

May 12, 2023

**Via: Federal Express**

Chairman Christopher Carthy and Members of  
the Planning Board  
Town of North Castle  
17 Bedford Road  
Armonk, NY 10504

Chairman Joseph Monticelli and Members  
of the Zoning Board of Appeals  
Town of North Castle  
17 Bedford Road  
Armonk New York

**Re: 868 North Broadway  
Application for Reinstatement of its Site Plan Approval and Variances**

Dear Chairman Carthy, Members of the Planning Board, Chairman Monticelli, and Members of the Zoning Board of Appeals,

As you know, our firm represents 868 North Broadway LLC (the "Applicant"), the owner of the above-referenced property (the "Property"). The Property consists of approximately 0.42 acres and is located entirely in the CB Zoning District. It is currently improved with an approximately 4,300 square foot, single story building with attendant off-street parking.

Despite the limiting and challenging nature of the Property's layout and numerous obstacles, including the ever changing and sometimes volatile real estate economic climate coupled with engineering and construction issues, the Applicant was able to submit a practical plan to develop the Property using the existing building and off-street parking in 2019, though it required variances from the Zoning Board and approval from the Planning Board. Both Boards granted the necessary approvals and variances, however, significant and unavoidable delays due to some of those same economic and engineering issues that had derailed prior efforts to develop the Property emerged causing the existing site plan and steep slope permit approval and variances to recently expire. The Applicant now respectfully requests that your Boards issue Resolutions reinstating the prior approvals and variances, allowing the Applicant to immediately begin the actual work upon the Property.

**Background and Prior Approvals**

In 2019, the Applicant applied to the Zoning Board of Appeals for parking and front yard setback variances proposing to develop the Property with the now existing building and off-street parking layout, so as to outfit it for use by a single retail tenant. In May of 2019, the then Zoning Board of Appeals issued a Resolution of Approval, approving 13 off-street parking spaces where 22 were required and a proposed front-yard setback of 0.5 feet where 10 feet was required. A copy of that 2019 ZBA Resolution is attached hereto as **Exhibit A**. The then Planning Board

issued a Resolution granting site plan and steep slope permit approval on June 10, 2019, modified on July 8, 2019. The Planning Board Resolution was set to expire after one year unless all the conditions and modifications provided had been substantially completed or an extension granted. A copy of that 2019 PB Resolution is attached hereto as **Exhibit B**.

The Applicant then applied to the Planning Board for an extension of the **Exhibit B** approvals in March of 2021, explaining that neither Site Design Consultants nor the undersigned were informed by the then Project Manager, Lou Levy Construction, that it had not completed all of the conditions and modifications as required by **Exhibit B** or that construction had not been substantially completed by the June 10, 2020 expiration date. In fact, the Applicant only learned after the fact that a Building Permit could not have been issued by the expiration date because there were no mechanical, electrical, or sprinkler plans prepared or submitted by Lou Levy Construction to support issuance of a Building Permit.

The then Planning Board granted the requested extension and issued a Resolution dated April 26, 2021 which provided that the plans had remained essentially the same and approved the Applicant's site plan and steep slope permit applications. The Resolution provided that the approval would expire one year after the date of the resolution unless all the conditions and modifications had been substantially completed or an extension granted. A copy of the 2021 PB Resolution is attached hereto at **Exhibit C**. One year later, the then Planning Board issued a Resolution dated May 9, 2022 again extending the Applicant's time to complete all conditions of approval, finding no reasons to deny an extension of time. A copy of the 2022 PB Resolution is attached hereto as **Exhibit D**.

### **The Prior Approvals and Variances Should be Reissued**

Most recently, the proposed Site Plan was endorsed by Chairman Christopher Carthy of the Planning Board on January 18, 2023 and Joseph M. Cermele of Kellard Sessions Consulting on January 19, 2023. A copy of the endorsed Site Plan is attached hereto as **Exhibit E**.

With the Site Plan finally endorsed, the Applicant hoped to obtain a Building Permit and commence working on the site but had to delay applying for the Building Permit in order to complete further load testing of the floor of the building and to address certain other engineering issues. Resultantly, the Applicant was not able to apply for the Building Permit until April 24, 2023, two days before the Site Plan would expire. A copy of the Building Permit application is attached hereto as **Exhibit F**.

Despite timely filing the application prior to the expiration of Site Plan approval, the Applicant was informed by Building Inspector Michael Cromwell that the Site Plan had expired on April 26 and that the Applicant would need to reapply for Site Plan approval before the Building Department could issue a Building Permit. The expiration of Site Plan approval also caused the Applicant's parking and front yard setback variances to expire.



# Hollis Laidlaw & Simon

The Applicant now respectfully requests that both of your Boards issue Resolutions reinstating the approvals previously issued, specifically that the Zoning Board of Appeals reissue its approval of the requested parking and front yard setback variances and that the Planning Board reissue approval of the site plan and steep slope permits as recently approved as there have been no and there are to be no changes to the Site Plan.

As stated in the Planning Board's 2022 Resolution extending the Applicant's time to comply, the plans are essentially the same as those previously submitted and approved. Further, once the requested approvals and variances are reinstated, the Applicant will be able to timely file for a Building Permit, having completed the necessary testing and engineering to do so.

We further respectfully submit that it is well established that an administrative agency's decision which neither adheres to its own prior precedent nor indicates its reason for reaching a different result on essentially the same facts is arbitrary and capricious. *Knight v. Amelkin*, 68 N.Y.2d 975, 977, 503 N.E.2d 106 (1986); *see also Mobil Oil Corp. v. Vill. of Mamaroneck Bd. of Appeals*, 293 A.D.2d 679, 740 N.Y.S.2d 456 (2d Dep't 2002) (striking down zoning board's denial of a variance for a gas station canopy where the board did not properly distinguish prior determination granting area variance to another gas station with similar canopy); *Bout v. Zoning Bd. of Appeals of Town of Oyster Bay*, 71 A.D.3d 1014, 897 N.Y.S.2d 205 (2d Dep't 2010) (annulling zoning board denial of amended variance on the same property where board had originally granted a variance, for failure to provide reasons for reaching a different result). Accordingly, we respectfully submit that, because the Applicant is not seeking to at all change either the site plan or the variances from those previously approved, your Boards are bound to reinstate their prior approvals.

I look forward to appearing before your Boards at the earliest convenient date so as to further explain the past approvals and the Applicant's current request for reinstatement. If you have any questions, please do not hesitate to contact me. Thank you for your consideration.

Respectfully submitted,

  
P. Daniel Hollis, III

Enclosures

# **Exhibit A**



**RESOLUTION OF APPROVAL FOR AREA VARIANCES**

**ZONING BOARD OF APPEALS  
TOWN OF NORTH CASTLE**

-----X  
In the Matter of the Application of  
868 NORTH BROADWAY LLC  
-----X

WHEREAS, applicant, 868 NORTH BROADWAY, LLC, owner of property located at 868 NORTH BROADWAY, NORTH WHITE PLAINS, NY, and known on the Tax Assessment map of the Town of North Castle as Section 122.12, Block 5, Lot 63, has applied for the following variance(s) from the provisions of the Zoning Code of the Town of North Castle:

(THE APPLICANT IS REQUESTING VARIANCES FROM: SECTION 355-57, TO PERMIT 13 OFF STREET PARKING SPACES WHEN A TOTAL OF 22 OFF STREET SPACES ARE REQUIRED, A DEFICIENCY OF 9 SPACES; AND SECTION 355-22, A PROPOSED FRONT YARD SETBACK OF 0.5 FEET WHEN THE MINIMUM SETBACK REQUIREMENT IS 10 FEET, A DEFICIENCY OF 9.5 FEET.)

WHEREAS, prior to the hearing, members of the Board of Appeals conducted an inspection of the premises and surrounding neighborhood; and

WHEREAS, on March 7, 2019, the Board conducted a duly noticed public hearing on the public hearing was closed and the matter continued on April 4, 2019; and

WHEREAS, all interested parties were provided an opportunity to be heard; and

WHEREAS, the applicant has submitted proof of proper notice to nearby property owners required to receive notice thereof:

NOT, THEREFORE, the Board of Appeals makes the following findings:

1. The requested activity is a Type 2 action under the State Environmental Quality Review Act.
2. The application, in brief, is as follows:

The property consists of an existing 4,300 sq-ft one story commercial building with two separate parking areas, on the north and south sides of the building. The proposal is to redevelop the building site. The building will be renovated with new facades and interior alterations with the single commercial use remaining.

The parking lot will be enhanced and expanded by interconnection of the two parking areas and adding 6 new parking spaces resulting in a total of 13 parking spaces. This will be accomplished by excavating the slopes at the rear of the building and construction of retaining walls to create a one-way driveway area around the building.

3. The matter reached the Zoning Board pursuant to a January 15, 2019 referral from the Town's Planning Board:

The Planning Board is in the process of reviewing a site plan for 4,300 square foot retail building and the construction of various retaining walls

The Planning Board, at its meeting held on January 14, 2019, referred the following two variance requests to the Zoning Board of Appeals:

Front yard variance where 0.5 feet of front yard setback is proposed and where 10 feet is required pursuant to the CB regulations within Section 355-22 of the Town Code.

The site requires the provision of 22 off-street parking spaces pursuant to 355-57 of the Town Code, but only 13 off-street parking spaces are proposed.

4. Previously, in 2010 Site Plan Approval had been granted the applicant for development of that same site, the plan was never put into effect.

5. That approval, *supra*, was preceded by a series of area variances granted by this Board which permitted a parking variance of 7 spaces; a 9.5 foot front yard variance as well as side yard and maneuvering aisle variances.

6. In that application, the Board examined each of the factors set forth in Town Law§ 267-b(3) and determined, in balance, that the benefits to the applicant outweighed any purported negative impact on the neighborhood (*see* Resolution, 12/10/10 for 868 North Broadway, LLC).



7. That approval was made subject to a series of conditions, of which only one of the non-proforma conditions would apply to the instant application, *i.e.*, "no left turns."

8. The Board is aware that the property has now been vacant for almost a decade and along with neighbors who testified at the public hearing that the property site is deteriorating physically and aesthetically.

9. The neighbors, in the main, agreed that this plan for the property would improve many things: their acquiescence to the proposal was premised, *inter alia*, on there being no left turn and a single retail tenant.

10. The Board has found that requiring the occupation of the property to a single retail tenant, without the ability to sub-lease would mitigate most traffic concerns.

11. The Board noted that most concerns endemic with the location on Route 22, are shared by neighboring properties on said road, and the specific location and topography of the subject site.

12. The use proposed and the improvements both physically and aesthetically to the building and the site is clearly the most feasible use of that site; to further limit the use, *e.g.*, office use, would be economically non-feasible.

13. The proposal will enhance environmental concerns via, *e.g.*, the retaining wall; extant erosion problems will be resolved by the applicant.

14. While the instant application differs from that approval in 2010, the Board does take into consideration that:

- a) there were prior approvals by both the Planning Board and this Board; and
- b) that there was nothing presented by the Planning Board regarding this application which would negate the assertion that they, along with the ARB were "on board" with the present proposal.

15. Given the size of the building and the limit to a single occupancy, such constraints lead the Board to agree with the Planning Board (the project's lead agency), that no formal traffic study is necessary.

16. The applicants have agreed to there being no left turn; to the installation of traffic control signage.

17. Both variances are, at first blush, substantial, however the front yard variance is due to the building's pre-existing location and this proposal does *not* enhance the non-conformity; the parking variance's size, too, is mitigated by the stricture on the number of tenants (one) and the prohibition against subleasing.



18. The proposal clearly does not effect any negative change to the character of the neighborhood; it fits that character, and will result, overall, in an improvement of the neighborhood.

19. As noted in the 2010 finding, "[t]he condition is not really self-created because the building was there prior to the applicant purchasing the property."

20. Finally, the ZBA notes that "final" review and approval lies with the Planning Board which has within its ambit those concerns of both this Board and the neighbors who appeared at the Public Hearing.

NOW THEREFORE, BE IT RESOLVED, that the application for relief by way of two variances (from the requirements of the Town Zoning Code) are hereby granted:

1. 9.5 foot front yard variance; and
2. Nine (9) space parking variance.

Both variances being subject to the following conditions:

1. Occupation of the building is limited to one (1) retail tenant with no ability to sublease;  
and
2. No left turn per the site plan submitted by the applicant and dated 1/31/2019.
3. Applicant to provide at its expense traffic signage relative to "no left turn"; and
4. The variances will run with the land; and
5. The variances are subject to the Planning Board's approval of the pending site plan application; and
6. This variance shall expire if work is not initiated pursuant thereto within two (2) years from the date of this resolution, namely, April 5, 2021; and
7. A building permit must be obtained from the building inspector for any construction relating to this variance; and a review for all other state and local codes; and
8. If required, a foundation "as built survey" is needed after the foundation is completed and submitted to the building inspector for his review and approval before work can continue; and
9. If required, a final "as built survey" is needed to be submitted to the building inspector for his review and approval, prior to issuance of a certificate of occupancy.

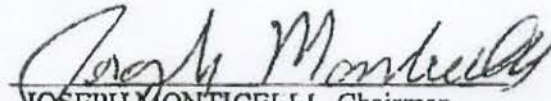
Motion by : Lester Berkelhamer


Second by : John Stipo

Joseph Monticelli	Yes
Lester Berkelhamer	Yes
John L. Stipo	Yes
Robert Greer	Yes

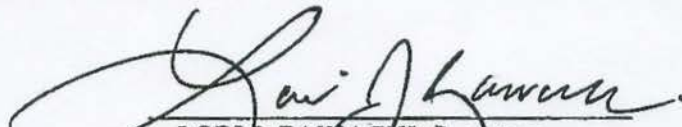
There being four (4) votes in favor, the Resolution is granted by Order of the Board of Appeals.

Dated: 5/23/19

  
JOSEPH MONTICELLI, Chairman

  
GERALD D. REILLY, ESQ. Town Counsel

I hereby certify this to be a true copy of a Resolution approved by vote of the North Castle Zoning Board of Appeals at a public meeting held on April 4, 2019, at Town Hall, 15 Bedford Road, Armonk, New York.

  
LORI J. ZAWACKI, Secretary

# **Exhibit B**





TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RECEIVED 9/4/2019  
TOWN CLERK'S OFFICE

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
www.northcastleny.com

PLANNING BOARD  
Christopher Carthy, Chair

## RESOLUTION

**Action:** Site Plan and Steep Slope Permit Approvals [#12-005]  
**Project Name:** Santomero – North Broadway  
**Owner:** 868 North Broadway, LLC  
**Applicant:** Christopher Santomero  
**Designation:** 122.12-5-63  
**Zoning District:** CB  
**Location:** 868 North Broadway  
**Area:** 18,826 square feet  
**Approval Date:** June 10, 2019 [Modified 7/8/19]  
**Expiration Date:** June 10, 2020 (1 year)

WHEREAS, on January 24, 2018, an application for site plan approval was submitted to the Planning Board and the requisite fee was paid; and

WHEREAS, the application consists of the following drawings:

- Plan labeled "Sheet 1 of 13," entitled "Zoning & Vicinity Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 2 of 13," entitled "Site Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 3 of 13," entitled "Existing Conditions & Demolition Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 4 of 13," entitled "Erosion & Sediment Control Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 5 of 13," entitled "Improvement Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 6 of 13," entitled "Landscape Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 7 of 13," entitled "Sight Distance Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 8 of 13," entitled "Lighting Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 9 of 13," entitled "Parking Profile," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 10 of 13," entitled "Site Details," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 11 of 13," entitled "Site Details 2," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled "Sheet 12 of 13," entitled "Subsurface Detention Details Plan," dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.

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- Plan labeled “Sheet 1 of 13,” entitled “Erosion & Sediment Control Plan,” dated November 27, 2017, last revised May 23, 2019, prepared by Site Design Consultants.
- Plan labeled “CS,” entitled “Cover Sheet,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A1,” entitled “Proposed Floor Plan,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A2,” entitled “Proposed Elevations,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A3,” entitled “Proposed Elevations,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.

WHEREAS, the Applicant is seeking site plan approval for the completion of the existing building under construction that would result in a new 4,300 square foot retail building and the construction of various retaining walls; and

WHEREAS, the approximately 18,826 square foot property is located in the CB Zoning District and is designated on the Tax Maps of the Town of North Castle as lot 122.12-5-63; and

WHEREAS, an Environmental Assessment Form dated January 12, 2018 was prepared by the Applicant and submitted to the Planning Board for its review and consideration; and

WHEREAS, the Proposed Action would be classified as an Unlisted Action pursuant to the State Environmental Quality Review Act (SEQRA) and the Town of North Castle Environmental Quality Review Law; and

WHEREAS, the application for site plan approval requires referral to the Westchester County Planning Board pursuant to § 239-m of New York State General Municipal Law (GML) since the subject site is located within 500 feet of North Broadway (NYS Route 22); and

WHEREAS, the project was referred to the County; and

WHEREAS, a February 16, 2018 letter from Westchester County recommends additional stormwater controls, a sidewalk extending the entire frontage to the bee line bus stop and coordination of the site plan with Bee Line (proposed); and

WHEREAS, pursuant to Section 12-18(1) of the Town Code, all site development plans submitted to the Planning Board are required to be referred to the Architectural Review Board (ARB) for review and comment; and

WHEREAS, the ARB approved the proposed building design on April 18, 2019; and

WHEREAS, a total of 22 off-street parking spaces are required for the proposed use while only 13 spaces are provided; and

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WHEREAS, the Applicant has received a variance for deficient number of off-street parking spaces from the Zoning Board of Appeals on April 4, 2019; and

WHEREAS, the proposed covered walkway does not meet the minimum required front yard setback of 10 feet; and

WHEREAS, the Applicant secured a 9.5 foot front yard variance from Section 213-20 of the Town Code from the Zoning Board of Appeals on April 18, 2019; and

WHEREAS, a duly advertised public hearing regarding the site plan was conducted on June 10, 2019 at which time all those wishing to be heard were given the opportunity to be heard; and

WHEREAS, the Planning Board has requested, received and considered comments from the Town Attorney, the Consulting Town Engineer and Planner regarding the proposed development; and

WHEREAS, the Planning Board is familiar with the nature of the site, the surrounding area and the proposed development; and

WHEREAS, the plans have been forwarded to the Chief of Police, Fire Inspector and the North White Plains Fire Chief so that they may make any pertinent recommendation to the Planning Board including, but not limited to, the designation of no-parking zones, emergency vehicle access or any other issue deemed important to providing emergency services; and

WHEREAS, the Police Department is concerned if there is not adequate off street parking at this location employees and patrons will cross North Broadway creating a hazardous situation. Additionally, the Police Department noted that left turn restrictions are necessary for vehicles entering and exiting the site; and

WHEREAS, pursuant to Section 355-58 of the Town Code, one loading space (15 feet in width, at least 40 feet in length and at least 14 feet in height) is required for this site; and

WHEREAS, the site plan depicts a reduced size loading space; and

WHEREAS, upon consideration of all factors entering into the loading and unloading needs of each use, the Planning Board may make appropriate reductions in the loading requirement; and

WHEREAS, the site plan depicts 5,829 square feet of Town-regulated steep slope disturbance; and

WHEREAS, the requirements of the Zoning Ordinance and the Town of North Castle Comprehensive Plan Update have been met; and

NOW THEREFORE BE IT RESOLVED, that based upon its review of the full environmental record the Planning Board finds that the proposed action will not result in any significant adverse



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environmental impacts and hereby adopts a Negative Declaration pursuant to the requirements of Article 8 of the New York State Environmental Quality Review Law and 6 NYCRR Part 617; and

BE IT FURTHER RESOLVED, that the application for site plan and steep slope permit approvals, as described herein, is hereby conditionally approved, subject to the following conditions and modifications; and

WHEREAS, pursuant to Section 355-58 of the Town Code, the Planning Board finds that the proposed reduced size loading space is acceptable; and

BE IT FURTHER RESOLVED that, this site plan and tree removal permit approvals shall expire one (1) year after the date of this resolution unless all of the conditions and modifications identified below have been substantially completed or an extension of time has been requested by the applicant or granted by the North Castle Planning Board.

**Prior to the Signing of the Site Plan:**

*(The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the condition has been satisfied.)*

- \_\_\_\_\_ 1. The plans shall be revised to depict the installation of “No Left Turn” signs on the exit driveway to the satisfaction of the Town Planner.
  
- \_\_\_\_\_ 2. The plans shall be revised to depict the installation of “No Left Turn” signs on North Broadway to the satisfaction of the Town Planner.
  
- \_\_\_\_\_ 3. The site plan shall be revised to include the following notes to the satisfaction of the Town Planner:  
  
Occupation of the building is limited to one (1) retail tenant with no ability to sublet.  
  
Left turns shall be prohibited from entering the property and from existing the property.
  
- \_\_\_\_\_ 4. The site plan depicts retaining walls in excess of six feet in height. The Applicant shall demonstrate conformance with the requirements of Section 355-15.G(1)(b) of the Town Code to the satisfaction of the Town Engineer.
  
- \_\_\_\_\_ 5. Pursuant to the April 4, 2019 ZBA variance approval, the site plan shall be revised to include a note stating that “Occupation of the building is limited to one (1) retail tenant with no ability to sublet.”

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- \_\_\_\_\_ 6. The Zoning Schedule on Sheet 1/13 shall be updated to include a note that a variance is required for the proposed front yard setback to the satisfaction of the Town Planner. In addition, the Schedule should be revised to note the date the ZBA granted the variance to the satisfaction of the Town Planner.
- \_\_\_\_\_ 7. The Parking Schedule shall be revised to note the date the ZBA granted the off-street parking variance to the satisfaction of the Town Planner.
- \_\_\_\_\_ 8. The landscape plan shall be revised to relocate the transformer adjacent to North Broadway to the location depicted on the other plans to the satisfaction of the Town Planner. In addition, the landscape plan shall be revised to depict additional landscaping in the area of the former transformer.
- \_\_\_\_\_ 9. The lighting plan should be revised to depict lighting levels at the front of the property in the NYSDOT ROW to the satisfaction of the Town Planner. As proposed, it appears that lighting levels at the front of the property are excessive and not acceptable. The plan shall be revised to the satisfaction of the Town Planner.
- \_\_\_\_\_ 10. The applicant shall submit, as necessary and appropriate, final details to the satisfaction of the Town Engineer of site, final grading and storm drainage, utility connections, sight lines and curbing, parking, driveway and pavement specifications.
- \_\_\_\_\_ 11. Pursuant to Section 127-17 of the Town Code, the applicant shall submit a detailed quantity cost estimate for all site improvements proposed, with the quantities certified to by the applicant's engineer, to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 12. Payment of all applicable fees, including any outstanding consulting fees.
- \_\_\_\_\_ 13. The Applicant shall submit to the Planning Board Secretary one set of plans (with required signature block) incorporating all required amendments to the plans as identified in this resolution of approval to the satisfaction of the Town Planner, Town Engineer and Town Attorney.
- \_\_\_\_\_ 14. Return of the "Planning Board Notification" sign in reusable condition with stand. If such sign is not returned as previously described a payment of \$25.00 made payable to the Town of North Castle shall be required.

**Prior to the Issuance of a Building Permit:**

*(The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the condition has been satisfied.)*

- \_\_\_\_\_ 1. All proposed building/site signage will require ARB approval
- \_\_\_\_\_ 2. The currently proposed elevations (clock, front windows, rear elevation, etc.) of the building are different than the elevations approved by the ARB in 2018. The Applicant shall submit documentation from the ARB confirming that the proposed changes in the building design do not require amended ARB approval to the satisfaction of the Building Department.
- \_\_\_\_\_ 3. The approved site plan shall be signed by both the Planning Board Chair and Town Engineer.
- \_\_\_\_\_ 4. The submission of a complete set of building plans for review and approval by the Town Building Inspector prior to the issuance of a building permit.
- \_\_\_\_\_ 5. The applicant shall submit an engineering inspection fee equal to 3% of the estimated cost of construction.
- \_\_\_\_\_ 6. Payment of all outstanding fees, including professional review fees.
- \_\_\_\_\_ 7. The submission of a retaining wall design and construction details prepared by a New York State Licensed Professional Engineer to the satisfaction of the Town Engineer.

**Prior to the Issuance of a Certificate of Occupancy:**

*(The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the condition has been satisfied.)*

- \_\_\_\_\_ 1. The applicant shall obtain all applicable New York State Department of Transportation (NYSDOT) approvals/permits for work proposed within the right-of-way of New York State Route 22, including sidewalks, driveway access and any signage to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 2. The applicant shall coordinate the proposed sidewalk with the NYSDOT and Westchester County Bee Line Bus Service and obtain all necessary approvals to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 3. The Applicant shall demonstrate to the satisfaction of the Town Engineer that the NYSDOT approves of the "No Left Turn" signs within the North Broadway right-of-way.

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- \_\_\_\_\_ 4. The Applicant shall demonstrate to the satisfaction of the Town Engineer that a permit has been issued by the NYSDOT for work within the right-of-way.
- \_\_\_\_\_ 5. A Knox Box shall be installed at the entrances to the building (or an alternate location) to the satisfaction of the Building Department.
- \_\_\_\_\_ 6. The submission to the Town Building Inspector of an "As Built" site plan.
- \_\_\_\_\_ 7. Condition #3 should be revised to say “The plan proposes improvements, including curb, sidewalk, and pavement within the New York State Department of Transportation (NYSDOT) right-of-way of New York State Route 22. The applicant shall submit confirmation of closure of the NYSDOT Highway Work Permit to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 8. The submission of a certification by the Design Engineer for the construction of the retaining wall in conformance with the design drawings to the satisfaction of the Town Engineer.

**Other Conditions:**

1. Occupation of the building is limited to one (1) retail tenant with no ability to sublet.
2. Left turns shall be prohibited from entering the property and from existing the property.
3. Prior to the start of construction and throughout the construction period, area of disturbance lines shall be clearly delineated in the field with snow fence or another demarcation acceptable to the Building Department and Town Engineer, which shall be placed around the entire proposed construction area. Except as necessary to provide mitigation plantings, no encroachment beyond these limits by workers or machinery shall be permitted.
4. Grading and clearing and other construction-related activities shall take place only within the delineated area of disturbance lines. These area of disturbance lines represent the maximum limits of construction activities. Every attempt shall be made to further reduce grading and clearing activities within the area of disturbance lines by maintaining natural vegetation and topography wherever practicable.
5. Prior to the commencement of any site work, the Applicant shall stake the location of the proposed construction for inspection and approval by the Building Department and Town Engineer.
6. All soil erosion and sedimentation control measures shown on this plan shall be in place prior to the start of any site work. The Building Department and Town Engineer shall have inspected the installation of all required soil erosion and sedimentation control measures prior to the authorization to proceed with any phase of the site work.

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***Santomero – North Broadway [#12-005]***

June 10, 2019 [Modified 7/8/19]

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7. Throughout the construction period, a qualified professional retained by the Applicant shall, on at least a weekly basis, prior to any predicted rain event and after any runoff-producing rain event, inspect the soil erosion and sedimentation control measures to ensure their proper functioning. Soil shall be removed from the silt fence when bulges develop in the fence in accordance with Westchester County recommendations. Records shall be kept onsite and made available for review by Town personnel. Inspections shall be in accordance with the NYSDEC Phase II regulations.
8. If the Applicant, during the course of construction, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, he shall report such conditions immediately to the Building Department and Town Engineer. The Applicant may submit, if he so desires, his recommendations as to the special treatment to be given such areas to secure adequate, permanent and satisfactory construction. The Building Department, without unnecessary delay, shall investigate the condition or conditions, and shall either approve the Applicant's recommendations to correct the conditions, order a modification thereof, or issue his own specifications for the correction of the conditions. In the event of the Applicant's disagreement with the decision of the Building Department, or in the event of a significant change resulting to the site plan or any change that involves the wetlands regulated areas, the matter shall be decided by the Planning Board. Any such conditions observed by the Planning Board or its agents shall be similarly treated.
9. Compliance with all applicable local laws and ordinances of the Town of North Castle and any conditions attached to permits issued thereunder.
10. The applicant shall provide sedimentation and erosion control measures to the satisfaction of the Town Engineer and in accordance with the measures set forth in the Westchester County Best Management Practices for Construction and Related Activities.
11. All landscaping shown on this plan shall be maintained in a vigorous growing condition throughout the duration of the use. All plants not so maintained shall be replaced with new plants of comparable size and quality at the beginning of the next immediately following growing season.
12. The applicant shall provide confirmation from the NYSDOT, to the satisfaction of the Town Engineer, that all improvements in the NYS right-of-way have been satisfactorily completed in accordance with the Highway Work Permit.



Site Plan and Steep Slope Permit Approvals for:  
**Santomero – North Broadway [#12-005]**  
June 10, 2019 [Modified 7/8/19]  
Page 9 of 9

\*\*\*\*\*

APPLICANT, agreed and understood as to contents and conditions, including expiration, contained herein

9-3-19

Date

~~868 North Broadway LLC – Owner~~

9-3-19

Date

~~Christopher Santomero - Applicant~~

NORTH CASTLE PLANNING OFFICE,  
as to approval by the North Castle Planning Board

9/3/19

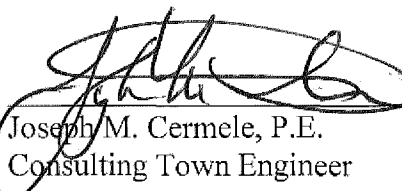
Date

  
Valerie B. Desimone, Planning Board Secretary

KELLARD SESSIONS CONSULTING  
As to Drainage and Engineering Matters

09/04/19


Date

  
Joseph M. Cermele, P.E.  
Consulting Town Engineer

STEPHENS BARONI REILLY & LEWIS LLP  
As to Form and Sufficiency

9/04/19

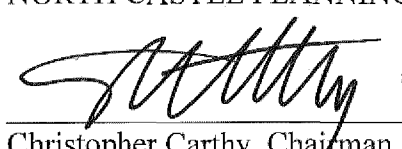
Date

  
Roland A. Baroni, Jr. Esq., Town Counsel

NORTH CASTLE PLANNING BOARD

9/4/19

Date

  
Christopher Carthy, Chairman

# **Exhibit C**



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RECEIVED 5/4/2021  
TOWN CLERK'S OFFICE

PLANNING BOARD  
Christopher Carthy, Chair

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastlenv.com](http://www.northcastlenv.com)

## RESOLUTION

**Action:** Site Plan and Steep Slope Permit Approvals [#2021-012]  
**Project Name:** Santomero – North Broadway  
**Owner:** 868 North Broadway, LLC  
**Applicant:** Christopher Santomero  
**Designation:** 122.12-5-63  
**Zoning District:** CB  
**Location:** 868 North Broadway  
**Area:** 18,826 square feet  
**Approval Date:** April 26, 2021  
**Expiration Date:** April 26, 2021 (1 year)

WHEREAS, on March 5, 2021, an application for site plan approval was submitted to the Planning Board and the requisite fee was paid; and

WHEREAS, the application consists of the following drawings:

- Plan labeled “Sheet 1 of 14,” entitled “Zoning & Vicinity Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 2 of 14,” entitled “Site Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 3 of 14,” entitled “Existing Conditions & Demolition Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 4 of 14,” entitled “Erosion & Sediment Control Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 5 of 14,” entitled “Improvement Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 6 of 14,” entitled “Landscape Plan,” dated November 27, 2018, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 7 of 14,” entitled “Sight Distance Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 8 of 14,” entitled “Lighting Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 9 of 14,” entitled “Profiles,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 10 of 14,” entitled “Site Details,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 11 of 14,” entitled “Site Details 2,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 12 of 14,” entitled “Subsurface Detention Details Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.

Site Plan and Steep Slope Permit Approvals for:  
**Santomero – North Broadway [#2021-012]**  
April 26, 2021  
Page 2 of 8

- Plan labeled “Sheet 13 of 14,” entitled “Erosion & Sediment Control Details,” dated November 27, 2017, last revised July 24, 2019, prepared by Site Design Consultants.
- Plan labeled “Sheet 14 of 14,” entitled “Retaining Wall Plan & Details,” dated August 15, 2019, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “CS,” entitled “Cover Sheet,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A1,” entitled “Proposed Floor Plan,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A2,” entitled “Proposed Elevations,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A3,” entitled “Proposed Elevations,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.

WHEREAS, the Applicant is seeking site plan reapproval for the completion of the existing building under construction that would result in a new 4,300 square foot retail building and the construction of various retaining walls; and

WHEREAS, the previously approved site plan resolution has expired; and

WHEREAS, the plans have remained essentially the same; and

WHEREAS, the approximately 18,826 square foot property is located in the CB Zoning District and is designated on the Tax Maps of the Town of North Castle as lot 122.12-5-63; and

WHEREAS, an Environmental Assessment Form dated March 5, 2021 was prepared by the Applicant and submitted to the Planning Board for its review and consideration; and

WHEREAS, the Proposed Action would be classified as an Unlisted Action pursuant to the State Environmental Quality Review Act (SEQRA) and the Town of North Castle Environmental Quality Review Law; and

WHEREAS, the application for site plan approval requires referral to the Westchester County Planning Board pursuant to § 239-m of New York State General Municipal Law (GML) since the subject site is located within 500 feet of North Broadway (NYS Route 22); and

WHEREAS, the project was referred to the County; and

WHEREAS, a February 16, 2018 letter from Westchester County recommends additional stormwater controls, a sidewalk extending the entire frontage to the bee line bus stop and coordination of the site plan with Bee Line (proposed; and

WHEREAS, pursuant to Section 12-18(1) of the Town Code, all site development plans submitted to the Planning Board are required to be referred to the Architectural Review Board (ARB) for review and comment; and



Site Plan and Steep Slope Permit Approvals for:  
***Santomero – North Broadway [#2021-012]***  
April 26, 2021  
Page 3 of 8

WHEREAS, the ARB approved the proposed building design on April 18, 2019; and

WHEREAS, a total of 22 off-street parking spaces are required for the proposed use while only 13 spaces are provided; and

WHEREAS, the Applicant has received a variance for deficient number of off-street parking spaces from the Zoning Board of Appeals on April 4, 2019; and

WHEREAS, the proposed covered walkway does not meet the minimum required front yard setback of 10 feet; and

WHEREAS, the Applicant secured a 9.5 foot front yard variance from Section 213-20 of the Town Code from the Zoning Board of Appeals on April 18, 2019; and

WHEREAS, a duly advertised public hearing regarding the site plan was conducted on April 26, 2021 at which time all those wishing to be heard were given the opportunity to be heard; and

WHEREAS, the Planning Board has requested, received and considered comments from the Town Attorney, the Consulting Town Engineer and Planner regarding the proposed development; and

WHEREAS, the Planning Board is familiar with the nature of the site, the surrounding area and the proposed development; and

WHEREAS, the plans have been forwarded to the Chief of Police, Fire Inspector and the North White Plains Fire Chief so that they may make any pertinent recommendation to the Planning Board including, but not limited to, the designation of no-parking zones, emergency vehicle access or any other issue deemed important to providing emergency services; and

WHEREAS, the Police Department is concerned if there is not adequate off street parking at this location employees and patrons will cross North Broadway creating a hazardous situation. Additionally, the Police Department noted that left turn restrictions are necessary for vehicles entering and exiting the site; and

WHEREAS, pursuant to Section 355-58 of the Town Code, one loading space (15 feet in width, at least 40 feet in length and at least 14 feet in height) is required for this site; and

WHEREAS, the site plan depicts a reduced size loading space; and

WHEREAS, upon consideration of all factors entering into the loading and unloading needs of each use, the Planning Board may make appropriate reductions in the loading requirement; and

WHEREAS, the site plan depicts 5,829 square feet of Town-regulated steep slope disturbance; and

Site Plan and Steep Slope Permit Approvals for:  
**Santomero – North Broadway [#2021-012]**  
April 26, 2021  
Page 4 of 8

WHEREAS, the requirements of the Zoning Ordinance and the Town of North Castle Comprehensive Plan Update have been met; and

NOW THEREFORE BE IT RESOLVED, that based upon its review of the full environmental record the Planning Board finds that the proposed action will not result in any significant adverse environmental impacts and hereby adopts a Negative Declaration pursuant to the requirements of Article 8 of the New York State Environmental Quality Review Law and 6 NYCRR Part 617; and

BE IT FURTHER RESOLVED, that the application for site plan and steep slope permit approvals, as described herein, is hereby conditionally approved, subject to the following conditions and modifications; and

WHEREAS, pursuant to Section 355-58 of the Town Code, the Planning Board finds that the proposed reduced size loading space is acceptable; and

BE IT FURTHER RESOLVED that, this site plan and tree removal permit approvals shall expire one (1) year after the date of this resolution unless all of the conditions and modifications identified below have been substantially completed or an extension of time has been requested by the applicant or granted by the North Castle Planning Board.

**Prior to the Signing of the Site Plan:**

*(The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the condition has been satisfied.)*

- \_\_\_\_\_ 1. The site plan depicts retaining walls in excess of six feet in height. The Applicant shall demonstrate conformance with the requirements of Section 355-15.G(1)(b) of the Town Code to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 2. The applicant shall submit, as necessary and appropriate, final details to the satisfaction of the Town Engineer of site, final grading and storm drainage, utility connections, sight lines and curbing, parking, driveway and pavement specifications.
- \_\_\_\_\_ 3. The details associated with the subsurface detention system, that were to be included on Sheet 12 or 14, have been inadvertently omitted. The plan shall be revised to include the appropriate details to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 4. Pursuant to Section 127-17 of the Town Code, the applicant shall submit a detailed quantity cost estimate for all site improvements proposed, with the quantities certified to by the applicant's engineer, to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 5. Payment of all applicable fees, including any outstanding consulting fees.
- \_\_\_\_\_ 6. The Applicant shall submit to the Planning Board Secretary two sets of plans (with

required signature block) incorporating all required amendments to the plans as identified in this resolution of approval to the satisfaction of the Town Planner, Town Engineer and Town Attorney.

**Prior to the Issuance of a Building Permit:**

*(The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the condition has been satisfied.)*

- \_\_\_\_\_ 1. All proposed building/site signage will require ARB approval
- \_\_\_\_\_ 2. The currently proposed elevations (clock, front windows, rear elevation, etc.) of the building are different than the elevations approved by the ARB in 2018. The Applicant shall submit documentation from the ARB confirming that the proposed changes in the building design do not require amended ARB approval to the satisfaction of the Building Department.
- \_\_\_\_\_ 3. The approved site plan shall be signed by both the Planning Board Chair and Town Engineer.
- \_\_\_\_\_ 4. The submission of a complete set of building plans for review and approval by the Town Building Inspector prior to the issuance of a building permit.
- \_\_\_\_\_ 5. The applicant shall submit an engineering inspection fee equal to 3% of the estimated cost of construction.
- \_\_\_\_\_ 6. Payment of all outstanding fees, including professional review fees.
- \_\_\_\_\_ 7. The submission of a retaining wall design and construction details prepared by a New York State Licensed Professional Engineer to the satisfaction of the Town Engineer.

**Prior to the Issuance of a Certificate of Occupancy:**

*(The Planning Board Secretary's initials and date shall be placed in the space below to indicate that the condition has been satisfied.)*

- \_\_\_\_\_ 1. The applicant shall obtain all applicable New York State Department of Transportation (NYSDOT) approvals/permits for work proposed within the right-of-way of New York State Route 22, including sidewalks, driveway access and any signage to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 2. The applicant shall coordinate the proposed sidewalk with the NYSDOT and Westchester County Bee Line Bus Service and obtain all necessary approvals to the satisfaction of the Town Engineer.

Site Plan and Steep Slope Permit Approvals for:

***Santomero – North Broadway [#2021-012]***

April 26, 2021

Page 6 of 8

- \_\_\_\_\_ 3. The Applicant shall demonstrate to the satisfaction of the Town Engineer that the NYSDOT approves of the “No Left Turn” signs within the North Broadway right-of-way.
- \_\_\_\_\_ 4. The Applicant shall demonstrate to the satisfaction of the Town Engineer that a permit has been issued by the NYSDOT for work within the right-of-way.
- \_\_\_\_\_ 5. A Knox Box shall be installed at the entrances to the building (or an alternate location) to the satisfaction of the Building Department.
- \_\_\_\_\_ 6. The submission to the Town Building Inspector of an "As Built" site plan.
- \_\_\_\_\_ 7. The plan proposes improvements, including curb, sidewalk, and pavement within the New York State Department of Transportation (NYSDOT) right-of-way of New York State Route 22. The applicant shall submit confirmation of closure of the NYSDOT Highway Work Permit to the satisfaction of the Town Engineer.
- \_\_\_\_\_ 8. The submission of a certification by the Design Engineer for the construction of the retaining wall in conformance with the design drawings to the satisfaction of the Town Engineer.

**Other Conditions:**

1. Occupation of the building is limited to one (1) retail tenant with no ability to sublet.
2. Left turns shall be prohibited from entering the property and from existing the property.
3. Prior to the start of construction and throughout the construction period, area of disturbance lines shall be clearly delineated in the field with snow fence or another demarcation acceptable to the Building Department and Town Engineer, which shall be placed around the entire proposed construction area. Except as necessary to provide mitigation plantings, no encroachment beyond these limits by workers or machinery shall be permitted.
4. Grading and clearing and other construction-related activities shall take place only within the delineated area of disturbance lines. These area of disturbance lines represent the maximum limits of construction activities. Every attempt shall be made to further reduce grading and clearing activities within the area of disturbance lines by maintaining natural vegetation and topography wherever practicable.
5. Prior to the commencement of any site work, the Applicant shall stake the location of the proposed construction for inspection and approval by the Building Department and Town Engineer.



Site Plan and Steep Slope Permit Approvals for:

***Santomero – North Broadway [#2021-012]***

April 26, 2021

Page 7 of 8

6. All soil erosion and sedimentation control measures shown on this plan shall be in place prior to the start of any site work. The Building Department and Town Engineer shall have inspected the installation of all required soil erosion and sedimentation control measures prior to the authorization to proceed with any phase of the site work.
7. Throughout the construction period, a qualified professional retained by the Applicant shall, on at least a weekly basis, prior to any predicted rain event and after any runoff-producing rain event, inspect the soil erosion and sedimentation control measures to ensure their proper functioning. Soil shall be removed from the silt fence when bulges develop in the fence in accordance with Westchester County recommendations. Records shall be kept onsite and made available for review by Town personnel. Inspections shall be in accordance with the NYSDEC Phase II regulations.
8. If the Applicant, during the course of construction, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, he shall report such conditions immediately to the Building Department and Town Engineer. The Applicant may submit, if he so desires, his recommendations as to the special treatment to be given such areas to secure adequate, permanent and satisfactory construction. The Building Department, without unnecessary delay, shall investigate the condition or conditions, and shall either approve the Applicant's recommendations to correct the conditions, order a modification thereof, or issue his own specifications for the correction of the conditions. In the event of the Applicant's disagreement with the decision of the Building Department, or in the event of a significant change resulting to the site plan or any change that involves the wetlands regulated areas, the matter shall be decided by the Planning Board. Any such conditions observed by the Planning Board or its agents shall be similarly treated.
9. Compliance with all applicable local laws and ordinances of the Town of North Castle and any conditions attached to permits issued thereunder.
10. The applicant shall provide sedimentation and erosion control measures to the satisfaction of the Town Engineer and in accordance with the measures set forth in the Westchester County Best Management Practices for Construction and Related Activities.
11. All landscaping shown on this plan shall be maintained in a vigorous growing condition throughout the duration of the use. All plants not so maintained shall be replaced with new plants of comparable size and quality at the beginning of the next immediately following growing season.
12. The applicant shall provide confirmation from the NYSDOT, to the satisfaction of the Town Engineer, that all improvements in the NYS right-of-way have been satisfactorily completed in accordance with the Highway Work Permit.

Site Plan and Steep Slope Permit Approvals for:  
**Santomero – North Broadway [#2021-012]**  
April 26, 2021  
Page 8 of 8

\*\*\*\*\*

04/28/2021  
Date

APPLICANT, agreed and understood as to contents and conditions, including expiration, contained herein  
*Christopher Santomero*

04/28/2021  
Date

868 North Broadway LLC – Owner  
*Christopher Santomero*

Christopher Santomero - Applicant

04/27/2021  
Date

NORTH CASTLE PLANNING OFFICE,  
as to approval by the North Castle Planning Board

*Valerie B. Desimone*

Valerie B. Desimone, Planning Board Secretary

04/28/2021  
Date

KELLARD SESSIONS CONSULTING  
As to Drainage and Engineering Matters

*Joseph M. Cermele*

Joseph M. Cermele, P.E.  
Consulting Town Engineer

04/27/2021  
Date

STEPHENS BARONI REILLY & LEWIS LLP  
As to Form and Sufficiency

*MAJF*

Roland A. Baroni, Jr. Esq., Town Counsel

05/04/2021  
Date

NORTH CASTLE PLANNING BOARD

*Christopher Carthy*

Christopher Carthy, Chairman

This audit trail was created during the document signature process and holds details of parties involved, including email address of signer(s), device IPs, signature timestamp and more. It serves as a digital certificate and can be used as a legal evidence.

<b>DOCUMENT</b>	Santomero North Broadway,ReApproval.site.pdf
<b>INITIATOR EMAIL</b>	akaufman@northcastleny.com
<b>INITIATOR REFERENCE ID</b>	0c4324c8d31c4f978d033a2ee1b7fb4f

DOCUMENT NAME	FINGERPRINT	REFERENCE ID	VERIFICATION LINK
Santomero North	7efcde4417f7a341f62	47996518c1b543469d	<a href="#">Click to verify</a>
Broadway.ReApproval.s	b072c657e10225b0f96	e177888016e562	
ite.pdf	5726ca99f9915ec364d		
	88db1bb		



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Signature request initiated for:

**chris@lordae.com (Christopher Santomero),  
vdesimone@northcastleny.com (Valerie B. Desimone),  
jcermele@kelses.com (Joe Cermele), CCarthy@PoolsOfPerfection.com  
(Christopher Carthy), RBaroni@SBRLLaw.com (Roland A. Baroni)**

Initiated on: 2021-04-27 19:42:13 UTC

IP: 108.14.248.10



Recipients added to CC list:

**dcinguina@kelses.com**

Initiated on: 2021-04-27 19:42:13 UTC

IP: 108.14.248.10



**Signed By RBaroni@SBRLLaw.com (Roland A. Baroni)**

Signed on: 2021-04-27 19:47:32 UTC

IP: 173.56.88.254



**Signed By vdesimone@northcastleny.com (Valerie B. Desimone)**

Signed on: 2021-04-27 20:20:22 UTC

IP: 108.14.248.10



**Signed By jcermele@kelses.com (Joe Cermele)**

Signed on: 2021-04-28 21:02:25 UTC

IP: 75.99.243.130



**Signed By chris@lordae.com (Christopher Santomero)**

Signed on: 2021-04-28 21:10:47 UTC

IP: 71.183.201.195



**Signed By CCarthy@PoolsOfPerfection.com (Christopher Carthy)**

Signed on: 2021-05-04 13:20:12 UTC

IP: 72.80.159.8



**Signature request completed.**

Completed on: 2021-05-04 13:20:18 UTC

IP: 72.80.159.8

## **Exhibit D**





TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RECEIVED 5/11/2022  
TOWN CLERK'S OFFICE

PLANNING BOARD  
Christopher Carthy, Chair

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## RESOLUTION

**Action:** Site Plan and Steep Slope Permit Approvals – Extension of Time [#2021-012]  
**Project Name:** Santomero – North Broadway  
**Owner:** 868 North Broadway, LLC  
**Applicant:** Christopher Santomero  
**Designation:** 122.12-5-63  
**Zoning District:** CB  
**Location:** 868 North Broadway  
**Area:** 18,826 square feet  
**Original Approval Date:** April 26, 2021  
**Original Expiration Date:** April 26, 2022 (1 year)  
**Extension of Time Date:** May 9, 2022  
**Ext of Time Exp Date:** April 26, 2023 (1 year)

WHEREAS, on March 5, 2021, an application for site plan approval was submitted to the Planning Board and the requisite fee was paid; and

WHEREAS, the application consists of the following drawings:

- Plan labeled “Sheet 1 of 14,” entitled “Zoning & Vicinity Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 2 of 14,” entitled “Site Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
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- Plan labeled “Sheet 9 of 14,” entitled “Profiles,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 10 of 14,” entitled “Site Details,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.

Site Plan and Steep Slope Permit Approvals – Extension of Time for:

***Santomero – North Broadway [#2021-012]***

May 9, 2022

Page 2 of 2

- Plan labeled “Sheet 11 of 14,” entitled “Site Details 2,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
- Plan labeled “Sheet 12 of 14,” entitled “Subsurface Detention Details Plan,” dated November 27, 2017, last revised January 23, 2020, prepared by Site Design Consultants.
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- Plan labeled “A2,” entitled “Proposed Elevations,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.
- Plan labeled “A3,” entitled “Proposed Elevations,” dated November 2, 2018, prepared by Leigh Overland Architect, LLC.

WHEREAS, the Applicant is seeking site plan reapproval for the completion of the existing building under construction that would result in a new 4,300 square foot retail building and the construction of various retaining walls; and

WHEREAS, the resolution is set to expire on April 26, 2022 and the Applicant has not yet met all of the conditions of such approval; and

WHEREAS, the Applicant has requested a 1-year extension of time in which to complete all conditions of approval; and

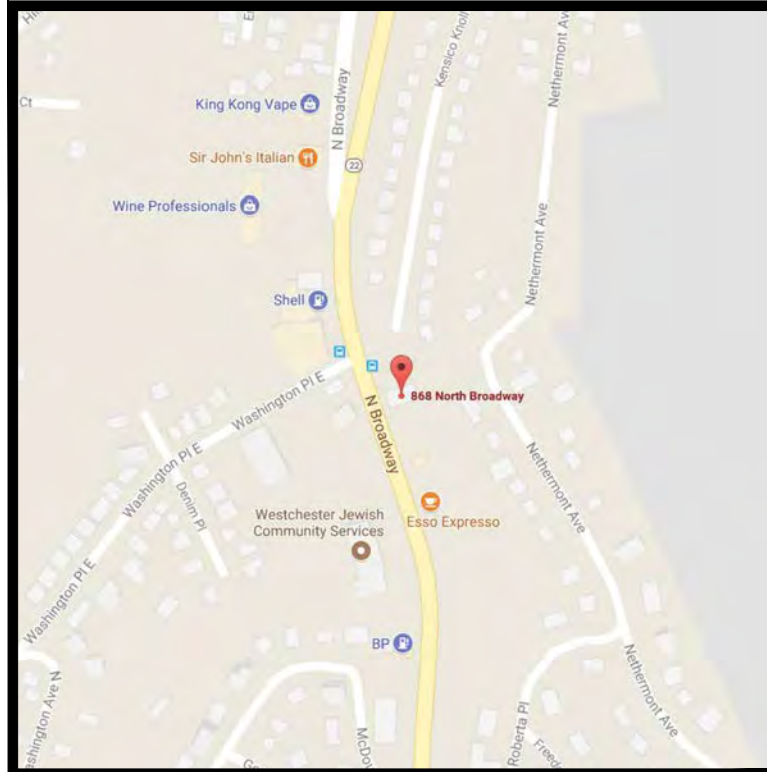
WHEREAS, on May 9, 2022 the Planning Board reviewed said request and determined that there were no reasons to deny an extension of time; and

NOW, THEREFORE, BE IT RESOLVED, that the request for an extension of time is granted; and

BE IT FURTHER RESOLVED, that all conditions of the Site Plan and Steep Slopes Permit Approvals resolution dated April 26, 2021 shall remain valid and in full force and effect

# **Exhibit E**





**SITE DATA:**

OWNER / DEVELOPER: LORDAE II, LLC.  
 CHRIS SANTOMARO  
 1 NEW KING STREET  
 HARRISON, NY, 10604  
 868 NORTH BROADWAY  
 TOWN OF NORTH CASTLE, WESTCHESTER CO., NY  
 CB CENTRAL BUSINESS  
 PROPOSED USE: CB CENTRAL BUSINESS  
 TOWN TAX MAP DATA: SECTION 122.12, BLOCK 5, LOT 63  
 SITE AREA: 0.42 ACRES (18,462 SF)  
 SEWAGE FACILITIES: PUBLIC SEWERS  
 WATER FACILITIES: PUBLIC WATER FACILITIES  
 FIRE DISTRICT: NORTH WHITE PLAINS FIRE DEPARTMENT  
 SCHOOL DISTRICT: VALHALA SCHOOL DISTRICT

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED April 26, 2021  
**Christopher Carthy** DATE: 01/18/2023  
 CHRISTOPHER CARTHY, CHAIRMAN  
 TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION  
**Joseph M. Cermele** DATE: 01/19/2023  
 JOSEPH M. CERMELE, PE  
 HILLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS

**ZONING SCHEDULE:**

ZONING DISTRICT: CB - CENTRAL BUSINESS ZONE			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	5,000 SF.	18,426 SF.	NONE
MINIMUM FRONTAGE:	50 FT.	188 FT.	NONE
MINIMUM LOT DEPTH:	100 FT.	124 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			9.5' GRANTED APRIL 4, 2019
FRONT YARD SETBACK:	10 FT.	0.5 FT.	NONE
REAR YARD SETBACK:	30 FT.	39.3 FT.	NONE
ONE SIDE YARD SETBACK:	0 FT.	29.6 FT.	NONE
MAXIMUM % OF LOT TO BE OCCUPIED:			
PRINCIPAL BUILDING COVERAGE:	35% OF LOT AREA	23.3 % OF LOT AREA	NONE
FLOOR AREA RATIO:	0.40	0.23 % OF LOT AREA	NONE
MAXIMUM HEIGHT:			
PRINCIPAL BUILDING - FEET:	30 FT.	15 FT.	NONE
PRINCIPAL BUILDING - STORIES:	2	1	NONE

**OTHER REQUIREMENTS:**

- No fabrication or manufacturing shall be permitted, except that which is incidental to and on the same premises with a permitted use, and further provided that such incidental fabrication or manufacturing shall not occupy more than 25% of the gross floor area of the use, nor shall use motor power other than electric.
- No residential use or occupancy shall be permitted in any building used for business, except in a separate apartment unit, which unit shall conform to all requirements for a residential use and shall have a separate entrance from the exterior of the building.

**PARKING SCHEDULE**

REQUIRED PARKING:	1 SPACES PER 200 SF OF BUILDING
RETAIL BUILDING:	4,300 S.F. @ 1 SPACES/200 S.F. = 21.5 SPACES
PROVIDED PARKING:	12 STANDARD, GRANTED APRIL 4, 2019 1 HANDICAP
TOTAL PROVIDED PARKING:	13 SPACES
PARKING VARIANCE REQUIRED:	9 SPACES
LOADING SPACE:	1 PROVIDED

LOCATION MAP  
NOT TO SCALE



AERIAL VIEW



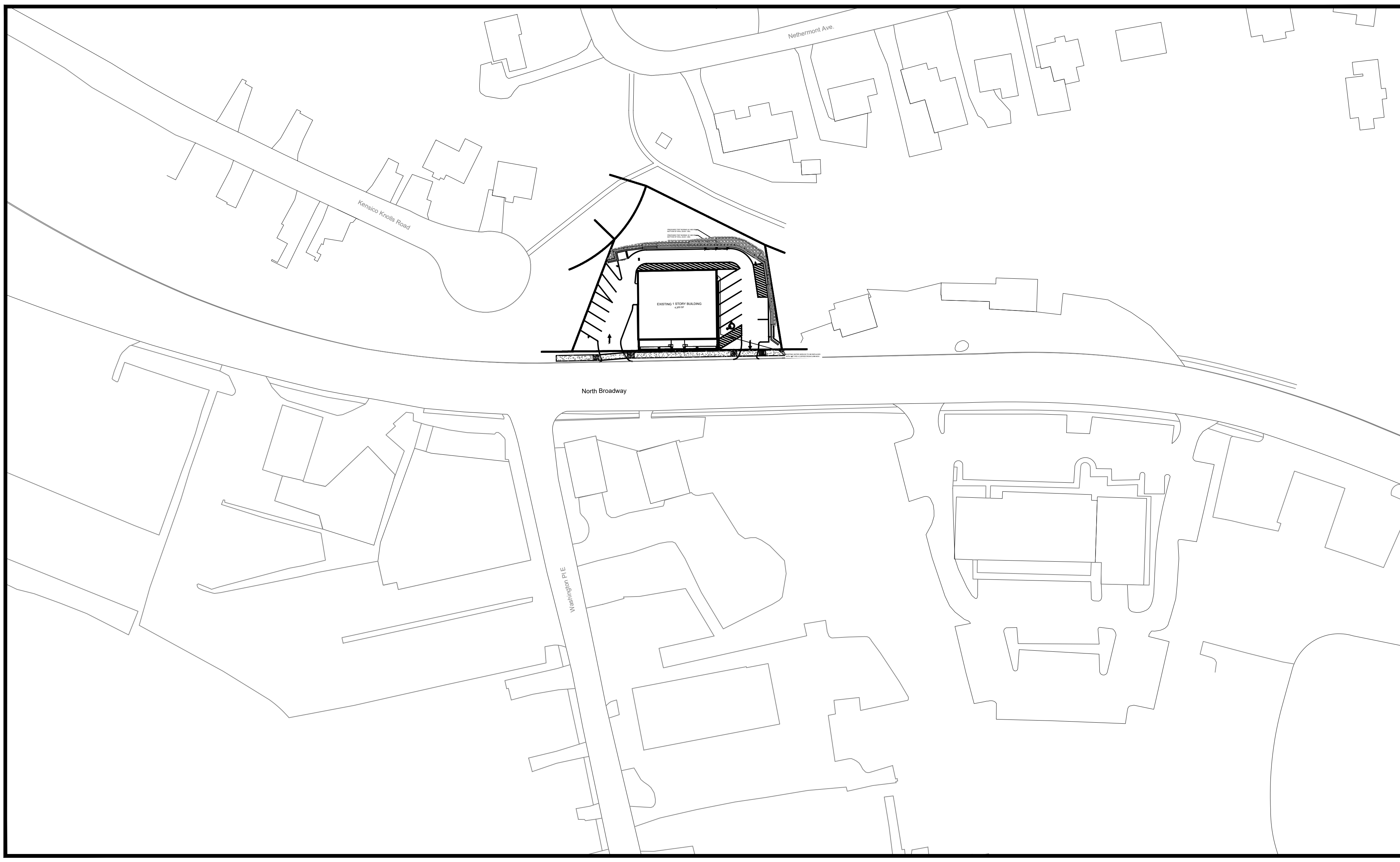
FRONT VIEW



VIEW LOOKING UP NORTHERN PROPERTY LINE



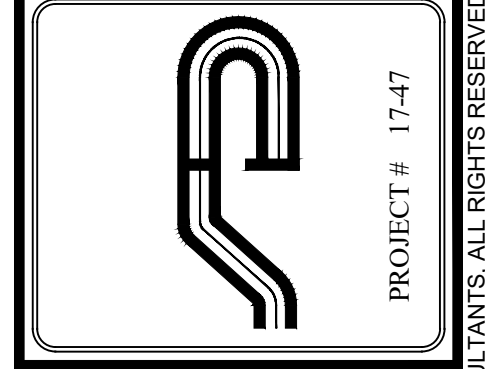
VIEW LOOKING UP SOUTHERN PROPERTY LINE



11/20/2017 AT LORDAE - CHRIS SANTOMARO (LOU LEVY ENGINEERING CAD/CADD) AT CHRIS SANTOMARO (LOU LEVY ENGINEERING CAD/CADD) SITE PLAN 2-24-22 DWG. 11/20/2017 3:16:52 PM

**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY WARD CARPENTER ENGINEERS INC., DATED 3/7/13. TOPOGRAPHIC INFORMATION OBTAINED FROM WESTCHESTER COUNTY GIS DATABASE AND SHOULD BE VERIFIED AT TIME OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

0 30 60 120  
 SCALE: 1"=60'-0"  
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 www.sitedesignconsultants.com



Revisions:	No.	Date	Comments
	1	2/23/18	Town Comments
	2	12/17/18	Amended Plan
	3	1/21/19	Town Comments
	4	5/23/19	Lighting Revisions
	5	5/23/19	Resolution Revisions
	6	7/24/19	Resolution Revisions
	7	1/23/20	Resolution Revisions
	8	6/29/21	Water Services Revision
	9	2/24/22	Planning Inspector Comment

SCALE: 1" = 60'  
 DRAWN BY: MD  
 DATE: 11-27-17

**ZONING & VICINITY PLAN**

SITE PLAN PREPARED FOR  
**LORDAE II, LLC.**  
 868 NORTH BROADWAY  
 Town of North Castle  
 Westchester County

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APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED April 26, 2021  
**Christopher Carthy** DATE: 01/18/2023  
 CHRISTOPHER CARTHY, CHAIRMAN,  
 TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION  
**Joseph M. Cermele** DATE: 01/19/2023  
 JOSEPH M. CERMELE, PE  
 KELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS



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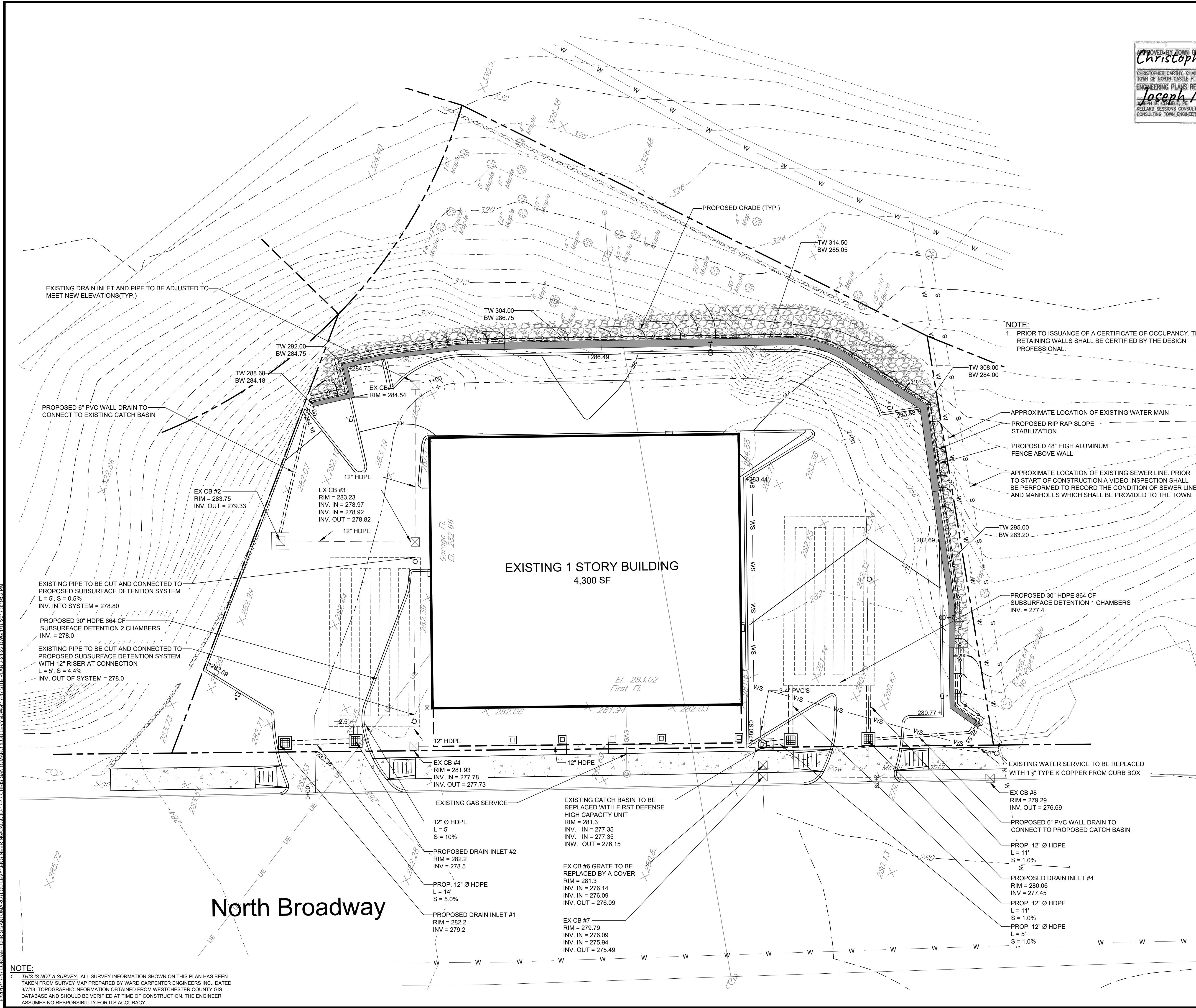


Revisions:	No.	Date	Comments
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	6	7/24/19	Resolution Revision
	7	1/23/20	Resolution Revision
	8	6/29/21	Water Service Revision
	9	2/24/22	Finaling Impact Comm

SCALE: 1" = 10'  
 DRAWN BY: MD  
 DATE: 11-27-17

# IMPROVEMENT PLAN

SITE PLAN PREPARED FOR  
**LORDAE II, LLC.**  
 868 NORTH BROADWAY  
 Town of North Castle  
 Westchester County



**NOTE:**  
 1. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE RETAINING WALLS SHALL BE CERTIFIED BY THE DESIGN PROFESSIONAL.

APPROXIMATE LOCATION OF EXISTING WATER MAIN  
 PROPOSED RIP RAP SLOPE STABILIZATION  
 PROPOSED 48" HIGH ALUMINUM FENCE ABOVE WALL  
 APPROXIMATE LOCATION OF EXISTING SEWER LINE: PRIOR TO START OF CONSTRUCTION A VIDEO INSPECTION SHALL BE PERFORMED TO RECORD THE CONDITION OF SEWER LINE AND MANHOLES WHICH SHALL BE PROVIDED TO THE TOWN.

APPROVED BY THE TOWN OF NORTH CASTLE PLANNING BOARD  
 RESOLUTION DATED: APRIL 21, 2021  
**Christopher Carthy** 01/18/2023  
 CHRISTOPHER CARTHY, CHAIRMAN  
 TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING DRAWING PLANS REVIEWED BY TOWN ENGINEER  
**Joseph M. Cermele** 01/19/2023  
 JOSEPH M. CERMELE, PE  
 KELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS

**LEGEND**

- 222 --- EXISTING GRADING
- x 222.8 EXISTING SPOT GRADE
- 200 --- PROPOSED GRADING
- EXISTING STONE WALL
- PROPERTY LINE / RIGHT OF WAY
- W --- EXISTING WATER LINE
- EXISTING DRAINAGE INLET
- S --- EXISTING SANITARY LINE
- GAS --- EXISTING GAS SERVICE
- PROPOSED CURB
- PROPOSED DRAINAGE LINE
- PROPOSED CATCH BASIN
- PROPOSED RETAINING WALLS

0 5 10 20  
 SCALE: 1"=10'-0"

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 Call 811  
 Call 811 (Toll Free) 811 or 1-800-486-7822  
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 www.call811ny.com

**NOTE:**  
 1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY WARD CARPENTER ENGINEERS INC., DATED 3/7/13. TOPOGRAPHIC INFORMATION OBTAINED FROM WESTCHESTER COUNTY GIS DATABASE AND SHOULD BE VERIFIED AT TIME OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.  
 NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.

E:\2021\14-LORDAE-CHRIS SANTOMARCO\14-LEVIN\ENGINEERING\CAD\14-24-22.DWG, 11/6/2017, 3:18:52 PM





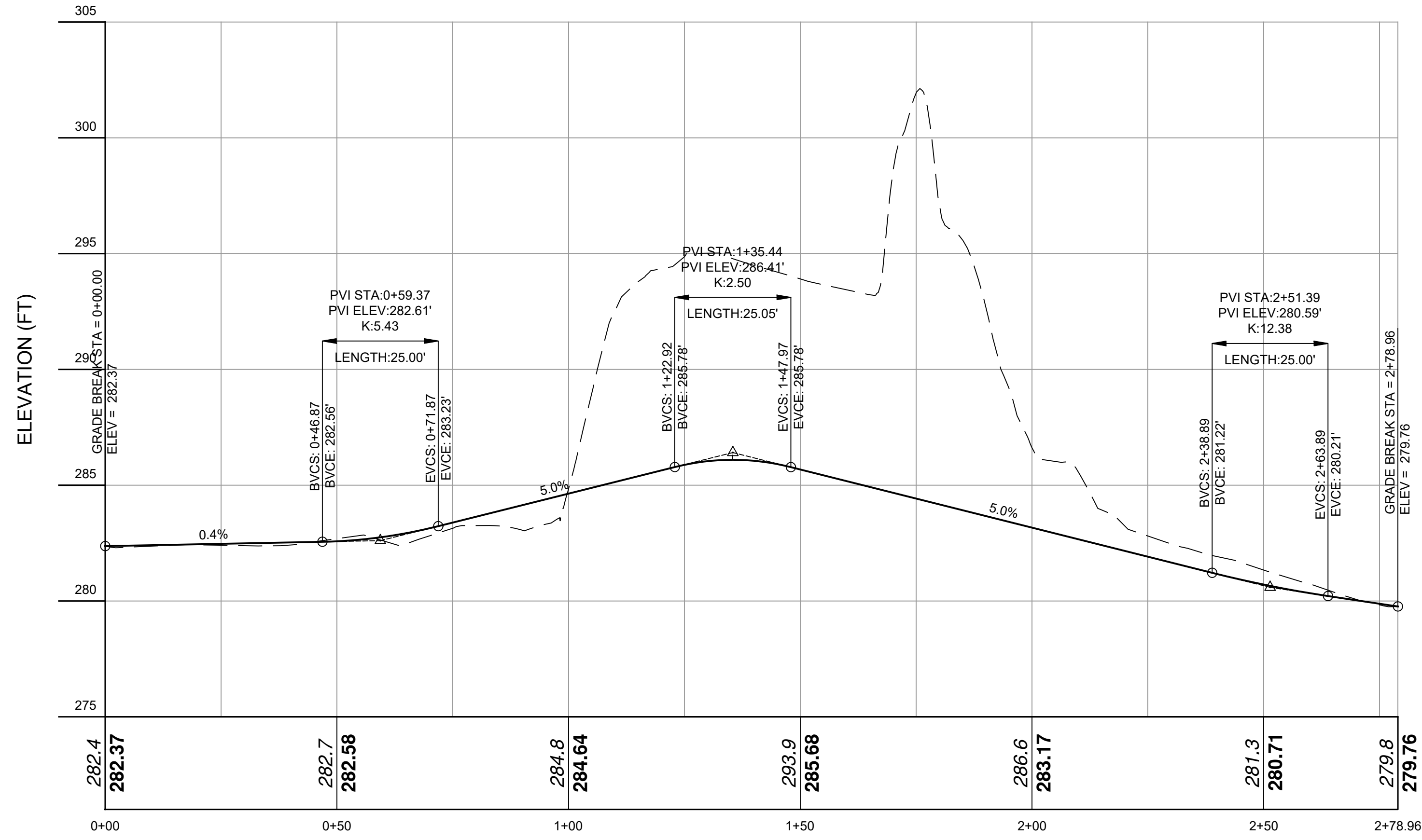




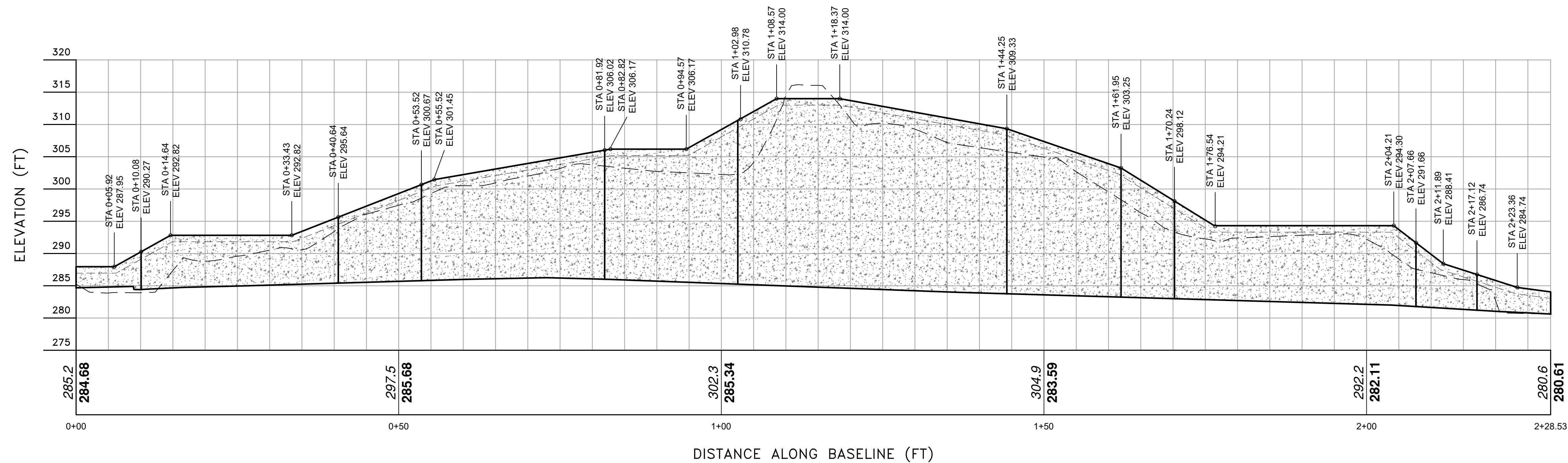






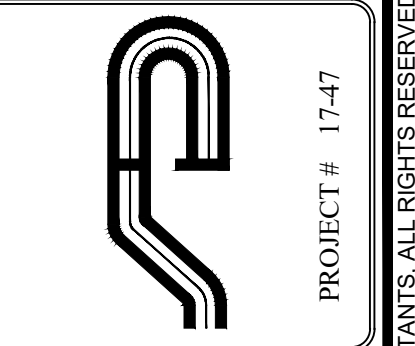


DISTANCE ALONG BASELINE (FT)  
 PROPOSED DRIVE CENTERLINE PROFILE  
 VERT. SCALE: 1" = 4'  
 HORIZ. SCALE: 1" = 20'



WALL PROFILE  
 PROFILE SCALE:  
 HORIZ: 1" = 10'  
 VERT: 1" = 10'

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED April 26, 2021  
**Christopher Carthy** DATE: 01/18/2023  
 CHAIRMAN, TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION  
**Joseph M. Cermele** DATE: 01/19/2023  
 JOSEPH M. CERMELE, P.E.  
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6	7/23/20		Resolution Revisions
7	6/29/21		Final Series Revision
8	2/24/22		Final Series Revision
9			Final Series Revision

SCALE: N/A  
 DRAWN BY: MD  
 DATE: 11-27-17

# PROFILES

SITE PLAN PREPARED FOR  
**LORDAE II, LLC.**  
 868 NORTH BROADWAY  
 Town of North Castle  
 Westchester County

NOTE: UNAUTHORIZED REVISIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209(2) OF THE NEW YORK STATE EDUCATION LAW.

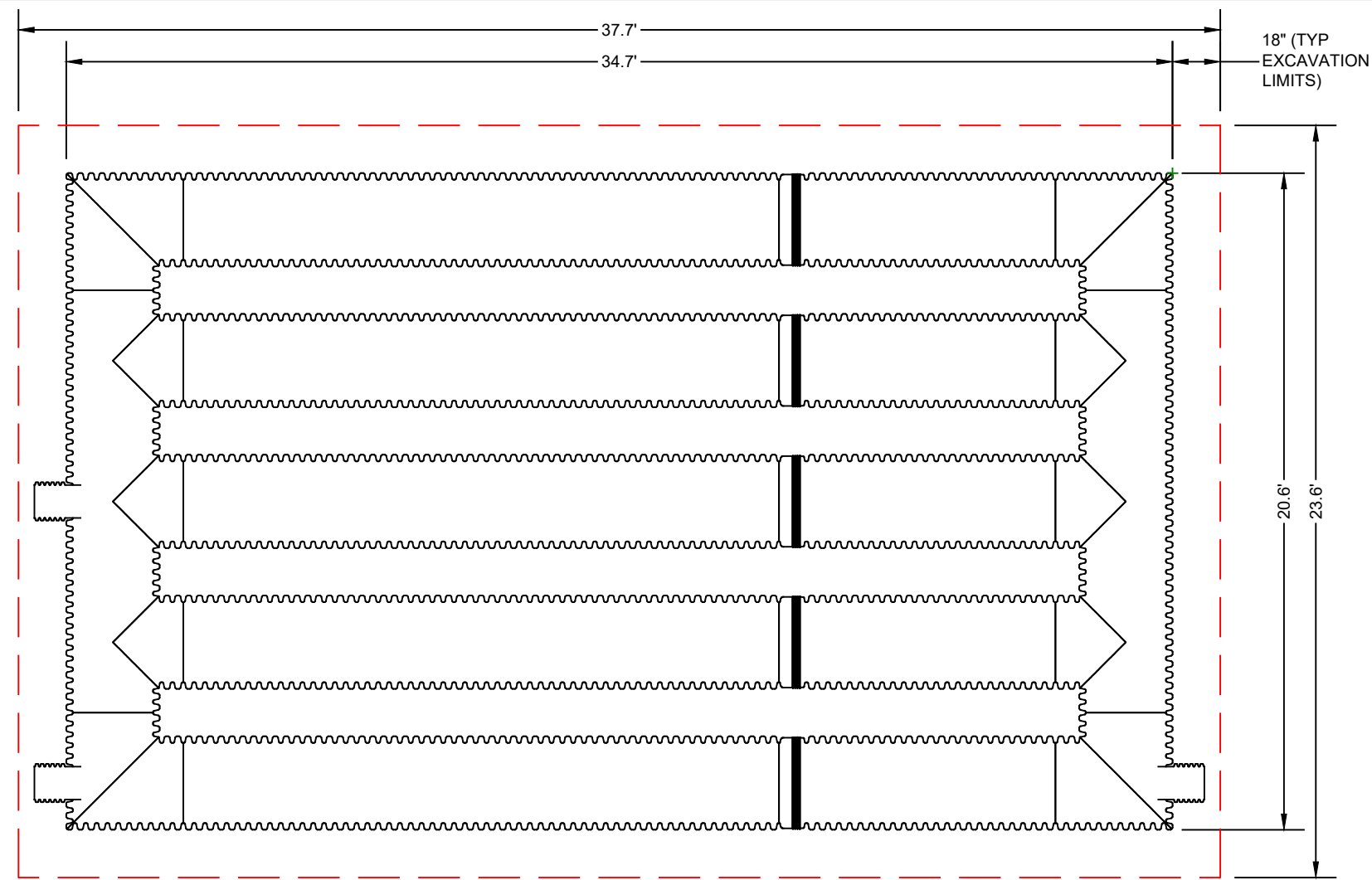




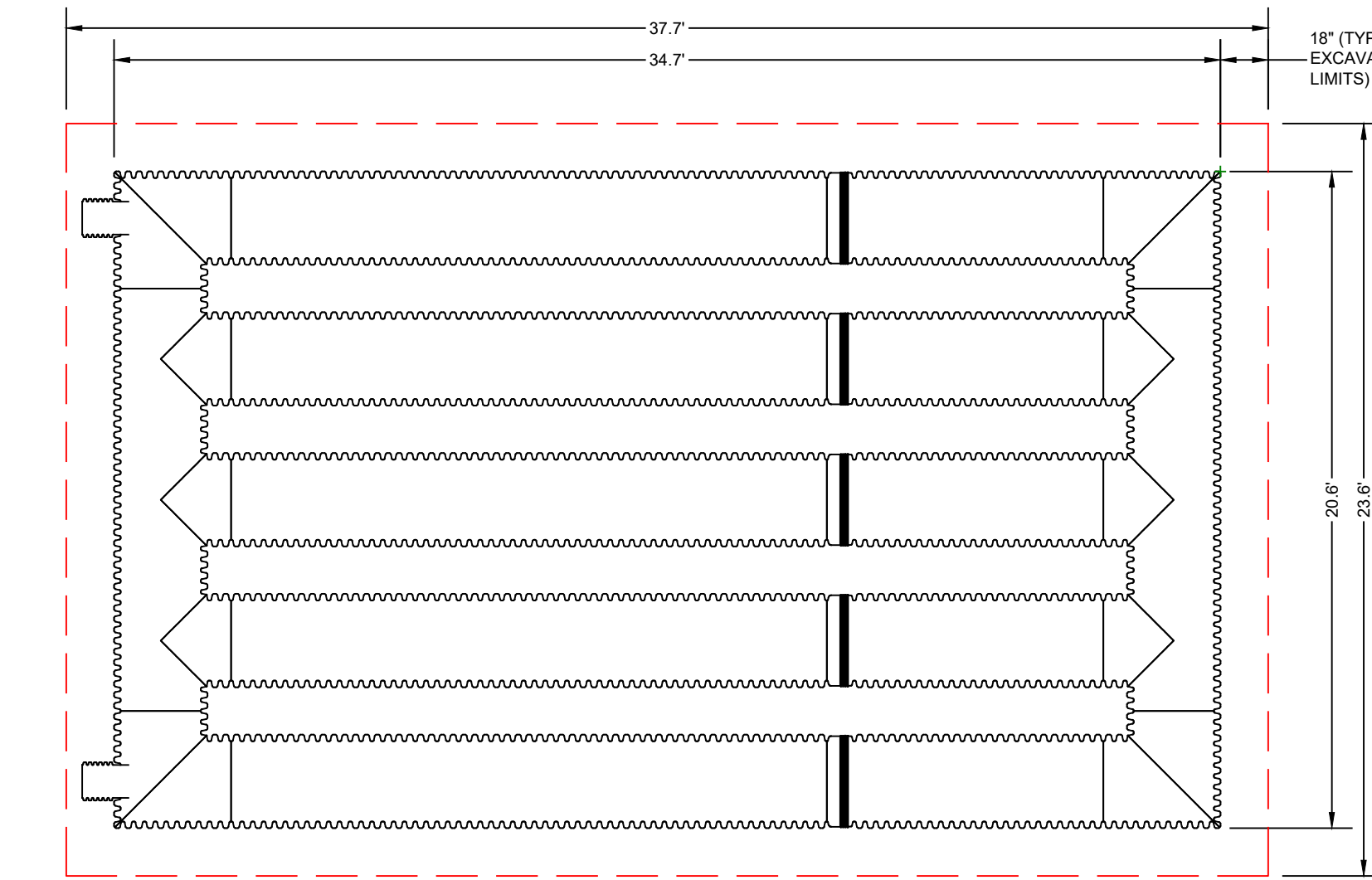




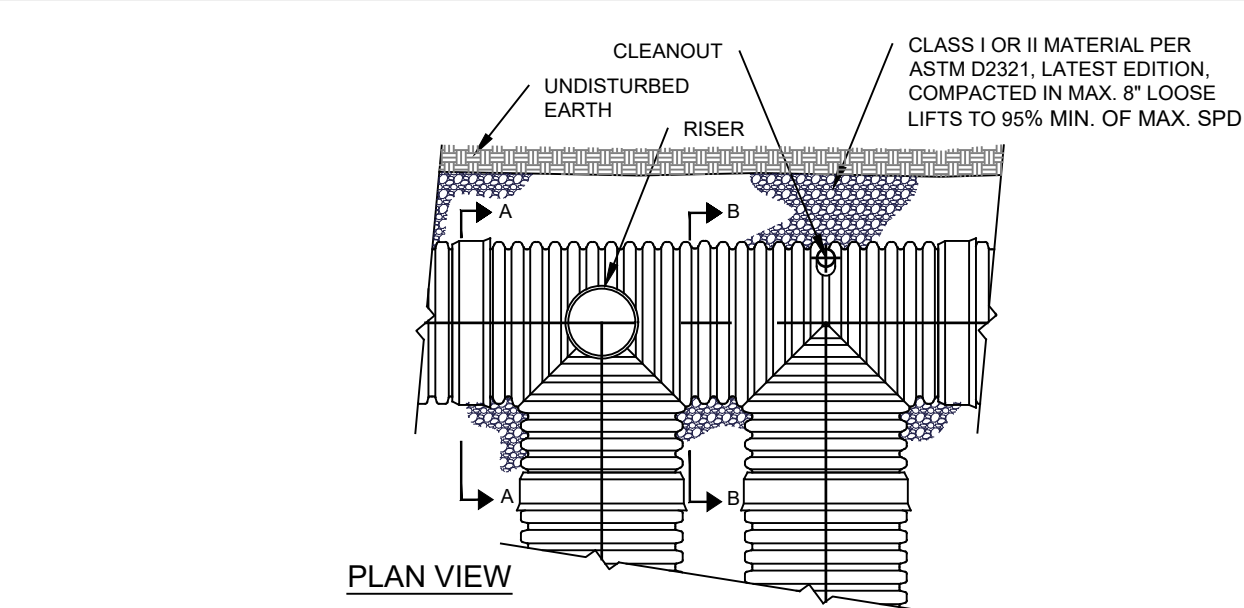




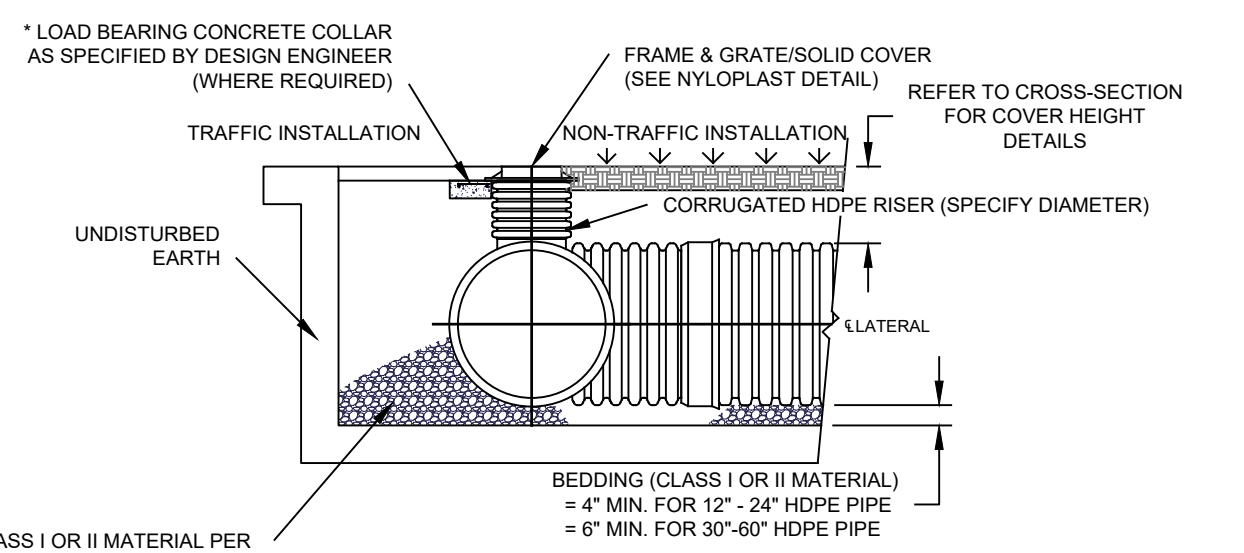
NORTH DETENTION



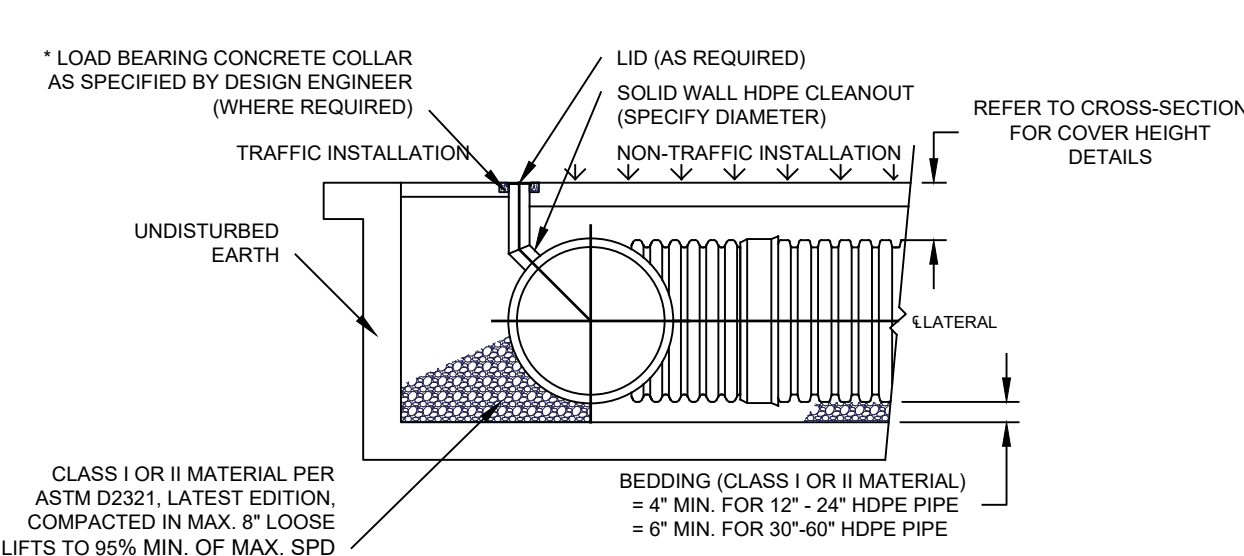
SOUTH DETENTION



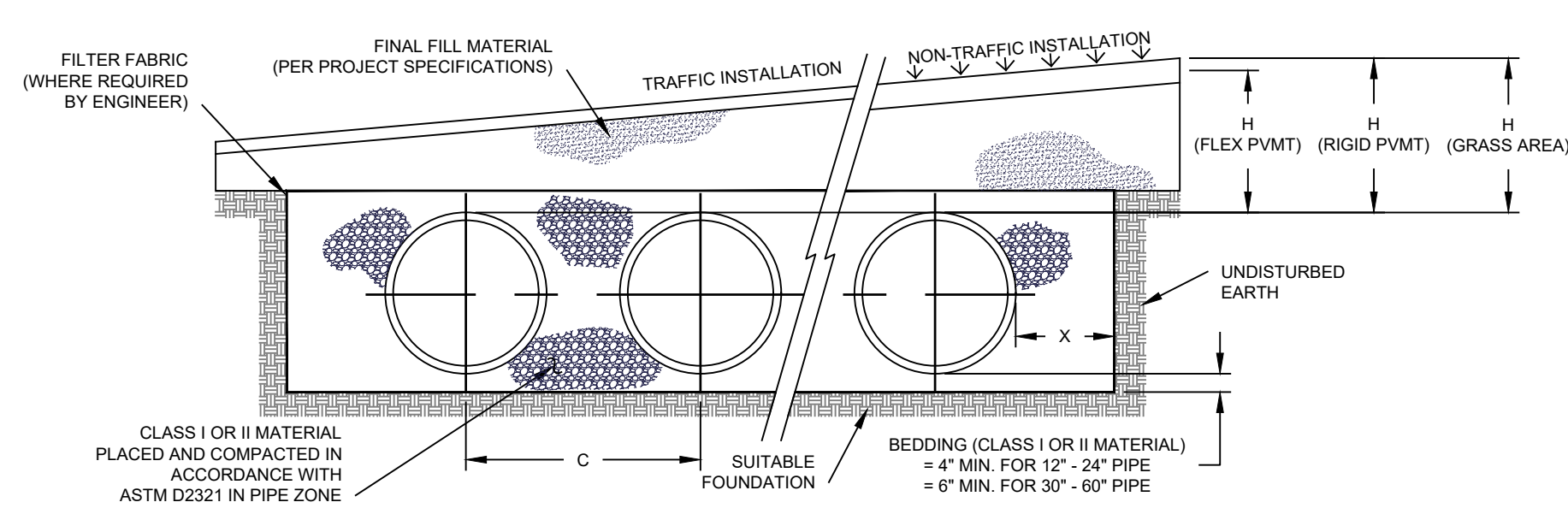
PLAN VIEW



SECTION A-A



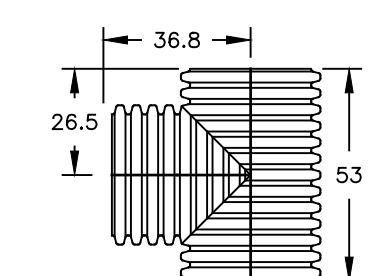
SECTION B-B



NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "C"	TYPICAL SIDE WALL "X"	MIN H (NON-TRAFFIC)	MIN H (TRAFFIC)	MAX H*
30"	36"	53.1"	18"	12"	12"	8"
(750 MM)	(914 MM)	(1347 MM)	(457 MM)	(292 MM)	(292 MM)	(2.4 M)

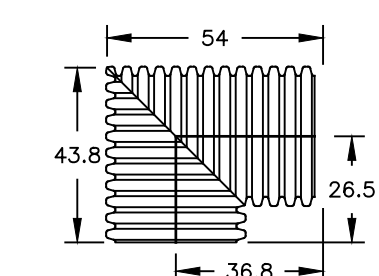
\* MAXIMUM FILL HEIGHTS OVER MANIFOLD FITTINGS. CONTACT MANUFACTURER'S REPRESENTATIVE FOR INSTALLATION CONSIDERATIONS WHEN COVER EXCEEDS 8-FT.  
 \*\*60" SYSTEMS REQUIRE CLASS I BACKFILL AROUND ALL FITTINGS.

30° SINGLE MANIFOLD TEE



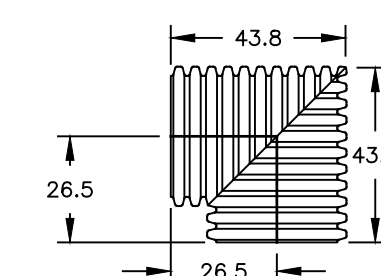
ITEM # 1  
QTY : 1  
3051ANC\_1

30° X 90 DEGREE MANIFOLD BEND



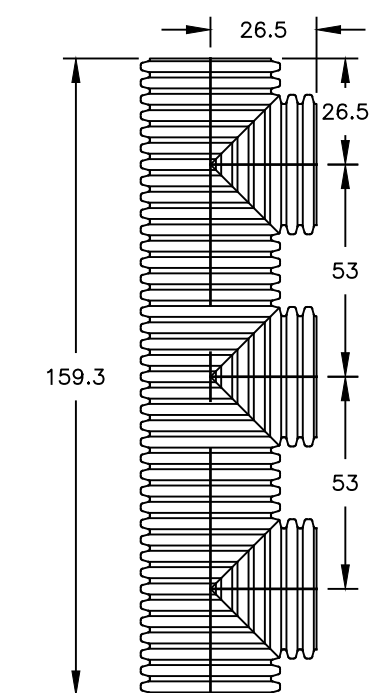
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3098ANC\_1

30° X 90 DEGREE MANIFOLD BEND



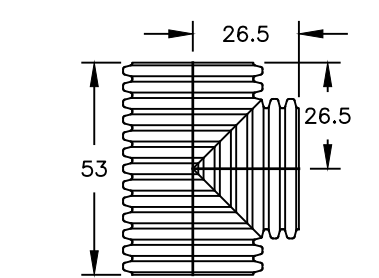
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QTY : 1  
3051AN

30° TRIPLE MANIFOLD TEE



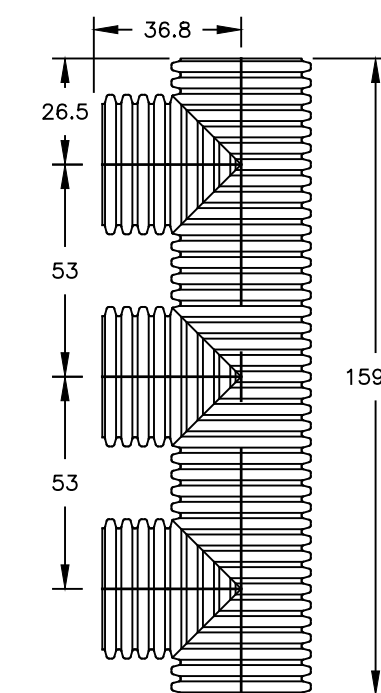
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3053AN

30° SINGLE MANIFOLD TEE



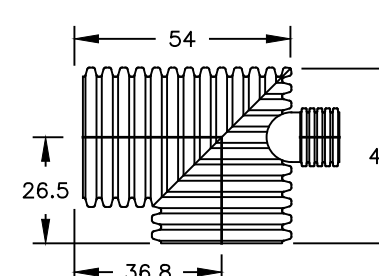
ITEM # 5  
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3051AN

30° TRIPLE MANIFOLD TEE



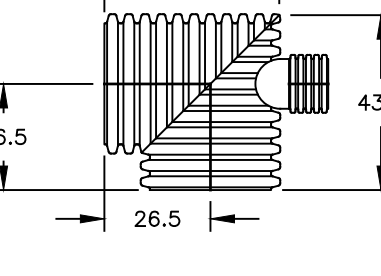
ITEM # 8  
QTY : 1  
3053ANC\_2

30° X 90 DEGREE MANIFOLD BEND W/ 12" STUB



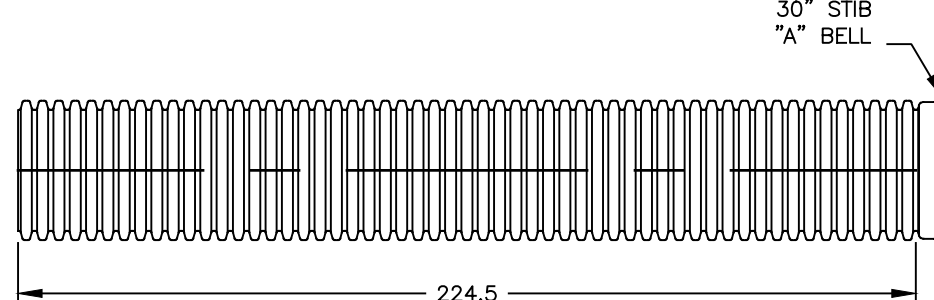
ITEM # 9  
QTY : 1  
3098ANC\_2

30° X 90 DEGREE MANIFOLD BEND W/ 12" STUB



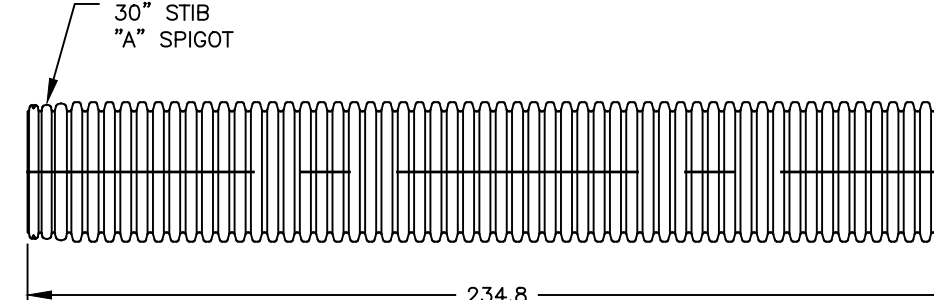
ITEM # 10  
QTY : 1  
3098ANC\_3

30° PIPE STICK: SOIL TIGHT



ITEM # 6  
QTY : 6  
STICK 1

30° PIPE STICK: SOIL TIGHT (FIELDOUT)



ITEM # 7  
QTY : 6  
STICK 2

ADS RETENTION/DETENTION PIPE SYSTEM SPECIFICATION

SCOPE  
THIS SPECIFICATION DESCRIBES ADS RETENTION/DETENTION PIPE SYSTEMS FOR USE IN NON-PRESSURE GRAVITY-FLOW STORM WATER COLLECTION SYSTEMS UTILIZING A CONTINUOUS OUTFALL STRUCTURE.

PIPE REQUIREMENTS  
ADS RETENTION/DETENTION SYSTEMS MAY UTILIZE ANY OF THE VARIOUS PIPE PRODUCTS BELOW:  
 • N-12, ST IB PIPE (PER AASHTO) SHALL MEET AASHTO M294, TYPE S OR ASTM F2306  
 • N-12, ST IB PIPE (PER ASTM F2648) SHALL MEET ASTM F2648  
 • N-12, MEGA GREEN, ST IB SHALL MEET ASTM F2648  
 • N-12, WT IB PIPE (PER AASHTO) SHALL MEET AASHTO M294, TYPE S OR ASTM F2306  
 • N-12, WT IB PIPE (PER ASTM F2648) SHALL MEET ASTM F2648  
 • N-12, MEGA GREEN, WT IB SHALL MEET ASTM F2648  
 ALL PRODUCTS SHALL HAVE A SMOOTH INTERIOR AND ANNUULAR EXTERIOR CORRUGATIONS. ALL ST IB PIPE PRODUCTS ARE AVAILABLE AS PERFORATED OR NON-PERFORATED. WT IB PIPE PRODUCTS ARE ONLY AVAILABLE AS NON-PERFORATED. PRODUCT-SPECIFIC PIPE SPECIFICATIONS ARE AVAILABLE IN THE DRAINAGE HANDBOOK SECTION 1 SPECIFICATIONS

JOINT PERFORMANCE  
PLAN END (SOIL-TIGHT (ST IB))  
ST IB PIPE SHALL BE JOINED USING A BELL & SPIGOT JOINT. THE BELL & SPIGOT JOINT SHALL MEET THE SOIL-TIGHT REQUIREMENTS OF ASTM F2306 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477.  
PLAN END PIPE & FITTINGS CONNECTIONS SHALL BE JOINED WITH COUPLING BANDS COVERING AT LEAST TWO FULL CORRUGATIONS ON EACH END OF THE PIPE. GASKETED SOIL-TIGHT COUPLING BAND CONNECTIONS SHALL INCORPORATE A CLOSED-CELL SYNTHETIC EXPANDED RUBBER GASKET MEETING THE REQUIREMENTS OF ASTM D1056 GRADE 2A2. GASKETS, WHEN APPLICABLE, SHALL BE INSTALLED BY THE PIPE MANUFACTURER.  
WATERTIGHT (WT IB)  
WT IB PIPE SHALL BE JOINED USING A BELL & SPIGOT JOINT. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D212. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. 12- THROUGH 60- INCH (300 TO 1500MM) DIAMETERS SHALL HAVE A BELL REINFORCED WITH A POLYMER COMPOSITE BAND. THE BELL TOLERANCE DEVICE SHALL BE INSTALLED BY THE MANUFACTURER.  
PIPE & FITTING CONNECTIONS SHALL BE WITH A BELL AND SPIGOT CONNECTION UTILIZING A SPUN-ON OR WELDED BELL AND VALLEY OR SADDLE GASKET. THE JOINT SHALL MEET THE WATERTIGHT REQUIREMENTS OF ASTM D3212, AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. DETENTION SYSTEMS ARE SUBJECT TO GREATER LEAKAGE THAN TYPICAL SINGLE RUN STORM SEWER APPLICATIONS AND THEREFORE ARE NOT APPROPRIATE FOR APPLICATIONS REQUIRING LONG-TERM FLUID CONTAINMENT OR HYDROSTATIC PRESSURE. FOR ADDITIONAL DETAILS REFER TO TECHNICAL NOTE T.01 RAINWATER HARVESTING WITH HDPE CISTERS.

FITTINGS  
FITTINGS SHALL CONFORM TO ASTM F2306 AND MEET JOINT PERFORMANCE INDICATED ABOVE FOR FITTINGS CONNECTIONS. CUSTOM FITTINGS ARE AVAILABLE AND MAY REQUIRE SPECIAL INSTALLATION CRITERION.

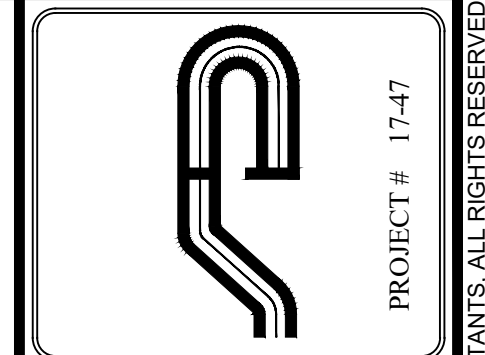
INSTALLATION  
INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN NON-TRAFFIC AREAS FOR 12- THROUGH 60- INCH (300 TO 1500MM) DIAMETERS SHALL BE ONE FOOT (0.3M). MINIMUM COVER IN TRAFFICKED AREAS FOR 12- THROUGH 36- INCH (300 TO 900MM) DIAMETERS SHALL BE ONE FOOT (0.3M) AND FOR 42- THROUGH 60- INCH (1050 TO 1500MM) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT (0.6M). BACKFILL SHALL CONSIST OF CLASS I MATERIAL ONLY. MINIMUM COVER HEIGHTS DO NOT ACCOUNT FOR PIPE BUOYANCY. REFER TO ADS TECHNICAL NOTE T.05 HDPE PIPE FLOTATION FOR BUOYANCY DESIGN CONSIDERATIONS. MAXIMUM COVER OVER SYSTEM USING STANDARD BACKFILL IS 8-FT (2.4M); CONTACT A REPRESENTATIVE WHEN MAXIMUM FILL HEIGHT MAY BE EXCEEDED ADDITIONAL INSTALLATION REQUIREMENTS ARE PROVIDED IN THE DRAINAGE HANDBOOK SECTION 6 RETENTION/DETENTION.

NOTES:  
 1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.  
 2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S INSTALLATION GUIDELINES.  
 3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.  
 4. FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.  
 5. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.  
 6. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II; THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-900mm).  
 7. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.  
 8. COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42"- 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. MAXIMUM FILL HEIGHT LIMITED TO 8-FT OVER FITTINGS FOR STANDARD INSTALLATIONS. CONTACT A SALES REPRESENTATIVE WHEN MAXIMUM FILL HEIGHTS EXCEED 8-FT FOR INSTALLATION CONSIDERATIONS.

NOTES:  
 1. ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS, INLETS AND OUTLETS, SHALL BE VERIFIED BY THE ENGINEER PRIOR TO RELEASING FOR FABRICATION.  
 2. IN SITUATIONS WHERE A FINE-GRAINED BACKFILL MATERIAL IS USED ADJACENT TO THE PIPE SYSTEM, AND ESPECIALLY INVOLVING GROUND WATER CONDITIONS, CONSIDERATION SHOULD BE GIVEN TO THE USE OF GASKETED PIPE JOINTS. AT THE VERY LEAST THE PIPE JOINTS SHOULD BE WRAPPED IN A SUITABLE, NON-WOVEN GEOTEXTILE FABRIC TO PREVENT INFILTRATION OF FINES INTO THE PIPE SYSTEM.  
 3. CONSIDERATION FOR CONSTRUCTION EQUIPMENT LOADS MUST BE TAKEN INTO ACCOUNT.  
 4. ALL PIPE DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCES.  
 5. ALL RISERS TO BE FIELD EXTENDED OR TRIMMED TO FINAL GRADE.

THE PROCEEDING DETAILS WERE GENERATED USING ADS DESIGN PRO®, A SOFTWARE PROGRAM DEVELOPED BY ADVANCED DRAINAGE SYSTEMS, INC. ("ADS"). THESE DRAWINGS ARE INTENDED TO DEPICT THE ADS COMPONENTS AS REQUESTED BY THE USER. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT, NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC TO THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEETS OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

NOTE: (WITH RESERVE) FOR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (1) OF THE NEW YORK STATE EMBROIDERY LAW.



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Revisions:	No.	Date	Comments
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	2	12/17/18	Amended Plan
	3	1/31/19	Town Comments
	4	5/23/19	Lighting Revision
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	6	1/23/20	Resolution Revision
	7	6/29/21	Water Services Revision
	8	2/24/22	Planning Improvements

SCALE: N/A  
 DRAWN BY: MD  
 DATE: 11-27-17

**SUBSURFACE DETENTION DETAILS**

SITE PLAN PREPARED FOR  
**LORDAE II, LLC.**  
 868 NORTH BROADWAY  
 Westchester County  
 Town of North Castle

APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED April 26, 2021  
 Christopher Carthy  
 DATE: 01/18/2023  
 CHRISTOPHER CARTH, CHAIRMAN  
 TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION 19/2023  
 Joseph M. Cermele  
 DATE: 01/19/2023  
 JOSEPH M. CERMELE, PE  
 RELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEER



**GENERAL EROSION CONTROL NOTES:**

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and structures removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.

15. Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of North Castle Code.

**MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:**

N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.

- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
- Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
- For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
- All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

**MAINTENANCE SCHEDULE:**

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	INSP.	INSP.	CLEAN/REPLACE	REMOVE
WHEEL CLEANER	CLEAN	---	---	---	REPLACE	REMOVE
INLET PROTECTION	---	INSP.	INSP.	CLEAN	REPLACE	REMOVE

**MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:**

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

**MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:**

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

**DEBRIS AND LITTER REMOVAL:**

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

**STRUCTURAL REPAIR/REPLACEMENT:**

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

**EROSION CONTROL:**

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

**SEDIMENT REMOVAL:**

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

**CONSTRUCTION SEQUENCE:**

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or other approved details. The extents of all of the stormwater management systems shall be cordoned off to minimize the disturbance on this area.
- Install all perimeter erosion control measures, construction entrance as shown on the Erosion and Sediment Control Plan and the associated Details. Install haybale barriers at the bottom of slopes.
- Strip site and place topsoil in stockpile locations shown on the plan. Remove existing on site sidewalk.
- Begin rough grading the site. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Excess material shall be stockpiled in the location shown on the plan as grades allow. Material unable to be stockpiled shall be removed from the site.
- Rough grade driveway and parking area.
- Begin construction of retaining wall. Wall shall be completed prior to the installation of the proposed driveway and parking area.
- Begin the excavation and installation of stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance. This shall only be removed to install overlapping sections of sidewalk and driveway/parking.
- During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Excavate to the sub-grade level. Scarify the existing soil to a depth of 12-inches by rototilling or other means acceptable to the Engineer. Install all courses of stone as per the specifications given on the Plan.
- Install base course of Item 4 in all pavement areas. Stabilize all open areas with seed and mulch.
- Construct remainder of driveway and parking areas. First install curbs, asphalt binder, and concrete sidewalk. Once binder course is installed, drainage outlet may be unblocked.
- Backfill curbs, grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.
- Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

**Winter Stabilization Notes:**

- Construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that are not completed and permanent stabilization shall be completed by the end of the construction season. Stockpiles shall be surrounded by erosion control structures and stabilized. The following table shall be used to determine the appropriate stabilization measures to be used for the various soil types. The following table shall be used to determine the appropriate stabilization measures to be used for the various soil types.
- The organic content shall not be less than 2% or more than 70%.
  - Gradation: SIEVE SIZE % PASSING BY WGT.  
 2 INCH 100  
 1 INCH 85 TO 100  
 1/4 INCH 65 TO 100  
 NO. 200 MESH 20 TO 80

**PERMANENT VEGETATIVE COVER:**

- Site preparation:
  - Install erosion control measures.
  - Scarify compacted soil areas.
  - Lime as required to pH 6.5.
  - Fertilize with 10-6-4 4 lbs/1,000 S.F.
  - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.
 

MIXTURE		LBS/ACRE
ALT. A	KENTUCKY BLUE GRASS	20
	CREeping RED FESCUE	28
	RYE GRASS OR REDTOP	5
ALT. B	CREeping RED FESCUE	20
	REDTOP	2
	TALL FESCUE/SMOOTH BLOOMGRASS	20
- SEEDING
  - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
  - Apply soil amendments and integrate into soil.
  - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
  - Stabilize seeded areas in drainage swales.
  - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
  - Seed between April 1st and May 15th or August 15th and October 15th.
  - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

**TEMPORARY VEGETATIVE COVER:**

- SITE PREPARATION:**
- Install erosion control measures.
  - Scarify areas of compacted soil.
  - Fertilize with 10-10-10 at 400/acre.
  - Lime as required to pH 6.5.

SEED SPECIES:	LBS/ACRE
MIXTURE	
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

**SEEDING:**  
Same as permanent vegetative cover

**CONTRACTOR CERTIFICATION STATEMENT**

Certification Statement - All contractors and subcontractors as identified in a SWPPP, by the Owner or Operator, in accordance with Part III.A.5 of the SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-15-002, dated January 29, 2015, Page 10 of 40, shall sign a copy of the following Certification Statement before undertaking any construction activity at the Site identified in the SWPPP:

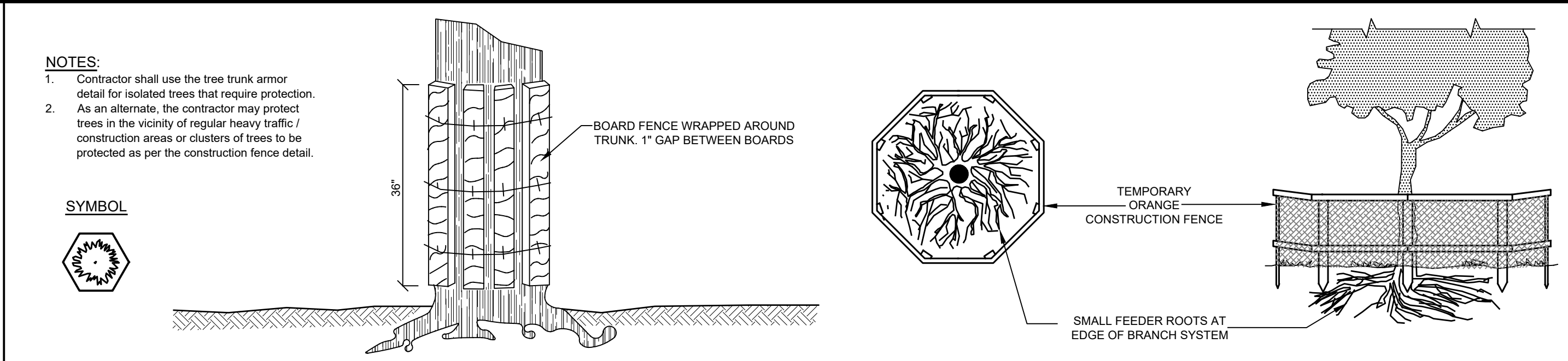
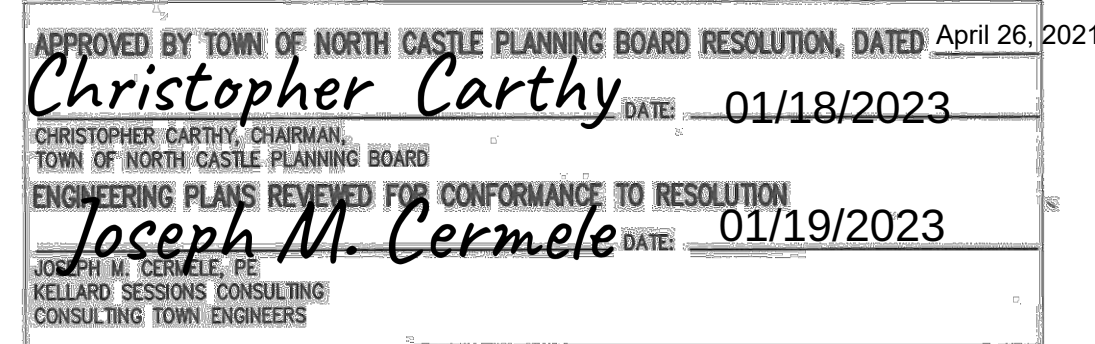
"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the Qualified Inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") General Permit for Stormwater Discharge from Construction Activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor: \_\_\_\_\_  
 Name and Title (please print): \_\_\_\_\_  
 Signature of Contractor: \_\_\_\_\_  
 Company / Contracting Firm: \_\_\_\_\_  
 Name of Company: \_\_\_\_\_  
 Address of Company: \_\_\_\_\_  
 Telephone Number / Cell Number: \_\_\_\_\_  
 Site Information: \_\_\_\_\_  
 Address of Site: \_\_\_\_\_  
 Today's Date: \_\_\_\_\_

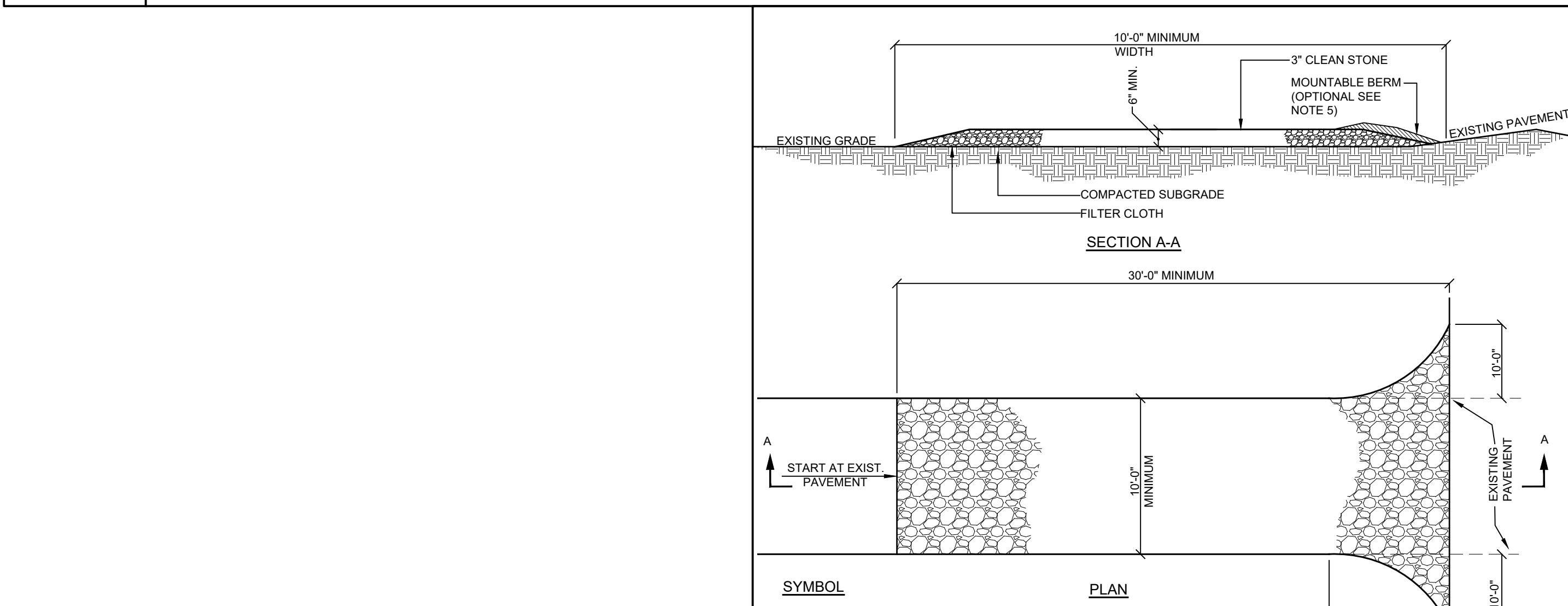
**OWNER / OPERATOR CERTIFICATION**

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. Further, I hereby certify that the SWPPP meets all Federal, State, and local erosion and sediment control requirements. I am aware that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law."

Name (please print): \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 E-mail: \_\_\_\_\_  
 Signature: \_\_\_\_\_



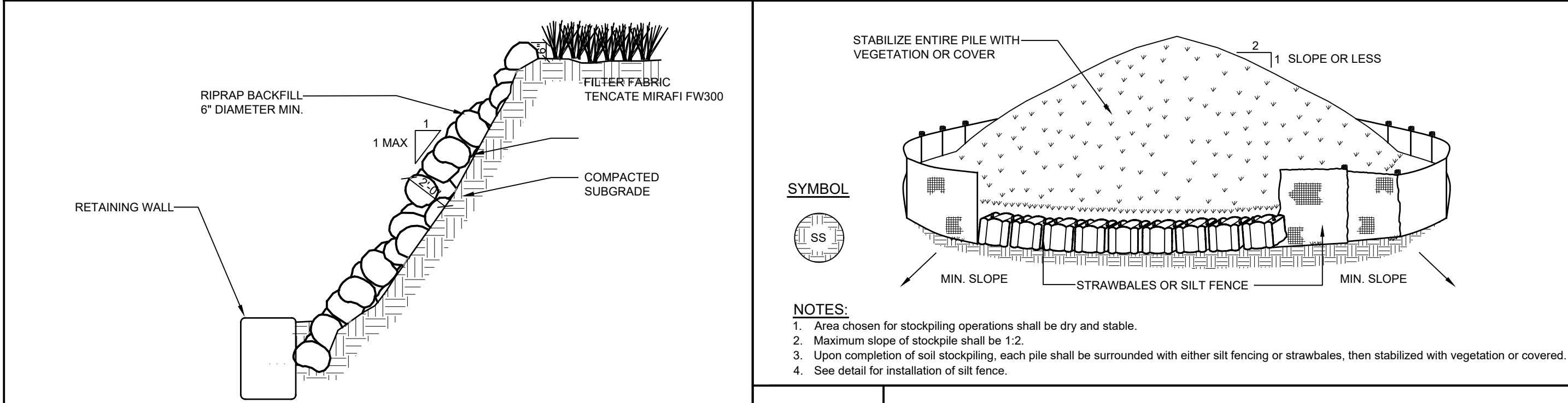
**E-3 TREE TRUNK ARMOR / TREE PROTECTION DETAIL**  
NOT TO SCALE



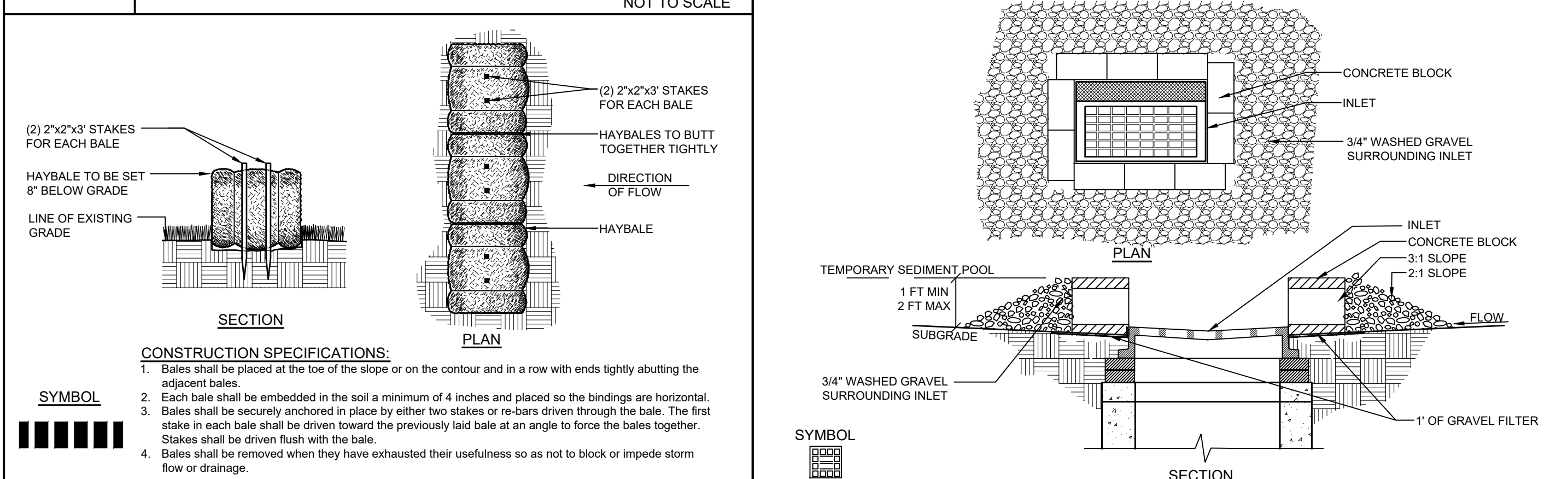
**E-4 STABILIZED CONSTRUCTION ACCESS DETAIL**  
NOT TO SCALE

Revisions:	No.	Date	Comments
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**E-5 INLET PROTECTION DETAIL**  
NOT TO SCALE



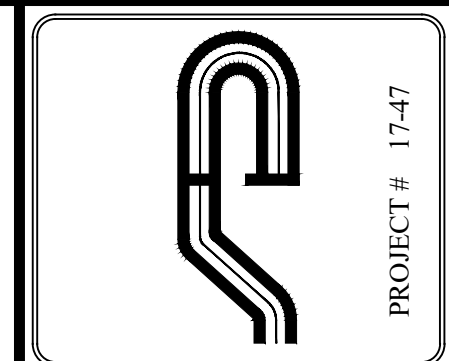
**E-1 RIP RAP SLOPE DETAIL ABOVE WALL**  
NOT TO SCALE



**E-2 STAKED HAYBALE BARRIER DETAIL**  
NOT TO SCALE



**E-5 INLET PROTECTION DETAIL**  
NOT TO SCALE



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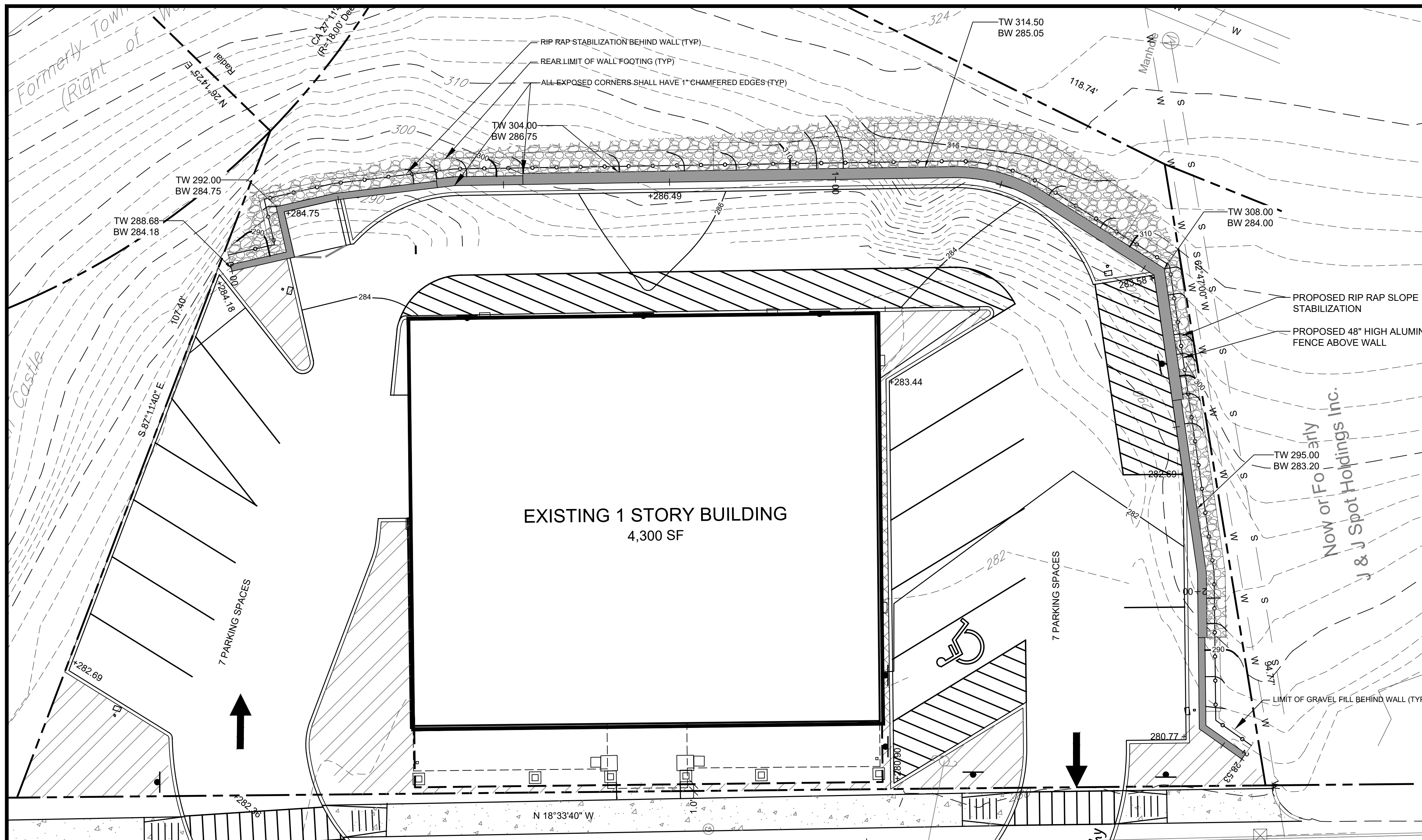
SCALE: N/A  
 DRAWN BY: MD  
 DATE: 11-27-17

**EROSION & SEDIMENT CONTROL DETAILS**

SITE PLAN PREPARED FOR  
**LORDAE II, LLC.**  
 868 NORTH BROADWAY  
 Town of North Castle  
 Westchester County

NOTE: UNAUTHORIZED REPRODUCTION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 2204(2) OF THE NEW YORK STATE EDUCATION LAW.





**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN CODE OF PRACTICE AND THE NEW YORK STATE BUILDING CONSTRUCTION CODE.
- ALL CHANGES MADE TO THESE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
- ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGE DUE TO HIS ACTIVITIES. THE OWNER AND THE ENGINEER SHALL BE HELD HARMLESS.
- THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMANS COMPENSATION.
- ENGINEERS WHOSE SEAL APPEARS HEREON HAS NOT BEEN RETAINED FOR SUPERVISION OF CONSTRUCTION. SUBSEQUENTLY, HE IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.

**CONSTRUCTION NOTES:**

- ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE, ACI 318, LATEST EDITION.
- EXCAVATION IN GENERAL SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE CONTRACT DRAWINGS.
- FILL MATERIAL SHALL BE PLACED IN LOOSE 8 INCH LIFTS. PRIOR TO COMPACTION, EACH LIFT SHALL BE MOISTENED OR AERATED AS NECESSARY TO PROVIDE OPTIMUM MOISTURE CONTENT. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY A S.T.M. D1557 METHOD C. THE CONTRACTOR WILL BE REQUIRED TO HIRE AN INDEPENDENT CERTIFIED TESTING LAB TO PERFORM FIELD DENSITY TESTS. FIELD TESTING SHALL BE PERFORMED IN ACCORDANCE WITH A.S.T.M. D1556 OR D2922. A MINIMUM OF 6 IN-PLACE FIELD DENSITY TESTS SHALL BE PERFORMED ON ALTERNATE LIFTS. FILLING OPERATIONS MAY NOT PROCEED UNTIL IN-PLACE DENSITY TESTS HAVE BEEN PERFORMED AND THE FILL PROPERLY COMPACTED.
- FILL SHALL CONSIST OF SOUND DURABLE PARTICLES TO THE GRADATION SHOWN IN THE TABLE BELOW. THE MATERIAL SHALL BE GRANULAR AND FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL. IN GENERAL THE SOIL SHALL BE NON-PLASTIC WITH A PLASTICITY INDEX LESS THAN 5 AND SHALL CONFORM TO THE UNIFIED SOIL CLASSIFICATION SYSTEM FOR AN "SW" SOIL OR THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION SECTION 203-2 ITEM NO. 203.07 SELECT GRANULAR FILL, HOWEVER THE MAXIMUM SIZE SHALL BE 3 INCHES.

SIEVE SIZE	PERCENT PASSING BY WEIGHT
3"	100
No. 40	0 - 70
No. 200	0 - 15

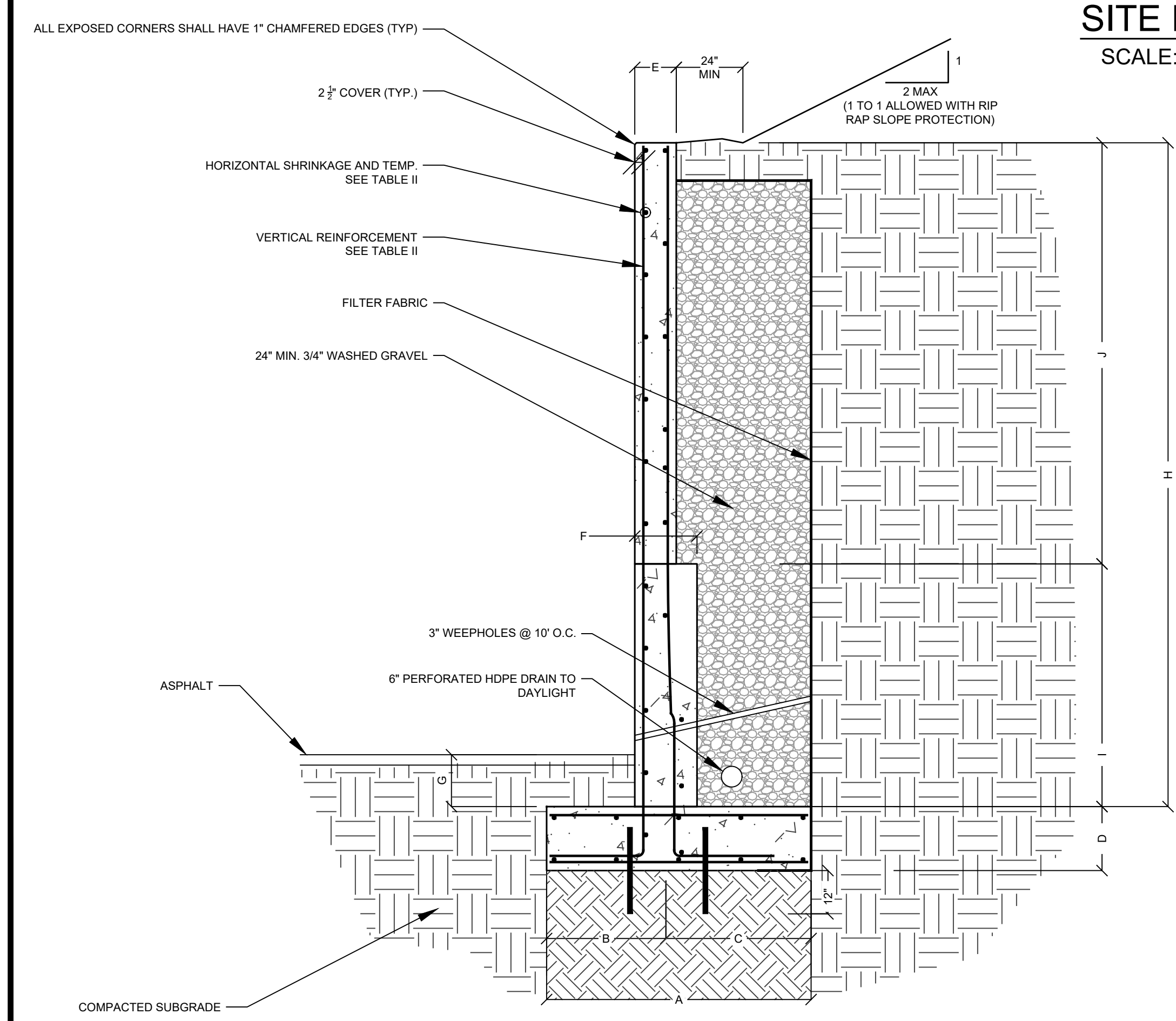
- IF ON-SITE EXCAVATED MATERIAL IS USED IT MUST CONFORM TO THE SAME MINIMUM REQUIREMENTS SPECIFIED. IN ALL INSTANCES, THE CONTRACTOR MUST SUBMIT CERTIFIED LABORATORY TEST REPORTS ON ALL MATERIALS USED FOR BACKFILL. THE FOLLOWING REPORTS SHALL BE PROVIDED AND BE IN ACCORDANCE WITH THE FOLLOWING ASTM SPECIFICATIONS:
- PARTICLE SIZE ANALYSIS - A.S.T.M. D422
  - SOIL CLASSIFICATION - A.S.T.M. D2487
  - LIQUID & PLASTIC LIMITS - A.S.T.M. D424
  - MODIFIED PROCTOR MAXIMUM DENSITY - A.S.T.M. D1557 METHOD C
- EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH THE "CONSTRUCTION SAFETY & HEALTH ACT O.S.H.A. PART 192
  - GEOTEXTILE FABRIC SHALL BE TREVIRA SPUNBOUND NON-WOVEN #1125 OR APPROVED EQUAL. THE GEOTEXTILE SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES.
  - THE CONTRACTOR SHALL NOT USE LARGE OR HEAVY CONSTRUCTION EQUIPMENT WITHIN 10 FEET OF THE RETAINING WALL. SUITABLE HANDS/MALL COMPACTION EQUIPMENT SHALL BE USED WITHIN 5 FEET OF THE WALL.
  - FOOTINGS CONSTRUCTED ON VIRGIN IN-SITU SOIL SHALL HAVE A MINIMUM ALLOWABLE BEARING CAPACITY OF 3000 PSF.
  - TO INSURE A PROPER BEARING SURFACE FOR THE FOOTINGS CONSTRUCTED ON NATURAL IN-SITU SOIL, THE CONTRACTOR SHALL STRIP ALL TOP SOIL. PRIOR TO CONSTRUCTION OF THE FOOTINGS, THE AREA SHALL BE COMPACTED USING SUITABLE COMPACTION EQUIPMENT. A MINIMUM 3 PASSES SHALL BE MADE. THE ENGINEER SHALL VERIFY THE FOUNDATION SOIL PRIOR TO CONCRETE PLACEMENT.
  - DURING BACKFILL OPERATIONS THE CONTRACTOR SHALL BE CAREFUL NOT TO CREATE UNBALANCED LOADING CONDITIONS ON THE WALL. BACKFILL SHOULD BE PLACED AND COMPACTED ON BOTH SIDES OF THE WALL SIMULTANEOUSLY.
  - ALL FOOTINGS SHALL BE LOCATED A MINIMUM OF 3'-6" BELOW ANY ADJACENT FINISHED GRADE.
  - ALL CONCRETE SUPPLIED TO THE PROJECT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH  $f'_c = 4000$  PSI AND SHALL CONTAIN A MINIMUM 5% AIR ENTRAINING ADMIXTURE IN ACCORDANCE WITH A.S.T.M. C 260.
  - STEEL REINFORCEMENT SHALL BE OF THE SIZES SPECIFIED AND SHALL HAVE A MIN. YIELD STRENGTH  $f_y = 60,000$  PSI.
  - THE CONTRACTOR SHALL PROVIDE EXPANSION JOINTS @ 60'-0" O.C. (MAX.) IN THE WALL.
  - FOOTINGS SHALL NOT BE CONSTRUCTED ON WET OR FROZEN GROUND. UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH COMPACTED GRANULAR FILL OR 3/4" CRUSHED STONE.
  - WALL SHALL BE BACKFILLED SO AS NOT TO CREATE AN UNEVEN LOADING CONDITION. WALL SHALL NOT BE BACKFILLED UNTIL SUCH TIME THAT UPPER WALL STRUCTURAL SUPPORTS AND ROOF ARE IN PLACE AND COMPLETELY FASTENED TOGETHER.
  - DO NOT BACKFILL REAR FOUNDATION CONC. WALL UNTIL FLOOR SLAB HAS BEEN PLACED AND PROPERLY CURED.
  - EXTEND ALL REINFORCING INTO KEY.
  - CONSTRUCT BUTTRESS @ 5'-0" O.C. TYP. SEE FOUNDATION PLAN.
  - BACKFILL SHALL NOT BE PLACED UNTIL FLOOR SLAB HAS BEEN POURED.
  - FOUNDATION FORMS SHALL NOT BE REMOVED MIN. 2 DAYS TO ALLOW FOR PROPER SET
  - THE FOUNDATION WALL SHALL NOT BE LOADED FOR A MIN. 7 DAYS

**WALL NOTES:**

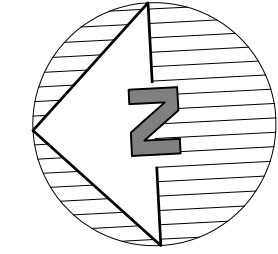
- EXCAVATION IN GENERAL SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE CONTRACT DRAWINGS.
- THE ENGINEER SHALL BE NOTIFIED OF UNSUITABLE SUB-GRADE SOILS PRIOR TO PLACEMENT OF THE WALL SYSTEM.
- WALLS TO BE CONSTRUCTED ON VIRGIN IN-SITU SOIL SHALL HAVE A MINIMUM ALLOWABLE BEARING CAPACITY OF 2 TSF. ALL OTHER CONDITIONS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- TO INSURE A PROPER BEARING SURFACE, THE WALL SHALL BE CONSTRUCTED ON NATURAL IN-SITU SOIL. THE CONTRACTOR SHALL STRIP ALL TOP SOIL. THE AREA SHALL THEN BE COMPACTED USING SUITABLE COMPACTION EQUIPMENT. A MINIMUM OF 3 PASSES SHALL BE MADE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SAFE CUT AND FILL SLOPES IN FRONT OF AND BEHIND THE WALL THROUGHOUT CONSTRUCTION.
- WALLS SHALL NOT BE CONSTRUCTED ON WET OR FROZEN GROUND.
- SOILS USED AS BACKFILL SHALL CONSIST OF CLEAN DRY SOIL. THE MATERIAL SHALL BE GRANULAR AND FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL. IN GENERAL THE SOIL SHALL BE NON-PLASTIC WITH A PLASTICITY INDEX LESS THAN 5 AND SHALL CONFORM TO THE AASHTO SOIL CLASSIFICATION SYSTEM FOR AN "A-1-A" SOIL. HOWEVER THE MAXIMUM SIZE SHALL BE 6". IN GENERAL ALL FILL SHALL BE APPROVED BY THE ENGINEER PRIOR TO ITS USE. WET MATERIAL OR UNSUITABLE MATERIAL SHOULD NOT BE USED.
- BACKFILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 12" LIFTS.
- IF GROUNDWATER IS ENCOUNTERED, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY TO DETERMINE IF THE ADDITION OF AN UNDERDRAIN MAY BE REQUIRED.
- THE CONTRACTOR SHALL NOT USE LARGE OR HEAVY CONSTRUCTION EQUIPMENT WITHIN 5 FT OF THE RETAINING WALLS OR NEW FOUNDATION WALLS. HAND OPERATED COMPACTION EQUIPMENT SHALL BE USED WITHIN 5 FT OF THE WALL FACE.
- ALTERNATE WALL DESIGNS MUST BE SEALED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER. THE MINIMUM FACTORS OF SAFETY FOR SLIDING AND OVERTURNING SHALL BE 2.0.

**WALL NOTES:**

- EXCAVATION IN GENERAL SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE CONTRACT DRAWINGS.
- THE ENGINEER SHALL BE NOTIFIED OF UNSUITABLE SUB-GRADE SOILS PRIOR TO PLACEMENT OF THE WALL SYSTEM.



**SITE PLAN**  
SCALE: 1" = 10'



APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED April 26, 2021

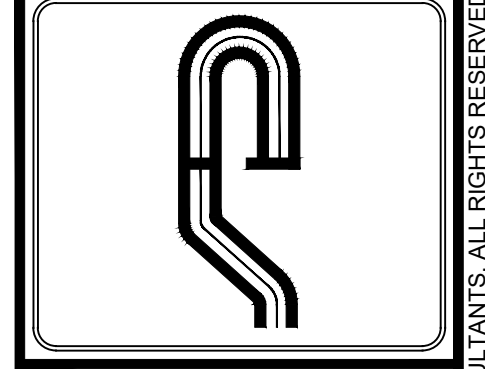
CHRISTOPHER CARTHY, CHAIRMAN  
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION

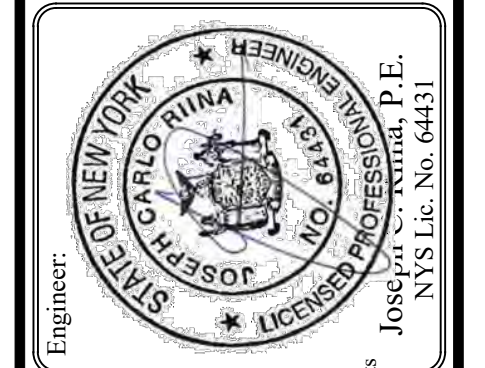
JOSEPH M. CERMELE, PE  
KILLARD SESSIONS CONSULTING  
CONSULTING TOWN ENGINEERS

WALL HEIGHT	FOOTING DIMENSIONS										STEM DIMENSIONS				REINFORCING				SHRINKAGE & TEMPERATURE REINFORCING			
	A	B	C	D	E	F	G	H	I	J	HEIGHT ON WALL	USE	LAP SPLICE "I" MIN	LAP SPLICE "J" MIN	HEEL	TOE	FRONT STEM HORIZONTAL	FRONT STEM	FOOTING			
8'-6"	3'-0"	1'-0"	2'-0"	12"	12"	12"	30"	-	-	-	0' - 8'-6"	#7 @ 18" O.C.	33"	-	#7 @ 18" O.C.	#7 @ 18" O.C.	0' - 8'-6"	#5 @ 18" O.C.	#5 @ 18" O.C.	#5 @ 18" O.C. (LONGITUDINAL) TWO LAYERS		
12'-2"	4'-0"	1'-3"	2'-9"	16"	12"	12"	26"	-	-	-	0' - 12'-2"	#7 @ 16" O.C.	33"	-	#7 @ 18" O.C.	#7 @ 18" O.C.	0' - 12'-2"	#5 @ 18" O.C.	#5 @ 16" O.C.	12 #5 @ 18" O.C. TWO LAYERS		
17'-2"	6'-0"	1'-6"	3'-6"	16"	16"	16"	26"	-	-	-	0' - 17'-2"	#7 @ 12" O.C.	33"	-	#7 @ 18" O.C.	#7 @ 18" O.C.	0' - 17'-2"	#5 @ 18" O.C.	#5 @ 12" O.C.	20 #5 @ 18" O.C. TWO LAYERS		
22'-2"	6'-0"	2'-0"	4'-0"	16"	20"	20"	26"	6"	16'-2"	0' - 6"	#8 @ 10" O.C.	33"	-	#7 @ 9" O.C.	#7 @ 18" O.C.	0' - 6"	#5 @ 15" O.C.	#5 @ 10" O.C.	50 #5 @ 18" O.C. TWO LAYERS			
										6' - 22'-2"	#7 @ 10" O.C.					6' - 22'-2"	#5 @ 15" O.C.	#5 @ 10" O.C.				
27'	7'-6"	2'-6"	5'-0"	24"	20"	20"	18"	12"	15'	0' - 12"	#8 @ 6" O.C.	37"	33"	#7 @ 6" O.C.	#7 @ 12" O.C.	0' - 12"	#5 @ 15" O.C.	#5 @ 12" O.C.	#5 @ 14" O.C. TWO LAYERS			
										12' - 27"	#8 @ 12" O.C.					12' - 27"	#5 @ 15" O.C.	#5 @ 10" O.C.				
22'-2" SPL*	6'-0"	2'-9"	3'-3"	16"	20"	20"	26"	6"	16'-2"	0' - 6"	#8 @ 10" O.C.	33"	-	#7 @ 9" O.C.	#7 @ 18" O.C.	0' - 6"	#5 @ 15" O.C.	#5 @ 10" O.C.	50 #5 @ 18" O.C. TWO LAYERS			
										6' - 22'-2"	#7 @ 10" O.C.					6' - 22'-2"	#5 @ 15" O.C.	#5 @ 10" O.C.				
27' SPL*	7'-6"	4'-6"	3'-3"	24"	20"	20"	18"	12"	15'	0' - 12"	#8 @ 6" O.C.	37"	33"	#7 @ 6" O.C.	#7 @ 12" O.C.	0' - 12"	#5 @ 15" O.C.	#5 @ 12" O.C.	#5 @ 14" O.C. TWO LAYERS			
										12' - 27"	#8 @ 12" O.C.					12' - 27"	#5 @ 15" O.C.	#5 @ 10" O.C.				
32'	9'-6"	2'-6"	7'-6"	24"	20"	30"	18"	12"	20'	0' - 12"	#8 @ 6" O.C.	37"	33"	#7 @ 6" O.C.	#7 @ 12" O.C.	0' - 12"	#5 @ 10" O.C.	#5 @ 12" O.C.	#5 @ 14" O.C. TWO LAYERS			
										12' - 32"	#8 @ 12" O.C.					12' - 32"	#5 @ 15" O.C.	#5 @ 12" O.C.				

\* SPL DENOTES DIMENSIONS TO BE USED ALONG SOUTHERN PROPERTY LINE.



**Site Design Consultants**  
Civil Engineers • Land Planners  
251-JF Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.SiteDesignConsultants.com



Revisions:

No.	Date	Comments
1	2/23/18	Town Comments
2	12/17/18	Amended Plan
3	1/31/19	Town Comments
4	5/23/19	Lighting Revision
5	5/23/19	Resolution Revision
6	7/24/19	Resolution Revision
7	7/23/20	Water Services Revision
8	6/29/21	Water Services Revision
9	2/24/22	Finaling Inspection Comments

SCALE: AS NOTED  
DRAWN BY: JCR  
DATE: 8/15/19

**RETAINING WALL PLAN & WALL PLAN & DETAILS**

RETAINING WALL PLAN  
PREPARED FOR  
**LORDAE II, LLC**  
868 NORTH BROADWAY  
Westchester Co., New York

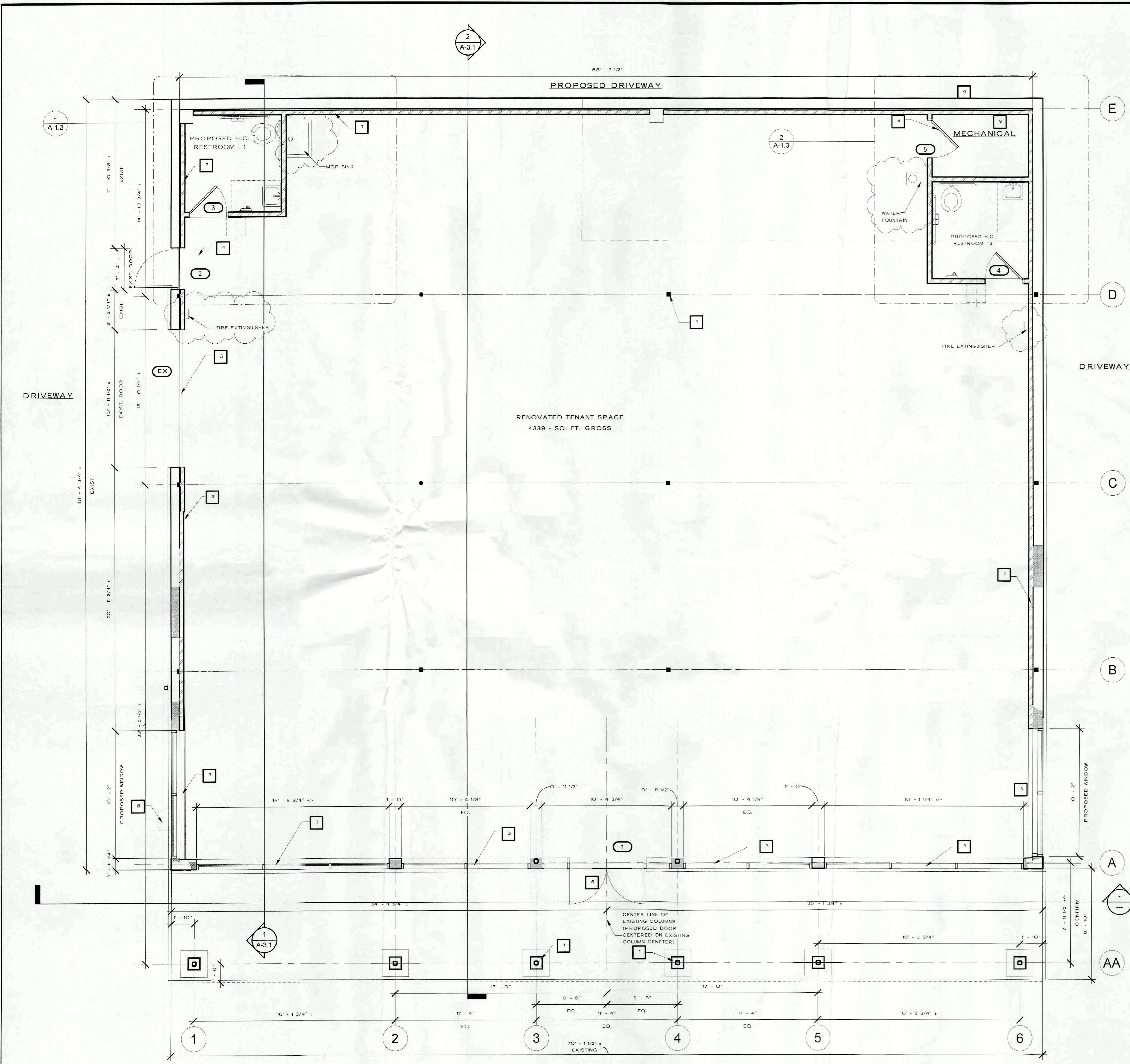


NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2)(F) OF THE NEW YORK STATE EDUCATION LAW.









FLOOR PLAN LEGEND:	
1	EXISTING STEEL COLUMN TO REMAIN - TYP.
2	EXISTING DOOR
3	INSTALL NEW STORE FRONT - SUBMIT SHOP DRAWING.
4	INSTALL NEW GALVANIZED H.M. DOOR AND FRAME AS SCHEDULED.
5	INSTALL NEW LIGHT (EGRESS AND EMERGENCY) AS REQUIRED REFER TO MEP DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION.
6	EXISTING GARAGE DOOR TO REMAIN.
7	FUR EXISTING BLOCK WALL WITH 3/8" METAL STUD WITH 5/8" G.B. AND INSULATION.
8	EXISTING ELECTRICAL SERVICE - TO BE RELOCATED - CONFIRM EXACT LOCATION (SEE MEP DRAWINGS FOR MORE INFORMATION)
9	EXISTING ELECTRIC SUBPANEL - SEE MEP DRAWINGS FOR MORE INFORMATION.

*Christopher Carthy* BOARD RESOLUTION, DATED 01/18/2023

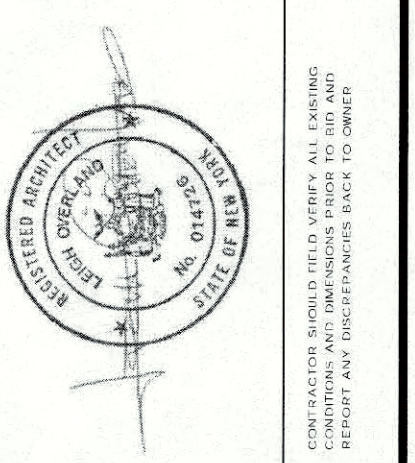
CHRISTOPHER CARTHY, CHAIRMAN,  
TOWN OF NORTH CASTLE PLANNING BOARD  
ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION

JOSEPH M. CERMELE, PE  
KELLARD, SESSONS CONSULTING  
CONSULTING, TOWN ENGINEERS

ISSUED/ REVISIONS
PERMIT SET - 7-16-2019
BL PERMIT SET - 12-23-2019

**Leigh Overland Architect, LLC.**  
AIA, NCARB.

info@leigoarch.com  
235 Main Street Danbury, CT 06810-0022  
Tel: (203) 794-0001 Fax: (203) 790-0712



**Lordae II LLC.**  
FACADE AND INTERIOR RENOVATION  
868 NORTH BROADWAY  
NORTH CASTLE, NY 10606

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CHECKED BY:	L.O.A.
DRAWN BY:	SBP
JOB NO.:	2001-20
FILE NO.:	CD
DATE:	8-2-2022
SCALE:	AS SHOWN

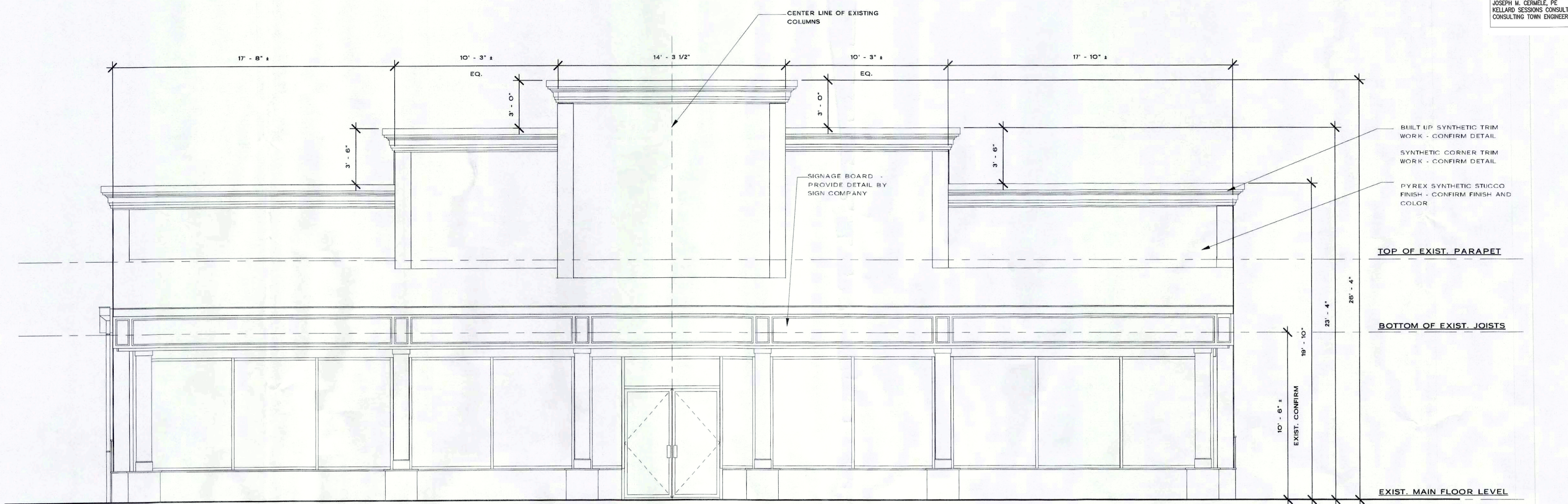
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Sheet No.  
**A-1.1**

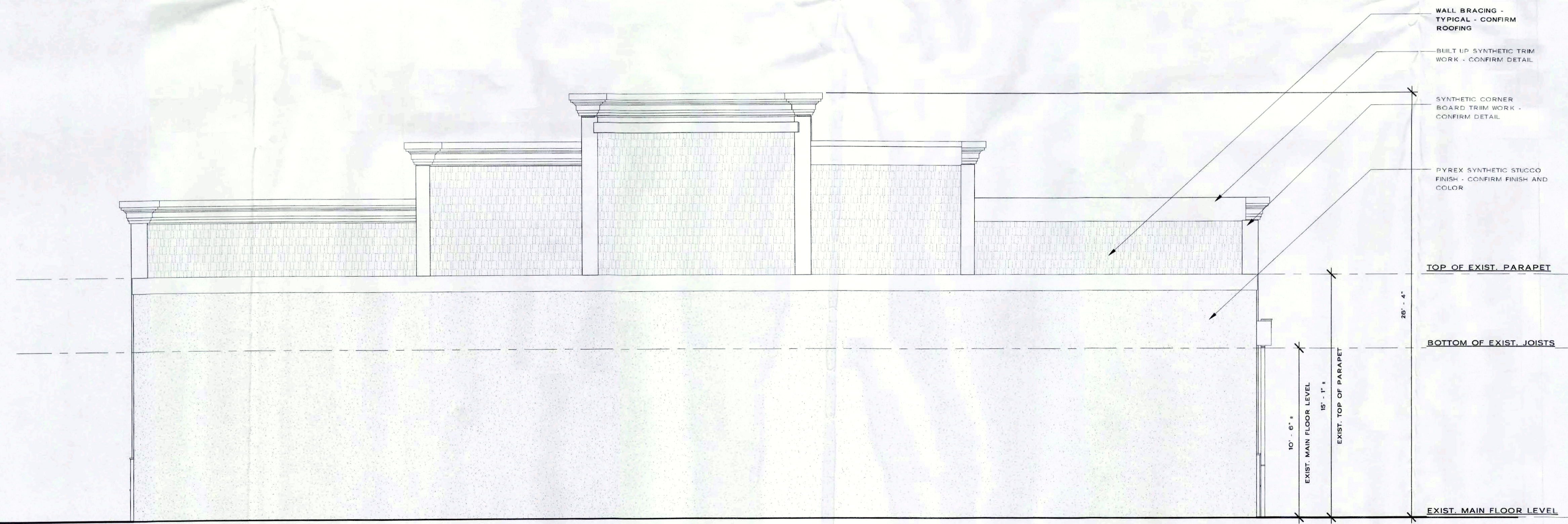


*Christopher Carthy*  
 TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED 01/18/2023  
 CHRISTOPHER CARRY, CHAIRMAN,  
 TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION  
 JOSEPH M. CERMILE, PE  
 KELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS

ISSUED/ REVISIONS
PERMIT SET 1 7-10-2019
RE PERMIT SET 8-10-2019

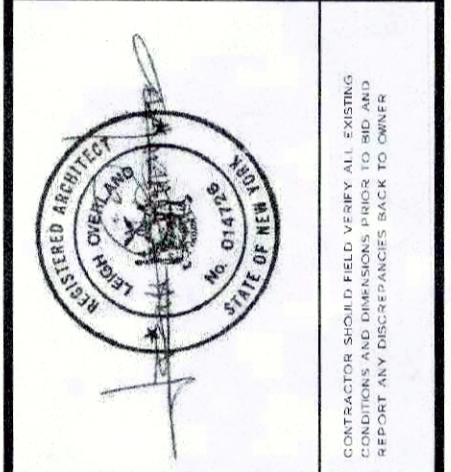


**1 PROPOSED FRONT ELEVATION**  
1/4" = 1'-0"



**2 PROPOSED REAR ELEVATION**  
1/4" = 1'-0"

**Leigh Overland Architect, LLC.**  
 info@leigoarch.com  
 235 Main Street Danbury, CT 06810-6622  
 TEL: (203) 794-9101 FAX: (203) 790-0712  
**AIA, NCARB.**



**Lordae II LLC.**  
 FACADE AND INTERIOR RENOVATION  
 868 NORTH BROADWAY  
 NORTH CASTLE, NY 10606

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CHECKED BY	L.O.C.
DRAWN BY	SEP
JOB NO.	200-00
FILE NO.	FD
DATE	11-2-2022
SCALE	AS SHOWN

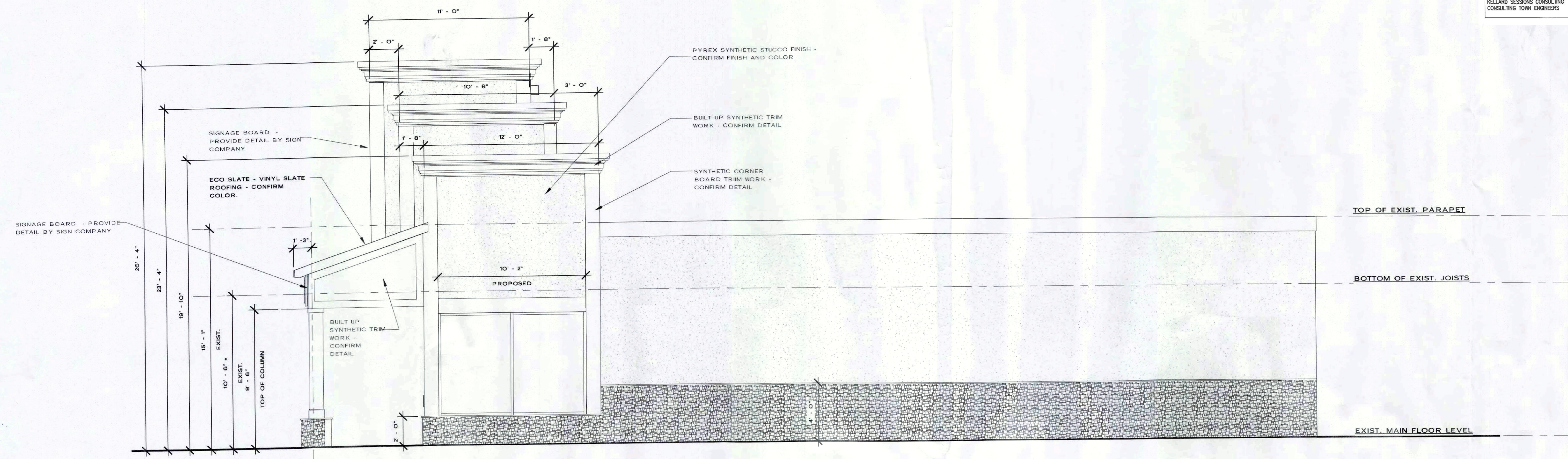
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**PROPOSED ELEVATIONS**

Sheet No.  
**A-2.1**

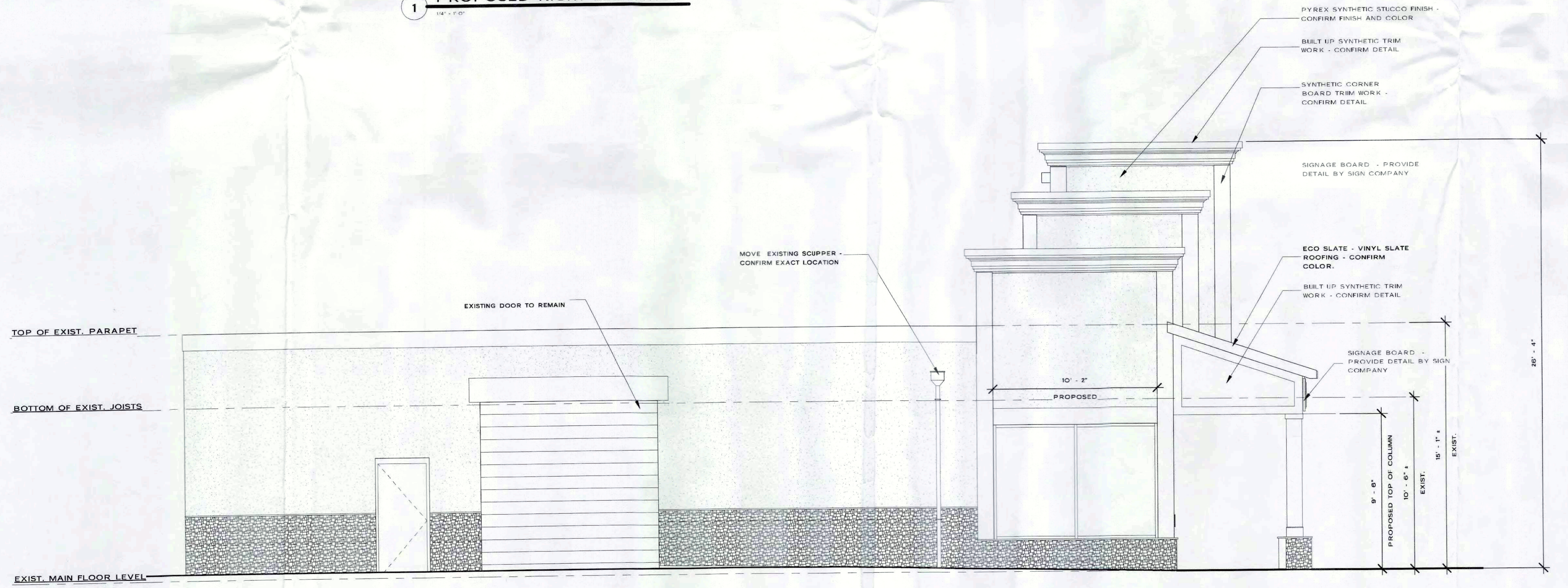


APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED  
**Christopher Carthy** DATE: **01/18/2023**  
 CHRISTOPHER CARTHY, CHAIRMAN  
 TOWN OF NORTH CASTLE PLANNING BOARD  
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION  
 DATE: \_\_\_\_\_  
 JOSEPH M. CERMELE, PE  
 KELLARD SESSIONS CONSULTING  
 CONSULTING TOWN ENGINEERS

ISSUED/ REVISIONS
PERMIT SET - 7-15-2019
R1 PERMIT SET - 12-10-2019

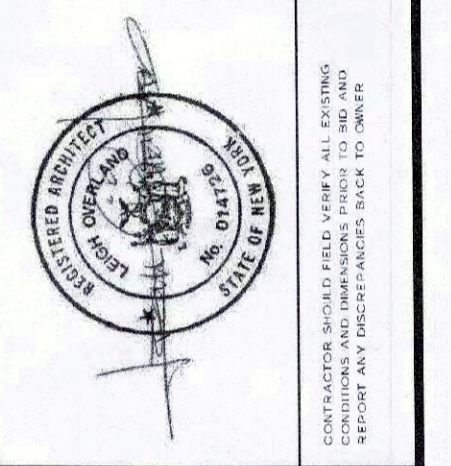


**1 PROPOSED RIGHT ELEVATION**  
1/4" = 1'-0"



**2 PROPOSED LEFT ELEVATION**  
1/4" = 1'-0"

**Leigh Overland Architect, LLC.**  
 AIA, NCARB.  
 info@leigoverland.com  
 235 Main Street Danbury, CT 06810-6622  
 TEL: (203) 794-9001 FAX: (203) 790-0712



**Lordae II LLC.**  
 FACADE AND INTERIOR RENOVATION  
 868 NORTH BROADWAY  
 NORTH CASTLE, NY 10606

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CHECKED BY	L.S.G.
DRAWN BY	SEP
JOB No.	2022-01
File No.	110
Date	11-3-2022
Scale	AS SHOWN

Sheet Name:  
**PROPOSED ELEVATIONS**

Sheet No.  
**A-2.2**



# Certificate of Completion

 **868 Santomero Plans for Final Sig.pdf**

ID: bbbda8f5-f662-4edc-a7e1-474958b58237

SIGN REQUEST ISSUED:

**Jan 18, 2023**


05:52 PM UTC

REQUESTED BY:

**Adam Kaufman**

akaufman@northcastleny.com

STATUS:

 **Completed**

on 19 Jan, 2023, 05:30 PM UTC

## Audit trail

Generated on Jan 19, 2023

18 Jan, 2023, 06:20 PM UTC

**Adam Kaufman** has invited to sign the document

akaufman@northcastleny.com  **Verified**

18 Jan, 2023, 06:20 PM UTC

**Adam Kaufman** has invited to sign the document

akaufman@northcastleny.com  **Verified**

18 Jan, 2023, 06:48 PM UTC

**Christopher Carthy** has signed the document

CCarthy@PoolsOfPerfection.com  **Verified**

72.89.180.208



19 Jan, 2023, 04:36 PM UTC

**Adam Kaufman** has sent reminder to sign the document

akaufman@northcastleny.com  **Verified**

19 Jan, 2023, 05:30 PM UTC

**Joe Cermele** has signed the document

jcermele@kelses.com  **Verified**

75.99.243.130



# **Exhibit F**



# Site Design Consultants

Civil Engineers • Land Planners

April 18, 2023

Mr. Michael Cromwell  
Town of North Castle Building Department  
15 Bedford Road  
Armonk, NY 10504

RECEIVED

APR 24 RECD

Re: Christopher Santomero, Lordae II, LLC  
868 North Broadway  
Section 122.12, Block 5, Lot 63

TOWN OF NORTH CASTLE  
BUILDING DEPARTMENT

Dear Mr. Cromwell:

We have received the comments from your email on March 30, 2022, and offer the following responses:

1. As per your emails with Collado Engineering on July 16<sup>th</sup>, 2021, this project is essentially white-boxing a small single story building for a future tenant to fit out. As per Code, there is no fire alarm system or smoke detectors required in the space. Also, there is no gas service or any fuel burning appliances in the building. There is no requirement for CO detection. When a new tenant files for a fit out of the space, if they add fuel burning appliances, they will have to add CO detection at that time.
2. The concrete pad thickness has been observed to be confirmed. The Plans identified a section of existing 8" thick slab over 1" rigid insulation over 3 1/2" slab. This is no longer accurate. Only the base 3 1/2" slab remains. The Plans call for this to be altered to a 3 1/2" thick slab over 1" rigid insulation over 3 1/2" slab.
3. The footing of the illegal additional has been dug up and measured to be 12" thick. A report has been prepared by our office to certify this. Photos of the footing have been provided.
4. We have submitted the Plans to the town planner and are waiting a response. He is currently out of the office.
5. The two checks have been picked up and new ones have been included in this submission.
6. See note 5 above.
7. A new permit application is included in this submission.
8. The site work costs have been updated to reflect current pricing.
9. Updated contractor insurance information has been included in this submission.

Enclosed we are submitting the following:

- A copy of the Plan Set titled "Site Plan prepared for Lordae II LLC," Sheets 1-14 of 14, dated 11-27-17, last revised 2/24/22;
- Architectural plans prepared by Leigh Overland Architect, LLC, last revised 12/10/19;
- A new signed Permit Application;
- Two checks, one in the amount of \$200.00 for the permit fee, and the second for \$14,915.38;
- One check for inspection fees (see Kellard-Session's letter enclosed) for \$21,488.97;
- A copy of the contractor's insurance information; and
- An Engineer's Report commenting on the observed slab thickness.

251-F Underhill Avenue • Yorktown Heights, New York 10598

60 Walnut Grove Road • Ridgefield, Connecticut 06877

(914) 962-4488

(203) 431-9504

Fax (914) 962-7386

