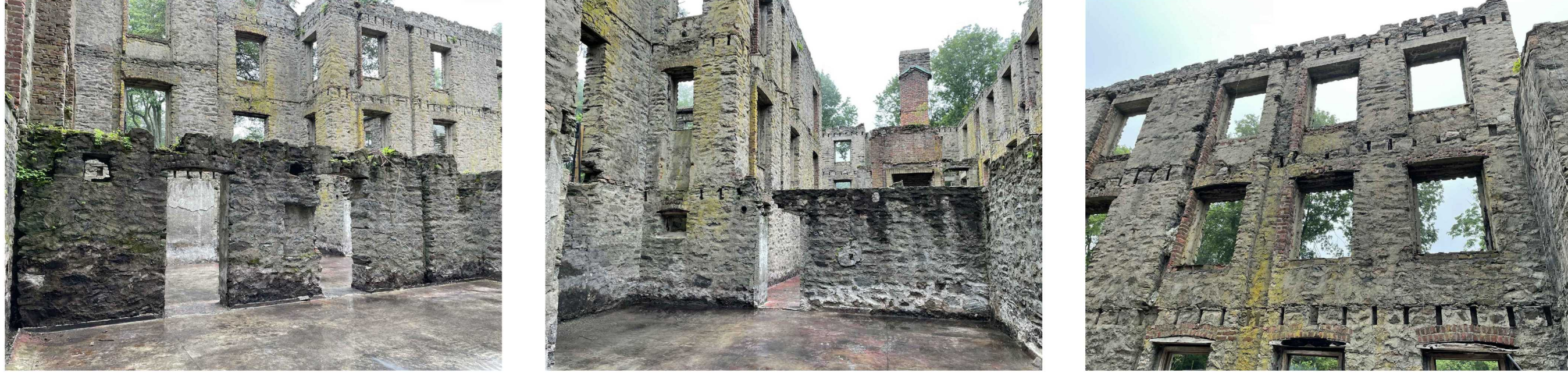


**SECOND FLOOR PLAN
EXISTING**
SCALE: 3/16" = 1'-0"

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INTERIOR WEST VIEW INTERIOR EAST VIEW INTERIOR NORTH VIEW INTERIOR WEST VIEW - BASEMENT DOOR



INTERIOR WEST VIEW INTERIOR NORTH VIEW INTERIOR EAST VIEW

EXISTING INTERIOR CONDITION IMAGES

ISSUE/REVISION	DATE	COMMENT
	3.17.2023	PLANNING AND ZONING REVIEW AND APPROVAL
	10.25.222	BOARD OF HEALTH
	1.24.2022	ISSUED FOR ED SILVA STRUCTURAL REVIEW
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	11.11.2021	ISSUED FOR CLIENT REVIEW ONLY
	10.22.2021	ISSUED FOR CLIENT REVIEW ONLY
	9.28.2021	ISSUED FOR CLIENT REVIEW ONLY
	8.18.2021	ISSUED FOR CLIENT REVIEW ONLY
	7.21.2021	ISSUED FOR CLIENT REVIEW ONLY

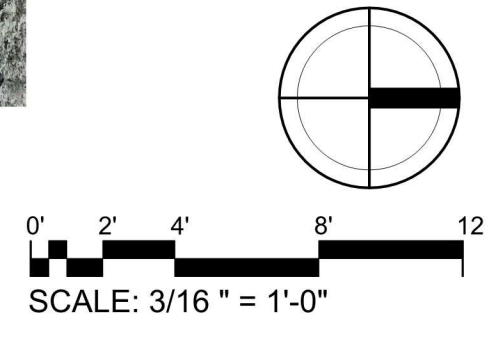
**ARPAIA ASSOCIATES, P.C.
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136 NORTH WATER STREET,
GREENWICH, CT 06830
Tel : 203.313.6956
EMAIL: NICK@ARPAIAASSOCIATES.COM WEB SITE: WWW.ARPAIAASSOCIATES.COM

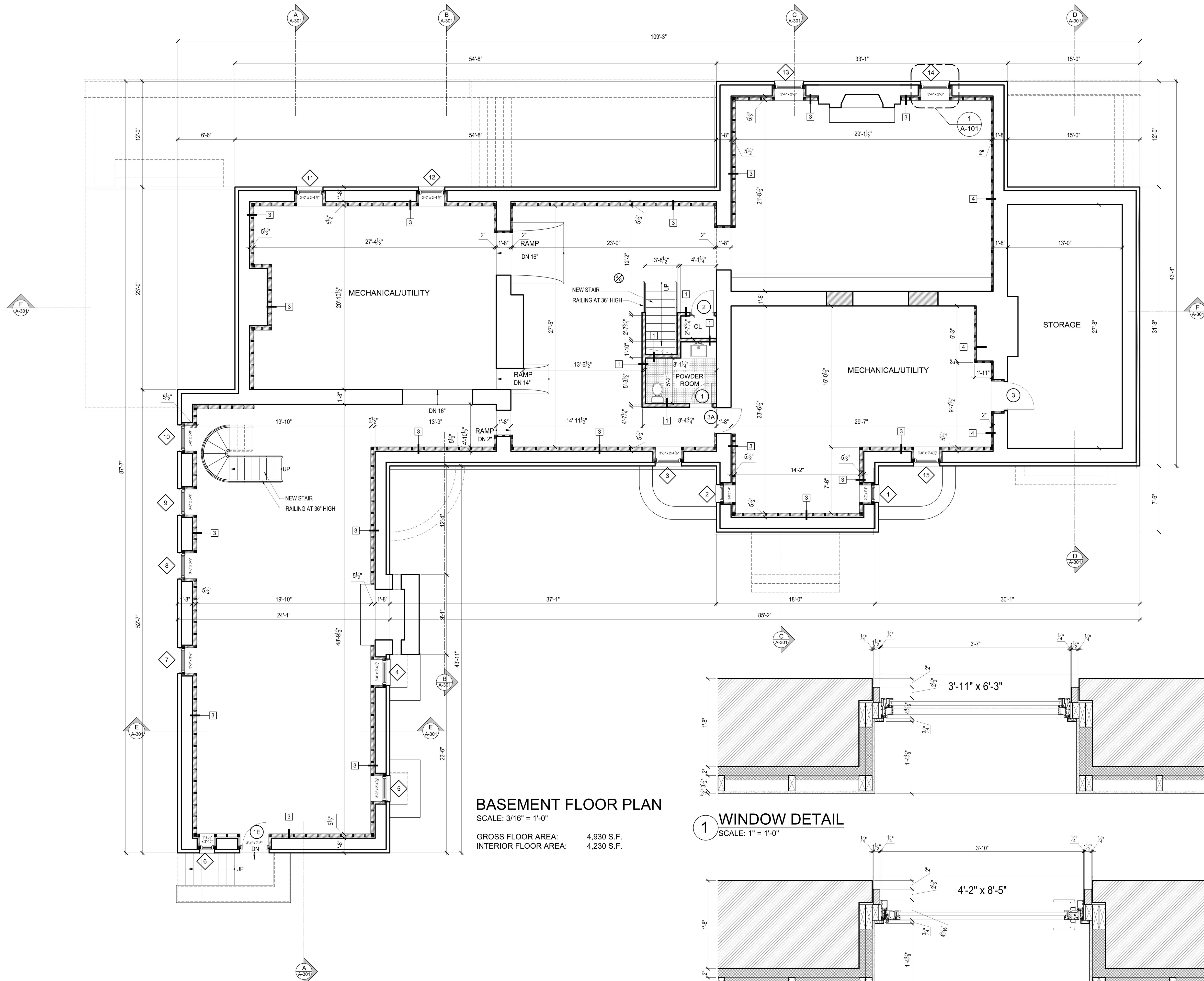
**PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION**
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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DATE: 4.30.2021
PROJECT NO.:
DRAWING BY: O.O./N.A.
CHECKED BY: N.A.
DWG NO.:
EX-103
SEAL & SIGNATURE





BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 4,930 S.F.
 INTERIOR FLOOR AREA: 4,230 S.F.

PARTITION TYPE:

- 1 2x4 STUD PARTITION WALL
- 2 2x6 STUD PARTITION WALL
- 3 2x4 FURRING STUD WITH 2" RIGID INSULATION AGAINST FOUNDATION WALL
- 4 FLAT 2x4 FURRING STUD WITH 2" RIGID INSULATION AGAINST FOUNDATION WALL

NOTE: ALL INTERIOR G.W.B. WALLS, WITH THE EXCEPTION OF WET AREAS, TO BE 5/8" TYPE 'X'.

LEGEND:

- SMOKE/CARBON MONOXIDE DETECTOR
- EXHAUST VENT
- EXISTING TO REMAIN
- NEW PARTITION

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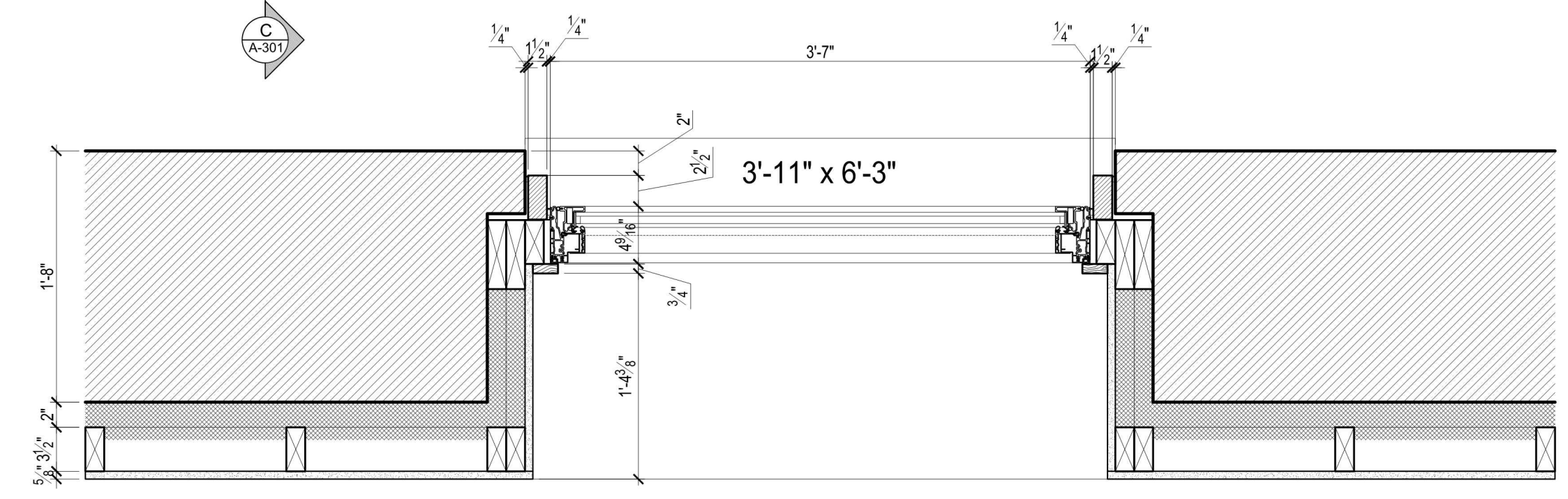
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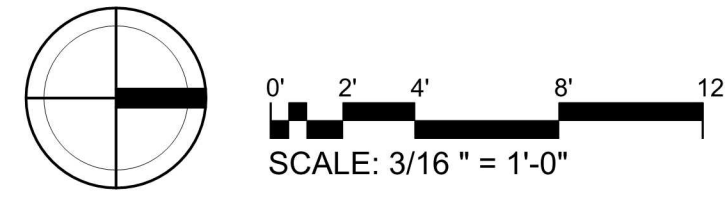
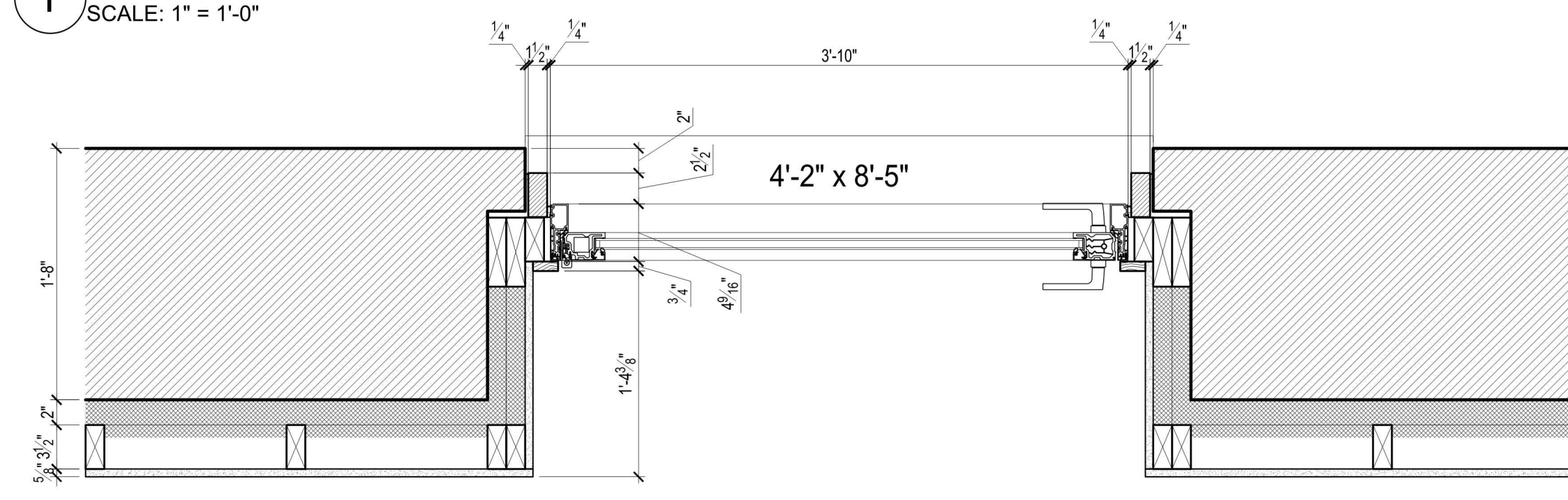
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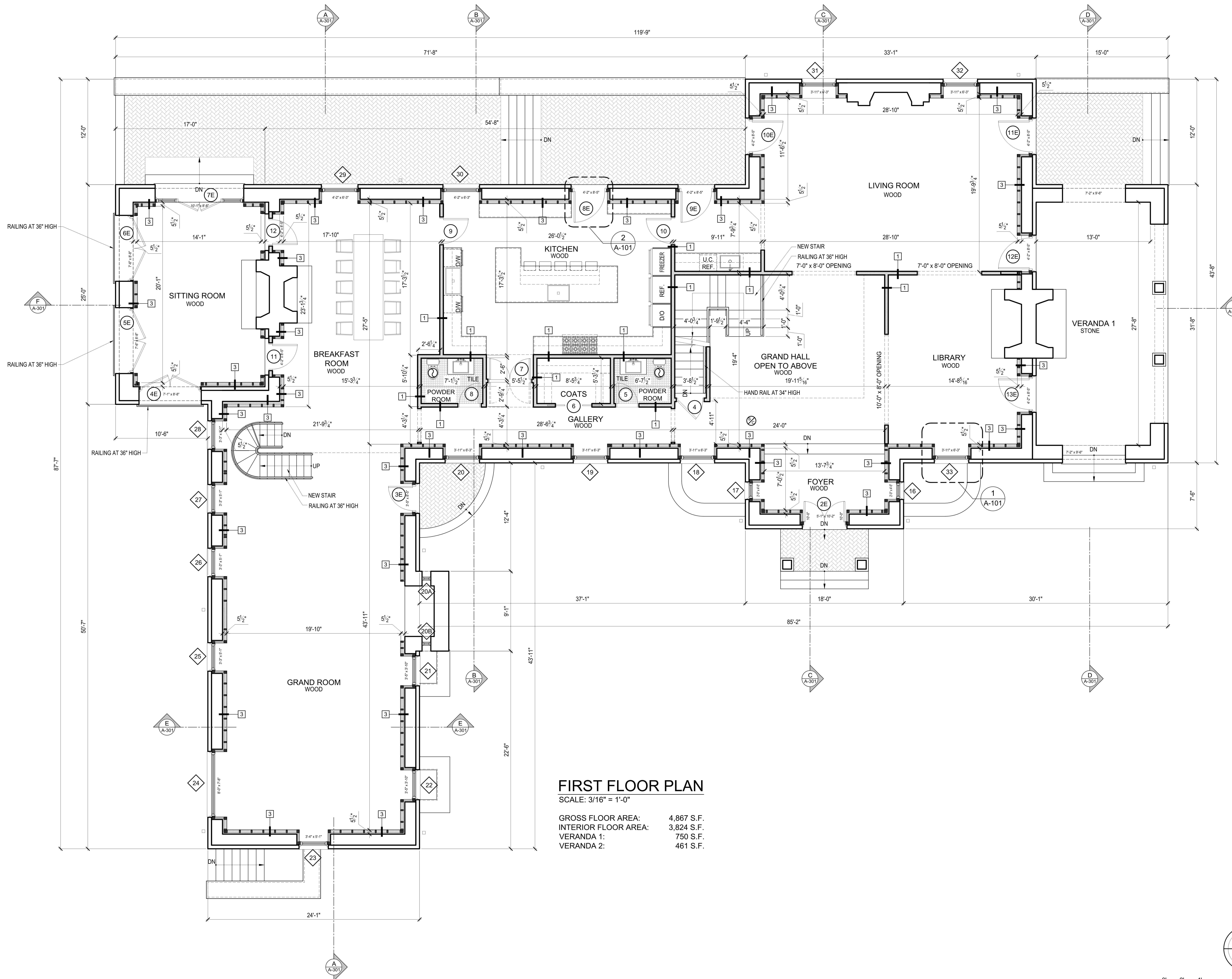
DATE: 4.30.2021
 PROJECT NO.:
 DRAWING BY: O.O./N.A.
 CHECKED BY: N.A.
 DWG NO.:
A-101
 SEAL & SIGNATURE

1 WINDOW DETAIL
 SCALE: 1" = 1'-0"



1 DOOR DETAIL
 SCALE: 1" = 1'-0"





FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 4,867 S.F.
 INTERIOR FLOOR AREA: 3,824 S.F.
 VERANDA 1: 750 S.F.
 VERANDA 2: 461 S.F.

PARTITION TYPE:

1	2x4 STUD PARTITION WALL
2	2x6 STUD PARTITION WALL
3	2x4 FURRING STUD WITH 2" RIGID INSULATION AGAINST FOUNDATION WALL
4	FLAT 2x4 FURRING STUD WITH 2" RIGID INSULATION AGAINST FOUNDATION WALL

NOTE: ALL INTERIOR G.W.B. WALLS, WITH THE EXCEPTION OF WET AREAS, TO BE 5/8" TYPE 'X'.

LEGEND:

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	EXHAUST VENT
	EXISTING TO REMAIN
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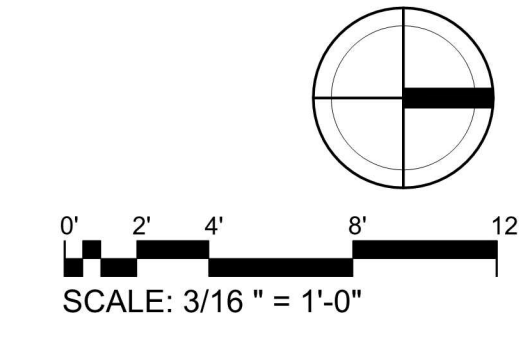
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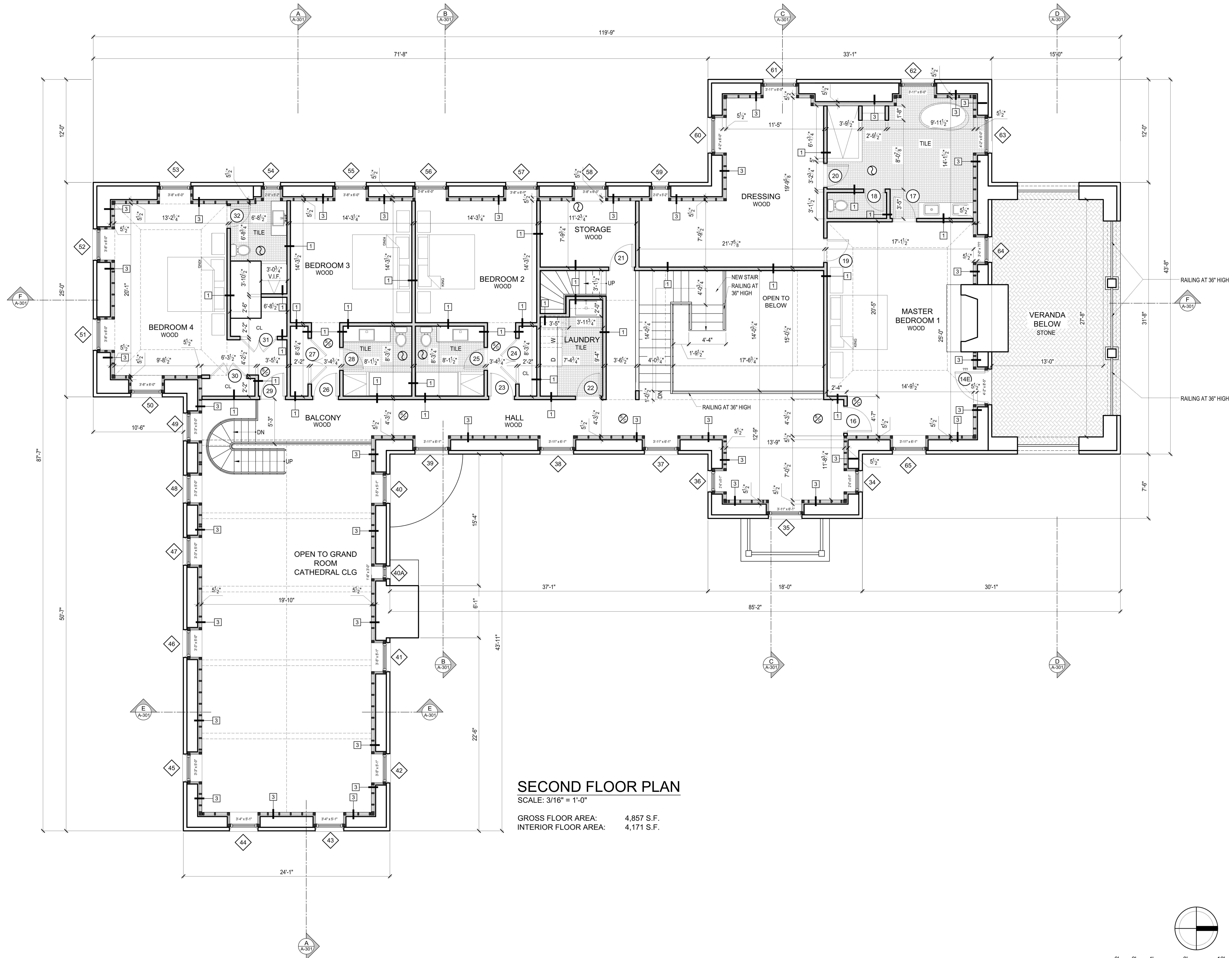
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DRAWING BY:	O.O. / N.A.
CHECKED BY:	N.A.
DWG NO.:	

A-102
 SEAL & SIGNATURE





SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

GROSS FLOOR AREA: 4,857 S.F.
 INTERIOR FLOOR AREA: 4,171 S.F.

PARTITION TYPE:

- 1 2x4 STUD PARTITION WALL
- 2 2x6 STUD PARTITION WALL
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NOTE: ALL INTERIOR G.W.B. WALLS, WITH THE EXCEPTION OF WET AREAS, TO BE 5/8" TYPE 'X'.

LEGEND:

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- EXHAUST VENT
- EXISTING TO REMAIN
- NEW PARTITION

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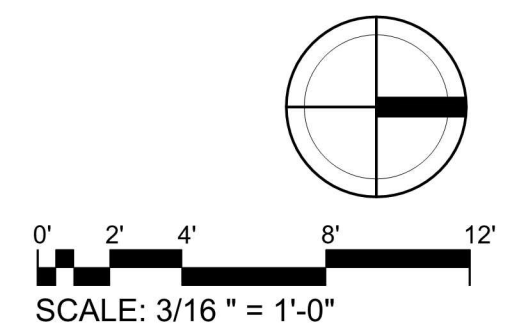
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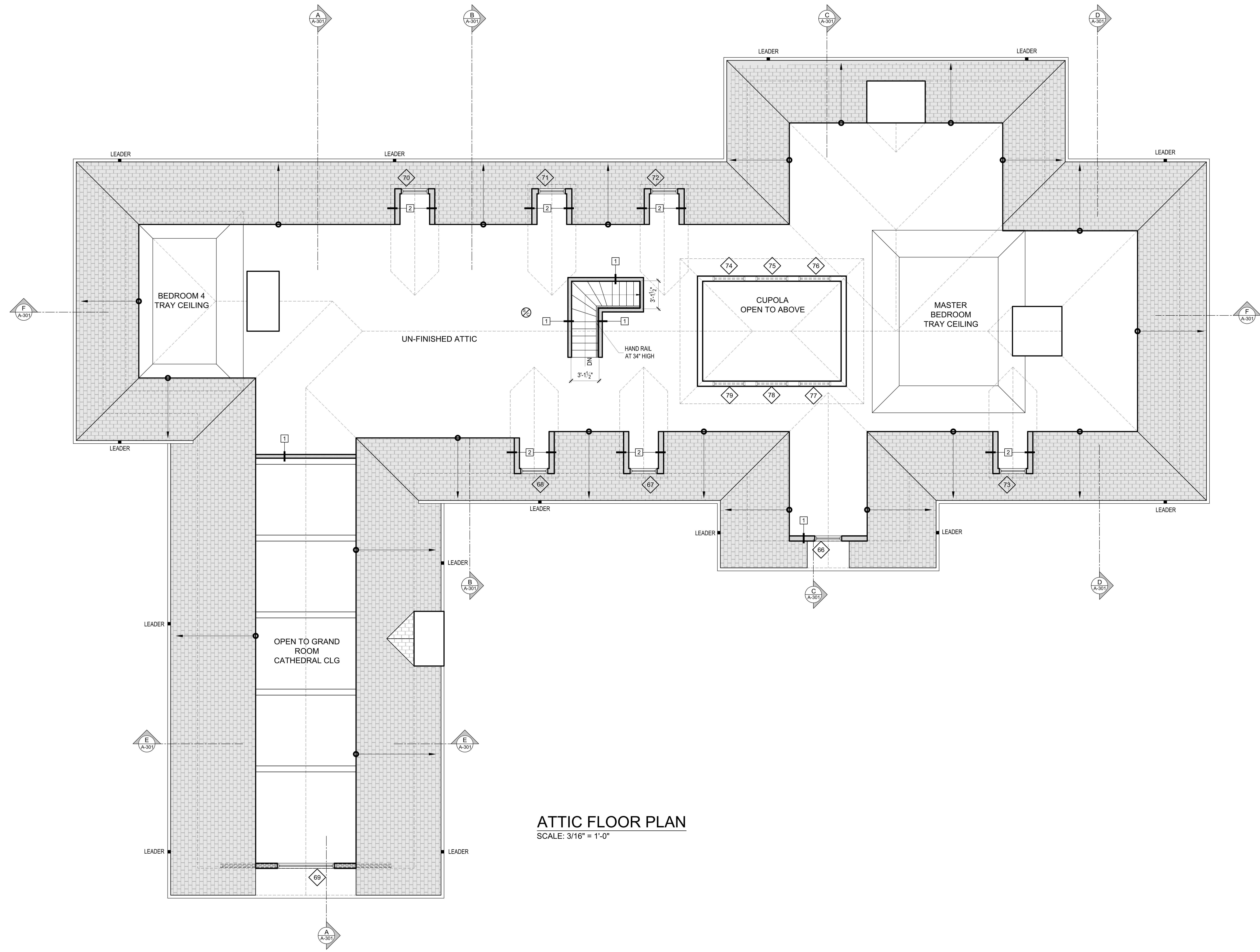
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RE-BUILDING/RENOVATION
 601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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DATE: 4.30.2021
 PROJECT NO.:
 DRAWING BY: O.O./N.A.
 CHECKED BY: N.A.
 DWG NO.:
A-103
 SEAL & SIGNATURE





ATTIC FLOOR PLAN
SCALE: 3/16" = 1'-0"

PARTITION TYPE:

1	2x4 STUD PARTITION WALL
2	2x6 STUD PARTITION WALL
3	2x4 FURRING STUD WITH 2" RIGID INSULATION AGAINST FOUNDATION WALL
4	FLAT 2x4 FURRING STUD WITH 2" RIGID INSULATION AGAINST FOUNDATION WALL

NOTE: ALL INTERIOR G.W.B. WALLS, WITH THE EXCEPTION OF WET AREAS, TO BE 5/8" TYPE 'X'.

LEGEND:

SMOKE/CARBON MONOXIDE DETECTOR	
EXHAUST VENT	
EXISTING TO REMAIN	
NEW PARTITION	

ISSUED/REVISION	DATE	COMMENT
	3.17.2023	PLANNING AND ZONING REVIEW AND APPROVAL
	10.25.222	BOARD OF HEALTH
	1.24.2022	ISSUED FOR ED SILVA STRUCTURAL REVIEW
	1.12.2022	ISSUED FOR CLIENT REVIEW ONLY
	12.6.2021	ISSUED FOR CLIENT REVIEW ONLY
	11.11.2021	ISSUED FOR CLIENT REVIEW ONLY
	10.22.2021	ISSUED FOR CLIENT REVIEW ONLY
	9.28.2021	ISSUED FOR CLIENT REVIEW ONLY
	8.18.2021	ISSUED FOR CLIENT REVIEW ONLY
	7.21.2021	ISSUED FOR CLIENT REVIEW ONLY

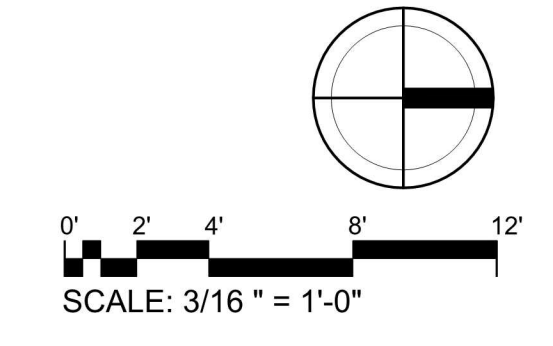
ARPAIA ASSOCIATES, P.C.
ARCHITECTS & DESIGNERS
136 NORTH WATER STREET,
GREENWICH, CT 06830
Tel : 203.313.6956
EMAIL: NICK@ARPAIAASSOCIATES.COM WEB SITE: WWW.ARPAIAASSOCIATES.COM

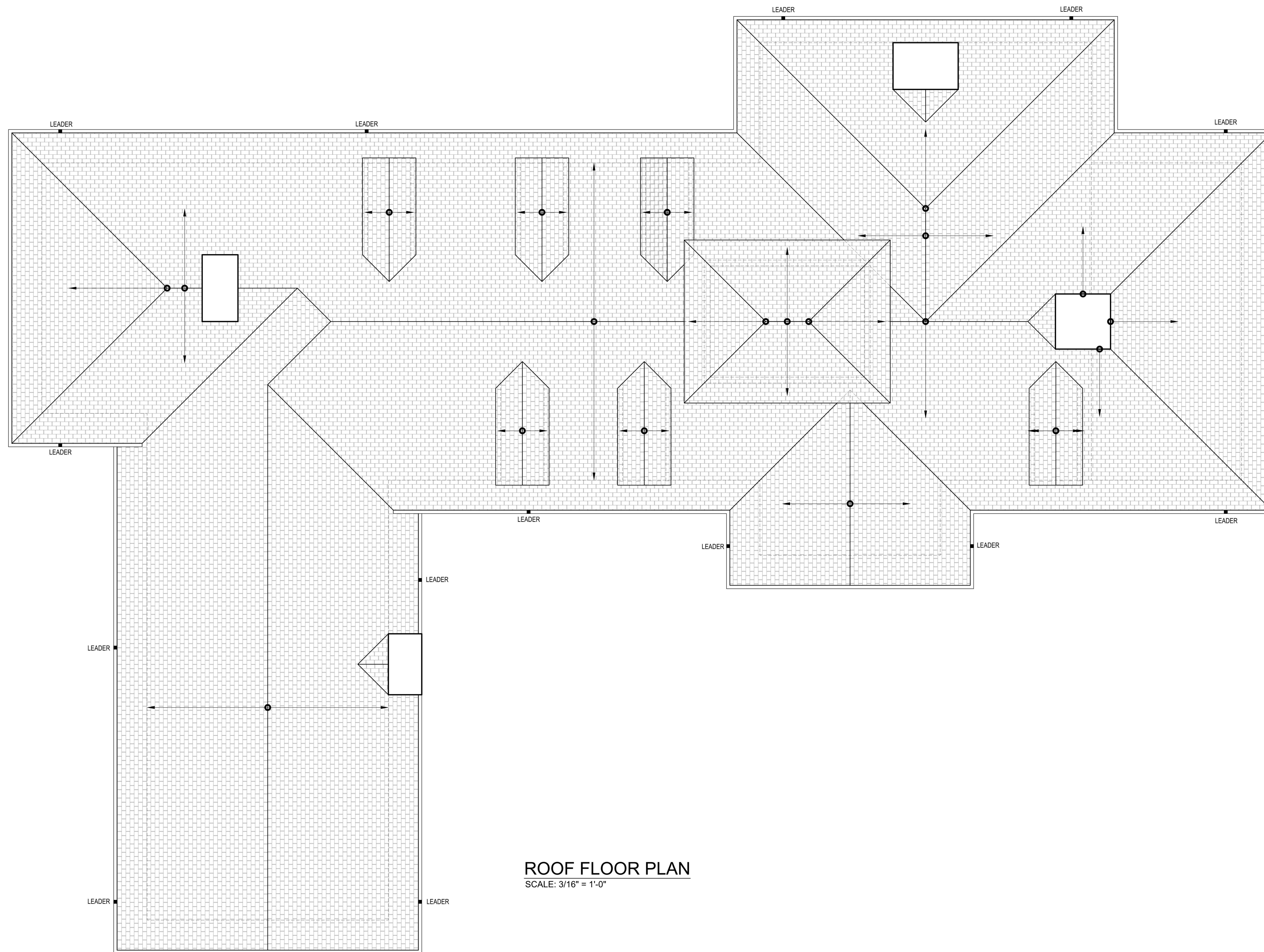
PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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	DATE:	4.30.2021
	PROJECT NO.:	
	DRAWING BY:	O.O. / N.A.
	CHECKED BY:	N.A.
DWG NO.:		A-104
SEAL & SIGNATURE		_ OF _





ROOF FLOOR PLAN
SCALE: 3/16" = 1'-0"

ISSUED/REVISION	DATE	COMMENT
	3.17.2023	PLANNING AND ZONING REVIEW AND APPROVAL
	10.25.222	BOARD OF HEALTH
	1.24.2022	ISSUED FOR ED SILVA STRUCTURAL REVIEW
	1.12.2022	ISSUED FOR CLIENT REVIEW ONLY
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	11.11.2021	ISSUED FOR CLIENT REVIEW ONLY
	10.22.2021	ISSUED FOR CLIENT REVIEW ONLY
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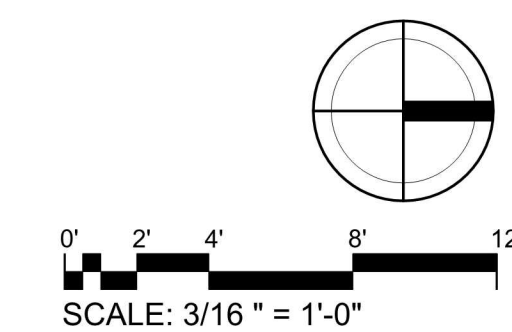
PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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DATE: 4.30.2021
PROJECT NO.:
DRAWING BY: O.O. / N.A.
CHECKED BY: N.A.
DWG NO.:
A-105
SEAL & SIGNATURE





FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL PALETTE	
1.	ROOF.
2.	GUTTER.
3.	AZEK BOARDS: FASCIA BOARD, RAKE, MOLDINGS
4.	STONE
5.	WINDOW & DOOR CASING
6.	CASEMENT WINDOW.
6A.	DOOR ASSEMBLY
7.	STONE LANDING & STEPS
8.	CHIMNEY TERMINAL
9.	CHIMNEY CAP
10.	STONE CHIMNEY.
11.	FLASHING
12.	LEADERS AND GUTTERS: SIZE TO BE DETERMINED. SEE SITE PLAN DRAWINGS FOR ROOF DRAINS
13.	WROUGHT IRON RAILING



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

ISSUE/REVISION	DATE	COMMENT
3.17.2023		PLANNING AND ZONING REVIEW AND APPROVAL
10.25.222		BOARD OF HEALTH
1.24.2022		ISSUED FOR ED SILVA STRUCTURAL REVIEW
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8.18.2021		ISSUED FOR CLIENT REVIEW ONLY
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PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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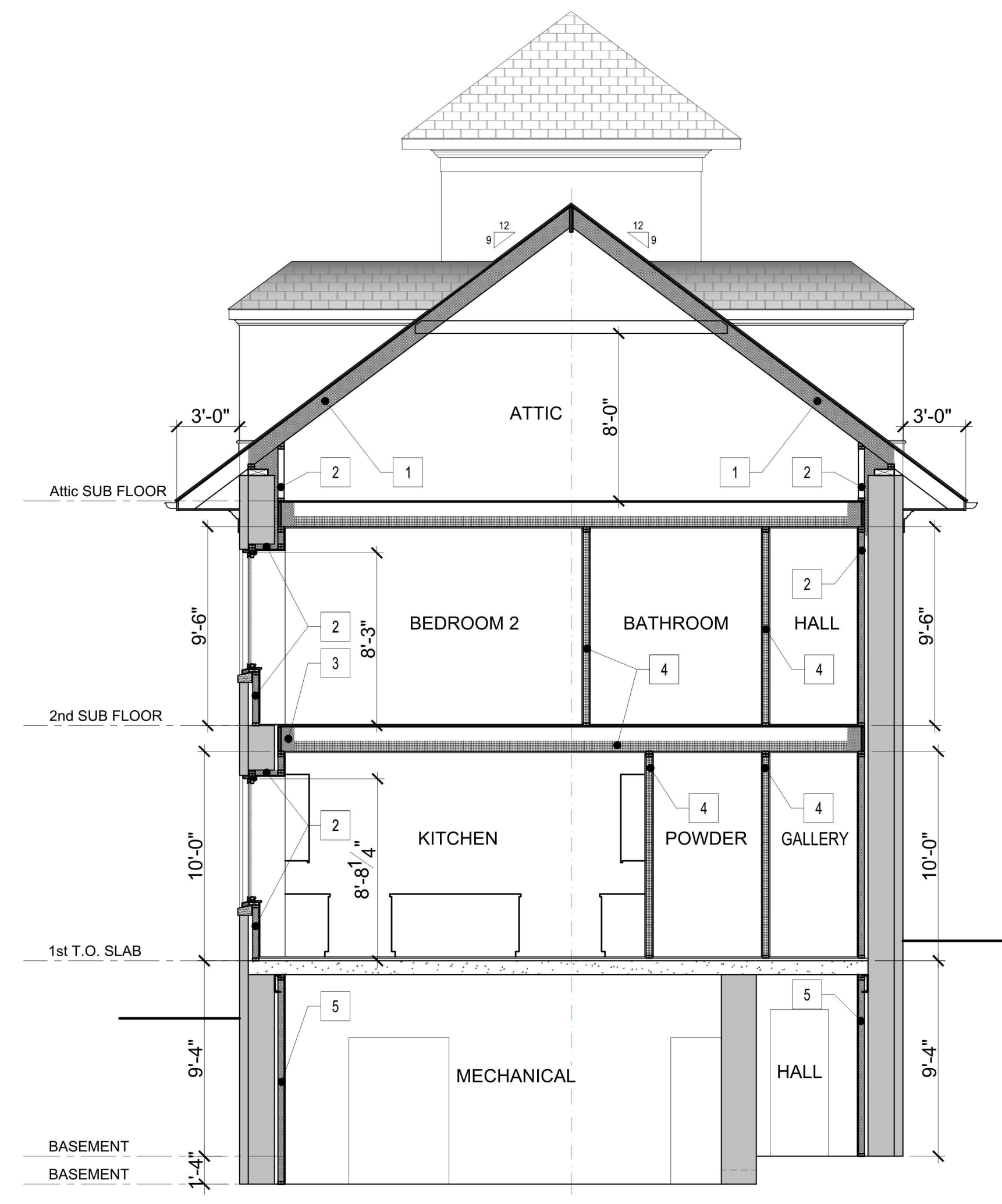
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DATE: 4.30.2021
PROJECT NO.: O.O./N.A.
DRAWING BY: O.O./N.A.
CHECKED BY: N.A.
DWG NO.: **A-201**
OF

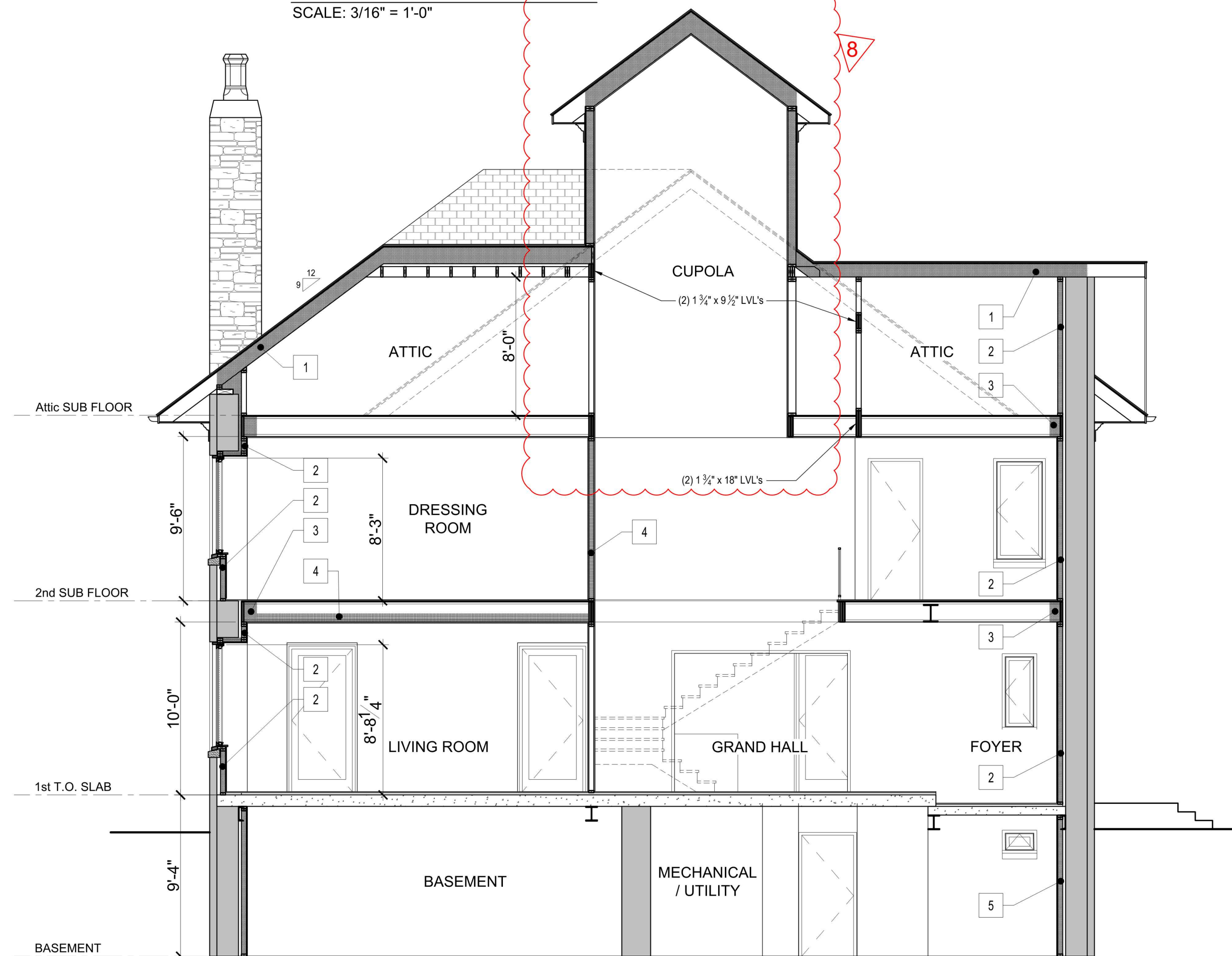


BUILDING SECTION A-A
SCALE: 3/16" = 1'-0"

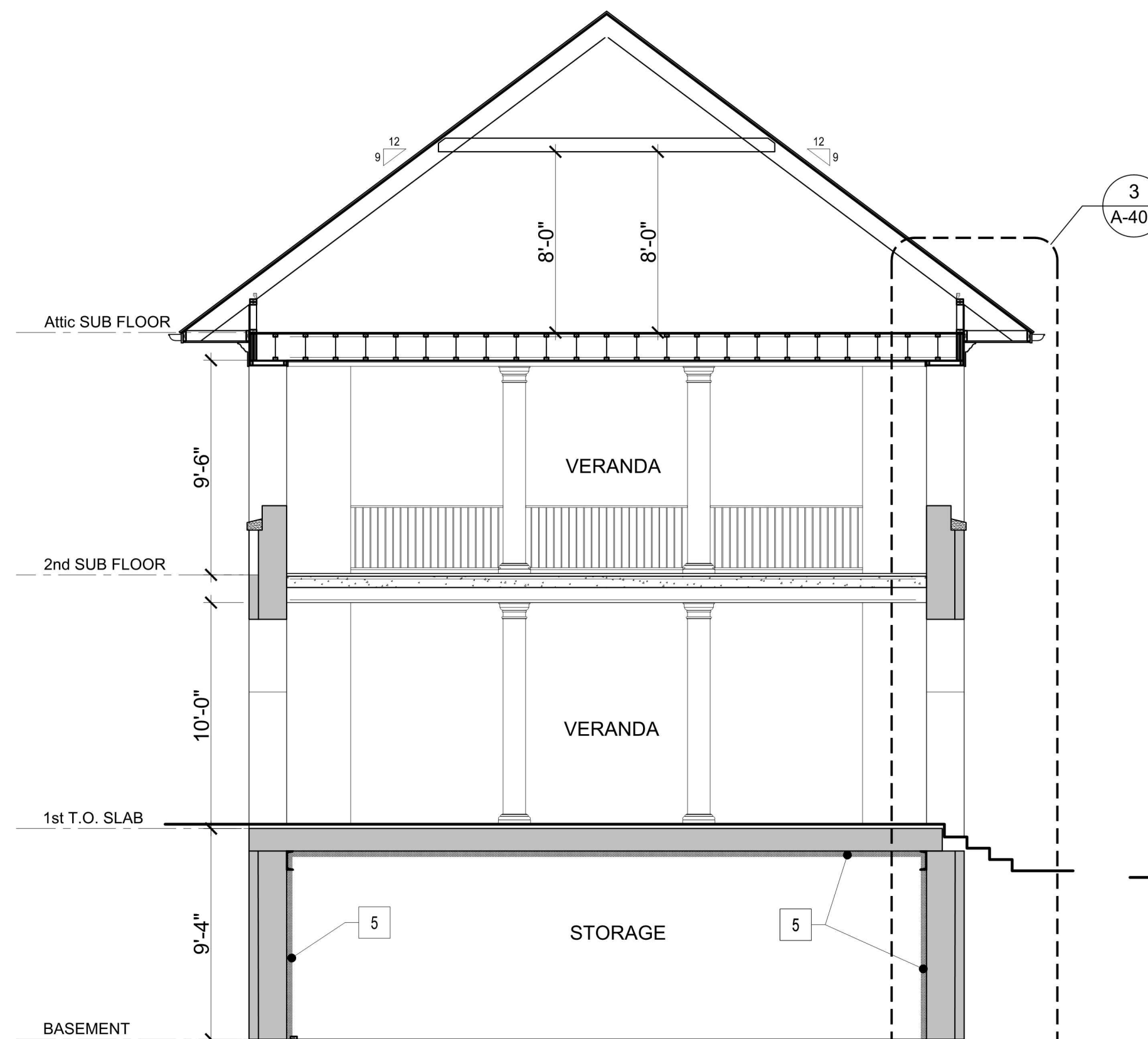


BUILDING SECTION B-B
SCALE: 3/16" = 1'-0"

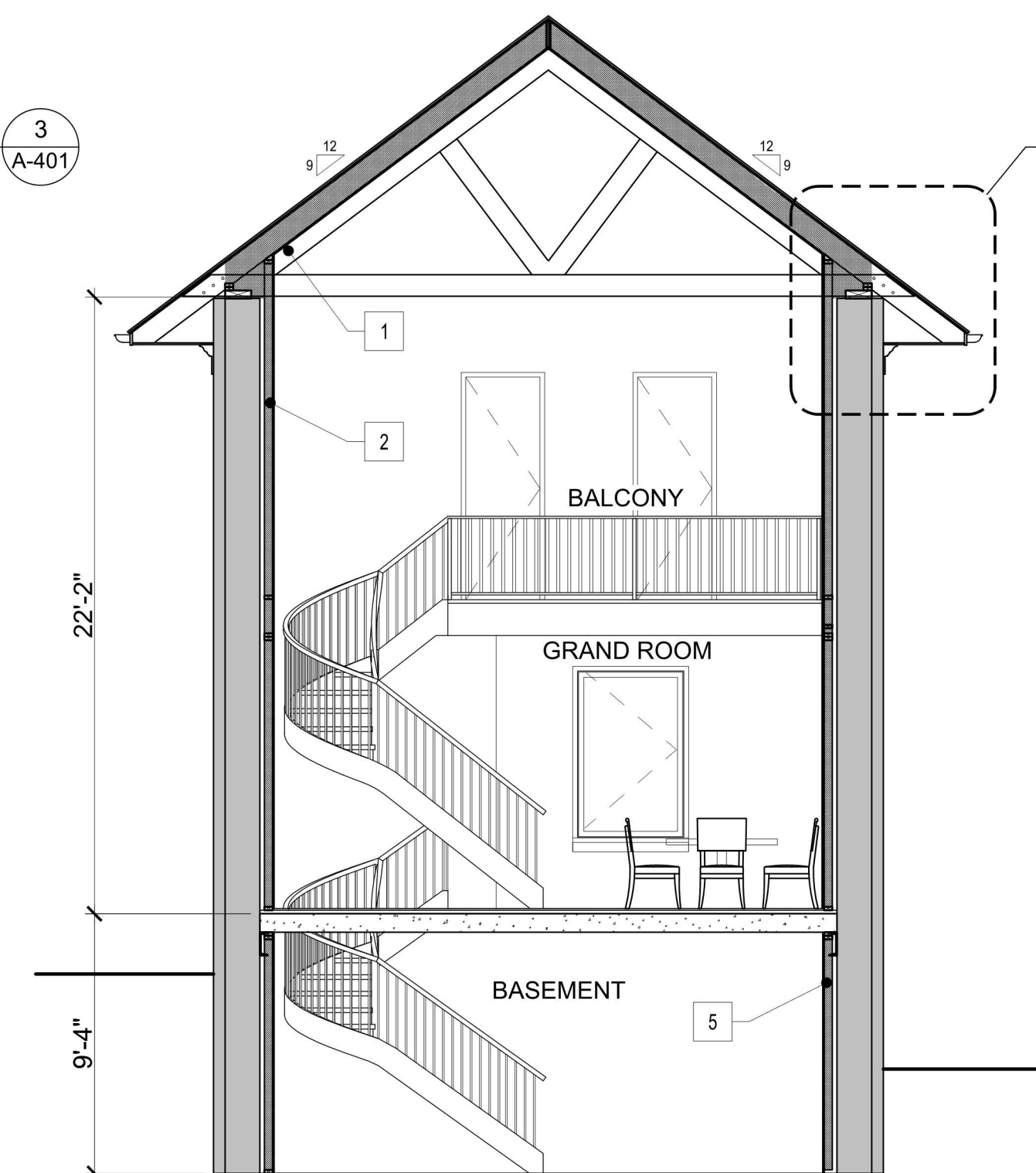
#	MATERIAL
1	TYPICAL INSULATION @ ROOF: 3" CLOSED CELL SPRAY INSULATION TO THE UNDERSIDE OF ROOF SHEATHING R-21 + R-28 BATT MINIMUM = R-49
2	TYPICAL INSULATION @ EXTERIOR WALL - MASS WALL: - 2x4 WALLS: 2" CLOSED CELL INSULATION R-14
2A	TYPICAL INSULATION @ EXTERIOR WALL: - 2x4 WALLS: 3" CLOSED CELL INSULATION R-21
3	TYPICAL INSULATION @ EXTERIOR PERIMETER RIM BOARD: CLOSED CELL SPRAY INSULATION MINIMUM = R-35
4	PROVIDE "SAFE & SOUND" ATTENUATION BLANKET BY ROXUL @ ALL FLOORS & WALLS
5	TYPICAL INSULATION @ EXTERIOR BASEMENT WALL: (INSIDE FACE) MIN. 3" CLOSED CELL INSULATION = R-21
6	TYPICAL INSULATION @ VERANDA CEILING: CLOSED CELL OR BATT INSULATION MINIMUM = R-30



BUILDING SECTION C-C
SCALE: 3/16" = 1'-0"



BUILDING SECTION D-D
SCALE: 3/16" = 1'-0"



BUILDING SECTION E-E
SCALE: 3/16" = 1'-0"

DATE	REVISION	COMMENT
3.17.2023		PLANNING AND ZONING REVIEW AND APPROVAL
10.25.222		BOARD OF HEALTH
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7.21.2021		ISSUED FOR CLIENT REVIEW ONLY

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GREENWICH, CT 06830
Tel : 203.313.6958
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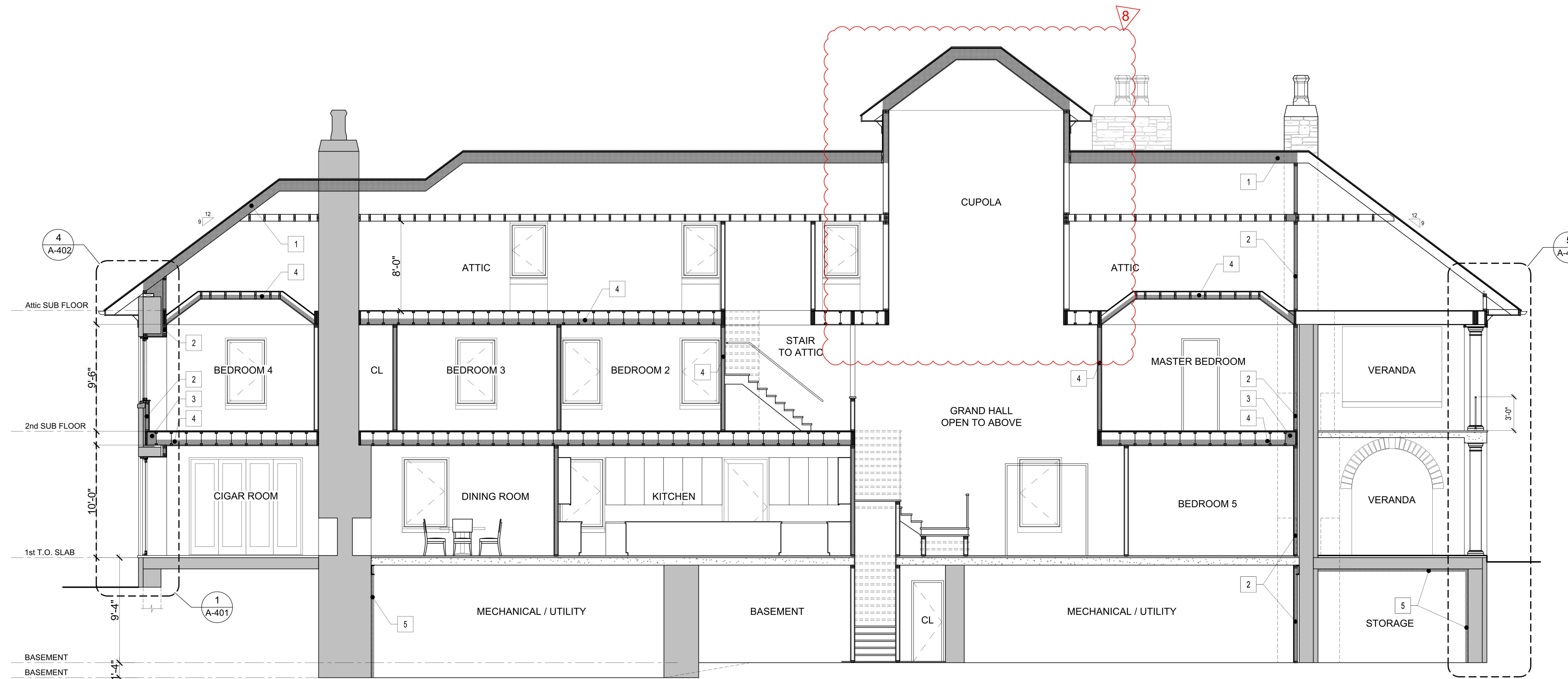
PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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DATE:	4.30.2021
PROJECT NO.:	O.O./N.A.
DRAWING BY:	N.A.
CHECKED BY:	N.A.
DWG NO.:	A-301

REGISTERED ARCHITECT
ANGELA G. ARPAIA
No. 02102
STATE OF NEW YORK
SEAL & SIGNATURE



BUILDING SECTION F-F
SCALE: 3/16" = 1'-0"

MATERIAL LEGEND

#	MATERIAL
1	TYPICAL INSULATION @ ROOF: 3" CLOSED CELL SPRAY INSULATION TO THE UNDERSIDE OF ROOF SHEATHING R-21 + R-28 BATT MINIMUM = R-49
2	TYPICAL INSULATION @ EXTERIOR WALL - MASS WALL: - 2x4 WALLS: 2" CLOSED CELL INSULATION R-14
2A	TYPICAL INSULATION @ EXTERIOR WALL: - 2x4 WALLS: 3" CLOSED CELL INSULATION R-21
3	TYPICAL INSULATION @ EXTERIOR PERIMETER RIM BOARD: CLOSED CELL SPRAY INSULATION MINIMUM = R-35
4	PROVIDE "SAFE & SOUND" ATTENUATION BLANKET BY ROXUL @ ALL FLOORS & WALLS
5	TYPICAL INSULATION @ EXTERIOR BASEMENT WALL: (INSIDE FACE) MIN. 3" CLOSED CELL INSULATION = R-21
6	TYPICAL INSULATION @ VERANDA CEILING: CLOSED CELL OR BATT INSULATION MINIMUM = R-30

ISSUED/REVISION	DATE	COMMENT
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	9.28.2021	ISSUED FOR CLIENT REVIEW ONLY
	8.18.2021	ISSUED FOR CLIENT REVIEW ONLY
	7.21.2021	ISSUED FOR CLIENT REVIEW ONLY

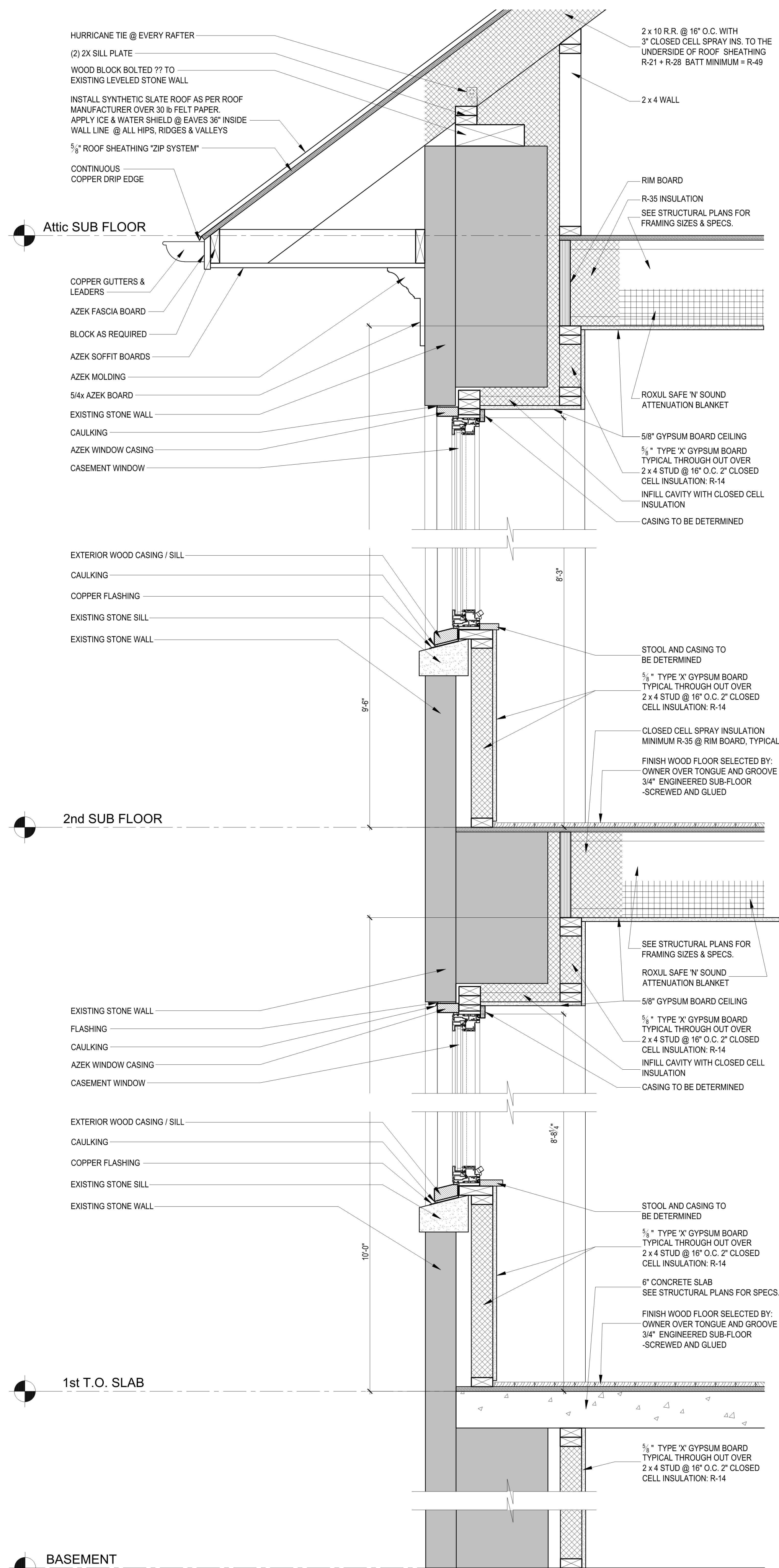
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RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

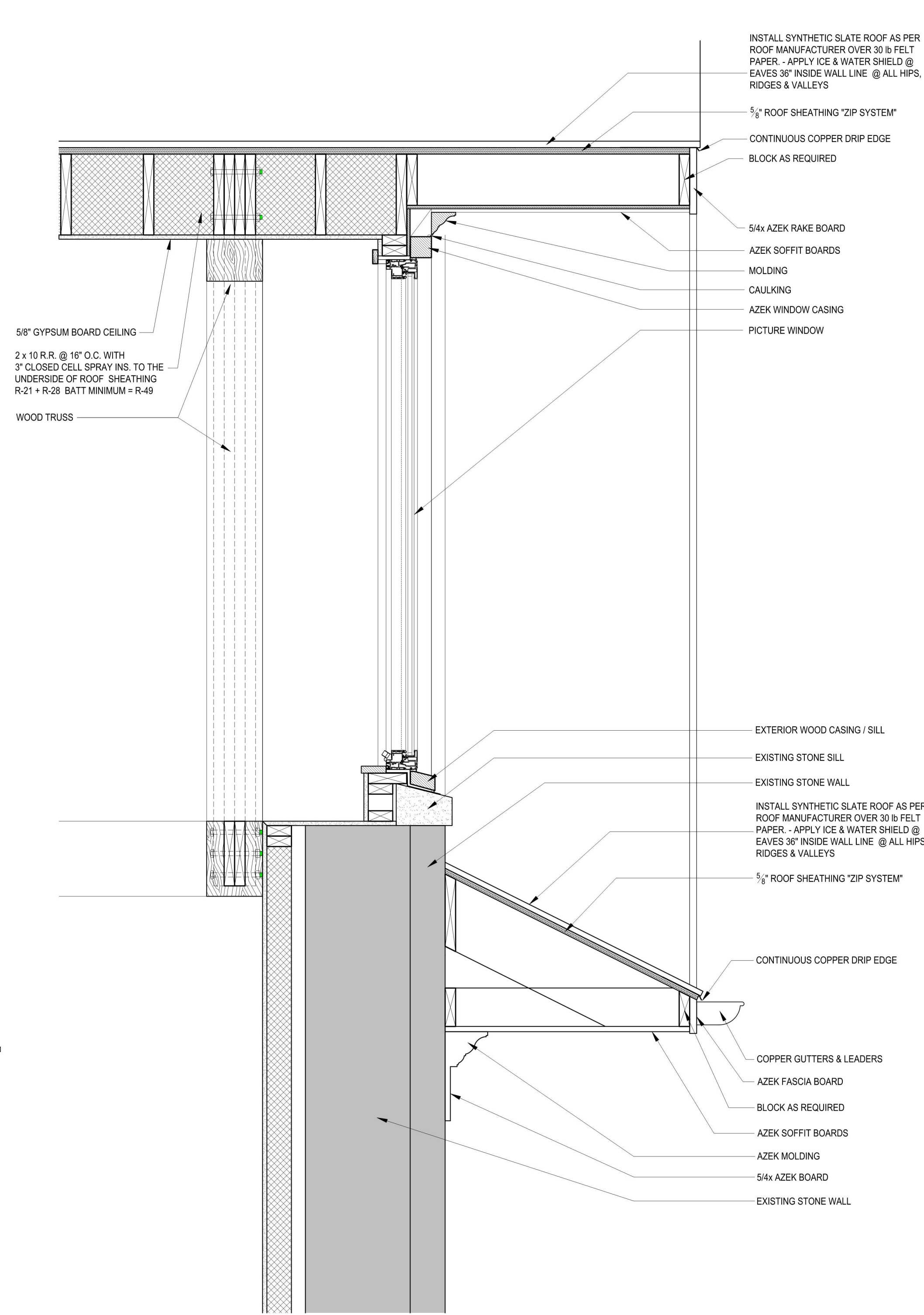
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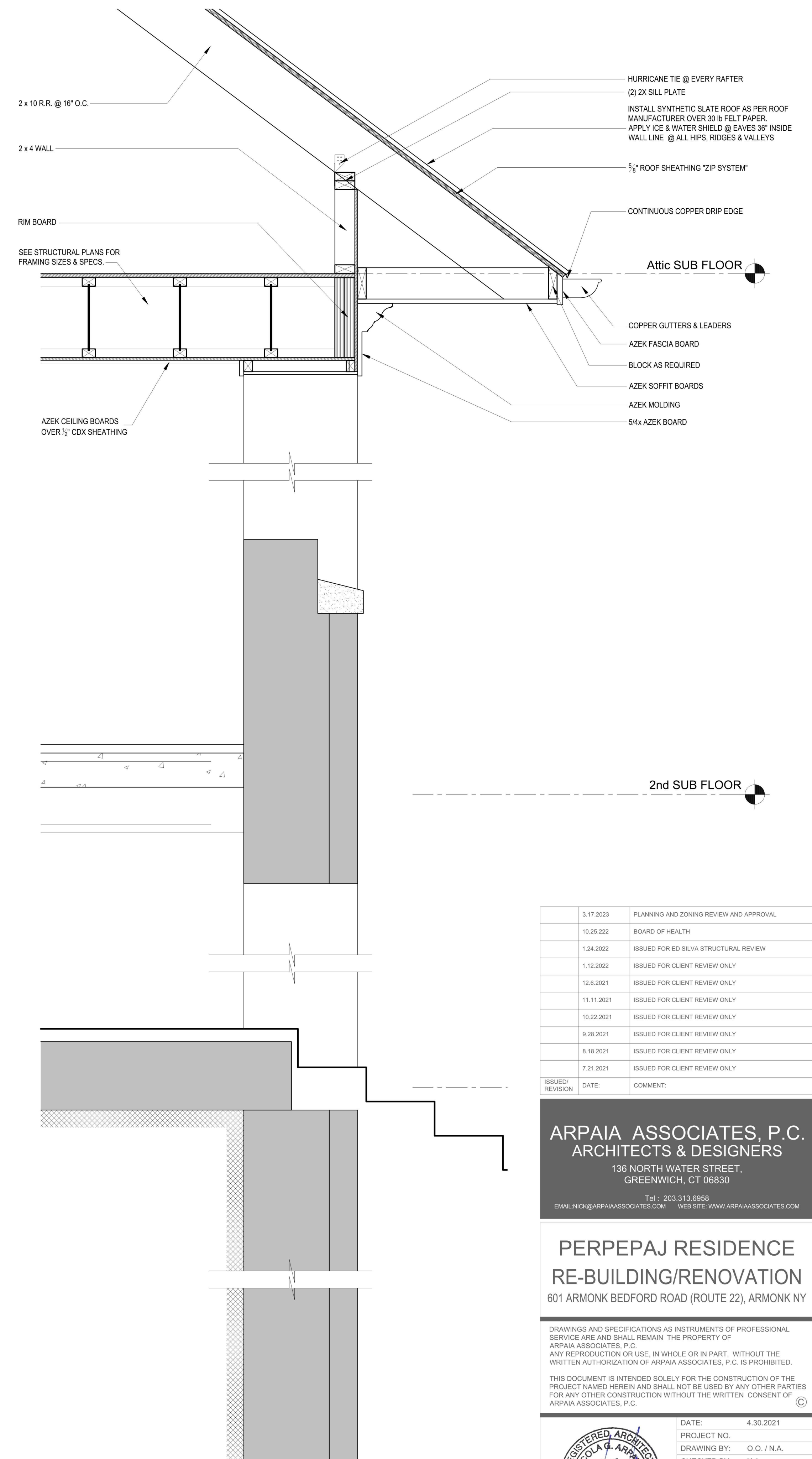
	DATE:	4.30.2021
	PROJECT NO.:	O.O. / N.A.
	DRAWING BY:	N.A.
	CHECKED BY:	N.A.
DWG NO.:		A-302
		_ OF _



WALL SECTION 1
SCALE: 1" = 1'-0"



WALL SECTION 2
SCALE: 1" = 1'-0"



WALL SECTION 3
SCALE: 1" = 1'-0"

ISSUED/REVISION	DATE	COMMENT
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	10.22.2021	ISSUED FOR CLIENT REVIEW ONLY
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	8.18.2021	ISSUED FOR CLIENT REVIEW ONLY
	7.21.2021	ISSUED FOR CLIENT REVIEW ONLY

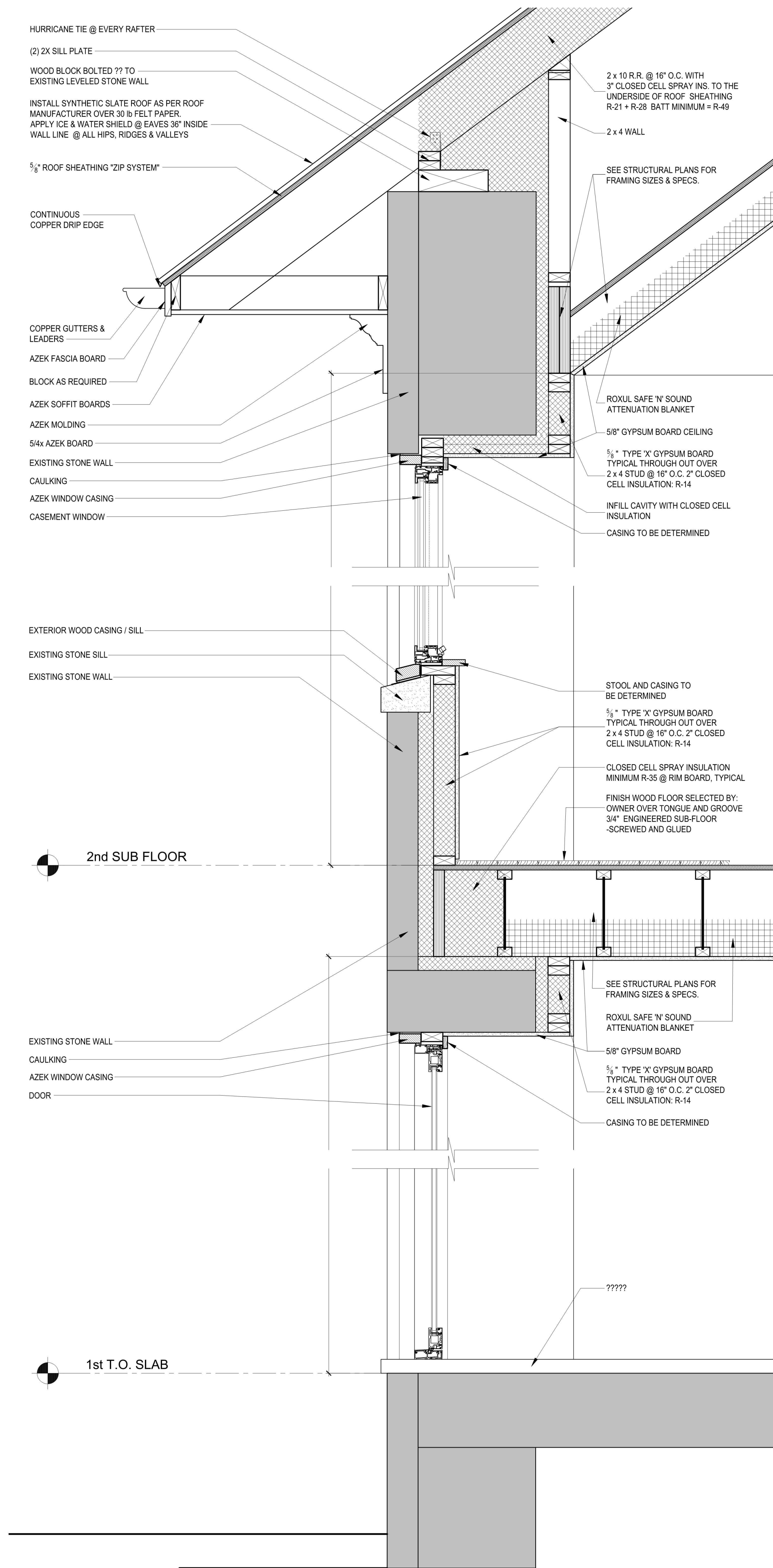
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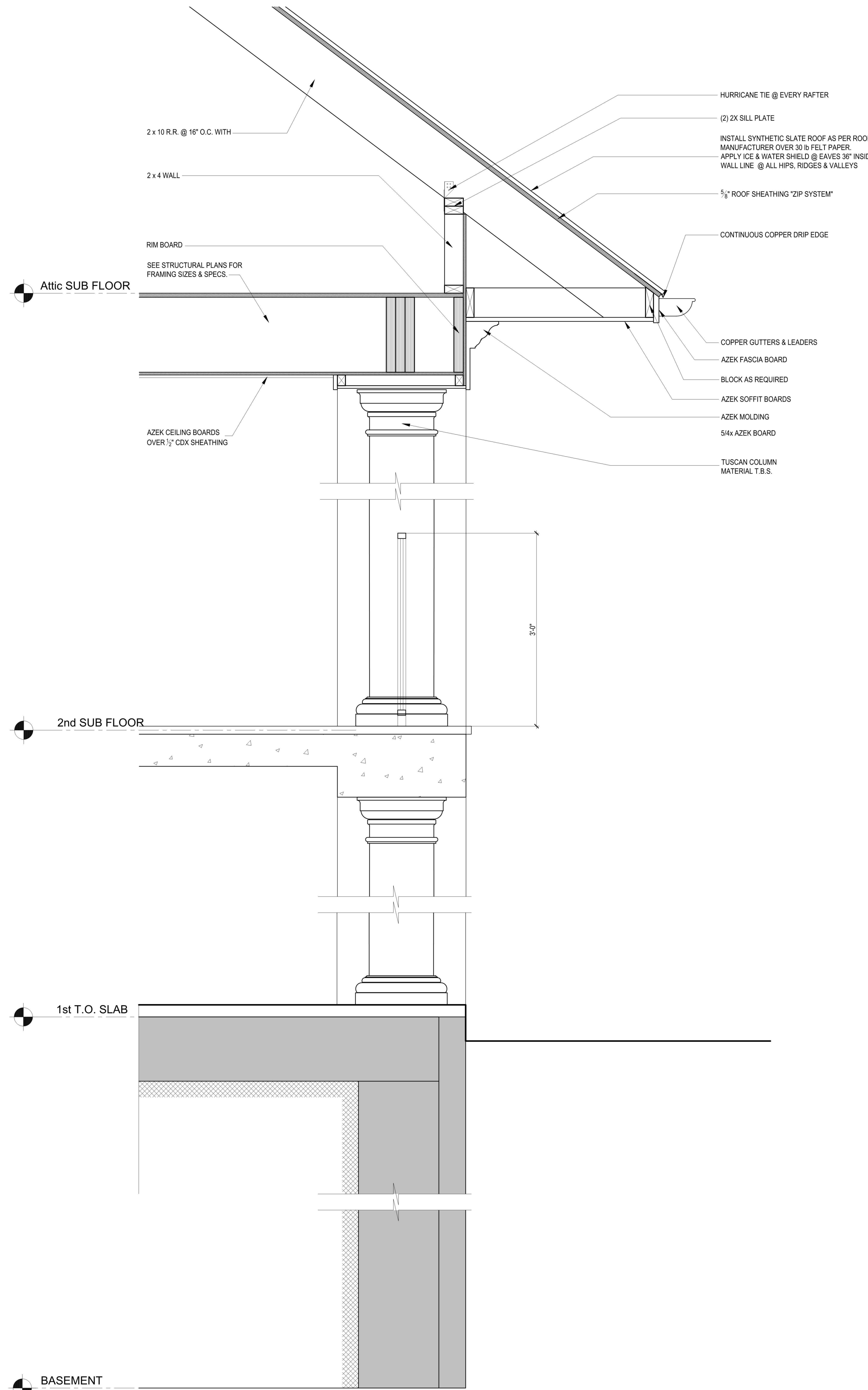
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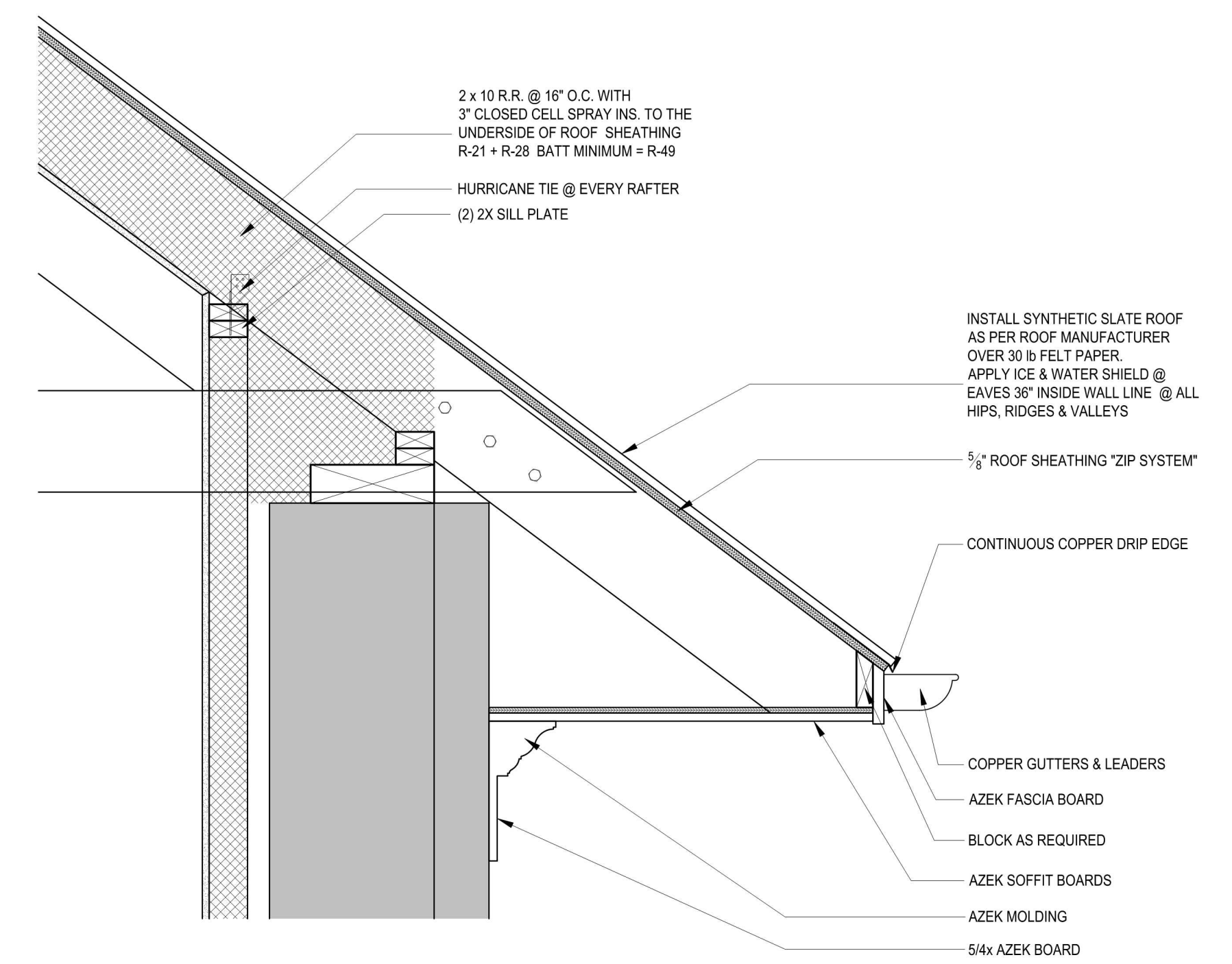
DATE: 4.30.2021
PROJECT NO.:
DRAWING BY: O.O./N.A.
CHECKED BY: N.A.
DWG NO.:
A-401
_ OF _



WALL SECTION 4
 SCALE: 1/4" = 1'-0"



WALL SECTION 5
 SCALE: 1/4" = 1'-0"



WALL SECTION 6
 SCALE: 1/4" = 1'-0"

ISSUE/REVISION	DATE	COMMENT
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DATE: 4.30.2021
 PROJECT NO.:
 DRAWING BY: O.O. / N.A.
 CHECKED BY: N.A.
 DWG NO.:
A-402
 OF

WINDOW SCHEDULE						
#	DIMENSIONS		TYPE	JAMB	DESCRIPTION	REMARKS
	WIDTH	HEIGHT				
BASEMENT						
1	1'-8"	1'-0"	AWNING	TBV		OPERABLE
1	1'-8"	1'-0"	AWNING	TBV		OPERABLE
3	2'-8"	2'-0"	AWNING	TBV		OPERABLE
4	2'-8"	2'-0"	AWNING	TBV		OPERABLE
5	2'-8"	2'-0"	AWNING	TBV		OPERABLE
6	1'-4"	3'-6"	PICTURE	TBV		FIXED
7	2'-8"	3'-5"	CASEMENT	TBV		OPERABLE
8	2'-8"	3'-5"	CASEMENT	TBV		OPERABLE
9	2'-8"	3'-5"	CASEMENT	TBV		OPERABLE
10	2'-8"	3'-5"	CASEMENT	TBV		OPERABLE
11	2'-8"	2'-0"	AWNING	TBV		OPERABLE
12	2'-8"	2'-0"	AWNING	TBV		OPERABLE
13	3'-0"	2'-0"	AWNING	TBV		OPERABLE
14	3'-0"	2'-0"	AWNING	TBV		OPERABLE
15	2'-8"	2'-0"	AWNING	TBV		OPERABLE
FIRST FLOOR						
16	1'-8"	4'-1"	PICTURE	TBV		FIXED
17	1'-8"	4'-1"	PICTURE	TBV		FIXED
18	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
19	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
20	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
20A	10"	3'-0"	PICTURE	TBV		FIXED
20B	10"	3'-0"	PICTURE	TBV		FIXED
21	3'-1"	3'-4"	CASEMENT	TBV		OPERABLE
22	3'-1"	3'-4"	CASEMENT	TBV		OPERABLE
23	2'-11"	4'-9"	CASEMENT	TBV		OPERABLE
24	7'-2"	7'-4"	PICTURE	TBV		FIXED
25	2'-11"	4'-9"	CASEMENT	TBV		OPERABLE
26	2'-11"	4'-9"	CASEMENT	TBV		OPERABLE
27	2'-11"	4'-9"	CASEMENT	TBV		OPERABLE
28	2'-11"	4'-9"	CASEMENT	TBV		OPERABLE
29	3'-10"	5'-11"	CASEMENT	TBV		OPERABLE
30	3'-10"	5'-11"	CASEMENT	TBV		OPERABLE
31	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
32	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
33	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
SECOND FLOOR						
34	2'-2"	5'-9"	PICTURE	TBV		FIXED
35	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
36	2'-2"	5'-9"	PICTURE	TBV		FIXED
37	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
38	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
39	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
40	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
40A	1'-2"	3'-0"	PICTURE	TBV		FIXED
41	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
42	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
43	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
44	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
45	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
46	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
47	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
48	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
49	3'-0"	4'-8"	CASEMENT	TBV		OPERABLE
50	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
51	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
52	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
53	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
54	1'-8"	4'-10"	CASEMENT	TBV		OPERABLE - TEMPERED
55	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
56	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
57	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE
58	3'-4"	5'-8"	CASEMENT	TBV		OPERABLE - TEMPERED
59	1'-8"	4'-10"	CASEMENT	TBV		OPERABLE
60	3'-10"	5'-11"	CASEMENT	TBV		OPERABLE
61	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
62	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE - TEMPERED
63	3'-10"	5'-11"	CASEMENT	TBV		OPERABLE - TEMPERED
64	2'-8"	4'-8"	CASEMENT	TBV		OPERABLE
65	3'-7"	5'-11"	CASEMENT	TBV		OPERABLE
ATTIC						
66	2'-4" - DIAMETER		ROUND	TBV		FIXED
67	3'-0"	4'-6"	CASEMENT	TBV		OPERABLE
68	3'-0"	4'-6"	CASEMENT	TBV		OPERABLE
69	CUSTOM TRAPEZOID CUSTOM FIXED UNIT - DIMENSIONS TO BE VERIFIED-					FIXED
70	3'-0"	4'-6"	CASEMENT	TBV		OPERABLE
71	3'-0"	4'-6"	CASEMENT	TBV		OPERABLE
72	3'-0"	4'-6"	CASEMENT	TBV		OPERABLE
73	3'-0"	4'-6"	CASEMENT	TBV		OPERABLE
74	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
75	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
76	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
77	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
78	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE
79	3'-7"	5'-9"	CASEMENT	TBV		OPERABLE

EXTERIOR DOORS SCHEDULE							
#	DOORS					HARDWARE	REMARKS
	WIDTH	HEIGHT	THICKNESS	JAMB	FINISH		
BASEMENT							
1E	3'-0"	7'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR
FIRST FLOOR							
2E	4'-8"	9'-4"	2 1/4"	TBV	T.B.D.	T.B.D.	DOUBLE SWING DOOR WITH TEMPERED GLASS
3E	2'-10"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
4E	6'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	DOUBLE SWING DOOR WITH TEMPERED GLASS
5E	6'-10"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	DOUBLE SWING DOOR WITH TEMPERED GLASS
6E	6'-10"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	DOUBLE SWING DOOR WITH TEMPERED GLASS
7E	9'-8" 5'-0" DOOR	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	DOUBLE SWING DOOR / SIDE LITES WITH TEMPERED GLASS
8E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
9E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
10E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
11E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
12E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
13E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS
SECOND FLOOR							
14E	3'-6"	8'-0"	1 3/4"	TBV	T.B.D.	T.B.D.	SWING DOOR WITH TEMPERED GLASS

INTERIOR DOORS SCHEDULE							
#	DOORS					HARDWARE	REMARKS
	WIDTH	HEIGHT	THICKNESS	TYPE	FINISH		
BASEMENT							
01	2'-4"	7'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - POWDER
02	2'-6"	7'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - CLOSET
03	3'-0"	7'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - MECHANICAL FIRE RATED - SELF CLOSING
FIRST FLOOR							
04	2'-10"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - TO BASEMENT
05	2'-4"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - POWDER
06	4'-0"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	DOUBLE POCKET DOOR - COAT CLOSET
07	4'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	DOUBLE SWING DOOR - KITCHEN
08	2'-4"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - POWDER
09	2'-10"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - KITCHEN
10	2'-10"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - KITCHEN
11	2'-10"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - CIGAR ROOM
12	2'-10"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - CIGAR ROOM
13	2'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BEDROOM 5
14	2'-2"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - CLOSET
15	2'-4"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BATHROOM 5
SECOND FLOOR							
16	2'-10"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - MASTER BR
17	2'-6"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE DOOR - MASTER BATHROOM
18	2'-2"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE DOOR - TOILET ROOM
19	2'-6"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE DOOR - DRESSING ROOM
20	2'-6"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE DOOR - DRESSING ROOM
21	2'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - STORAGE
22	2'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - LAUNDRY
23	2'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BEDROOM 2
24	5'-0"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	DOUBLE SWING DOOR - CLOSET
25	2'-4"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BATHROOM 2
26	2'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BEDROOM 3
27	5'-0"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	DOUBLE SWING DOOR - CLOSET
28	2'-4"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BATHROOM 3
29	2'-8"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BEDROOM 4
30	4'-0"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	DOUBLE SWING DOOR - CLOSET
31	4'-0"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	DOUBLE SWING DOOR - CLOSET
32	2'-4"	8'-0"	1 3/4"	WOOD	GRADE PAINT	T.B.D.	SINGLE SWING DOOR - BATHROOM 4

NOTE: WINDOWS, EXTERIOR AND INTERIOR DOORS

WINDOWS:

- ALL DIMENSIONS WIDTHS & HEIGHTS - FRAME SIZE, U.O.N.
- ALL WINDOWS TO BE LOWE4 GLASS TYPE.
- G.C. TO VERIFY ALL FRAMING & MASONRY OPENINGS PRIOR TO ORDER OF ALL WINDOW UNITS
- G.C. TO PROVIDE SHOP DRAWINGS PRIOR TO ORDER OF ALL WINDOW UNITS.
- ALL OPERABLE WINDOWS TO HAVE SCREENS.
- ALL HARDWARE TO BE SELECTED BY OWNER.
- PROVIDE SAFETY LOCKS AS REQUIRED PER IRC AND STATE AMENDMENT CODE.
- 5/8" TYPE 'X' GYPSUM BOARD WILL BE INSTALLED THROUGHOUT DWELLING.

EXTERIOR DOORS:

- ALL DIMENSIONS WIDTHS & HEIGHTS - DOOR SIZE, U.O.N.
- ALL GLASS DOORS TO BE LOWE4 GLASS TYPE.
- G.C. TO VERIFY ALL FRAMING & MASONRY OPENINGS PRIOR TO ORDER OF ALL DOOR UNITS
- G.C. TO PROVIDE SHOP DRAWINGS PRIOR TO ORDER OF ALL DOOR UNITS.
- ALL HARDWARE TO BE SELECTED BY OWNER.

INTERIOR DOORS:

- ALL DIMENSIONS WIDTHS & HEIGHTS - DOOR SIZE, U.O.N.
- ALL DOORS TO BE MDF PAINTED GRADE - PANELING T.B.D


3.17.2023	PLANNING AND ZONING REVIEW AND APPROVAL
10.25.222	BOARD OF HEALTH
1.24.2022	ISSUED FOR ED SILVA STRUCTURAL REVIEW
1.12.2022	ISSUED FOR CLIENT REVIEW ONLY
12.8.2021	ISSUED FOR CLIENT REVIEW ONLY
11.11.2021	ISSUED FOR CLIENT REVIEW ONLY
10.22.2021	ISSUED FOR CLIENT REVIEW ONLY
9.28.2021	ISSUED FOR CLIENT REVIEW ONLY
8.18.2021	ISSUED FOR CLIENT REVIEW ONLY
7.21.2021	ISSUED FOR CLIENT REVIEW ONLY
ISSUED/REVISION	DATE: COMMENT:

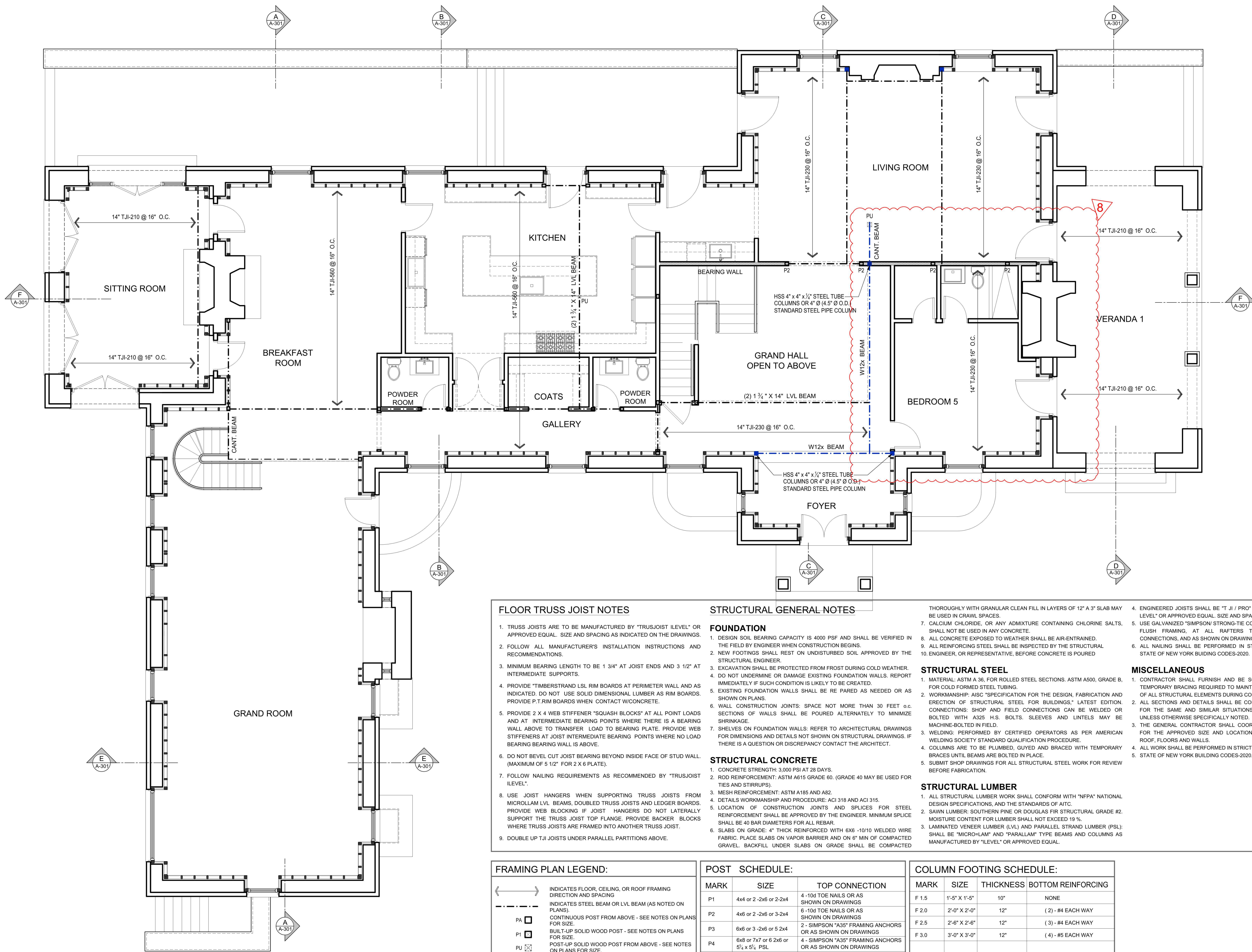
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THIS DOCUMENT IS INTENDED SOLELY FOR THE CONSTRUCTION OF THE PROJECT NAMED HEREIN AND SHALL NOT BE USED BY ANY OTHER PARTIES FOR ANY OTHER CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF ARPAIA ASSOCIATES, P.C.

	DATE:	4.30.2021
	PROJECT NO.	
	DRAWING BY:	O.O. / N.A.
	CHECKED BY:	N.A.
	DWG NO.	A-501
SEAL & SIGNATURE		_ OF _



FIRST FLOOR - FRAMING PLAN
SCALE: 3/16" = 1'-0"

FLOOR TRUSS JOIST NOTES

- TRUSS JOISTS ARE TO BE MANUFACTURED BY "TRUSJOIST ILEVEL" OR APPROVED EQUAL. SIZE AND SPACING AS INDICATED ON THE DRAWINGS.
- FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- MINIMUM BEARING LENGTH TO BE 3/4" AT JOIST ENDS AND 3/2" AT INTERMEDIATE SUPPORTS.
- PROVIDE "TIMBERSTRAND LSL RIM BOARDS" AT PERIMETER WALL AND AS INDICATED. DO NOT USE SOLID DIMENSIONAL LUMBER AS RIM BOARDS. PROVIDE P.T.RIM BOARDS WHEN CONTACT W/CONCRETE.
- PROVIDE 2 X 4 WEB STIFFENER "SQUASH BLOCKS" AT ALL POINT LOADS AND AT INTERMEDIATE BEARING POINTS WHERE THERE IS A BEARING WALL ABOVE TO TRANSFER LOAD TO BEARING PLATE. PROVIDE WEB STIFFENERS AT JOIST INTERMEDIATE BEARING POINTS WHERE NO LOAD BEARING WALL IS ABOVE.
- DO NOT BEVEL CUT JOIST BEARING BEYOND INSIDE FACE OF STUD WALL. (MAXIMUM OF 5/2" FOR 2 X 6 PLATE).
- FOLLOW NAILING REQUIREMENTS AS RECOMMENDED BY "TRUSJOIST ILEVEL".
- USE JOIST HANGERS WHEN SUPPORTING TRUSS JOISTS FROM MICROLAM LVL BEAMS, DOUBLED TRUSS JOISTS AND LEDGER BOARDS. PROVIDE WEB BLOCKING IF JOIST HANGERS DO NOT LATERALLY SUPPORT THE TRUSS JOIST TOP FLANGE. PROVIDE BACKER BLOCKS WHERE TRUSS JOISTS ARE FRAMED INTO ANOTHER TRUSS JOIST.
- DOUBLE UP TJI JOISTS UNDER PARALLEL PARTITIONS ABOVE.

STRUCTURAL GENERAL NOTES

FOUNDATION

- DESIGN SOIL BEARING CAPACITY IS 4000 PSF AND SHALL BE VERIFIED IN THE FIELD BY ENGINEER WHEN CONSTRUCTION BEGINS.
- NEW FOOTINGS SHALL REST ON UNDISTURBED SOIL. APPROVED BY THE STRUCTURAL ENGINEER.
- EXCAVATION SHALL BE PROTECTED FROM FROST DURING COLD WEATHER.
- DO NOT UNDERMINE OR DAMAGE EXISTING FOUNDATION WALLS. REPORT IMMEDIATELY IF SUCH CONDITION IS LIKELY TO BE CREATED.
- EXISTING FOUNDATION WALLS SHALL BE RE-PARED AS NEEDED OR AS SHOWN ON PLANS.
- WALL CONSTRUCTION JOINTS: SPACE NOT MORE THAN 30 FEET O.C. SECTIONS OF WALLS SHALL BE POURED ALTERNATELY TO MINIMIZE SHRINKAGE.
- SHELVES ON FOUNDATION WALLS: REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS. IF THERE IS A QUESTION OR DISCREPANCY CONTACT THE ARCHITECT.

STRUCTURAL CONCRETE

- CONCRETE STRENGTH: 3,000 PSI AT 28 DAYS.
- ROD REINFORCEMENT: ASTM A615 GRADE 60. (GRADE 40 MAY BE USED FOR TIES AND STIRRUPS).
- MESH REINFORCEMENT: ASTM A185 AND A82.
- DETAILS WORKMANSHIP AND PROCEDURE: ACI 318 AND ACI 315.
- LOCATION OF CONSTRUCTION JOINTS AND SPLICES FOR STEEL REINFORCEMENT SHALL BE APPROVED BY THE ENGINEER. MINIMUM SPLICE SHALL BE 40 BAR DIAMETERS FOR ALL REBAR.
- SLABS ON GRADE: 4" THICK REINFORCED WITH 6x6 -1010 WELDED WIRE FABRIC. PLACE SLABS ON VAPOR BARRIER AND ON 6" MIN OF COMPACTED GRAVEL. BACKFILL UNDER SLABS ON GRADE SHALL BE COMPACTED THOROUGHLY WITH GRANULAR CLEAN FILL IN LAYERS OF 12" A 3" SLAB MAY BE USED IN CRAWL SPACES.
- CALCIUM CHLORIDE, OR ANY ADMIXTURE CONTAINING CHLORINE SALTS, SHALL NOT BE USED IN ANY CONCRETE.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED.
- ALL REINFORCING STEEL SHALL BE INSPECTED BY THE STRUCTURAL ENGINEER, OR REPRESENTATIVE, BEFORE CONCRETE IS POURED.

STRUCTURAL STEEL

- MATERIAL: ASTM A36, FOR ROLLED STEEL SECTIONS. ASTM A500, GRADE B, FOR COLD FORMED STEEL TUBING.
- WORKMANSHIP: AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION. CONNECTIONS: SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR BOLTED WITH A325 H.S. BOLTS. SLEEVES AND LINTELS MAY BE MACHINE-BOLTED IN FIELD.
- WELDING: PERFORMED BY CERTIFIED OPERATORS AS PER AMERICAN WELDING SOCIETY STANDARD QUALIFICATION PROCEDURE.
- COLUMNS ARE TO BE PLUMBED, GUYED AND BRACED WITH TEMPORARY BRACES UNTIL BEAMS ARE BOLTED IN PLACE.
- SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL STEEL WORK FOR REVIEW BEFORE FABRICATION.

STRUCTURAL LUMBER

- ALL STRUCTURAL LUMBER WORK SHALL CONFORM WITH "NFPA" NATIONAL DESIGN SPECIFICATIONS, AND THE STANDARDS OF AITC.
- SAWN LUMBER: SOUTHERN PINE OR DOUGLAS FIR STRUCTURAL GRADE #2. MOISTURE CONTENT FOR LUMBER SHALL NOT EXCEED 19%.
- LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL): SHALL BE "MICRO-LAM" AND "PARALAM" TYPE BEAMS AND COLUMNS AS MANUFACTURED BY "LEVEL" OR APPROVED EQUAL.

MISCELLANEOUS

- CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE BUILDING UNLESS OTHERWISE SPECIFICALLY NOTED.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR THE APPROVED SIZE AND LOCATION OF ALL OPENINGS THROUGH ROOF, FLOORS AND WALLS.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE STATE OF NEW YORK BUILDING CODES-2020.

FRAMING PLAN LEGEND:

- INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING
- INDICATES STEEL BEAM OR LVL BEAM (AS NOTED ON PLANS)
- CONTINUOUS POST FROM ABOVE - SEE NOTES ON PLANS FOR SIZE
- BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE
- POST-UP SOLID WOOD POST FROM ABOVE - SEE NOTES ON PLANS FOR SIZE
- STEEL COLUMN - DIAMETER AS INDICATED ON PLANS AND DETAILS
- BEARING PLATE LOCATION & BEAM POCKET LOCATION (SEE NOTES AND DETAILS FOR SIZE AND BOLTING INFO)
- WOOD PARTITIONS
- BEARING WALL

POST SCHEDULE:

MARK	SIZE	TOP CONNECTION
P1	4x4 or 2-2x6 or 2-2x4	4 - 10d TOE NAILS OR AS SHOWN ON DRAWINGS
P2	4x6 or 2-2x6 or 3-2x4	6 - 10d TOE NAILS OR AS SHOWN ON DRAWINGS
P3	6x6 or 3-2x6 or 5-2x4	2 - SIMPSON "A35" FRAMING ANCHORS OR AS SHOWN ON DRAWINGS
P4	8x8 or 7x7 or 6-2x6 or 5 1/2 x 5 1/2 PSL	4 - SIMPSON "A35" FRAMING ANCHORS OR AS SHOWN ON DRAWINGS
P5	8x8 or 6-2x6 or 5 1/2 x 7 1/2 PSL	4 - SIMPSON "A35" FRAMING ANCHORS OR AS SHOWN ON DRAWINGS
PU	POST UP (SEE SIZE FRAMING ON PLANS & ABOVE)	

JACK & KING STUDS ARE CONSIDERED PART OF HEADER POSTS
PSL = PARALAM BY TRUSJOIST OF APPROVED EQUAL
POST SHALL REST ON GROUND, FOUNDATION OF APPROVED SOLID BLOCKING.
ALL OTHER POSTS NOT SHOWN ON PLAN SHALL BE 2-2x4 MIN.

COLUMN FOOTING SCHEDULE:

MARK	SIZE	THICKNESS	BOTTOM REINFORCING
F 1.5	1'-5" X 1'-5"	10"	NONE
F 2.0	2'-0" X 2'-0"	12"	(2) - #4 EACH WAY
F 2.5	2'-6" X 2'-6"	12"	(3) - #4 EACH WAY
F 3.0	3'-0" X 3'-0"	12"	(4) - #5 EACH WAY

WOOD HEADER SCHEDULE:

OPENING	WIDTH	FLOOR SIZE
UP TO 4'-1"	FIRST	(2) 2x10 or (2) 3/4" X 7 1/4" LVL'S
4'-1" TO 6'-1"	FIRST	(2) 2x12 or (2) 3/4" X 9 1/2" LVL'S
6'-1" TO 8'-1"	FIRST	(2) 3/4" X 11 7/8" LVL'S or (3) 3/4" X 9 1/2" LVL'S
UP TO 4'-1"	SECOND	(2) 2x8 or (2) 3/4" X 7 1/4" LVL'S
4'-1" TO 6'-1"	SECOND	2x12 or (2) 3/4" X 9 1/2" LVL'S
6'-1" TO 8'-1"	SECOND	(2) 3/4" X 11 7/8" LVL'S or (3) 3/4" X 9 1/2" LVL'S

G.C. TO DETERMINE IN FIELD, AVAILABLE ROOM HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING.
SEE PLANS FOR HEADERS WITH SPANS GREATER THAN 8'-1" OR WITH LARGER POINT LOADS.

DESIGN LOAD TABLE:

A - ROOF LOADS: LIVE LOAD: DEAD LOAD:	30# P.S.F. 20# P.S.F.
B - ALL FLOORS: LIVE LOAD: DEAD LOAD:	40# P.S.F. 20# P.S.F.
C - OUTDOOR ROOF TERRACE AND PORCH OVER FINISH SPACES: LIVE LOAD: DEAD LOAD: WOOD FRAMING DEAD LOAD: CONCRETE/MASONRY	60# P.S.F. 40# P.S.F. 60# P.S.F.
D - GROUND SNOW LOAD:	30# P.S.F.
E - MINIMUM SOIL BEARING (ASSUMED):	4,000 P.S.F.

LVL NOTE :
ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLAM" BY "TRUS JOIST" WITH A FIBER STRESS OF Fb = 2,600 P.S.I.

SILVA ASSOCIATES
CONSULTING ENGINEERS
11 SUNSET DRIVE, NEW FAIRFIELD, CT 06812
PHONE: 203.746.5613 | EMAIL: edsilva@snai.net

ISSUED/REVISION	DATE	COMMENT
10.27.2021		ISSUED FOR PERMIT
1.24.2022		ISSUED FOR ED SILVA STRUCTURAL REVIEW
1.12.2022		ISSUED FOR CLIENT REVIEW ONLY
12.6.2021		ISSUED FOR CLIENT REVIEW ONLY
11.11.2021		ISSUED FOR CLIENT REVIEW ONLY
10.22.2021		ISSUED FOR CLIENT REVIEW ONLY
9.28.2021		ISSUED FOR CLIENT REVIEW ONLY
8.18.2021		ISSUED FOR CLIENT REVIEW ONLY
7.21.2021		ISSUED FOR CLIENT REVIEW ONLY

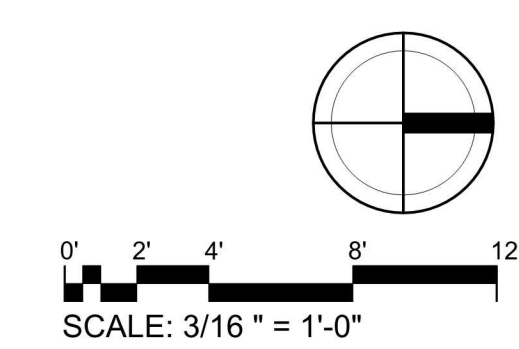
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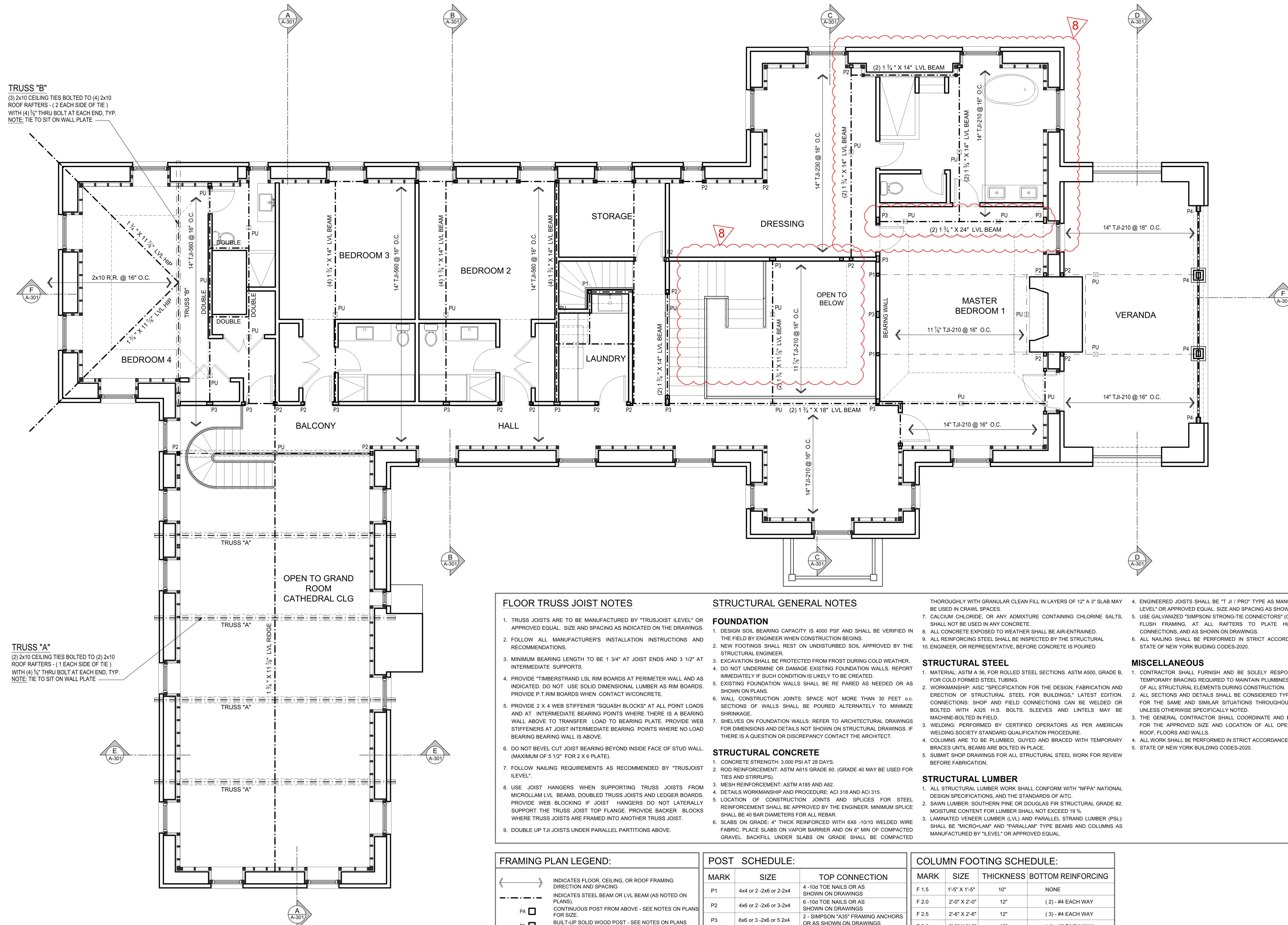
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DATE: 4.30.2021
PROJECT NO.:
DRAWING BY: O.O. / N.A.
CHECKED BY: N.A.
DWG NO.:
S-102
SEAL & SIGNATURE





TRUSS "B"
 (3) 2x10 CEILING TIES BOLTED TO (4) 2x10 ROOF RAFTERS - (2 EACH SIDE OF TIE) WITH (4) 1/2" THRU BOLT AT EACH END, TYP. NOTE: TIE TO SIT ON WALL PLATE

TRUSS "A"
 (2) 2x10 CEILING TIES BOLTED TO (2) 2x10 ROOF RAFTERS - (1 EACH SIDE OF TIE) WITH (4) 1/2" THRU BOLT AT EACH END, TYP. NOTE: TIE TO SIT ON WALL PLATE

SECOND FLOOR - FRAMING PLAN
 SCALE: 3/16" = 1'-0"

FLOOR TRUSS JOIST NOTES

- TRUSS JOISTS ARE TO BE MANUFACTURED BY "TRUSJOIST ILEVEL" OR APPROVED EQUAL. SIZE AND SPACING AS INDICATED ON THE DRAWINGS.
- FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.
- MINIMUM BEARING LENGTH TO BE 3/4" AT JOIST ENDS AND 3/2" AT INTERMEDIATE SUPPORTS.
- PROVIDE "TIMBERSTRAND LSL RIM BOARDS" AT PERIMETER WALL AND AS INDICATED. DO NOT USE SOLID DIMENSIONAL LUMBER AS RIM BOARDS. PROVIDE P.T.RIM BOARDS WHEN CONTACT W/CONCRETE.
- PROVIDE 2 X 4 WEB STIFFENER "SQUASH BLOCKS" AT ALL POINT LOADS AND AT INTERMEDIATE BEARING POINTS WHERE THERE IS A BEARING WALL ABOVE TO TRANSFER LOAD TO BEARING PLATE. PROVIDE WEB STIFFENERS AT JOIST INTERMEDIATE BEARING POINTS WHERE NO LOAD BEARING BEARING WALL IS ABOVE.
- DO NOT BEVEL CUT JOIST BEARING BEYOND INSIDE FACE OF STUD WALL (MAXIMUM OF 5/2" FOR 2 X 6 PLATE).
- FOLLOW NAILING REQUIREMENTS AS RECOMMENDED BY "TRUSJOIST ILEVEL".
- USE JOIST HANGERS WHEN SUPPORTING TRUSS JOISTS FROM MICROLAM LVL BEAMS, DOUBLED TRUSS JOISTS AND LEDGER BOARDS. PROVIDE WEB BLOCKING IF JOIST HANGERS DO NOT LATERALLY SUPPORT THE TRUSS JOIST TOP FLANGE. PROVIDE BACKER BLOCKS WHERE TRUSS JOISTS ARE FRAMED INTO ANOTHER TRUSS JOIST.
- DOUBLE UP TJI JOISTS UNDER PARALLEL PARTITIONS ABOVE.

STRUCTURAL GENERAL NOTES

FOUNDATION

- DESIGN SOIL BEARING CAPACITY IS 4000 PSF AND SHALL BE VERIFIED IN THE FIELD BY ENGINEER WHEN CONSTRUCTION BEGINS.
- NEW FOOTINGS SHALL REST ON UNDISTURBED SOIL APPROVED BY THE STRUCTURAL ENGINEER.
- EXCAVATION SHALL BE PROTECTED FROM FROST DURING COLD WEATHER.
- DO NOT UNDERMINE OR DAMAGE EXISTING FOUNDATION WALLS. REPORT IMMEDIATELY IF SUCH CONDITION IS LIKELY TO BE CREATED.
- EXISTING FOUNDATION WALLS SHALL BE RE PAIRED AS NEEDED OR AS SHOWN ON PLANS.
- WALL CONSTRUCTION JOINTS: SPACE NOT MORE THAN 30 FEET O.C. SECTIONS OF WALLS SHALL BE POURED ALTERNATELY TO MINIMIZE SHRINKAGE.
- SHELVES ON FOUNDATION WALLS REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS. IF THERE IS A QUESTION OR DISCREPANCY CONTACT THE ARCHITECT.

STRUCTURAL CONCRETE

- CONCRETE STRENGTH: 3000 PSI AT 28 DAYS.
- ROD REINFORCEMENT: ASTM A615 GRADE 60. (GRADE 40 MAY BE USED FOR TIES AND STIRRUPS).
- MESH REINFORCEMENT: ASTM A185 AND A82.
- DETAILS WORKMANSHIP AND PROCEDURE: ACI 318 AND ACI 315.
- LOCATION OF CONSTRUCTION JOINTS AND SPLICES FOR STEEL REINFORCEMENT SHALL BE APPROVED BY THE ENGINEER. MINIMUM SPLICE SHALL BE 40 BAR DIAMETERS FOR ALL REBAR.
- SLABS ON GRADE: 4" THICK REINFORCED WITH 6x6 -1010 WELDED WIRE FABRIC. PLACE SLABS ON VAPOR BARRIER AND ON 6" MIN OF COMPACTED GRAVEL. BACKFILL UNDER SLABS ON GRADE SHALL BE COMPACTED THOROUGHLY WITH GRANULAR CLEAN FILL IN LAYERS OF 12" A 3" SLAB MAY BE USED IN CRAWL SPACES.
- CALCIUM CHLORIDE, OR ANY ADMIXTURE CONTAINING CHLORINE SALTS, SHALL NOT BE USED IN ANY CONCRETE.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED.
- ALL REINFORCING STEEL SHALL BE INSPECTED BY THE STRUCTURAL ENGINEER, OR REPRESENTATIVE, BEFORE CONCRETE IS POURED

STRUCTURAL STEEL

- MATERIAL: ASTM A36, FOR ROLLED STEEL SECTIONS. ASTM A500, GRADE B, FOR COLD FORMED STEEL TUBING.
- WORKMANSHIP: AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION. CONNECTIONS: SHOP AND FIELD CONNECTIONS CAN BE WELDED OR BOLTED WITH A325 U.S. BOLTS, SLEEVES AND LINTELS MAY BE MACHINE-BOLTED IN FIELD.
- WELDING: PERFORMED BY CERTIFIED OPERATORS AS PER AMERICAN WELDING SOCIETY STANDARD QUALIFICATION PROCEDURE.
- COLUMNS ARE TO BE PLUMBED, GUYED AND BRACED WITH TEMPORARY BRACES UNTIL BEAMS ARE BOLTED IN PLACE.
- SUBMIT SHOP DRAWINGS FOR ALL STRUCTURAL STEEL WORK FOR REVIEW BEFORE FABRICATION.

STRUCTURAL LUMBER

- ALL STRUCTURAL LUMBER WORK SHALL CONFORM WITH "NFPA" NATIONAL DESIGN SPECIFICATIONS, AND THE STANDARDS OF AITC.
- SAWN LUMBER: SOUTHERN PINE OR DOUGLAS FIR STRUCTURAL GRADE #2. MOISTURE CONTENT FOR LUMBER SHALL NOT EXCEED 19%.
- LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL): SHALL BE "MICROLAM" AND "PARALLAM" TYPE BEAMS AND COLUMNS AS MANUFACTURED BY "LEVEL" OR APPROVED EQUAL.

MISCELLANEOUS

- CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE BUILDING UNLESS OTHERWISE SPECIFICALLY NOTED.
- THE GENERAL CONTRACTOR SHALL COORDINATE AND BE RESPONSIBLE FOR THE APPROVED SIZE AND LOCATION OF ALL OPENINGS THROUGH ROOF, FLOORS AND WALLS.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE STATE OF NEW YORK BUILDING CODES-2020.

FRAMING PLAN LEGEND:

- INDICATES FLOOR, CEILING, OR ROOF FRAMING DIRECTION AND SPACING
- INDICATES STEEL BEAM OR LVL BEAM (AS NOTED ON PLANS)
- CONTINUOUS POST FROM ABOVE - SEE NOTES ON PLANS FOR SIZE
- BUILT-UP SOLID WOOD POST - SEE NOTES ON PLANS FOR SIZE
- POST-UP SOLID WOOD POST FROM ABOVE - SEE NOTES ON PLANS FOR SIZE
- STEEL COLUMN - DIAMETER AS INDICATED ON PLANS AND DETAILS
- BEARING PLATE LOCATION & BEAM POCKET LOCATION (SEE NOTES AND DETAILS FOR SIZE AND BOLTING INFO)
- WOOD PARTITIONS
- BEARING WALL

POST SCHEDULE:

MARK	SIZE	TOP CONNECTION
P1	4x4 or 2-2x6 or 2-2x4	4-10d TOE NAILS OR AS SHOWN ON DRAWINGS
P2	4x6 or 2-2x6 or 3-2x4	6-10d TOE NAILS OR AS SHOWN ON DRAWINGS
P3	6x6 or 3-2x6 or 5-2x4	2- SIMPSON "A35" FRAMING ANCHORS OR AS SHOWN ON DRAWINGS
P4	6x6 or 7x7 or 6-2x6 or 5 1/2 x 5 1/2 PSL	4- SIMPSON "A35" FRAMING ANCHORS OR AS SHOWN ON DRAWINGS
P5	8x8 or 6-2x8 or 5 1/2 x 7 1/2 PSL	4- SIMPSON "A35" FRAMING ANCHORS OR AS SHOWN ON DRAWINGS
PU		POST UP (SEE SIZE FRAMING ON PLANS & ABOVE)

COLUMN FOOTING SCHEDULE:

MARK	SIZE	THICKNESS	BOTTOM REINFORCING
F 1.5	1'-0" X 1'-0"	10"	NONE
F 2.0	2'-0" X 2'-0"	12"	(2) - #4 EACH WAY
F 2.5	2'-6" X 2'-6"	12"	(3) - #4 EACH WAY
F 3.0	3'-0" X 3'-0"	12"	(4) - #5 EACH WAY

WOOD HEADER SCHEDULE:

OPENING	WIDTH	FLOOR SIZE
UP TO 4'-1"	FIRST	(2) 2x10 or (2) 3/4" X 7 1/4" LVL'S
4'-1" TO 6'-1"	FIRST	(2) 2x12 or (2) 3/4" X 9 1/2" LVL'S
6'-1" TO 8'-1"	FIRST	(2) 3/4" X 11 7/8" LVL'S or (3) 3/4" X 9 1/2" LVL'S
UP TO 4'-1"	SECOND	(2) 2x8 or (2) 3/4" X 7 1/4" LVL'S
4'-1" TO 6'-1"	SECOND	2x12 or (2) 3/4" X 9 1/2" LVL'S
6'-1" TO 8'-1"	SECOND	(2) 3/4" X 11 7/8" LVL'S or (3) 3/4" X 9 1/2" LVL'S

DESIGN LOAD TABLE:

A - ROOF LOADS: LIVE LOAD: DEAD LOAD:	30# P.S.F. 20# P.S.F.
B - ALL FLOORS: LIVE LOAD: DEAD LOAD:	40# P.S.F. 20# P.S.F.
C - OUTDOOR ROOF TERRACE AND PORCH OVER FINISH SPACES: LIVE LOAD: DEAD LOAD: WOOD FRAMING DEAD LOAD: CONCRETE/MASONRY	60# P.S.F. 40# P.S.F. 60# P.S.F.
D - GROUND SNOW LOAD:	30# P.S.F.
E - MINIMUM SOIL BEARING (ASSUMED):	4,000 P.S.F.

LVL NOTE :
 ALL DESIGNATED LVL'S SHALL BE 1.9E "MICROLAM" BY "TRUS JOIST" WITH A FIBER STRESS OF Fb = 2,600 P.S.I.

G.C. TO DETERMINE IN FIELD, AVAILABLE ROOM HEADER, AS INDICATED PRIOR TO FRAMING ROUGH OPENING. SEE PLANS FOR HEADERS WITH SPANS GREATER THAN 8'-1" OR WITH LARGER POINT LOADS.

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12/8/2021		ISSUED FOR CLIENT REVIEW ONLY
11/11/2021		ISSUED FOR CLIENT REVIEW ONLY
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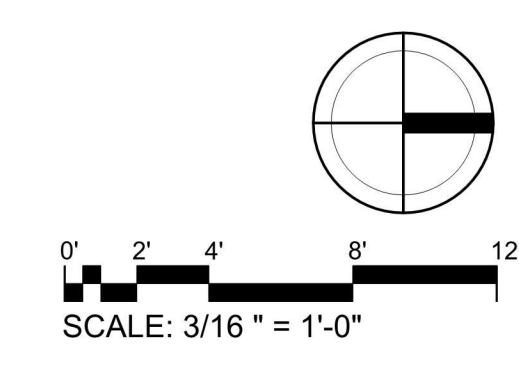
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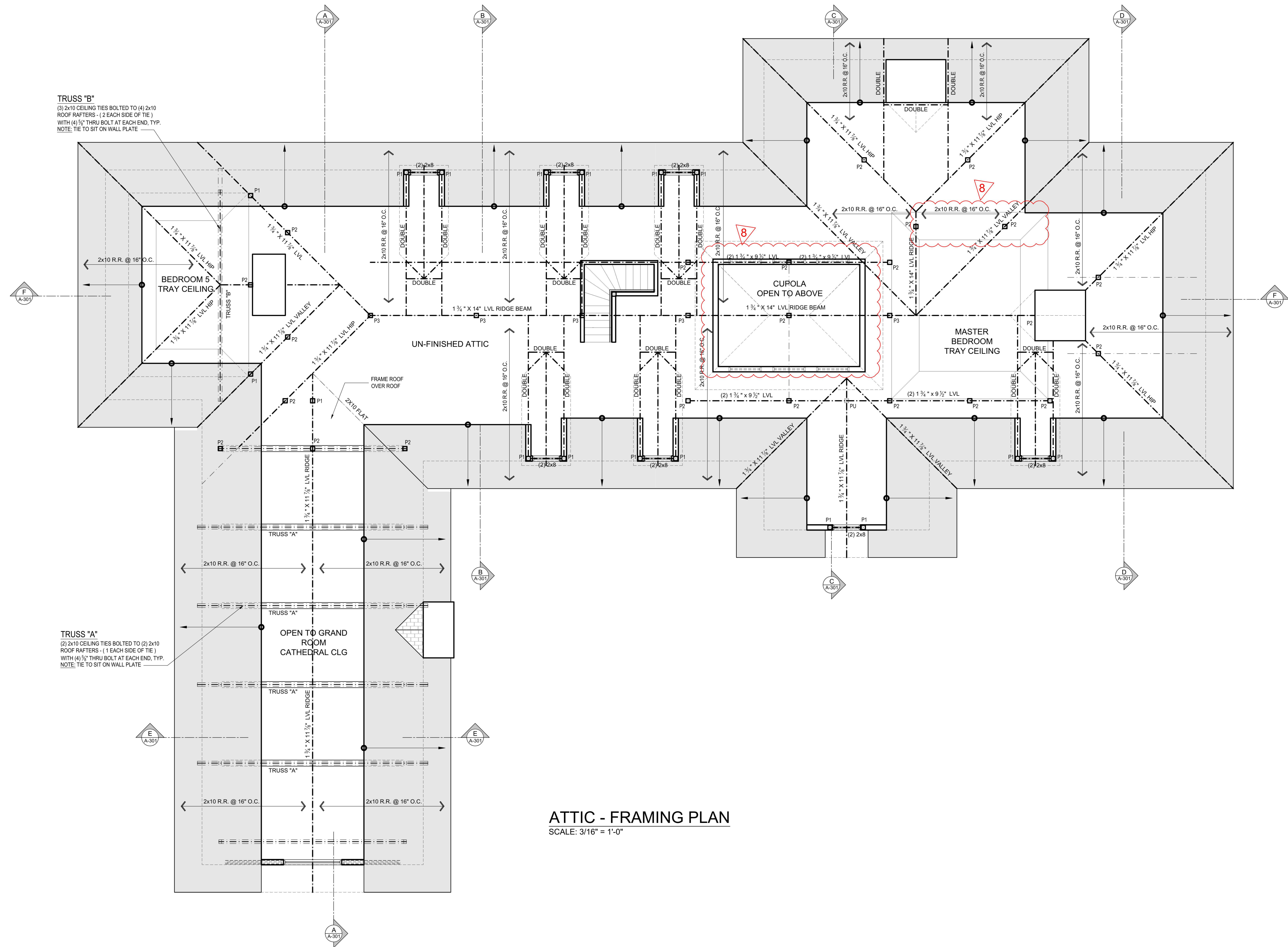
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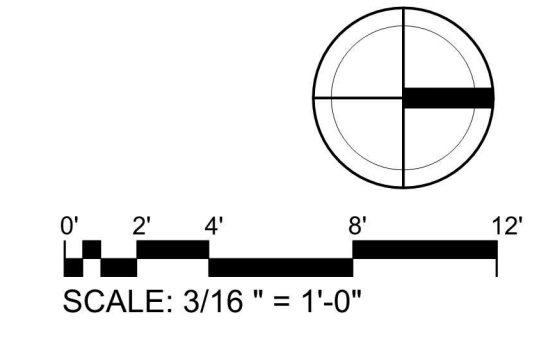
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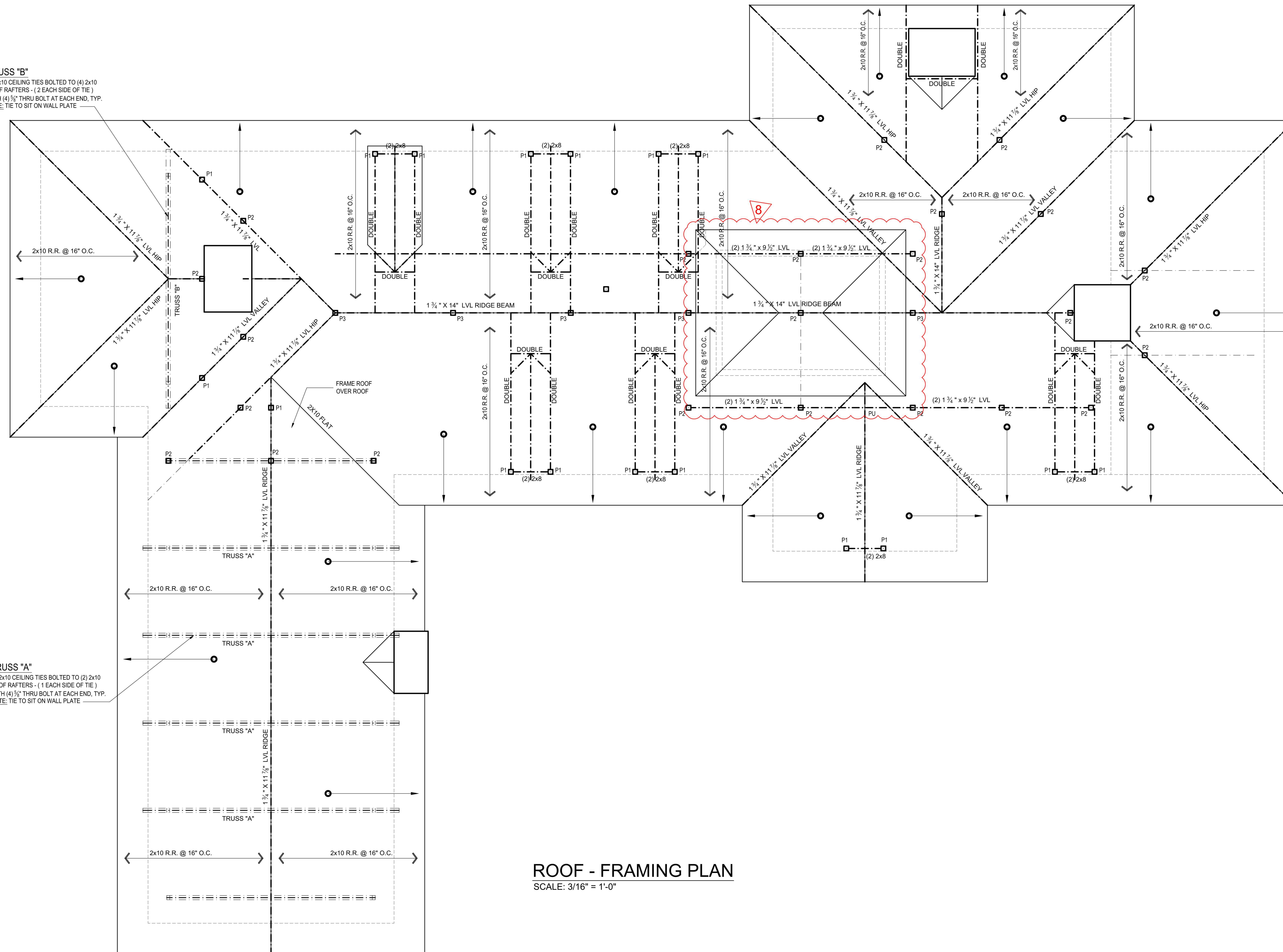
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TRUSS "B"
 (3) 2x10 CEILING TIES BOLTED TO (4) 2x10 ROOF RAFTERS - (2 EACH SIDE OF TIE) WITH (4) 1/2" THRU BOLT AT EACH END, TYP. NOTE: TIE TO SIT ON WALL PLATE

TRUSS "A"
 (2) 2x10 CEILING TIES BOLTED TO (2) 2x10 ROOF RAFTERS - (1 EACH SIDE OF TIE) WITH (4) 1/2" THRU BOLT AT EACH END, TYP. NOTE: TIE TO SIT ON WALL PLATE



ROOF - FRAMING PLAN
 SCALE: 3/16" = 1'-0"

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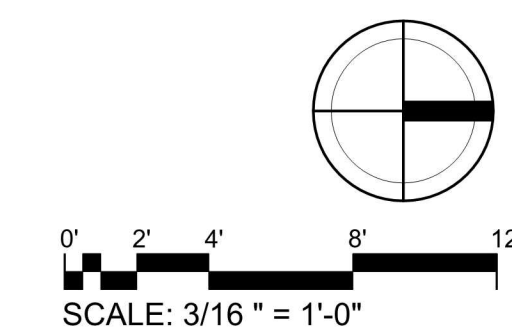
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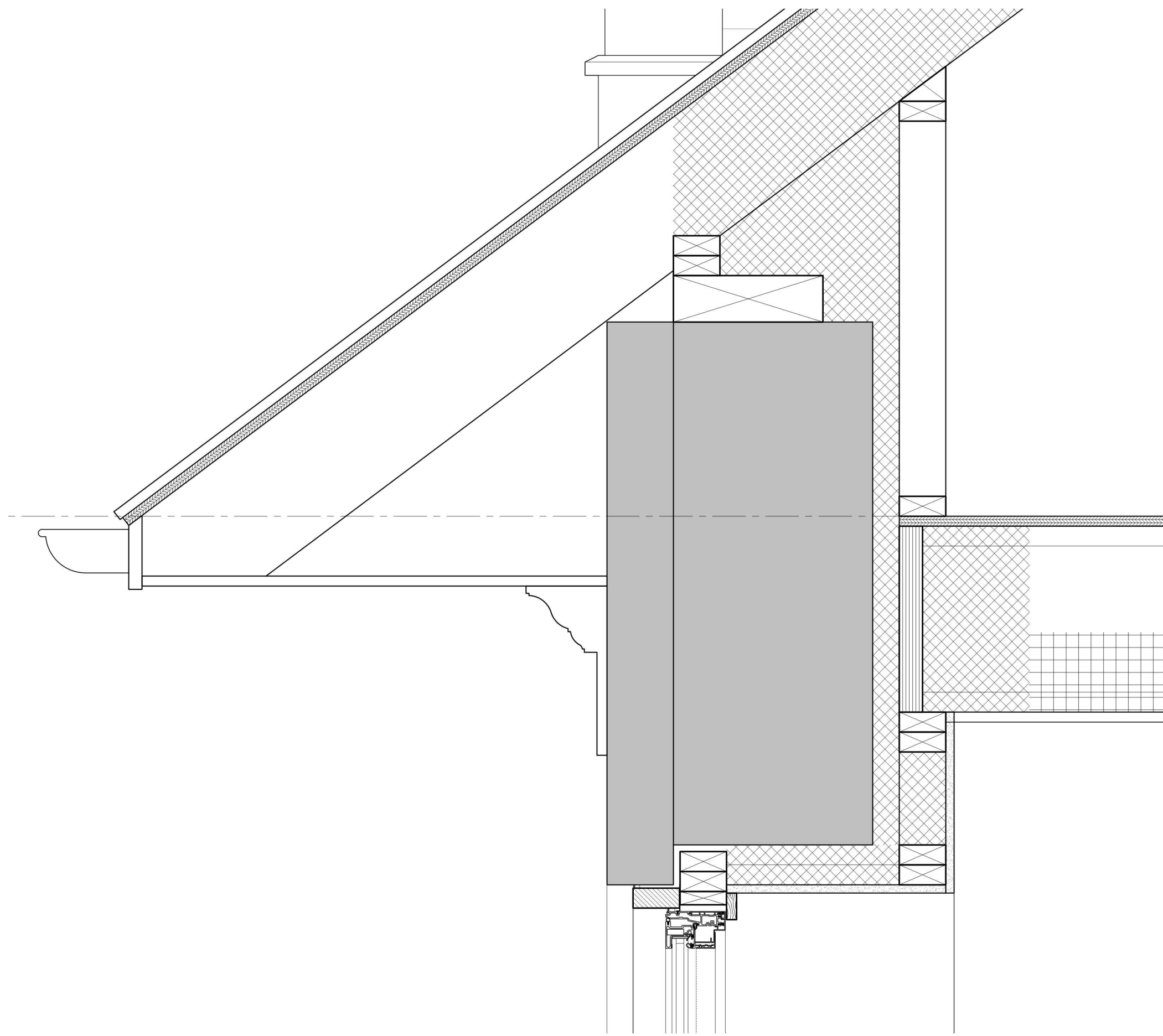
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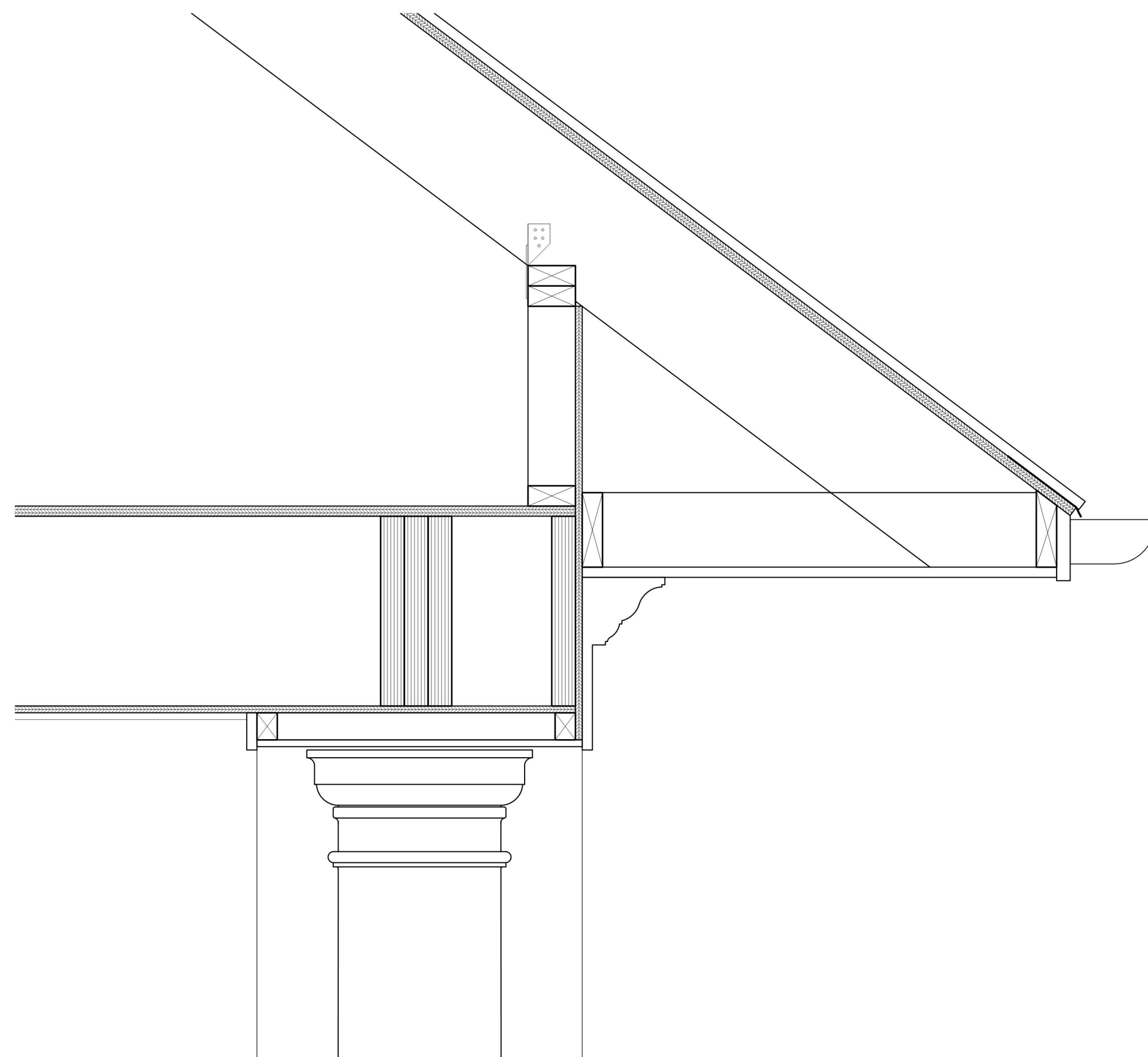
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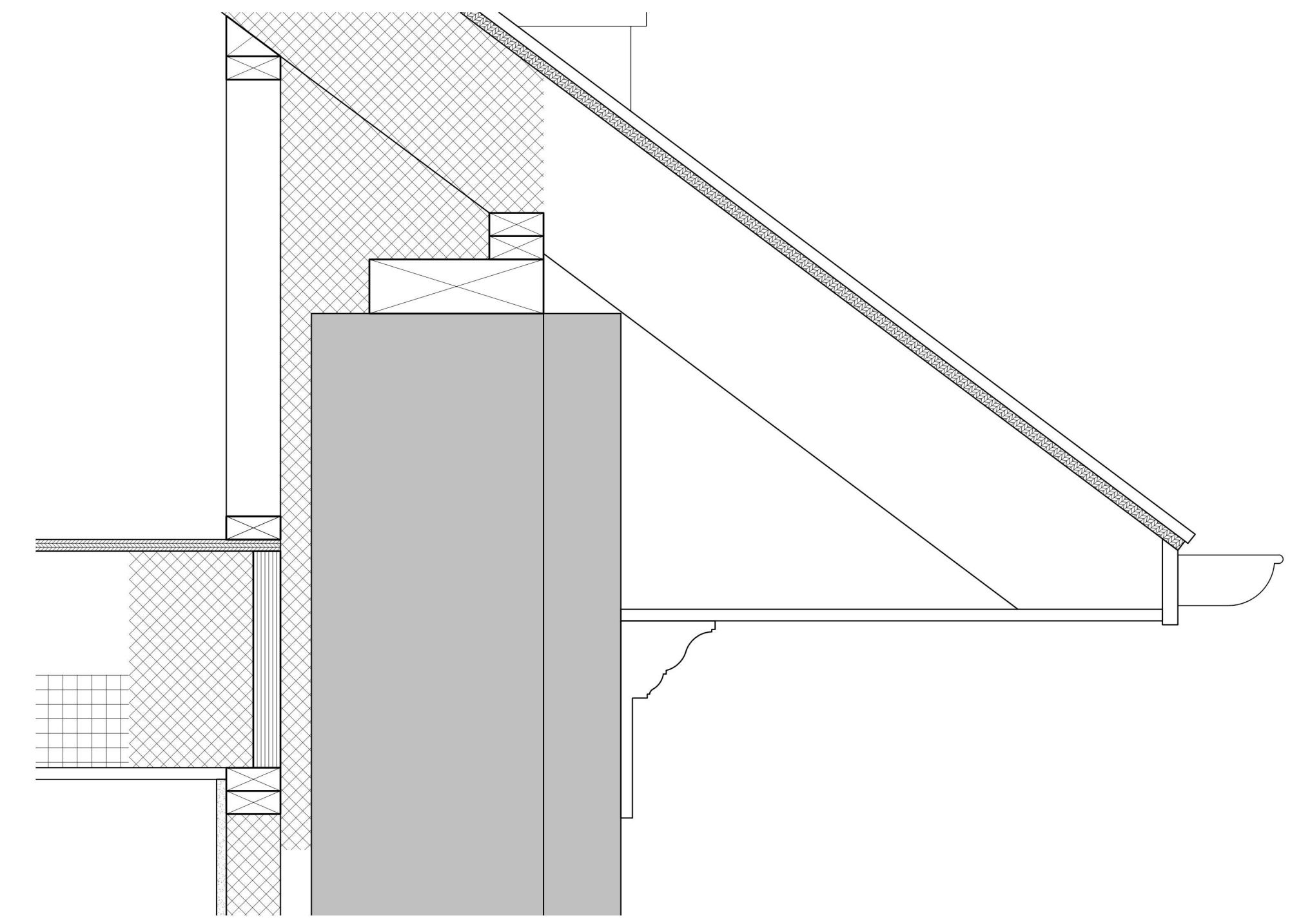




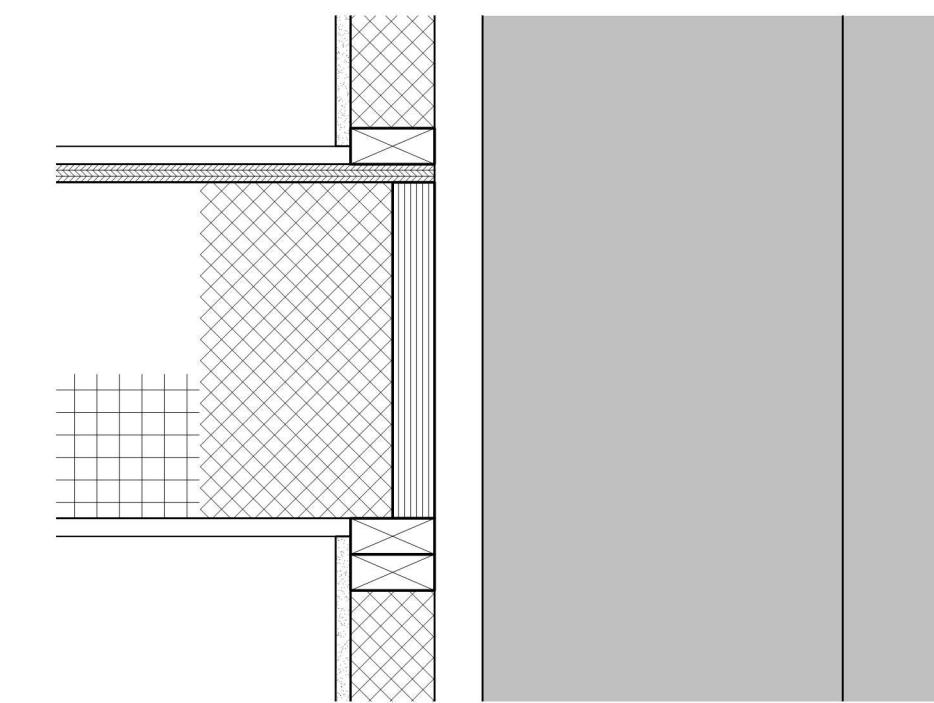
ATTIC FLOOR CONNECTION TO STONE WALL DETAIL
SCALE: 1/2" = 1'-0"



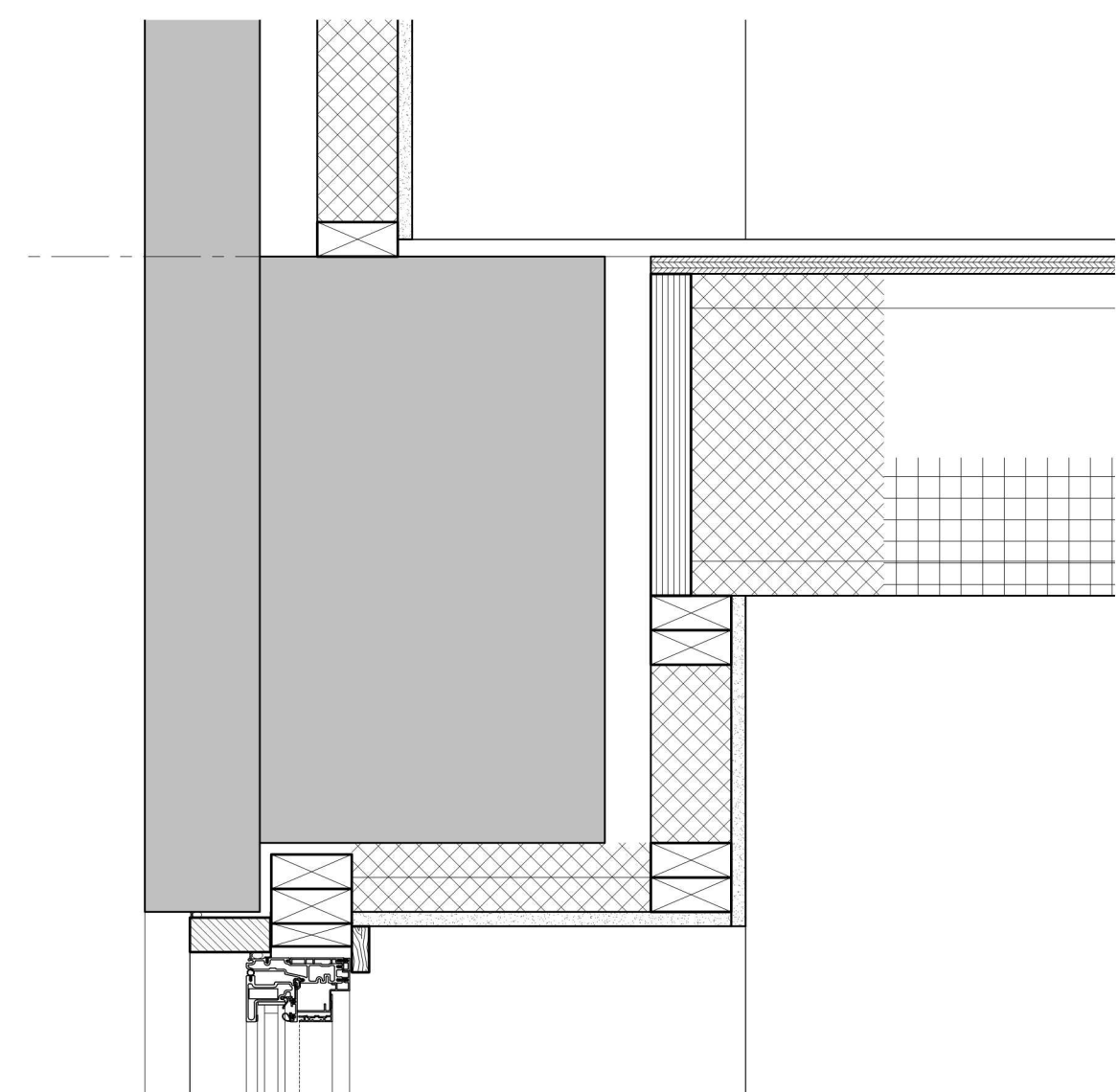
SOFFIT / COLUMN CONNECTION AT VERANDA DETAIL
SCALE: 1/2" = 1'-0"



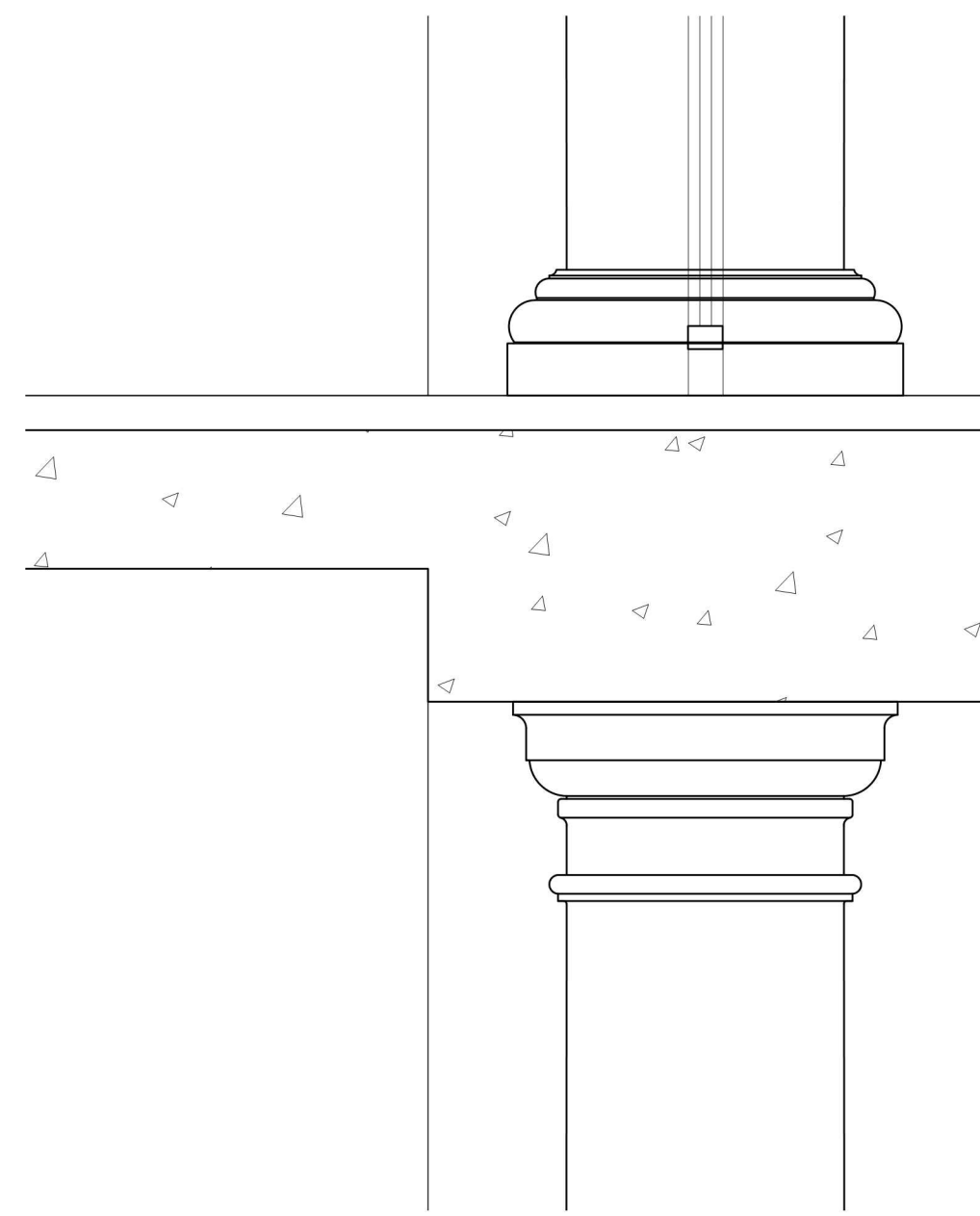
ATTIC FLOOR CONNECTION TO STONE WALL DETAIL
SCALE: 1/2" = 1'-0"



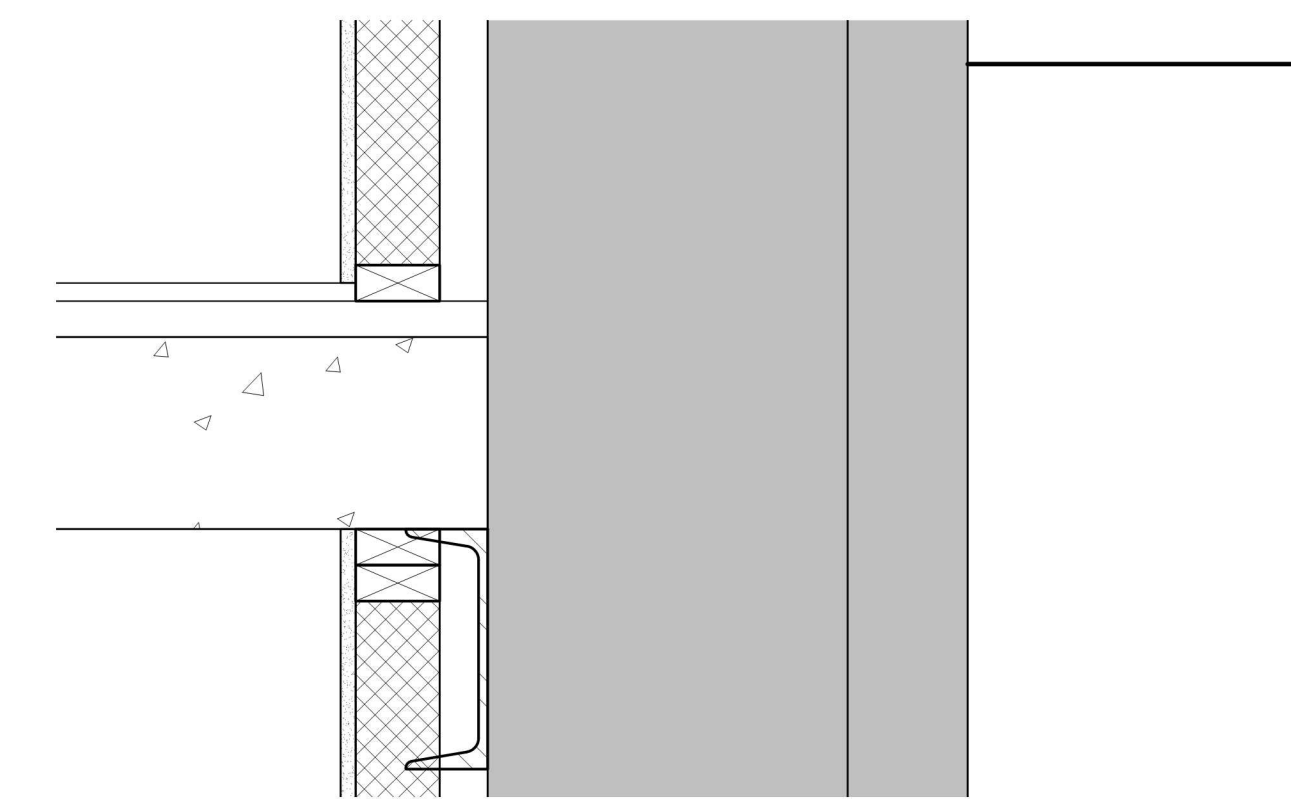
SECOND FLOOR CONNECTION TO STONE WALL
SCALE: 1/2" = 1'-0"



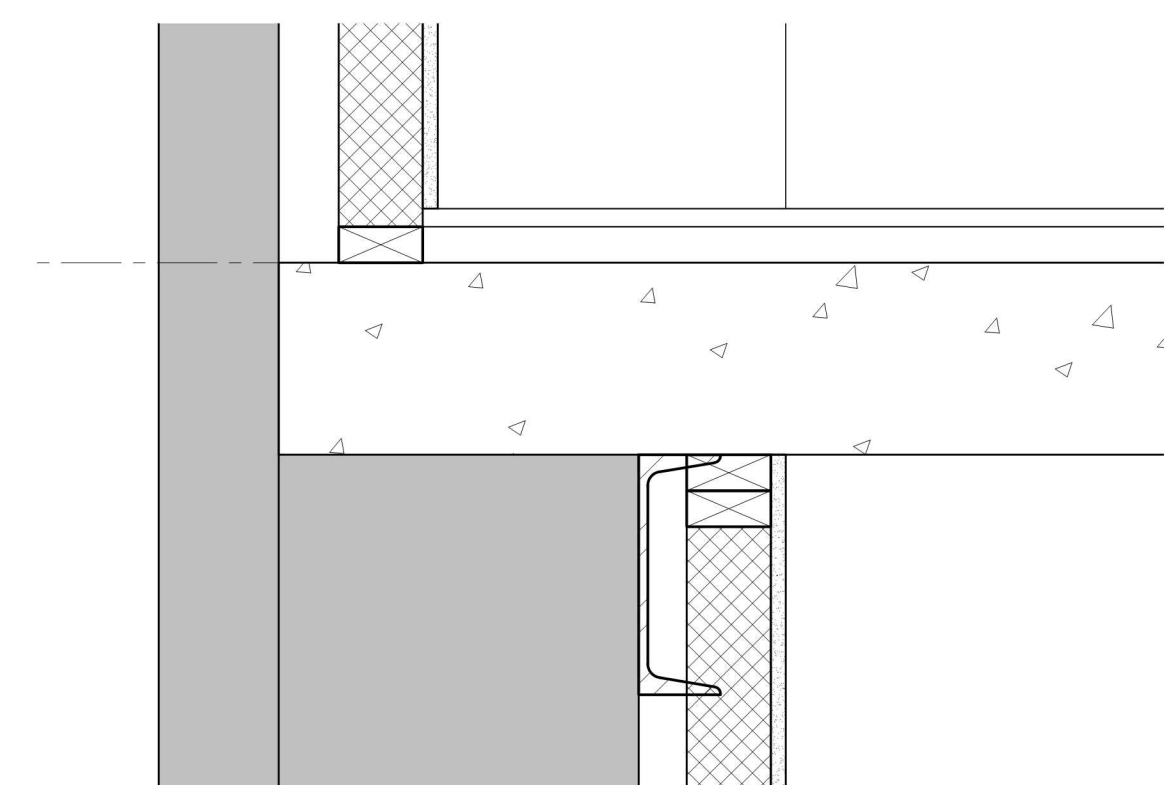
SECOND FLOOR CONNECTION TO STONE WALL DETAIL & HEADER
SCALE: 1/2" = 1'-0"



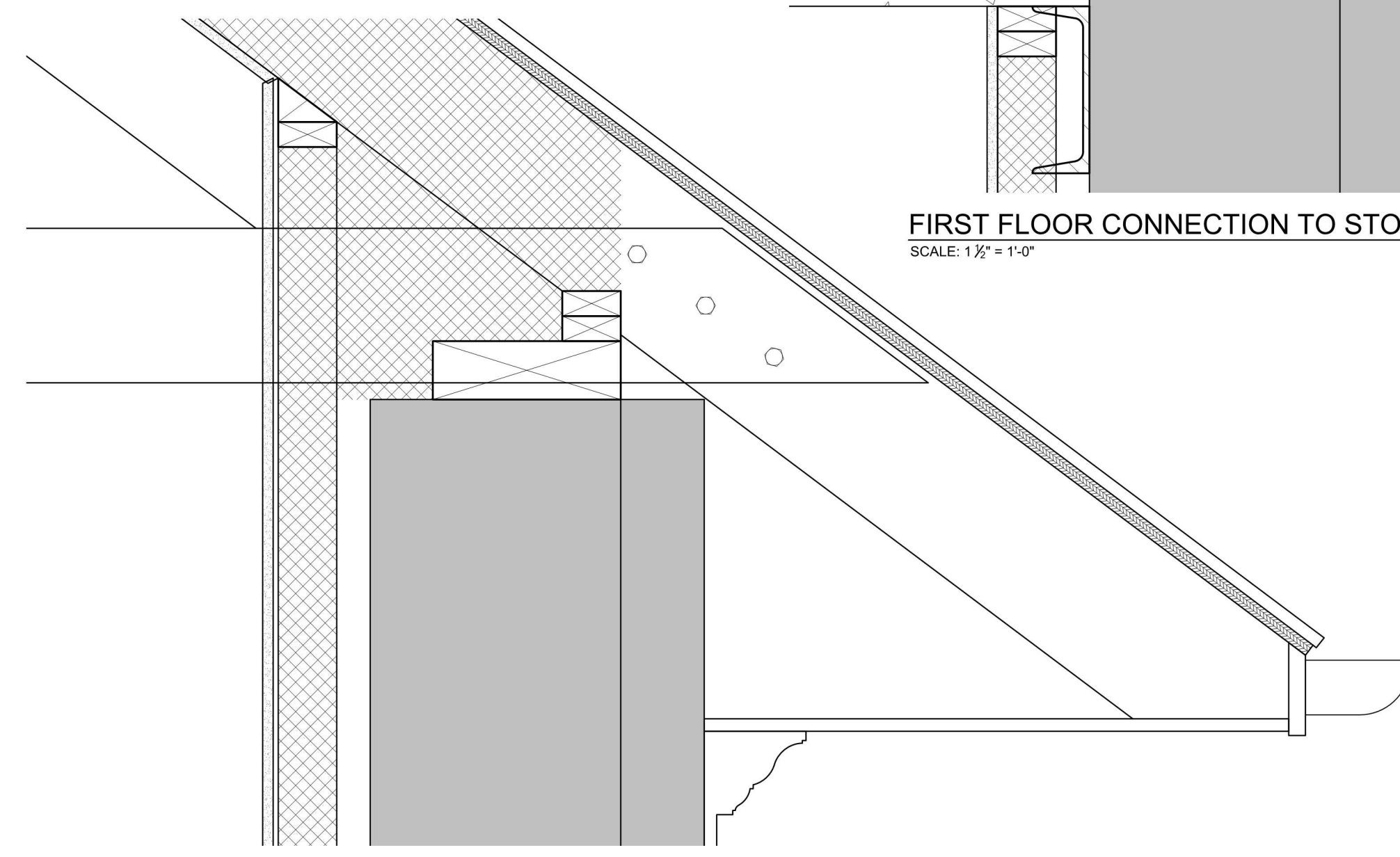
VERANDA SLAB / HEADER / COLUMN DETAIL
SCALE: 1/2" = 1'-0"



FIRST FLOOR CONNECTION TO STONE WALL
SCALE: 1/2" = 1'-0"



FIRST FLOOR CONNECTION TO STONE WALL
SCALE: 1/2" = 1'-0"



TIES - ROOF RAFTERS / WALL CONNECTION DETAIL
SCALE: 1/2" = 1'-0"

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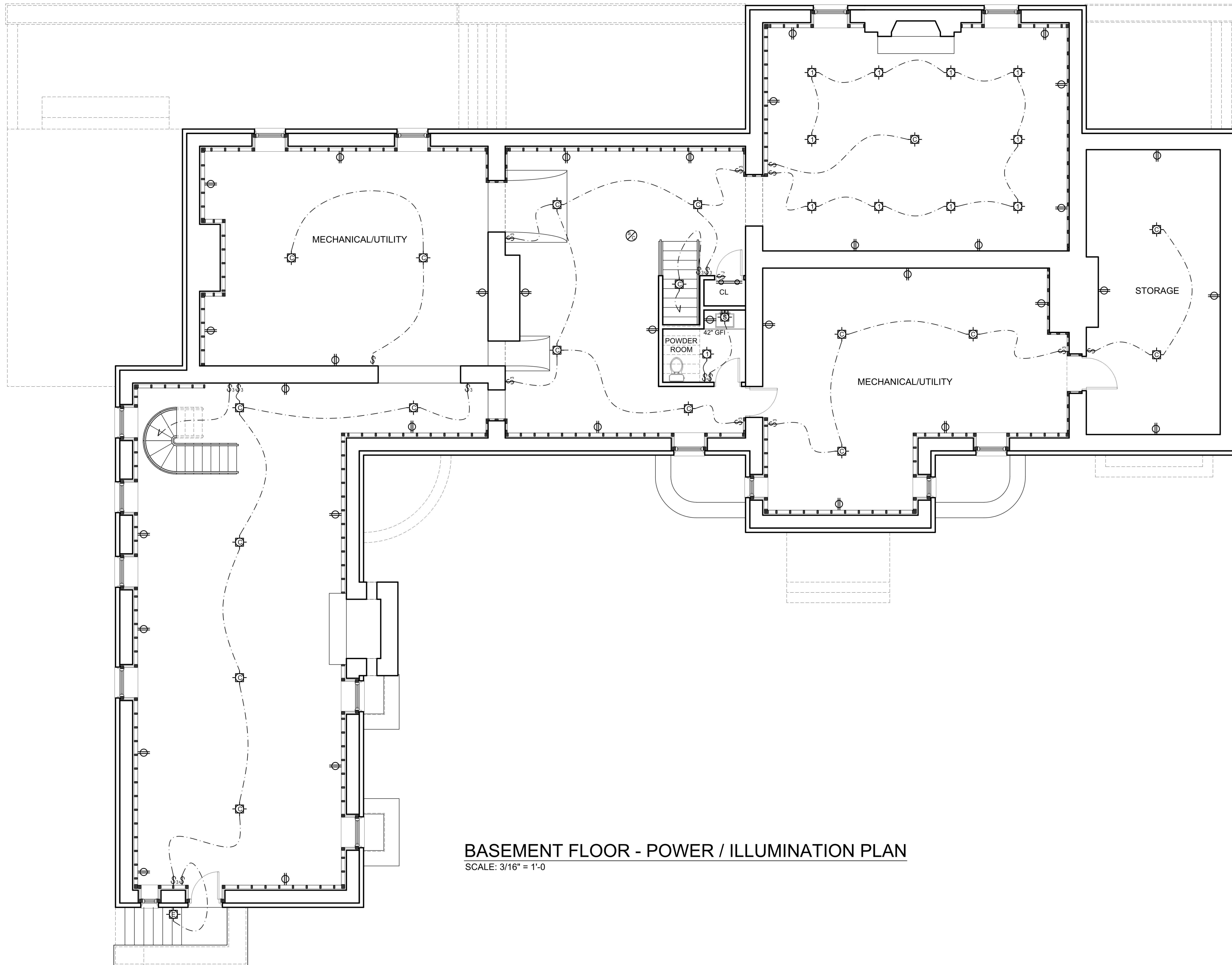
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BASEMENT FLOOR - POWER / ILLUMINATION PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL GENERAL NOTES

1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE 2020 NY STATE BUILDING CODE, 2020 INTERNATIONAL RESIDENTIAL CODE, AND THE 2017 NATIONAL ELECTRICAL CODE & LOCAL CODE.
2. IN ACCORDANCE WITH SECTION R 907 OF THE INTERNATIONAL BUILDING CODE NFPA, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING AREAS AS LISTED BELOW.
3. IN EACH BEDROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREAS
4. ON EACH ADDITIONAL FLOORS, INCLUDING BASEMENTS, GARAGE & MECHANICAL ROOM.
5. ALL SMOKE ALARMS/CARBON MONOXIDE UNITS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT IF ONE ALARM IS ACTIVATED, ALL THE ALARMS WILL SOUND OFF.
6. CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER NY STATE CODE AND MANUFACTURE SPECIFICATIONS.
7. NOTE THESE PLANS ARE FOR DESIGN INTENT AND LOCATION ONLY. ELECTRICAL CONTRACTOR TO COMPLY WITH THE LATEST STATE OF NY, IRC BUILDING CODE, N.E.C. ELECTRICAL CODE AND THE LOCAL BUILDING DEPARTMENT.
8. CONTRACTOR TO COORDINATE W/OWNER LOCATION OF ALARM SYSTEM, AND SOUND SPEAKERS.
9. OWNER TO SELECT OUTLETS, SWITCHES AND LIGHTING FIXTURES.
10. CONTRACTOR TO COORDINATE W/OWNER FINAL LOCATION OF ALL OUTLETS, SWITCHES, LIGHTING, TELEPHONE, CABLE JACKS, INTERNET JACKS AND QUANTITIES.
11. ELECTRICAL CONTRACTOR TO PROVIDE A SEPARATE BID AND DESIGN FOR SMART HOUSE TECHNOLOGY TO INCLUDE LOW VOLTAGE LIGHTING, LUTRON SWITCHES, CLIMATE CONTROLS, .ETC. TO BE REMOTELY CONTROLLED.

NOTES:
- SMOKE DETECTORS/ALARMS TO BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AS REQUIRED BY NY/AJ801.8.1
- CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER A.801.8.2

ELECTRICAL LEGEND

KEY	DESCRIPTION	REMARKS
⊕	DUPLEX OUTLET	
⊕	DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕	DUPLEX OUTLET 42" AFF WITH GROUND FAULT INTERRUPT	AS PER CODE REQUIREMENT
⊕	DUPLEX OUTLET 42" AFF	
⊕ X	DEDICATED OUTLET FOR APPLIANCES	AS PER CODE AND MANUF. REQUIREMENT
⊕ WP	WATERPROOF DUPLEX OUTLET	AS PER CODE REQUIREMENT
⊕	QUAD OUTLET	
⊕ F	FLOOR OUTLET	
⊕ F	FLOOR DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕ C	CEILING OUTLET	
—	WIRE MOLD CONTINUOUS OUTLET	UNDER CABINET G.F.I.
⊕	AUTOMATIC GARAGE DOOR	SIDE DOOR MOUNTED
⊕	EXHAUST VENT	
⊕	SWITCH	
⊕ 3	3 WAY SWITCH	ALL SWITCHES LOCATION TO BE DETERMINED AND DESIGNED WITH HOUSE AUTOMATION AND SOFTWARE.
⊕ J	JAMB SWITCH	
⊕ WP	WATERPROOF SWITCH	PROVIDE SHOP DRAWING OF FINAL LIGHTING AND SWITCHING DESIGN
⊕ KP	KEYPAD SWITCH	
—	LINEAR LED LIGHTS	
⊕	RECESSED DOWNLIGHT	
⊕	RECESSED DOWNLIGHT WALL WASHER	
⊕	RECESSED DOWNLIGHT WATERPROOF AREA	
⊕	PENDENT CEILING MOUNTED FIXTURE	
⊕	CEILING MOUNTED FIXTURE	
⊕	EXTERIOR WALL MOUNTED OR CEILING MOUNTED FIXTURE	
⊕	EXTERIOR RECESSED DOWNLIGHT	
⊕	INTERIOR SCONCES	
⊕	EXTERIOR FLOOD LIGHTS, GARAGE AND UTILITARIAN SPACES	LENGTHS TO BE DETERMINED IN THE FIELD.
—	LIGHTING STRIP	
⊕	SPEAKER WALL OR CEILING MOUNTED	
⊕	DOOR BELL	
⊕	DOOR CHIME	
⊕	CENTRAL VACUUM OUTLET	
⊕	CABLE TV OUTLET	
⊕	NETWORK OUTLET (CAT 6)	
⊕	TELEPHONE JACK	
⊕	SMOKE/CARBON MONOXIDE DETECTOR	SEE ENGINEERING AND ZONING REVIEW AND APPROVAL
⊕	HEAT DETECTOR	BOARD OF HEALTH
⊕	THERMISTAT	ISSUED FOR ED SILVA STRUCTURAL REVIEW

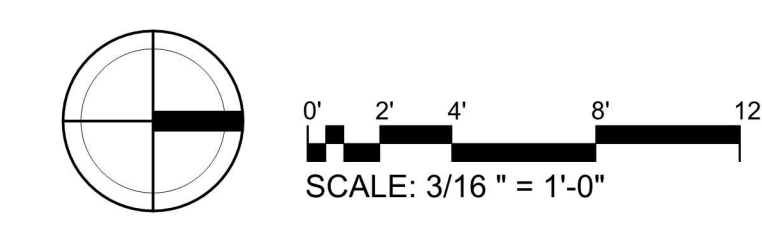
ISSUED/REVISION	DATE	COMMENT
	12.6.2021	ISSUED FOR CLIENT REVIEW ONLY
	11.11.2021	ISSUED FOR CLIENT REVIEW ONLY
	10.22.2021	ISSUED FOR CLIENT REVIEW ONLY
	9.28.2021	ISSUED FOR CLIENT REVIEW ONLY
	8.18.2021	ISSUED FOR CLIENT REVIEW ONLY
	7.21.2021	ISSUED FOR CLIENT REVIEW ONLY

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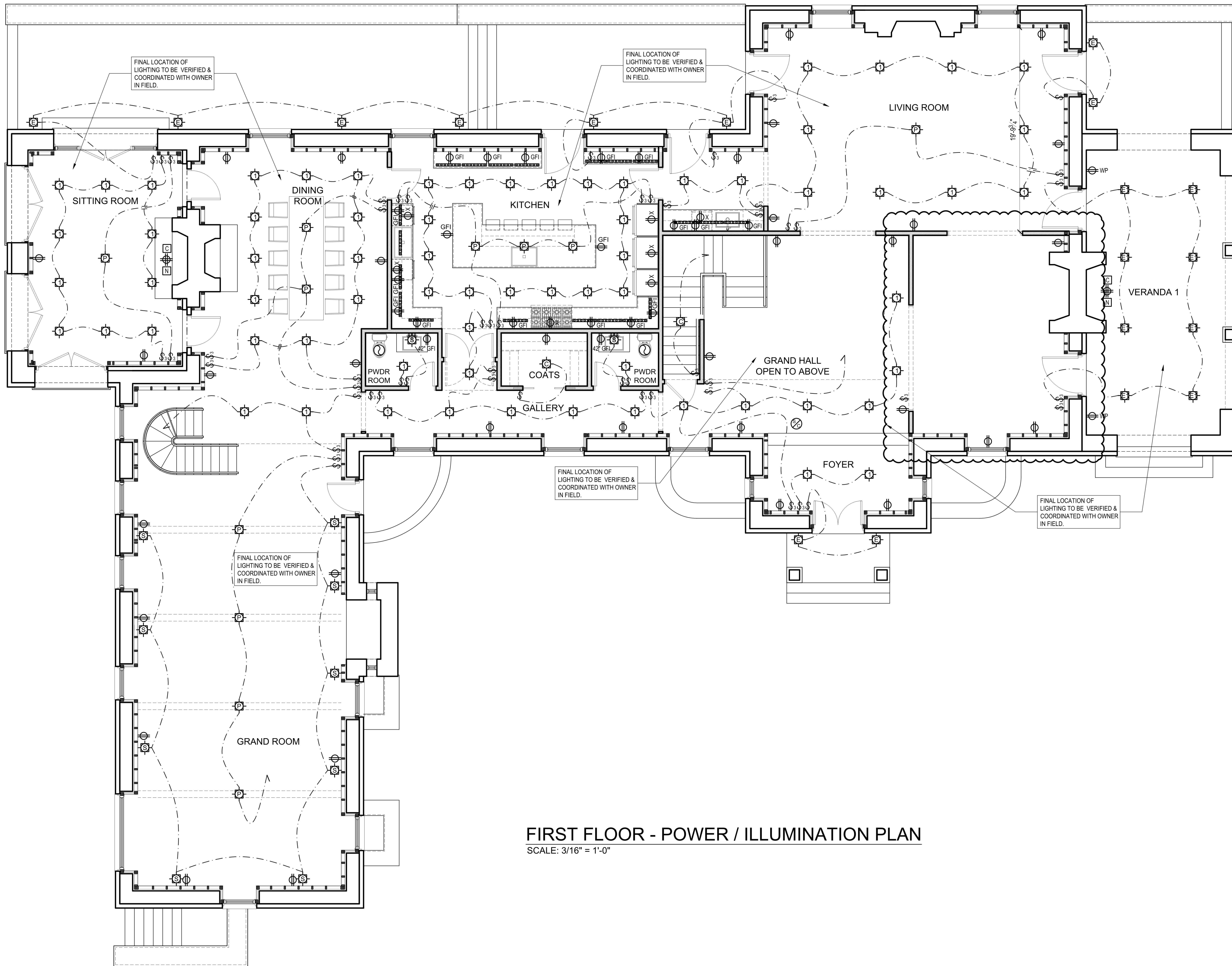
PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

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DATE: 4.30.2021
PROJECT NO.
DRAWING BY: O.O. / N.A.
CHECKED BY: N.A.
DWG NO. **E-101**
SEAL & SIGNATURE



FIRST FLOOR - POWER / ILLUMINATION PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL GENERAL NOTES

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE 2020 NY STATE BUILDING CODE, 2020 INTERNATIONAL RESIDENTIAL CODE, AND THE 2017 NATIONAL ELECTRICAL CODE & LOCAL CODE.
- IN ACCORDANCE WITH SECTION R 907 OF THE INTERNATIONAL BUILDING CODE NFPA, SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING AREAS AS LISTED BELOW.
- IN EACH BEDROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREAS
- ON EACH ADDITIONAL FLOORS, INCLUDING BASEMENTS, GARAGE & MECHANICAL ROOM.
- ALL SMOKE ALARMS/CARBON MONOXIDE UNITS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT IF ONE ALARM IS ACTIVATED, ALL THE ALARMS WILL SOUND OFF.
- CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER NY STATE CODE AND MANUFACTURE SPECIFICATIONS.
- NOTE THESE PLANS ARE FOR DESIGN INTENT AND LOCATION ONLY. ELECTRICAL CONTRACTOR TO COMPLY WITH THE LATEST STATE OF NY, IRC BUILDING CODE, N.E.C. ELECTRICAL CODE AND THE LOCAL BUILDING DEPARTMENT.
- CONTRACTOR TO COORDINATE W/OWNER LOCATION OF ALARM SYSTEM, AND SOUND SPEAKERS.
- OWNER TO SELECT OUTLETS, SWITCHES AND LIGHTING FIXTURES.
- CONTRACTOR TO COORDINATE W/OWNER FINAL LOCATION OF ALL OUTLETS, SWITCHES, LIGHTING, TELEPHONE, CABLE JACKS, INTERNET JACKS AND QUANTITIES.
- ELECTRICAL CONTRACTOR TO PROVIDE A SEPARATE BID AND DESIGN FOR SMART HOUSE TECHNOLOGY TO INCLUDE LOW VOLTAGE LIGHTING, LUTRON SWITCHES, CLIMATE CONTROLS...ETC. TO BE REMOTELY CONTROLLED.

NOTES:
- SMOKE DETECTORS/ALARMS TO BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AS REQUIRED BY NY/AJ801.8.1
- CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER A.801.8.2

ELECTRICAL LEGEND

KEY	DESCRIPTION	REMARKS
⊕	DUPLEX OUTLET	
⊕	DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕	DUPLEX OUTLET 42" AFF WITH GROUND FAULT INTERRUPT	AS PER CODE REQUIREMENT
⊕	DUPLEX OUTLET 42" AFF	
X	DEDICATED OUTLET FOR APPLIANCES	AS PER CODE AND MANUF. REQUIREMENT
⊕	WATERPROOF DUPLEX OUTLET	AS PER CODE REQUIREMENT
⊕	QUAD OUTLET	
F	FLOOR OUTLET	
F	FLOOR DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
C	CEILING OUTLET	
—	WIRE MOLD CONTINUOUS OUTLET	UNDER CABINET G.F.I.
⊕	AUTOMATIC GARAGE DOOR	SIDE DOOR MOUNTED
⊕	EXHAUST VENT	
⊕	SWITCH	
3	3 WAY SWITCH	ALL SWITCHES LOCATION TO BE DETERMINED AND DESIGNED WITH HOUSE AUTOMATION AND SOFTWARE.
J	JAMB SWITCH	
⊕	WATERPROOF SWITCH	PROVIDE SHOP DRAWING OF FINAL LIGHTING AND SWITCHING DESIGN
⊕	KEYPAD SWITCH	
—	LINEAR LED LIGHTS	
⊕	RECESSED DOWNLIGHT	
⊕	RECESSED DOWNLIGHT WALL WASHER	
⊕	RECESSED DOWNLIGHT WATERPROOF AREA	
⊕	PENDENT CEILING MOUNTED FIXTURE	
⊕	CEILING MOUNTED FIXTURE	
⊕	EXTERIOR WALL MOUNTED OR CEILING MOUNTED FIXTURE	
⊕	EXTERIOR RECESSED DOWNLIGHT	
⊕	INTERIOR SCUNCES	
⊕	EXTERIOR FLOOR LIGHTS, GARAGE AND UTILITARIAN SPACES. LENGTHS TO BE DETERMINED IN THE FIELD.	
—	LIGHTING STRIP	
⊕	SPEAKER WALL OR CEILING MOUNTED	
⊕	DOOR BELL	
⊕	DOOR CHIME	
⊕	CENTRAL VACUUM OUTLET	
⊕	CABLE TV OUTLET	
⊕	NETWORK OUTLET (CAT 6)	
⊕	TELEPHONE JACK	
⊕	SMOKE/CARBON MONOXIDE DETECTOR	SEE SCHEDULING AND ZONING REVIEW AND APPROVAL
H	HEAT DETECTOR	BOARD OF HEALTH
T	THERMISTAT	ISSUED FOR ED SILVA STRUCTURAL REVIEW

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	12.8.2021	ISSUED FOR CLIENT REVIEW ONLY
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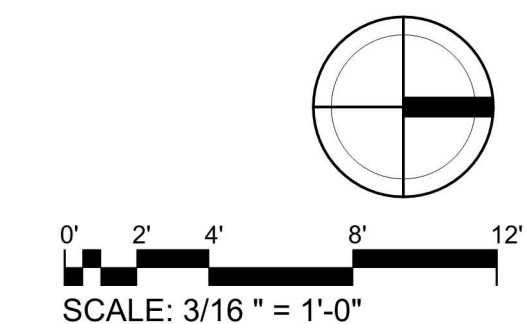
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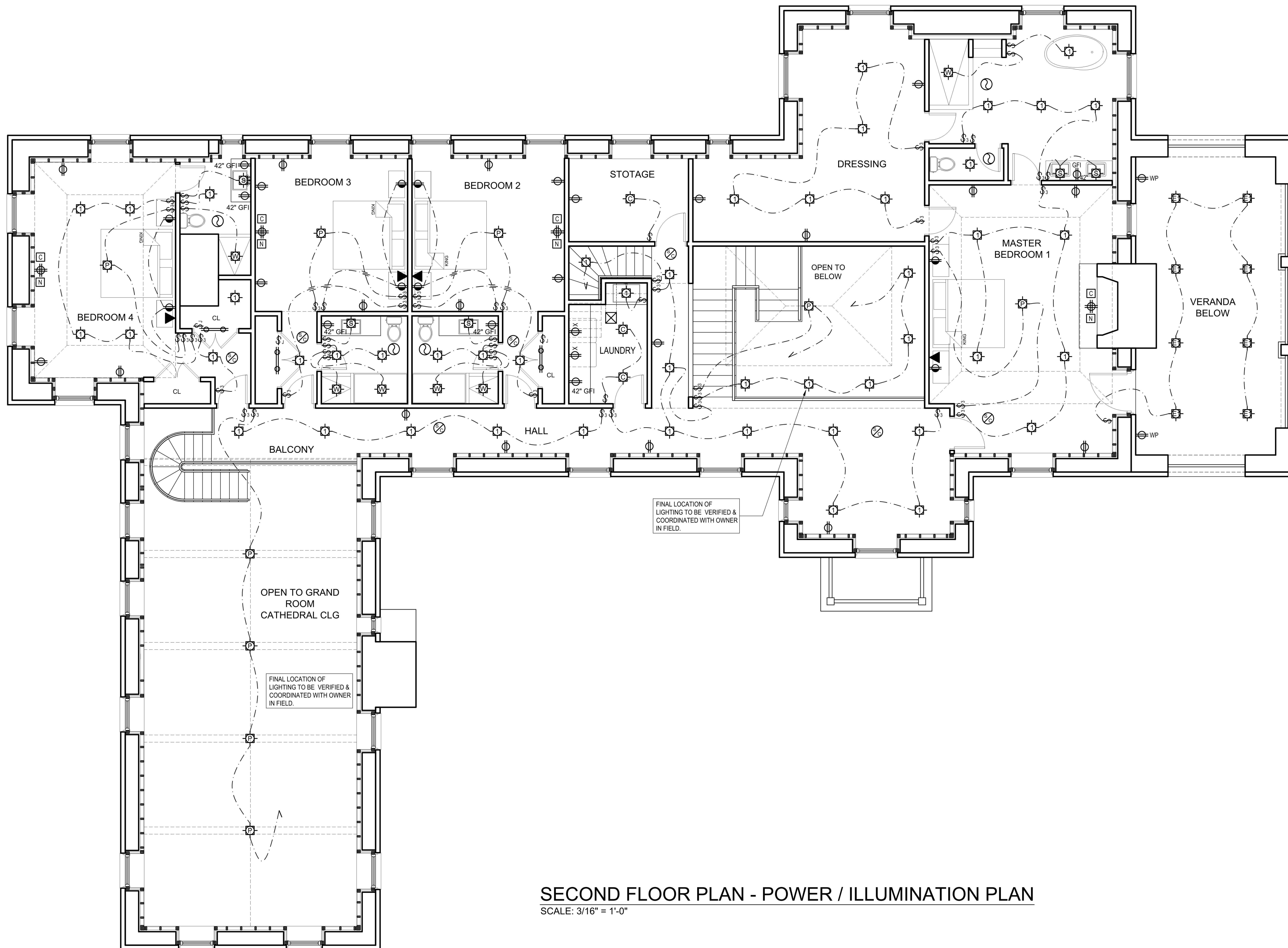
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RE-BUILDING/RENOVATION
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DATE:	4.30.2021
PROJECT NO.	
DRAWING BY:	O.O./N.A.
CHECKED BY:	N.A.
DWG NO.	E-102
	OF





SECOND FLOOR PLAN - POWER / ILLUMINATION PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL GENERAL NOTES

- ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE 2020 NY STATE BUILDING CODE, 2020 INTERNATIONAL RESIDENTIAL CODE, AND THE 2017 NATIONAL ELECTRICAL CODE & LOCAL CODE.
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NOTES:
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- CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER A.J801.8.2

ELECTRICAL LEGEND

KEY	DESCRIPTION	REMARKS
⊕	DUPLEX OUTLET	
⊕	DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕	DUPLEX OUTLET 42" AFF WITH GROUND FAULT INTERRUPT	AS PER CODE REQUIREMENT
⊕	DUPLEX OUTLET 42" AFF	
⊕ X	DEDICATED OUTLET FOR APPLIANCES	AS PER CODE AND MANUF. REQUIREMENT
⊕ WP	WATERPROOF DUPLEX OUTLET	AS PER CODE REQUIREMENT
⊕	QUAD OUTLET	
⊕ F	FLOOR OUTLET	
⊕ F	FLOOR DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕ C	CEILING OUTLET	
—	WIRE MOLD CONTINUOUS OUTLET	UNDER CABINET G.F.I.
⊕	AUTOMATIC GARAGE DOOR OPENER	SIDE DOOR MOUNTED
⊕	EXHAUST VENT	
⊕	SWITCH	
⊕ 3	3 WAY SWITCH	ALL SWITCHES LOCATION TO BE DETERMINED AND DESIGNED WITH HOUSE AUTOMATION AND SOFTWARE.
⊕ J	JAMB SWITCH	
⊕ WP	WATERPROOF SWITCH	PROVIDE SHOP DRAWING OF FINAL LIGHTING AND SWITCHING DESIGN
⊕ KP	KEYPAD SWITCH	
—	LINEAR LED LIGHTS	
⊕	RECESSED DOWNLIGHT	
⊕	RECESSED DOWNLIGHT WALL WASHER	
⊕	RECESSED DOWNLIGHT WATERPROOF AREA	
⊕	PENDENT CEILING MOUNTED FIXTURE	
⊕	CEILING MOUNTED FIXTURE	
⊕	EXTERIOR WALL MOUNTED OR CEILING MOUNTED FIXTURE	
⊕	EXTERIOR RECESSED DOWNLIGHT	
⊕	INTERIOR SCONCES	
⊕	EXTERIOR FLOOR LIGHTS FOR PORCHES, GARAGE AND UTILITARIAN SPACES. LENGTHS TO BE DETERMINED IN THE FIELD.	
—	LIGHTING STRIP	
⊕	SPEAKER WALL OR CEILING MOUNTED	
⊕	DOOR BELL	
⊕	DOOR CHIME	
⊕	CENTRAL VACUUM OUTLET	
⊕	CABLE TV OUTLET	
⊕	NETWORK OUTLET (CAT 6)	
⊕	TELEPHONE JACK	
⊕	SMOKE/CARBON MONOXIDE DETECTOR	SEE PLUMBING AND ZONING REVIEW AND APPROVAL
⊕	HEAT DETECTOR	BOARD OF HEALTH
⊕	THERMISTAT	ISSUED FOR ED SILVA STRUCTURAL REVIEW

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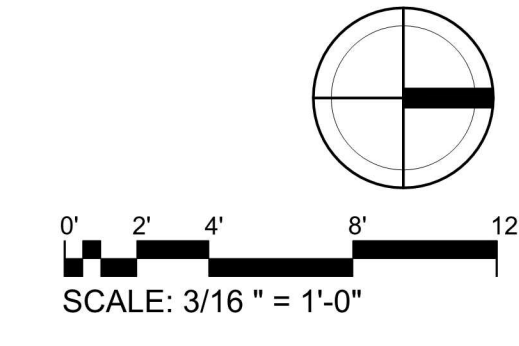
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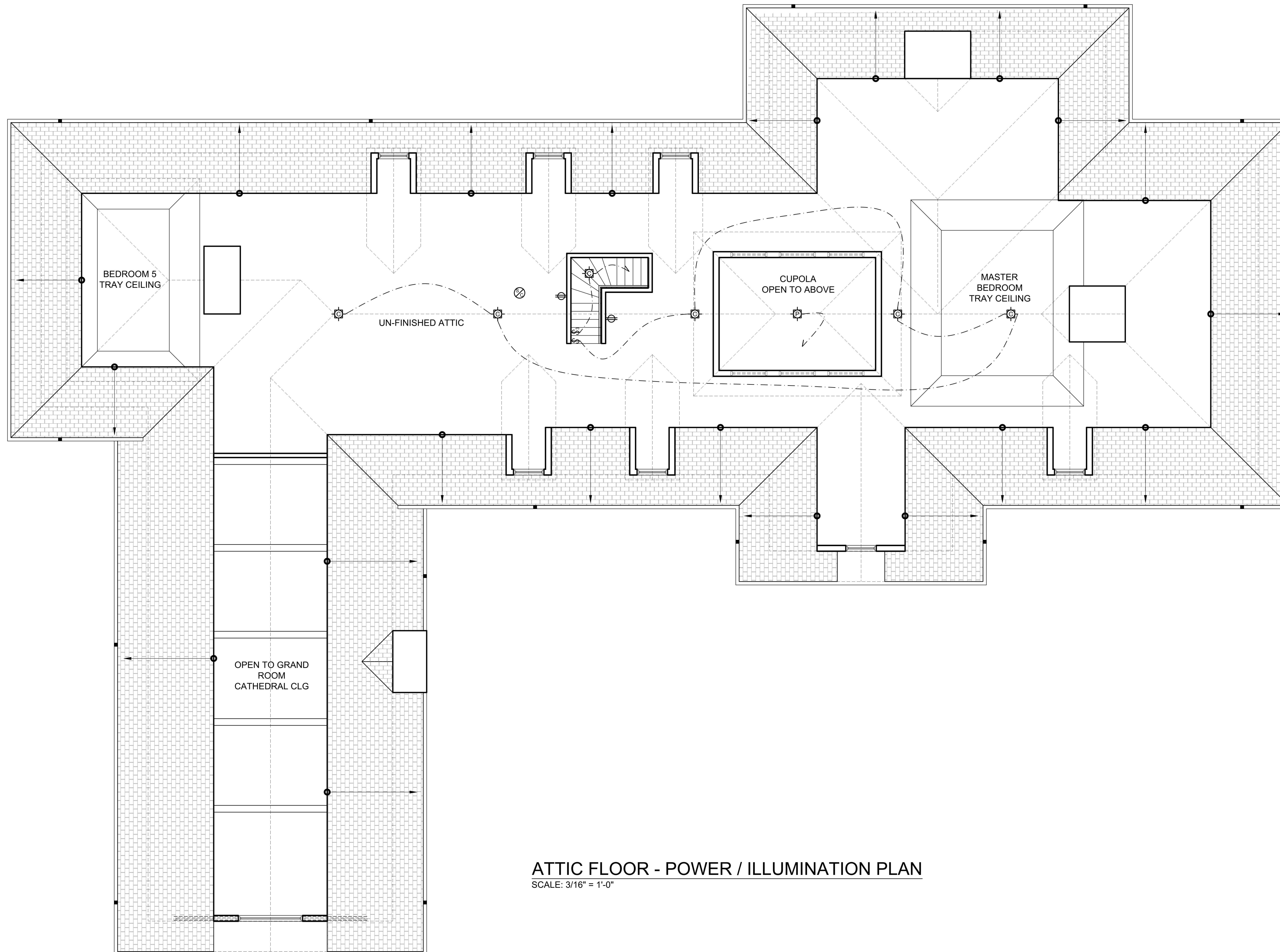
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DATE: 4.30.2021
PROJECT NO.:
DRAWING BY: O.O. / N.A.
CHECKED BY: N.A.
DWG NO.:
E-103
SEAL & SIGNATURE





ATTIC FLOOR - POWER / ILLUMINATION PLAN
SCALE: 3/16" = 1'-0"

ELECTRICAL GENERAL NOTES

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NOTE ATTIC:
PROVIDE LIGHTING & CONVENIENT WALL OUTLETS.

- NOTES:
- SMOKE DETECTORS/ALARMS TO BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED INSIDE ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AS REQUIRED BY NY/AJ801.8.1
 - CARBON MONOXIDE DETECTORS TO BE INSTALLED AS PER A.J.801.8.2

ELECTRICAL LEGEND

KEY	DESCRIPTION	REMARKS
⊕	DUPLEX OUTLET	
⊕	DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕	DUPLEX OUTLET 42" AFF WITH GROUND FAULT INTERRUPT	AS PER CODE REQUIREMENT
⊕	DUPLEX OUTLET 42" AFF	
⊕ X	DEDICATED OUTLET FOR APPLIANCES	AS PER CODE AND MANUF. REQUIREMENT
⊕ WP	WATERPROOF DUPLEX OUTLET	AS PER CODE REQUIREMENT
⊕	QUAD OUTLET	
⊕ F	FLOOR OUTLET	
⊕ F	FLOOR DUPLEX OUTLET ONE PLUG ACTIVATED BY LIGHT SWITCH	SEE LIGHTING PLAN
⊕ C	CEILING OUTLET	
—	WIRE MOLD CONTINUOUS OUTLET	UNDER CABINET G.F.I.
⊕	AUTOMATIC GARAGE DOOR OPENER	SIDE DOOR MOUNTED
⊕	EXHAUST VENT	
⊕	SWITCH	
⊕ 3	3 WAY SWITCH	ALL SWITCHES LOCATION TO BE DETERMINED AND DESIGNED WITH HOUSE AUTOMATION AND SOFTWARE.
⊕ J	JAMB SWITCH	
⊕ WP	WATERPROOF SWITCH	PROVIDE SHOP DRAWING OF FINAL LIGHTING AND SWITCHING DESIGN
⊕ KP	KEYPAD SWITCH	
—	LINEAR LED LIGHTS	
⊕	RECESSED DOWNLIGHT	
⊕	RECESSED DOWNLIGHT WALL WASHER	
⊕	RECESSED DOWNLIGHT WATERPROOF AREA	
⊕	PENDENT CEILING MOUNTED FIXTURE	
⊕	CEILING MOUNTED FIXTURE	
⊕	EXTERIOR WALL MOUNTED OR CEILING MOUNTED FIXTURE	
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⊕	EXTERIOR FLOOD LIGHTS	FOR PORCHES, GARAGE AND UTILITARIAN SPACES. LENGTHS TO BE DETERMINED IN THE FIELD.
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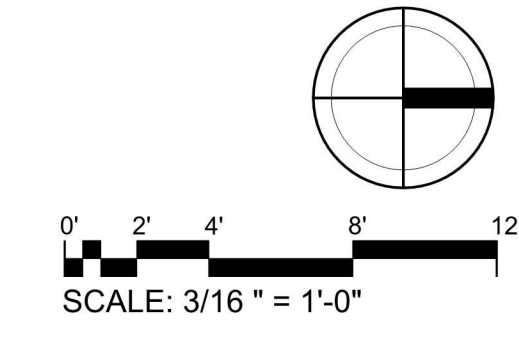
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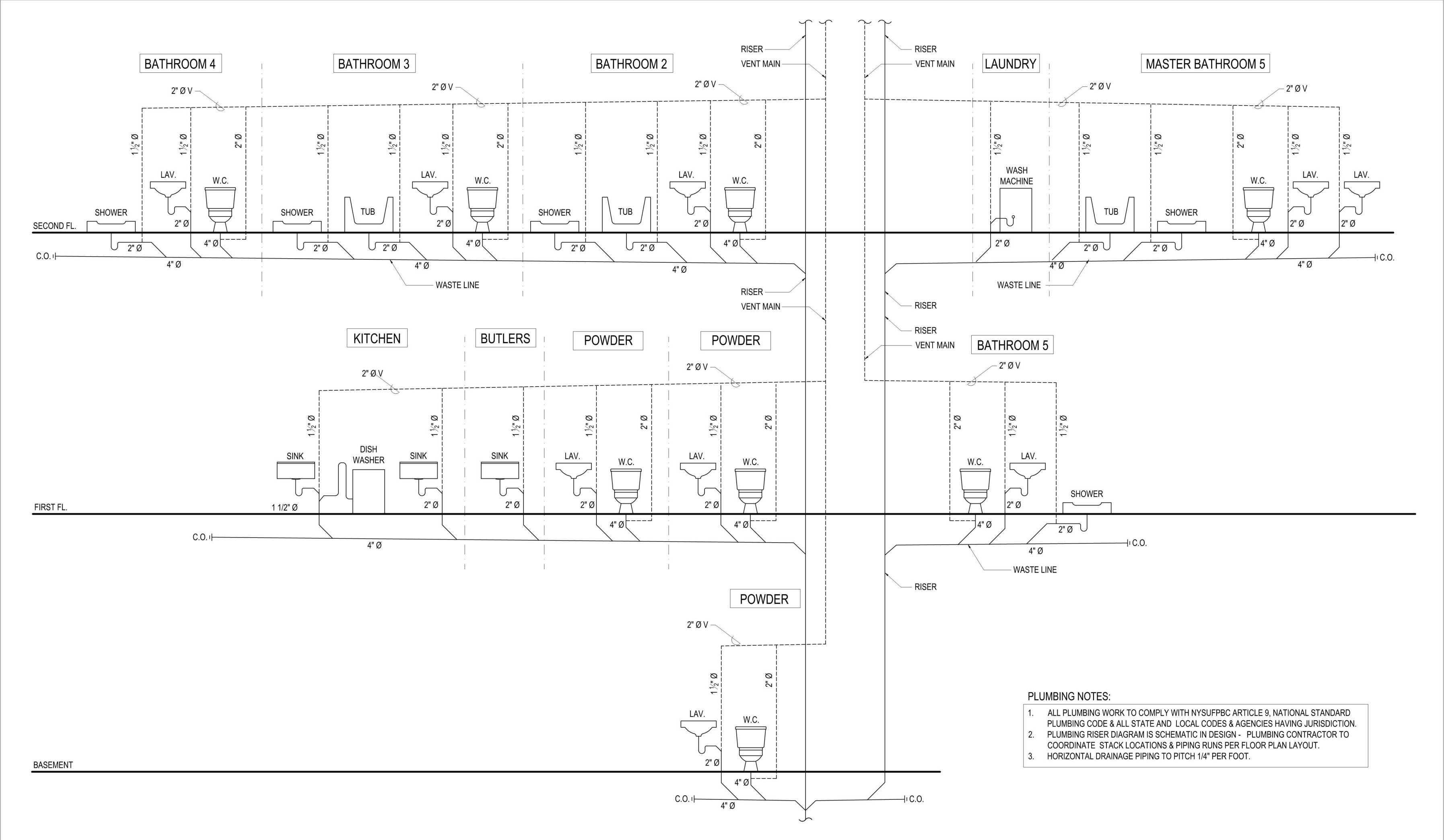
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DRAWING BY: O.O. / N.A.
CHECKED BY: N.A.
DWG NO.:
E-104
SEAL & SIGNATURE



PLUMBING RISER DIAGRAM



- PLUMBING NOTES:**
1. ALL PLUMBING WORK TO COMPLY WITH NYS/UPFC ARTICLE 9, NATIONAL STANDARD PLUMBING CODE & ALL STATE AND LOCAL CODES & AGENCIES HAVING JURISDICTION.
 2. PLUMBING RISER DIAGRAM IS SCHEMATIC IN DESIGN - PLUMBING CONTRACTOR TO COORDINATE STACK LOCATIONS & PIPING RUNS PER FLOOR PLAN LAYOUT.
 3. HORIZONTAL DRAINAGE PIPING TO PITCH 1/4" PER FOOT.

ISSUED/REVISION	DATE	COMMENT
	3.17.2023	PLANNING AND ZONING REVIEW AND APPROVAL
	10.25.222	BOARD OF HEALTH
	1.24.2022	ISSUED FOR ED SILVA STRUCTURAL REVIEW
	1.12.2022	ISSUED FOR CLIENT REVIEW ONLY
	12.6.2021	ISSUED FOR CLIENT REVIEW ONLY
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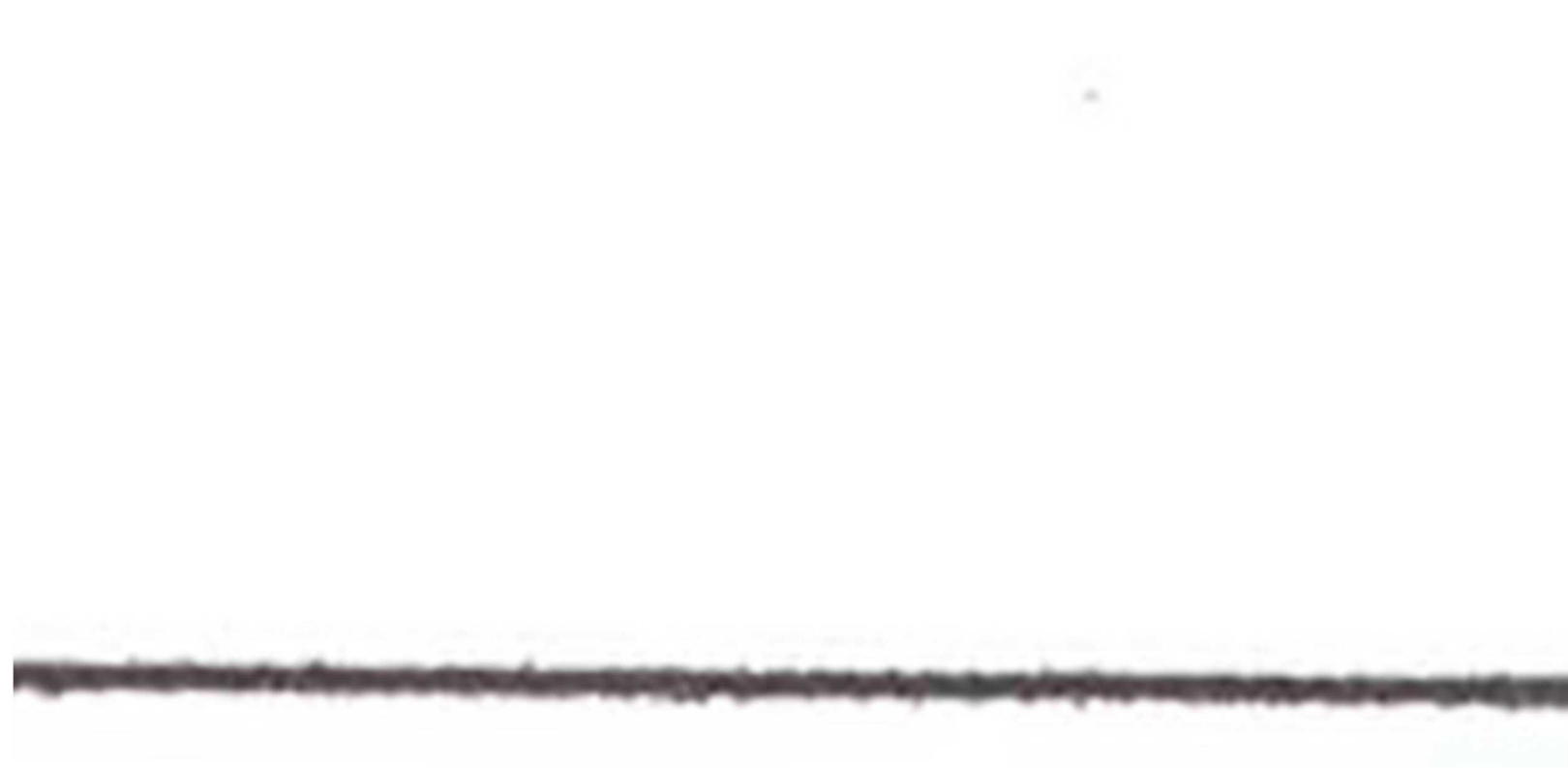
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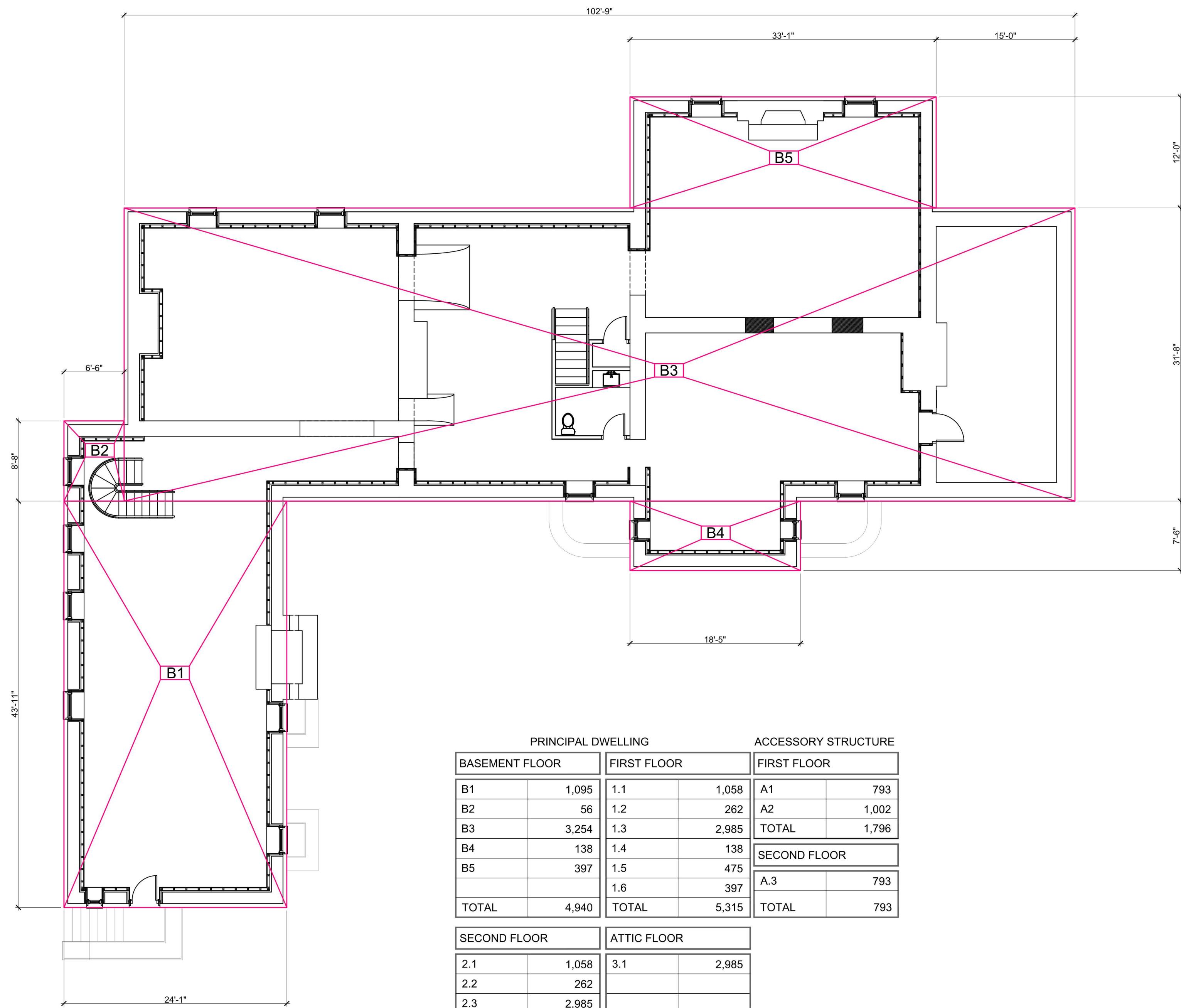
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	DRAWING BY:	N.A.
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DWG NO.:		P-101
SEAL & SIGNATURE		_ OF _



EXISTIN

ACCES



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRINCIPAL DWELLING			ACCESSORY STRUCTURE		
FLOOR	AREA	FLOOR	AREA	FLOOR	
BASEMENT FLOOR		FIRST FLOOR		FIRST FLOOR	
B1	1,095	1.1	1,058	A1	793
B2	56	1.2	262	A2	1,002
B3	3,254	1.3	2,985	TOTAL	1,796
B4	138	1.4	138	SECOND FLOOR	
B5	397	1.5	475	A.3	793
		1.6	397	TOTAL	793
TOTAL	4,940	TOTAL	5,315		

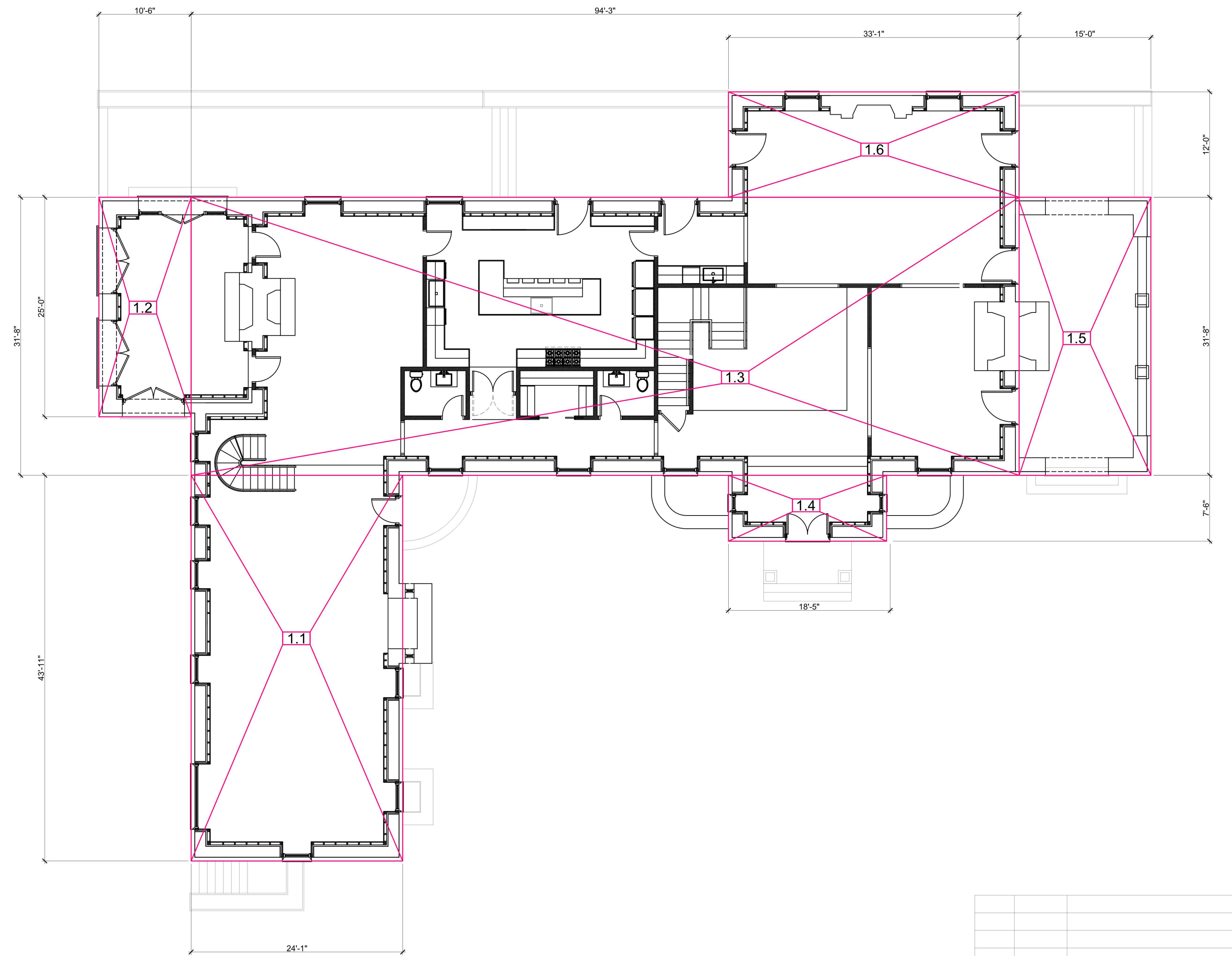
SECOND FLOOR		ATTIC FLOOR	
2.1	1,058	3.1	2,985
2.2	262		
2.3	2,985		
2.4	138		
2.5	475		
2.6	397		
TOTAL	5,315	TOTAL	2,985

FLOOR AREA RATIO SCHEDULE

BASEMENT FLOOR	4,940 S.F.
FIRST FLOOR	5,315 S.F.
SECOND FLOOR	5,315 S.F.
ATTIC FLOOR	2,985 S.F.
ACCESSORY F. FL.	1,796 S.F.
ACCESSORY S. FL.	793 S.F.

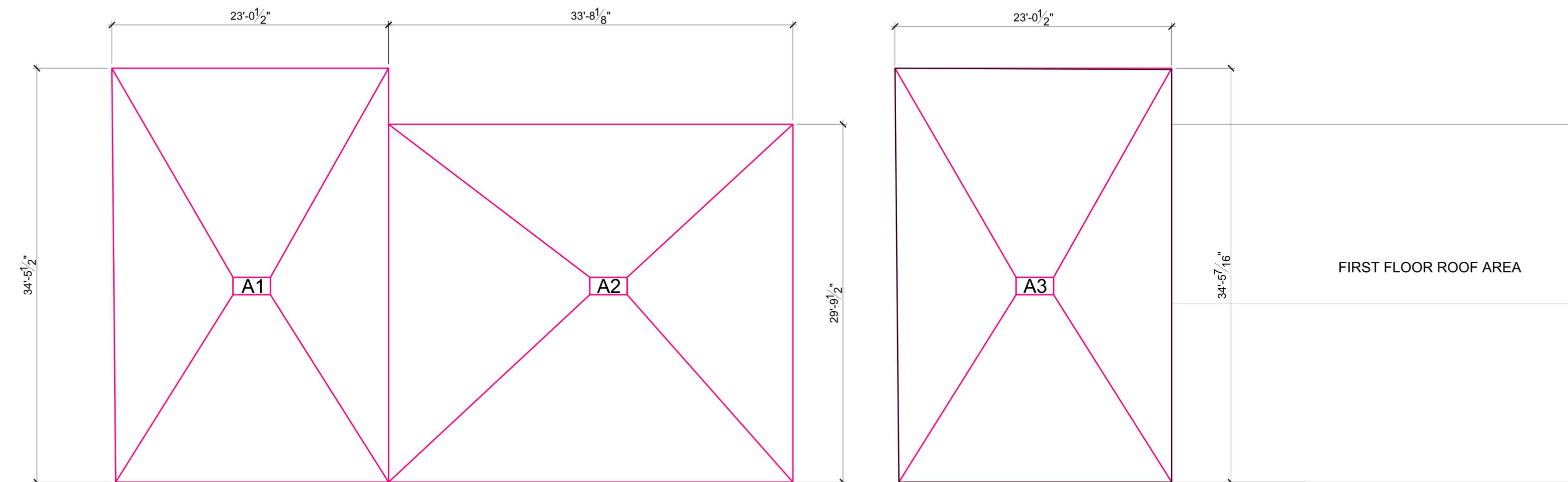
TOTAL EXISTING AS-BUILT FAR = 21,144 S.F.
F.A.R. ALLOWED: 9034 + 132 = 9166.00 S.F.

ZONE: R-1.5A
FAR ALLOWED: 9,034 S.F. + 5% OVER 1.5 AC
LOT AREA: 1.56 ACRES (67,980.70 S.F.)
SURVEY / SITE PLAN BY: TC MERRITTS LAND SURVEYORS
DATE: 2.28.2020



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

ACCESSORY STRUCTURE



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

FIRST SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ISSUED/REVISION	DATE	COMMENT
	3.15.2023	ISSUED FOR PA2 REVIEW AND APPROVAL

ARPAIA ASSOCIATES, P.C.
ARCHITECTS & DESIGNERS
136 NORTH WATER STREET,
GREENWICH, CT 06830
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EMAIL: NICK@ARPAIAASSOCIATES.COM WEB SITE: WWW.ARPAIAASSOCIATES.COM

PERPEPAJ RESIDENCE
RE-BUILDING/RENOVATION
601 ARMONK BEDFORD ROAD (ROUTE 22), ARMONK NY

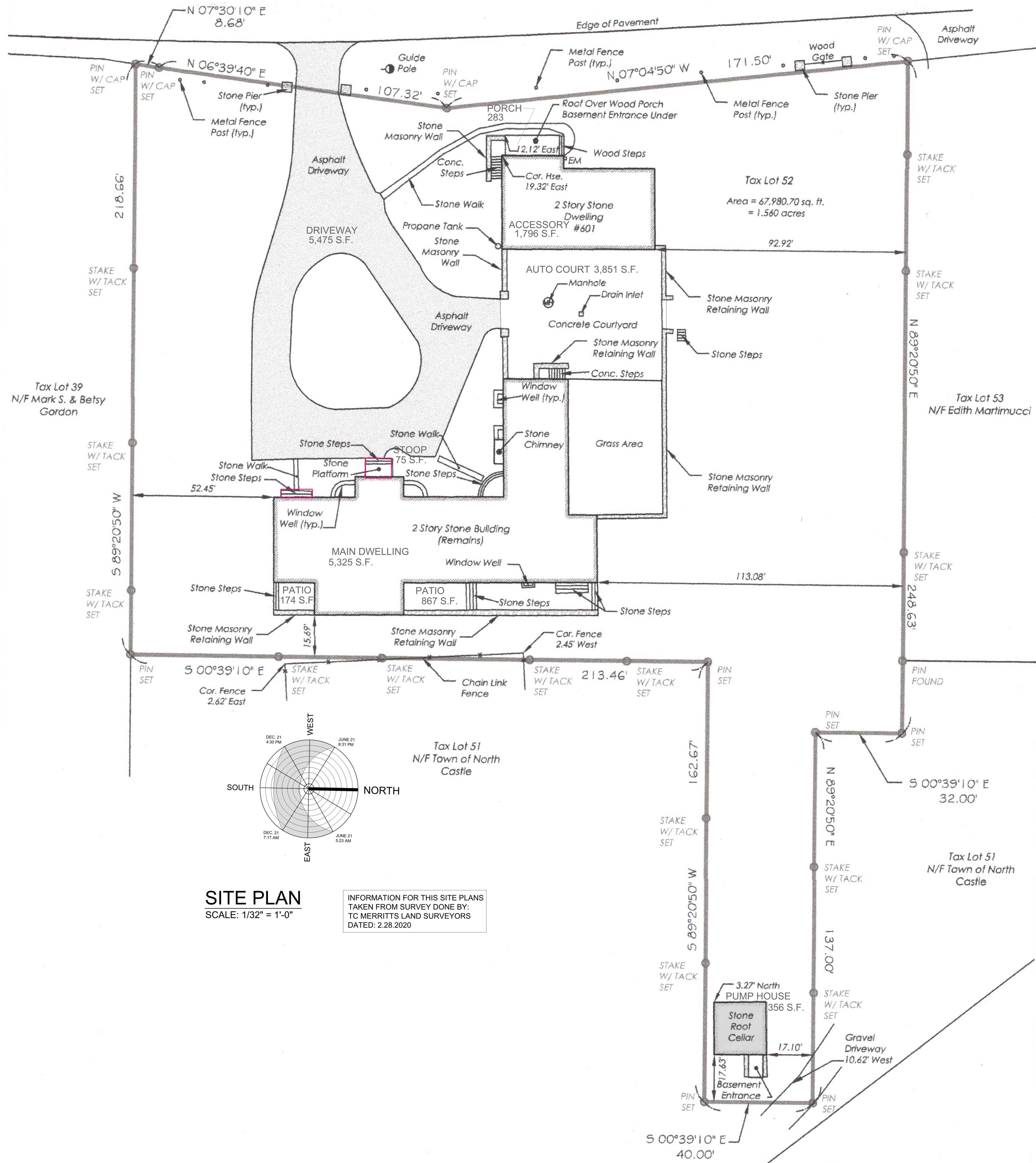
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DATE:	4.30.2021
PROJECT NO.:	
DRAWING BY:	O.O. / N.A.
CHECKED BY:	N.A.
DWG NO.:	
A-101	
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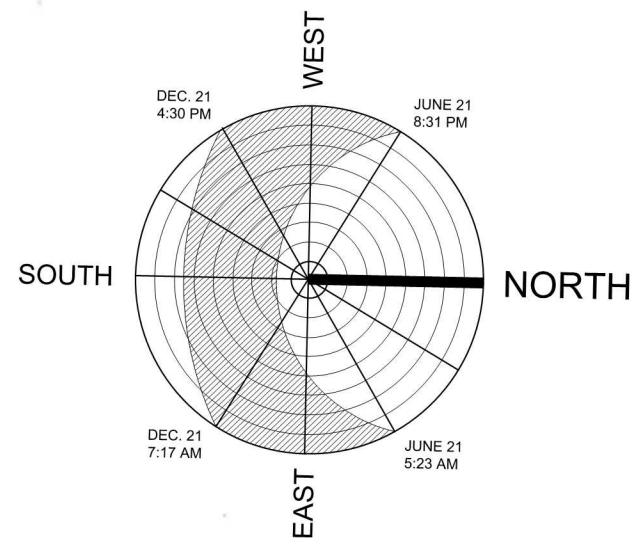


ARMONK - BEDFORD ROAD (ROUTE 22)



SITE PLAN
SCALE: 1/32" = 1'-0"

INFORMATION FOR THIS SITE PLANS
TAKEN FROM SURVEY DONE BY:
TC MERRITTS LAND SURVEYORS
DATED: 2.28.2020



EXISTING STRUCTURES		EXISTING DRIVEWAY	
ACCESSORY	1,796	DRIVEWAY	5,475
MAIN DWELLING	5,315	AUTO COURT	3,851
PUMP HOUSE	356	WALKWAYS	675
		EXTERIOR STEPS	135
TOTAL	7,440 S.F.	TOTAL	10,136 S.F.

EXISTING PORCHES		EXISTING TERRACES	
PORCH	283	TERRACES	1,041
TOTAL	283 S.F.	TOTAL	1,041 S.F.

TOTAL EXISTING AS BUILT	18,900 S.F.
PROPOSED (NOT APPLICABLE)	0
TOTAL ALLOWED	11,545 S.F.

ZONE: R-1.5A
LOT AREA: 1.56 ACRES (67,980 S.F.)
LAND COVERAGE ALLOWED: 9,350 S.F. + 2,195 S.F. (BONUS) = 11,545 S.F.
SURVEY / SITE PLAN BY: TC MERRITTS LAND SURVEYORS
DATE: 2.28.2020

ISSUED/REVISION	DATE	COMMENT
	3.15.2023	ISSUED FOR P&Z REVIEW AND APPROVAL

ARPAIA ASSOCIATES, P.C.
ARCHITECTS & DESIGNERS
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DATE: 4.30.2021
PROJECT NO.:
DRAWING BY: O.O./N.A.
CHECKED BY: N.A.
DWG NO.:
A-103
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