

VENEZIANO & ASSOCIATES
84 Business Park Drive
Suite 200
Armonk, New York 10504
(914) 273-1300

June 14, 2023

Christopher Carthy, Chairman
North Castle Planning Board
15 Bedford Road
Armonk, NY 10504

Re: Special Permit Application
45 Bedford Road

Honorable Chairman and Members of the Planning Board:

This letter is submitted to your Board on behalf of the applicant, NCD Acquisitions, LLC and 45 Bedford Rd., LLC, with respect to the special permit application pending at the Town Board. The Town Board has referred our site plan to your Board for comment.

As you will recall, on May 22, 2023, the applicant appeared before your Board and reviewed the site plan and discussed, generally, the impacts to be potentially generated from this project. After discussion, the Planning Board had a series of comments, most notably:

1. The Planning Board would prefer all of the front doors facing the center of the site, creating a sense of community. In addition, the rear facades of the units should be made as aesthetically pleasing as the front, while also accommodating backyard patios. Plantings will be included to screen the rear yards of the townhouses along Maple Avenue;
2. The parking at the center of the site should be considered, on driveways and on the street;
3. The Board also supported the Town Planner who desires to see the two quad buildings facing Maple Avenue converted to four duplex units. We have split up one quad building along Maple Avenue into two duplexes;
4. It was requested that we review the elimination of the circulation road and the impervious surface associated therewith. As part of that consideration, we would

have to address the ability for firetrucks and other emergency vehicles to exit the site, securing input from the Police Department and Fire Department; and,

5. The Planning Board preferred garage doors and the Planning Board expressed its support of referring this matter to the ZBA to address any overage associated with the Floor Area Ratio as well as lot coverage.

Submitted herewith is our latest set of plans prepared by Design Development. The plans are dated June 12, 2023 and, on balance, attempt to address all of the Planning Board's concerns. You will note that only one of the quads was divided into duplexes with a second quad remaining. Other than that, the issues raised by the Planning Board have been considered and addressed by the applicant.

Kindly place this matter on the June 26th planning board agenda to consider the adoption of a recommendation regarding a pending special permit application. Thank you for your consideration.

Very truly yours,

Anthony F. Veneziano, Jr.

ANTHONY F. VENEZIANO, JR.

AFV/kj
Encls.



THE GATEWAY

ZONING INFORMATION:

NORTH CASTLE, NY

ZONE: R-MF-DA - RESIDENTIAL - MULTIFAMILY - DOWNTOWN ARMONK

SECTION: 108.03 BLOCK: 1 LOT: 63, 64, 65

GROSS SITE AREA: 183,519 SF (4.21 ACRES)
 NET SITE AREA: 181,644 S.F. (4.17 ACRES)*

*NET LOT AREA IS DEFINED AS THE LOT AREA MINUS 75% OF WETLANDS, WATER BODIES, AND WATER COURSES. THE CALCULATION BELOW ARE BASED ON THE NET LOT AREA (183,529 SF - 1875 SF = 181,644 S.F.)

BUILDING AREA: 73,400 SF

HEIGHT: 3-STORIES/30 FT
 USE:

PROPOSED: RESIDENTIAL
 FIRE SUPPRESSION: SPRINKLERED

DESCRIPTION	R-MF-DA DISTRICT	
	REQUIRED	PROPOSED
MAXIMUM BUILDING COVERAGE (%)	20	23.7*
MAXIMUM FLOOR AREA RATIO (S.F.)	0.40	0.40
MAXIMUM LOT AREA/DWELLING UNIT	4,200 SF (43.2 UNITS)	34 UNITS
SQUARE FEET/BEDROOM	2,350 SF (77.3 BR)	68 BEDS

MINIMUM REQUIRED YARD DIMENSIONS		
LOT (ACRES)	4	4.17
FRONTAGE (BEDFORD RD) (FT)	200	280
DEPTH (FT)	200	580
MINIMUM REQUIRED YARD DIMENSIONS (FT)		
FRONT	50	50
ONE SIDE	25	25
REAR	30	50 ±
MAXIMUM HEIGHT		
STORIES	-	3
FEET	30	30**

* INCREASE IN COVERAGE AS A RESULT OF REDUCING BEDFORD RD BUILDINGS TO 2 STORIES

** FLAT ROOFS SHALL BE AT A HEIGHT NOT TO EXCEED 30', SLOPED ROOFS SHALL HAVE A WEIGHTED AVERAGE HEIGHT NOT TO EXCESS 30'

OFF-STREET PARKING		
MULTI-FAMILY		
2 P.S. PER DU	68	
+10% VISITOR	6.8	
TOTAL	75	75





1 SITE PLAN
SCALE: 1/32" = 1'-0"

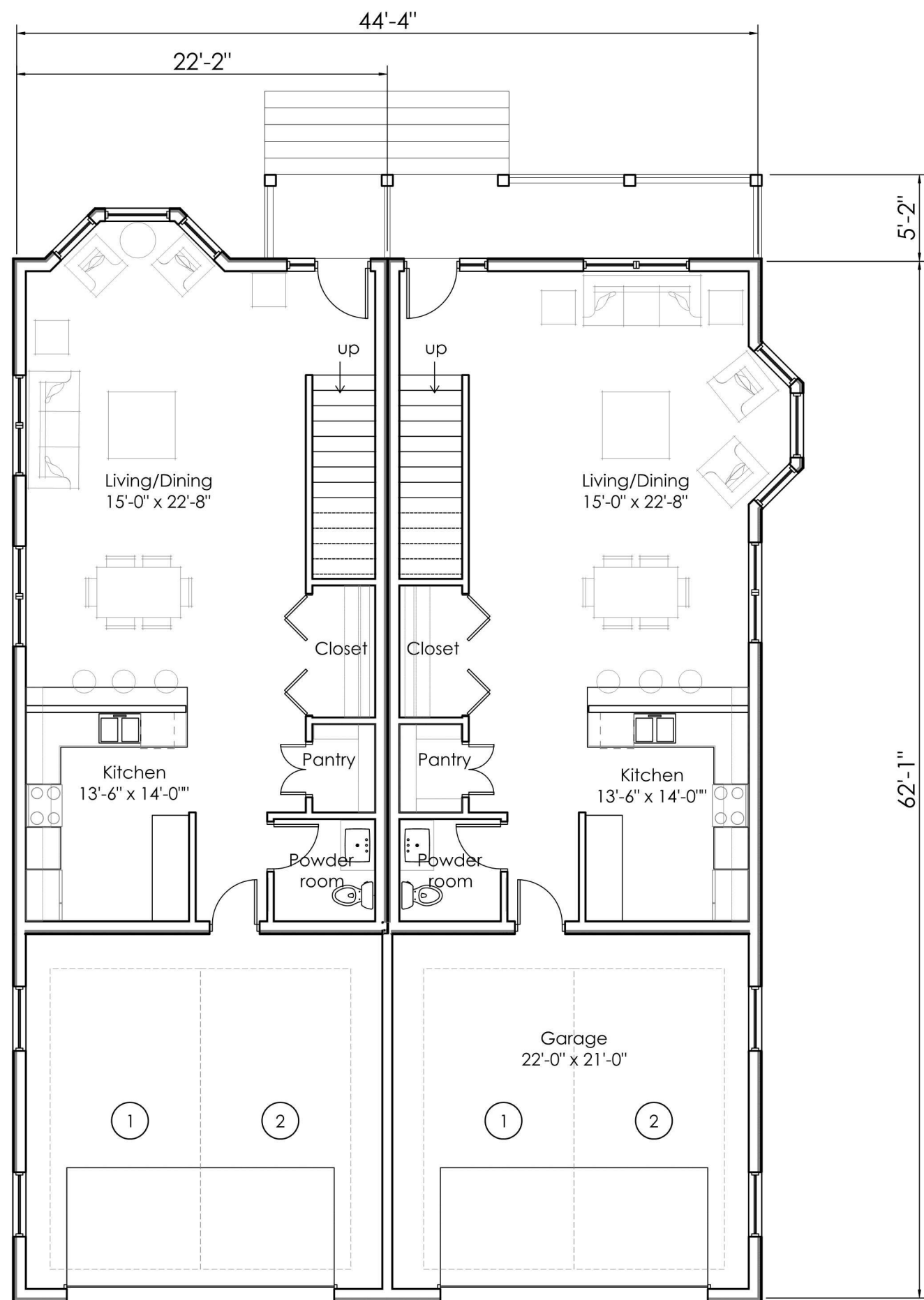
SHEET TITLE: PROPOSED SITE
PROJECT: THE GATEWAY 45 BEDFORD RD ARMONK, NY

DATE: 6/12/2023
SCALE: AS NOTED
DRAWING: A-SK - 001

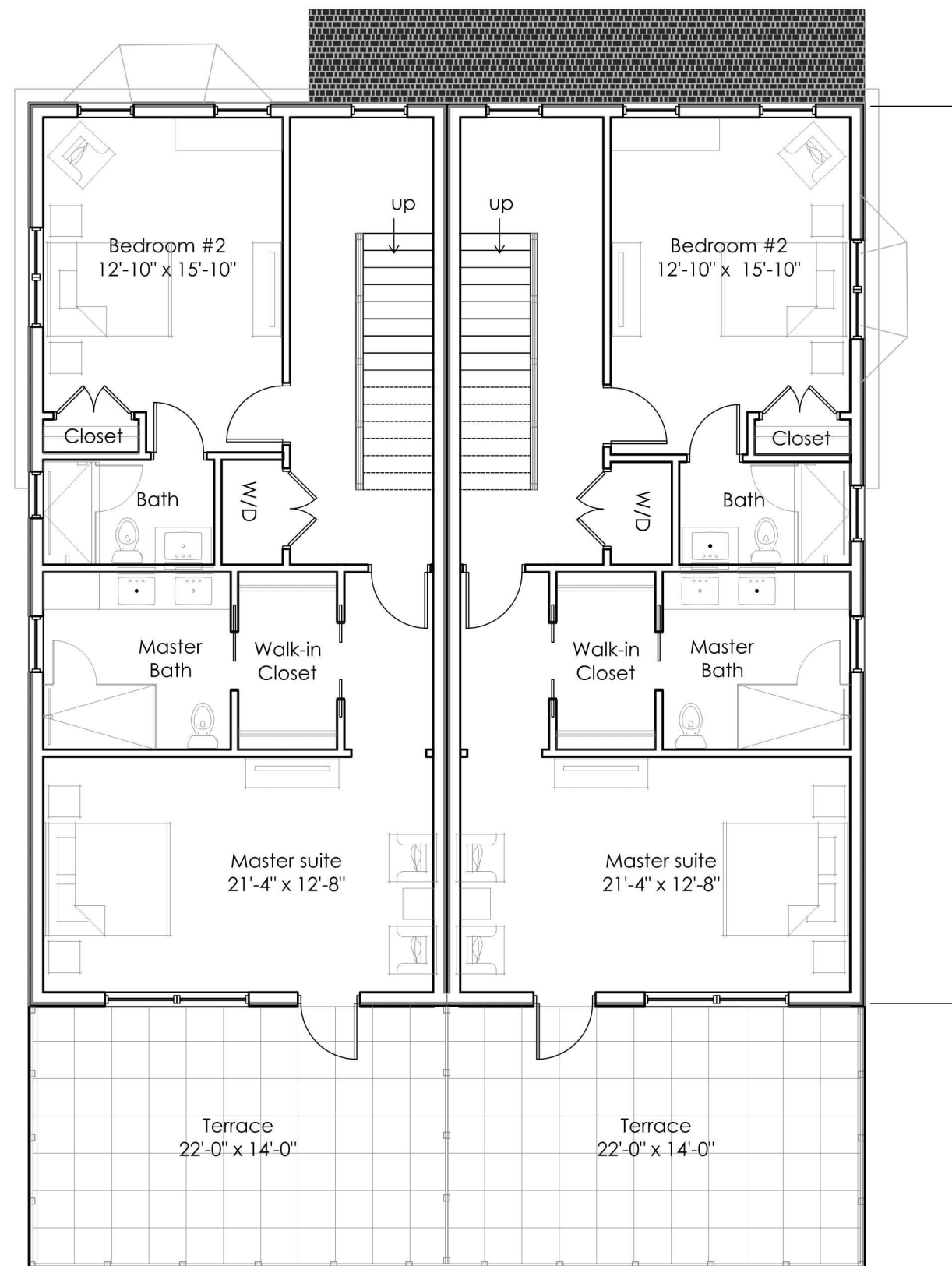
Design Development, pllc.
165 Mamaroneck Ave, fl. 2
White Plains, NY 10601
914.949.4272 t.
914.949.4278 f.



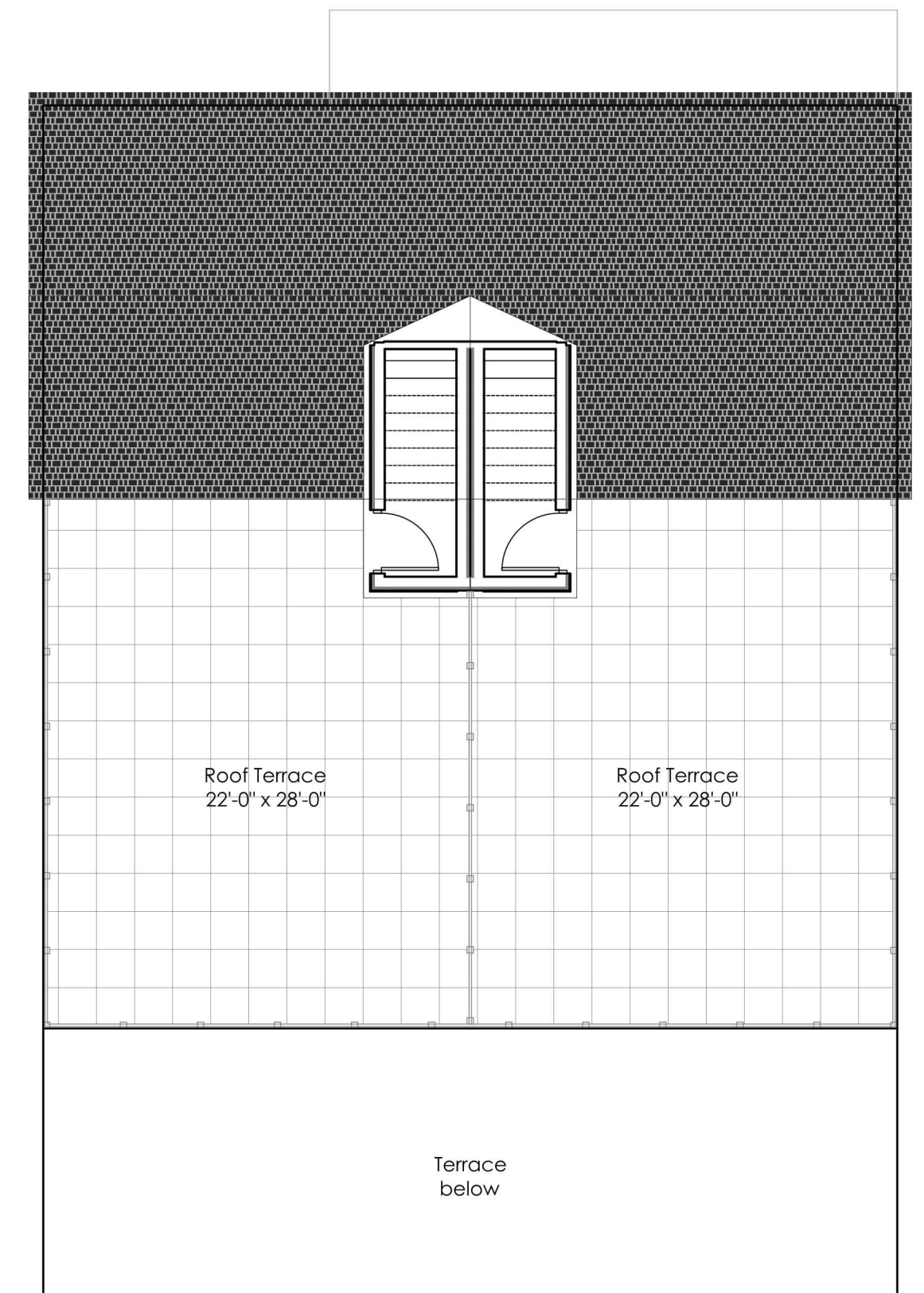

THIS DRAWING IS THE PROPERTY OF DESIGN DEVELOPMENT, PLLC. DATE: 6/12/2023



1 BEDFORD TOWNHOUSE - GRADE LEVEL
SCALE: 1/8" = 1'-0"



2 BEDFORD TOWNHOUSE - SECOND LEVEL
SCALE: 1/8" = 1'-0"



3 BEDFORD TOWNHOUSE - ROOF LEVEL
SCALE: 1/8" = 1'-0"



1 ELEVATION FRONT - TOWNHOUSE
SCALE: 1/8" = 1'-0"



3 ELEVATION SIDE - TOWNHOUSE
SCALE: 1/8" = 1'-0"



2 ELEVATION BACK - TOWNHOUSE
SCALE: 1/8" = 1'-0"



4 ELEVATION SIDE - TOWNHOUSE
SCALE: 1/8" = 1'-0"



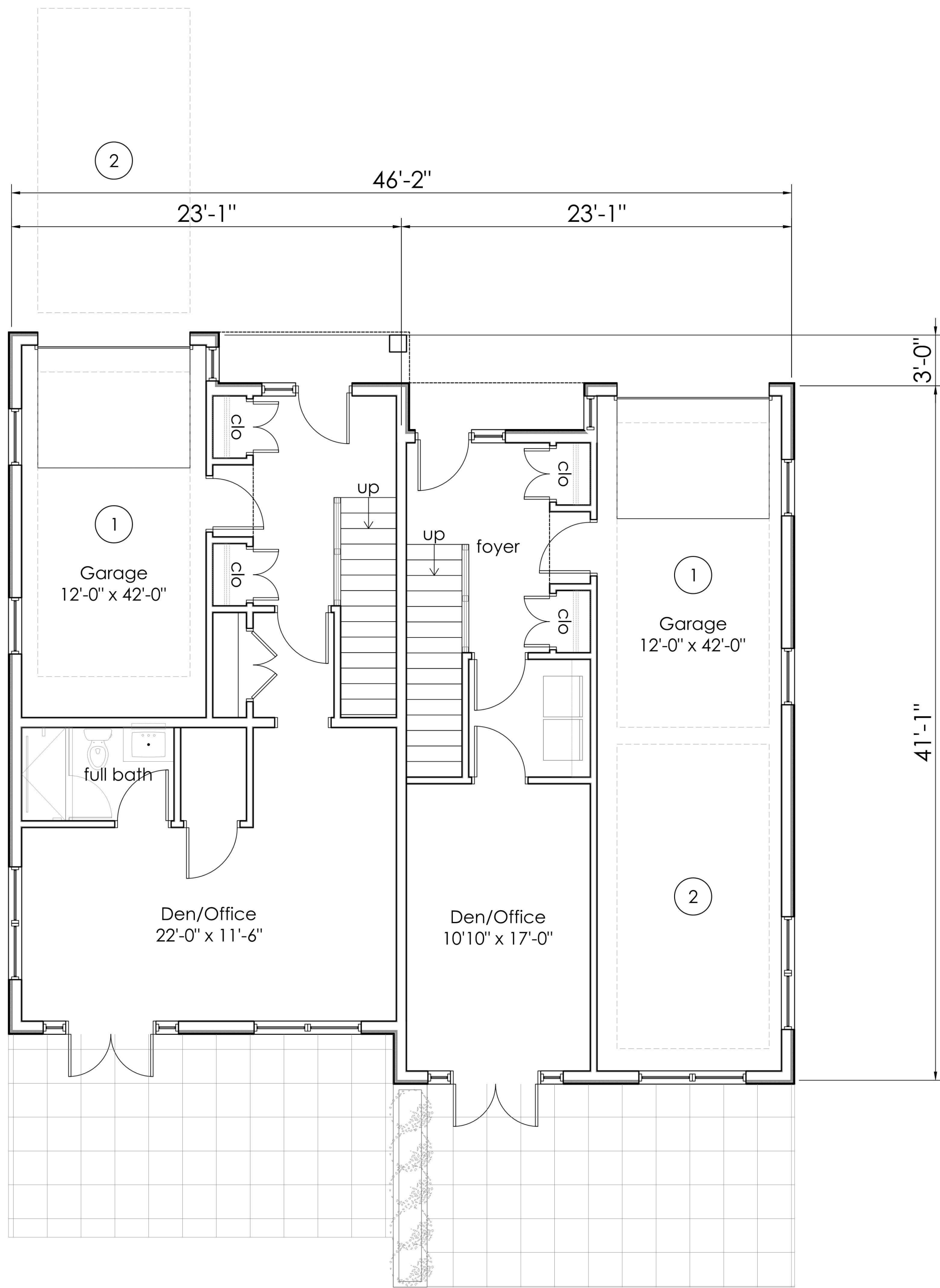
SHEET TITLE: BEDFORD RD TOWNHOUSE - RENDERING OPTION A
PROJECT: THE GATEWAY 45 BEDFORD RD ARMONK, NY



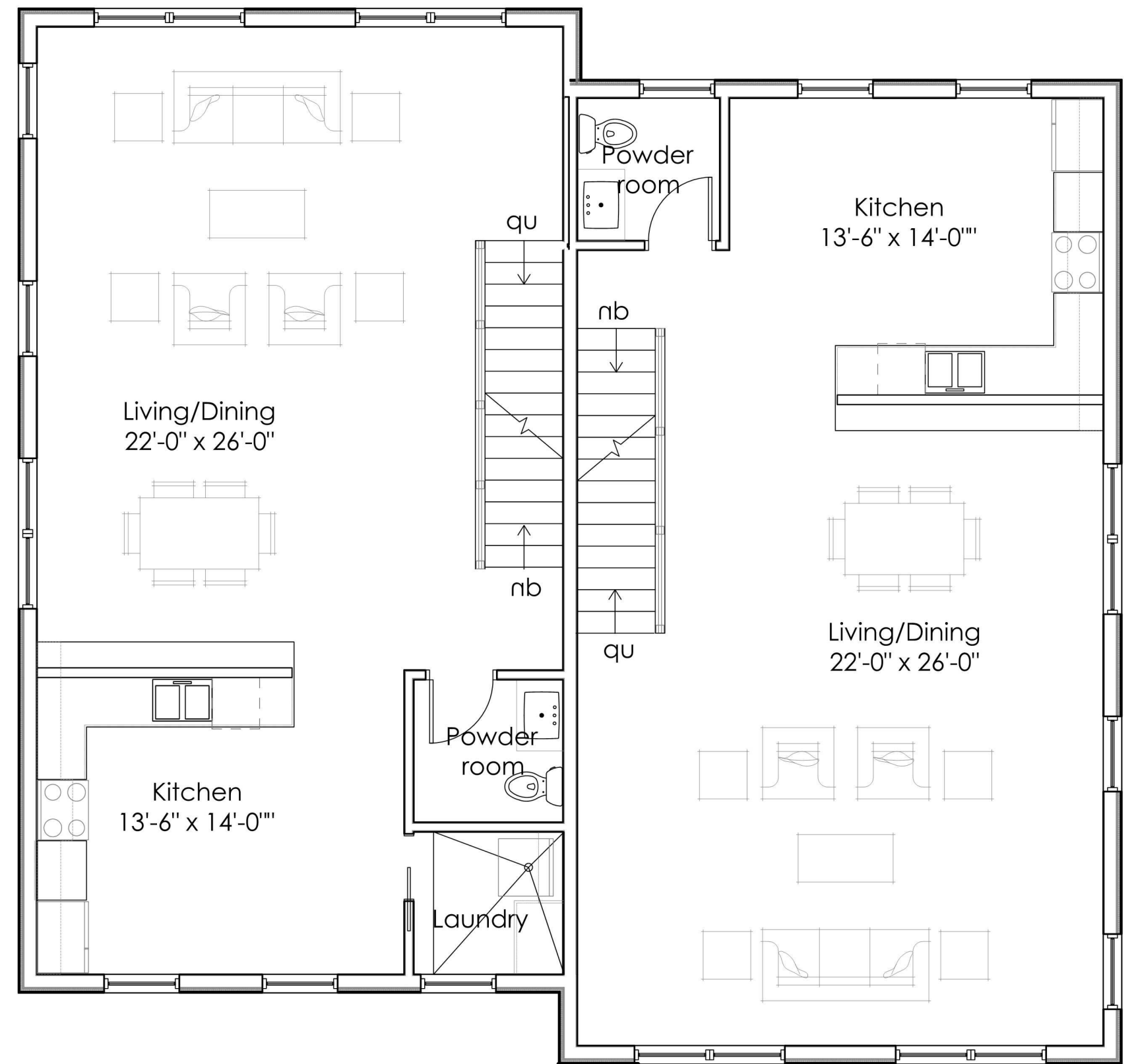
Design Development, pllc.
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914.949.4278 f.

DATE: 6/12/2023
SCALE: N.T.S.
DRAWING:

A-SK - 03A



1 MAPLE AVE - GARAGE LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 MAPLE AVE - FIRST LEVEL PLAN
 SCALE: 1/8" = 1'-0"

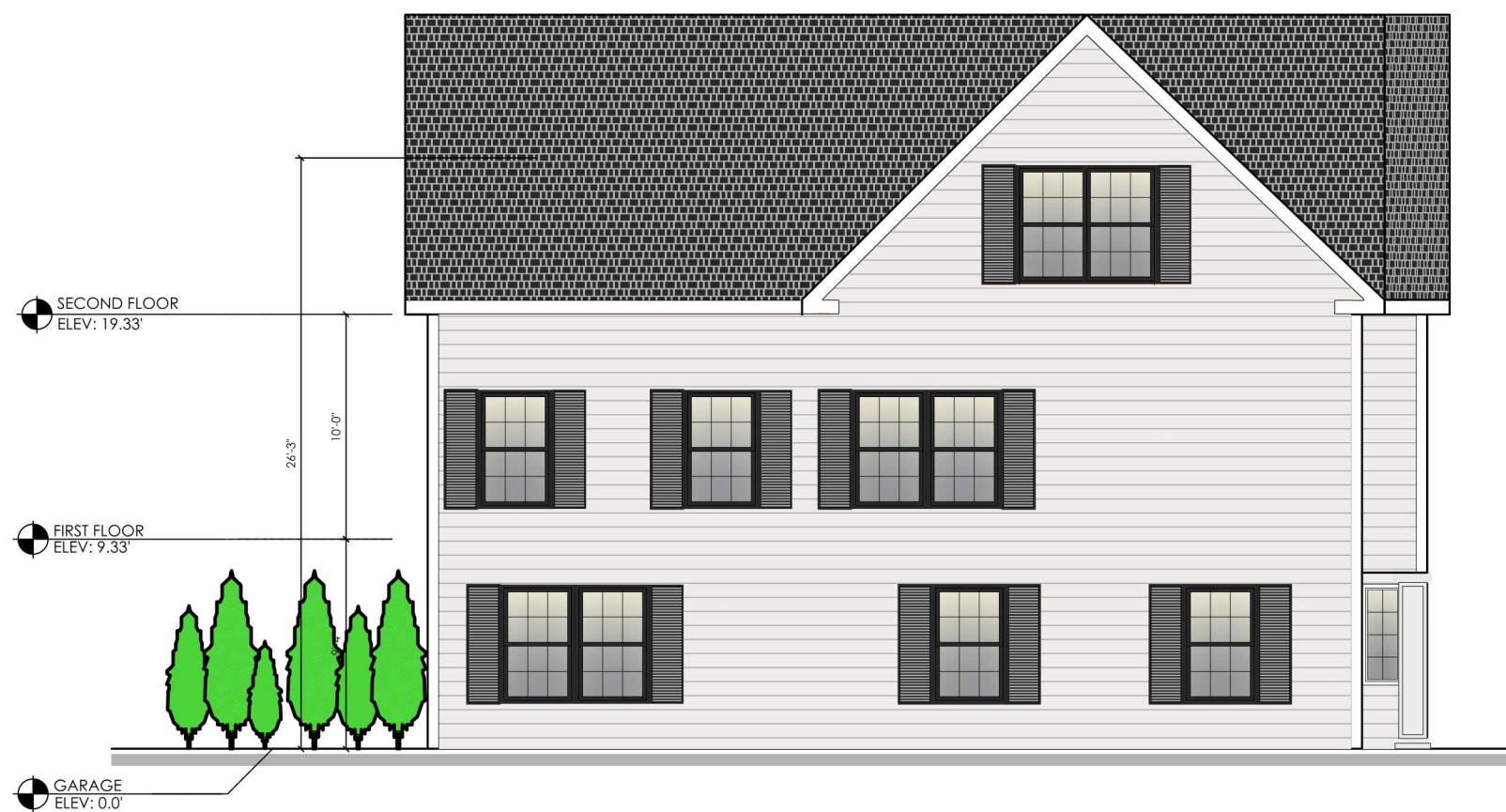




1 SIDE ELEVATION -TOWNHOUSE
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION -TOWNHOUSE
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION -TOWNHOUSE
SCALE: 1/8" = 1'-0"



4 FRONT ELEVATION -TOWNHOUSE
SCALE: 1/8" = 1'-0"



SHEET TITLE: MAPLE AVE TOWNHOUSE - RENDERING VIEW 1
PROJECT: THE GATEWAY 45 BEDFORD RD ARMONK, NY



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DATE: 6/12/2023
SCALE: N.T.S.
DRAWING:

A-SK - 06.1



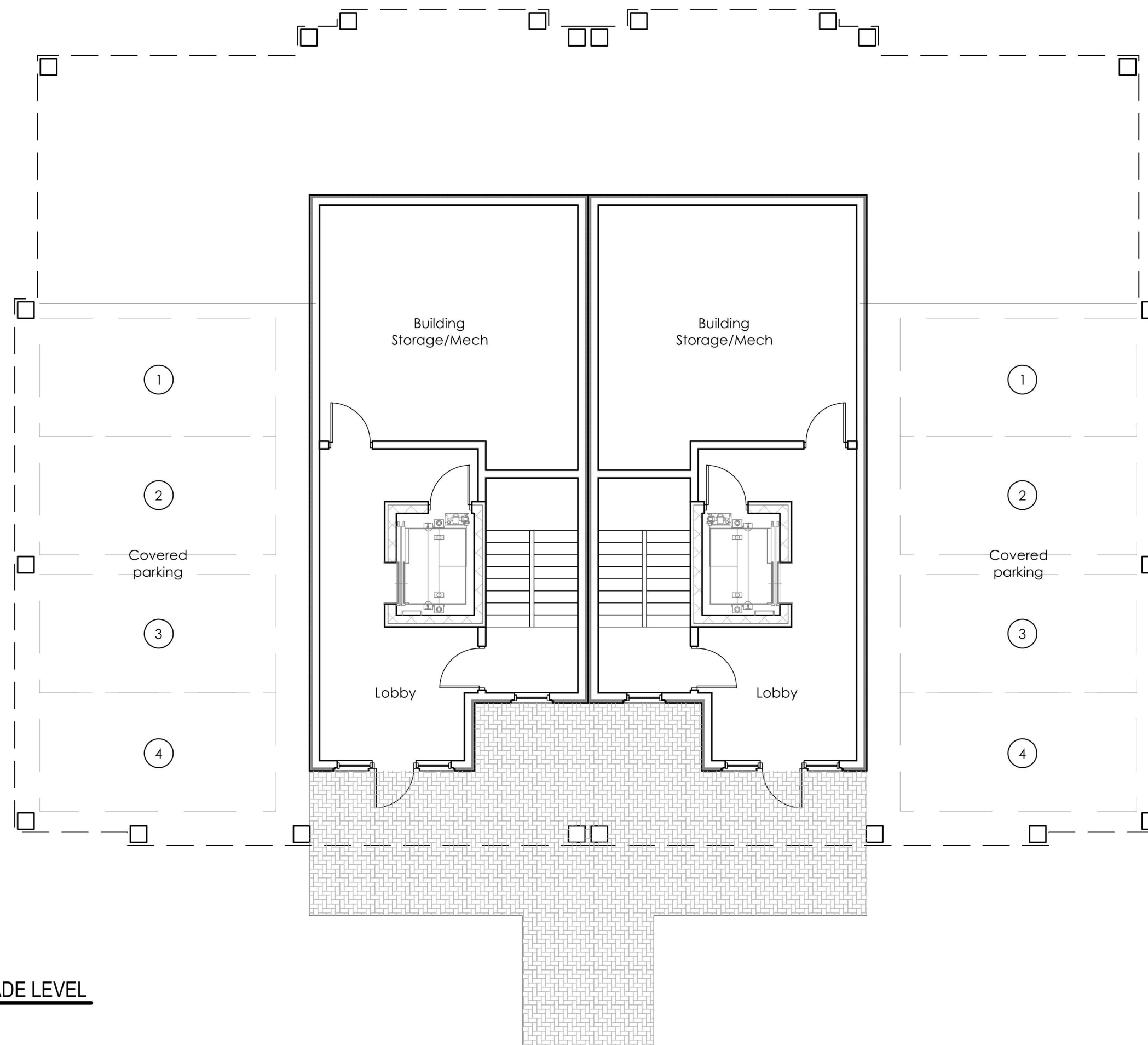
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PROJECT: THE GATEWAY 45 BEDFORD RD ARMONK, NY



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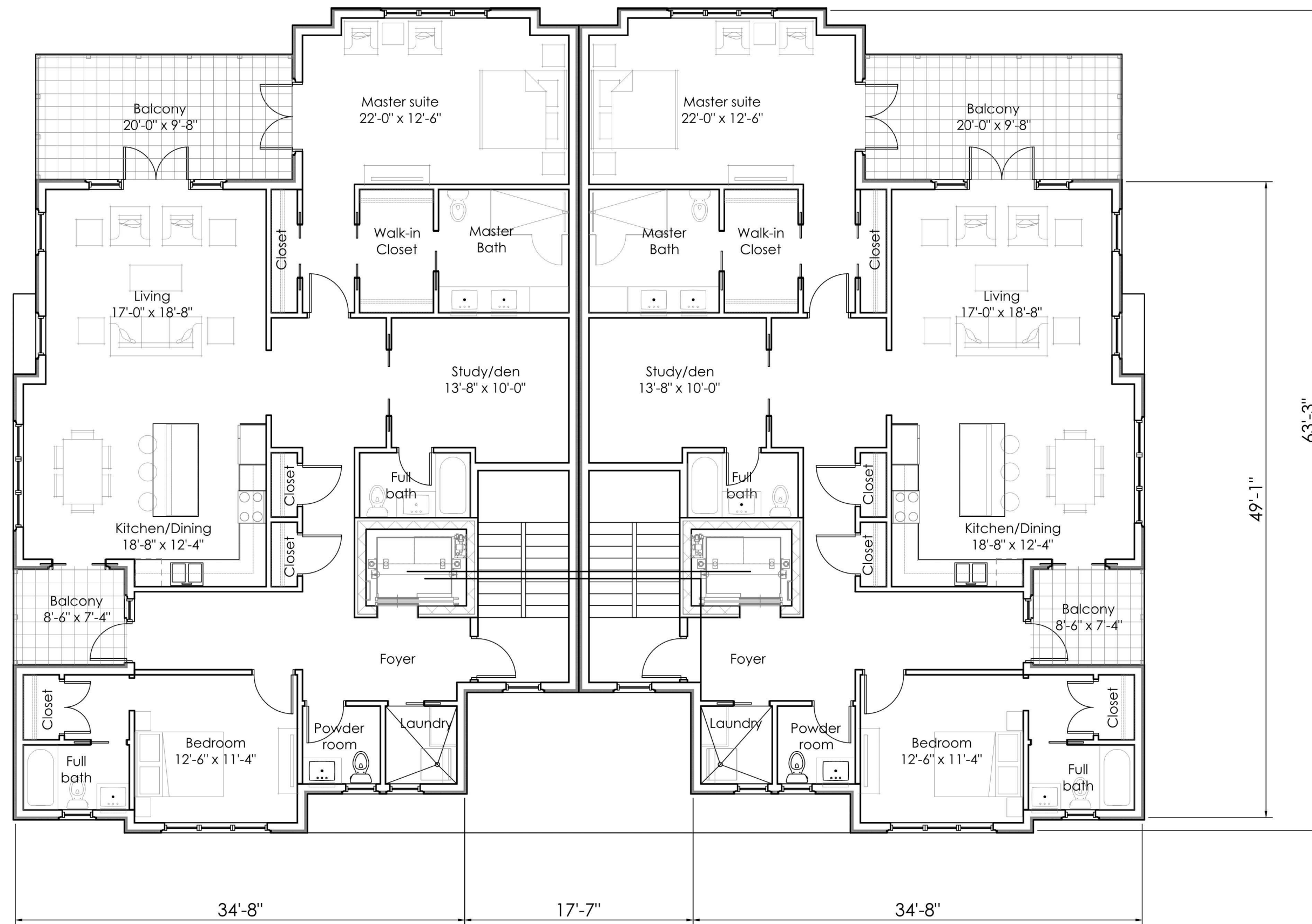
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SCALE: N.T.S.
DRAWING:

A-SK - 06.2

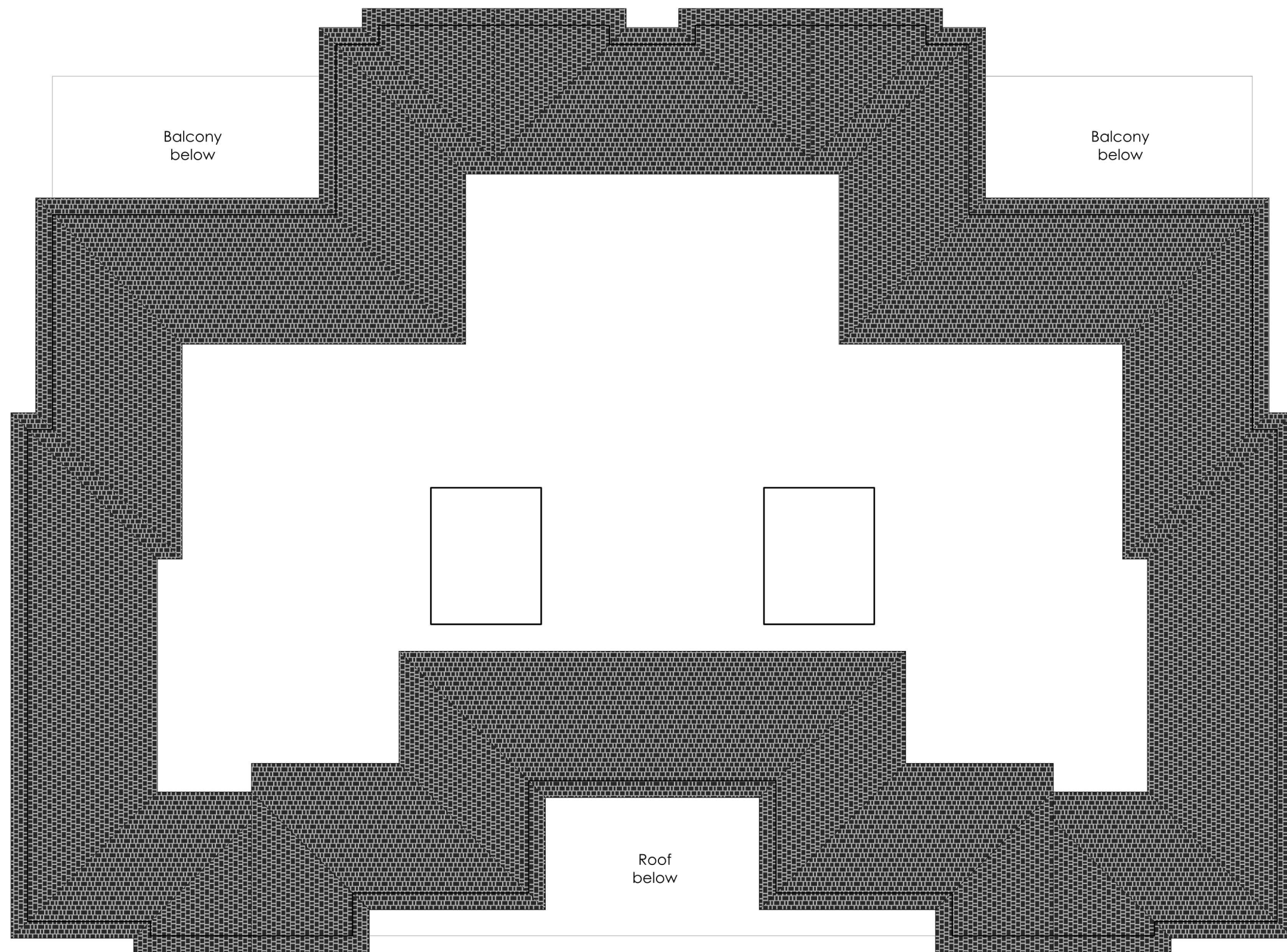


1 BUILDING A - GRADE LEVEL
SCALE: 1/8" = 1'-0"





1 BUILDING A - RESIDENTIAL LEVELS
SCALE: 1/8" = 1'-0"



SHEET TITLE: ROOF PLAN - PROPOSED

PROJECT: THE GATEWAY 45 BEDFORD RD ARMONK, NY



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DATE: 6/12/2023
SCALE: 1/8" = 1'-0"
DRAWING:

A-SK - 006.3





1 ELEVATION - SIDE (BLDG A)
SCALE: 3/16" = 1'-0"



2 ELEVATION - SIDE (BLDG A)
SCALE: 3/16" = 1'-0"



SHEET TITLE: BUILDING A - RENDERING (INTERNAL TO SITE)

PROJECT: THE GATEWAY 45 BEDFORD RD ARMONK, NY



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914.949.4278 f.

DATE: 6/12/2023
SCALE: NTS
DRAWING:

A-SK - 008