

February 26, 2024

Via Email

Christopher Carthy, Chairman
North Castle Planning Board
17 Bedford Road
Armonk, NY 10504

**Re: MRL 11 Whippoorwill LLC
11 Whippoorwill Lane (107.04-1-5)
Site Plan Application**

Chairman Carthy and Members of the Planning Board:

As you know, this firm, together with Alfonzetti Engineering, P.C., represents MRL 11 Whippoorwill LLC (“Applicant”) in connection with this Site Plan Application for the construction of a single-family home at the property located at 11 Whippoorwill Lane (“Property”). This application was last before your Board on January 22, 2024. At that meeting, we discussed two project alternatives: (i) the current proposal before your Board, which consists of an approximately 7,300 s.f. single-family home; and (ii) the smaller 5,800, s.f. single-family home that the prior owner previously received approvals for from the RPRC. After our presentation, your Board advised that under either scenario the Applicant would be required to make certain improvements to Whippoorwill Lane in order to ensure that it was “suitably improved” and able to accommodate the additional home at the end of a private lane.

After our presentation, two of the neighboring property owners voiced their opposition to the development of the Property. In particular, they were opposed to the construction of the larger home. Additionally, they raised concerns regarding screening, stormwater and potential impact of the development of the Property on the surrounding neighborhood.

Since the January 22nd meeting, the Applicant has had two meetings which we believe significantly advanced the project. First, the Applicant and its project team met on site with the Town Planner, Town Engineer, and Building Inspector to discuss potential improvements to Whippoorwill Lane, working with the neighbors to address stormwater concerns, construction of a smaller house and providing increased screening between 9 and 11 Whippoorwill Lane. Based on that meeting, the project engineer has begun revising his plans to show certain improvements to Whippoorwill Lane to increase safety. These improvements include expanding the width of the lane in two areas and expanding the existing taper along a driveway. Additionally, we have reached out to the owner of the property located at 11 Stone Hollow Way to discuss what improvements can be done to assist with alleviating the existing stormwater issues on his property.

Next, two of the property owners who spoke at the January 22nd meeting sent me an email that outlined their specific concerns relating to the project. In an effort to work cooperatively with

the neighbors, the Applicant and I met with the Mr. Randolph and Mr. Mayers on Saturday, February 10th, to discuss the items in their email. As discussed at that meeting, the Applicant can and will address the vast majority of the issues raised. Again, and most significantly, the Applicant is abandoning its proposal to construct a 7,300 s.f. house on the Property and has agreed to go back to the previously approved home.

The Applicant is now proposing to develop the Property with the previously approved single-family home that is fully compliant with all zoning regulations. The proposed home is approximately 5,800 s.f., consisting of a basement, first, second floor, attic, garage, and porch. The maximum floor area permitted on the Property, based upon its size of 1.28 acres, is 8,468 s.f. The Applicant's proposal is roughly 32% beneath the maximum allowed by the zoning code. Additionally, the maximum allowable building coverage for the Property is 8%. The Applicant's proposal has a development coverage of 3.7%, which is below the maximum permitted by approximately 54%. As you can see on the enclosed plans, the proposal is also fully compliant with all required setback and height requirements.

Further, moving forward with the reduced size home allowed the Applicant to shift the existing house 6 feet to the north, further away from 9 Whippoorwill Lane. This increased distance between the two homes allows for additional screening plantings to be provided between the two homes.

In support of this application, the Applicant is pleased to submit the following plans:

1. General Conditions; Floor Area Calculations (A-001), last revised February 18, 2024
2. Landscape Plan (A-002), last revised February 18, 2024
3. Basement Plan (A-101), last revised February 18, 2024
4. First Floor Plan (A-102), last revised February 18, 2024
5. Second Floor Plan (A-103), last revised February 18, 2024
6. Roof Plan (A-104), last revised February 18, 2024
7. Basement Reflected Ceiling Plan (A-105), last revised February 18, 2024
8. First Floor Reflected Ceiling Plan (A-106), last revised February 18, 2024
9. Second Floor Reflected Ceiling Plan (A-107), last revised February 18, 2024
10. Exterior Elevations (A-201), last revised February 18, 2024
11. Exterior Elevations (A-202), last revised February 18, 2024
12. Exterior Elevations (A-203), last revised February 18, 2024
13. Exterior Elevations (A-204), last revised February 18, 2024
14. Building Sections (A-301), last revised February 18, 2024
15. Wall Section; Details (A-302), last revised February 18, 2024
16. Window and Door Schedules; General Details (A-303), last revised February 18, 2024
17. Construction Notes; Plumbing Riser Diagram (A-304), last revised February 18, 2024
18. HVAC Diagrams (A-401), last revised February 18, 2024
19. General Details (A-901), last revised February 18, 2024

20. Site Plan, prepared by Alfonzetti Engineering, P.C., dated June 12, 2023, last revised February 21, 2024
21. Site Details, prepared by Alfonzetti Engineering, P.C., dated June 12, 2023, last revised February 21, 2024
22. Gross Land Coverage Worksheet, prepared by Alfonzetti Engineering, P.C., dated February 26, 2024
23. Gross Land Coverage Backup, prepared by Alfonzetti Engineering, P.C., dated October 20, 2023
24. Whippoorwill Lane Improvement plan, prepared by Alfonzetti Engineering, P.C., dated February 20, 2024

Please place this matter on the Planning Board's March 11, 2023 agenda for a continuation of the public hearing and, if your Board deems appropriate, site plan approval.

If you have any questions or concerns, please don't hesitate to contact me.

Very truly yours,

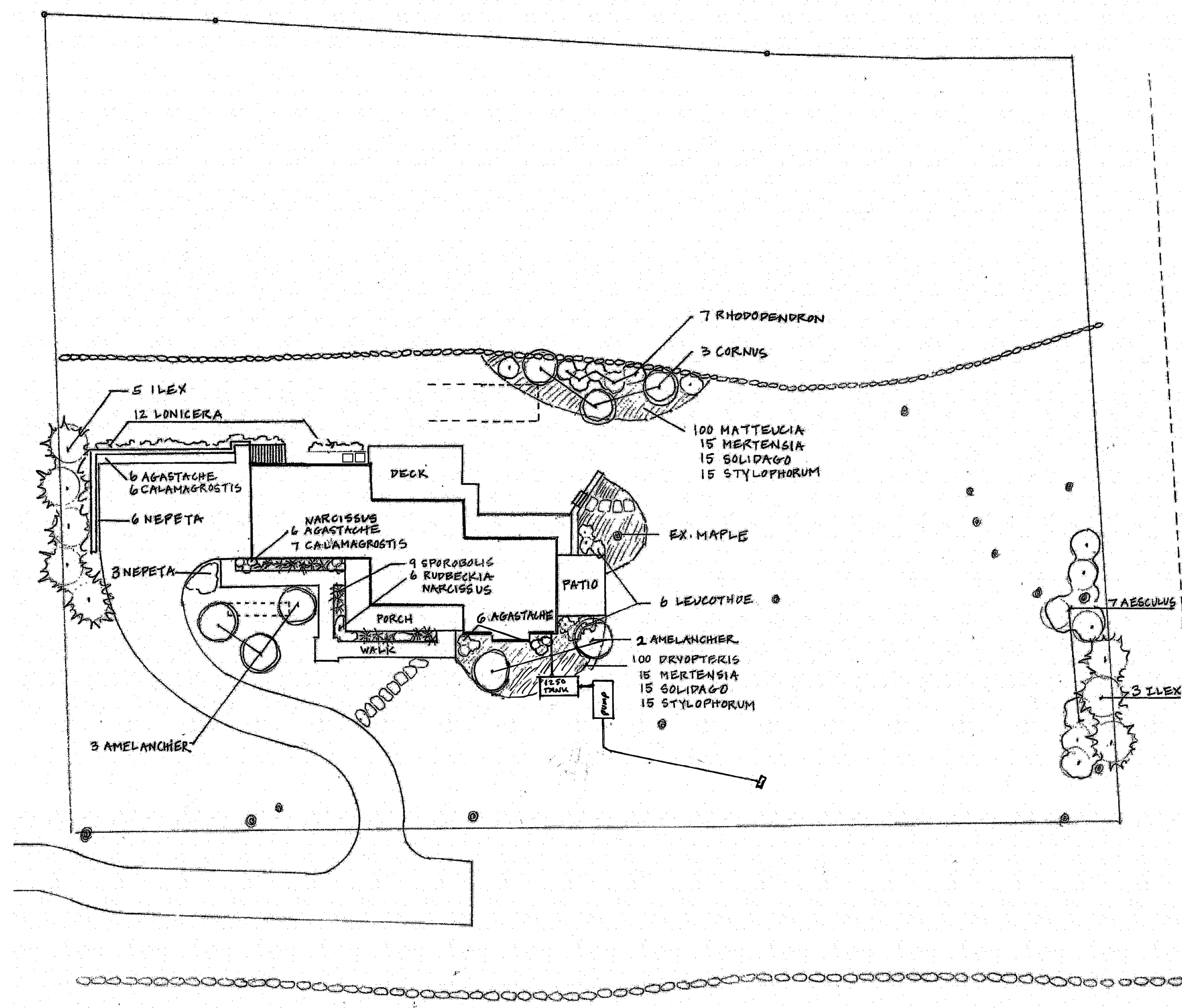
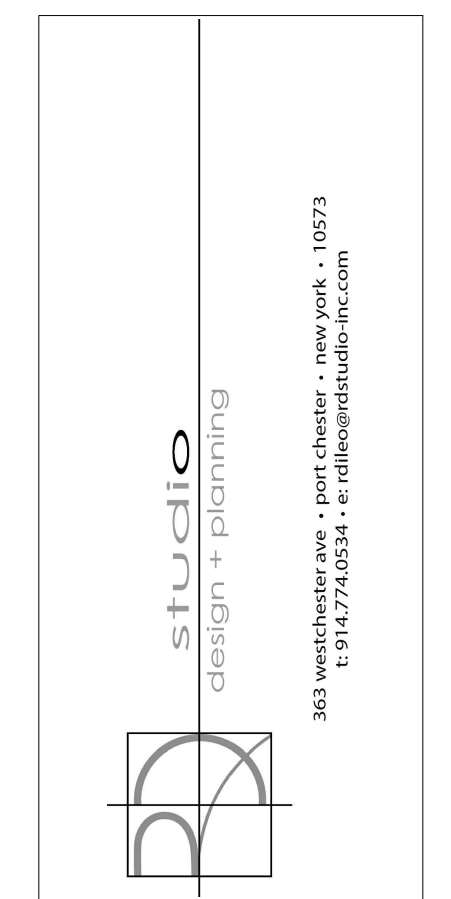

Kory Salomone

cc: Adam Kaufman, AICP
Roland Baroni, Jr., Esq.
John Kellard, P.E.
Serge Lebedev
Ralph Alfonzetti, P.E.

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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Trees		
Qty	Botanical/Common Name	Size
7	Aesculus parviflora/Bottlebrush Buckeye	48"
6	Amelanchier x 'Autumn Brilliance'/Serviceberry	7-8'
3	Cornus florida/Flowering dogwood	2-2.5'
8	Ilex opaca/American Holly	7-8'

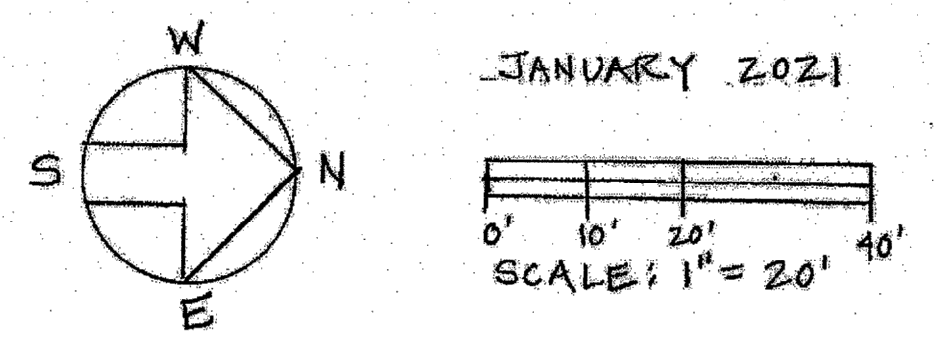
Shrubs		
Qty	Botanical/Common Name	Size
6	Leucothoe axillaris/Coastal Doghobble	#3
7	Rhododendron maximum/Rosebay Rhododendron	4'

Ferns, Grasses, Perennials and Vines		
Qty	Botanical/Common Name	Size
15	Agastache 'Blue fortune'/Giant hyssop	#1
13	Calamagrostis 'Karl foerster'/Feather reed grass	#2
100	Dryopteris marginalis/Marginal wood fern	#1
12	Lonicera sempervirens/Trumpet honeysuckle vine	#2
100	Matteuccia struthiopteris/Ostrich fern	#1
30	Mertensia virginica/Virginia bluebells	#1
9	Nepeta 'Six hills Giant'/Catmint	#2
6	Rudbeckia fulgida 'Deamii'/Black-eyed Susan	#1
30	Solidago flexicaulis/Zig-zag goldenrod	#1
9	Sporobolus heterolepis/Prairie dropseed grass	#1
30	Stylophorum diphyllum/Yellow wood Poppy	#1

Bulbs		
Qty	Botanical/Common Name	Size
600	Narcissus 'Tete a Tete'/Dwarf Daffodil	bulb

LANDSCAPE PLAN

11 WHIPPOORWILL LANE, LLC
ARMONK, NY 10504



1 LANDSCAPE PLAN
A-002 SCALE: 1" = 20'-0"

NEW SINGLE-FAMILY RESIDENCE FOR:
MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504
LANDSCAPE PLAN

JV	Drawn
JD	Checked
	Date
08.12.20	Scale
AS NOTED	Job Number
2021	Sheet

A-002

FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	NEW PARTITION
	NEW DOOR
	NEW WINDOW
	BEARING WALLS
	BRACE WALLS
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	SELF-CLOSING FIRE RATED DOOR
	TO MATCH EXISTING

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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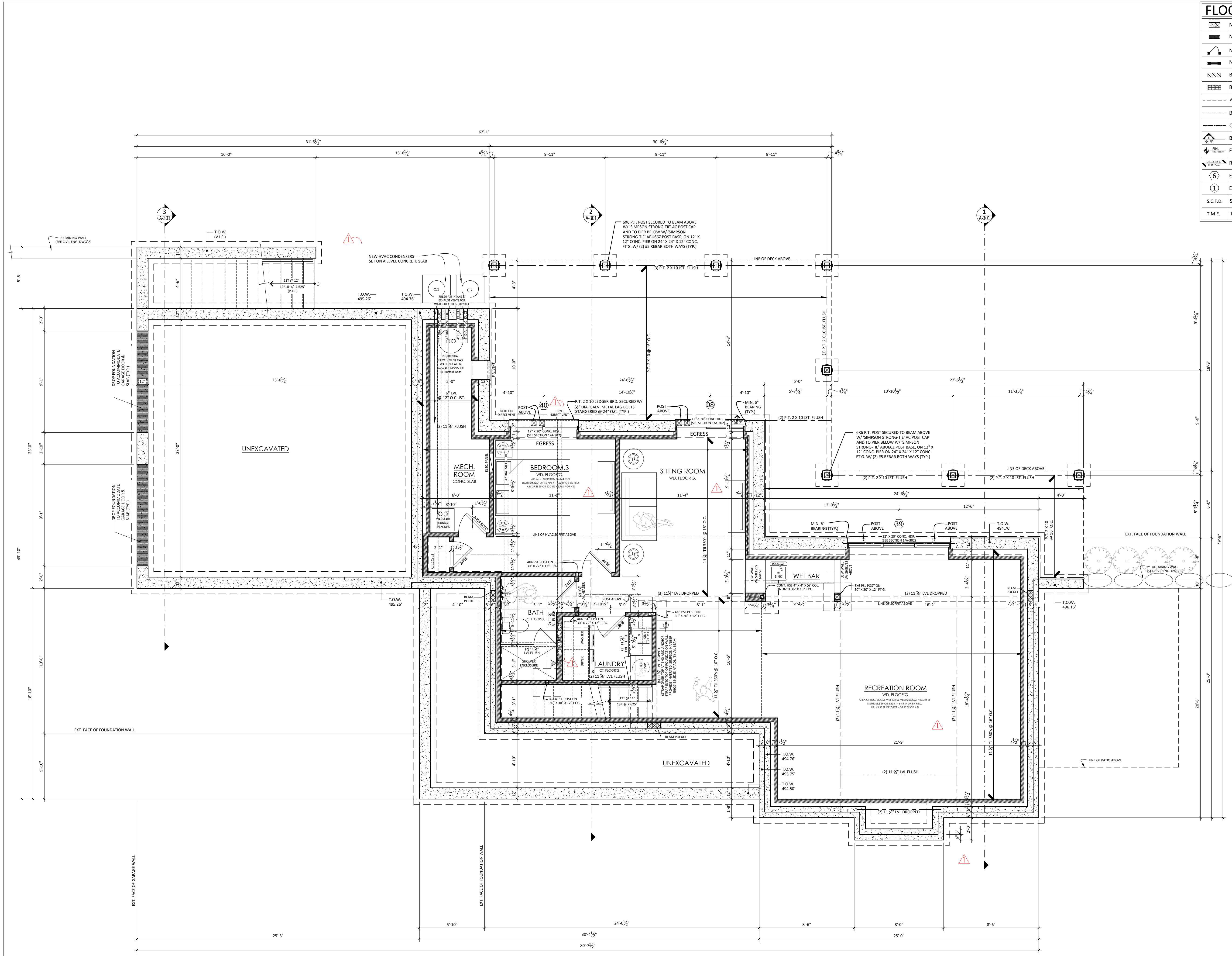
NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

BASEMENT PLAN

JV	Drawn
	Checked
	Date
08.12.20	Scale
AS NOTED	Job Number
2021	Sheet

A-101



1
A-101
BASEMENT PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR - BRACE WALL CALCULATIONS
(ARMONK, NY : ULTIMATE WIND SPEED=115MPH) ⚠

LINE #	LINE SPACING	BRACING METHOD	MIN. BRACE WALL REQ.	FACTORS TABLE R602.10.3 (2)				ADJUSTED MIN. B.W. LENGTH	B.W. LENGTH PROVIDED	800 # HOLDOWN Y/N	BLOCKING Y/N	
				EXPOSURE	WALL HT.	RIDGE HT.	# B.W. LINES					INT. FINISH
1	19.0'	CS-WSP	5.25'	1.0	0.95	1.05	1.3	1.0	6.8'	8.0'	Y	Y
2	19.0'	CS-WSP	5.25'	1.0	0.95	1.05	1.3	1.0	6.8'	10.5'	Y	Y
3	19.0'	CS-WSP	5.25'	1.0	0.95	1.05	1.3	1.0	6.8'	8.0'	Y	Y
A	24.0'	GARAGE PORTAL FRAME	---	---	---	---	---	---	25.0'	SEE DETAIL X/A-302	SEE DETAIL X/A-302	---
B	24.0'	CS-WSP	6.5'	1.0	0.95	1.0	1.45	1.0	9.0'	10.0'	Y	Y
C	25.0'	CS-WSP	6.75'	1.0	0.95	1.0	1.45	1.0	9.3'	10.0'	Y	Y
D	25.0'	CS-WSP	6.75'	1.0	0.95	1.0	1.45	1.0	9.3'	10.0'	Y	Y

WALL BRACE NOTES:

- ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.
- ENDS OF ALL BRACE WALL PANELS TO HAVE (2) 2X6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DTT12 HOLDDOWNS.
- ALL INTERIOR BRACE WALLS TO HAVE 1/2" CONTINUOUS PLYWOOD SHEATHING ON ONE, MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

FLOOR PLAN LEGEND

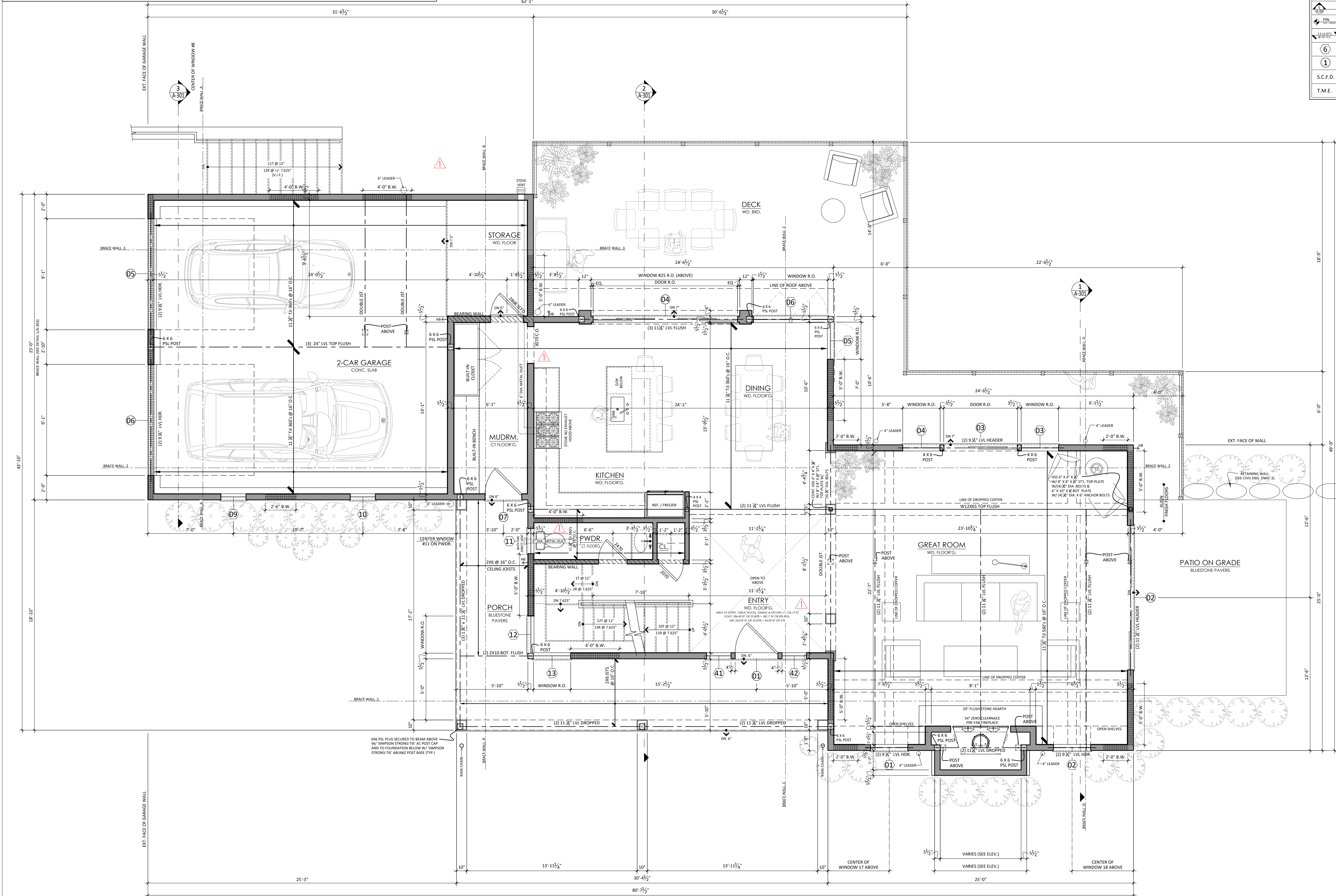
	NEW CONCRETE FOUNDATION WALL & FOOTING
	NEW PARTITION
	NEW DOOR
	NEW WINDOW
	BEARING WALLS
	BRACE WALLS
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	SELF-CLOSING FIRE RATED DOOR
	T.M.E. TO MATCH EXISTING

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NEW SINGLE-FAMILY RESIDENCE FOR:
MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504
 FIRST FLOOR PLAN

JV	Drawn
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08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-102

SECOND FLOOR - BRACE WALL CALCULATIONS
(ARMONK, NY : ULTIMATE WIND SPEED=115MPH) ⚠

LINE #	LINE SPACING	BRACING METHOD	MIN. BRACE WALL REQ.	FACTORS TABLE R602.10.3 (2)				ADJUSTED MIN. B.W. LENGTH	B.W. LENGTH PROVIDED	800 # HOLDOWN Y/N	BLOCKING Y/N	
				EXPOSURE	WALL HT.	RIDGE HT.	# B.W. LINES					INT. FINISH
1	19.0'	CS-WSP	2.85'	1.0	0.9	1.09	1.3	1.0	3.6'	4.0'	Y	Y
2	19.0'	CS-WSP	2.85'	1.0	0.9	1.09	1.3	1.0	3.6'	8.0'	Y	Y
3	19.0'	CS-WSP	2.85'	1.0	0.9	1.09	1.3	1.0	3.6'	4.0'	Y	Y
A	25.0'	CS-WSP	2.85'	1.0	0.9	1.0	1.45	1.0	4.9'	5.0'	Y	Y
B	23.0'	CS-WSP	2.85'	1.0	0.9	1.0	1.45	1.0	4.5'	6.0'	Y	Y
C	25.0'	CS-WSP	2.85'	1.0	0.9	1.0	1.45	1.0	4.9'	6.0'	Y	Y
D	25.0'	CS-WSP	2.85'	1.0	0.9	1.0	1.45	1.0	4.9'	5.0'	Y	Y

WALL BRACE NOTES:

- ALL BRACE WALLS TO HAVE MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.
- ENDS OF ALL BRACE WALL PANELS TO HAVE (2) 2X6 STUDS ANCHORED TO FOUNDATION WALL AT FIRST FLOOR WITH SIMPSON DTT12 HOLDDOWNS.
- ALL INTERIOR BRACE WALLS TO HAVE 1/2" CONTINUOUS PLYWOOD SHEATHING ON ONE, MINIMUM NAILING 6" O.C. AT PANEL EDGES AND 12" O.C. AT FIELD, PROVIDE STUD BLOCKING IN WALL AT ALL PANEL EDGES.

FLOOR PLAN LEGEND

	NEW CONCRETE FOUNDATION WALL & FOOTING
	NEW PARTITION
	NEW DOOR
	NEW WINDOW
	BEARING WALLS
	BRACE WALLS
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	REPETITIVE FRAMING STRUCTURE
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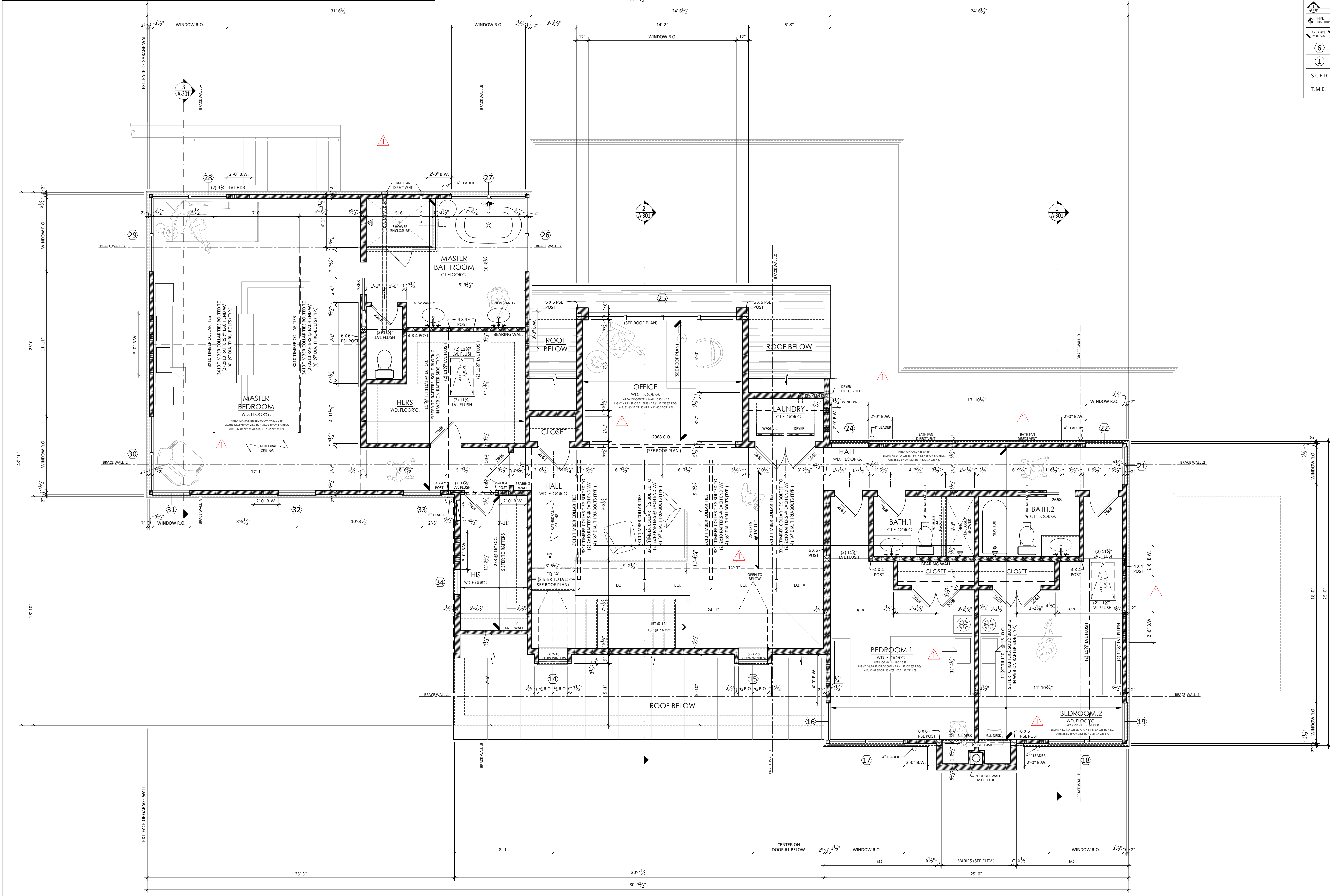
NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

SECOND FLOOR PLAN

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	Checked
08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-103



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A-103 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

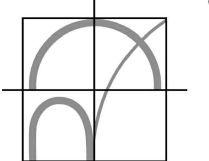
FLOOR PLAN LEGEND	
	NEW CONCRETE FOUNDATION WALL & FOOTING
	NEW PARTITION
	NEW DOOR
	NEW WINDOW
	BEARING WALLS
	BRACE WALLS
	ABOVE
	BELOW
	CENTER LINE OF BEAM ABOVE
	BUILDING SECTION / WALL SECTION KEY
	FINISH FLOOR ELEVATION MARKER
	REPETITIVE FRAMING STRUCTURE
	EXTERIOR WINDOW DENOTATION
	EXTERIOR DOOR DENOTATION
	SELF CLOSING FIRE RATED DOOR
	TO MATCH EXISTING

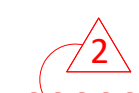
Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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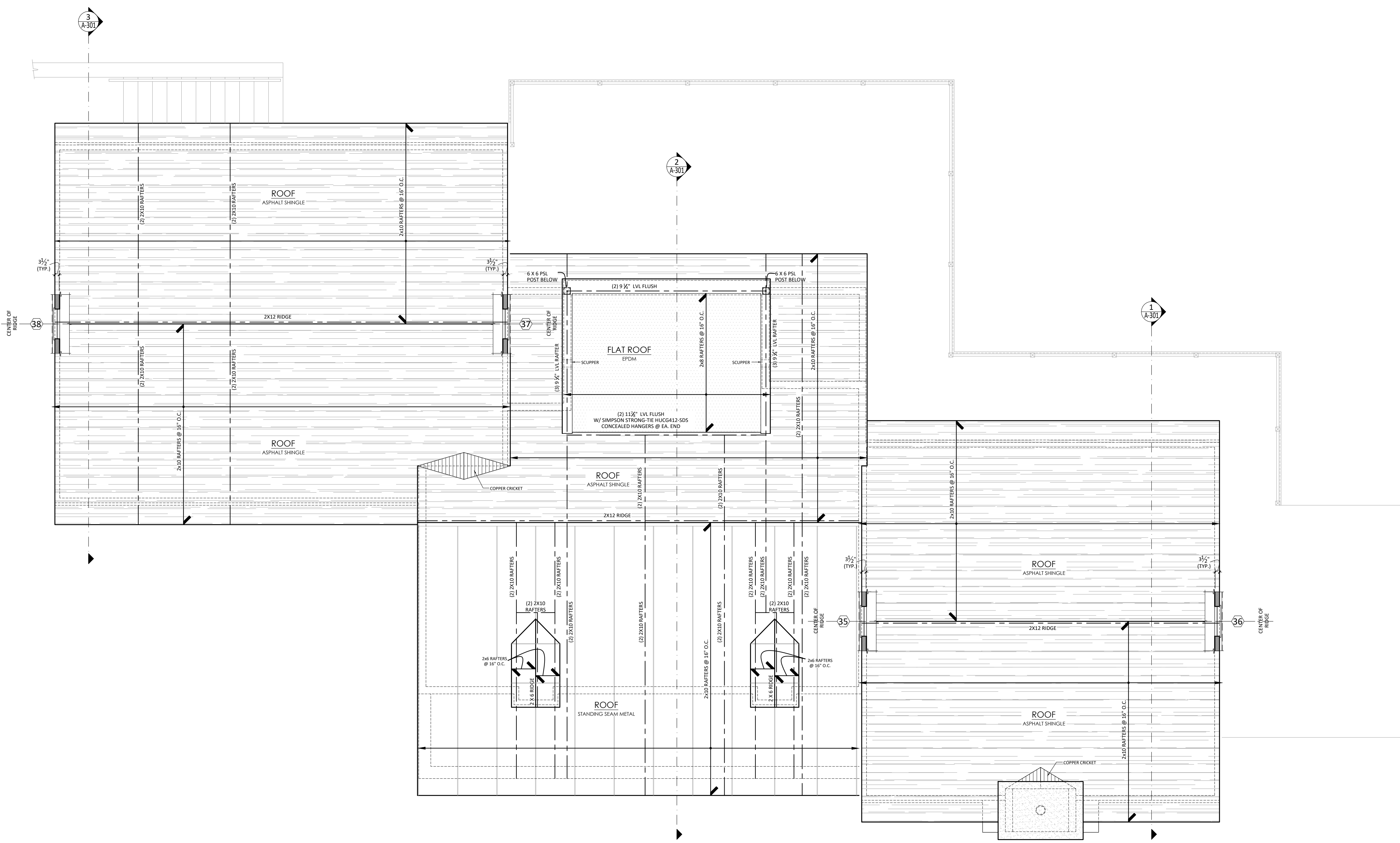

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NEW SINGLE-FAMILY RESIDENCE FOR:

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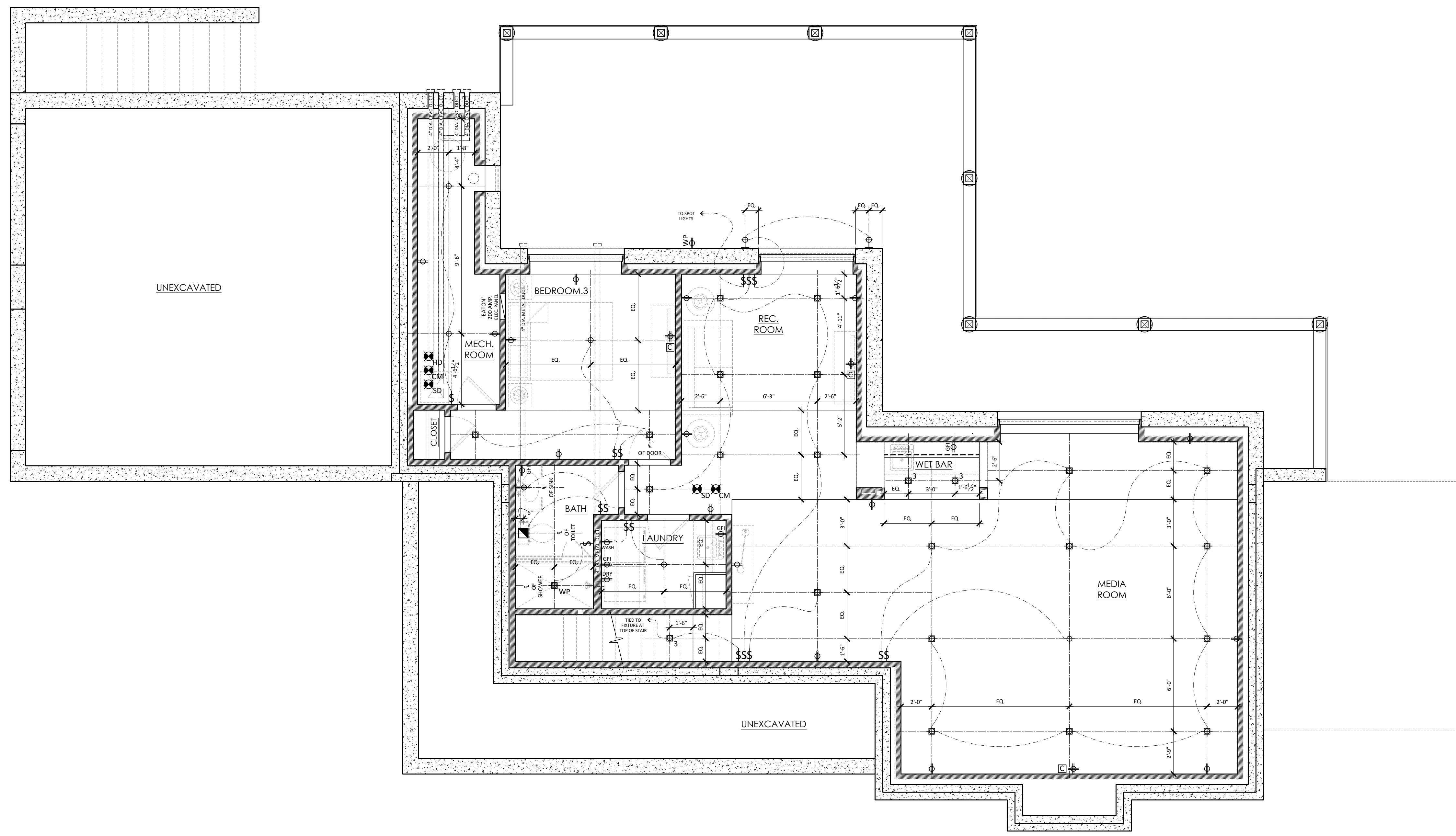
ROOF PLAN

JV	Drawn
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08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-104



1
A-104
ROOF PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL LEGEND	
Ⓢ	PROPOSED CONTROL SWITCH LOCATION
Ⓛ	DUPLEX RECEPTACLE
Ⓜ	GROUND FAULT INTERRUPTOR
Ⓜ	GROUND FAULT INTERRUPTOR DUPLEX OUTLET FOR WET LOCATION
Ⓜ	QUAD RECEPTACLE
Ⓜ	RECESSED CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	3" RECESSED CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	INSULATED CAN RECESSED CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	DIRECTIONAL CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	WALL MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	CO-AXIAL CABLE LOCATION
Ⓜ	1" X 4" CEILING MOUNTED MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	RECESSED CEILING MOUNTED LIGHT FIXTURE FOR WET LOCATION (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	EXHAUST FAN WITH LIGHT (VENT TO EXTERIOR) (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	UNDER CABINET LED TAPE-LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	EXTERIOR LANDSCAPE LIGHT (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	EXTERIOR SPOT LIGHTS (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	5" X 4" CEILING MOUNTED MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	HARDWIRED CARBON MONOXIDE
Ⓜ	HARDWIRED SMOKE DETECTOR
Ⓜ	HARDWIRED HEAT DETECTOR

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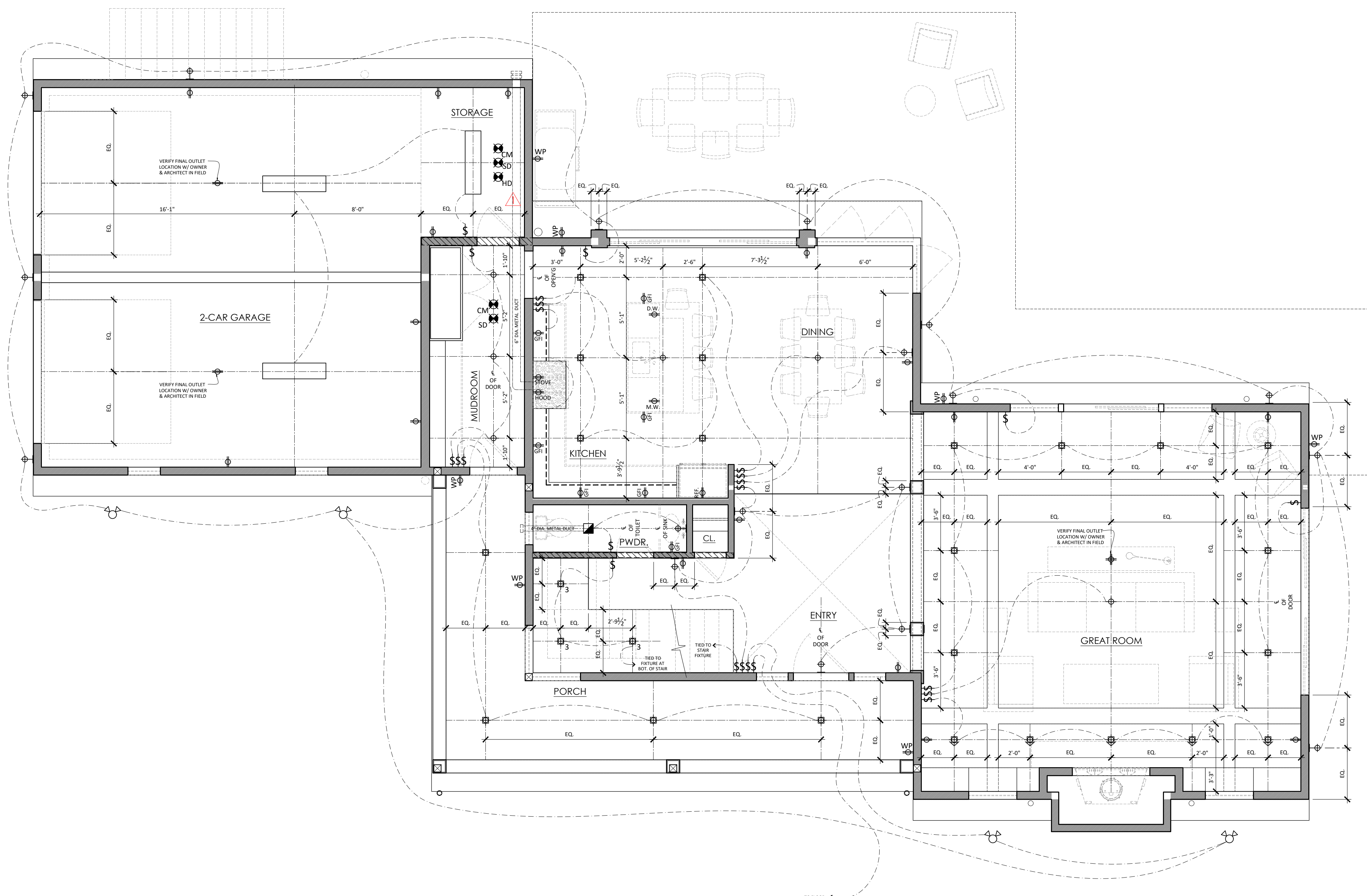
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NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

Drawn	JV
Checked	Ⓜ
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-105

1 A-105 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

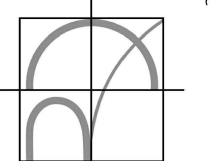


ELECTRICAL LEGEND	
Ⓢ	PROPOSED CONTROL/ SWITCH LOCATION
Ⓛ	DUPLEX RECEPTACLE
Ⓜ	GROUND FAULT INTERRUPTOR
Ⓜ	GROUND FAULT INTERRUPTOR DUPLEX OUTLET FOR WET LOCATION
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Ⓜ	DIRECTIONAL CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	WALL MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	CO-AXIAL CABLE LOCATION
Ⓜ	1" X 4" CEILING MOUNTED MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	RECESSED CEILING MOUNTED LIGHT FIXTURE FOR WET LOCATION (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	EXHAUST FAN WITH LIGHT (VENT TO EXTERIOR) (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	UNDER CABINET LED TAPE-LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	EXTERIOR LANDSCAPE LIGHT (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	EXTERIOR SPOT LIGHTS (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	5" X 8" CEILING MOUNTED MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
Ⓜ	HARDWIRED CARBON MONOXIDE
Ⓜ	HARDWIRED SMOKE DETECTOR
Ⓜ	HARDWIRED HEAT DETECTOR


Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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NEW SINGLE-FAMILY RESIDENCE FOR:
 MRL 11 WHIPPOORWILL LLC
 11 WHIPPOORWILL LN, ARMONK, NY 10504
 FIRST FLOOR REFLECTED CEILING PLAN

Drawn	JV
Checked	
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-106

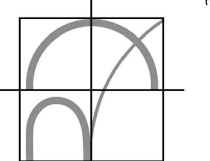
1 A-106 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

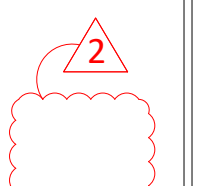
Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

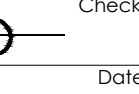
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






















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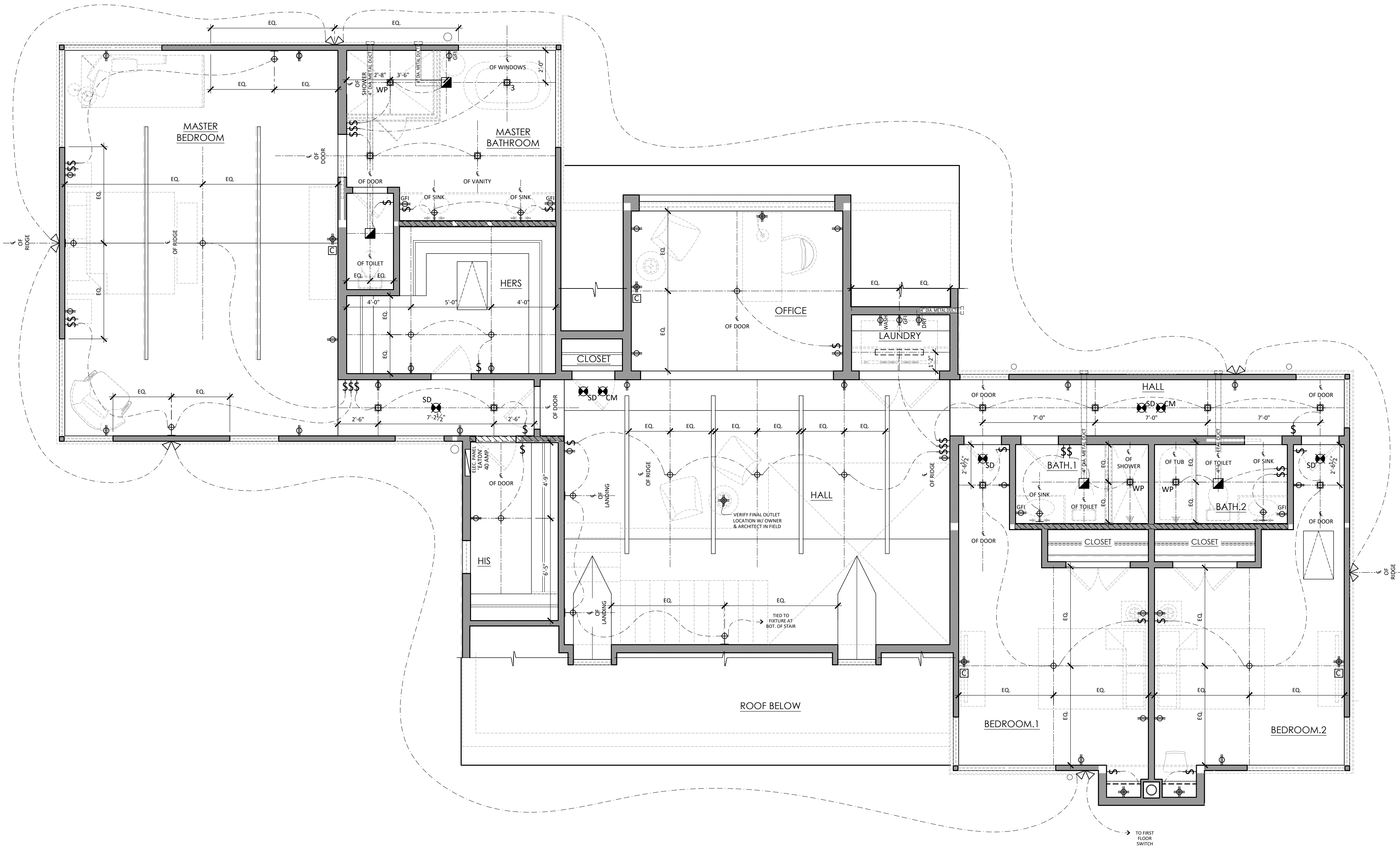
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NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504
 SECOND FLOOR REFLECTED CEILING PLAN

JV	Drawn
	Checked
08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet
A-107	

ELECTRICAL LEGEND	
	PROPOSED CONTROL/ SWITCH LOCATION
	DUPLEX RECEPTACLE
	GROUND FAULT INTERRUPTOR
	DUPLEX OUTLET
	GROUND FAULT INTERRUPTOR
	QUAD RECEPTACLE
	RECESSED CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	3" RECESSED CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	INSULATED CAN RECESSED CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	DIRECTIONAL CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	WALL MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	CO-AXLE CABLE LOCATION
	1"x4" CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	RECESSED CEILING MOUNTED LIGHT FIXTURE FOR WET LOCATION (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	EXHAUST FAN WITH LIGHT (VENT TO EXTERIOR) (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	UNDER CABINET LED TAPE LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	EXTERIOR LANDSCAPE LIGHT (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	EXTERIOR SPOT LIGHTS (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	5"x4" CEILING MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)
	HARDWIRED CARBON MONOXIDE
	HARDWIRED SMOKE DETECTOR
	HARDWIRED HEAT DETECTOR



1 SECOND FLOOR REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

EXTERIOR ELEVATIONS

Drawn	JV
Checked	
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-201



1 EXTERIOR EAST ELEVATION
SCALE: 1/4" = 1'-0"

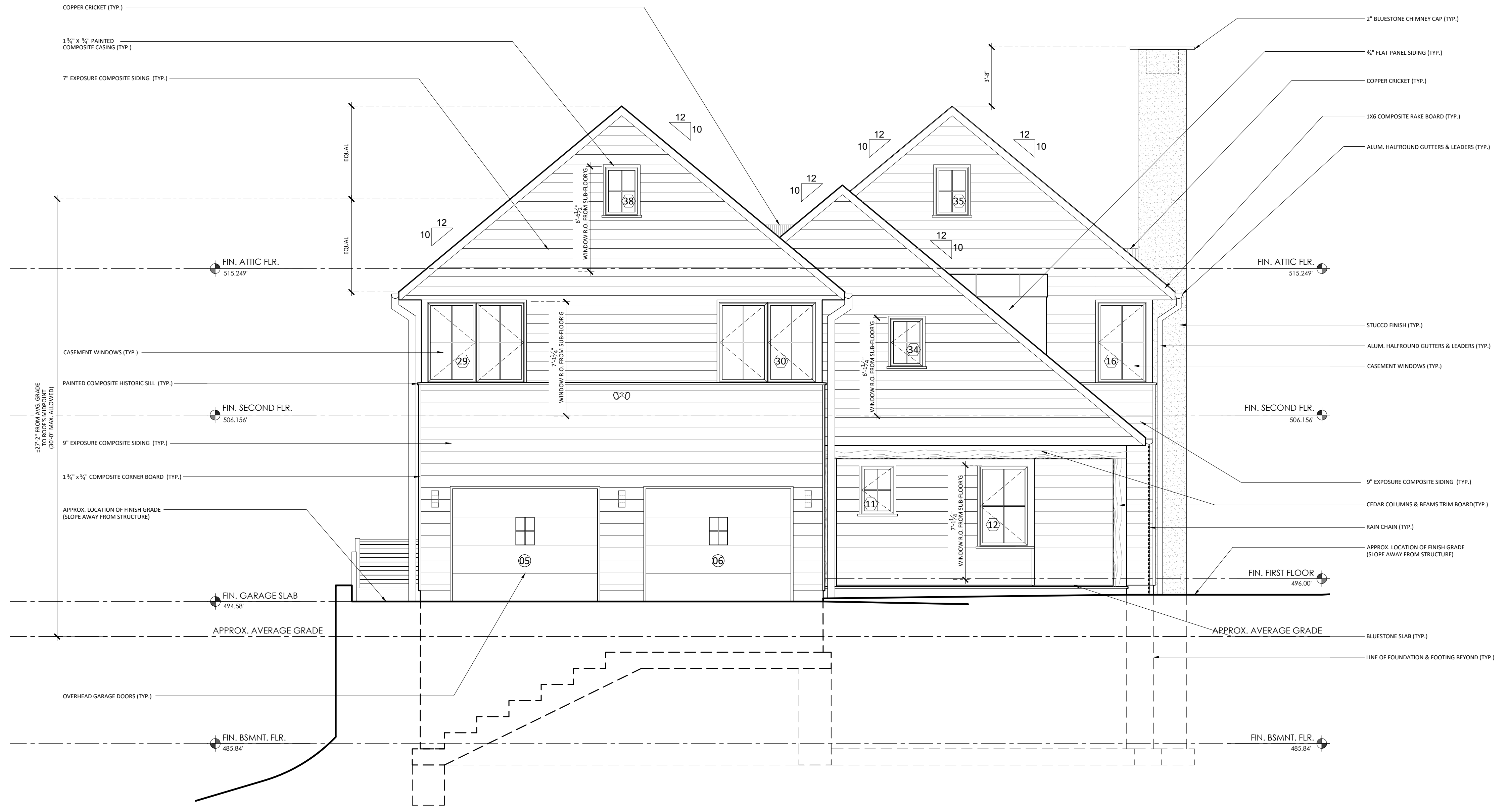
Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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1
A-202
EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

NEW SINGLE-FAMILY RESIDENCE FOR:
MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

EXTERIOR ELEVATIONS

Drawn	JV
Checked	JD
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	

A-202

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
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NEW SINGLE-FAMILY RESIDENCE FOR:
MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

EXTERIOR ELEVATIONS

Drawn	JV
Checked	
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-203

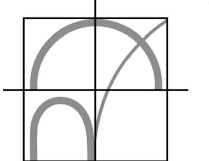


1
A-203 EXTERIOR WEST ELEVATION
SCALE: 1/4" = 1'-0"

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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
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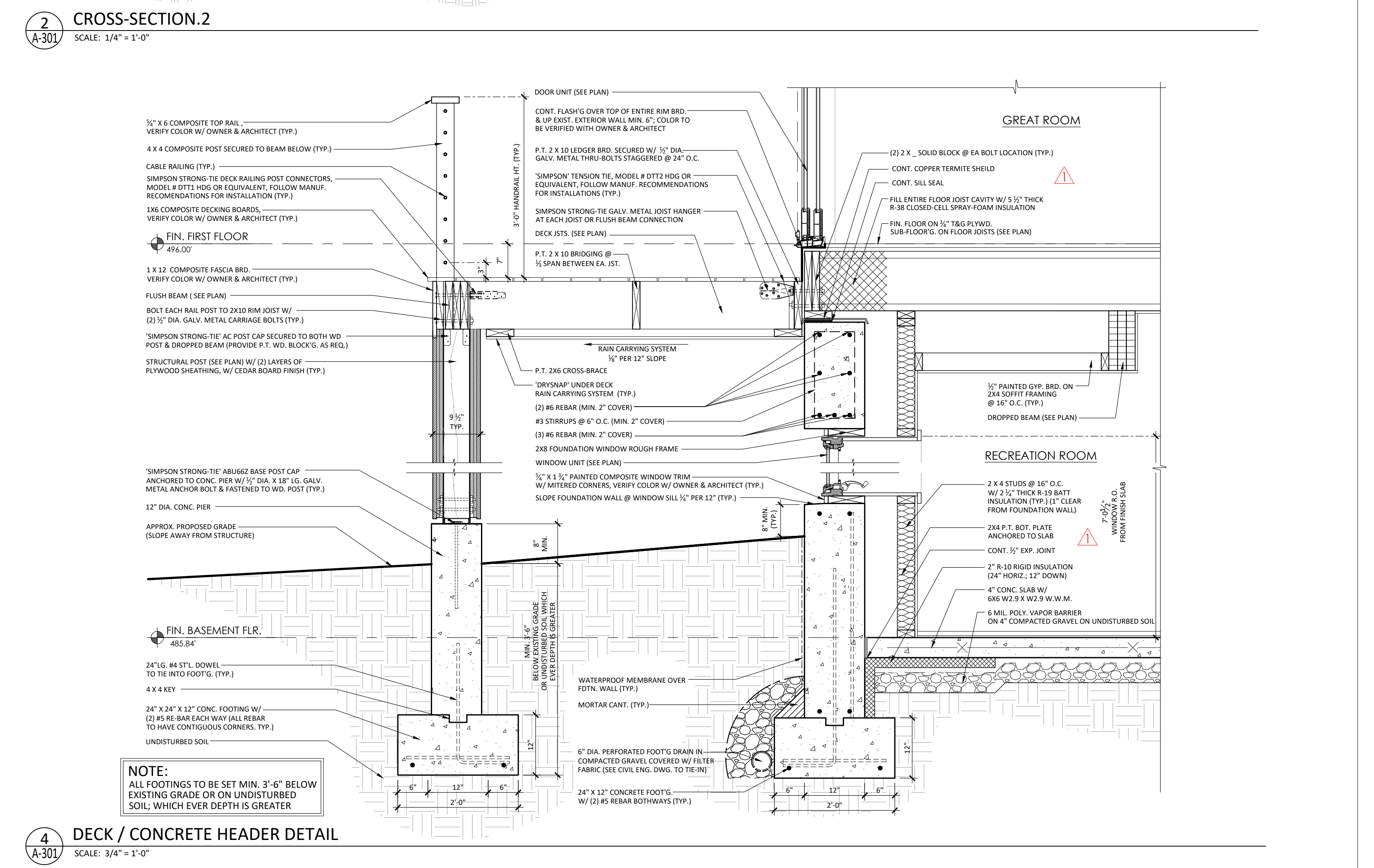
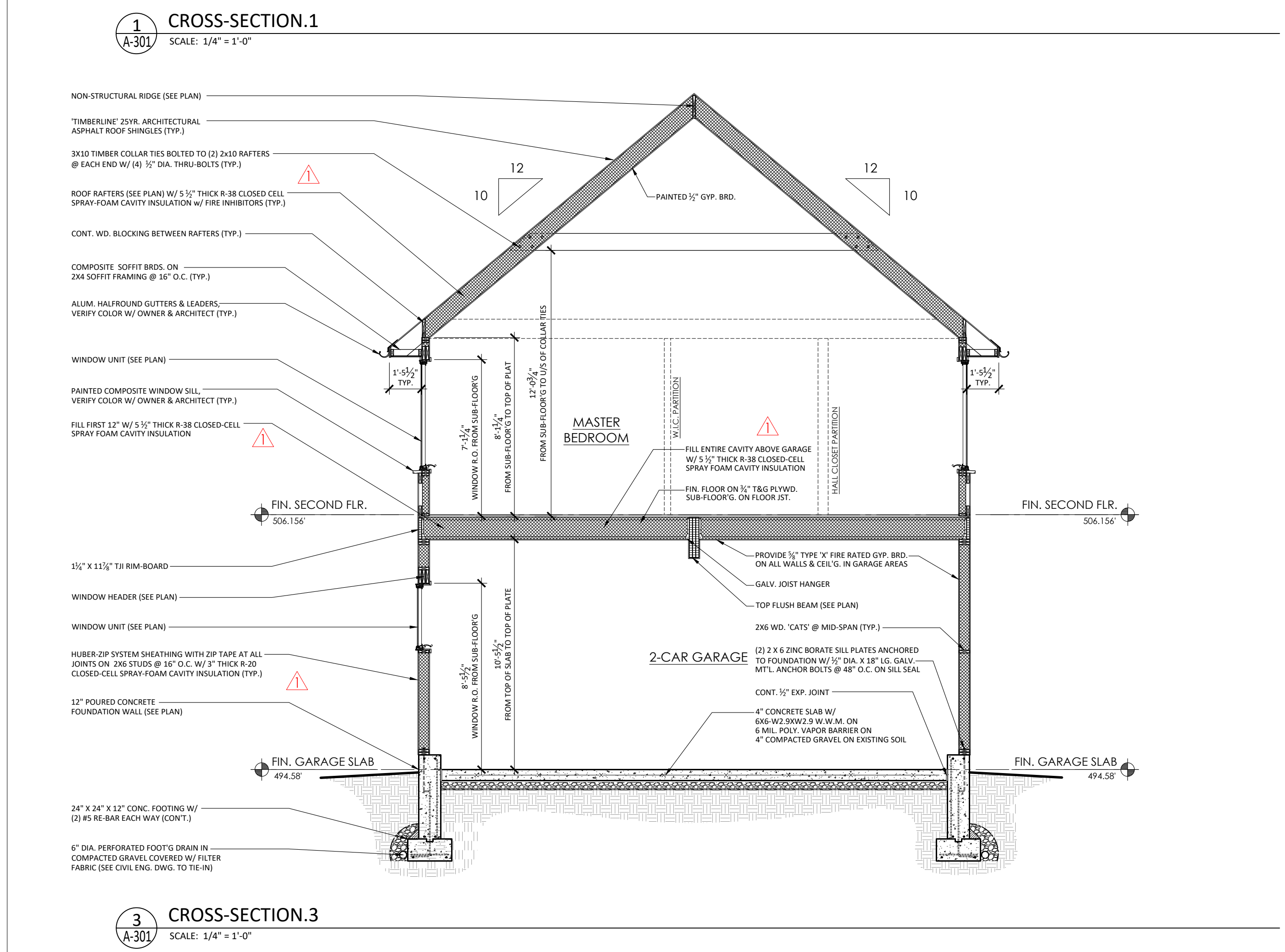
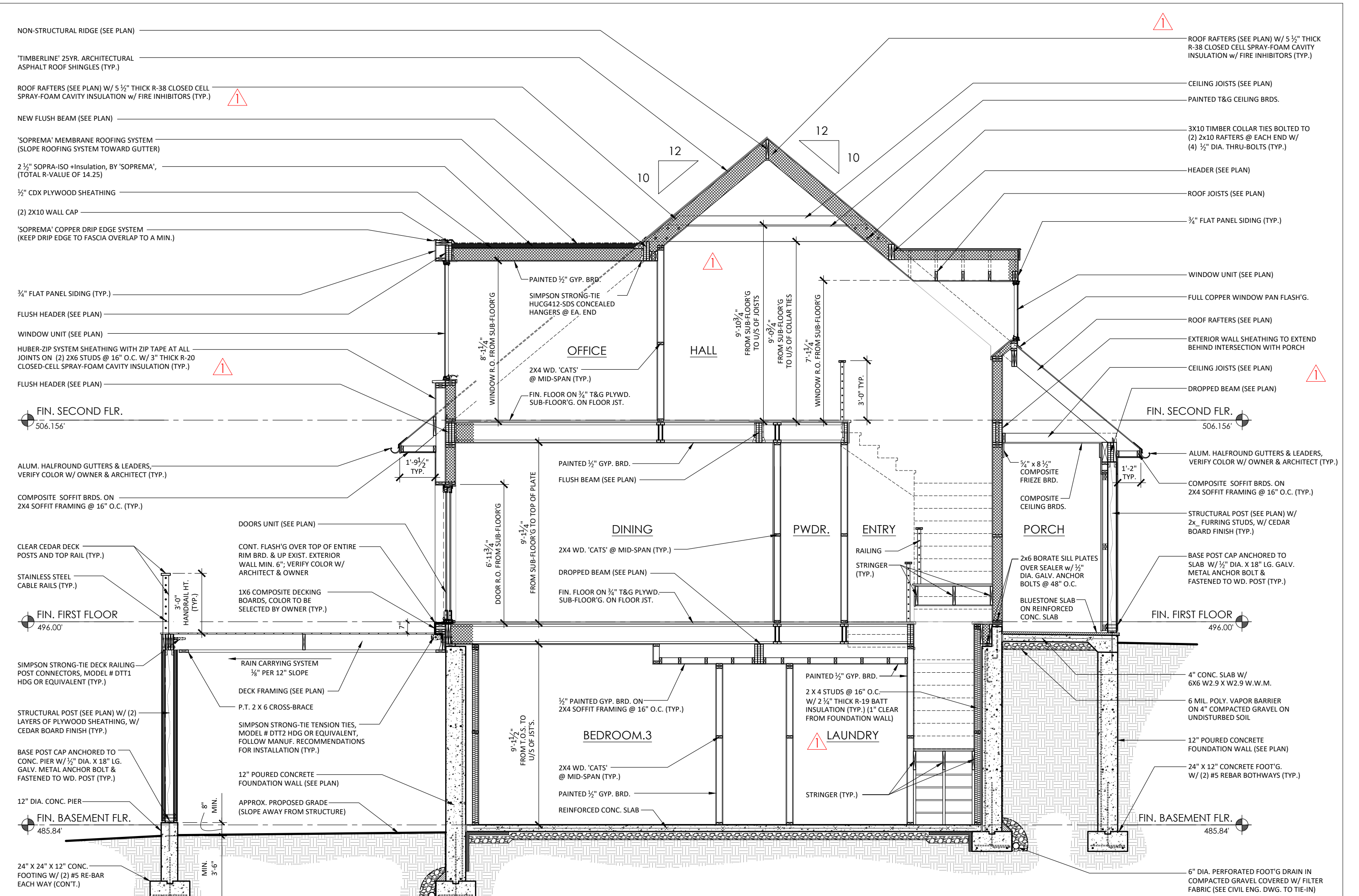
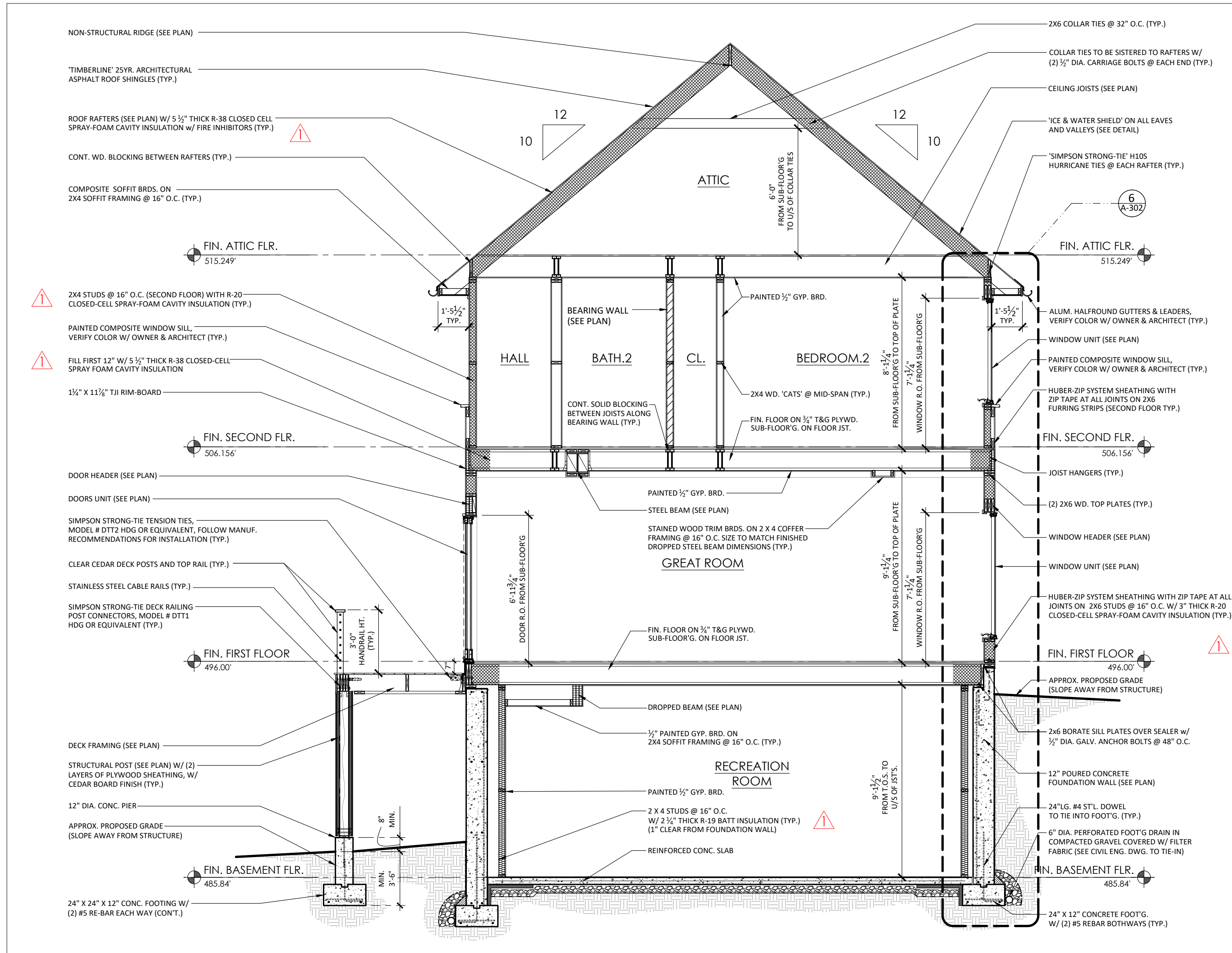

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NEW SINGLE-FAMILY RESIDENCE FOR:
 MRL 11 WHIPPOORWILL LLC
 11 WHIPPOORWILL LN, ARMONK, NY 10504
 EXTERIOR EAST & WEST ELEVATIONS



1
A-204
EXTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Drawn	JV
Checked	
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	A-204



Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
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REV. 2: NEW OWNERSHIP	01.04.24

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NEW SINGLE-FAMILY RESIDENCE FOR:
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11 WHIPPOORWILL LN, ARMONK, NY 10504

BUILDING SECTIONS

JV Drawn
Checked
Date
08.12.20
Scale
AS NOTED
Job Number
2021
Sheet

A-301

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV. 1: DOB COMMENTS	04.19.21
REV. 2: NEW OWNERSHIP	01.04.24

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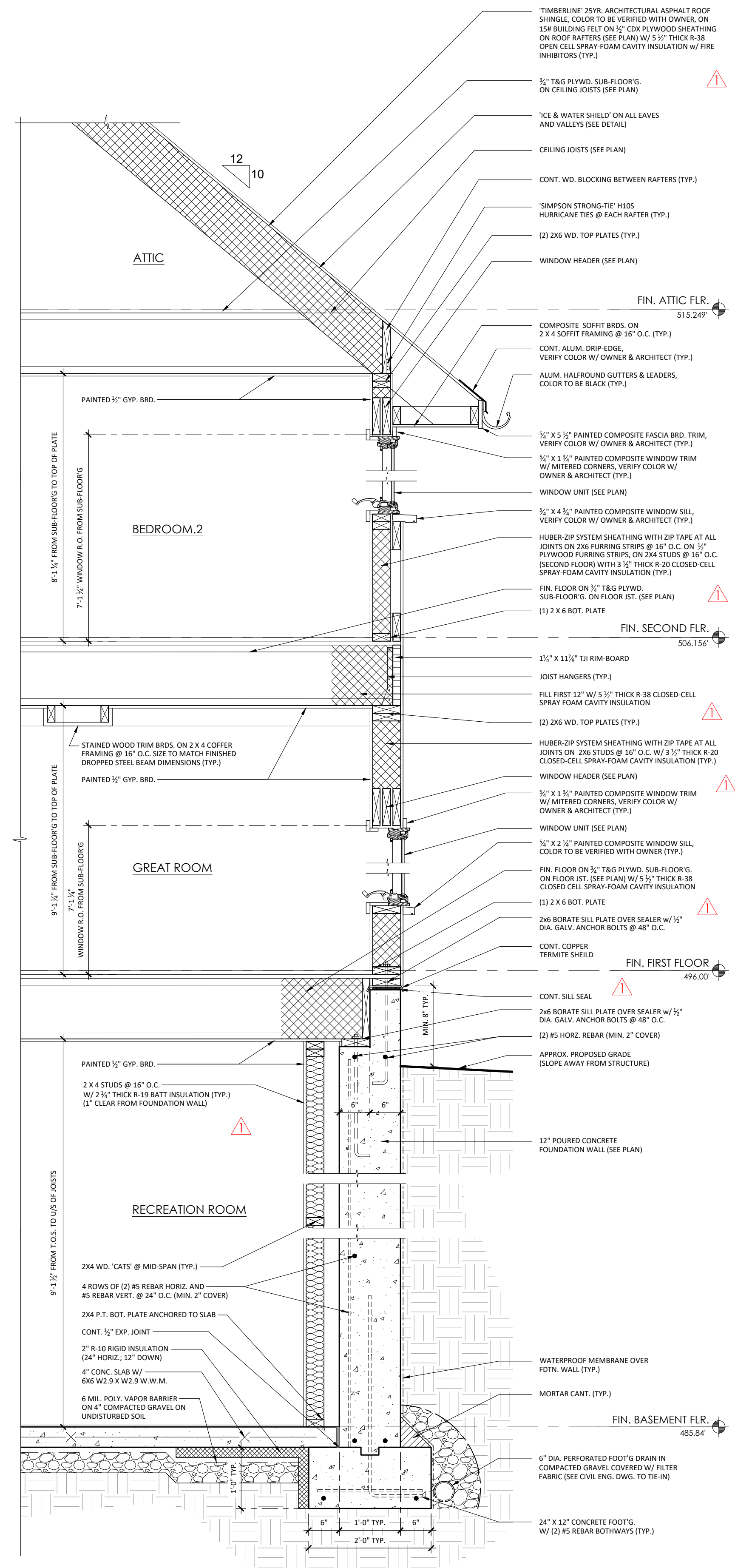
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MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

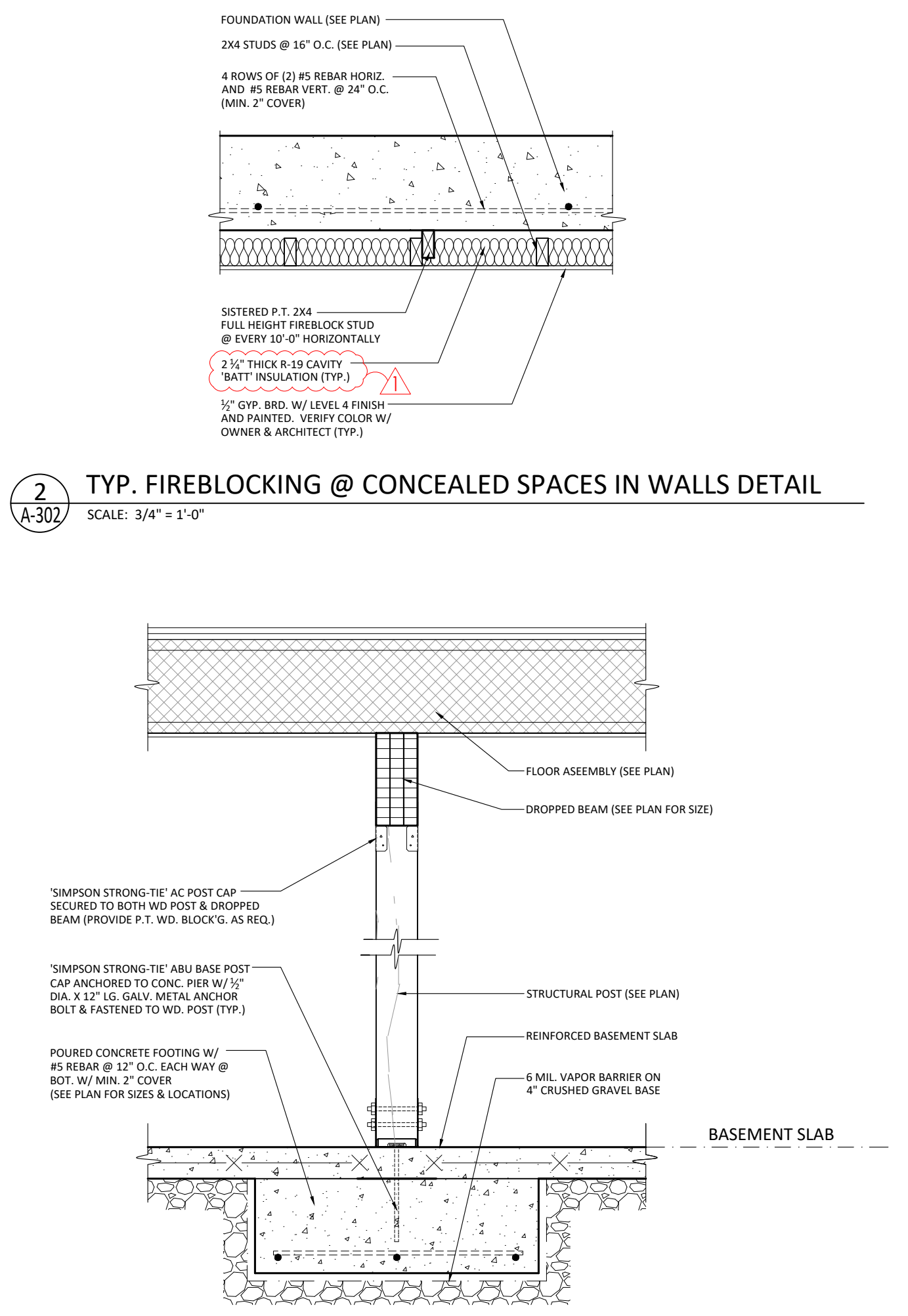
BUILDING SECTIONS; DETAILS

JV	Drawn
Ⓜ	Checked
	Date
08.12.20	Scale
AS NOTED	Job Number
2021	Sheet

A-302

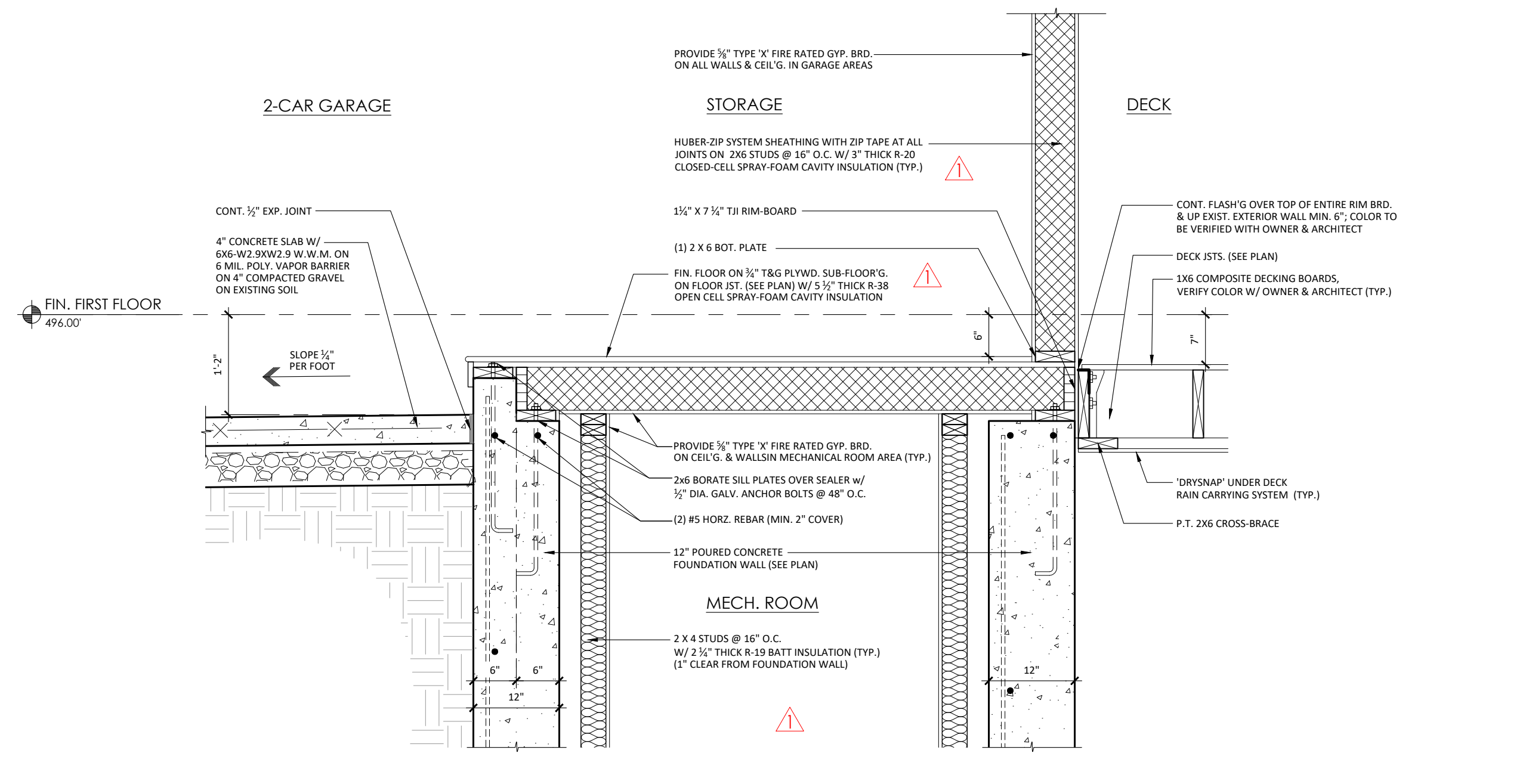


6 TYP. WALL SECTION
SCALE: 3/4" = 1'-0"

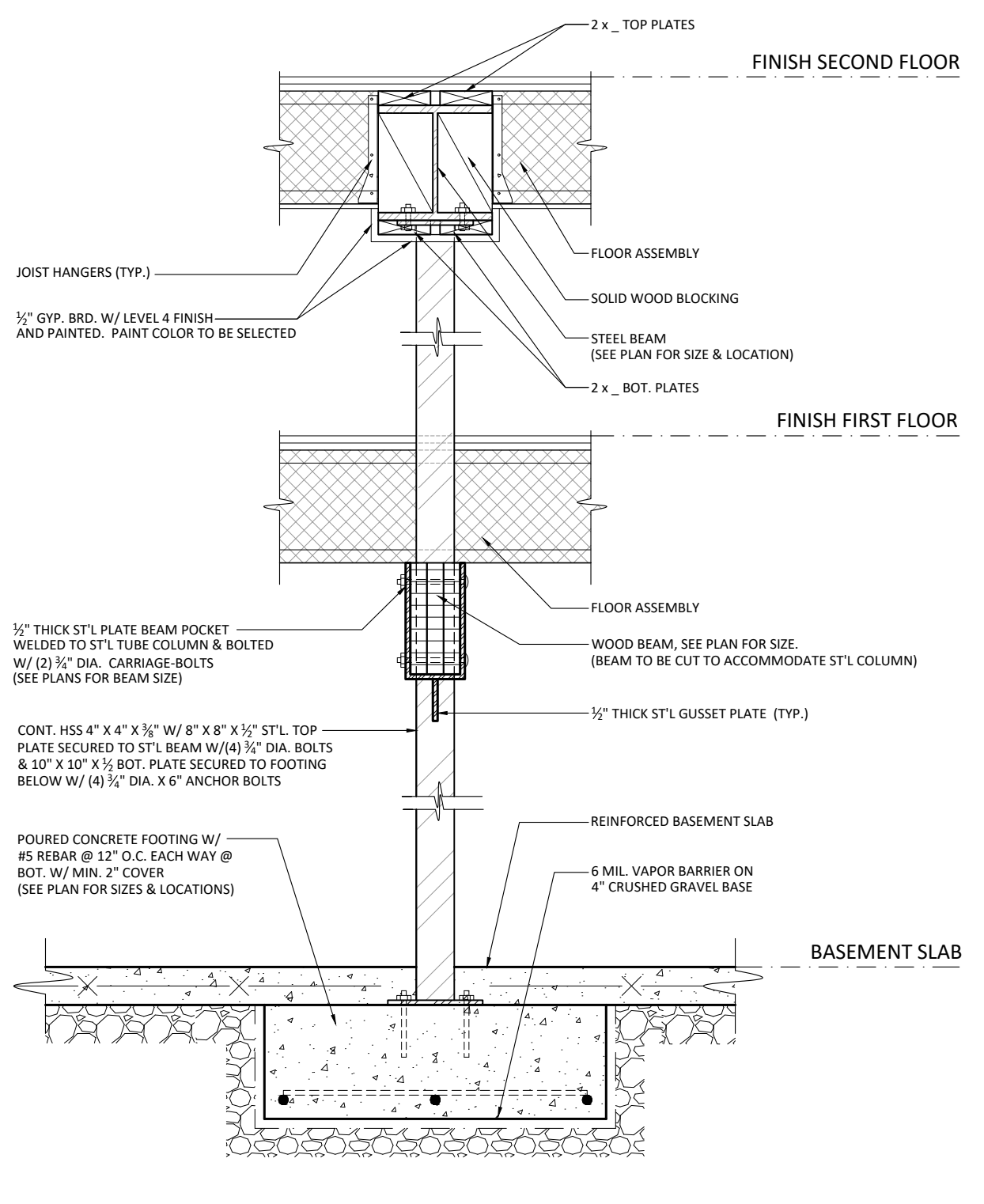


3 STRUCTURAL POST / FOOTING CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

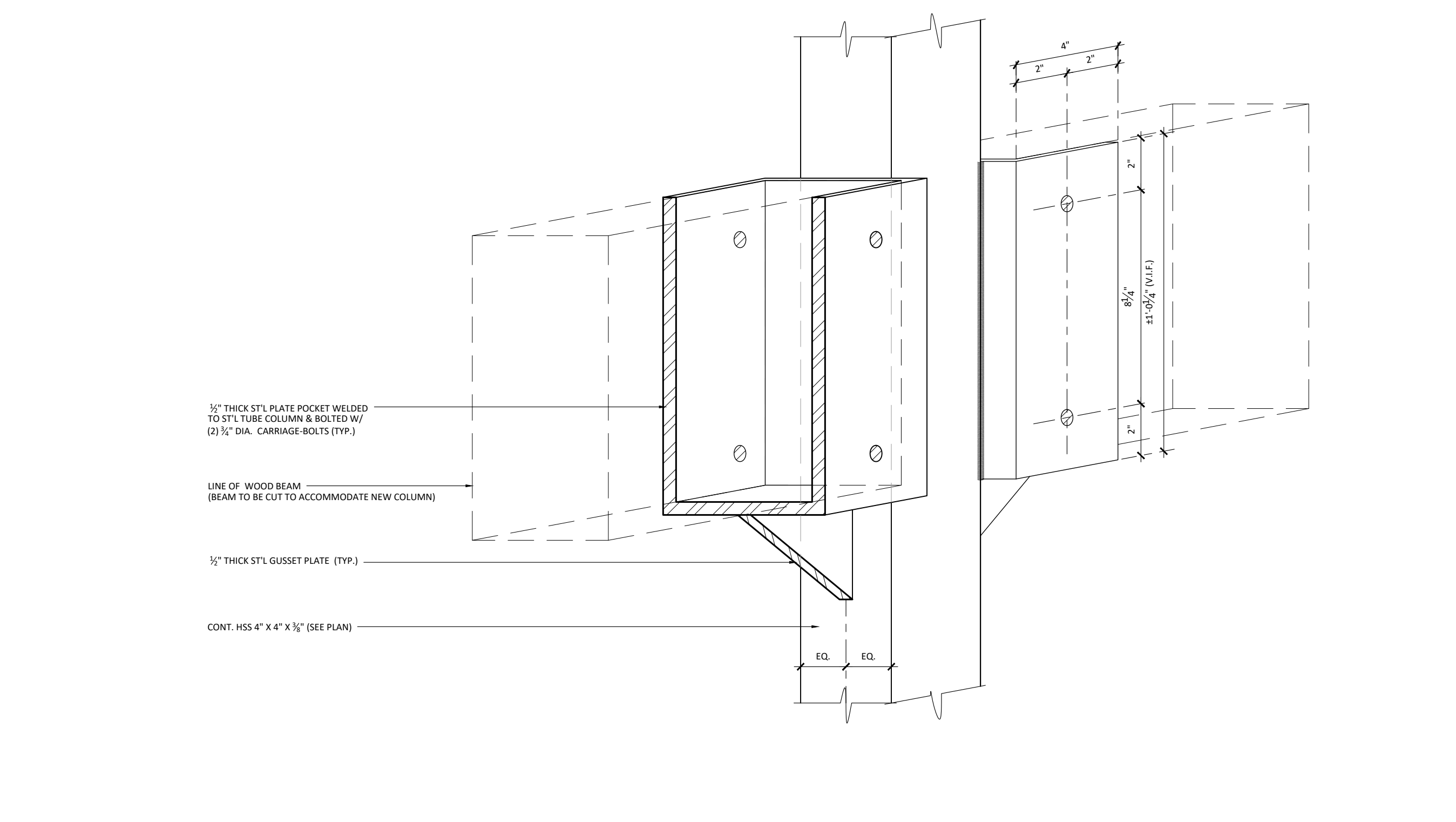
2 TYP. FIREBLOCKING @ CONCEALED SPACES IN WALLS DETAIL
SCALE: 3/4" = 1'-0"



1 TYP. SECTION @ GARAGE / STORAGE
SCALE: 3/4" = 1'-0"



4 STEEL BEAM / STEEL COLUMN CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



5 STEEL PLATE BEAM POCKET / STEEL COLUMN CONNECTION DETAIL
SCALE: 3\"/>

EXTERIOR WINDOW SCHEDULE

MARK	MANUFACTURER	COUNT (MODEL NUMBER)	UNIT DESCRIPTION	ROUGH OPENING (WIDTH X HEIGHT)	DIVIDED LIGHT (WIDTH X HEIGHT)	U-FACTOR	SHGCs	REMARKS
01	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	TEMPERED GLASS
02	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	TEMPERED GLASS
03	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	TEMPERED GLASS
04	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	TEMPERED GLASS
05	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	TEMPERED GLASS
06	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	TEMPERED GLASS
07			NOT IN USE					
08			NOT IN USE					
09	MARVIN	ELCA2535 E	CASEMENT WINDOW	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
10	MARVIN	ELCA2535 E	CASEMENT WINDOW	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
11	MARVIN	ELCA2535 E	CASEMENT WINDOW	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
12	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	
13	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	
14	MARVIN	ELCA2935	CASEMENT WINDOW (FIXED)	2'-5" X 2'-11 1/2"	2 X 2	0.28	0.32	
15	MARVIN	ELCA2935	CASEMENT WINDOW (FIXED)	2'-5" X 2'-11 1/2"	2 X 2	0.28	0.32	
16	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	EGRESS
17	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS
18	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS
19	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	EGRESS
20			NOT IN USE					
21	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	
22	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	
23			NOT IN USE					
24	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 5'-11 1/2"	2 X 2	0.28	0.32	
25	MARVIN	(4) ELCA3731 ET	(4) MULLED CASEMENT WINDOW	12'-1" X 6'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS
26	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	TEMPERED GLASS
27	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	TEMPERED GLASS
28	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS, TEMPERED GLASS
29	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS
30	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS
31	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	EGRESS
32	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	EGRESS
33	MARVIN	ELCA3759 E	CASEMENT WINDOW	3'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	EGRESS
34	MARVIN	ELCA2535 E	CASEMENT WINDOW	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
35	MARVIN	ELCA2535 E	CASEMENT WINDOW (FIXED)	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
36	MARVIN	ELCA2535 E	CASEMENT WINDOW (FIXED)	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
37	MARVIN	ELCA2535 E	CASEMENT WINDOW (FIXED)	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
38	MARVIN	ELCA2535 E	CASEMENT WINDOW (FIXED)	2'-1" X 2'-11 1/2"	2 X 2	0.28	0.32	
39	MARVIN	(3) ELCA3759 E	(3) MULLED CASEMENT WINDOW	9'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	TEMPERED
40	MARVIN	(2) ELCA3759 E	(2) MULLED CASEMENT WINDOW	6'-1" X 4'-11 1/2"	2 X 2 (EACH UNIT)	0.28	0.32	EGRESS
41	MARVIN	ELCA2559	CASEMENT WINDOW (FIXED)	2'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	
42	MARVIN	ELCA2559	CASEMENT WINDOW (FIXED)	2'-1" X 4'-11 1/2"	2 X 2	0.28	0.32	

NOTES

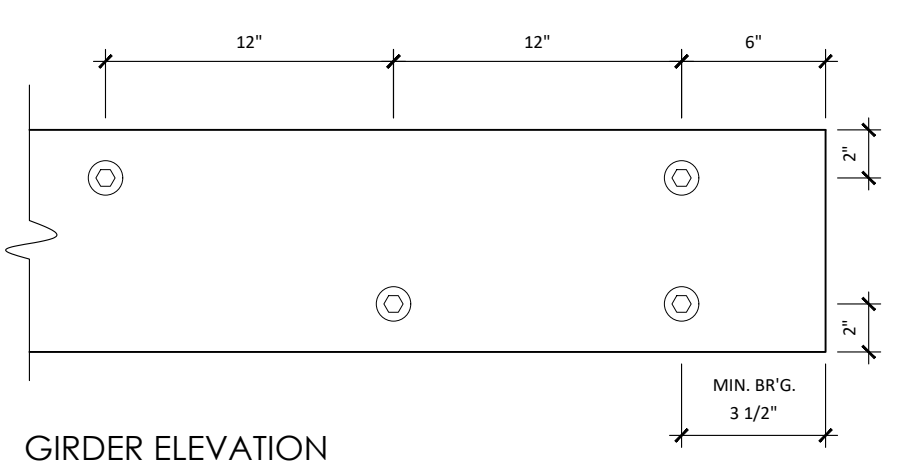
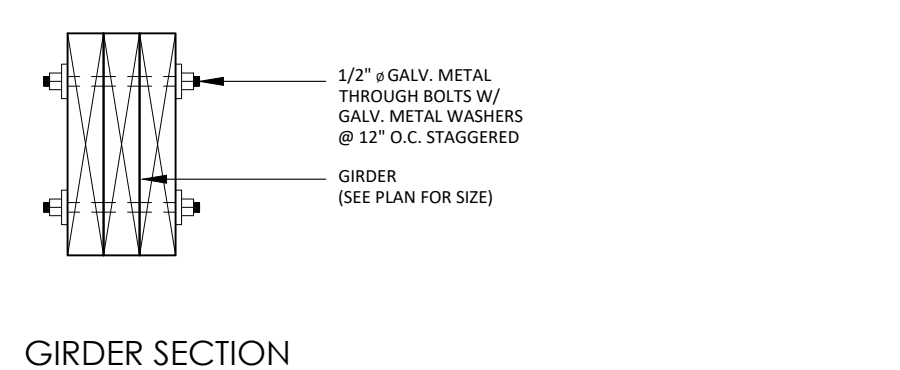
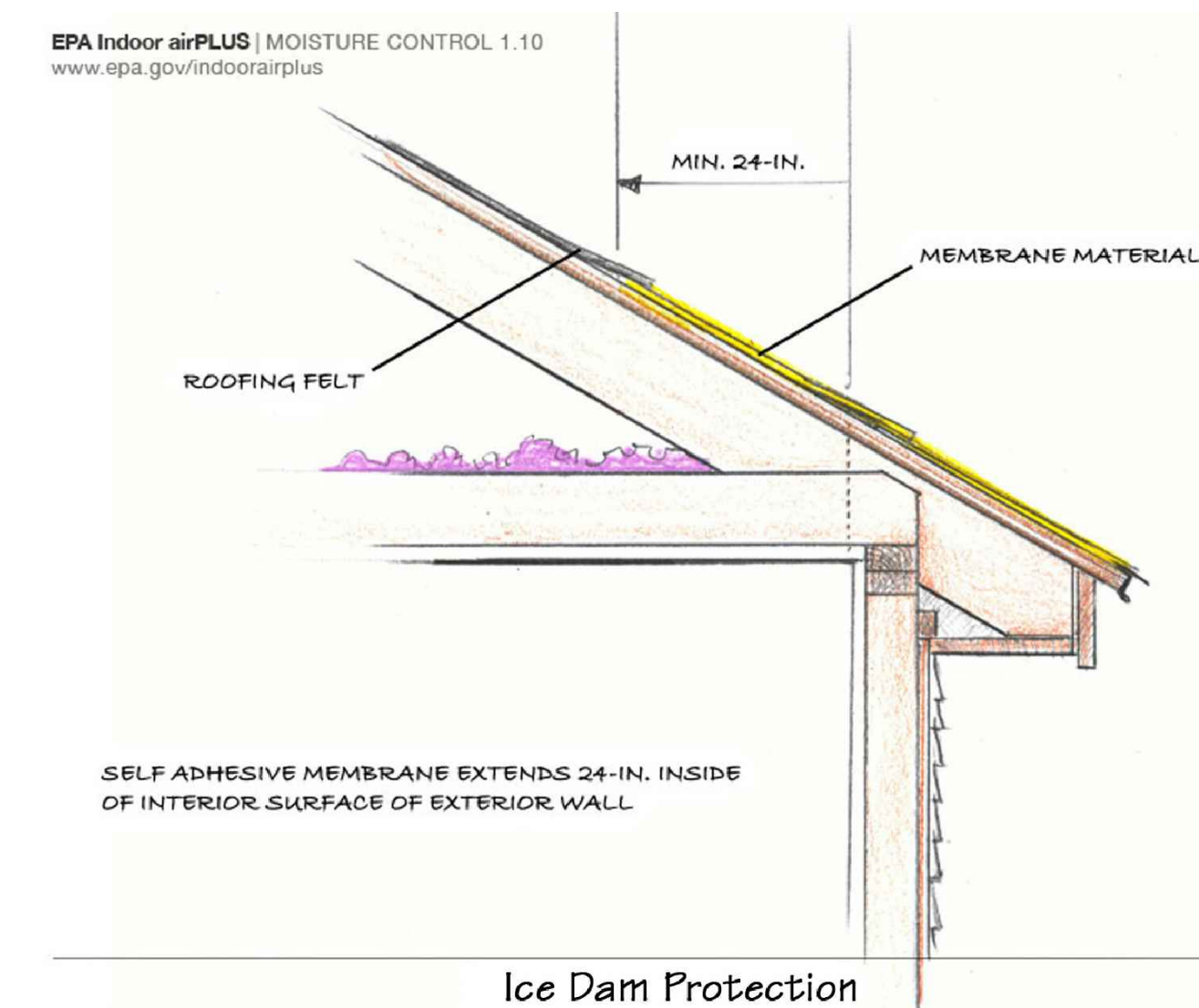
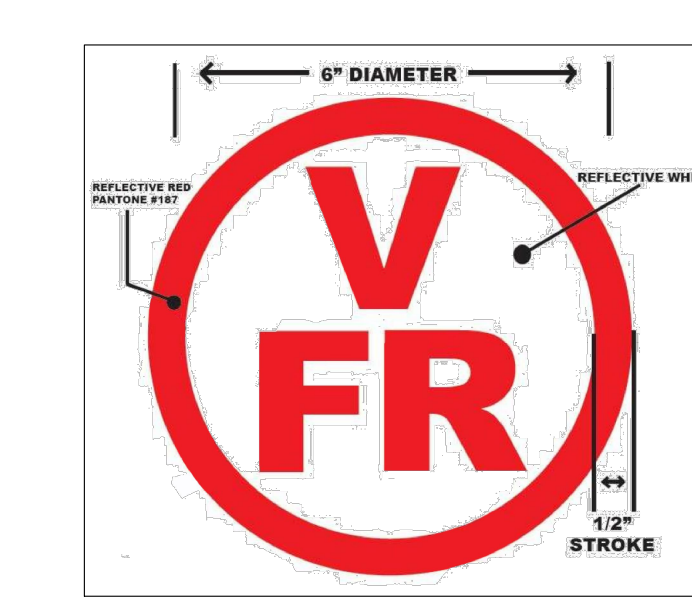
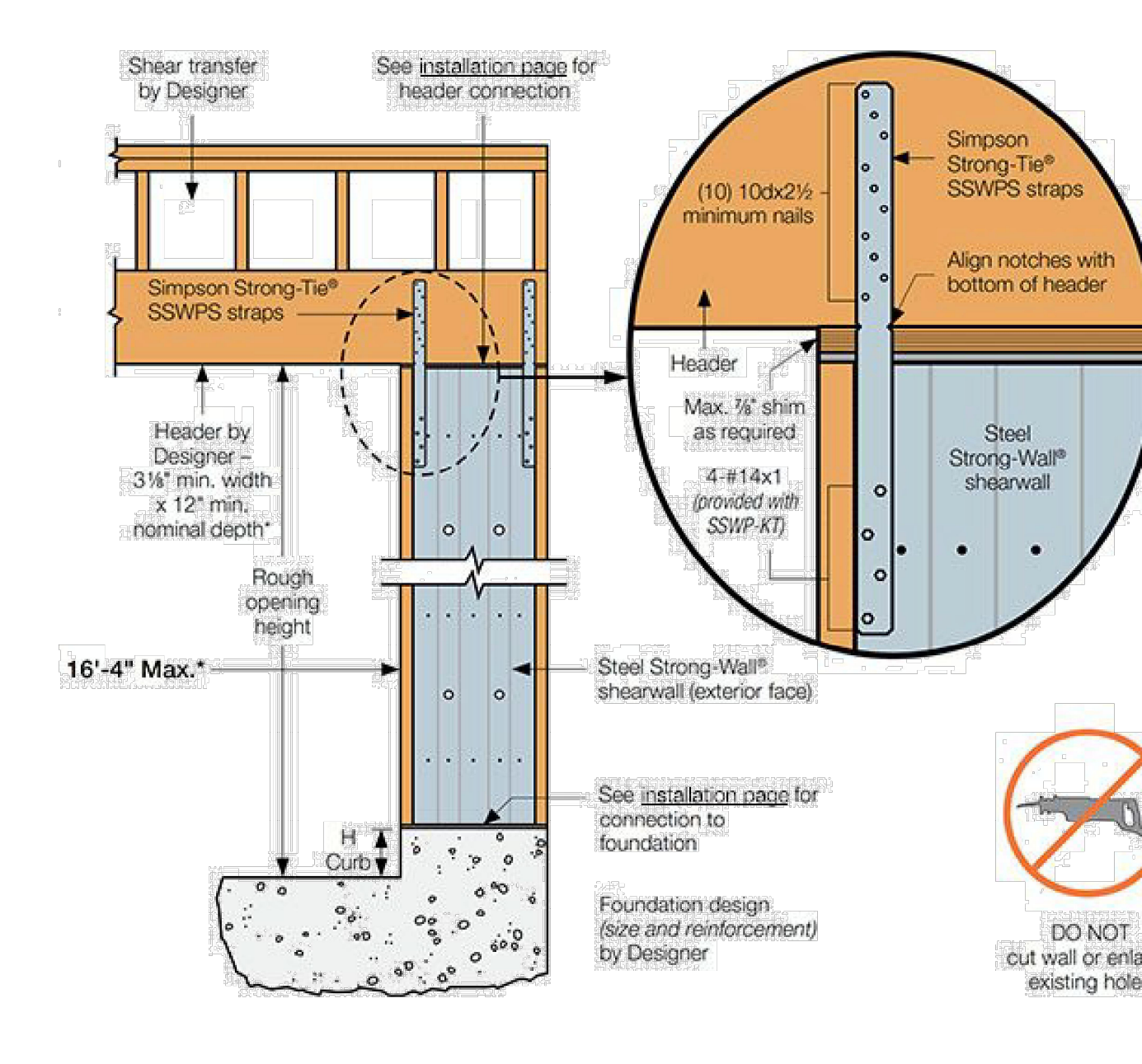
- WINDOWS TO BE "MARVIN-ELEVATE SERIES". SEE SCHEDULE FOR WINDOW UNIT TYPE.
- GLASS TO BE CLEAR DOUBLE PANE W/ LOW E.
- INTERIOR FINISH TO BE PINE UNFINISHED. TO BE FIELD PRIMED & PAINTED BY CONTRACTOR.
- TRADITIONAL FOLDING HANDLE HARDWARE (CASEMENT) & STANDARD LOCK & KEYS (DOUBLE HUNG) HARDWARE. HARDWARE COLOR TO BE "SATIN NICKEL".
- EXTERIOR FINISH TO BE "EBONY W/ STANDARD ELEVATE" INSECT SCREEN ON OPERABLE WINDOWS. INSECT SCREEN FRAME COLOR TO BE "EBONY" VERIFY W/ ARCHITECT.
- GRILLE TYPE SHALL BE 1/2" SOL W/ SPACE BAR. COLOR TO BE "EBONY".
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING WINDOW ORDER.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO RELEASING WINDOW ORDER AND FRAMING WINDOW ROUGH-OPENING.
- CONTRACTOR TO SEAL PERIMETER OF ALL WINDOWS AND TRIM WITH CAULK. VERIFY CAULK COLOR WITH ARCHITECT.
- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL WINDOWS.

EXTERIOR DOOR SCHEDULE

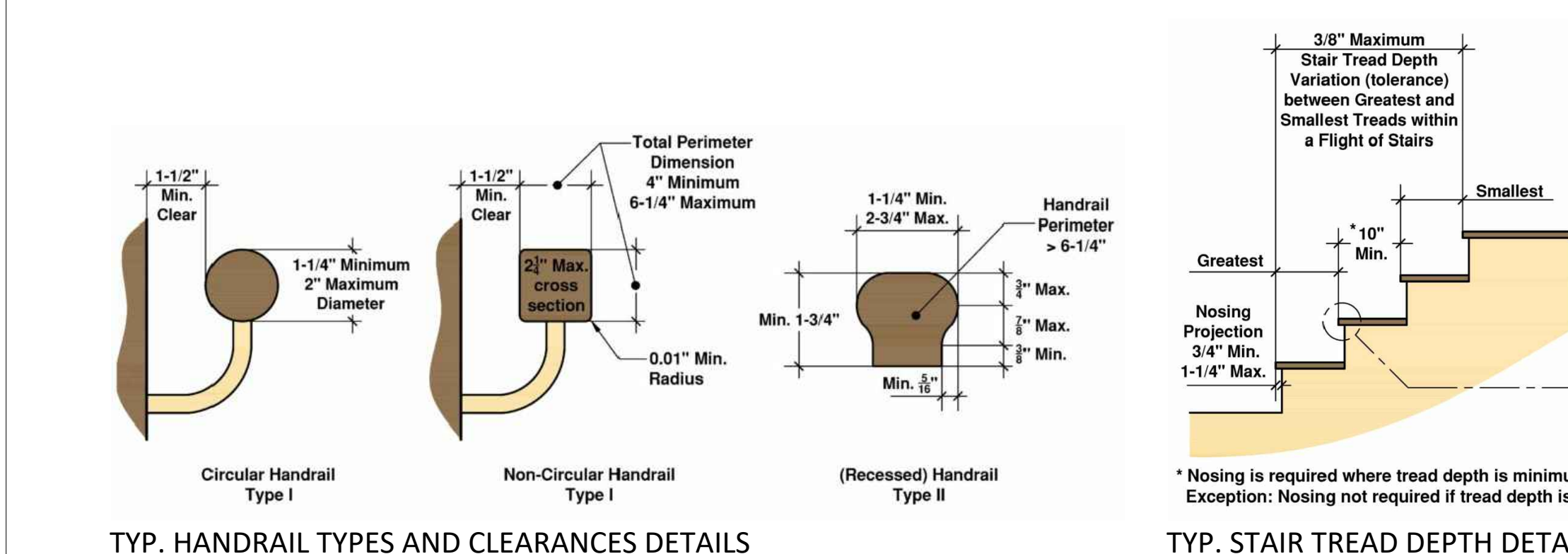
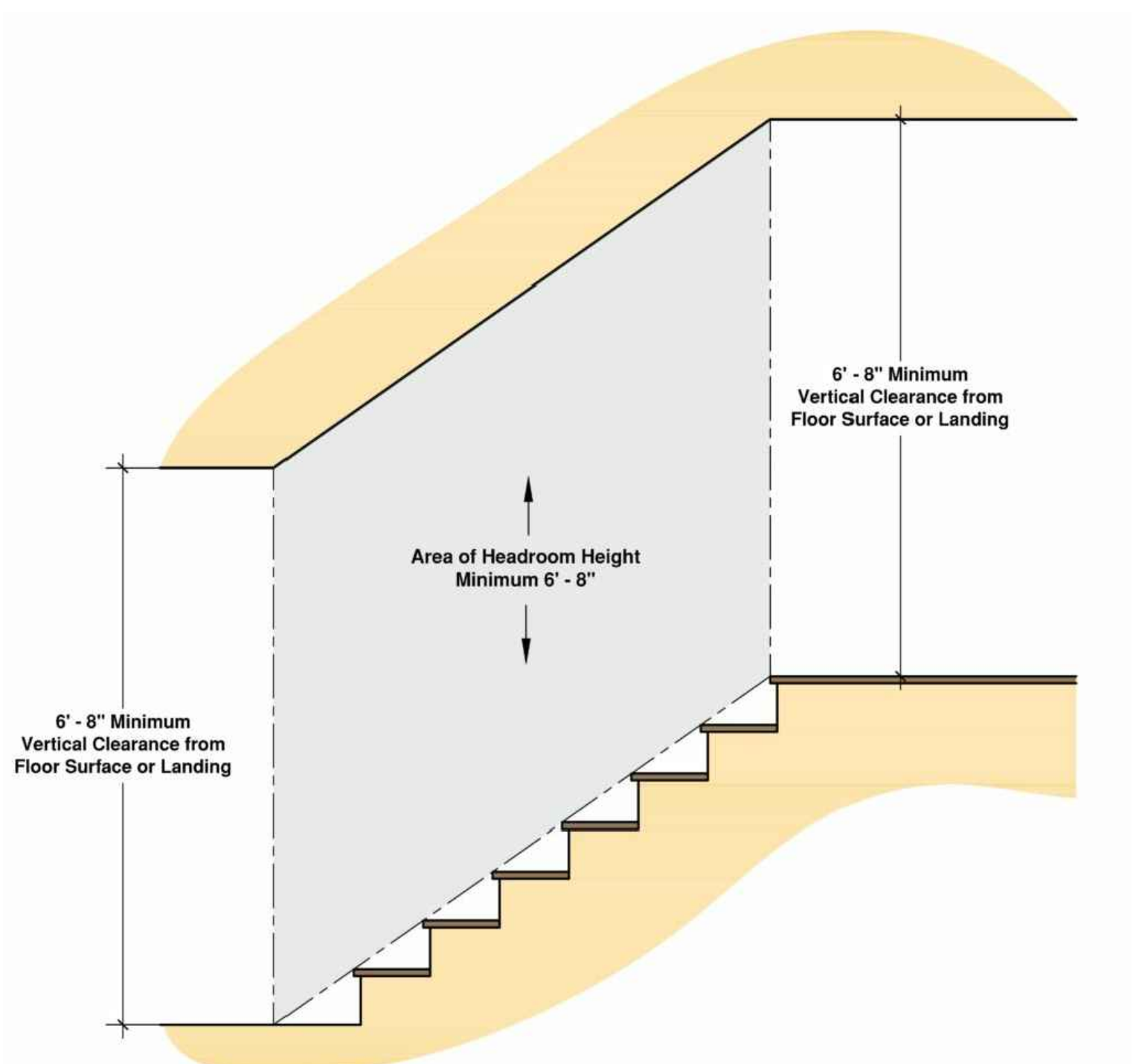
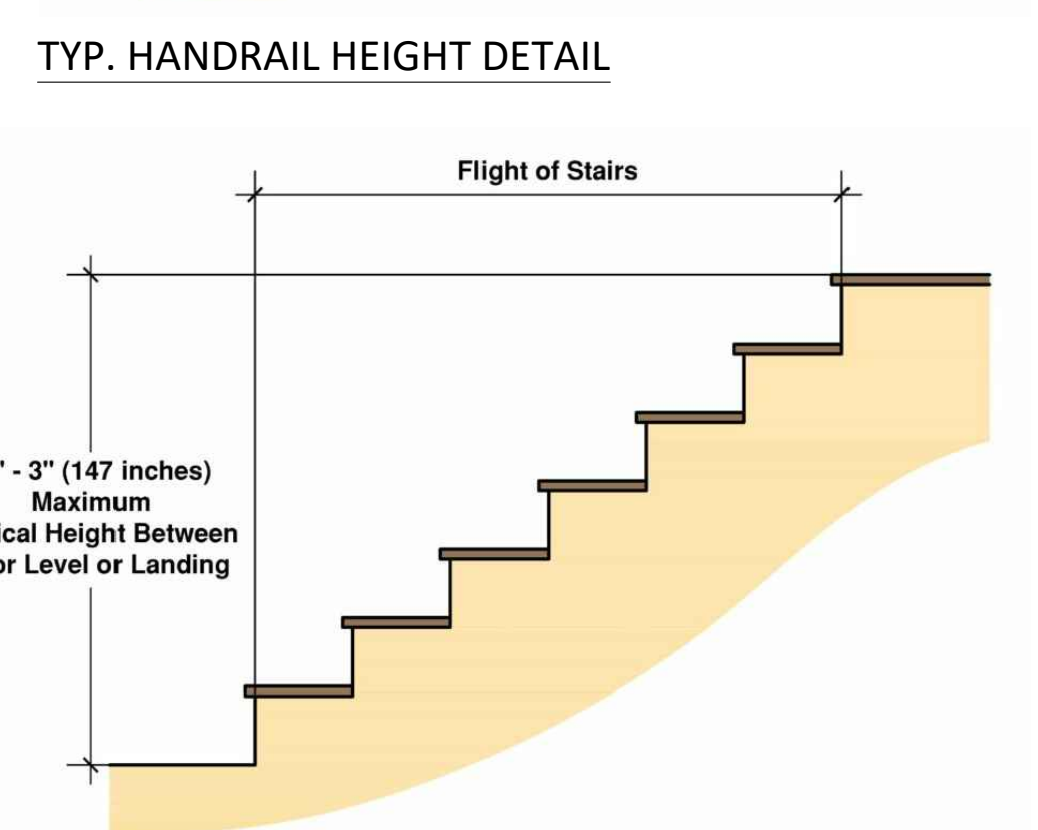
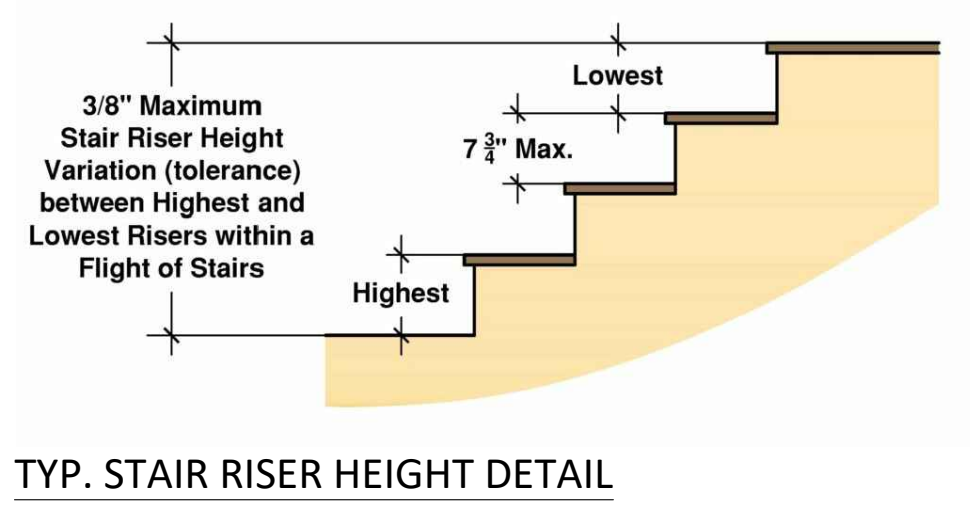
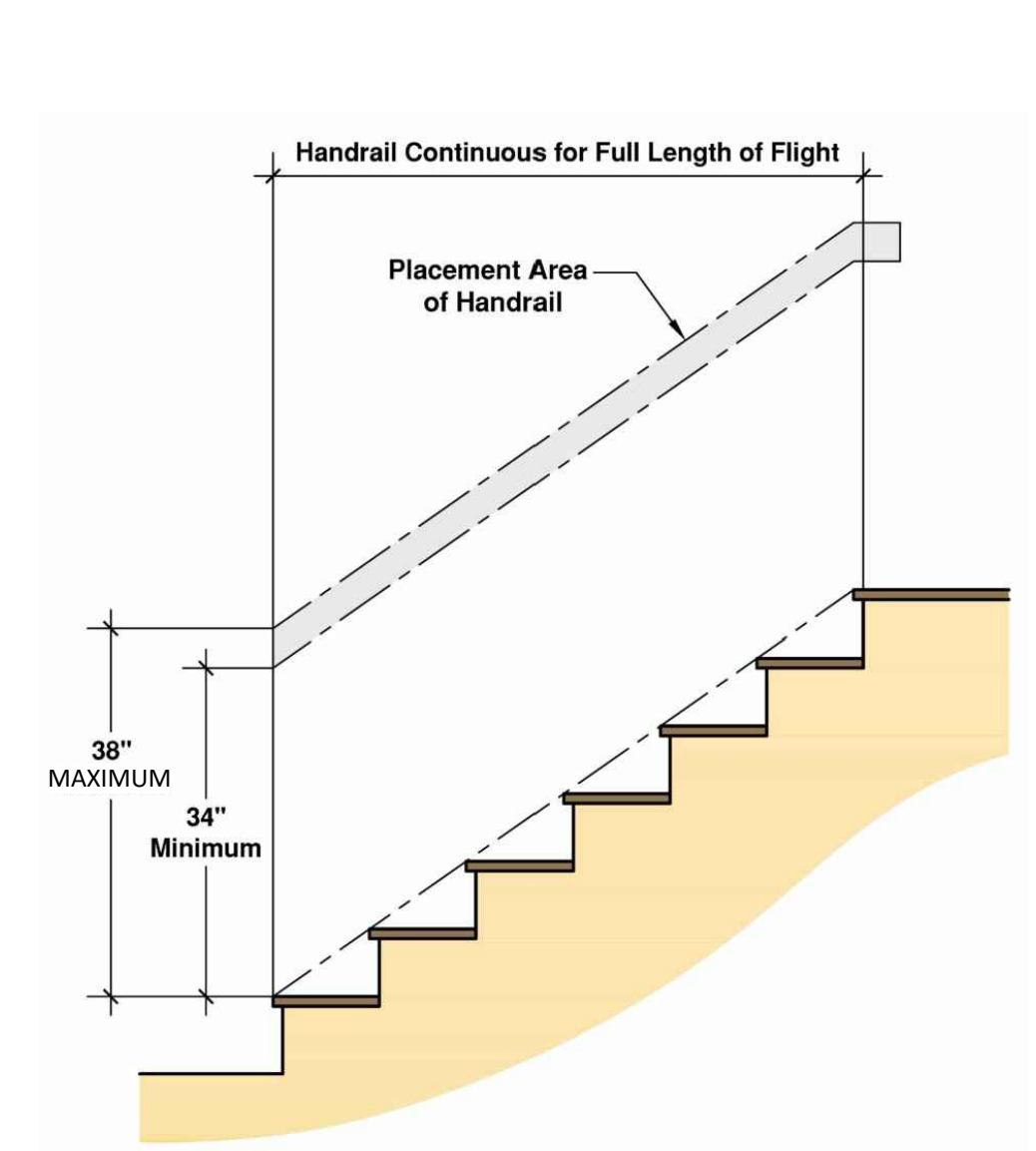
MARK	MANUFACTURER	COUNT (MODEL NUMBER)	UNIT DESCRIPTION	ROUGH OPENING (WIDTH X HEIGHT)	DIVIDED LIGHT (WIDTH X HEIGHT)	U-FACTOR	SHGCs	REMARKS
01	T.B.D.	T.B.D.	3'-6" X 7'-0" CUSTOM WHITE OAK ENTRY DOOR	VERIFY W/ MANUF.	N/A			NATURAL STAIN; SATIN FINISH
02	MARVIN	ELSPD12068 OXKO	SLIDING PATIO DOORS	11'-10" X 6'-10 1/2"	N/A	0.30	0.40	CLEAR LOW-E GLASS; TEMPERED
03	MARVIN	ELSPD0608 OX	SLIDING PATIO DOORS	6'-0" X 6'-10 1/2"	N/A	0.30	0.40	CLEAR LOW-E GLASS; TEMPERED
04	MARVIN	ELSPD12068 OXKO	SLIDING PATIO DOORS	11'-10" X 6'-10 1/2"	N/A	0.30	0.40	CLEAR LOW-E GLASS; TEMPERED
05	T.B.D.	T.B.D.	9'-0" X 7'-0" OVERHEAD WHITE OAK GARAGE DOOR	VERIFY W/ MANUF.	GLASS PANEL (SEE ELEVATIONS)			NATURAL STAIN; SATIN FINISH
06	T.B.D.	T.B.D.	9'-0" X 7'-0" OVERHEAD WHITE OAK GARAGE DOOR	VERIFY W/ MANUF.	GLASS PANEL (SEE ELEVATIONS)			NATURAL STAIN; SATIN FINISH
07	T.B.D.	T.B.D.	3'-0" X 7'-0" CUSTOM WHITE OAK ENTRY DOOR	VERIFY W/ MANUF.	N/A			NATURAL STAIN; SATIN FINISH
08	MARVIN	ELSPD0608 XO	SLIDING PATIO DOORS	6'-0" X 6'-10 1/2"	N/A	0.30	0.40	

NOTES

- DOORS TO BE "MARVIN-ELEVATE SERIES". UNLESS NOTED OTHERWISE:
- INTERIOR FINISH TO BE "PINE UNFINISHED". TO BE FIELD PRIMED & PAINTED BY CONTRACTOR.
- EXTERIOR FINISH TO BE "EBONY W/ STANDARD ELEVATE" SLIDING INSECT SCREEN.
- GLASS TO BE TEMPERED CLEAR DOUBLE PANE W/ LOW E.
- GRILLE TYPE SHALL BE 1/2" SOL W/ SPACE BAR. COLOR TO BE "EBONY".
- MAI TE BLACK NOBRIELED EXTERIOR HARDWARE.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING DOORS ORDER.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO RELEASING DOOR ORDER AND FRAMING DOOR ROUGH-OPENING.
- CONTRACTOR TO SEAL PERIMETER OF ALL WINDOWS AND TRIM WITH CAULK. VERIFY CAULK COLOR WITH ARCHITECT.
- UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL DOORS.



4 TYP. GIRDER DETAIL (FOR 3 OR MORE PLY'S)
SCALE: 1-1/2" = 1'-0"



Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV. 1: DOB COMMENTS	04.19.21
REV. 2: NEW OWNERSHIP	01.04.24

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303 westchester ave. • port chester • new york • 10573
E: 914.774.0534 • c: rallo@studioinc.com

NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

DOOR & WINDOW SCHEDULES: TYPICAL DETAILS

JV	Drawn
☐	Checked
	Date
08.12.20	Scale
AS NOTED	Job Number
2021	Sheet

A-303

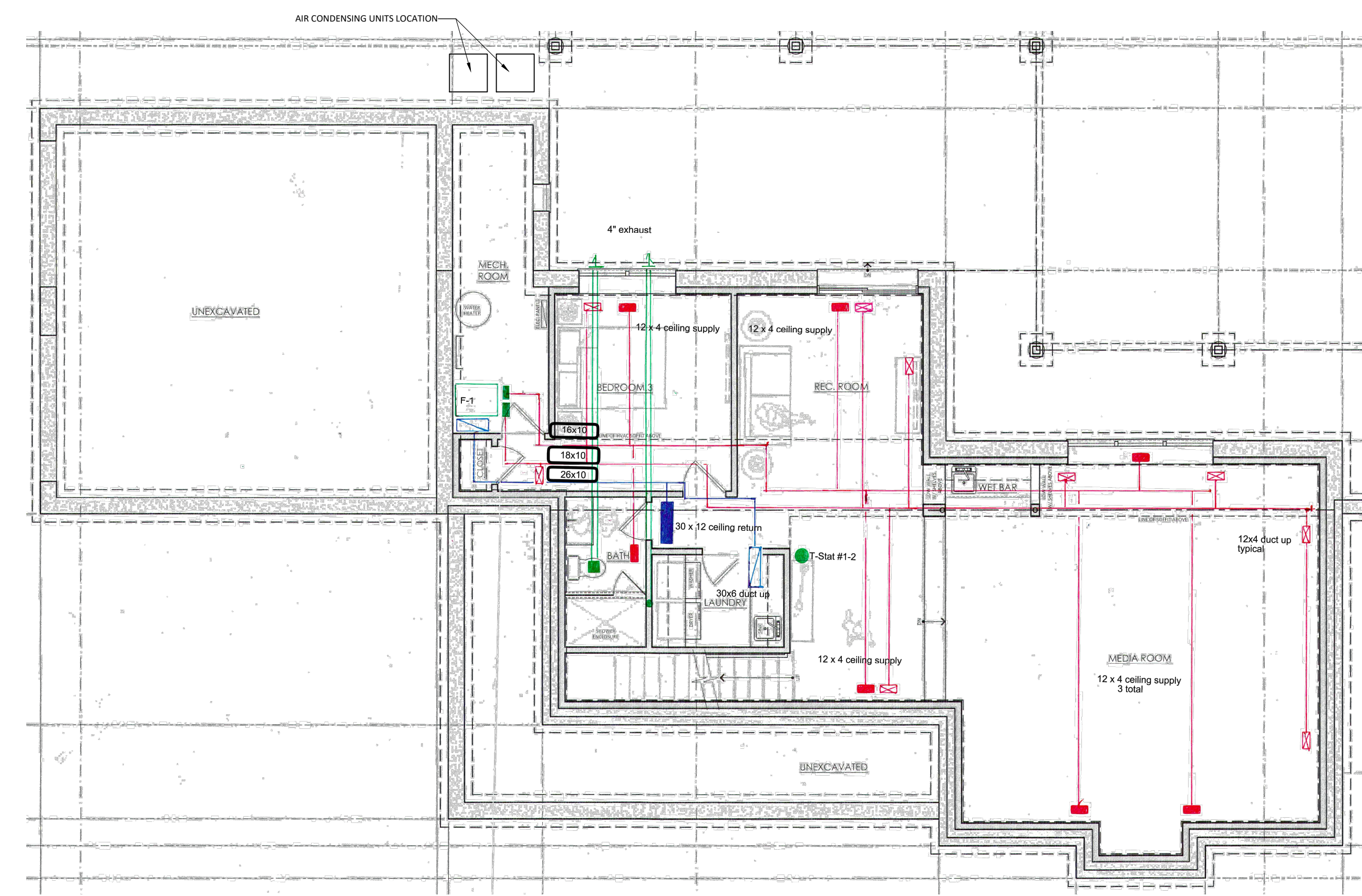
Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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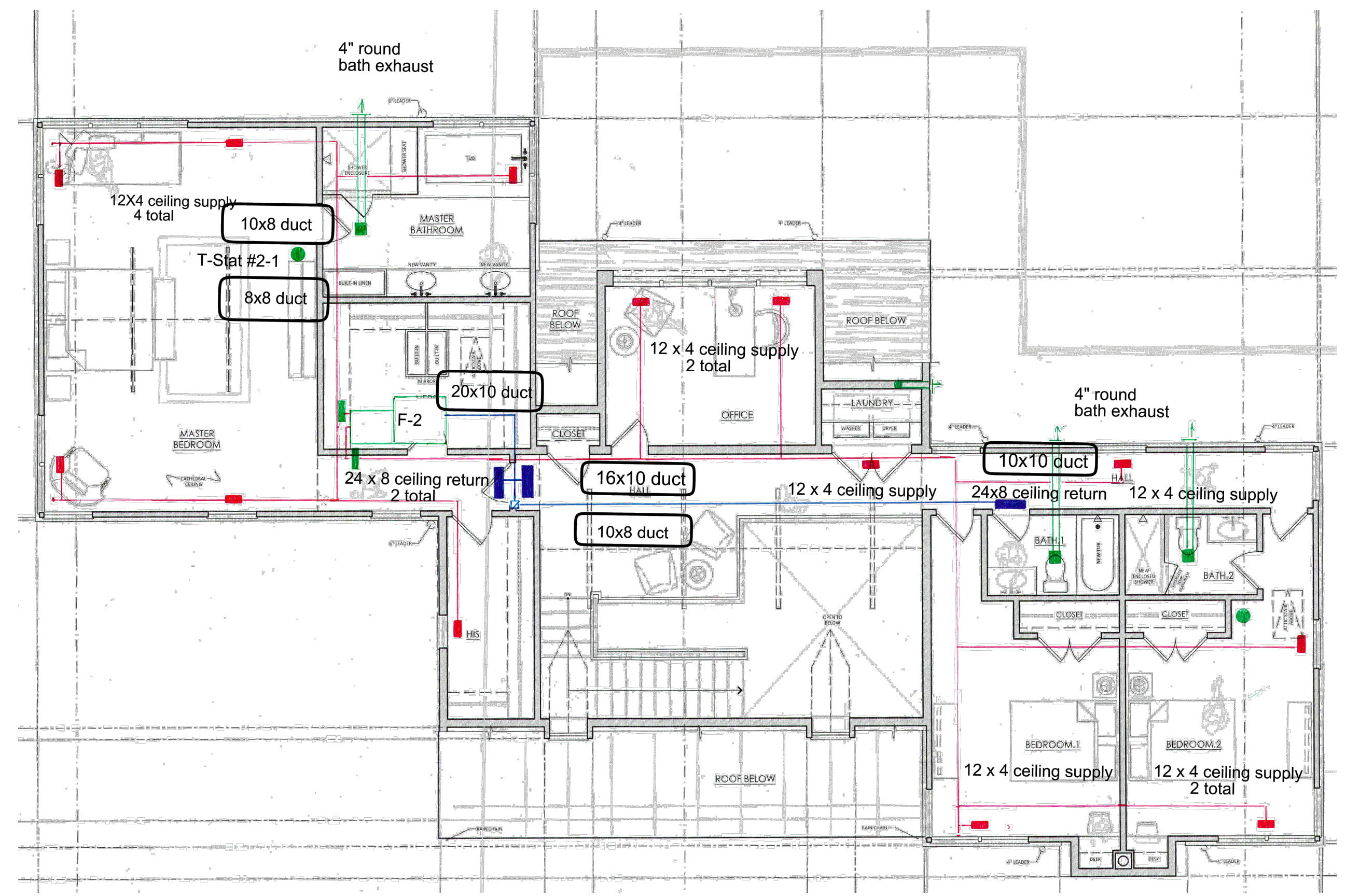
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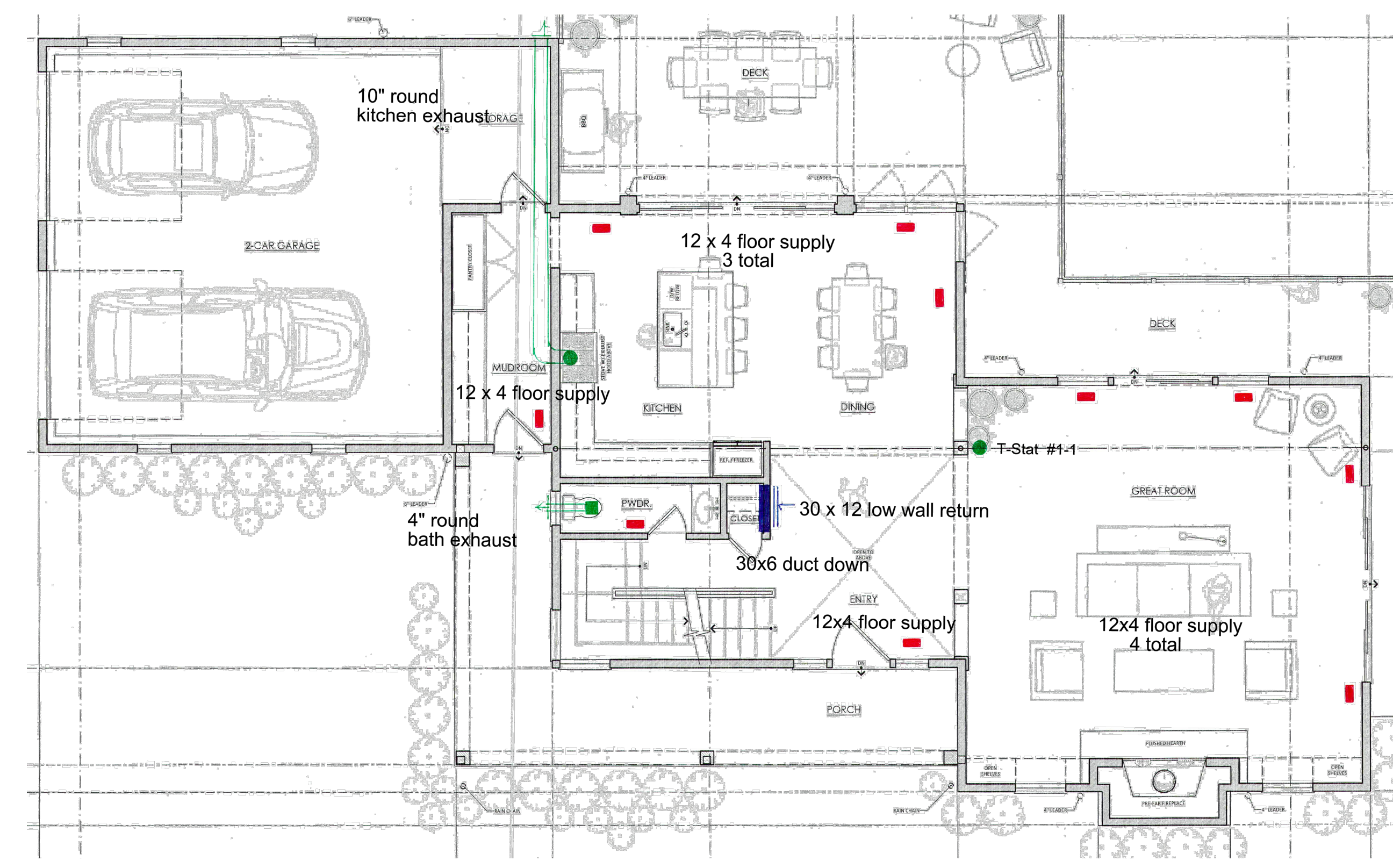
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E: 914.774.0534 • c: ralf@studioinc.com



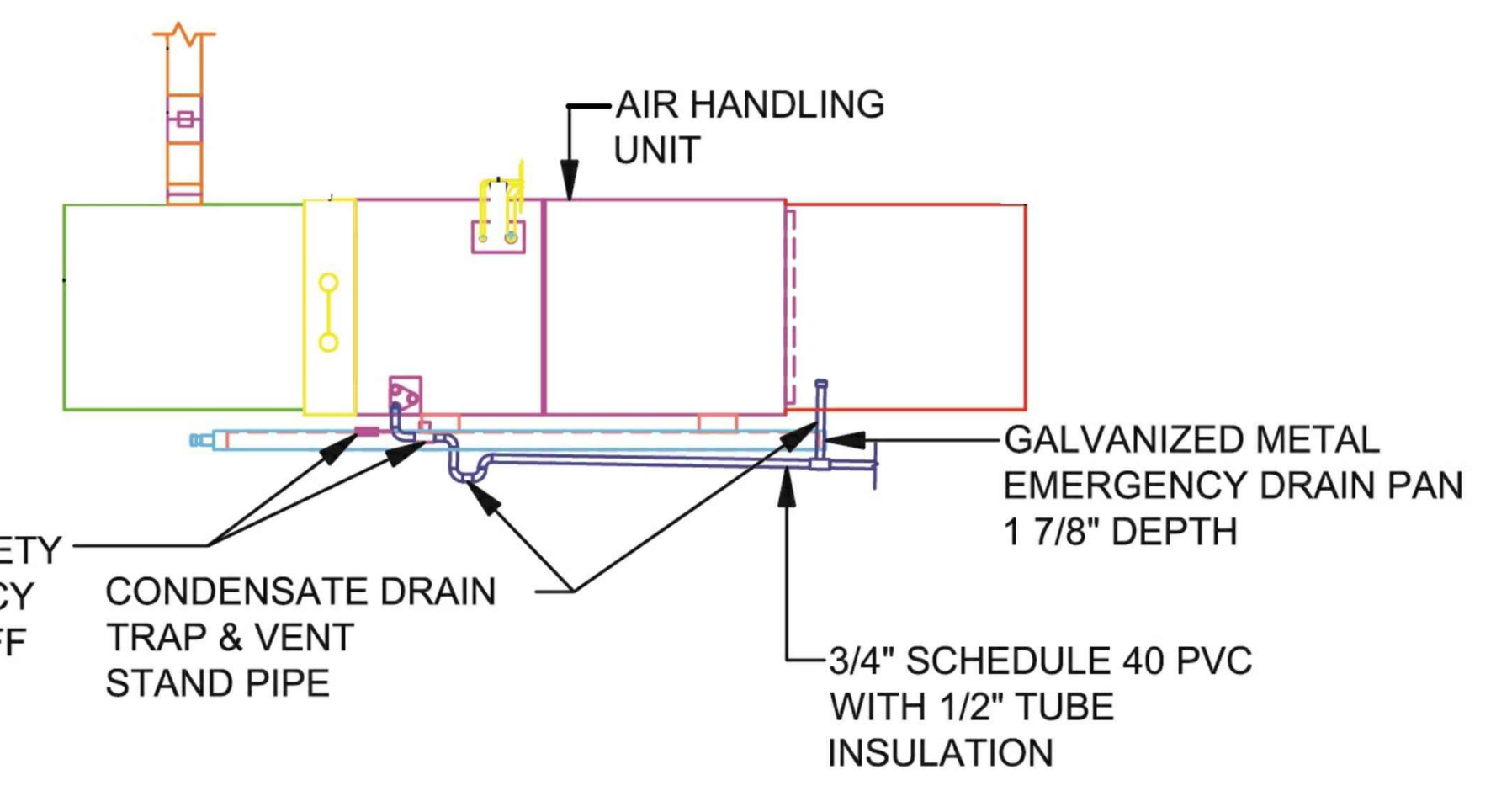
1 BASEMENT HVAC DIAGRAMMATIC PLAN
SCALE: N.T.S.



3 SECOND FLOOR HVAC DIAGRAMMATIC PLAN
SCALE: N.T.S.



2 FIRST FLOOR HVAC DIAGRAMMATIC PLAN
SCALE: N.T.S.



4 TYP. AIR HANDLER DETAIL
SCALE: N.T.S.

NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

HVAC DIAGRAMS

JV	Drawn
JD	Checked
08.12.20	Date
AS NOTED	Scale
2021	Job Number
	Sheet

A-401

Status	Date
SUBMITTED TO RPRC	12.04.20
SUBMITTED FOR PERMIT	01.21.20
REV.1: DOB COMMENTS	04.19.21
REV.2: NEW OWNERSHIP	01.04.24

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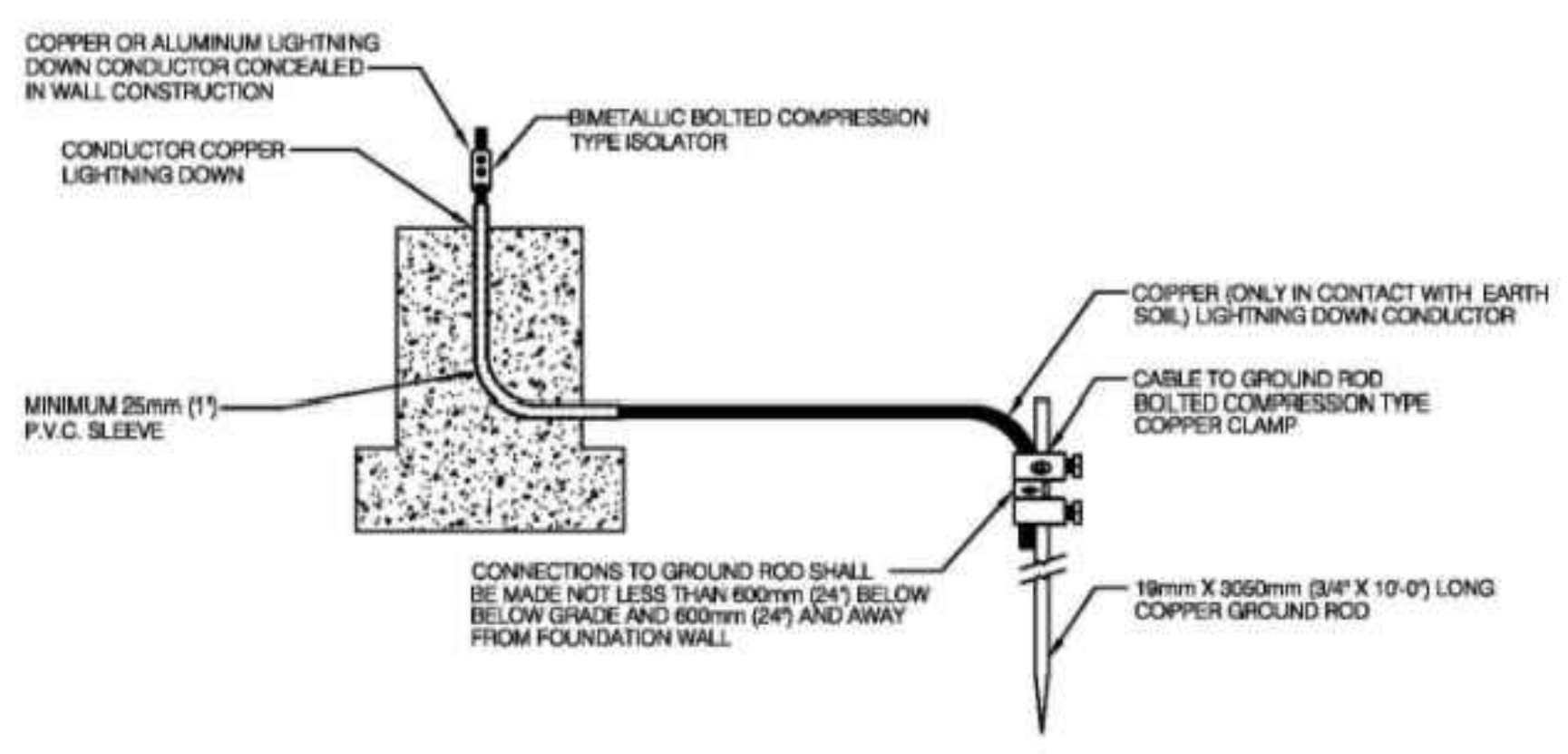
303 Westchester Ave. • 4th Floor • New York, NY 10573
E: 914.774.0534 • C: 914.774.0534 • www.studioplanning.com

NEW SINGLE-FAMILY RESIDENCE FOR:
MRL 11 WHIPPOORWILL LLC
11 WHIPPOORWILL LN, ARMONK, NY 10504

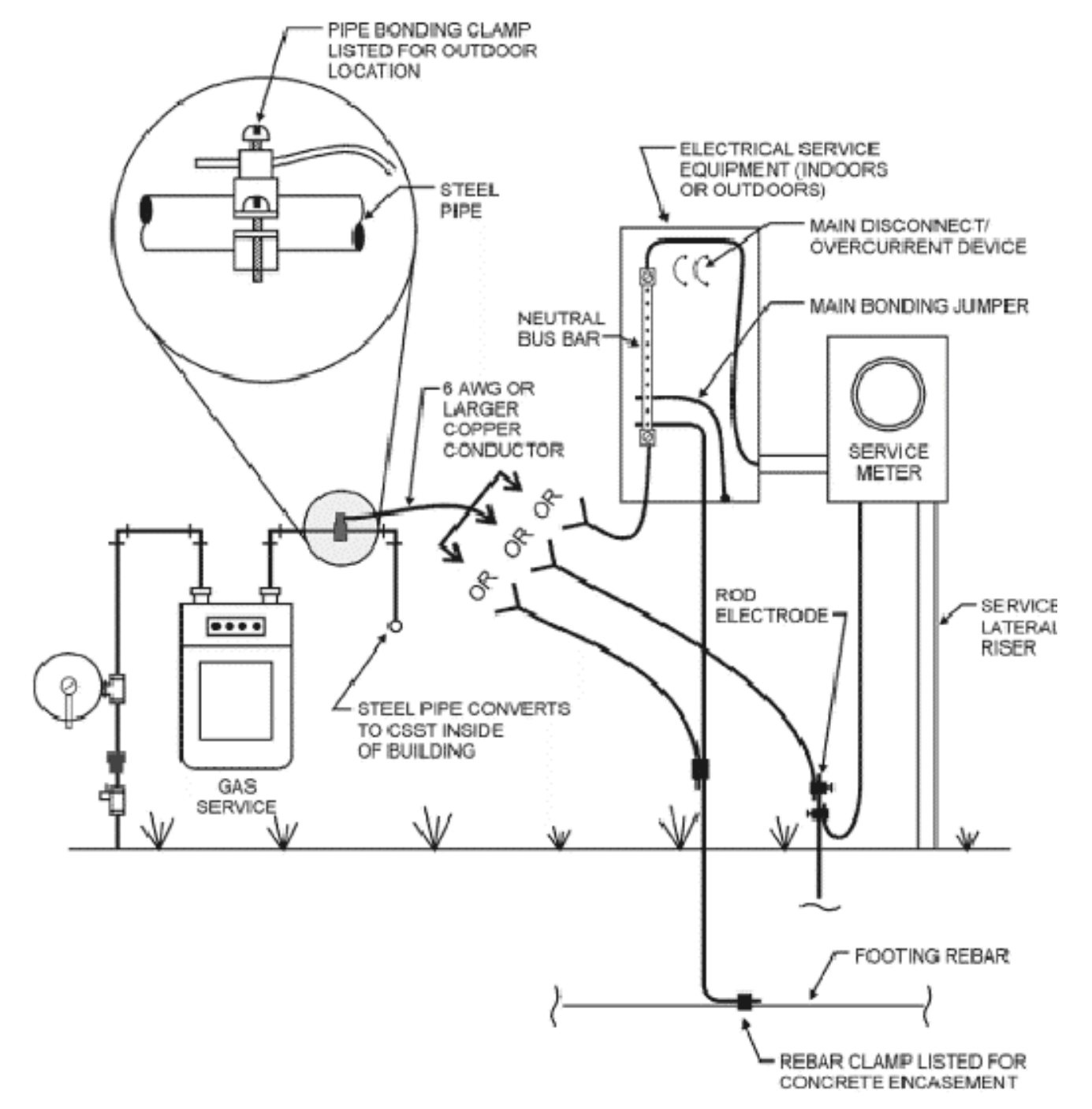
GENERAL DETAILS

Drawn	JV
Checked	
Date	08.12.20
Scale	AS NOTED
Job Number	2021
Sheet	

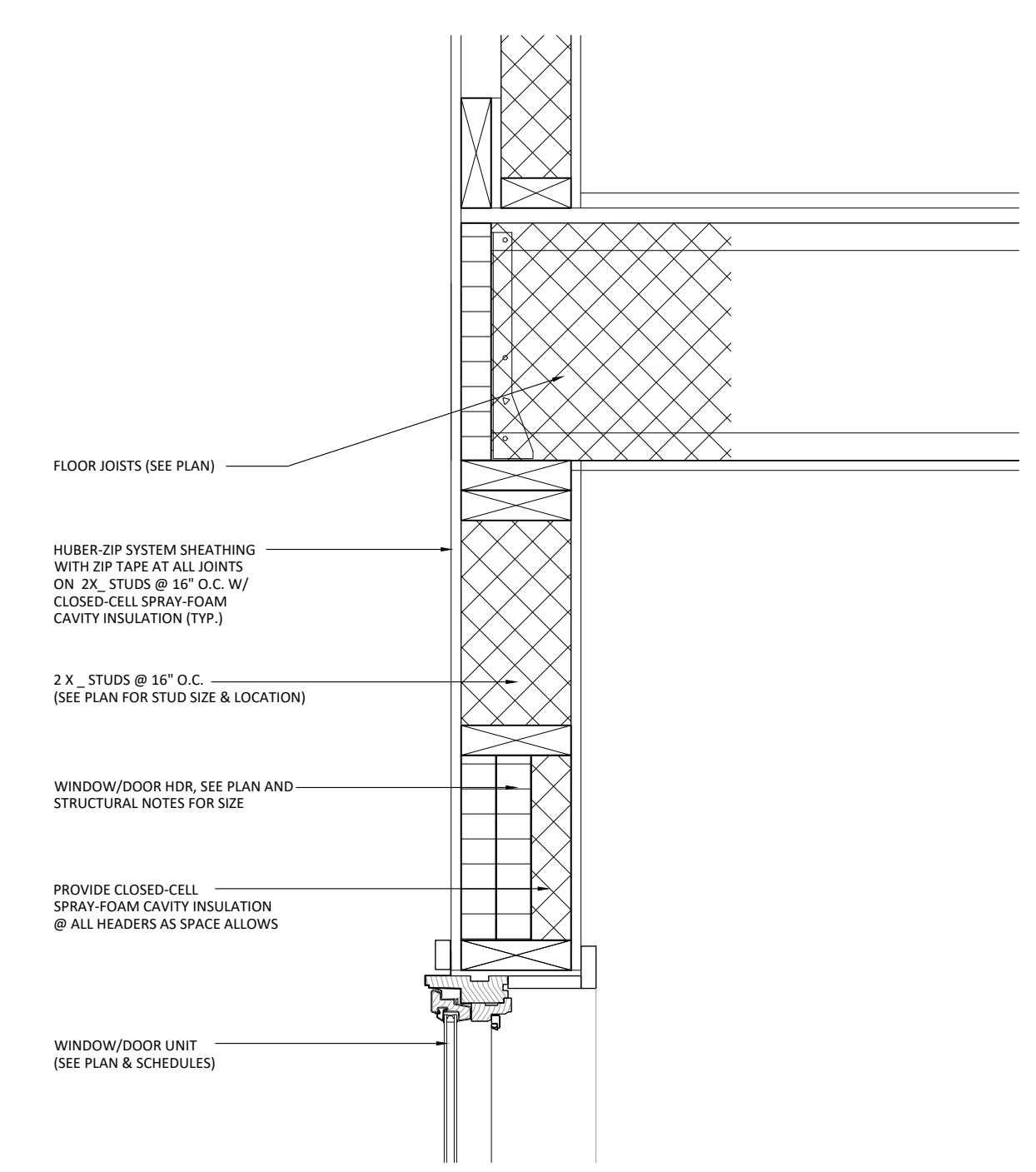
A-901



1 TYP. BONDING/GROUNDING DETAIL TO FOUNDATION
SCALE: N.T.S.



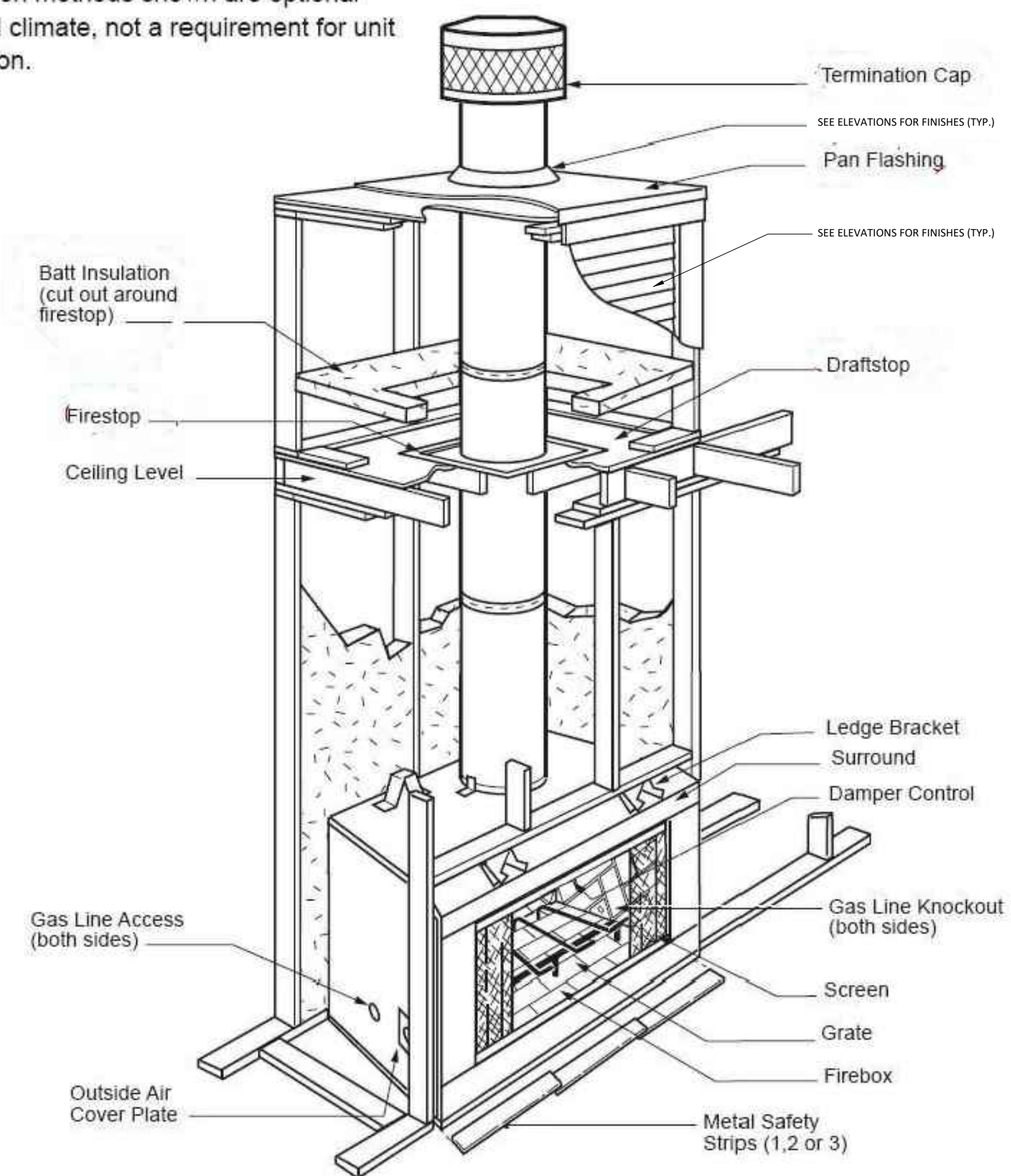
3 TYP. GAS PIPE BONDING DETAIL
SCALE: N.T.S.



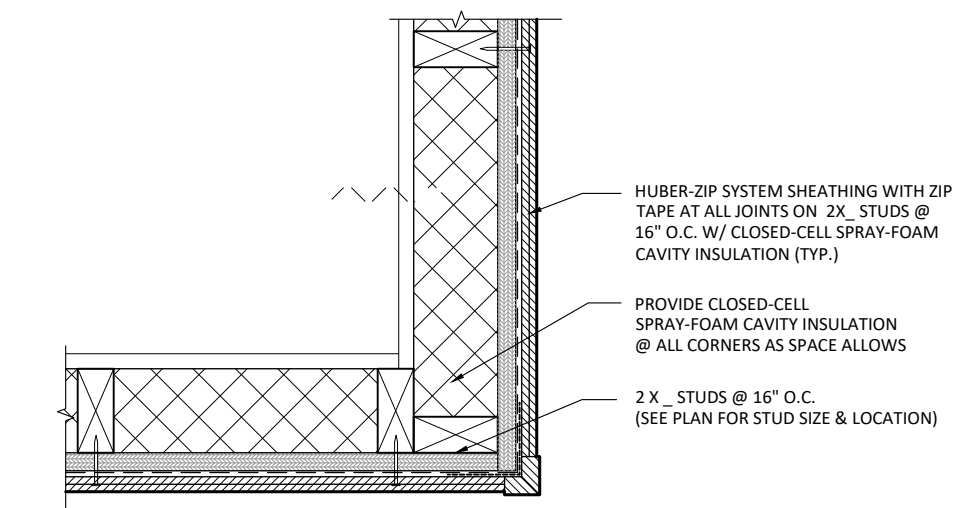
4 TYP. HEADER INSULATION DETAIL
SCALE: 3/4\"/>

Chase Installation

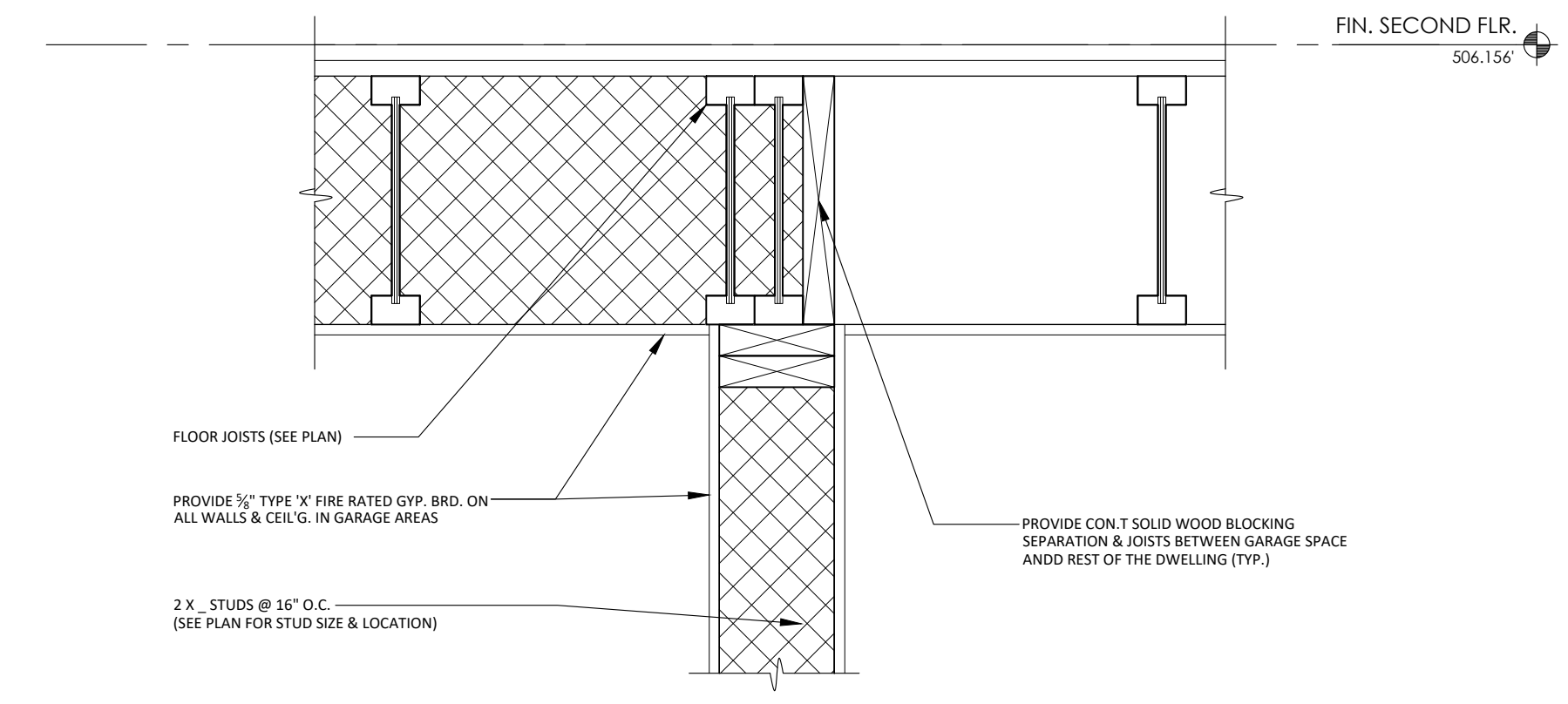
Insulation methods shown are optional for cold climate, not a requirement for unit operation.



2 TYP. PRE-FAB CHIMNEY FIRE BLOCKING DETAILS
SCALE: N.T.S.



5 TYP. CORNER INSULATION DETAIL
SCALE: 1-1/2\"/>

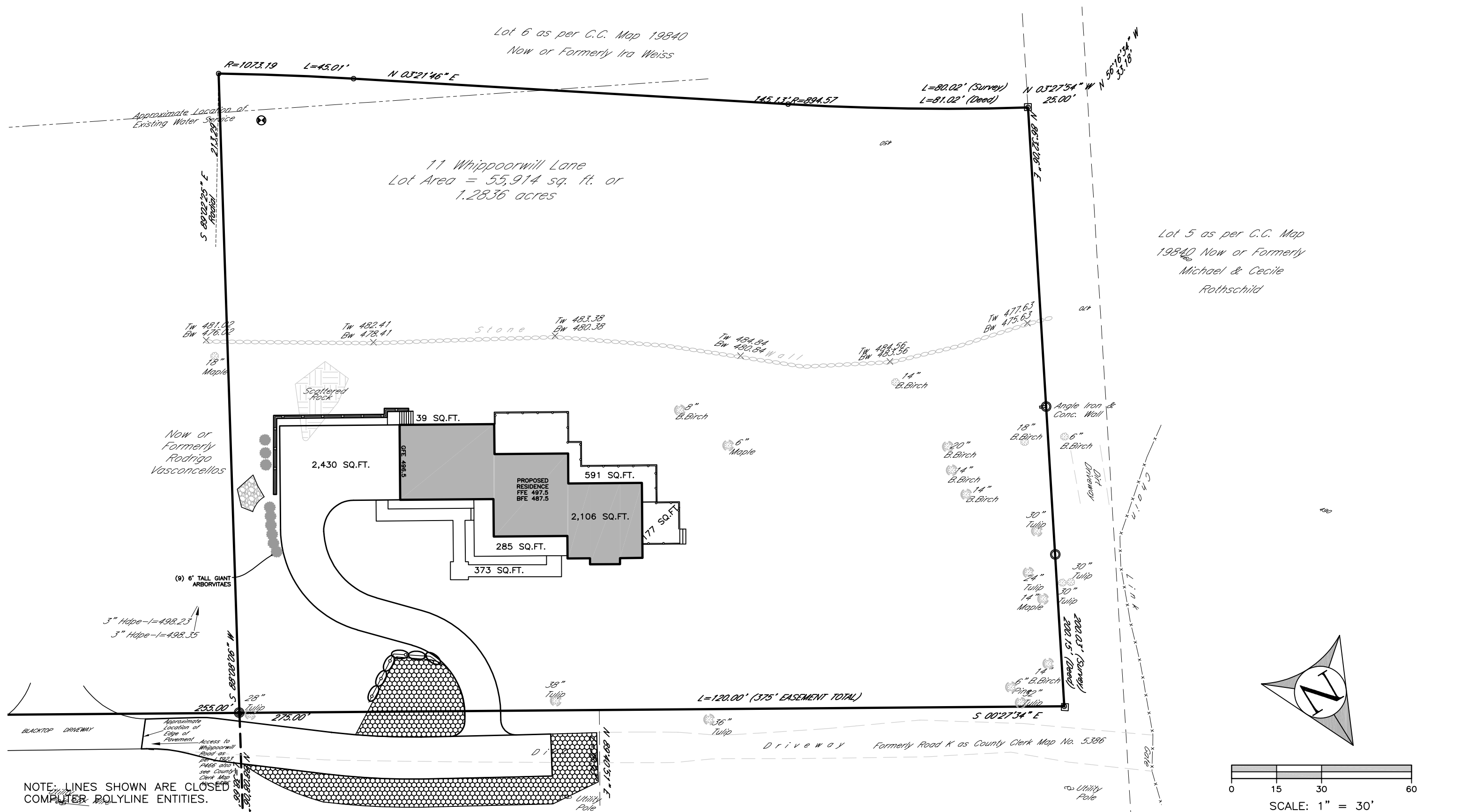


6 TYP. GARAGE JOISTS FIRE BLOCKING DETAIL
SCALE: 1-1/2\"/>

Lot 6 as per C.C. Map 19840
Now or Formerly Ira Weiss

11 Whippoorwill Lane
Lot Area = 55,914 sq. ft. or
1.2836 acres

Lot 5 as per C.C. Map
19840 Now or Formerly
Michael & Cecile
Rothschild



ALFONZETTI ENGINEERING, P.C.
14 SMITH AVENUE, MT. KISCO, N.Y. 10549
914 - 666 - 9800

PROJECT:
11 WHIPPOORWILL LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

DRAWING:
GLC BACKUP
OCTOBER 20, 2023



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

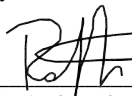
Application Name or Identifying Title: 11 Whipoorwill Lane Date: 02/26/2024

Tax Map Designation or Proposed Lot No.: 107.04-1-5

Gross Lot Coverage

- | | | |
|-----|--|-----------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>55,914 S.F.</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): | <u>10,461.86 S.F.</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>0.6</u> x 10 = | <u>6 S.F.</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>10,455.86 S.F.</u> |
| 5. | Amount of lot area covered by principal building :
<u>0</u> existing + <u>2,106.0</u> proposed = | <u>2,106.0 S.F.</u> |
| 6. | Amount of lot area covered by accessory buildings :
<u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 7. | Amount of lot area covered by decks :
<u>0</u> existing + <u>591.0</u> proposed = | <u>591.0 S.F.</u> |
| 8. | Amount of lot area covered by porches :
<u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways :
<u>0</u> existing + <u>2,803.0</u> proposed = | <u>2,803.0 S.F.</u> |
| 10. | Amount of lot area covered by terraces :
<u>0</u> existing + <u>501.0</u> proposed = | <u>501.0 S.F.</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip :
<u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 12. | Amount of lot area covered by all other structures :
<u>0</u> existing + <u>0</u> proposed = | <u>0 S.F.</u> |
| 13. | Proposed gross land coverage : Total of Lines 5 – 12 = | <u>6,001 s.f.</u> |

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing ~~Document~~



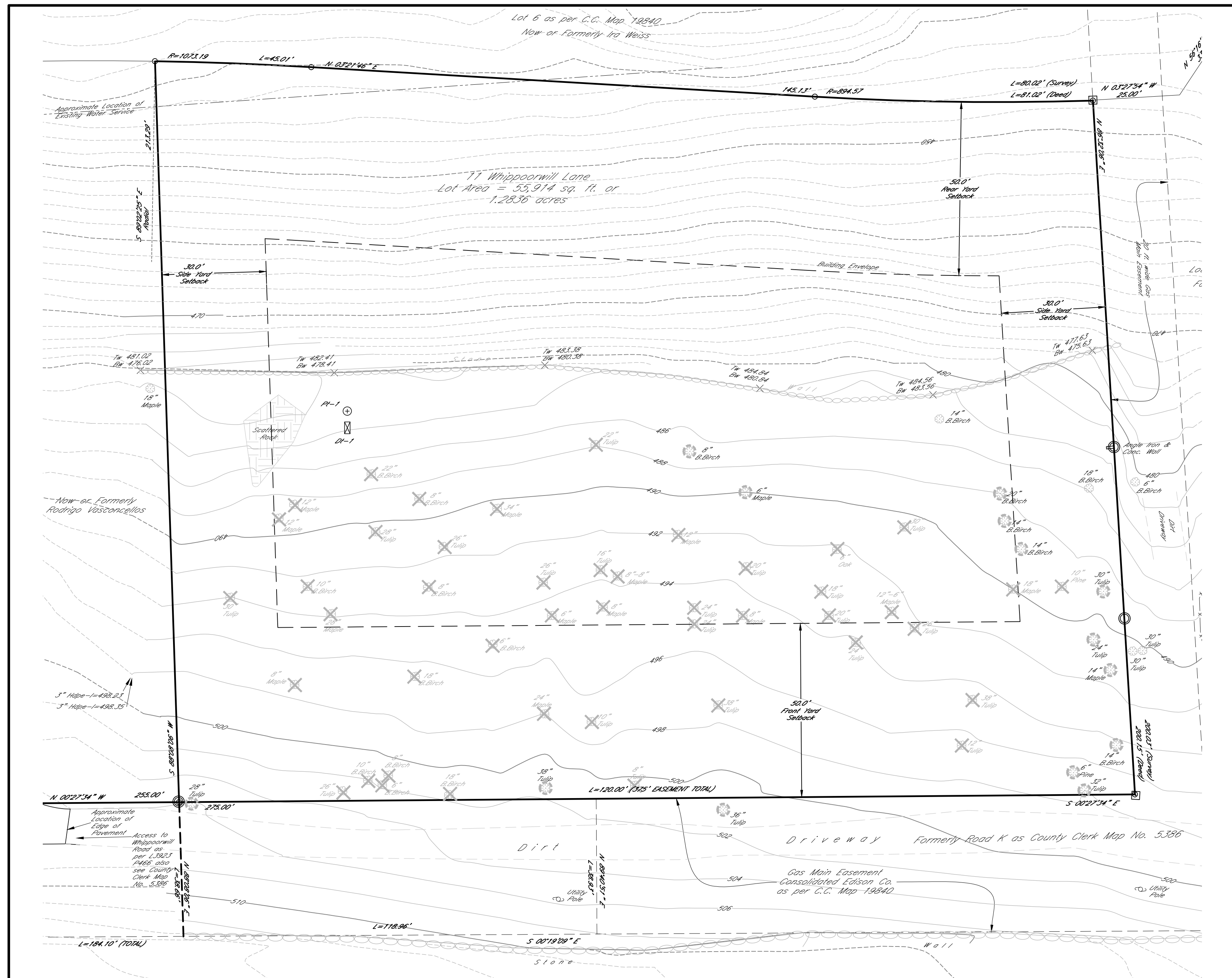
02/26/2024
 Date



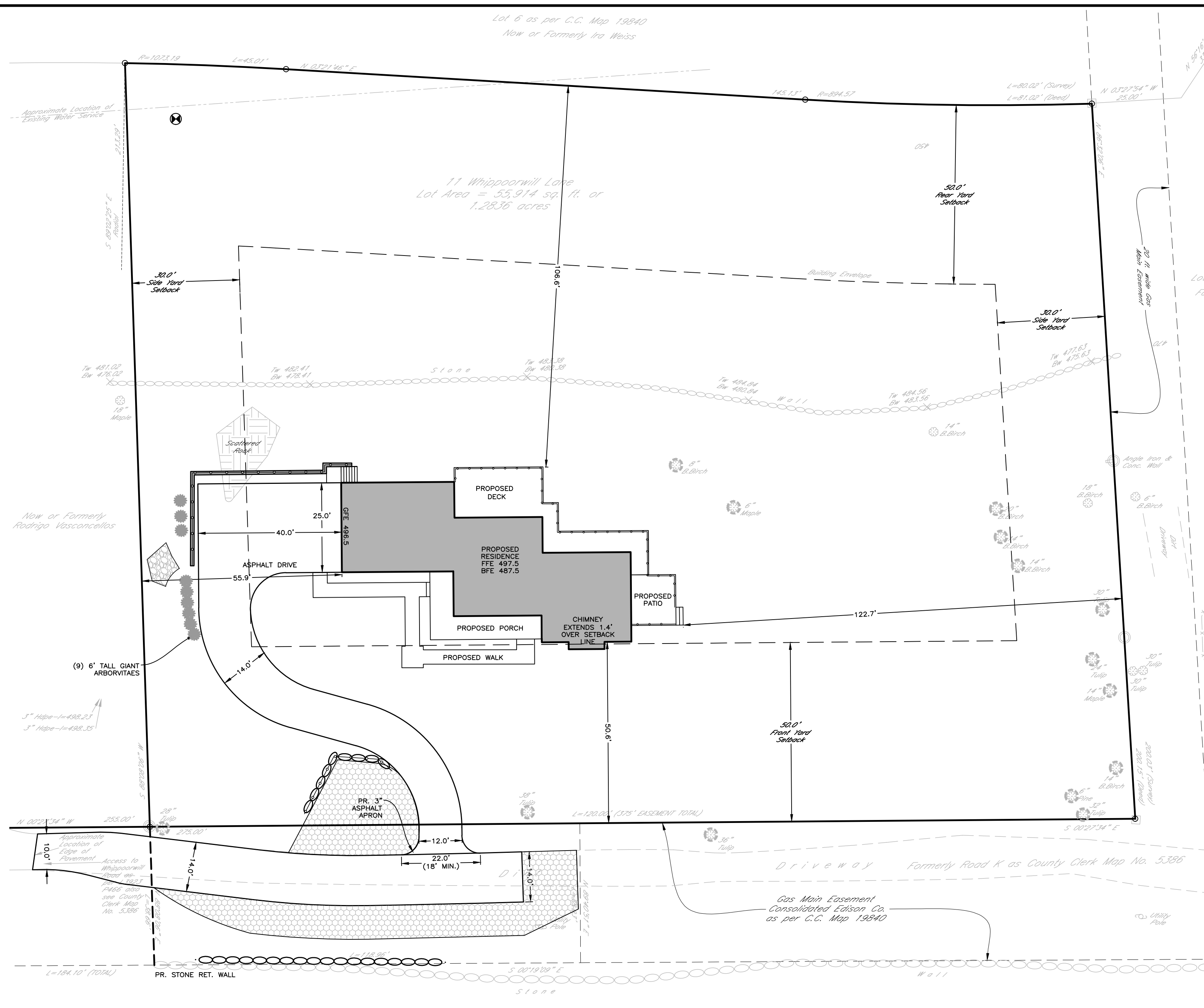
ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

11 WHIPPOORWILL LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

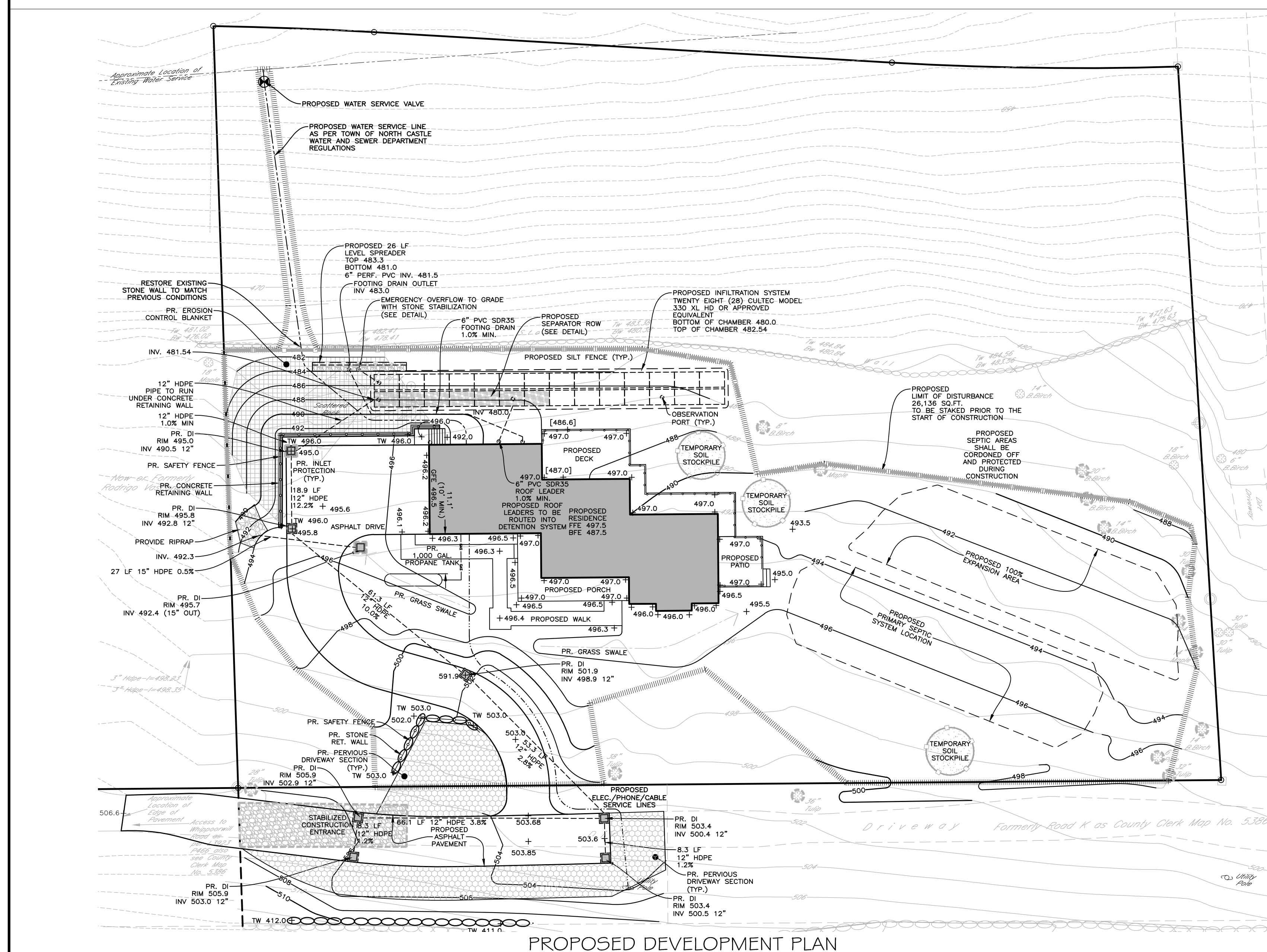
WHIPPOORWILL LANE
IMPROVEMENT PLAN
FEBRUARY 20, 2024



EXISTING CONDITIONS & DEMO PLAN



PROPOSED LAYOUT PLAN



PROPOSED DEVELOPMENT PLAN

DEEP TEST HOLE DESCRIPTION

DT1 0"-6" TOPSOIL
6"-72" SILTY SANDS
MODERATELY COMPACTED

PERCOLATION TEST DATA

P1 40 MIN./IN.

TREE LEGEND

⊗ TREES TO BE REMOVED
⊗ TREES TO BE PROTECTED

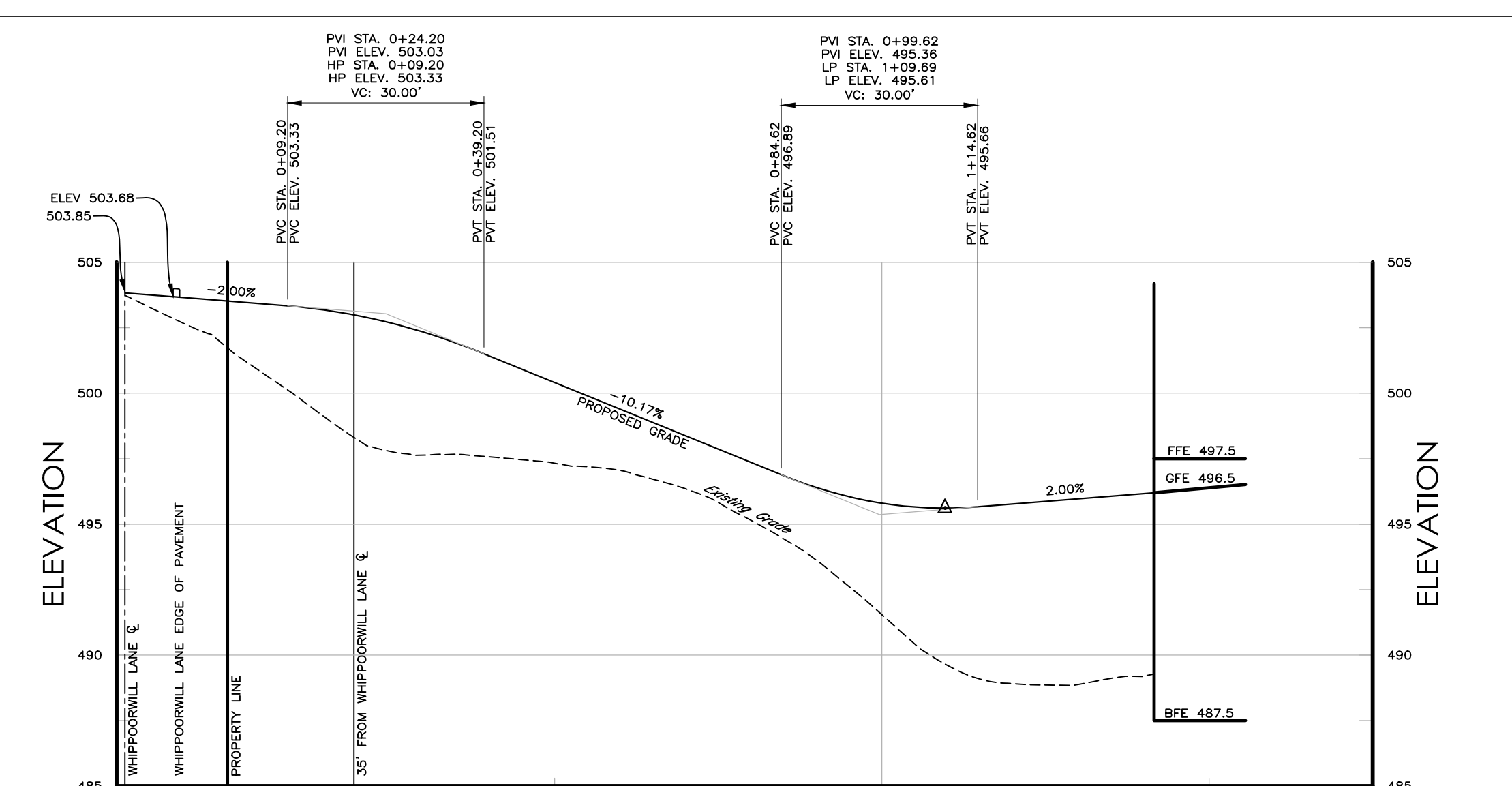
TREE DEMO LIST

SIZE	NAME/TYPE	QTY
6"	B. BIRCH	2
6"	MAPLE	1
6"	OAK	1
8"	B. BIRCH	3
8"	MAPLE	4
8"	TULIP	1
10"	B. BIRCH	2
10"	PINE	1
10"	TULIP	1
12"	MAPLE	4
12"	TULIP	1
16"	TULIP	1
18"	B. BIRCH	2
18"	MAPLE	1
18"	TULIP	1
20"	TULIP	2
22"	B. BIRCH	1
22"	TULIP	1
24"	MAPLE	1
24"	TULIP	3
26"	TULIP	4
28"	MAPLE	1
28"	TULIP	1
30"	TULIP	2
34"	MAPLE	1
38"	TULIP	2
TREE		45

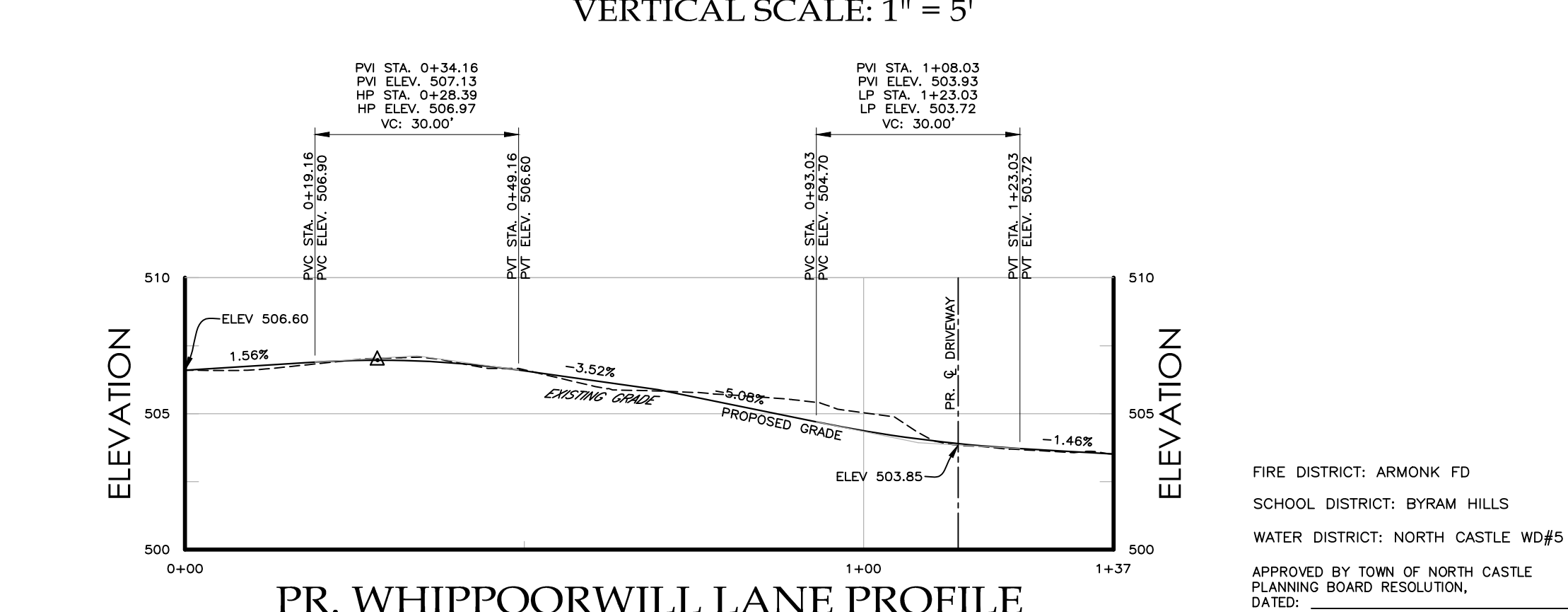
TREE NOTE:
1. A TOTAL OF FORTY FIVE (45) TREES SHALL BE REMOVED ON THIS APPLICATION.

ZONING TABLE

TOTAL LOT AREA:	REQUIRED PERMITTED	PROPOSED PERMITTED
2.28 ACRES	2.28 ACRES	1.28 ACRES
FRONT YARD SETBACK	50 FT.	50.8 FT.
SIDE YARD SETBACK	30 FT.	55.9 FT.
REAR YARD SETBACK	50 FT.	106.8 FT.
MAXIMUM HEIGHT	30 FT.	30 FT.
MAXIMUM BUILDING COVERAGE	8%	3.7%



PROPOSED DRIVEWAY PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

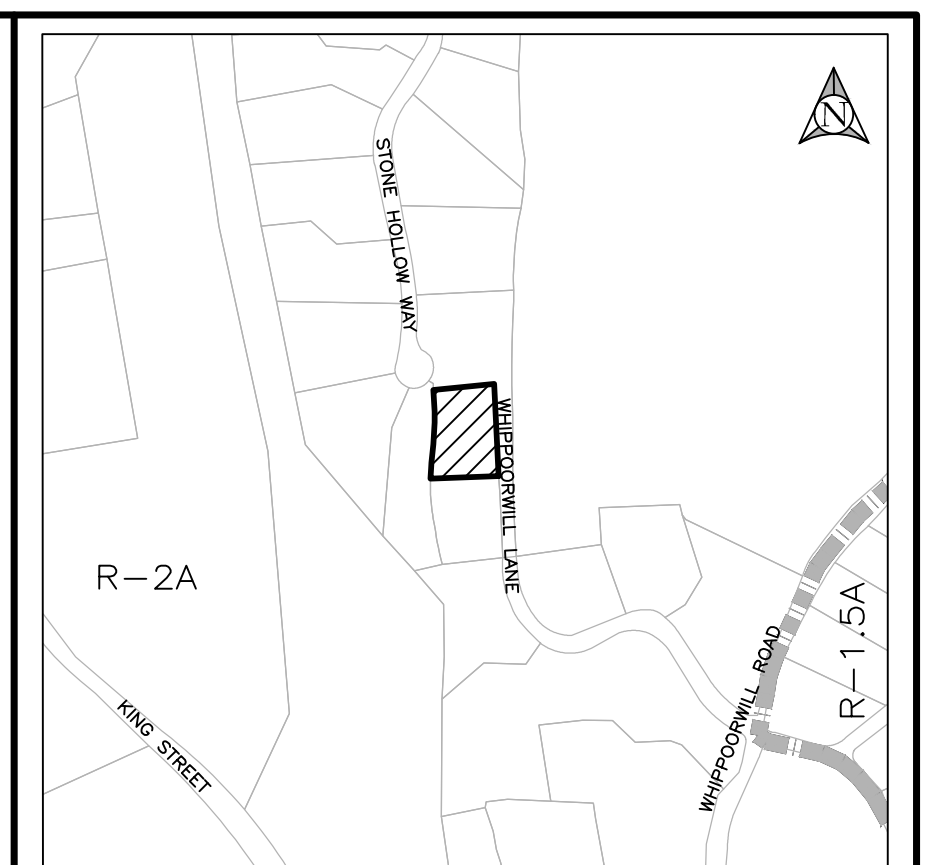


PR. WHIPPOORWILL LANE PROFILE
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
VOL 1	1.000	1.000	24932.73 Sq. Ft.	682.07 Cu. Yd.	1176.36 Cu. Yd.	494.29 Cu. Yd. <F111>
Totals			24932.73 Sq. Ft.	682.07 Cu. Yd.	1176.36 Cu. Yd.	494.29 Cu. Yd. <F111>

*CALCULATION INCLUDES MATERIAL TO BE EXCAVATED FROM THE PROPOSED RESIDENCE AND THE PROPOSED STORMWATER DETENTION SYSTEM.



LOCATION MAP N.T.S.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES: SEWER, WATER, GAS, ELECTRICAL, ETC. PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 43) PRIOR TO THE START OF CONSTRUCTION.
- THE INSTALLATION OF WATER AND SEWER SHALL BE INSPECTED UNDER THE DIRECTION OF A N.Y. STATE LICENSED PROFESSIONAL ENGINEER.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REQUIRED AS INDICATED ON THIS PLAN OR THE EROSION CONTROL PLAN OR AS DIRECTED BY THE GOVERNING AGENCY, IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS" (BLUE BOOK).
- AS BUILT PLANS IF REQUIRED, SHALL BE CERTIFIED BY A N.Y. STATE LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
- ALL PROPERTY DISTURBED IN THE RIGHT-OF-WAY OR ON PRIVATE LANDS SHALL BE RESTORED TO ACCEPTABLE CONDITION AS REQUIRED BY THE GOVERNING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
- THE ROAD AND UTILITIES SHALL BE STAKED IN THE FIELD BY A NEW YORK STATE LICENSED SURVEYOR OR ENGINEER.
- UNDERGROUND UTILITIES: GAS, ELECTRIC, CABLE, TELEPHONE, ETC. SHALL BE AS REQUIRED BY THE GOVERNING AGENCY AND THE APPROPRIATE UTILITY COMPANY.
- ALL PROPOSED OR DISTURBED SLOPES, 1:12V OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET.
- IN LIEU OF BLASTING, ROCK RIPPING WILL BE USED WHEREVER POSSIBLE. IF BLASTING IS REQUIRED, BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE GOVERNING AGENCY. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS IF BLASTING IS REQUIRED.
- NO REPRESENTATION OF THE SUB-SURFACE SOIL CONDITIONS ON THIS SITE ARE MADE OR IMPLIED. IT IS THE DEVELOPER/CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE PLACED ON SOIL WITH A SUITABLE BEARING CAPACITY.
- OVERNIGHT EXCAVATIONS WILL NOT BE PERMITTED.

CONSTRUCTION SEQUENCE:

- THE PROPOSED IMPROVEMENTS ARE TO BE CONSTRUCTED IN ONE PHASE. THE CONSTRUCTION WILL BE IN A SEQUENCE THAT WILL MINIMIZE THE POTENTIAL FOR EROSION. CONSTRUCTION IS SCHEDULED TO BEGIN IN SPRING OF 2024. THE GENERAL SEQUENCE OF CONSTRUCTION IS AS FOLLOWS:
- SURVEY AND STAKE LIMITS OF DISTURBANCE AND EROSION CONTROL INSTALLATION.
- INSTALL EROSION CONTROLS (ANTI-TRACKING PAD, SILT FENCE, TEMPORARY SOIL STOCKPILE) AS SHOWN ON THE EROSION CONTROL PLAN AND PER THE RESPECTIVE EROSION CONTROL DETAILS.
- STRIP TOPSOIL AND ROUGH GRADING. NOTE THAT DISTURBED SOIL THAT WILL NOT BE WORKED FOR A PERIOD GREATER THAN 14 DAYS MUST BE STABILIZED WITH AN EROSION CONTROL BLANKET. STABILIZATION MUST BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN SEVEN (7) DAYS.
- EXCAVATE FOR PROPOSED FOOTINGS/FOUNDATION. HOUSE FRAMING AND SUPERSTRUCTURE IS CONSTRUCTED.
- EXCAVATE AND INSTALL SUBSURFACE UTILITIES: WATER SERVICE, ELECTRIC, TELEPHONE/CABLE/DRAINAGE. SEPTIC SYSTEM SHALL BE STAKED AND CONSTRUCTED.
- PROTECT SEPTIC SYSTEM DURING CONSTRUCTION.
- FINAL GRADING, SEEDING, SODDING, AND OTHER SOIL STABILIZING LANDSCAPING FOR FINAL SITE CONDITION.
- REMOVE EROSION CONTROL, SILT FENCE AND ANTI-TRACKING PAD. DISCARD EROSION CONTROL DEVICES IN AN APPROPRIATE MANNER.

NOTES

- WALLS GREATER THAN FOUR (4) FEET IN HEIGHT SHALL BE CERTIFIED BY THE PROFESSIONAL ENGINEER PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION.

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ALFONZETTI ENGINEERING, P.C.
14 SMITH AVE, MT. KISCO, N.Y. 10549
914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA
OWNER/APPLICANT: WRL 11 WHIPPOORWILL LLC
SCHOOL DISTRICT: BYRAM HILLS
FIRE DISTRICT: ARMONK FD
WATER DISTRICT: NORTH CASTLE WD#5
APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATED: _____

DATE: _____
CHRYSTOPHER CARTHY, CHAIRMAN
TOWN OF NORTH CASTLE PLANNING BOARD

ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO REGULATION:
JOSEPH M. GERMEL, P.E.
KELLARD SESSIONS CONSULTING
CONSULTING TOWN ENGINEERS

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

DATE: _____

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DATE: _____

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DATE: _____

DATE: _____

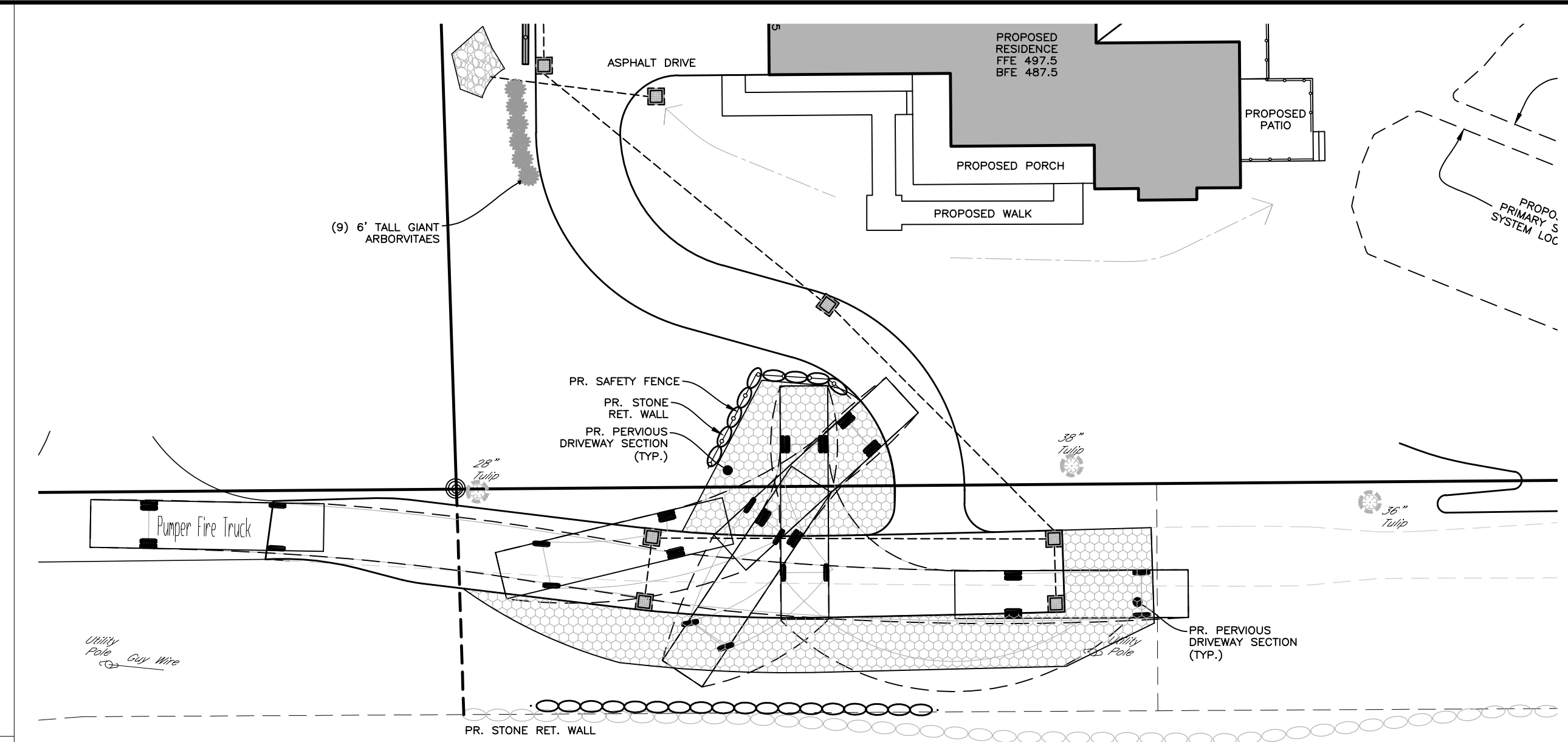
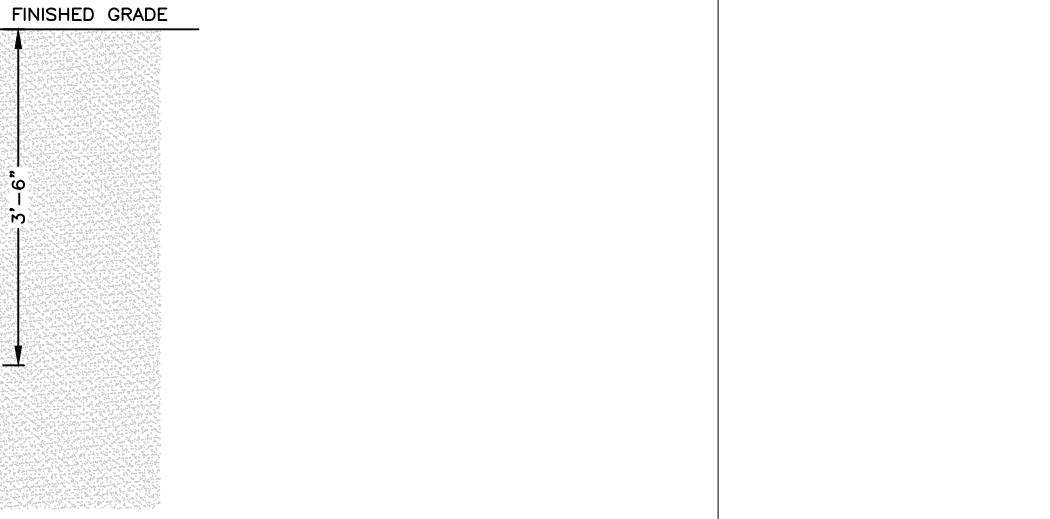
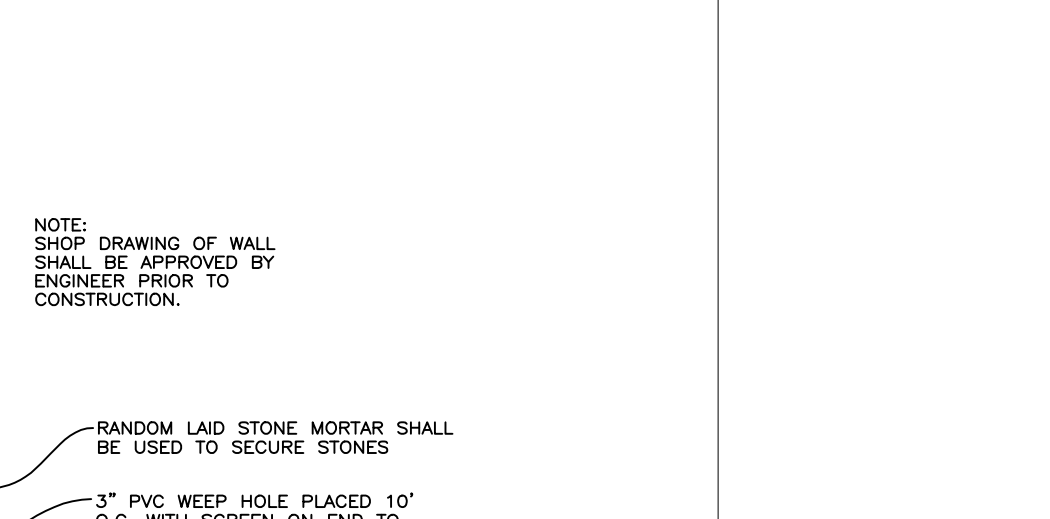
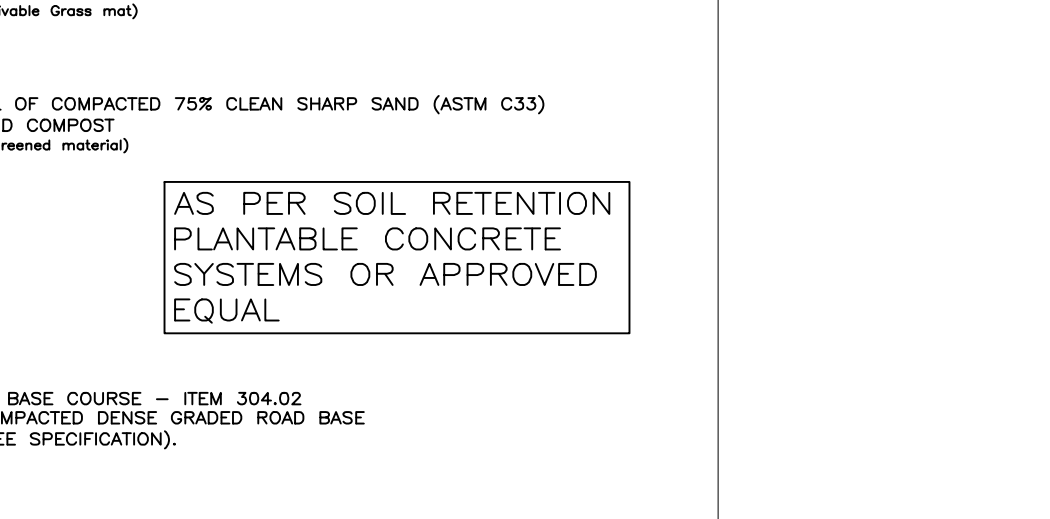
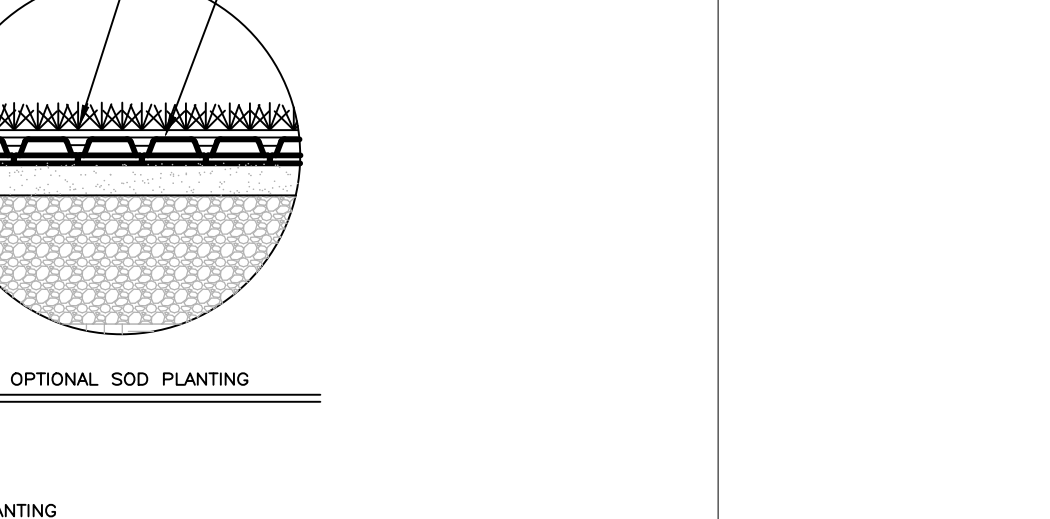
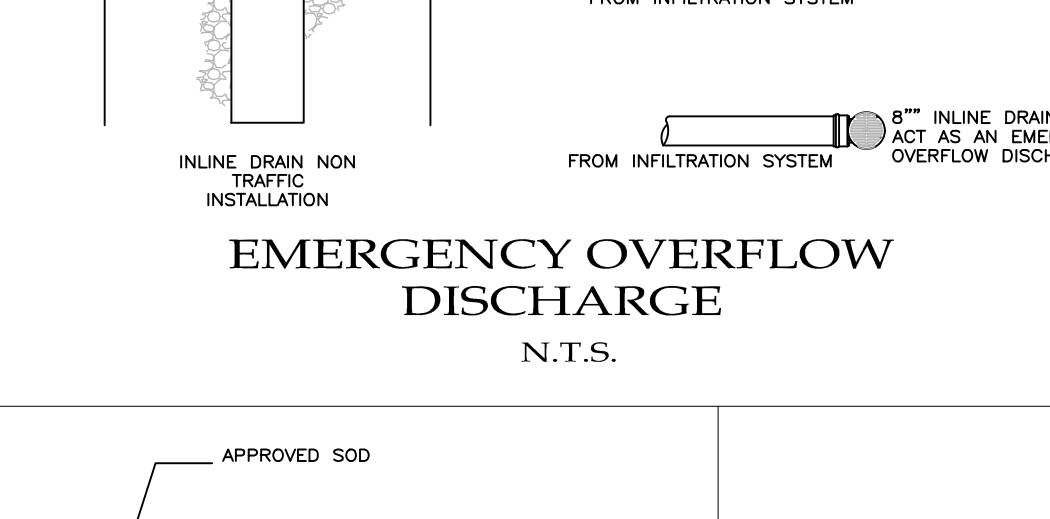
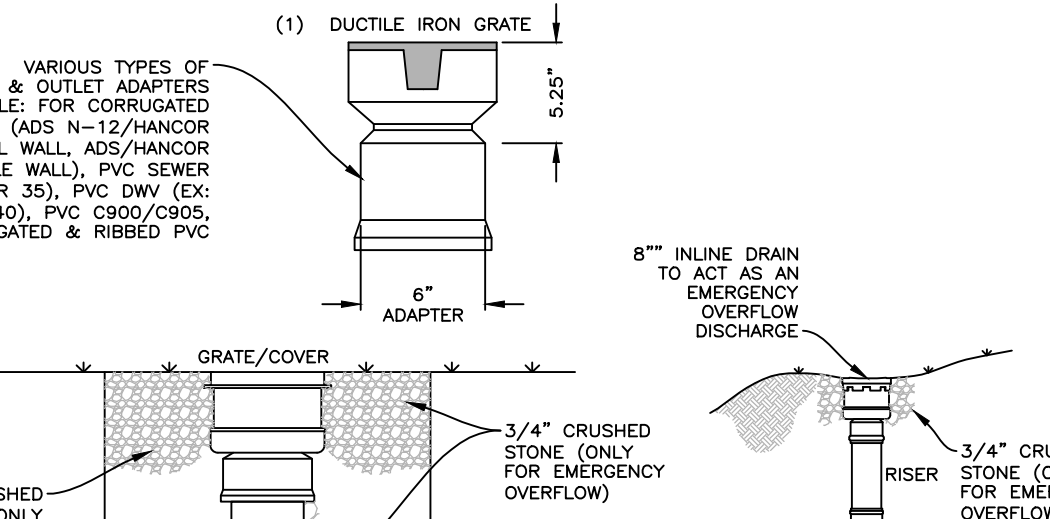
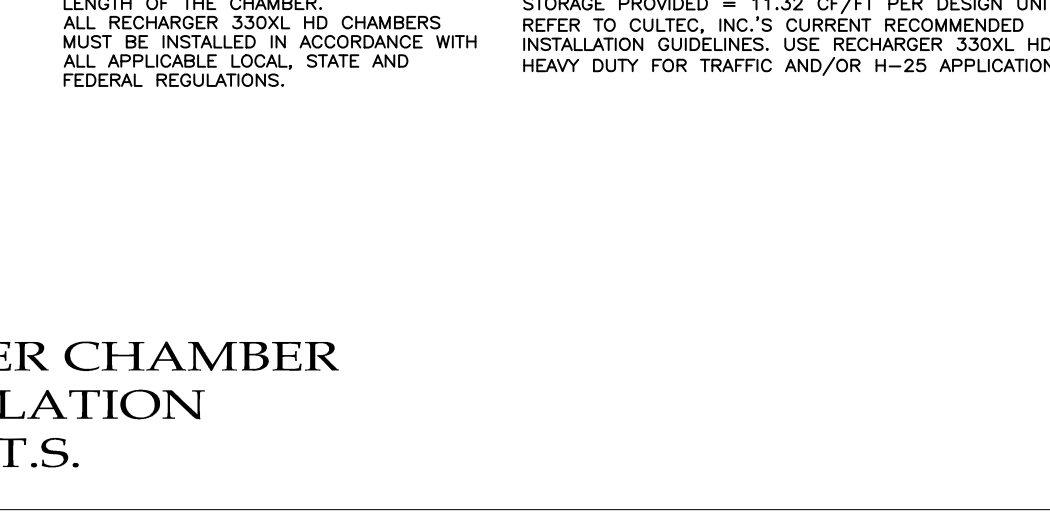
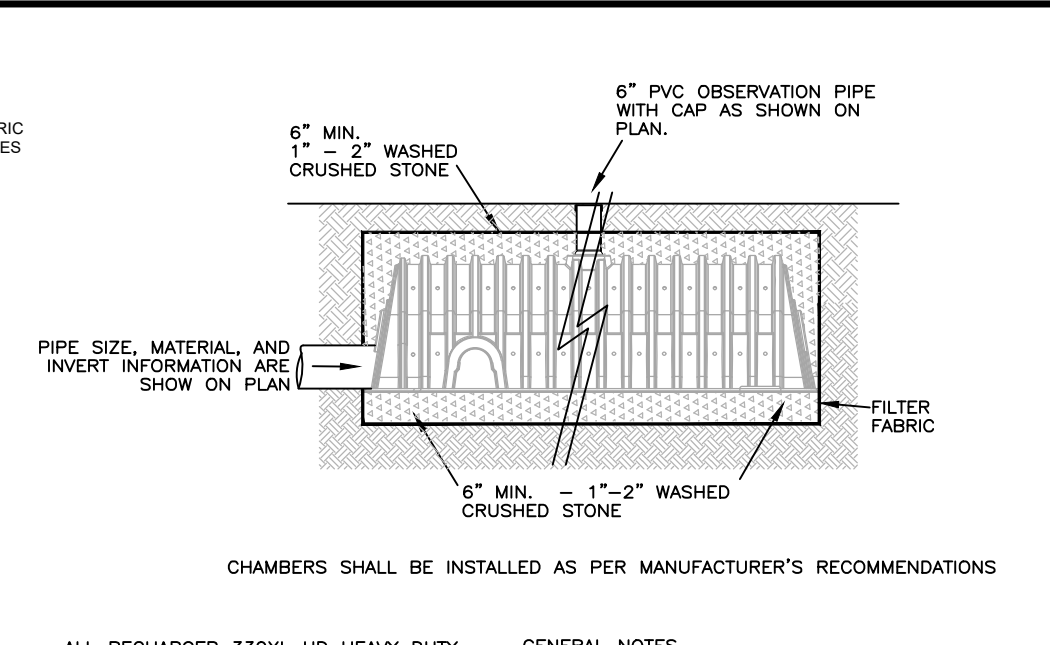
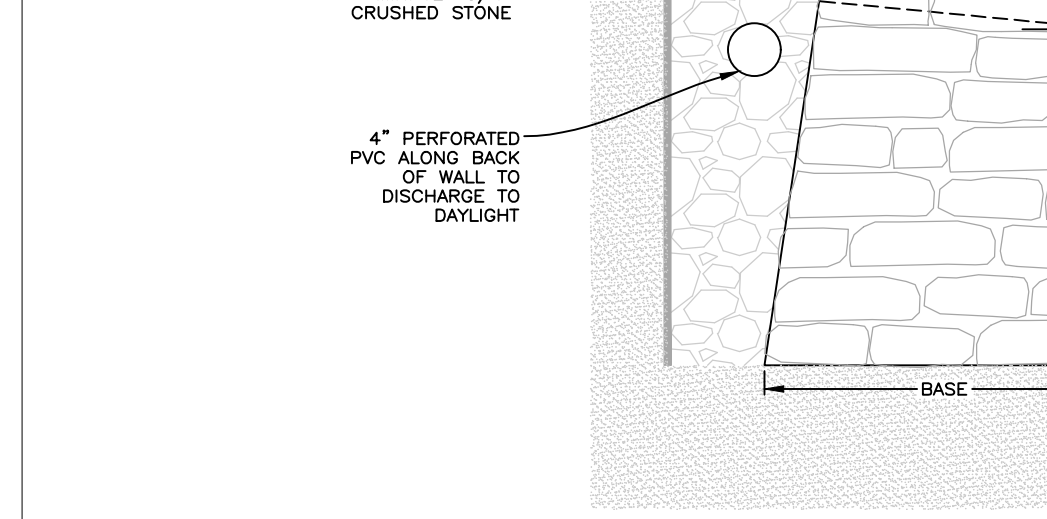
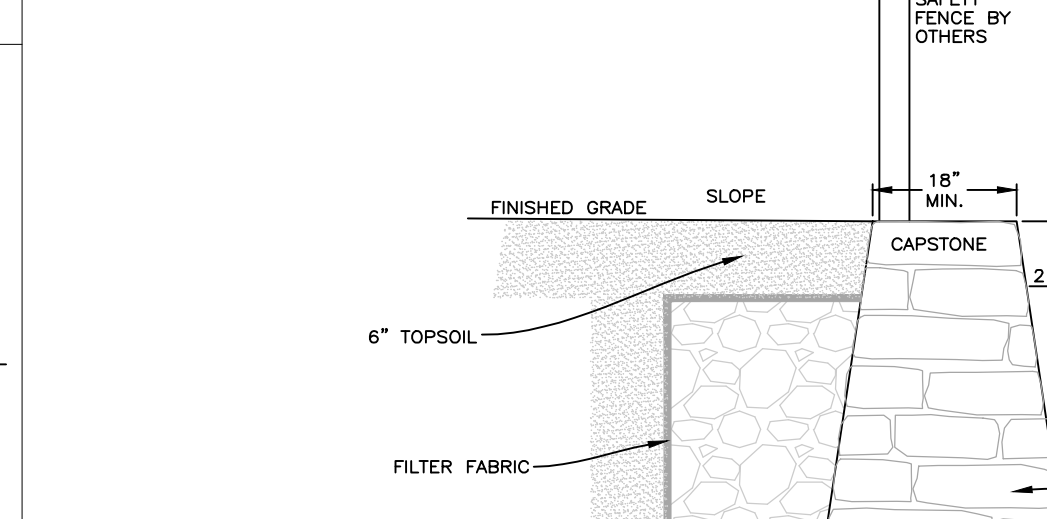
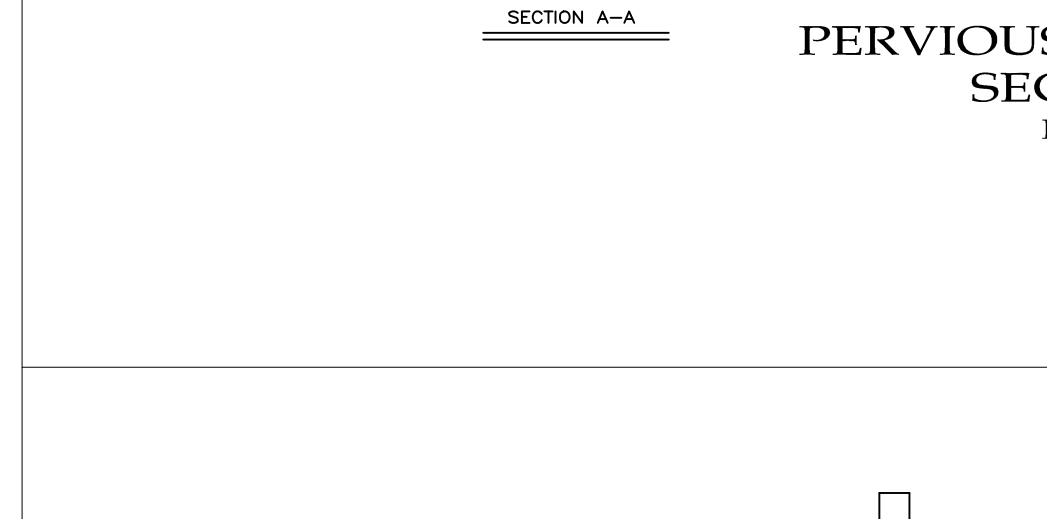
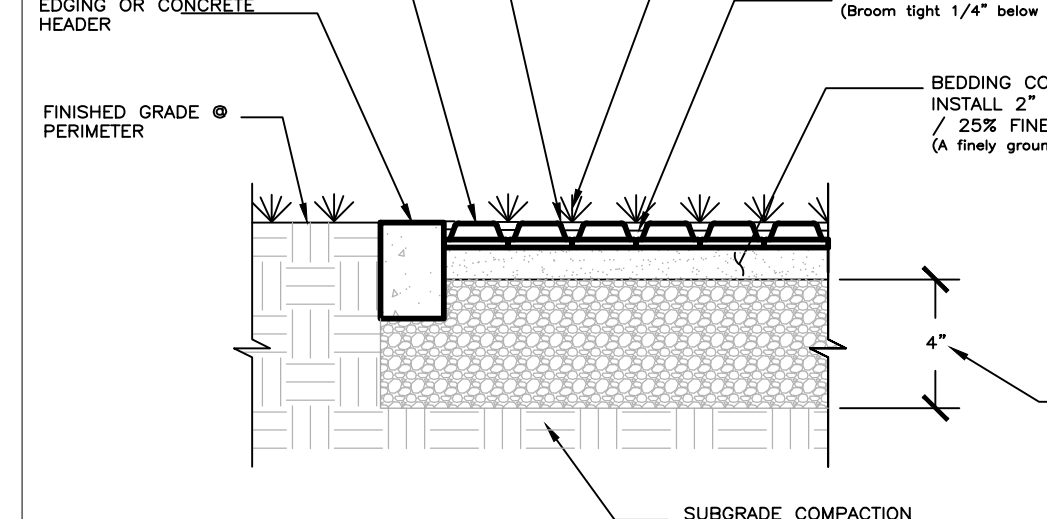
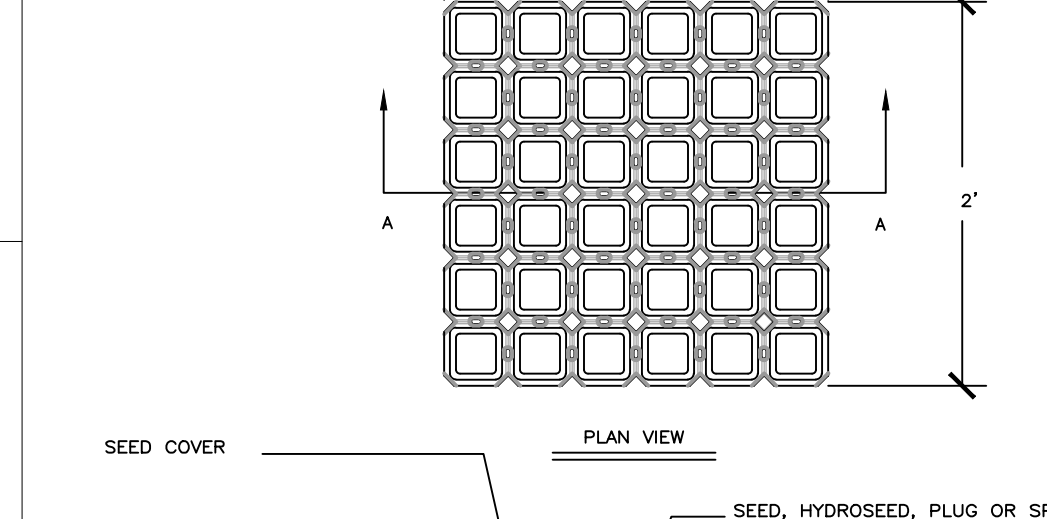
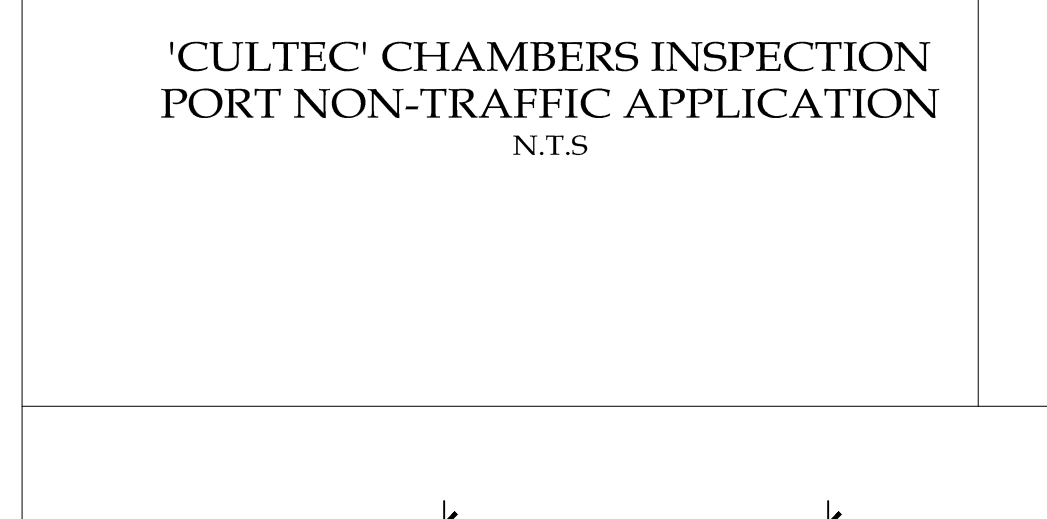
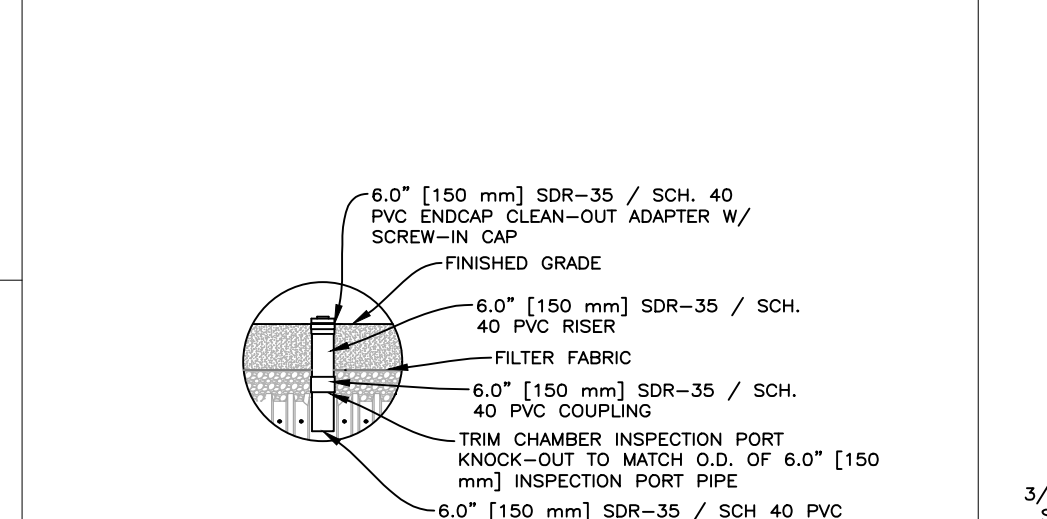
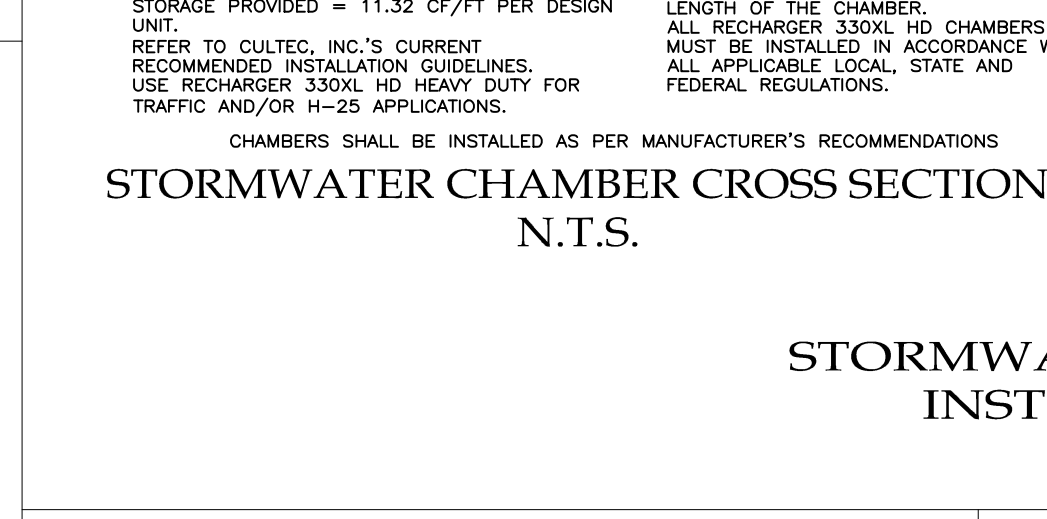
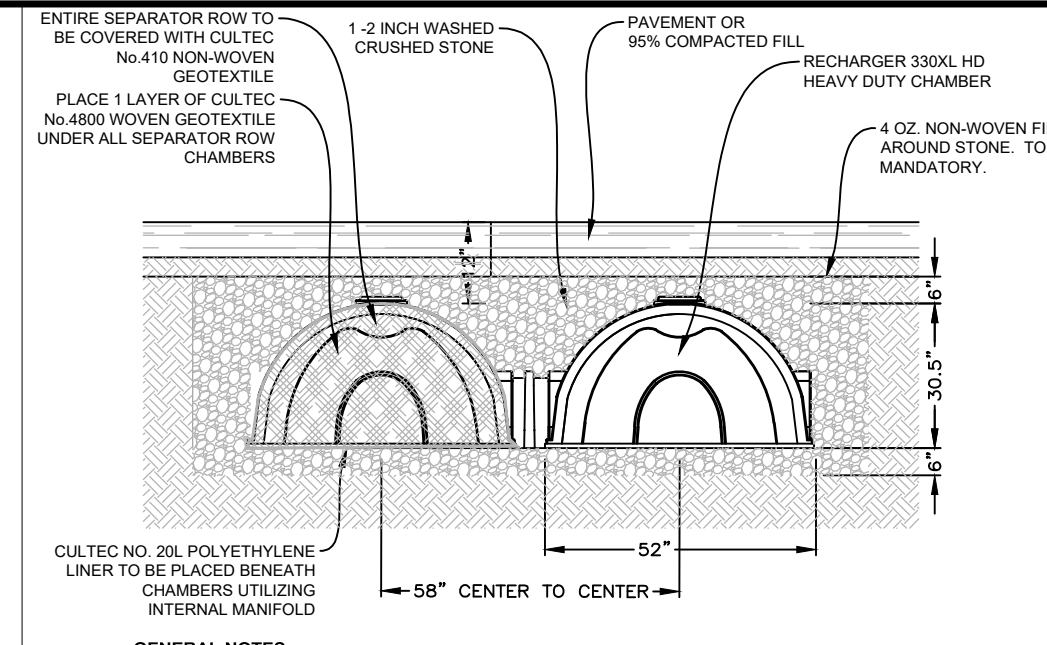
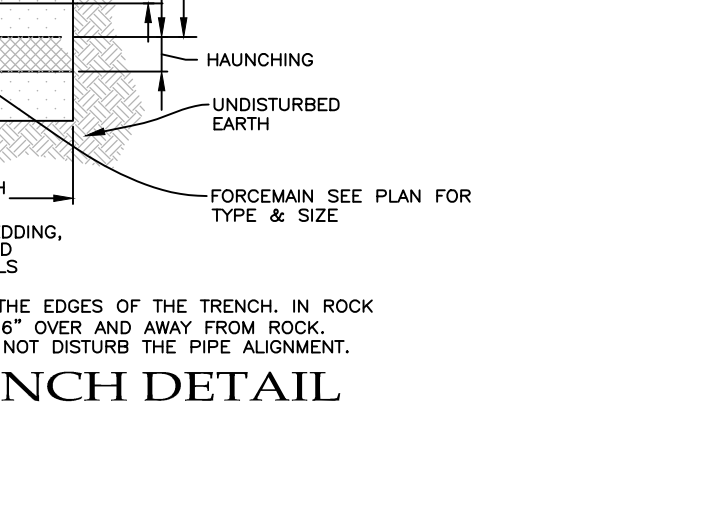
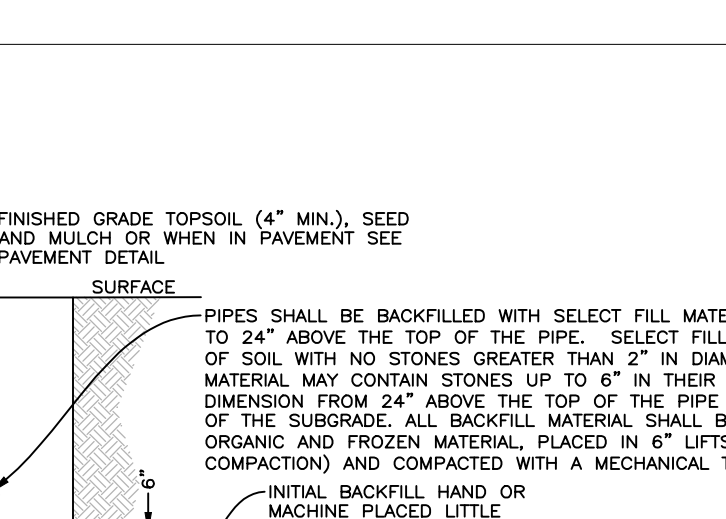
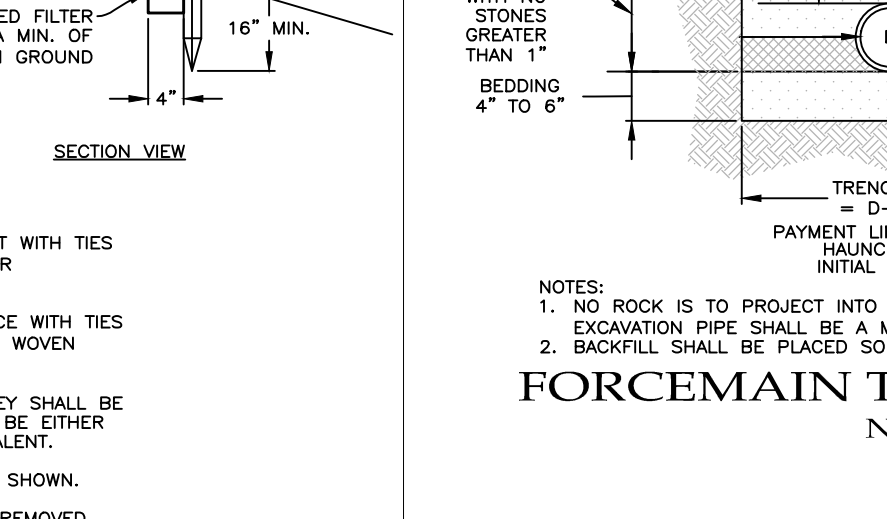
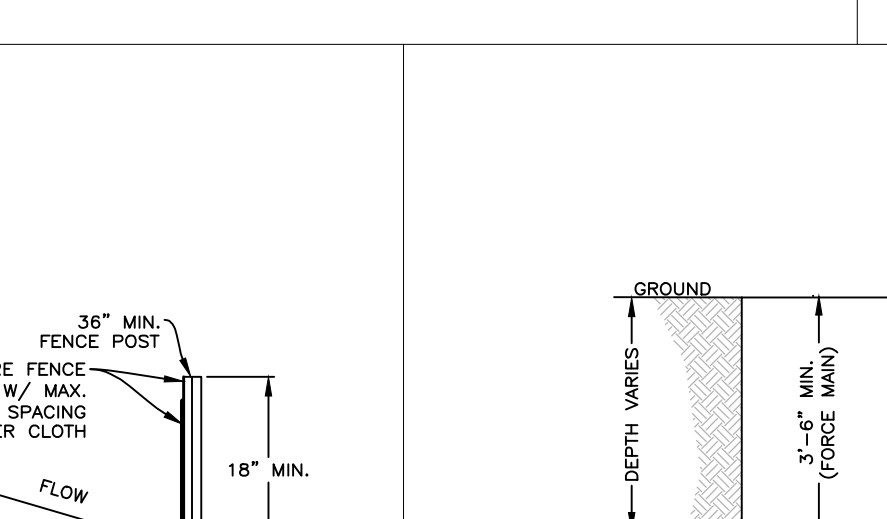
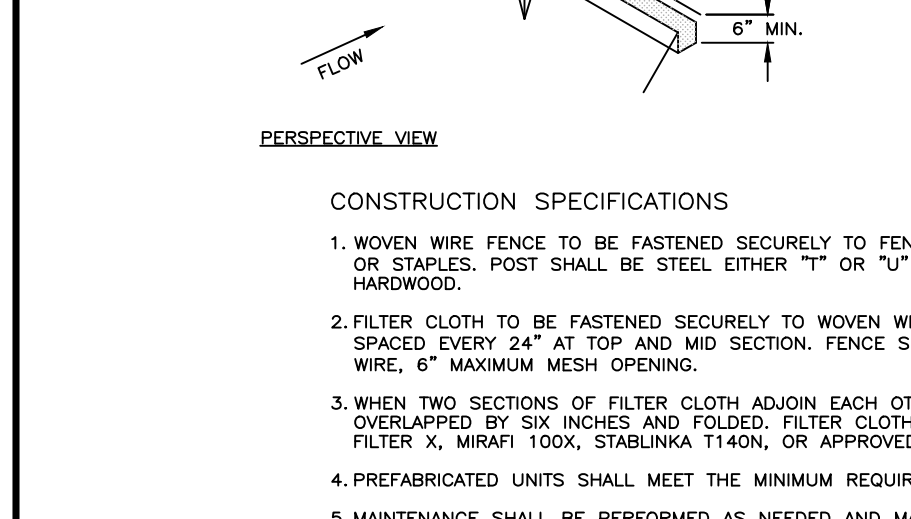
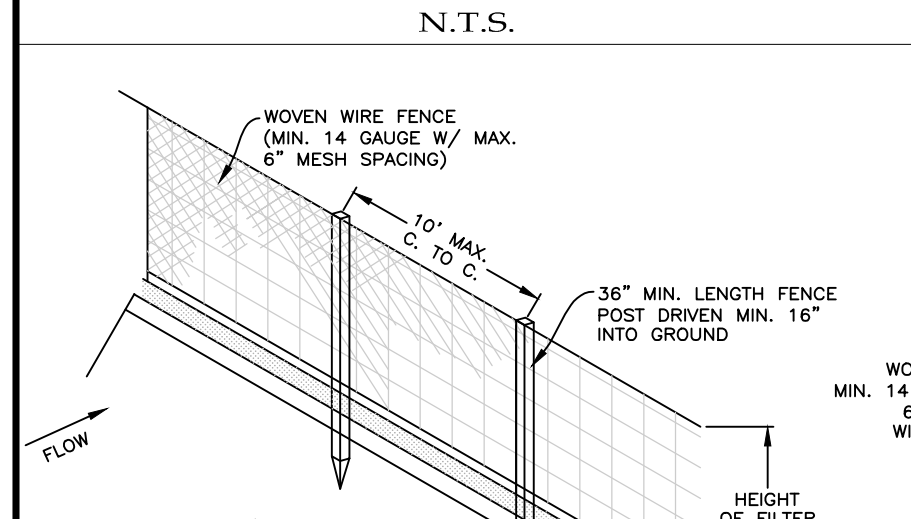
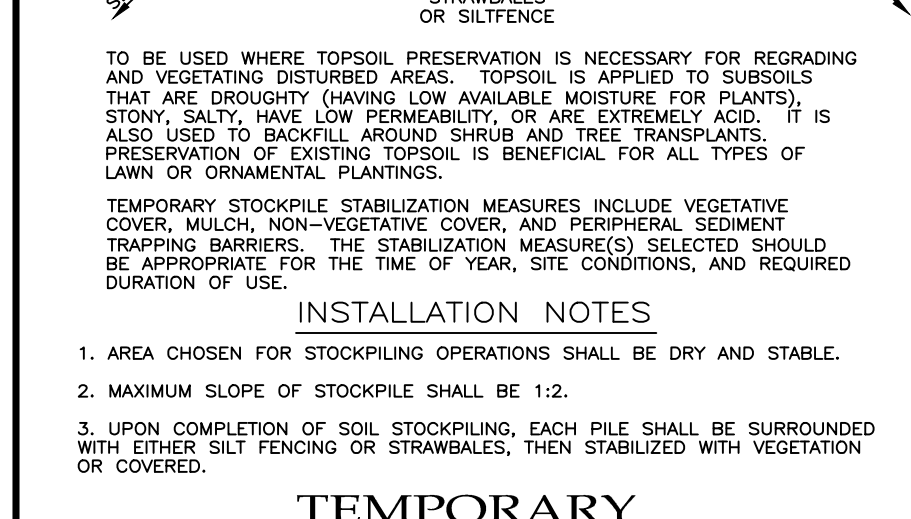
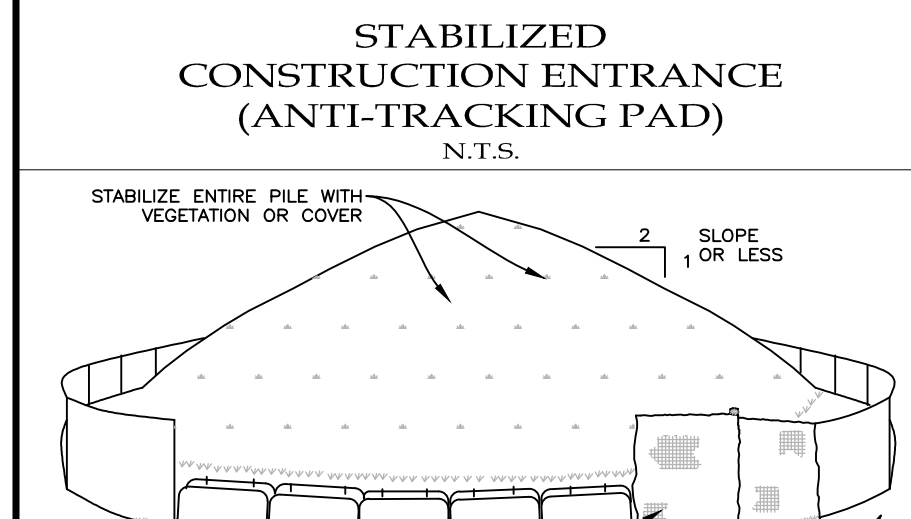
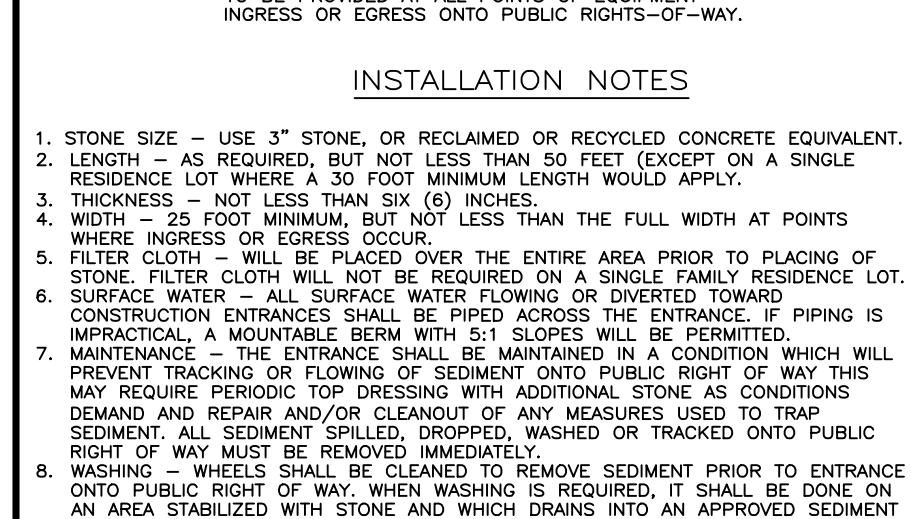
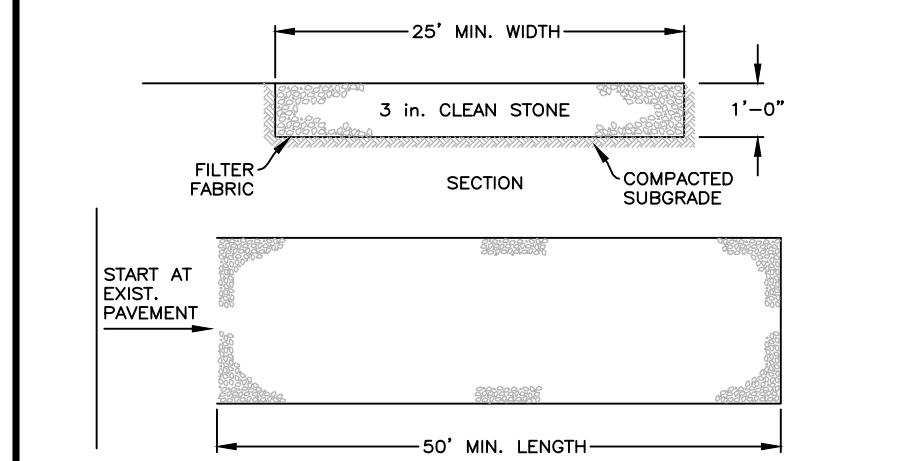
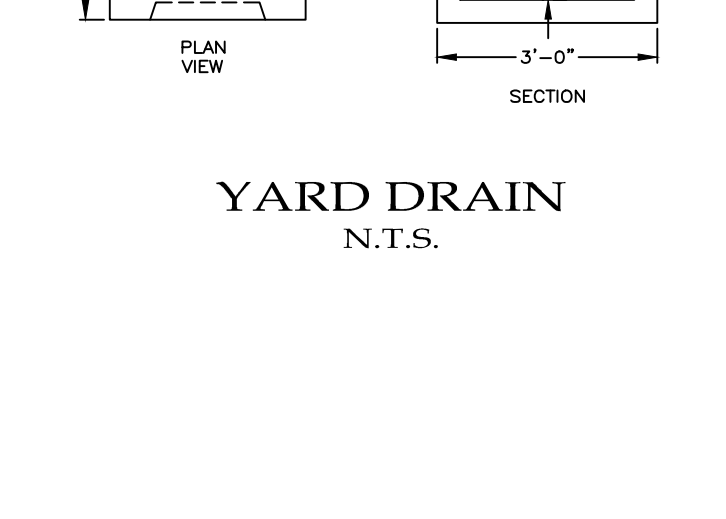
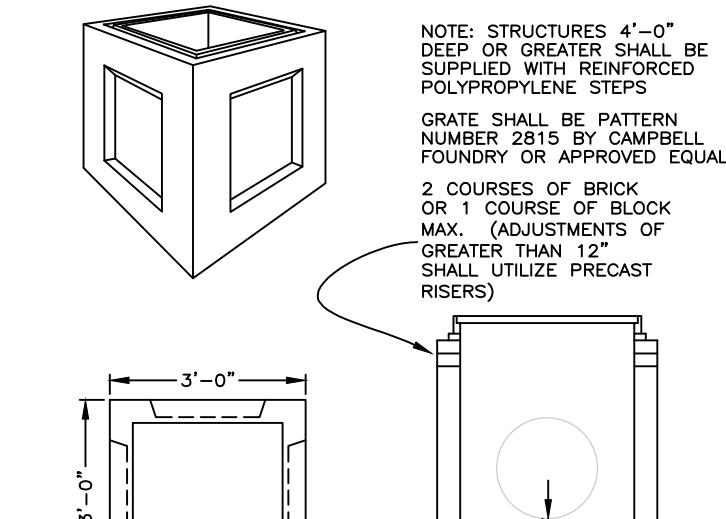
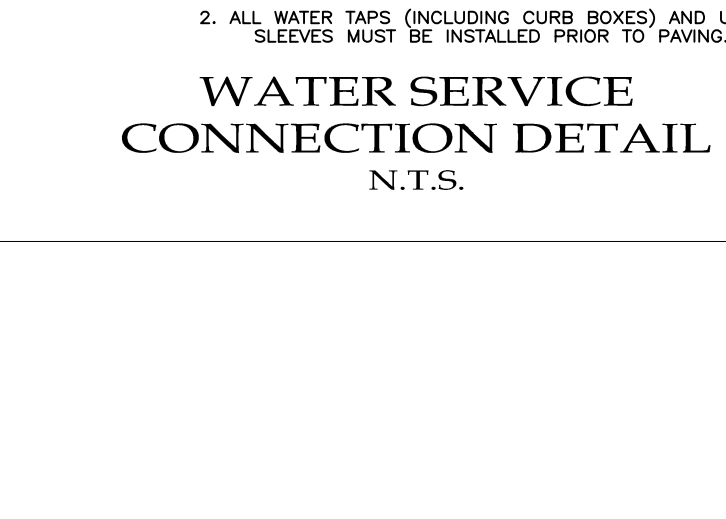
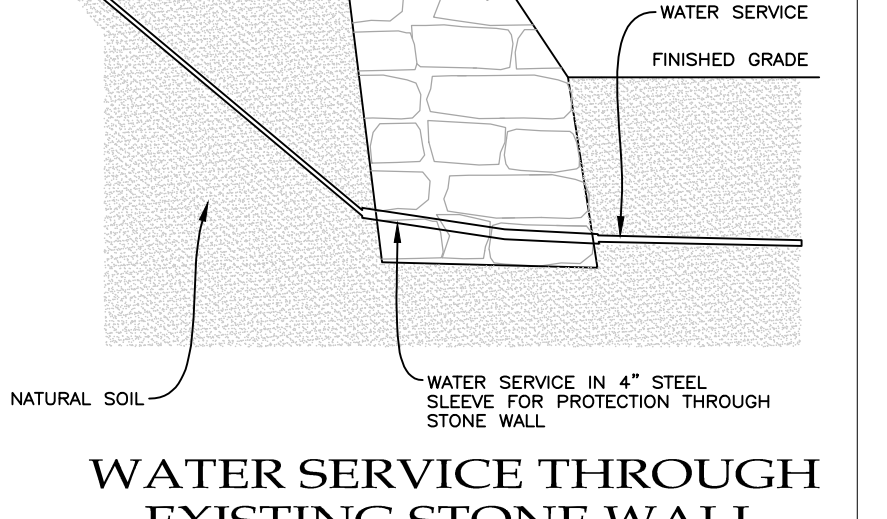
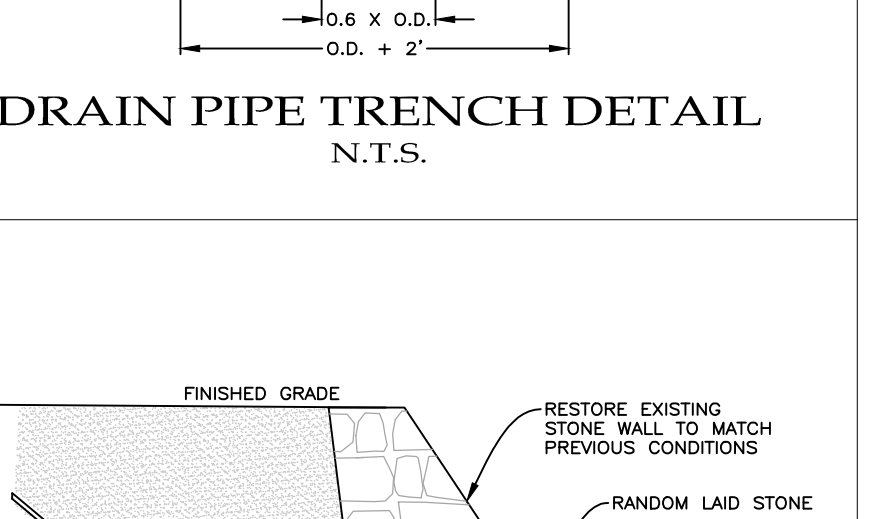
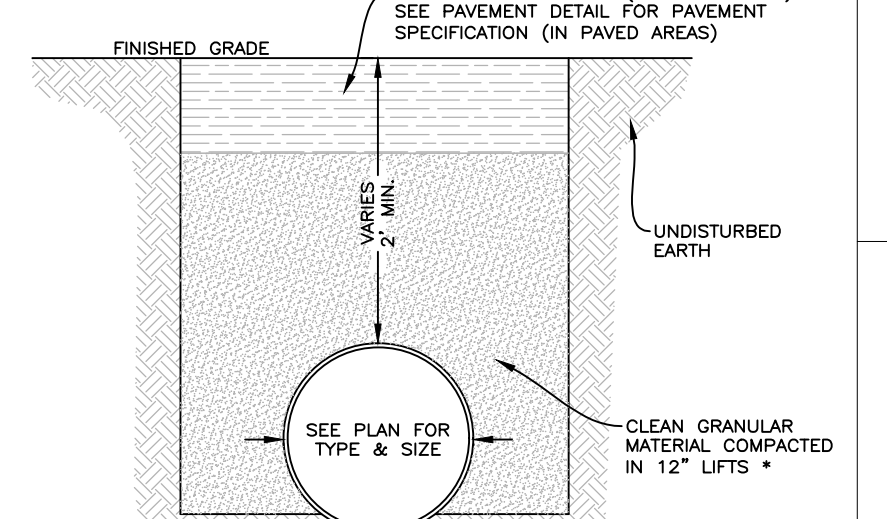
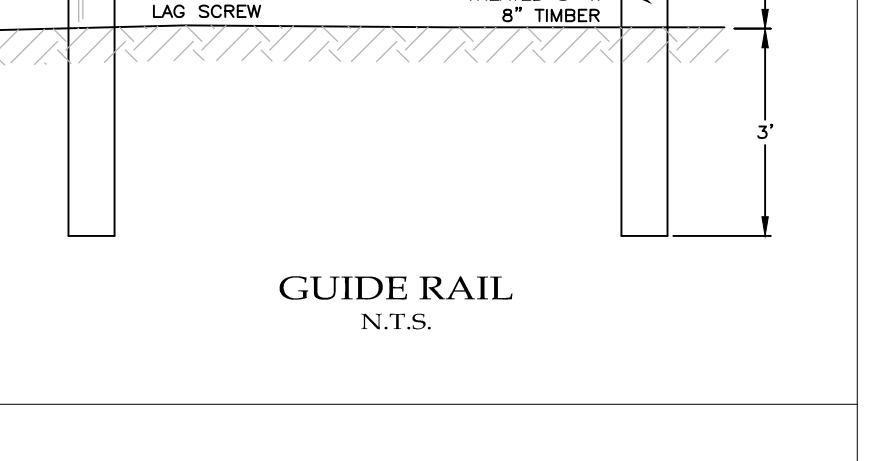
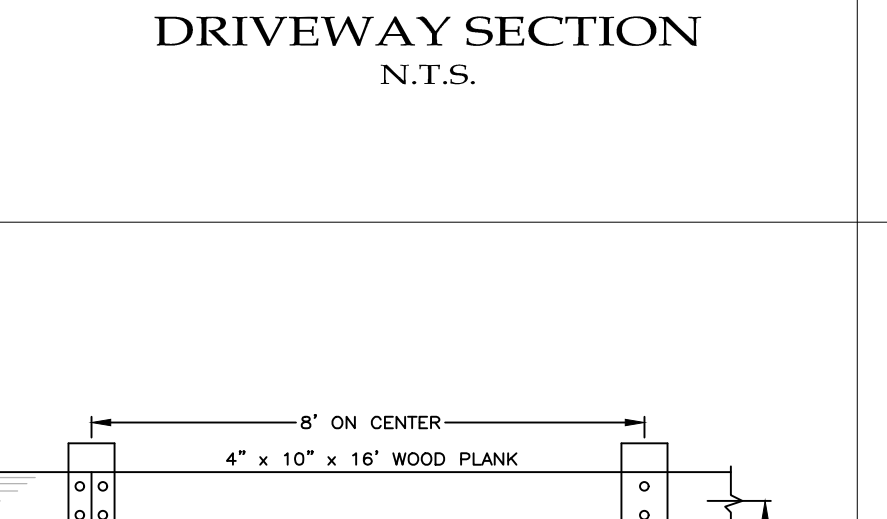
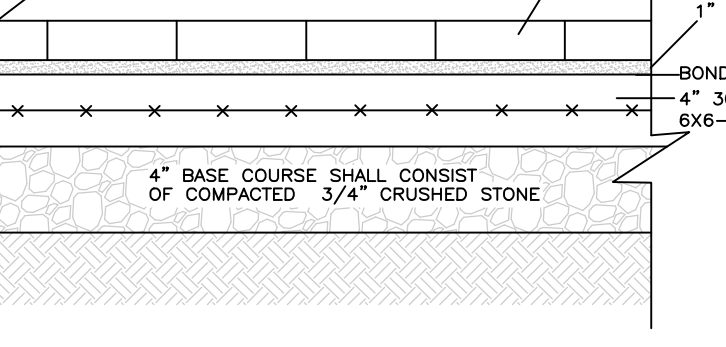
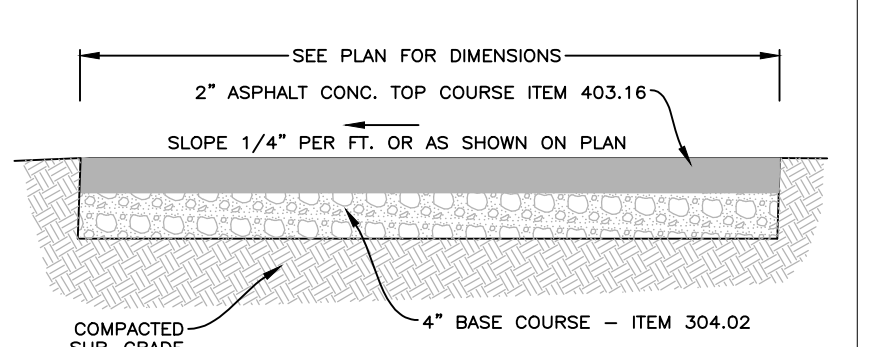
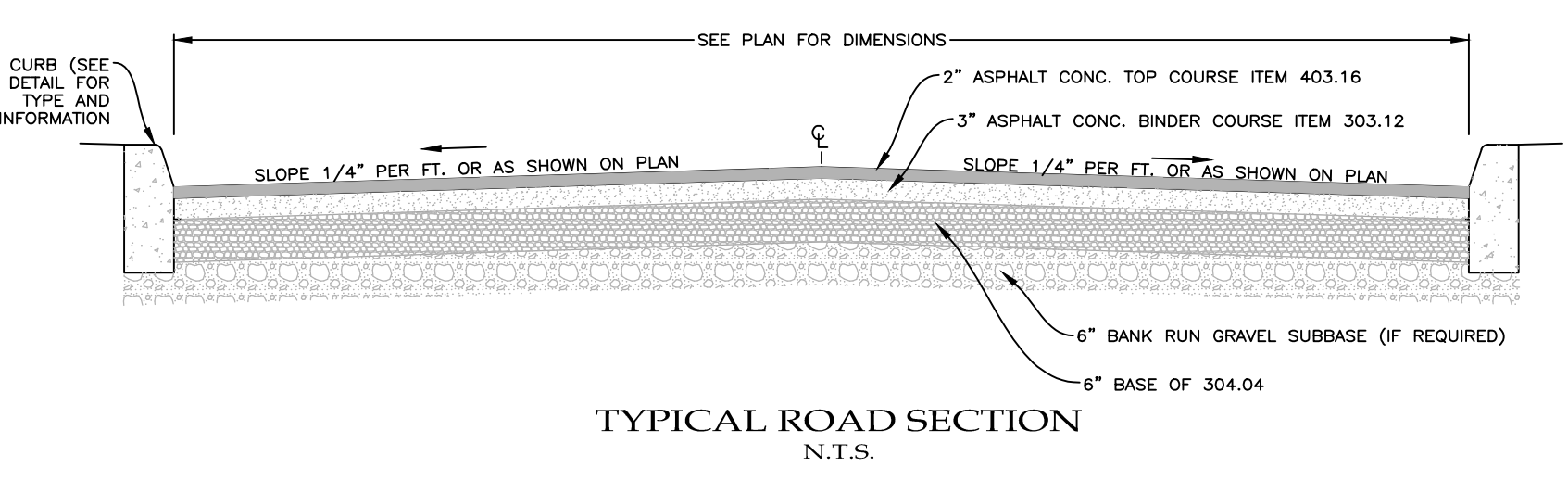
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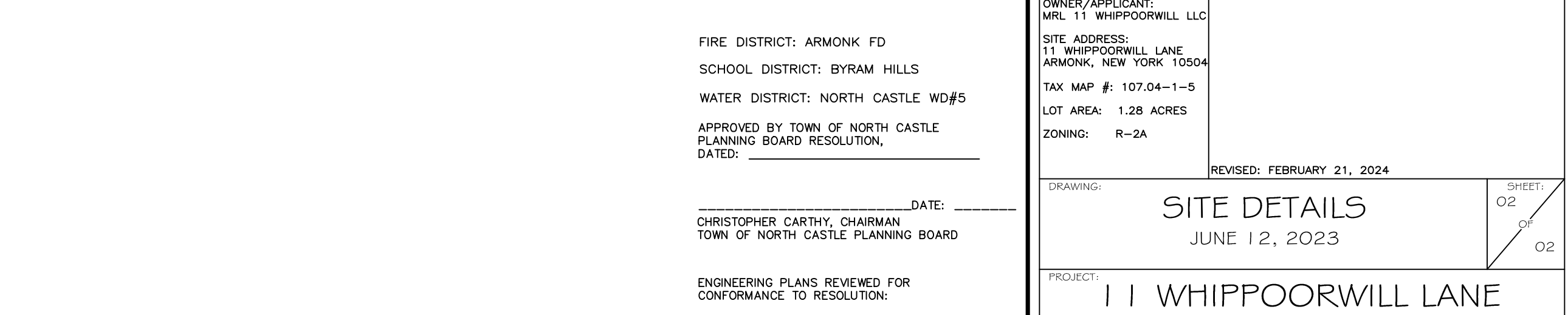
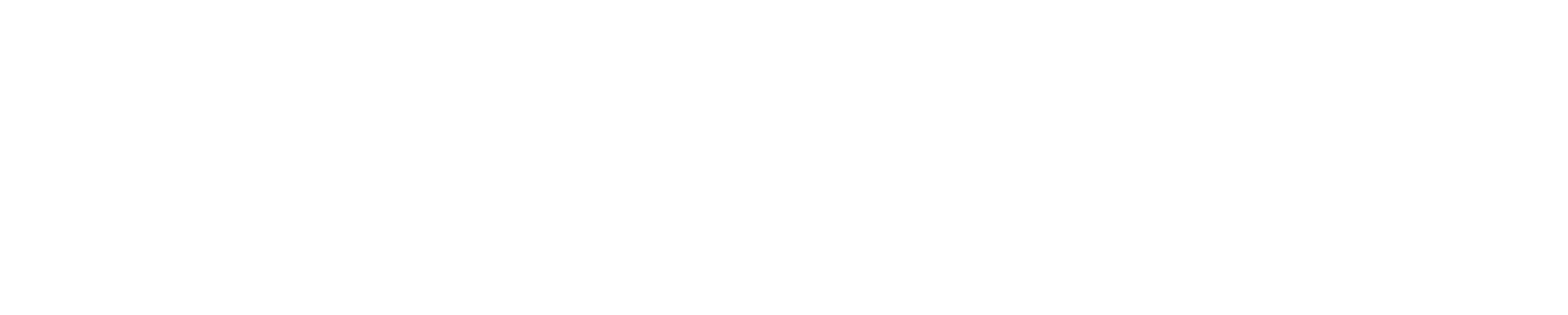
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EROSION CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR EROSION DISTURBANCES AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD OR UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE LOCATIONS NOTED ON THE EROSION CONTROL PLAN. ADDITIONAL SILT FENCE MAY BE REQUIRED BY THE ENGINEER IN EFFECTIVE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- INSTALL ANTI-TRACKING PAD AT ALL CONSTRUCTION ENTRANCES. ANTI-TRACKING PAD SHALL BE 2'-3" DIAMETER CRUSHED STONE 6" DEEP.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT REMOVING DEVICES SHALL BE MONITORED AND SCUMED REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND IMMEDIATELY AFTER EACH RAINFALL TO INSURE PROPER OPERATION AS DESIGNED. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS OR OTHERWISE STABILIZED. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH STAKED HAYBALES OR SILT FENCE.
- ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED TOBACCO NETTING OR EROSION BLANKET AS NOTED, UNLESS OTHERWISE DIRECTED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT TO BE USED FOR CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF A BUILDING SHALL BE NETTED AS NECESSARY TO PROVIDE DUST CONTROL. A WATERING TRUCK WILL BE USED IN DRY SEASON TO WET DOWN DUST AREAS.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- ALL CATCH BASINS AND DRAIN INLETS ARE TO BE PROTECTED WITH SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON THE HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEEDED AND MULCHED.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED BY THE CONTRACTOR. IN ADDITION TO ALL SPECIFIED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK).



FIRE TRUCK MANEUVERING PLAN	
Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.75ft
Min Body Width Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°



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ALFONZETTI ENGINEERING, P.C.
 14 SMITH AVE, MT. KISCO, N.Y. 10549
 914-666-9800 INFO@ALFONZETTIENG.COM

SITE DATA
 OWNER/APPLICANT: MRL 11 WHIPPOORWILL LLC
 FIRE DISTRICT: ARMONK FD
 SCHOOL DISTRICT: BYRAM HILLS
 WATER DISTRICT: NORTH CASTLE WD#5
 APPROVED BY TOWN OF NORTH CASTLE PLANNING BOARD RESOLUTION, DATE: _____

SITE DETAILS
 DATE: _____
 CHRISTOPHER CARTHY, CHAIRMAN
 TOWN OF NORTH CASTLE PLANNING BOARD
 ENGINEERING PLANS REVIEWED FOR CONFORMANCE TO RESOLUTION: _____
 JOSEPH M. CERNIELLO, P.E.
 KELLARD SESSIONS CONSULTING
 CONSULTING TOWN ENGINEERS

PROJECT: 11 WHIPPOORWILL LANE
 TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK

DRAWING: _____
 SHEET: 02 OF 02