

February 26, 2024

Via Email

Christopher Carthy, Chairman North Castle Planning Board 17 Bedford Road Armonk, NY 10504

> Re: MRL 11 Whippoorwill LLC 11 Whippoorwill Lane (107.04-1-5) Site Plan Application

Chairman Carthy and Members of the Planning Board:

As you know, this firm, together with Alfonzetti Engineering, P.C., represents MRL 11 Whippoorwill LLC ("Applicant") in connection with this Site Plan Application for the construction of a single-family home at the property located at 11 Whippoorwill Lane ("Property"). This application was last before your Board on January 22, 2024. At that meeting, we discussed two project alternatives: (i) the current proposal before your Board, which consists of an approximately 7,300 s.f. single-family home; and (ii) the smaller 5,800, s.f. single-family home that the prior owner previously received approvals for from the RPRC. After our presentation, your Board advised that under either scenario the Applicant would be required to make certain improvements to Whippoorwill Lane in order to ensure that it was "suitably improved" and able to accommodate the additional home at the end of a private lane.

After our presentation, two of the neighboring property owners voiced their opposition to the development of the Property. In particular, they were opposed to the construction of the larger home. Additionally, they raised concerns regarding screening, stormwater and potential impact of the development of the Property on the surrounding neighborhood.

Since the January 22nd meeting, the Applicant has had two meetings which we believe significantly advanced the project. First, the Applicant and its project team met on site with the Town Planner, Town Engineer, and Building Inspector to discuss potential improvements to Whippoorwill Lane, working with the neighbors to address stormwater concerns, construction of a smaller house and providing increased screening between 9 and 11 Whippoorwill Lane. Based on that meeting, the project engineer has begun revising his plans to show certain improvements to Whippoorwill Lane to increase safety. These improvements include expanding the width of the lane in two areas and expanding the existing taper along a driveway. Additionally, we have reached out to the owner of the property located at 11 Stone Hollow Way to discuss what improvements can be done to assist with alleviating the existing stormwater issues on his property.

Next, two of the property owners who spoke at the January 22^{nd} meeting sent me an email that outlined their specific concerns relating to the project. In an effort to work cooperatively with

Phone: (914) 682-7800 81 Main Street, Suite 415 White Plains, New York 10601 Direct: (914) 220-9804 www.zarin-steinmetz.com



the neighbors, the Applicant and I met with the Mr. Randolph and Mr. Mayers on Saturday, February 10th, to discuss the items in their email. As discussed at that meeting, the Applicant can and will address the vast majority of the issued raised. Again, and most significantly, the Applicant is abandoning its proposal to construct a 7,300 s.f. house on the Property and has agreed to go back to the previously approved home.

The Applicant is now proposing to develop the Property with the previously approved single-family home that is fully compliant with all zoning regulations. The proposed home is approximately 5,800 s.f., consisting of a basement, first, second floor, attic, garage, and porch. The maximum floor area permitted on the Property, based upon its size of 1.28 acres, is 8,468 s.f. The Applicant's proposal is roughly 32% beneath the maximum allowed by the zoning code. Additionally, the maximum allowable building coverage for the Property is 8%. The Applicant's proposal has a development coverage of 3.7%, which is below the maximum permitted by approximately 54%. As you can see on the enclosed plans, the proposal is also fully compliant with all required setback and height requirements.

Further, moving forward with the reduced size home allowed the Applicant to shift the existing house 6 feet to the north, further away from 9 Whippoorwill Lane. This increased distance between the two homes allows for additional screening plantings to be provided between the two homes.

In support of this application, the Applicant is pleased to submit the following plans:

- 1. General Conditions; Floor Area Calculations (A-001), last revised February 18, 2024
- 2. Landscape Plan (A-002), last revised February 18, 2024
- 3. Basement Plan (A-101), last revised February 18, 2024
- 4. First Floor Plan (A-102), last revised February 18, 2024
- 5. Second Floor Plan (A-103), last revised February 18, 2024
- 6. Roof Plan (A-104), last revised February 18, 2024
- 7. Basement Reflected Ceiling Plan (A-105), last revised February 18, 2024
- 8. First Floor Reflected Ceiling Plan (A-106), last revised February 18, 2024
- 9. Second Floor Reflected Ceiling Plan (A-107), last revised February 18, 2024
- 10. Exterior Elevations (A-201), last revised February 18, 2024
- 11. Exterior Elevations (A-202), last revised February 18, 2024
- 12. Exterior Elevations (A-203), last revised February 18, 2024
- 13. Exterior Elevations (A-204), last revised February 18, 2024
- 14. Building Sections (A-301), last revised February 18, 2024
- 15. Wall Section; Details (A-302), last revised February 18, 2024
- 16. Window and Door Schedules; General Details (A-303), last revised February 18, 2024
- 17. Construction Notes; Plumbing Riser Diagram (A-304), last revised February 18, 2024
- 18. HVAC Diagrams (A-401), last revised February 18, 2024
- 19. General Details (A-901), last revised February 18, 2024



- 20. Site Plan, prepared by Alfonzetti Engineering, P.C., dated June 12, 2023, last revised February 21, 2024
- 21. Site Details, prepared by Alfonzetti Engineering, P.C., dated June 12, 2023, last revised February 21, 2024
- 22. Gross Land Coverage Worksheet, prepared by Alfonzetti Engineering, P.C., dated February 26, 2024
- 23. Gross Land Coverage Backup, prepared by Alfonzetti Engineering, P.C., dated October 20, 2023
- 24. Whippoorwill Lane Improvement plan, prepared by Alfonzetti Engineering, P.C., dated February 20, 2024

Please place this matter on the Planning Board's March 11, 2023 agenda for a continuation of the public hearing and, if your Board deems appropriate, site plan approval.

If you have any questions or concerns, please don't hesitate to contact me.

Very truly yours,

Kory Salomone
Kory Salomone

cc: Adam Kaufman, AICP Roland Baroni, Jr., Esq. John Kellard, P.E. Serge Lebedev Ralph Alfonzetti, P.E.

NEW SINGLE-FAMILY RESIDENCE

MRL 11 WHIPPOORWILL LLC 11 WHIPPOORWILL LN, ARMONK, NY 10504

ZONE: R-2A SECTION:107.04 BLOCK: 1 LOT: 5

ACOUST ACOUSTICAL

AL/ ALUM ALUMINUM

BUILDING

CHAIR RAIL

CEILING

CONTROL JOINT

CROWN MOLD

CONSTRUCTION

CONCRETE

CONT CONTINUOUS CPT CARPET

CONTR CONTRACTOR/CONTRACT

CERAMIC TILE

DIAGONAL

DIMENSION

DOWN SPOUT

EL/ELEV ELEVATION/ ELEVATOR

ELECTRIC WATER COOLER

FIBERGLASS REIN. PLASTIC

GROSS SQUARE FOOTAGE

HIGH INTENSITY DISCHARGE

H.V.A.C. HEATING, VENTILATION & AIR CONDITIONING

GLAZED CERAMIC TILE

GYPSUM WALL BOARD

GLASS/GLAZED

HOLLOW CORE

HOLLOW METAL

INSIDE DIAMETER

JANITOR CLOSET

INCAND INCANDESCENT

INSUL INSULATION

HARDWARE

H.I.D.

HT/H

GROUND

EMERGENCY

DOWN

DTL/DET DETAIL

ELEC ELECTRICAL

(E)/EXIST EXISTING

EXP. JT. EXPANSION JOINT

FIRE ALARM

FIXTURE

FLUOR FLUORESCENT

FLOOR DRAIN

DRINKING FOUNTAIN

CONCRETE MASONRY UNIT

BLOCK

ADJUSTABLE ABOVE FINISHED FLOOR

ACOUSTICAL CEILING TILE

BUILDING STANDARD

ARCHITECTURAL/ARCHITECT

GENERAL CONDITIONS:

BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL

CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE

DEPARTMENT REGULATIONS, FHA FRAMING STANDARDS, OSHA CODES, FHMU AND UTILITY

THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT

- CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF LOCAL GOVERNING
- CODES, AND BEST TRADE PRÁCTICES. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE PLANS, SPECIFICATIONS, AND/OR DETAILS DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BI
- RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS. ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPÉRATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- CONTRACTORS ARE TO FILE INSURANCE CERTIFICATE AND OBTAIN ALL PERMITS. SCHEDULE ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND HFMU CERTIFICATES, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK SHALL START PRIOR TO OBTAINING PERMITS.
- GENERAL CONTRACTOR SHALL CARRY PROPERTY DAMAGE INSURANCE AND PUBLIC LIABILITY INSURANCE, WORKMAN'S COMPENSATION, AUTO INSURANCE, GENERAL
- THE ARCHITECT HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS, EITHER NOT HOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED TO ARCHITEC BY OWNER, OR NOT MEASURABLE DUE TO TOTAL ABSENCE OF ANY DRAWINGS, OR TOO INACCESSIBLE TOO INACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING DRAWINGS THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE DRAWINGS FOR BIDDING SCOPE ONLY, AND WILL FURNISH MORE DETAILED INFORMATION LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE AND MEASURABLE, BY THE CONTRACTORS. ANY WORK THAT MUST BE DON ADDITIONALLY IN AREAS WHERE INFORMATION OR INDICATIONS WHERE WORK IN LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA CHARGE, SUBJECT TO THE ARCHITECTS APPROVAL OF AN ITEMIZED COST BREAKDOWN.
- 10. ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT
- ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF ANY OF THE . CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW

CONTRACTORS SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH

CONDITIONS AND MATERIALS WITH AND ADIACENT TO THE CONSTRUCTION AREA ANY

DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE

- 12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF CONSTRUCTION DEBRIS, RUBBISH AND OFF SITE DISPOSAL IN A RESPONSIBLE MANOR
- CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- 14. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS ONLY.
- 15. CONTRACTOR SHALL LAY OUT WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSIONS TO ALL PARTIES.
- 16. BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK. . CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER
- BEING AUTHORIZED TO PROCEED. THE SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF THE ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIAL PROMPTLY. 18. CONTRACTOR IS TO DESIGN AND INSTALL ADEQUATE AND CODE APPROVED SHORING AND
- BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE . ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. THE GENERAL
- CONTRACTOR IS TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTOR'S WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INTERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT NO COST TO OWNER.
-). SUBSTITUTIONS OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR IN THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT HIS SUBSTITUTION FOR APPROVAL BEFORE RELEASING ANY ORDER FOR FABRICATION AND/OR SHIPMENTS. THE ARCHITECT RESERVES THE RIGHT TO DISAPPROVE SUCH SUBSTITUTION, PROVIDED IN HIS SOLE OPINION, THE ITEM OFFERED IS NOT EQUAL OF THE ITEM SPECIFIED. WHERE A CONTRACTOR PURPOSES TO USE AN ITEM THER THAN THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRES ANY REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING OR OF ANY OTHER PART OF THE MECHANICAL, ELECTRICAL, OR ARCHITÉCTURAL LAYOUT, ALL SUCH REDESIGN, AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREFOR SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS, BUT CHANGES OF MAGNITUDE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT
- 22. UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING, BUT NOT LIMITED TO, THE COMPLETE SWEEPING OF ALL AREAS, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED BY OWNER OR OTHER DOING N.I.C. WORK.
- REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC. AND SPRAY CLEANING OF ALL GLASS /MIRRORS. REMOVAL OF STAINS, AND PAINT FROM GLASS, HARDWARE, FINISHED FLOORING
- PROFESSIONAL INTERIOR AND EXTERIOR FINAL CLEANING OF THE ENTIRE STRUCTURE. RESTORATION OF PROPERTY BY RETURNING SHRUBS TO ORIGINAL LOCATIONS, FILLING OF ALL RUTS, RAKE TOPSOIL, PLANT GRASS SEED ON DAMAGED LAWN AREAS AND REPAIRS TO DAMAGED BLACKTOP.
- 23. UNLESS OTHERWISE NOTED, MATERIALS SHALL BE PREPARED, INSTALLED, FITTED, AND ADJUSTED IN ACCORDANCE WITH MANUFACTURES' SPECIFICATIONS, DETAILS, AND
- 24. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS RESPONSIBILITY DURING THE PROGRESS OF THE PROJECT. . GENERAL CONTRACTORS TO NOTIFY THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ARISE DURING CONSTRUCTION.
- 6. GENERAL CONTRACTORS SHALL COORDINATE WITH THE VARIOUS TRADES INVOLVED IN
- 27. THE CONTRACTOR SHALL PROTECT AND NOT DAMAGE TREES, PLANTINGS OR SHRUBS
- WHERE CONSTRUCTION WORK IS REQUIRED AT THE EXISTING EXTERIOR OF THE BUILDING. 28. THE ENTIRE WORK AREA SHALL BE DELIVERED TO THE OWNER IN PROPER WORKING

PROJECT DESCRIPTION MATERIAL LEGEND

NEW 4,749.88 SF SINGLE-FAMILY RESIDENCE Earth **CODE SUMMARY** Concrete Concrete Block ALL WORK SHALL BE IN ACCORDANCE WITH THE TOWN OF NORTH CASTLE CODES & ORDINANCES. 2020 BUILDING CODE OF NEW YORK STATE BUILDING 2020 RESIDENTIAL CODE OF NEW YORK STATE Brick 2020 NYS UNIFORM CODE SUPPLEMENT EXISTING BUILDING 2020 EXISTING BUILDING CODE OF NEW YORK STATE Marble 2020 FIRE CODE OF NEW YORK STATE PLUMBING 2020 PLUMBING CODE OF NEW YORK STATE MECHANICAL 2020 MECHANICAL CODE OF NEW YORK STATE FUEL GAS 2020 FUEL GAS CODE OF NEW YORK STATE Plywood 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE ENERGY PROPERTY MAINTENANCE 2020 PROPERTY MAINTENANCE CODE OF NEW YORK STATE Metal ACCESSIBILITY USE AND OCCUPANCY CLASSIFICATION: Wood Finish SINGLE-FAMILY RESIDENCE: R-3 (NYSBC: 310.5) Wood Rough CONSTRUCTION TYPE: TYPE VB (NYSBC: TABLE 601) Insulation

Glazing/Mirror

Rigid Insulation

LAVATORY

METAL MULLION

N/A N.I.C.

P.L. P-LAM PLBG

P.M.U.

MASONRY OPENING

NOT APPLICABLE

NOT IN CONTRACT

NOT TO SCALE

OVER ALL

ON CENTER

OVERFLOW

PARTITION

OPPOSITE HAND

PROPERTY LINE

PLUMBING

POLISHED

QUANTITY

RELOCATED

RECEPTACLE ROUGH OPENING

ROOF TOP UNIT

SOLID CORE

SCHEDULE SECTION

SPECIFY/ SPECIFIED

STAINLESS STEEL

SUSPENDED

TELEPHONE

TEMPERED

THRESHOLD TOP OF

TOP OF WALL

UNDERCUT

UNDERSIDE

VOLUME

WITHOUT

WOOD

WEIGHT

WATER CLOSET

WATER HEATER WORKING POINT

U.L. APPROVED

VERIFY IN FIELD

TOP OF STEEL/SLAB

TO MATCH EXISTING

UNLESS OTHERWISE NOTED

USABLE SQUARE FOOTAGE

VINYL COMPOSITION TILE

VINYL WALL COVERING

TEL TEMP THRES T.O. T.O.S. T.O.W. TYP

V.I.F.

V.W.C.

W/O WC WD W.H.

RUBBER BASE

REFLECTED CEILING PLAN

RENTABLE SQUARE FOOTAGE

SQUARE FOOT/ SQUARE FOOTAGE

PLASTIC LAMINATE

PRE-CAST MASONRY UNIT

PROJECT/PROJECTION

PRESSURE TREATED

NET SQUARE FOOTAGE

OUTSIDE DIAMETER

Gravel

ABBREVIATION LEGEND

AMERICANS WITH DISABILITIES ACT

OWNER/CLIE MRL 11 WHIPPOORWILL LL MILLWOOD, NY 10546 T: 845.743.5541 E: 7156881@GMAIL.COM

T: 914.774.0534 E: RDILEO@RDSTUDIO-INC.COM

17 BEDFORD ROAD ARMONK, NY 10504 T: 914.273.3000 E: BUILDING@NORTHCASTLENY.CON

| A-001 | GENERAL CONDITIONS; FLOOR AREA CALCULATIONS | 5 |
|-------|---|------------------------|
| A-002 | LANDSCAPE PLAN | |
| A-101 | BASEMENT PLAN | |
| A-102 | FIRST FLOOR PLAN | |
| A-103 | SECOND FLOOR PLAN | |
| A-104 | ROOF PLAN | |
| A-105 | BASEMENT REFLECTED CEILING PLAN | |
| A-106 | FIRST FLOOR REFLECTED CEILING PLAN | |
| A-107 | SECOND FLOOR REFLECTED CEILING PLAN | |
| A-201 | EXTERIOR ELEVATIONS | |
| A-202 | EXTERIOR ELEVATIONS | |
| A-203 | EXTERIOR ELEVATIONS | |
| A-204 | EXTERIOR ELEVATIONS | |
| A-301 | BUILDING SECTIONS | |
| A-302 | WALL SECTION; DETAILS | |
| A-303 | WINDOW AND DOOR SCHEDULES; GENERAL DETAILS | |
| A-304 | CONSTRUCTION NOTES; PLUMBING RISER DIAGRAM | |
| A-401 | HVAC DIAGRAMS | |
| A-901 | GENERAL DETAILS | |
| S1 | TRUCTURAL DESI | GN CRITER |
| | SOIL BEARING CAPACITY: CRETE FOOTINGS: | 3,000 PSF 3,000 PSI |
| | RETE SLABS ON GRADE/COMPACTED FILL: | 3,000 PSI |
| | ECTION LIMITS (NYSBC: 1604.3): | L/360 |

STRUCTURAL STEEL - ASTM A992 GRADE 50 U.N. STEEL PLATES - ASTM A36 U.N. // HIGH STRENGTH BOLTS ASTM A325, GALVANIZED NUTS - ASTM A563 GALVANIZED // WELDING ELECTRODES - AWS CLASS E70

LOCATION MAP: NTS

 $6.541' \times 4.\overline{916'} = 32.16 \text{ SF}$

1.375' X 2.708' = 3.72 SF

| EC | T DIREC | CTORY | _1\ |
|-----|---|--|-------------------------------------|
| NT) | ARCHITECT | CONTRACTOR | BUILDING |
| c \ | ROCCO DILEO | IRM BUILDERS GROUP LLC | DEPARTMENT |
| { | RDstudio, inc 363 WESTCHESTER AVENUE PORT CHESTER, NY 10573 | 23 CHAMPION AVENUE STATEN ISLAND, NY 10306 T: 212.470.2913 | TOWN OF NORTH CASTLE BUILDING DEPT. |

DRAWING LIST

| A-001 | GENERAL CONDITIONS; FLOOR AREA CALCULATIONS |
|-------|---|
| A-002 | LANDSCAPE PLAN |
| A-101 | BASEMENT PLAN |
| A-102 | FIRST FLOOR PLAN |
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| A-201 | EXTERIOR ELEVATIONS |
| A-202 | EXTERIOR ELEVATIONS |
| A-203 | EXTERIOR ELEVATIONS |
| A-204 | EXTERIOR ELEVATIONS |
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| | |

| IIN. SOIL BEARING CAPACITY: | 3,000 PSF |
|--|---------------------------|
| ONCRETE FOOTINGS: | 3,000 PSI |
| ONCRETE SLABS ON GRADE/COMPACTED FILL: | 3,000 PSI |
| EFLECTION LIMITS (NYSBC: 1604.3): | L/360 |
| VE LOADS (NYSBC: TABLE 1607.1): | |
| RST & SECOND FLOOR | 40PSF |
| TTIC W/O STORAGE | 20PSF |
| OOF | 30PSF |
| TRUCTURAL STEEL MATERIALS SHALL MEET THE REC | DUIREMENTS OF THE FOLLOWI |

JUTUKAL STEEL MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS UNLESS NOTED OTHERWISE:

3.875' X 2.708' = 10.49 SF - 2D 6.666' X 4.208' = 28.05 SF 31.208' X 24.666' STAIRCASE OPEN'G 6.125' X 5.416' = 33.17 SF (NOT INCLUDED) 6.333' X 7.75' = 48.76 SF

6.583' X 2.166' = 14.29 SF

(NOT INCLUDED) $11.416' \times 1.375' = 15.70 \text{ SF}$

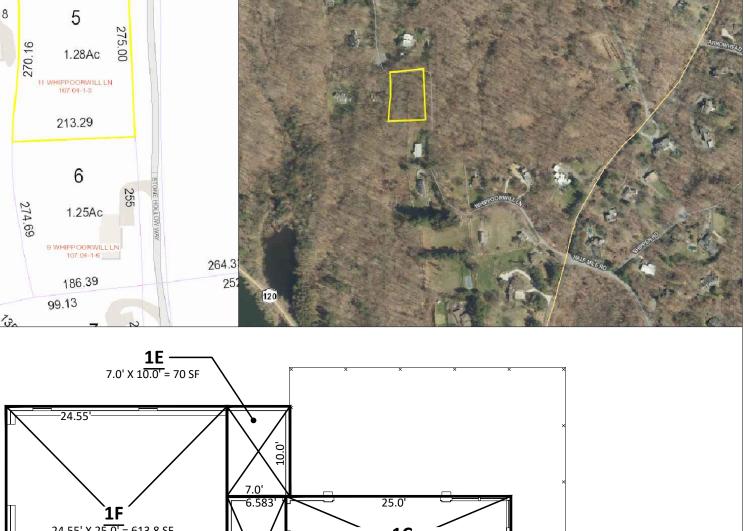
BASEMENT GROSS FLOOR AREA DIAGRAM

SECOND FLOOR GROSS FLOOR AREA DIAGRAM

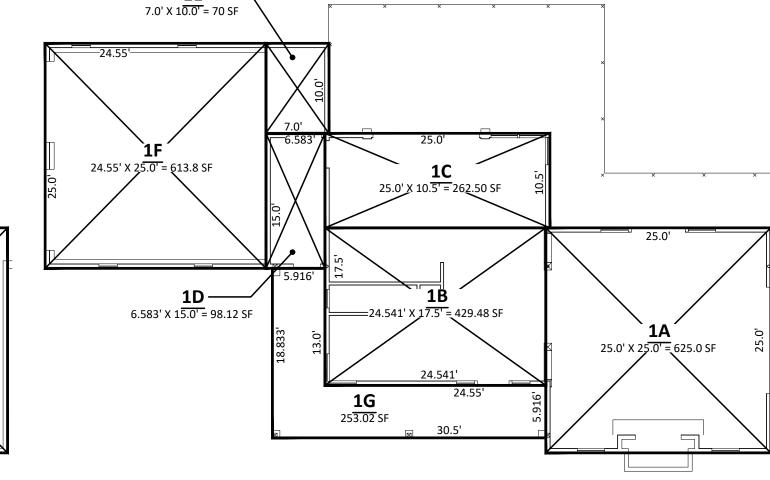
213.29 99.13

TAX MAP: 107.04-1-5

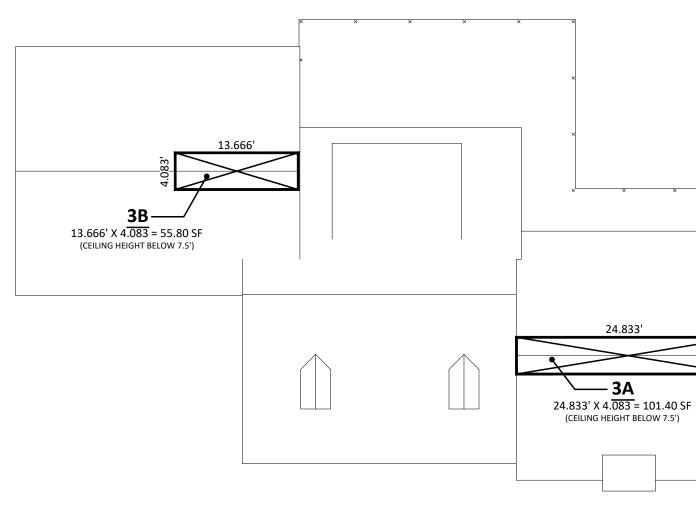
25.0' X 25.0' = 625.0 SF



AERIAL MAP: NTS







ATTIC GROSS FLOOR AREA DIAGRAM

| BASEMENT GFA CALCULATION | | FIRS | FIRST FLOOR GFA CALCULATION | | SECOND FLOOR GFA CALCULATION | |
|----------------------------------|------------------------------------|-----------------------------|---|---------------------|------------------------------|----------------------------------|
| MARK | SQUARE FOOTAGE | MARK | SQUARE FOOTAGE | MARK SQUARE FOOTAGE | | SQUARE FOOTAGE |
| 0A | 8.0' X 2.0' = 16.0 SF | 1A | 25.0' X 25.0' = 625.0 SF | | 2A | 6.583' X 2.166' = 14.29 SF |
| ОВ | 25.0' X 25.0' = 625.0 SF | 1B | 24.541' X 17.5' = 429.48 SF | | 2B | 24.666' X 7.333' = 180.88 SF |
| 0C | 13.125' X 17.5' = 229.68 SF | 1C | 25.0' X 10.5' = 262.50 SF | | 2C | 24.833' X 17.333' = 430.44 SF |
| 0D | 11.416' X 1.375' = 15.70 SF | 1E | 7.0' X 10.0' = 70.0 SF | | 2D | 6.666' X 4.208' = 28.05 SF |
| 0E | 1.375' X 2.708' = 3.72 SF | 1F | 24.55' X 25.0' = 613.8 SF | | 2E | 14.166' X 10.645' = 150.80 SF |
| 0F | 11.416' X 13.375' = 152.70 SF | 1G | PORCH = 250.02 | | 2F | 3.875' X 2.708' = 10.49 SF |
| 0G | 6.541' X 4.916' = 32.16 SF | | | | 2G | 24.208' X 4.520' = 109.44 SF |
| ОН | 25.541' X 10.5' = 257.68 SF | | | | 2H | 12.75' X 5.062' = 226.02 SF |
| | FIRST FLOOR GFA TOTAL = 1,415.1 SF | | | 21 | 6.333' X 7.75' = 48.76 SF | |
| BASEMENT GFA TOTAL = 1,332.64 SF | | GARAGE GFA TOTAL = 683.8 SF | | | 2J | 6.125' X 5.416' = 33.17 SF |
| | | | | | 2K | 31.208' X 24.666' = 769.80 SF |
| | | | CHES CAPABLE EING ENCLOSED GFA TOTAL = 253.02 SF | | SECO | ND FLOOR GFA TOTAL = 2,002.14 SF |

| TT | IC FLOOR GFA CALCULATION | GFA TOTALS | | |
|----------------------------------|------------------------------|-----------------|-----------------------|--|
| ARK | SQUARE FOOTAGE | BASEMENT | 1,332.64 SF | |
| 3A | 24.833' X 4.083' = 101.40 SF | FIRST FLOOR | 1,415.1 SF | |
| зв | 13.666' X 4.083' = 55.80 SF | SECOND FLOOR | 2,002.14 SF | |
| 15.000 X 1.003 55.00 51 | | ATTIC | 157.2 SF | |
| ATTIC FLOOR GFA TOTAL = 157.2 SF | | GARAGE | 683.8 SF | |
| | | PORCH | 253.02 SF | |
| | | GPOSS ELOOP ARI | EA TOTAL - E 9/2 0 SE | |

GROSS FLOOR AREA TOTAL = 5,843.9 SF LOT AREA = 55,914 SF OR 1.2836 ACRES MAX. R-2A PERMITTED GFA = 8,468.24 SF (7,727 PLUS 6% OF THE LOT AREA IN EXCESS OF 1.0 ACRE)

Job Number

AS NOTED

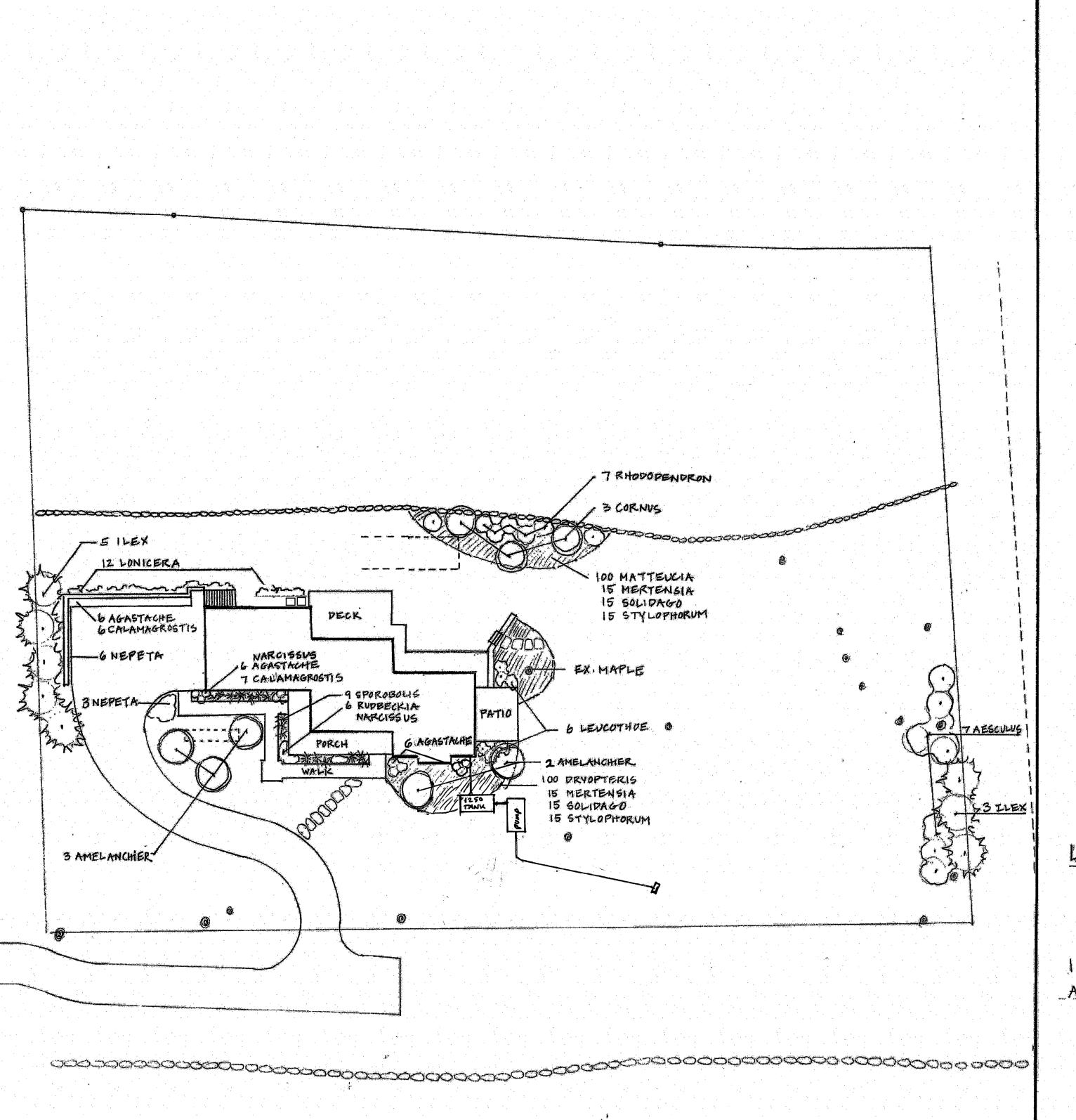
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SUBMITTED TO RPRC

SUBMITTED FOR PERMIT 01.21.20

REV.1: DOB COMMENTS 04.19.21

REV.2: NEW OWNERSHIP 01.04.24



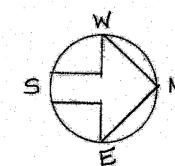
Botanical/Common Name
Aesculus parviflora/Bottlebrush Buckeye Amelanchier x 'Autumn Brilliance'/Serviceberry 7-8' 2-2.5" 7-8' Cornus florida/Flowering dogwood llex opaca/American Holly Botanical/Common Name
Leucothoe axillaris/Coastal Doghobble Rhododendron maximum/Rosebay Rhododendron Ferns, Grasses, Perennials and Vines

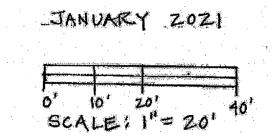
Oty
Botanical/Common Name

Agastache 'Blue fortune'/Giant hyssop Calamagrostis Karl foerster / Feather reed grass Dryopteris marginalis/Marginal wood fern Lonicera sempervirens/Trumpet honeysuckle vine Matteuccia struthiopteris/Ostrich fern Mertensia virginica/Virginia bluebells Nepeta 'Six hills Giant'/Catmint Rudbeckia fulgida 'Deamii'/Black-eyed Susan Solidago flexicaulis/Zig-zag goldenrod Sporobolis heterolepsis/Prairie dropseed grass Stylophorum diphyllum/Yellow wood Poppy

LANDSCAPE PLAN

11 WHIPPOORWILL LANE, LLC ARMONK, NY 10504







STATUS

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01.21.20

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2

NEW SINGLE-FAMILY RESIDENCE FOR:

MRL 11 WHIPPOORWILL LLC

11 WHIPPOORWILL LN, ARMONK, NY 10504

Drawn
JV

Checked

Date

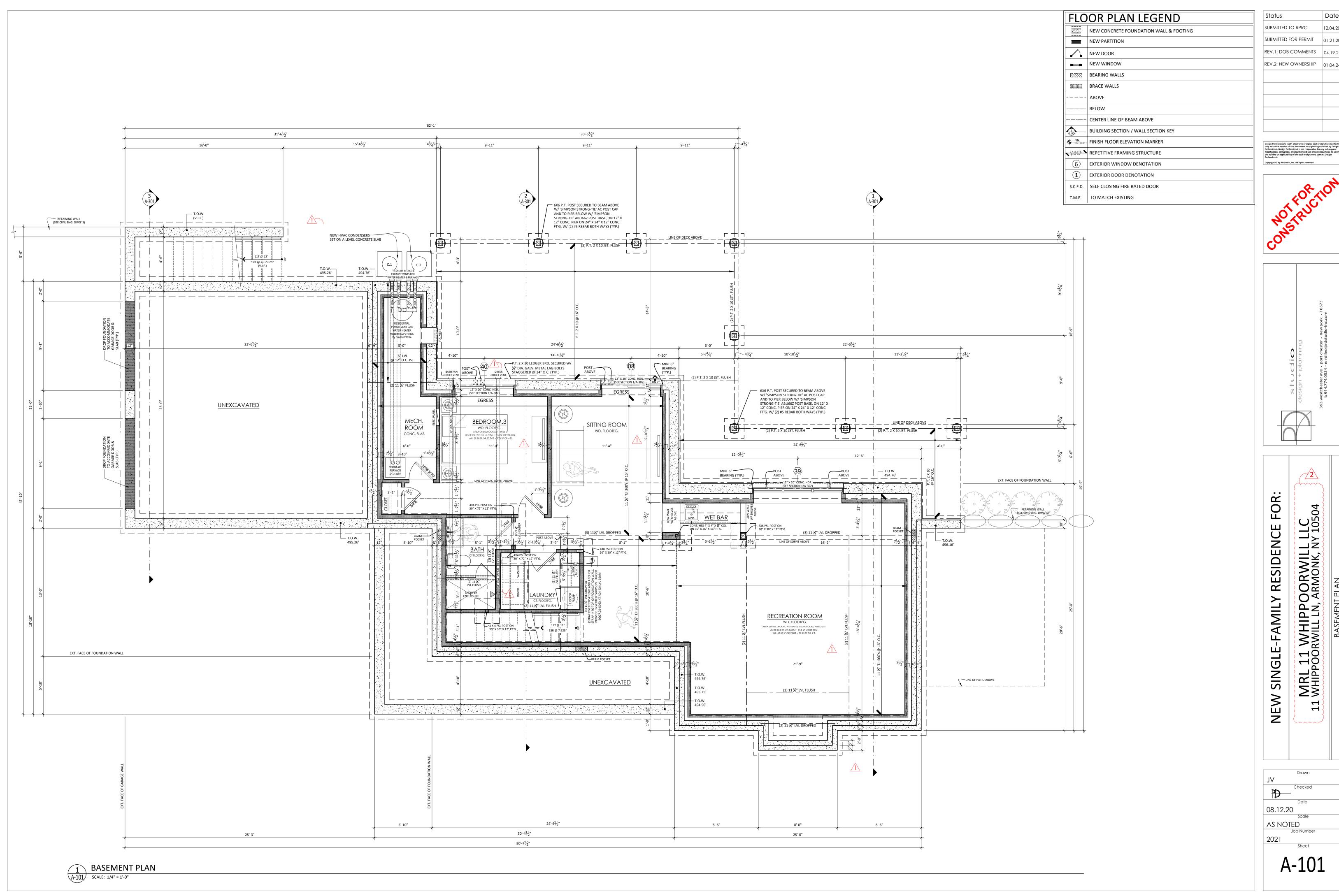
08.12.20

Scale

AS NOTED

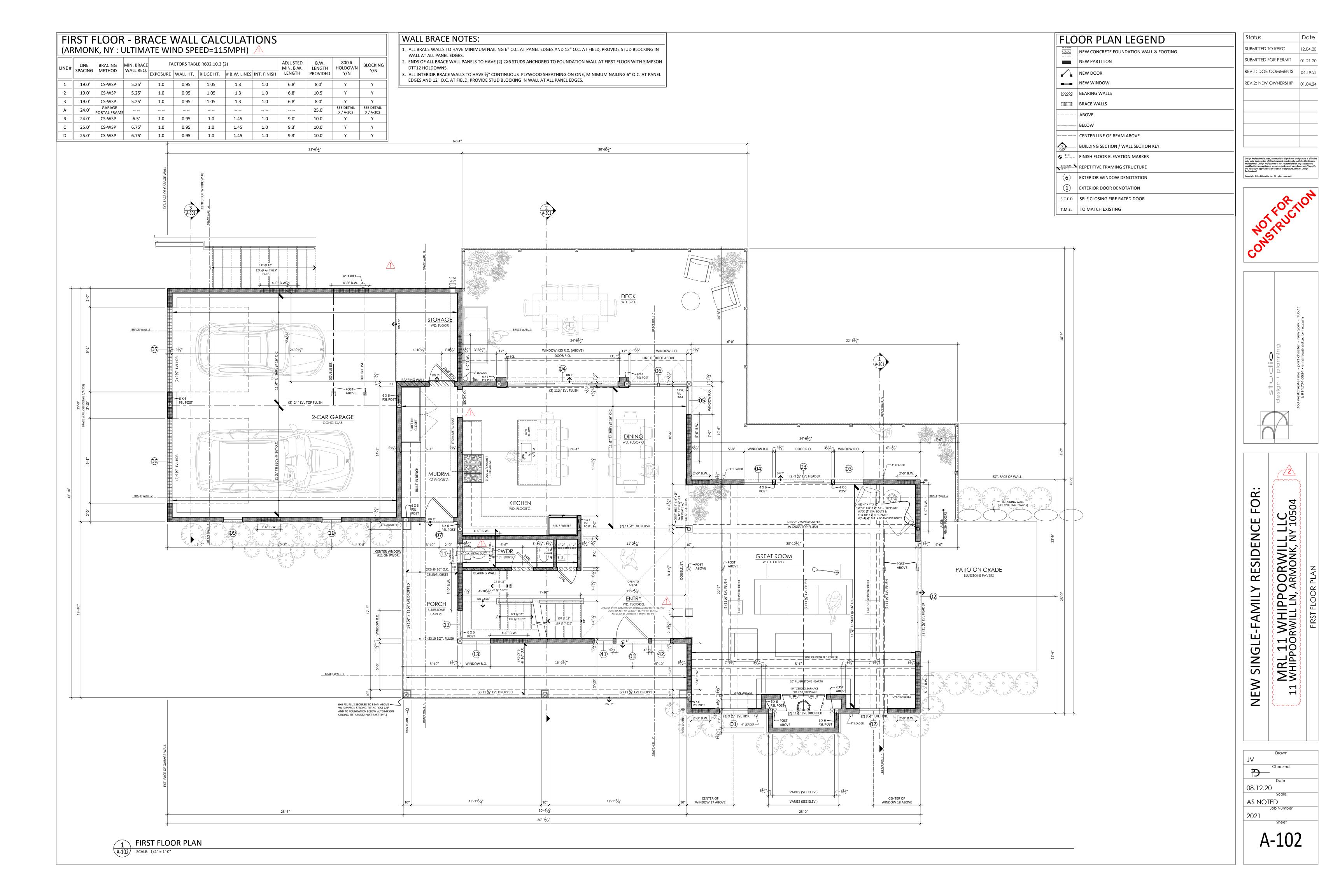
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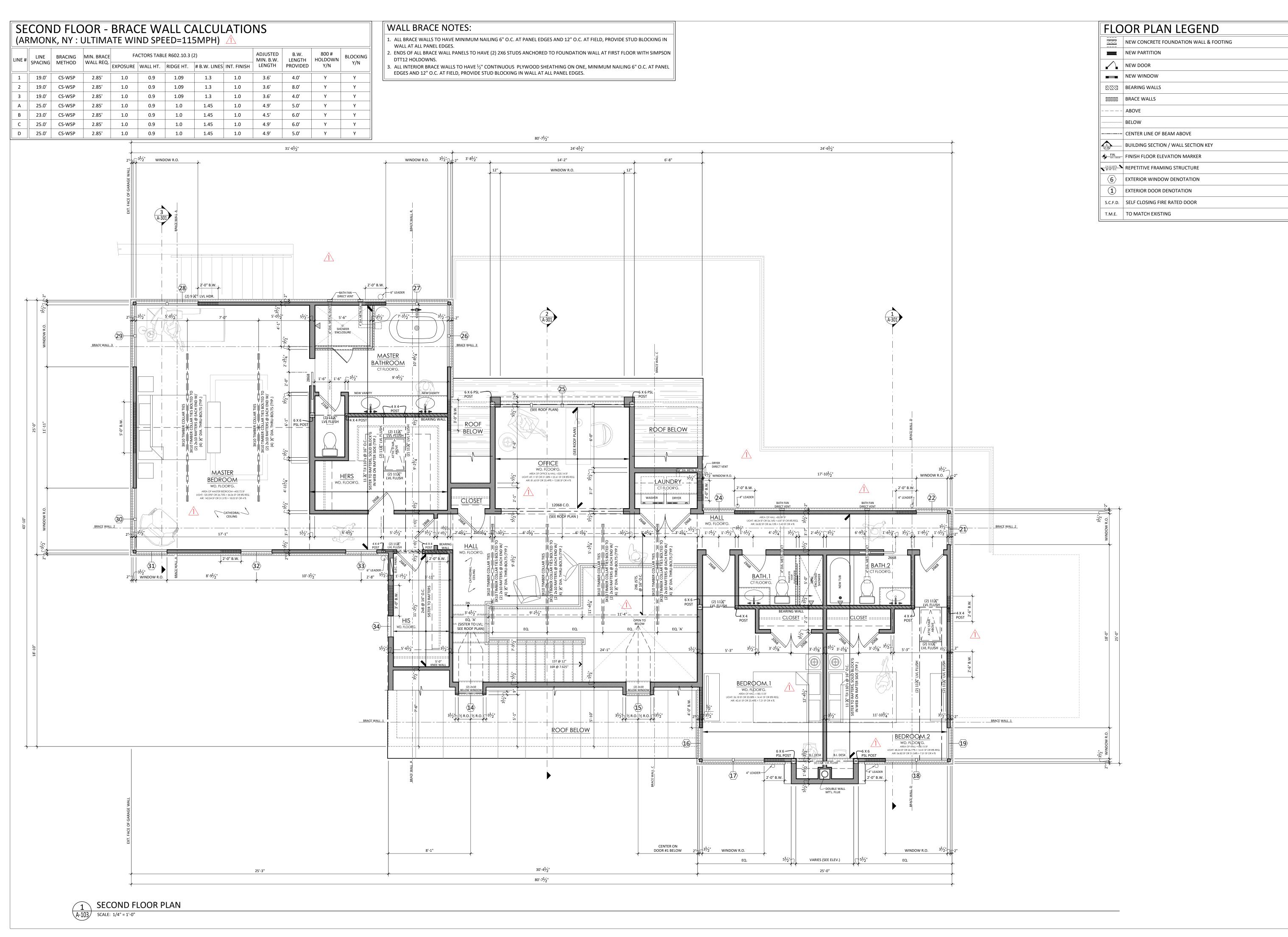
2021



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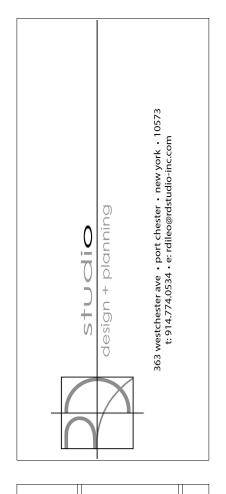


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MRL 11 WHIPPOORWILL LLC

11 WHIPPOORWILL LN, ARMONK, NY 10504

SECOND FLOOR PLAN

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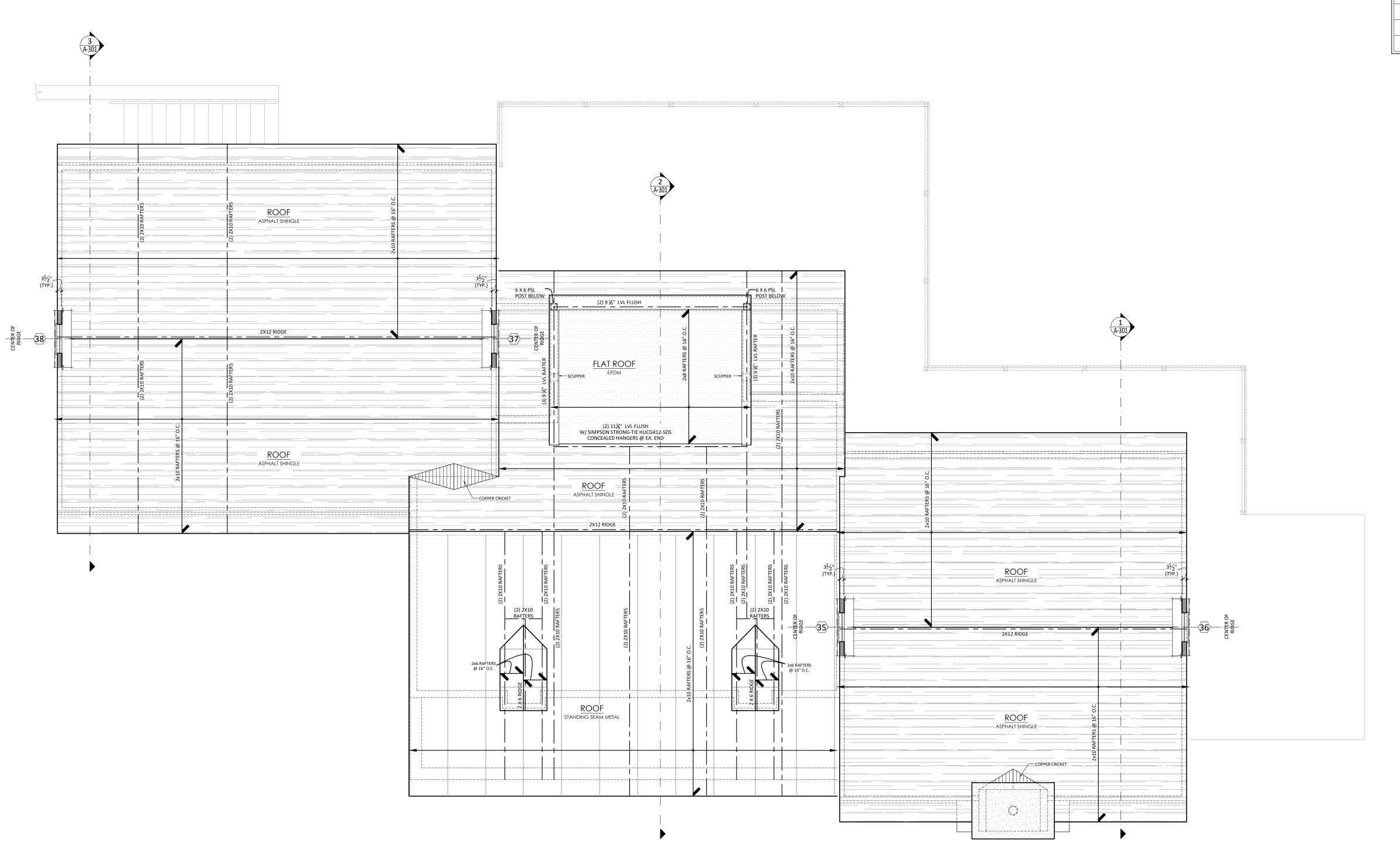
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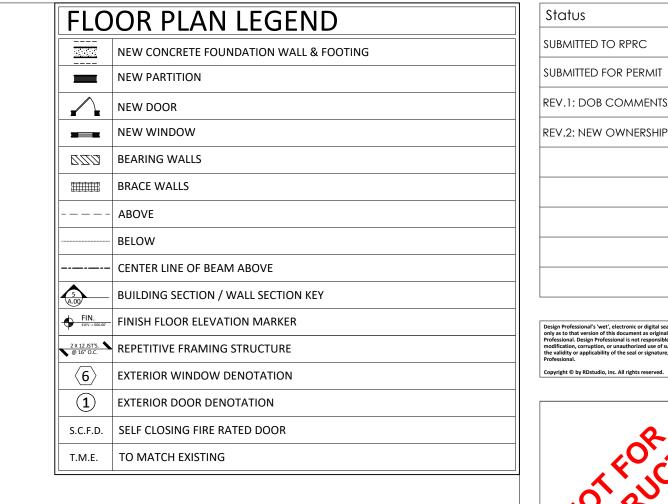
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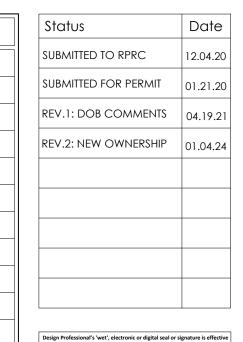
2021

Sheet



1 ROOF PLAN
A-104 SCALE: 1/4" = 1'-0"





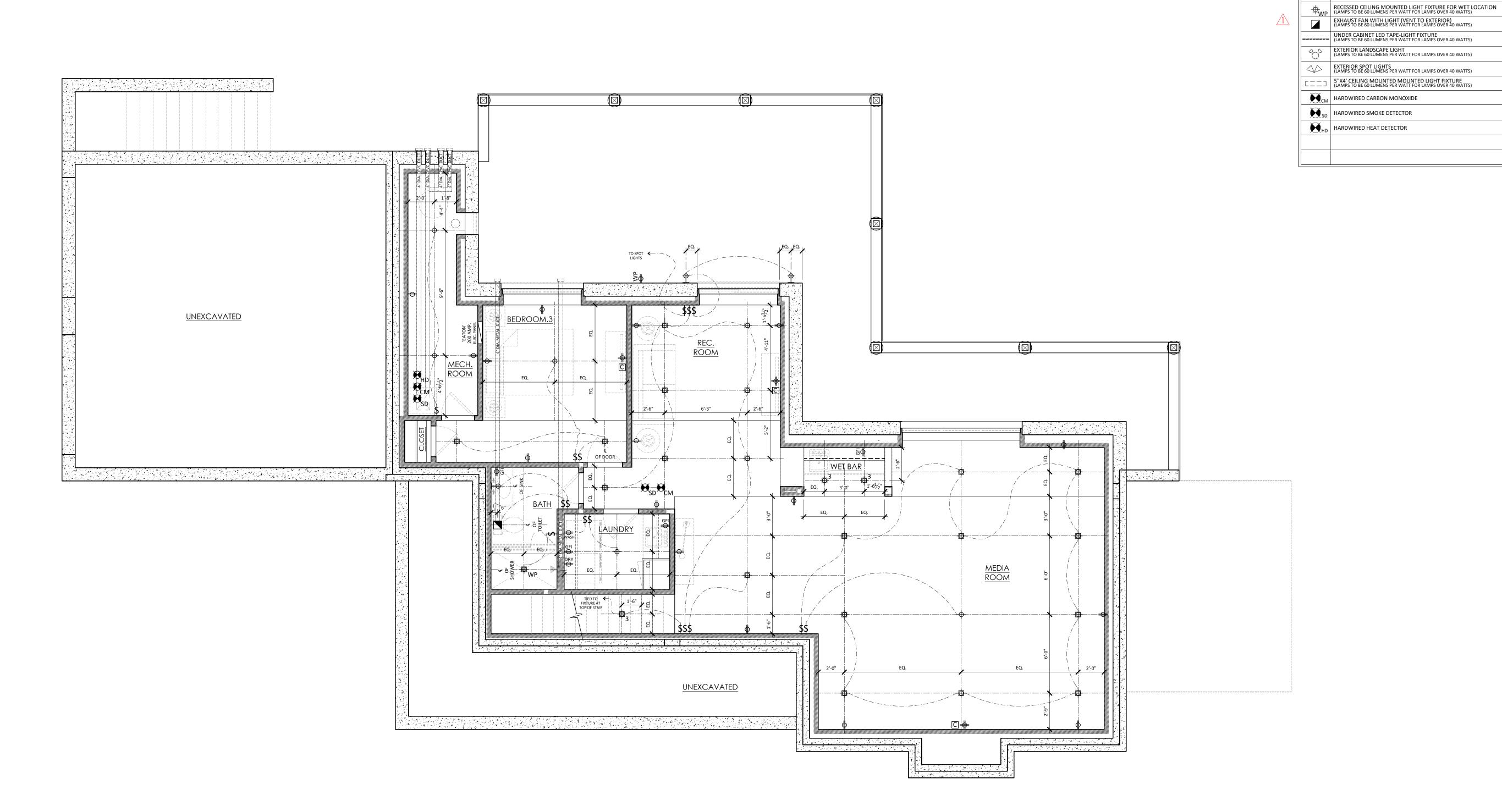


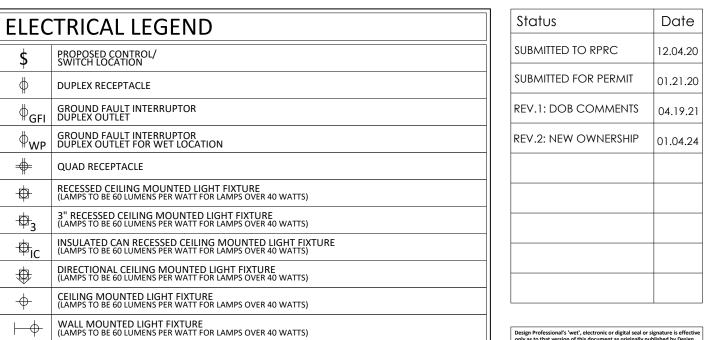




AS NOTED

Job Number





ELECTRICAL LEGEND

GROUND FAULT INTERRUPTOR DUPLEX OUTLET

C CO-AXILE CABLE LOCATION

1'X4' CEILING MOUNTED MOUNTED LIGHT FIXTURE (LAMPS TO BE 60 LUMENS PER WATT FOR LAMPS OVER 40 WATTS)

GROUND FAULT INTERRUPTOR DUPLEX OUTLET FOR WET LOCATION

\$ PROPOSED CONTROL/ SWITCH LOCATION

DUPLEX RECEPTACLE

QUAD RECEPTACLE

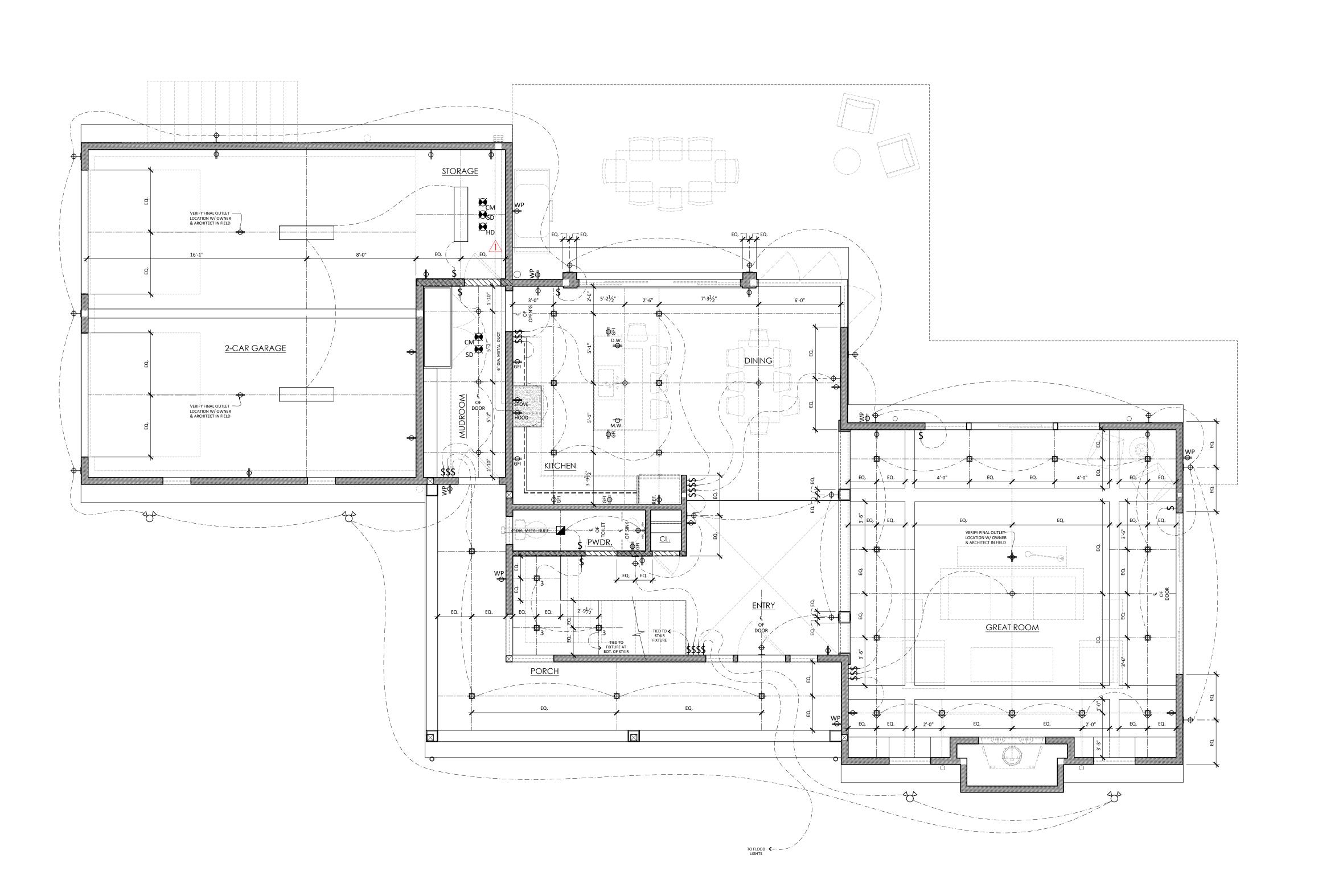
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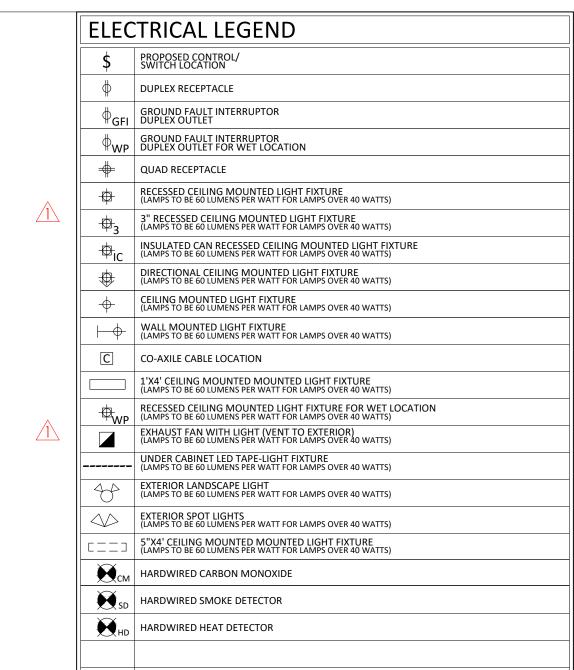




2 FOR: MRL 11 WHIPPOORWILL LLC 11 WHIPPOORWILL LN, ARMONK, NY 10504 SINGLE-FAMILY RESIDENCE NEW

08.12.20 AS NOTED Job Number 2021





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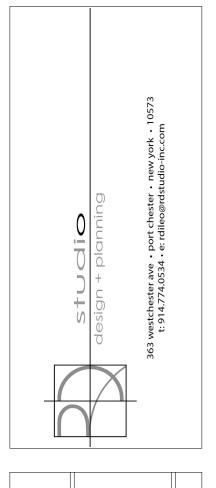
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11 WHIPPOORWILL LN, ARMONK, NY 10504

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Date

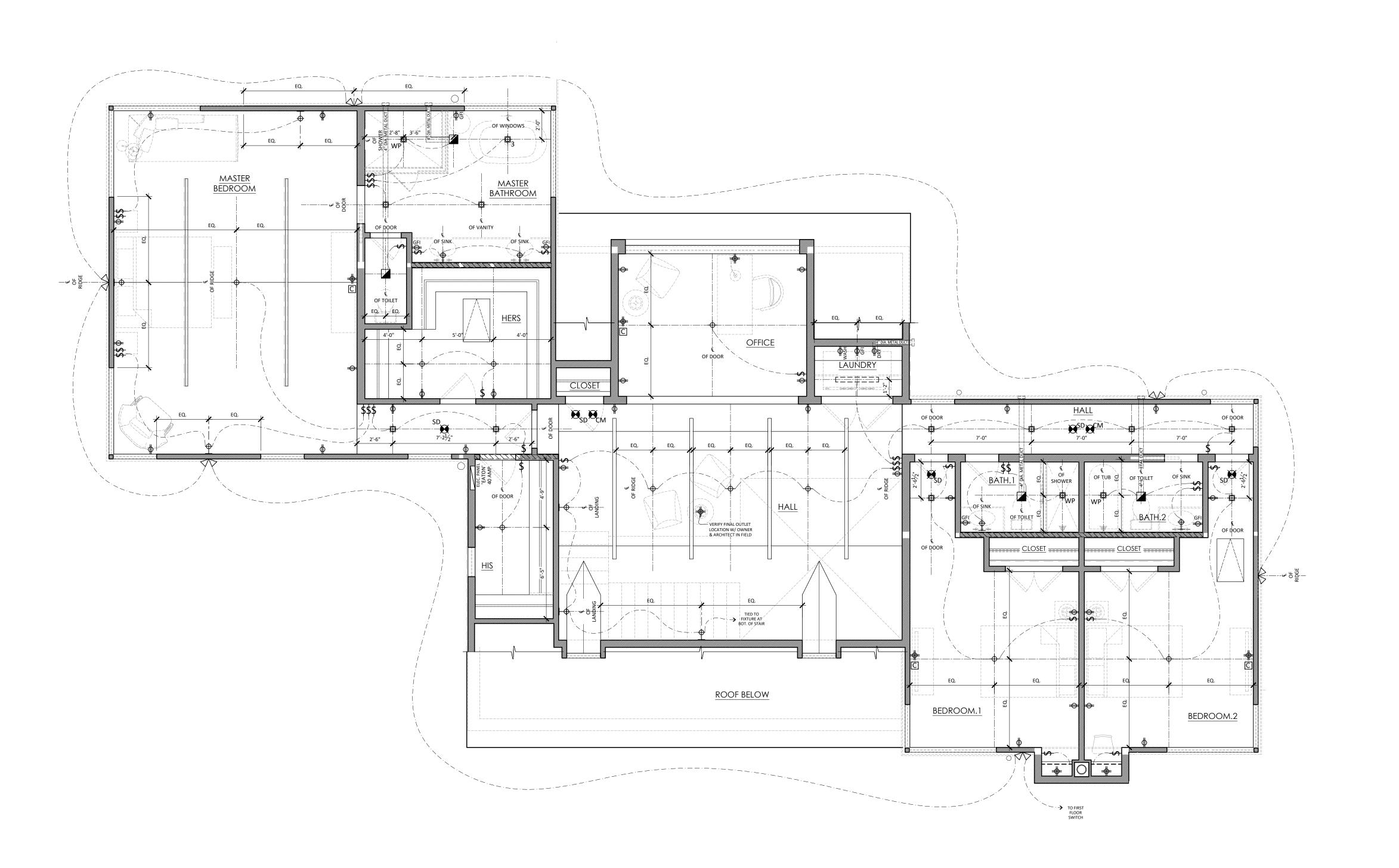
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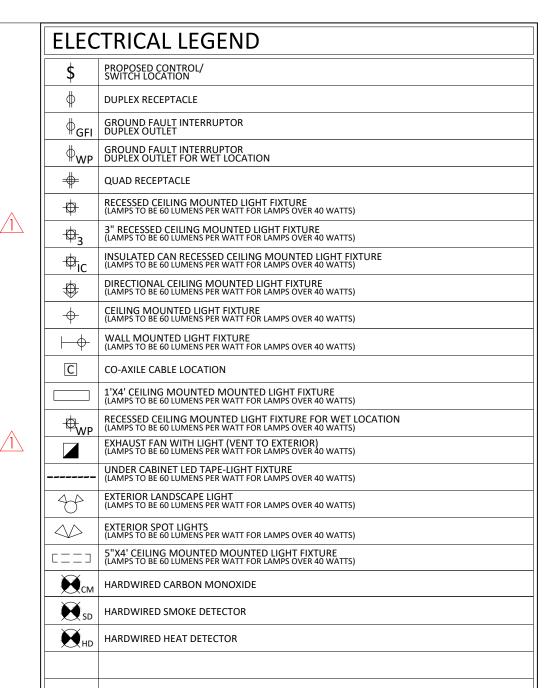
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SECOND FLOOR REFLECTED CEILING PLAN

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Scale

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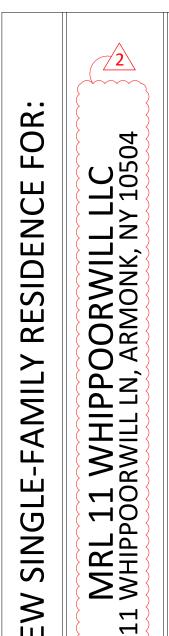
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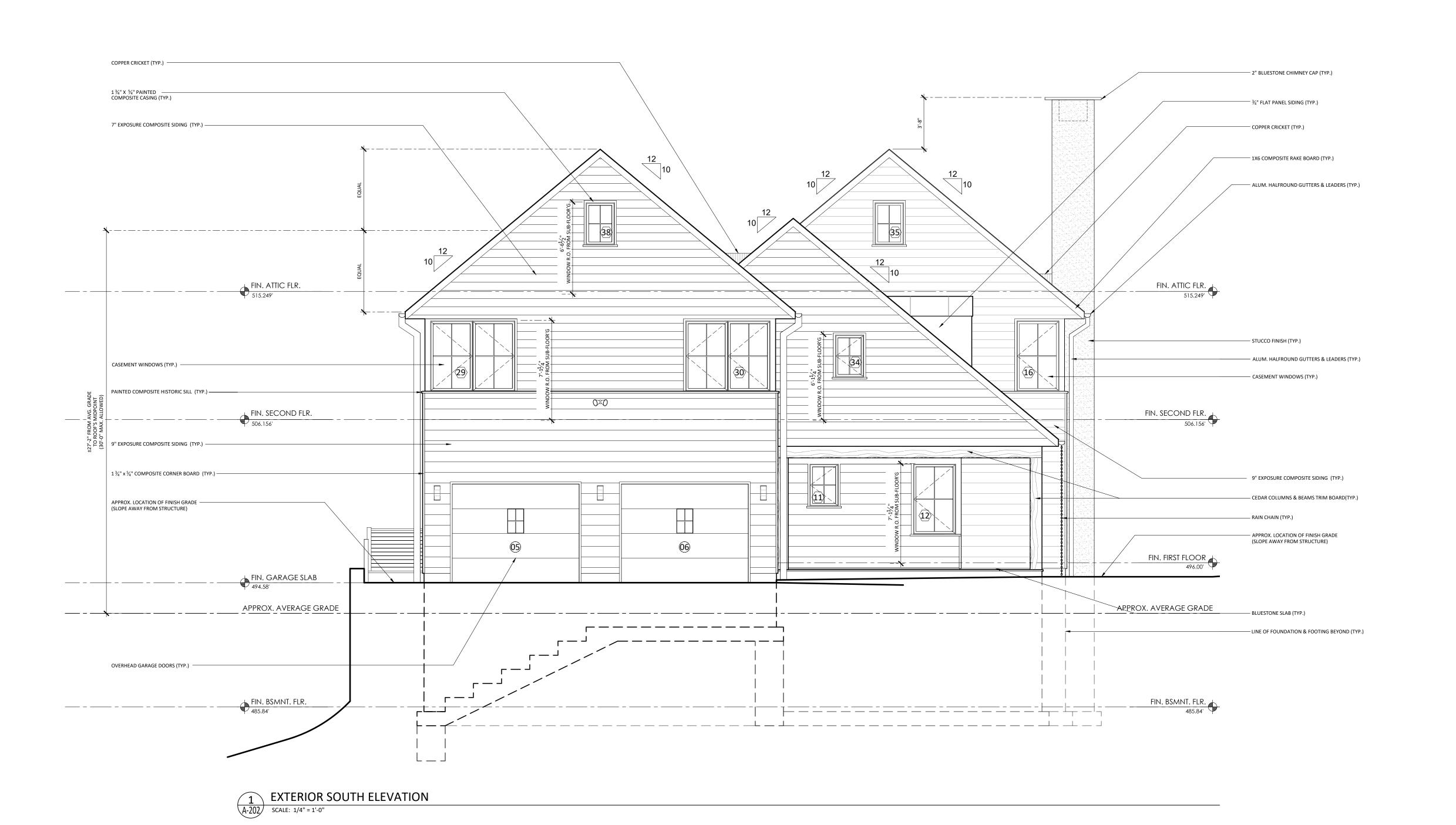


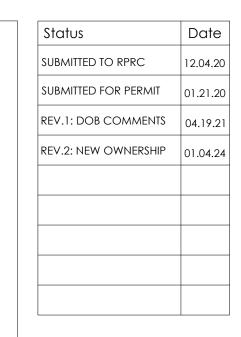


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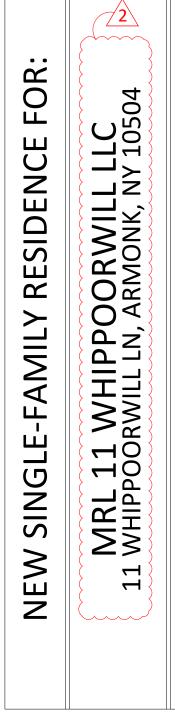




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11 WHIPPOORWILL LN, ARMONK, NY 10504

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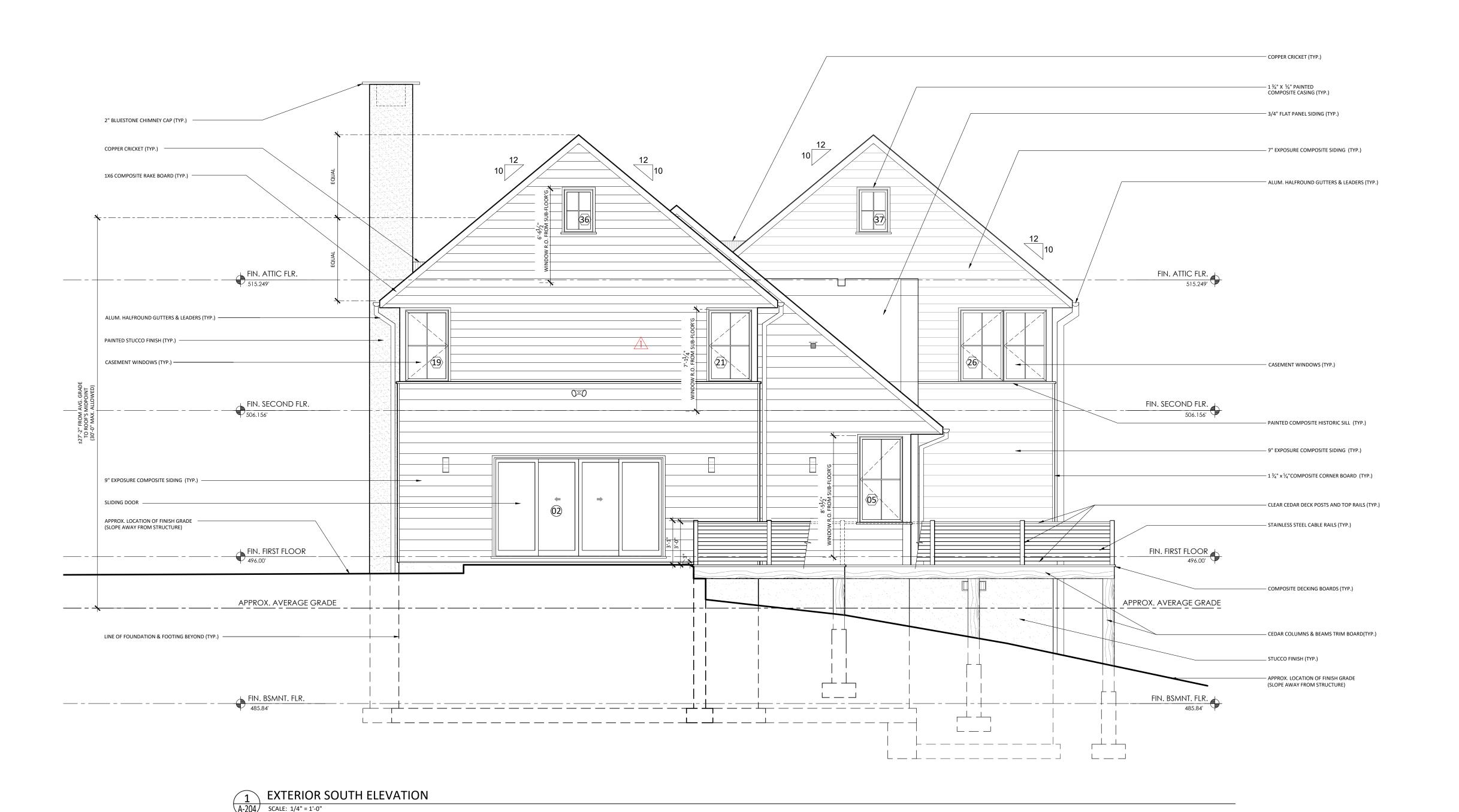
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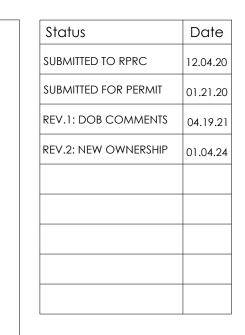
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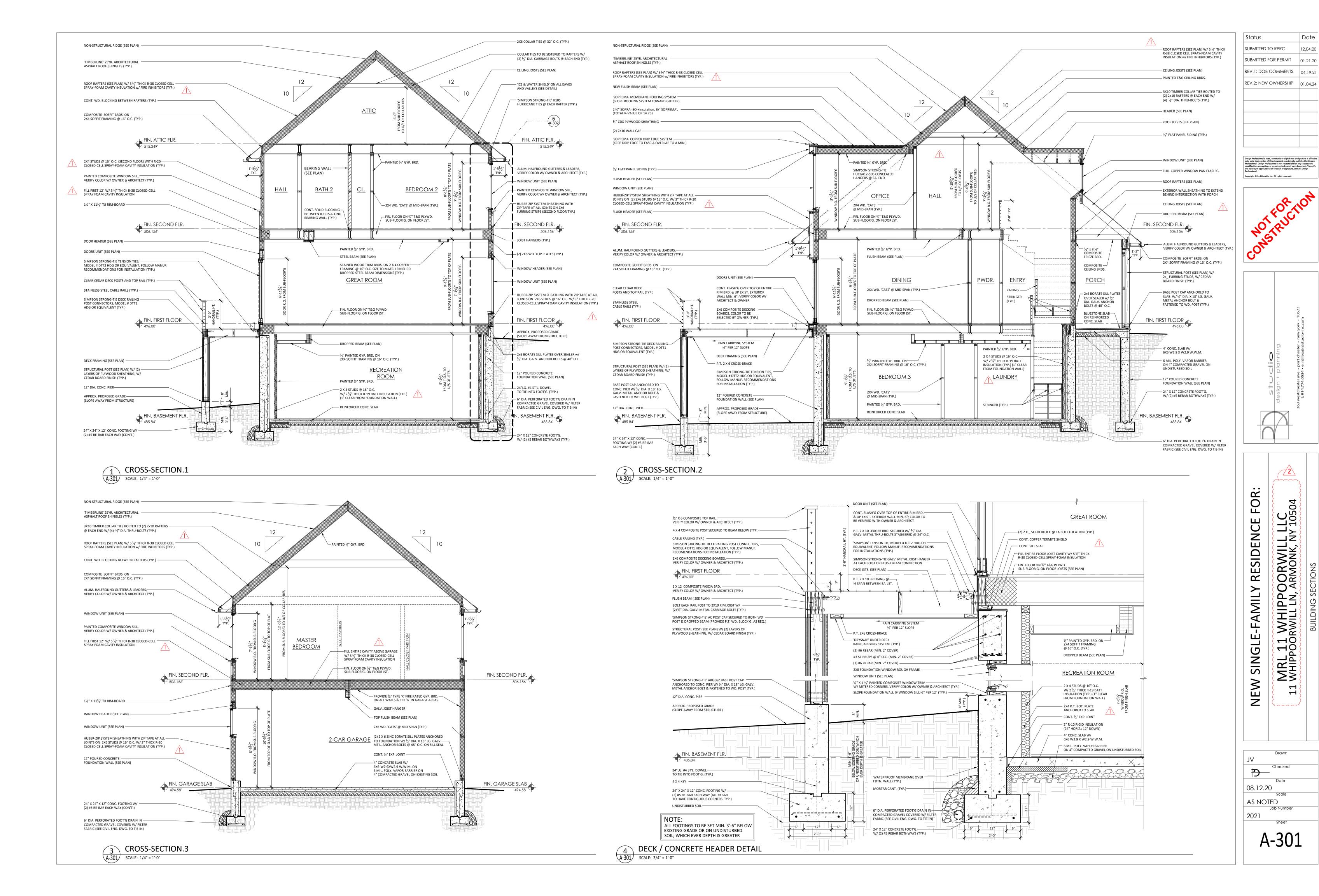
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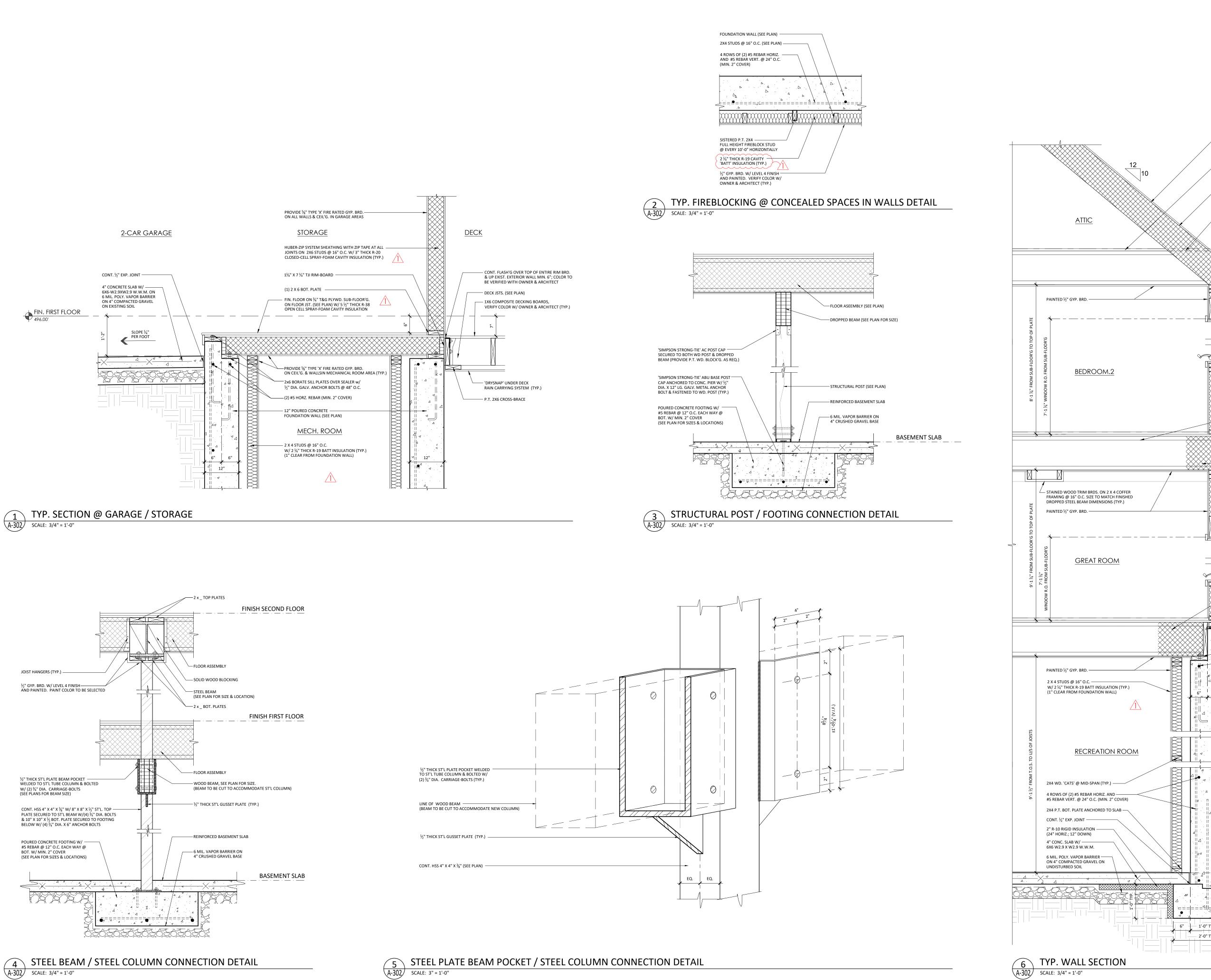
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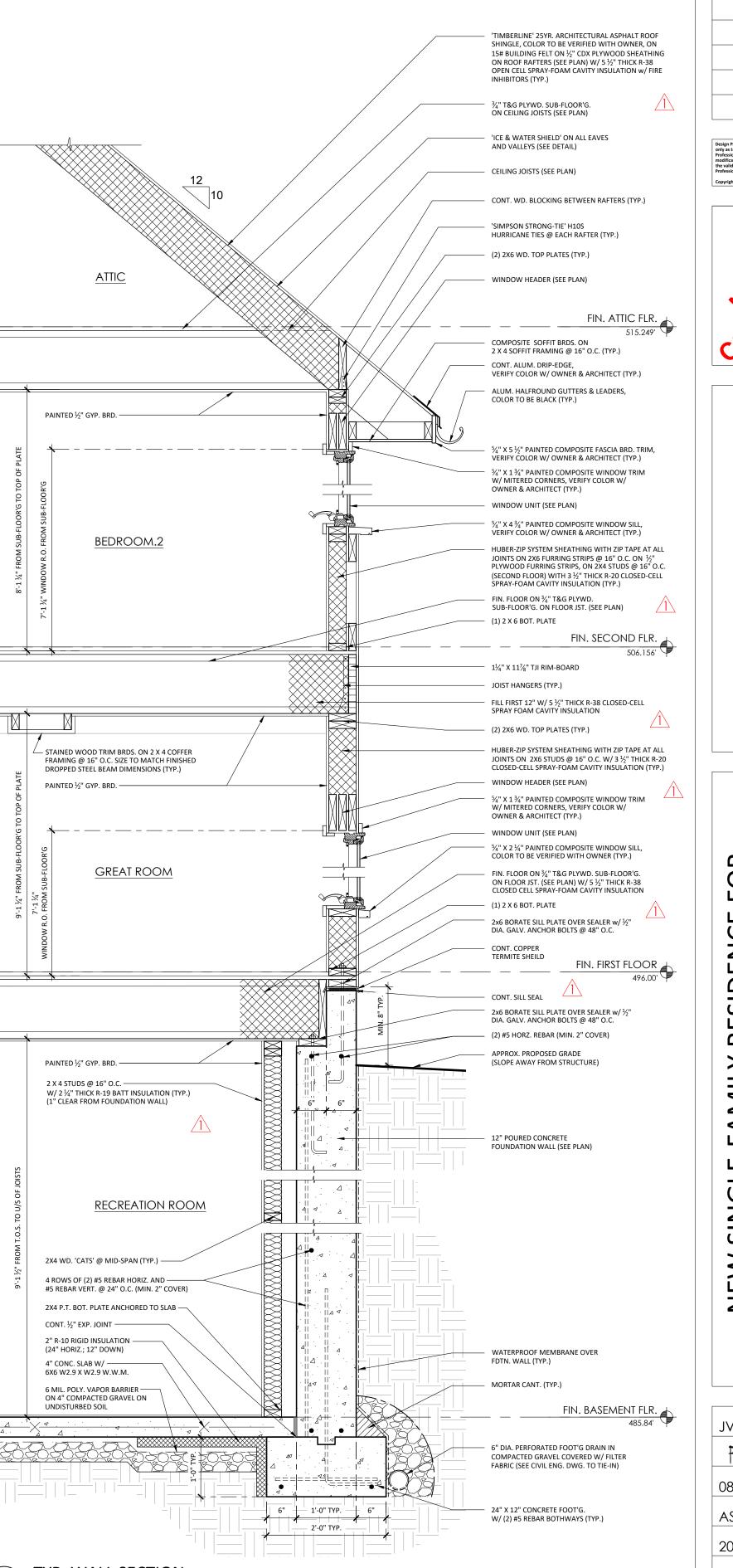
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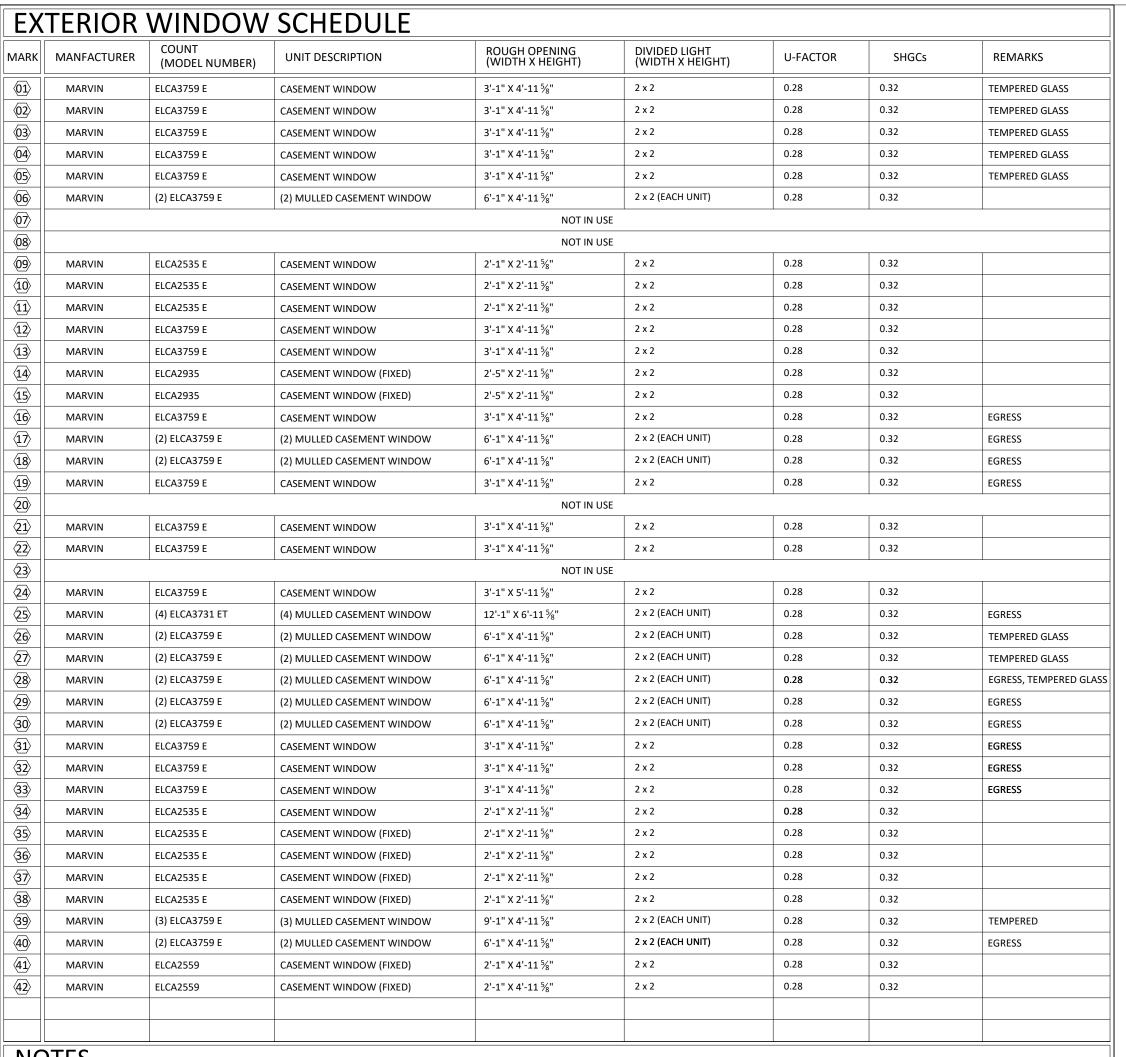
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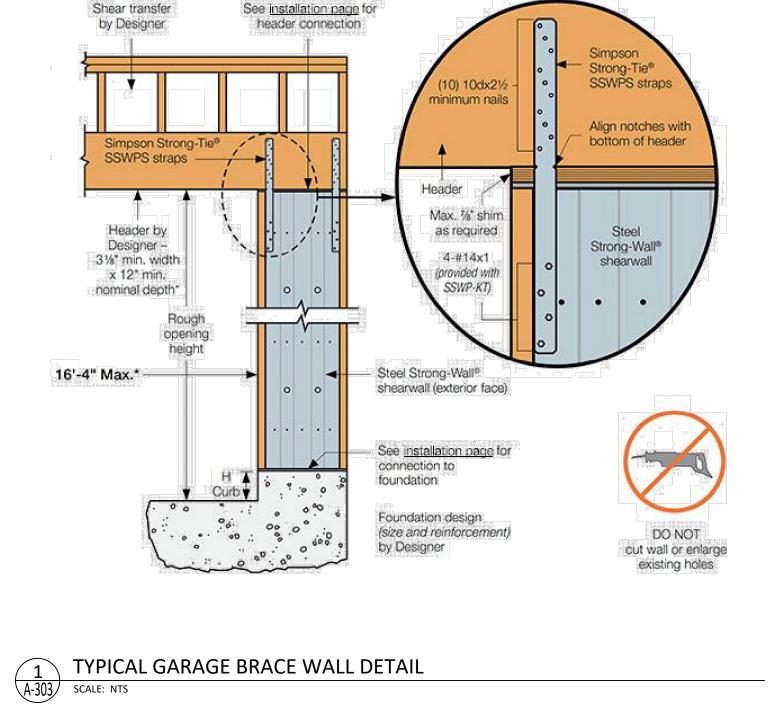




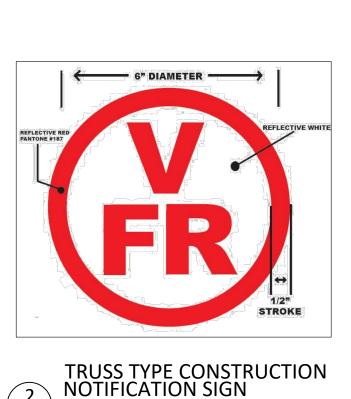
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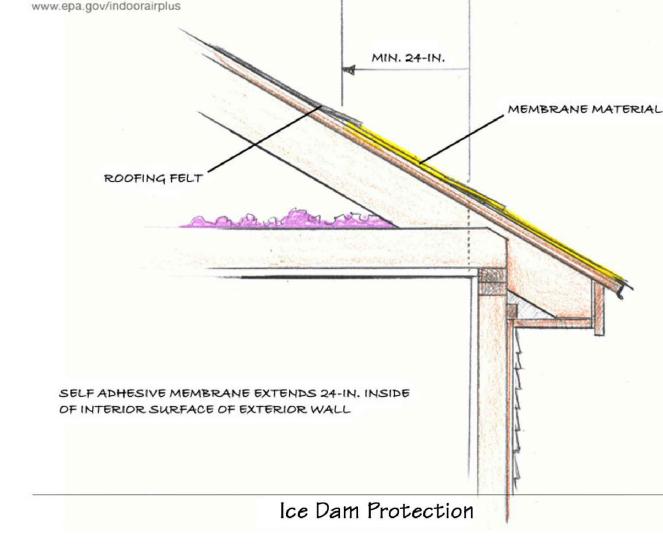
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MIN. BR'G. 3 1/2"





EPA Indoor airPLUS | MOISTURE CONTROL 1.10



Lowest

 $7\frac{3}{4}$ " Max.

3/8" Maximum

Stair Riser Height

Variation (tolerance)

between Highest and

TYP. STAIR RISER HEIGHT DETAIL

- WINDOWS TO BE 'MARVIN-ELEVATE SERIES'. SEE SCHEDULE FOR WINDOW UNIT TYPE 2. GLASS TO BE CLEAR DOUBLE PANE W/ LOW E. INTERIOR FINISH TO BE PINE LINEINISHED: TO BE FIELD PRIMED & PAINTED BY CONTRACTOR
- TRADITIONAL FOLDING HANDLE HARDWARE (CASEMENT) & STANDARD LOCK & KEEPER (DOUBLE HUNG) HARDWARE. HARDWARE COLOR TO BE 'SATIN NICKEL' EXTERIOR FINISH TO BE 'EBONY' W/ 'STANDARD ELEVATE' INSECT SCREEN ON OPERABLE WINDOWS. INSECT SCREEN FRAME COLOR TO BE 'EBONY' VERIFY W/ ARCHITECT.
- 6. GRILLE TYPE SHALL BE 5% "SDL W/ SPACE BAR, COLOR TO BE 'EBONY'.
 7. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING WINDOW ORDER
 8. CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO RELEASING WINDOW ORDER AND FRAMING WINDOW ROUGH-OPENING
 9. CONTRACTOR TO SEAL PERIMETER OF ALL WINDOWS AND TRIM WITH CAULK. VERIFY CAULK COLOR WITH ARCHITECT
 10. UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL WINDOWS

EXTERIOR DOOR SCHEDULE

| MARK | MANUFACTURER | COUNT (MODEL NUMBER) | UNIT DESCRIPTION | ROUGH OPENING (WIDTH X HEIGHT) | DIVIDED LIGHT (WIDTH X HEIGHT) | U-FACTOR | SHGCs | REMARKS |
|-------------|--------------|-------------------------|--|-----------------------------------|-----------------------------------|----------|-------|-----------------------------|
| <u>(01)</u> | T.B.D. | T.B.D. | 3'-6" X 7'-0" CUSTOM WHITE OAK ENTRY DOOR | VERIFY W/ MANUF. | N/A | | | NATURAL STAIN; SATIN FINISH |
| @2 | MARVIN | ELSPD12068 OXXO | SLIDING PATIO DOORS | 11'-10" X 6'-10 ½" | N/A | 0.30 | 0.40 | CLEAR LOW-E GLASS; TEMPERED |
| (03) | MARVIN | ELSPD6068 OX | SLIDING PATIO DOORS | 6'-0" X 6'-10 ½" | N/A | 0.30 | 0.40 | CLEAR LOW-E GLASS; TEMPERED |
| 04 | MARVIN | ELSPD12068 OXXO | SLIDING PATIO DOORS | 11'-10" X 6'-10 ½" | N/A | 0.30 | 0.40 | CLEAR LOW-E GLASS; TEMPERED |
| 05 | T.B.D. | T.B.D. | 9'-0" X 7'-0" OVERHEAD WHITE OAK GARAGE DOOR | VERIFY W/ MANUF. | GLASS PANEL (SEE ELEVATIONS) | | | NATURAL STAIN; SATIN FINISH |
| 06 | T.B.D. | T.B.D. | 9'-0" X 7'-0" OVERHEAD WHITE OAK GARAGE DOOR | VERIFY W/ MANUF. | GLASS PANEL (SEE ELEVATIONS) | | | NATURAL STAIN; SATIN FINISH |
| 07 | T.B.D. | T.B.D. | 3'-0" X 7'-0" CUSTOM WHITE OAK ENTRY DOOR | VERIFY W/ MANUF. | N/A | | | NATURAL STAIN; SATIN FINISH |
| 08 | MARVIN | ELSPD6068 XO | SLIDING PATIO DOORS | 6'-0" X 6'-10 ½" | N/A | 0.30 | 0.40 | |

NOTES

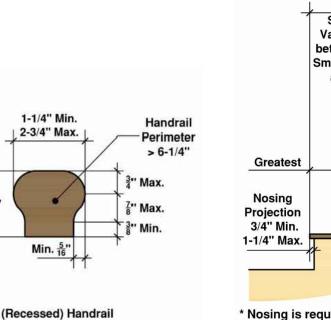
- DOORS TO BE 'MARVIN-ELEVATE SERIES', UNLESS NOTED OTHERWISE
 1.1. INTERIOR FINISH TO BE 'BARE PINE'; TO BE FIELD PRIMED & PAINTED BY CONTRACTOR.
 1.2. EXTERIOR FINISH TO BE 'EBONY' W/ 'STANDARD ELEVATE' SLIDING INSECT SCREEN.
- 1.3. GLASS TO BE TEMPERED CLEAR DOUBLE PANE W/ LOW E.
- 1.4. GRILLE TYPE SHALL BE %" SDL W/ SPACE BAR, COLOR TO BE 'EBONY'.
 1.5. MATTE BLACK NORTHFIELD EXTERIOR HARDWARE
 2. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO RELEASING DOORS ORDER

2" Maximum

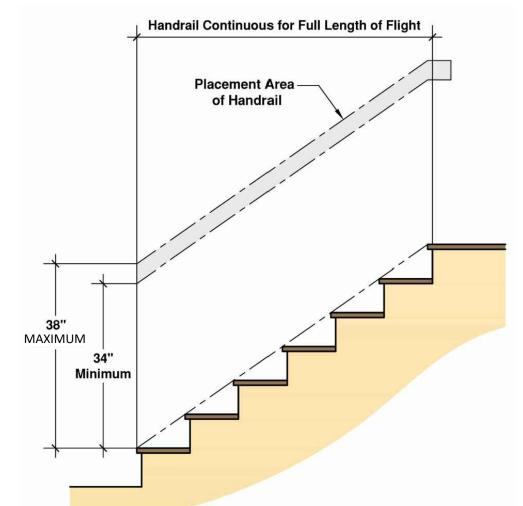
Diameter

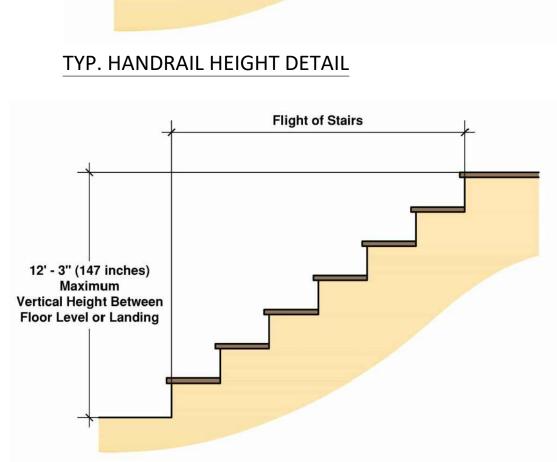
Circular Handrail

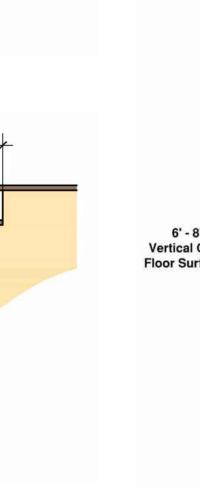
3. CONTRACTOR TO SUBMIT SHOP DRAWINGS & SUBMITTALS TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO RELEASING DOOR ORDER AND FRAMING DOOR ROUGH-OPENING
4. CONTRACTOR TO SEAL PERIMETER OF ALL WINDOWS AND TRIM WITH CAULK. VERIFY CAULK COLOR WITH ARCHITECT
5. UNLESS NOTED OTHERWISE, CONTRACTOR TO FURNISH AND INSTALL ALL DOORS

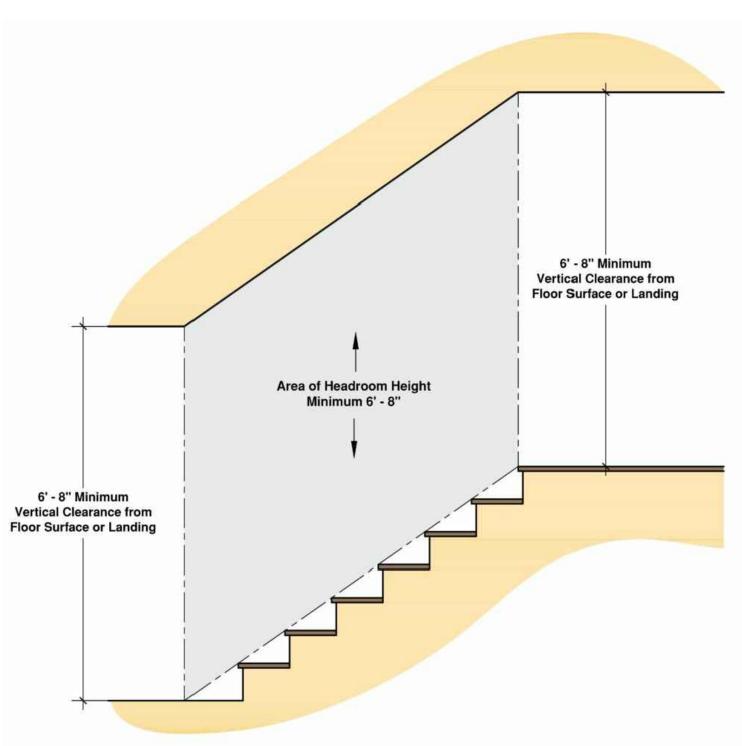


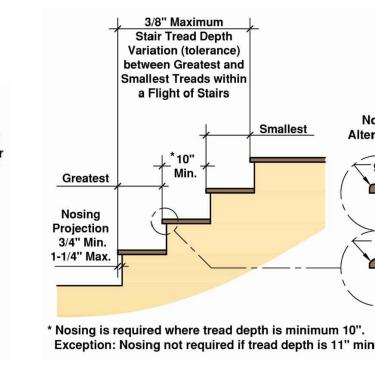
Alternatives * Nosing is required where tread depth is minimum 10". Exception: Nosing not required if tread depth is 11" minimum.











TYP. STAIR TREAD DEPTH DETAIL

(Handrails on Both Side) Stairs 36" Minimum Clear Width TYP. STAIR WIDTH DETAIL

TYP. GIRDER DETAIL (FOR 3 OR MORE PLY'S)

31 ½" Minimum Clear

(Handrail on One Side)

27" Minimum Clear

1/2" ø GALV. METAL

THROUGH BOLTS W/

GALV. METAL WASHER

@ 12" O.C. STAGGERED

(SEE PLAN FOR SIZE)

GIRDER SECTION

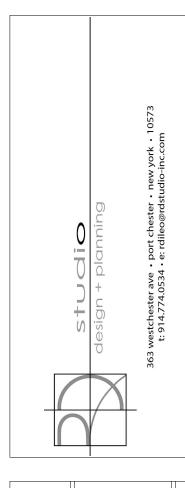
GIRDER ELEVATION

A-303 SCALE: 1-1/2" = 1'-0"

TYP. VERTICAL RISE FOR STAIRS DETAIL

TYP. HEADROOM FOR STAIR DETAIL

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FOR OORWILL LLC ARMONK, NY 10504 RESIDENCE E-FAMILY MRL 11 WHIPPO WHIPPO WHIPPOORWILL LN, SINGLE-EW

08.12.20

AS NOTED

Job Number

A-303

TYP. DETAILS FOR INTERIOR STAIRCASE CODE COMPLIANCE REQUIREMENTS A-303 SCALE: N.T.S.

Non-Circular Handrail

–Total Perimeter

Dimension 4" Minimum

6-1/4" Maximum

2-3/4" Max.

Type II

TYP. HANDRAIL TYPES AND CLEARANCES DETAILS

ENERGY CODE COMPLIANCE - CLIMATE ZONE 4 TABLE N1102.1.2 (R402.1.2) FROM 2020 NYSRC BUILDING THERMAL ENVELOPE-TO THE BEST OF THE ARCHITECT KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH NYSRC 2020 TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION CRITERIA BUILDING THERMAL ENVELOPE-INSULATION AND FENESTRATION CRITERIA THE GC SHALL INSTALL & TEST ALL MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS TO MEET THE REQUIREMENTS OF THE 2020 NYS ENERGY SUB-SYSTEM **U-VALUE** WHERE SECTION R402.1.2 REQUIRES R-38 INSULATION IN THE CEILING, INSTALLING R-30 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES FENESTRATION Uf = 0.32WHERE SECTION R402.1.2 REQUIRES R-49 INSULATION IN THE CEILING. INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION SKYLIGHT Uf = 0.55EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5. GLAZED FENESTRATION Uf = 0.40WHERE SECTION R402.1.2 REQUIRES INSULATION R-VALUES GREATER THAN R-30 IN THE CEILING AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION. THE MINIMUM REQUIRED INSULATION R-VALUE FOR SUCH 49 CEILING R-VALUE ROOF/CEILING ASSEMBLIES SHALL BE R-30. INSULATION SHALL EXTEND OVER THE TOP OF THE WALL PLATE TO THE OUTER EDGE OF SUCH PLATE AND SHALL NOT BE COMPRESSED. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.2 SHALL BE LIMITED 20 or 13+R-5 CONT. INSULATION WOOD FRAME WALL R-VALUE TO 500 SQUARE FEET (46 M2) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.5. 8/13 MASS WALL R-VALUE INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE PER ASSEMBLY. 19 FLOOR R-VALUE FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL 10/13 MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. BASEMENT WALL R-VALUE THE BAFFLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL . R-21 INSULATION SHALL BE INSTALLED IN ALL 2X6 EXTERIOR WALLS SLAB R-VALUE & DEPTH 10, 2 ft REFER TO NYSRC 2020, CHAPTER 4 FOR FURTHER REQUIREMENTS. CRAWL SPACE WALL R-VALUE 10/13

GENERAL CONSTRUCTION NOTES:

- ALL DIMENSIONS GIVEN ARE TO ROUGH OPENINGS AND/OR FRAMING.
- THESE DRAWINGS ARE TO SHOW AS CLOSE AS POSSIBLE ALL CONDITIONS OF THE EXISTING STRUCTURE. ALL CONSTRUCTION AND STRUCTURE THAT WAS NOT ACCESSIBLE ARE SHOWN IN ASSUMED LOCATIONS AND APPROXIMATE SIZE. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THESE CONDITIONS FOR ANY CONSTRUCTION MEANS, METHODS, MATERIALS. ETC.
- THE ARCHITECT HAS NO RESPONSIBILITY FOR THE ORIGINAL CONSTRUCTION, STRUCTURE, LOCATIONS OF THE STRUCTURE AND ANY CONDITIONS THAT ARE NOT VISIBLE. THE ARCHITECT IS SOLELY RESPONSIBLE FOR THE PROPOSED ADDITIONS AND/OR ALTERATIONS
- THE ARCHITECT DOES NOT HAVE CONSTRUCTION SUPERVISION RESPONSIBILITY AND HERE BY LIMITS THE RESPONSIBILITY TO THE INFORMATION PROVIDED WITHIN.
- CONTRACTOR/OWNER AND TRADES TO FILE AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
- CONTRACTOR/OWNER TO SCHEDULE AND PAY FOR ALL INSPECTIONS AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY OVER THE PROJECT.
- ALL SMOKE DETECTORS & CARBON MONOXIDE DETECTORS TO BE ON A INTERCONNECTED HARDWIRED SYSTEM AS PER CODE THROUGHOUT ENTIRE DWELLING.
- MECHANICAL ROOM/GARAGES TO HAVE 5/8" TYPE 'X' FIRE RATED GYPSUM BOARD ON ALL
- WALLS AND CEILING. CONTRACTOR/OWNER TO PROVIDE PROPER VENTILATION FOR DRYERS AS REQUIRED PER
- MANUFACTURER. CONTRACTOR/OWNER TO VERIFY ALL MECHANICAL EQUIPMENT AND SPECIFICATIONS FOR
- PROPER MECHANICAL ROOM DIMENSIONS, LIGHT, HEAT, VENTILATION PER CODE ALL PLUMBING & ELECTRICAL WORK TO MEET ALL LOCAL, STATE, AND FEDERAL CODE.
- ELECTRICAL AND PLUMBING CONTRACTOR TO VERIFY ALL EXISTING ELECTRICAL AND PLUMBING TO REMAIN IS CODE COMPLIANT.

HABITABLE SPACES IN EXISTING FINISHED BASEMENT TO CONFORM TO SECTION R303

- 'LIGHT, VENTILATION AND HEATING' IN THE RESIDENTIAL CODE OF NEW YORK STATE.
- ALL NEW S.C.F.D. TO HAVE 20 MIN. FIRE RATED DOOR JAMBS
- ALL NEW HANDRAILS AND GUARDS TO CONFORM TO SECTION R311.7.8 'HANDRAILS' AND SECTION R312 'GUARDS & WINDOW FALL PROTECTION' OF THE RESIDENTIAL CODE OF NEW
- GENERAL CONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY UNFORESEEN CONDITIONS THAT MAY ARISE.
- ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED BY OWNER' WILL BE GIVEN AN ALLOWANCE BY THE CONTRACTOR. CONTRACTORS WILL BE RESPONSIBLE FOR SUPPLYING & INSTALLING ALL ITEMS INDICATED IN THESE DRAWINGS AS 'TO BE SELECTED
- ALL NEW PLUMBING FIXTURES TO BE SELECTED BY OWNER.
- ALL NEW PAINT TO BE SELECTED BY OWNER.

RESENT GRADE I.

- ALL NEW FLOOR & WALL TILE TO BE SELECTED BY OWNER.
- ALL NEW INTERIOR DOOR HARDWARE TO BE SELECTED BY OWNER.
- UNLESS NOTED OTHERWISE ALL INTERIOR & EXTERIOR FINISH MATERIAL TO BE SELECTED.
- ALL SHOWER GLASS TO BE LASER OR ACID ETCHED TEMPERED GLASS.
- UNLESS NOTED OTHERWISE ALL EXISTING ELEMENTS DISTURBED BY CONSTRUCTION IS TO BE PATCHED & REPAIRED TO MATCH EXISTING BY THE CONTRACTOR.

BEARING PLATE OR OTHER CONNECTION WITH ARCHITECT IN FIELD.

STUDS AND SECURED W/ MIN (4) 10d NAILS.

- CONTRACTOR IS RESPONSIBLE TO MODIFY ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION DEVICES AND FIXTURES, AS WELL AS, EXISTING FINISHES TO REMAIN TO PROPERLY ACCOMMODATE AND INTEGRATE THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS.
- INSULATION IS TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS OR

ALL POST BEARING CONDITIONS TO RECEIVE ADDITIONAL STUDS FOR TOTAL POST DIMENSION TO

EQUAL OR SURPASS SUPPORTED BEAM THICKNESS. IF THIS CONDITION CAN NOT BE MET, VERIFY

UNLESS OTHERWISE INDICATED ALL EXTERIOR/INTERIOR WINDOWS, EXTERIOR/INTERIOR DOORS

& EXTERIOR/INTERIOR OPENINGS SHALL HAVE MINIMUM (3) 2 X 10 HEADER WITH ½" PLYWOOD

SPACERS BETWEEN AT 2 X 6 WALLS & (2) 2 X 10 HEADER WITH ½" PLYWOOD SPACER AT 2 X 4

ALL NEW PARTITIONS RUNNING PARALLEL TO EXISTING/NEW JOISTS BELOW SHALL RECEIVE

FOR JOISTS SPANNING 10'-0" OR MORE, INSTALL ONE (1) ROW OF SOLID CROSS BRIDGING @

ALL DROPPED SOFFITS ARE TO BE FRAMED W/ 2 X 4 FRAMING @ 16" O.C. UNLESS NOTED

CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES,

METAL HANGERS. FOLLOW MANUFACTURER INSTALLATION RECOMMENDATIONS.

FRAMING & FINISHES. VERIFY ALL CONDITIONS IN FIELD WITH ARCHITECT.

MID-SPACE. FOR JOISTS SPANNING 20'-0" OR MORE, INSTALL TWO (2) ROWS OF SOLID CROSS

OTHERWISE. DROPPED SOFFIT FRAMING TO BE SISTERS TO EXIST. CEILING JOISTS & EXIST. WALL

ALL 'ALIGN' INDICATORS ON PLANS, SECTIONS & ELEVATIONS ARE TO IMPLY THAT BOTH SIDES OF ALL NEW ROUGH FRAMING & FINISHES ARE TO ALIGN WITH BOTH SIDES OF ALL EXIST. ROUGH

RECEPTACLES, LIGHT FIXTURES, ETC. WITH NEW/EXIST. ROUGH FRAMING, MILLWORK, INTERIOR

ALL FLUSH BEAMS AND JOIST CONNECTIONS TO RECEIVE HEAVY DUTY 'SIMPSON STRONG-TIE'

TRIM, TILE AND ADJACENT FINISHES. SEE REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR

DOUBLE JOISTS CENTERED ON NEW PARTITION. VERIFY ALL CONDITIONS IN FIELD WITH

WALLS. IF THIS CONDITION CAN NOT BE MET, VERIFY WITH ARCHITECT IN FIELD.

GENERAL ELECTRICAL NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING ELECTRICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL ELECTRICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE N.E.C., AS WELL AS ALL OTHER APPLICABLE CODES. ORDINANCES AND REGULATIONS. WHETHER OR NOT SPECIFICALLY STATED. THE ELECTRICAL SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALI ELECTRICAL WORK TO CONFORM TO ANY AND ALL CODES, RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT, WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT FOR
- THE ELECTRICAL SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK
- THE CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH BUILDING SUPERINTENDENT, OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO COORDINATE ALL SWITCHES, RECEPTACLES, LIGHT FIXTURES, ETC. WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES. SEE
- ALL NEW SWITCHES TO BE 'LUTRON DIVA DIMMER & SWITCH' (UNLESS NOTED OTHERWISE). SWITCH XIST WHERE MULTIPLE SWITCHES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH
- ALL NEW RECEPTACLES TO BE 'LEVITON DECORA TAMPER RESISTANT' (UNLESS NOTED OTHERWISE). RECEPTACLE COLOR TO BE VERIFIED WITH ARCHITECT AND OWNER PROIR TO PURCHASE. RECEPTACLE AND AMPERAGE AND TYPE TO BE PER CODE. WHEN SITUATIONS EXIST WHERE MULTIPLE RECEPTACLES ARE SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.

WASTE RISER DIAGRAM

WATER SUPPLY DIAGRAM

A-304 SCALE: N.T.S.

- MOUNTING HEIGHTS OF ALL SWITCHES AND RECEPTACLES SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN. LOCATIONS SHALL BE COORDINATED WITH BUILT-IN
- CONTRACTOR AND/OR ELECTRICAL SUB-CONTRACTOR TO VERIFY ALL TYPES OF CABLES FOR T.V., TELEPHONE, INTERNET, ETC. WITH MANUFACTURER PRIOR TO INSTALLATION.
- ALL ELECTRICAL OUTLET IN 'WET' LOCATIONS WILL BE OF THE G.F.I. TYPE.

TO BE RESPONSIBLE FOR FINAL HOOK-UP WITH T.V./CABLE COMPANY.

REFLECTED CEILING PLAN & INTERIOR ELEVATIONS FOR LOCATIONS

- ALL NEW T.V. AND TELEPHONE LINE TO BE HOME RUN AND WIRED TO THE BASEMENT AREA. OWNER
- ELECTRICAL CONTRACTOR TO INSTALL 3 %" DIA, IN-WALL CABLE CONDUIT WITH COVER PLATES AT EACH TV LOCATION. CONTRACTOR TO VERIFY LOCATION CONDUIT LENGTH IN FIELD WITH ARCHITECT AND OWNER.
- ELECTRICAL CONTRACTOR TO WIRE NEW HYDRO SYSTEM.
- ELECTRICAL REQUIRES COMPLIANCE WITH 2020 NEC, UL CERTIFICATE REQUIRED TO SUBSTANTIATE

GENERAL PLUMBING NOTES:

- ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING PLUMBING SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE CONSTRUCTION IS COMPLETE.
- ALL PLUMBING WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED. THE PLUMBING SUB-CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ALL PLUMBING WORK TO CONFORM TO ANY AND ALL CODES. RULES AND REGULATIONS OF ANY AGENCIES HAVING JURISDICTION OVER THE WORK, WHETHER SPECIFICALLY INDICATED IN THE PLANS OR SPECIFICATIONS, OR NOT. WHERE ADDITIONAL SWITCHES AND/OR RECEPTACLES ARE REQUIRED, THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL SUBMIT LOCATIONS TO THE ARCHITECT
- THE PLUMBING SUB-CONTRACTOR SHALL SECURE A SEPARATE PERMIT FOR HIS WORK.
- THE CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO REVIEW AND COORDINATE ALL WORK WITH OWNER AND/OR ARCHITECT PRIOR TO COMMENCING WORK. CONTRACTOR AND/OR PLUMBING SUB-CONTRACTOR TO COORDINATE ALL PLUMBING WORK
- LOCATIONS WITH MILLWORK, INTERIOR TRIM, EQUIPMENT AND ADJACENT FINISHES.
- WHEN SITUATIONS EXIST WHERE PLUMBING IS SCHEDULED AND CONFLICT REGARDING CLEARANCES OR STRUCTURAL FRAMING CONSTRAINTS, COORDINATE LOCATIONS AND CONFIGURATIONS WITH ARCHITECT.
- MOUNTING HEIGHTS OF ALL PLUMBING CONNECTIONS SHALL BE COORDINATED WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN.
- ALL HOT WATER PIPING INCLUDING PIPES W/ >/ $\frac{3}{4}$ " NOMINAL DIA., PIPES BETWEEN THE WATER & THE MANIFOLD, SUPPLY & RETURN PIPING IN RECIRCULATING HOT WATER SYSTEMS OTHER THAN DEMAND RECIRCULATING SYSTEMS, TO BE INSULATED W/ $\frac{1}{2}$ " THICK EPDM PIPE INSULATION (APPROX. R-VALUE 2.04)

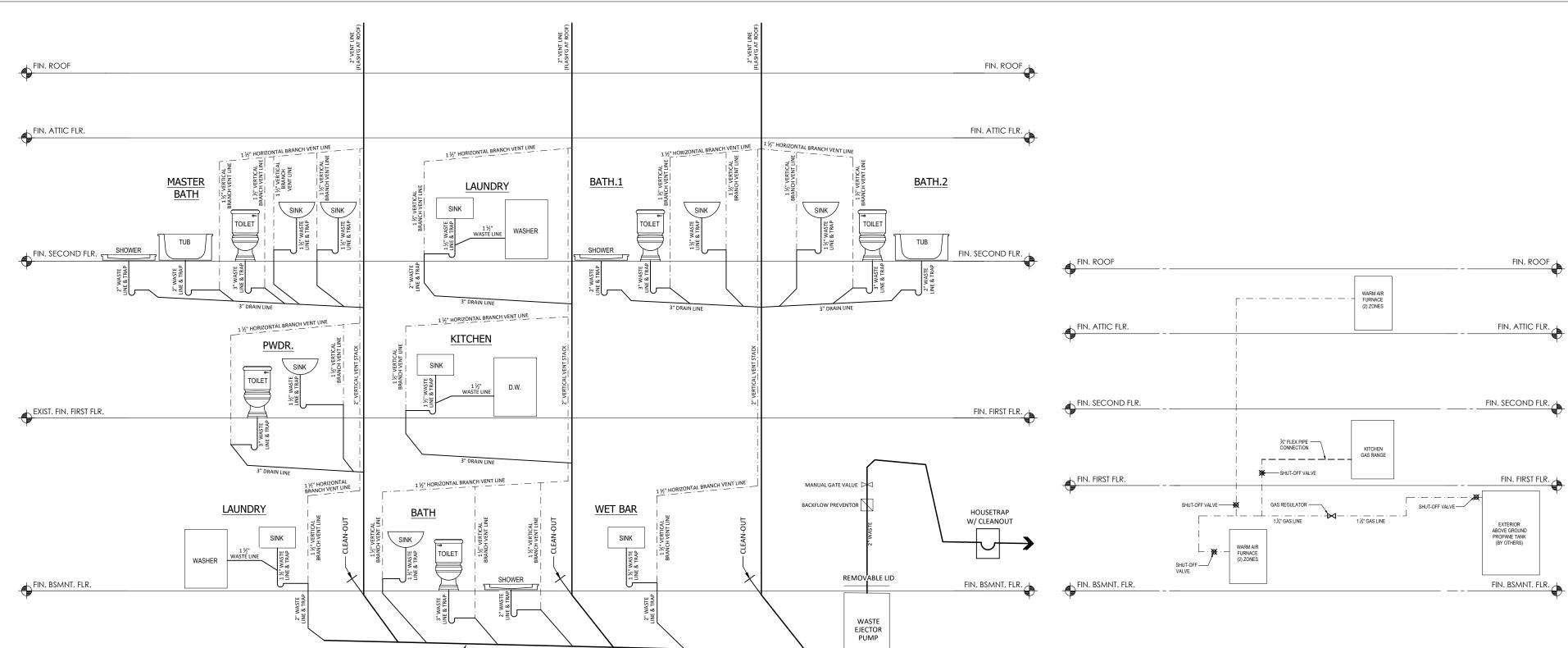
GENERAL MECHANICAL NOTES:

- STRUCTURAL/FRAMING NOTES: EXISTING MECHANICAL EQUIPMENT SHALL REMAIN AS-IS. CONTRACTOR TO SERVICE EXISTING ALL POST BEARING CONDITIONS SHALL RECEIVE SOLID BEARING OF THE SAME SIZE OR GREATER MECHANICAL EQUIPMENT AND CONFIRM EQUIPMENT IS IN GOOD WORKING ORDER. DOWN TO THE FOUNDATION WALLS OR BEARING BEAM BELOW. VERIFY ALL CONDITIONS IN EQUIPMENT REPLACEMENT PARTS AND LABOR WILL BE CONSIDERED AN ADDITIONAL COST.
 - ALL WORK SHALL BE FULLY INTEGRATED INTO EXISTING/NEW MECHANICAL SYSTEMS AND WITH THE PROPOSED SCOPE OF WORK SET FORTH IN THESE DRAWINGS. THE RESULTING SYSTEM SHALL BE FULLY OPERATIONAL AND IN PERFECT WORKING ORDER ONCE

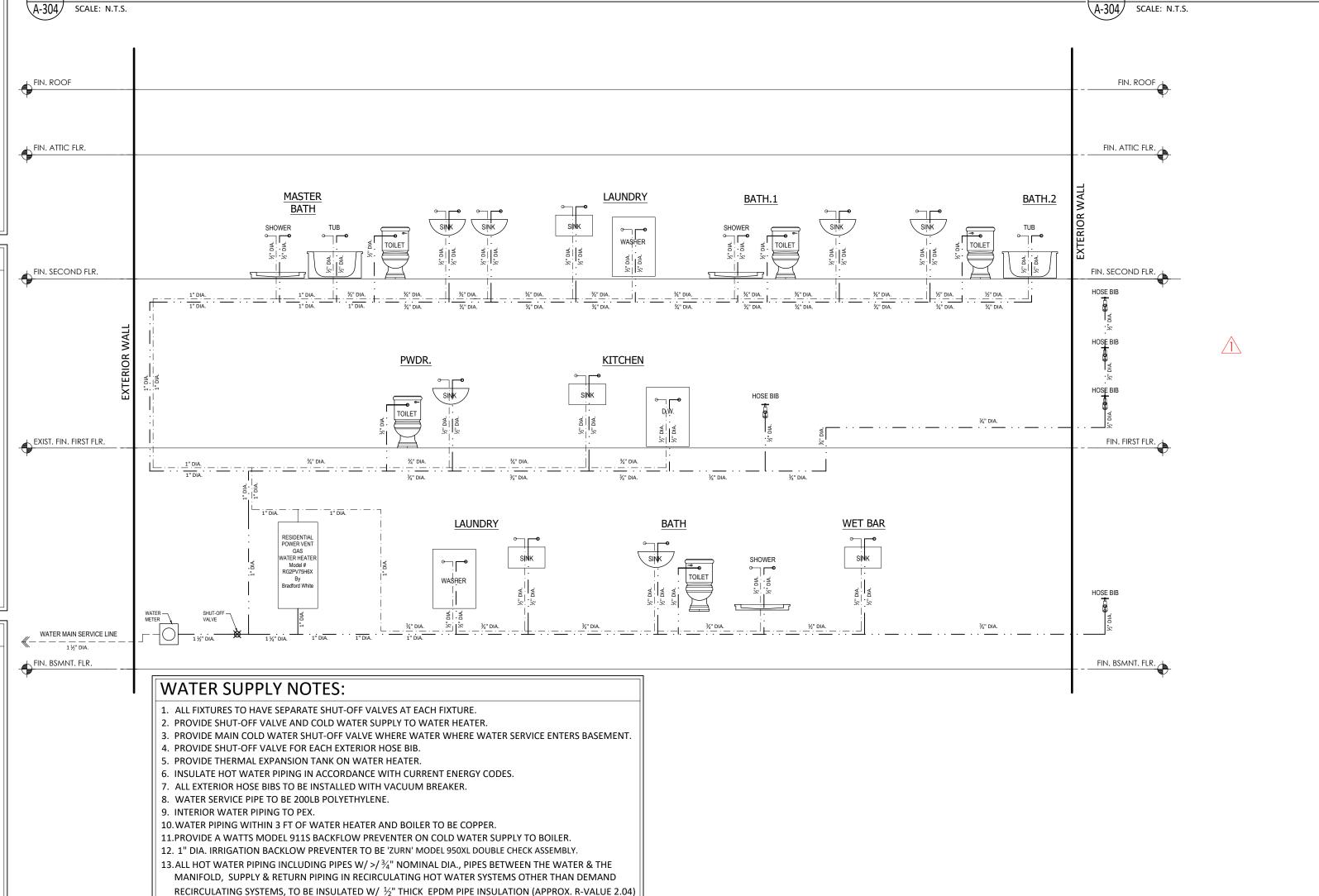
ALL MECHANICAL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE

- MECHANICAL & ENERGY CONSERVATION CODE AS WELL AS ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, WHETHER OR NOT SPECIFICALLY STATED. THE CONTRACTOR AND/OR MECHANICAL SUB AND ARCHITECT PRIOR TO COMMENCING WORK. MECHANICAL EQUIPMENT, SHAFTS, SOFFITS, -CONTRACTOR TO REVIEW AND
- COORDINATE ALL WORK WITH OWNERDUCTWORK, DIFFUSER, RETURNS, ZONES SPECIFICATIONS AND LOCATIONS WITH OWNER AND ARCHITECT PRIOR TO COMMENCING
- NEW RANGE HOOD MUST BE LESS THAN 400CFMS AND COMPLY WITH SECTION M1503.
- HVAC CONTRACTOR TO SEAL DUCTS TO 4.0 CFM/100 FT² CONDITIONED FLOOR AREA WITH UL 181 PRODUCTS APPROPRIATE FOR THE DUCT MATERIAL TYPE. (TESTING NOT REQUIRED IF ALL DUCTS ARE LOCATED COMPLETELY WITHIN CONDITIONED SPACE.)
- HYDRONIC SYSTEMS & REFRIGERANT LINES TO BE INSULATED W/ $\frac{1}{2}$ " THICK EPDM PIPE
- ALL HVAC PIPES/INSULATION LOCATED OUTDOORS TO HAVE EXTERIOR GRADE INSULATION
- HVAC COMPRESSOR AND AIR HANDLERS TO HAVE DRAIN PAN AND EMERGENCY SHUTDOWN





GAS RISER DIAGRAM



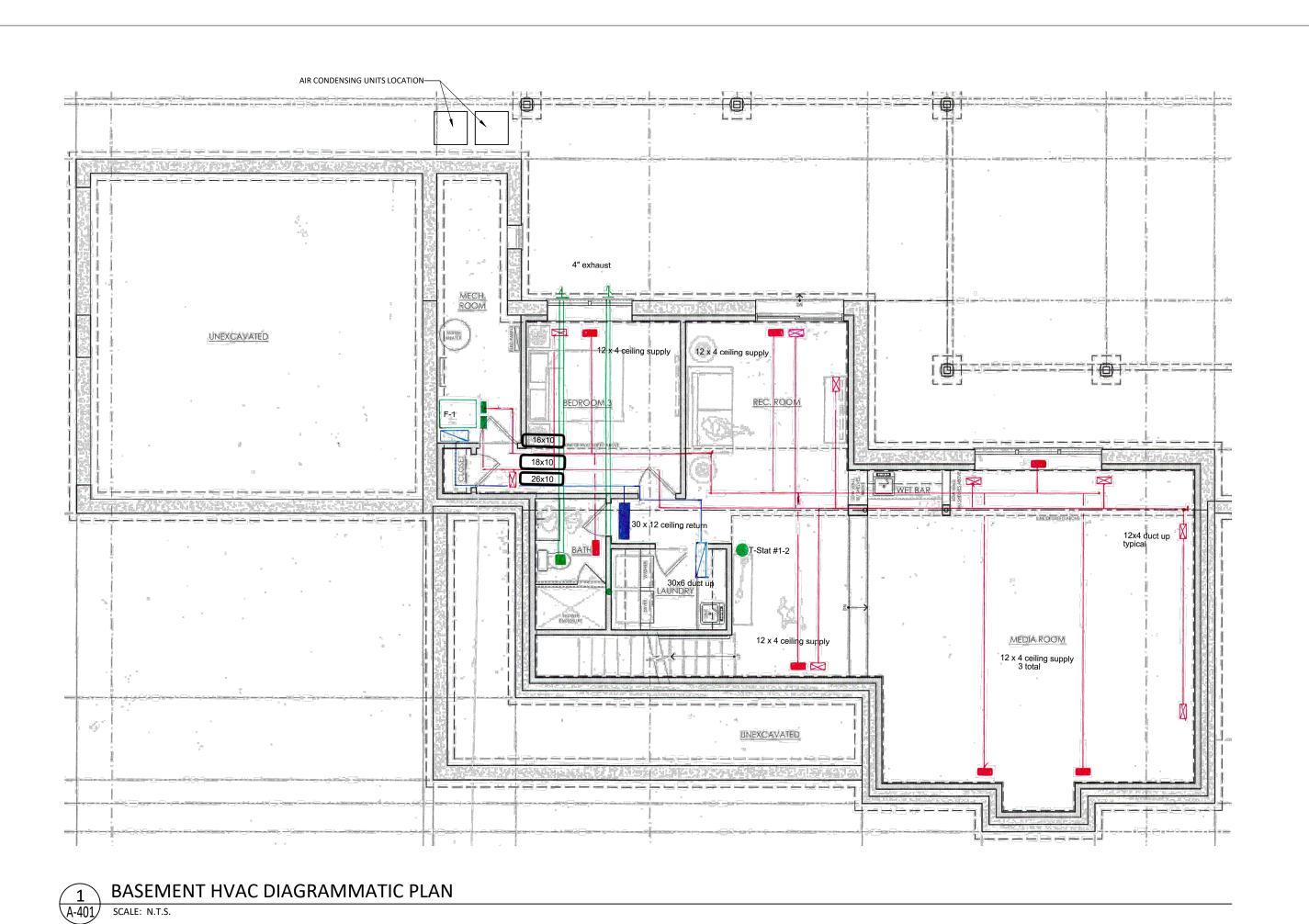
SUBMITTED TO RPRC SUBMITTED FOR PERMIT | 01.21.20 | REV.1: DOB COMMENTS 04.19.21 REV.2: NEW OWNERSHIP 01.04.24

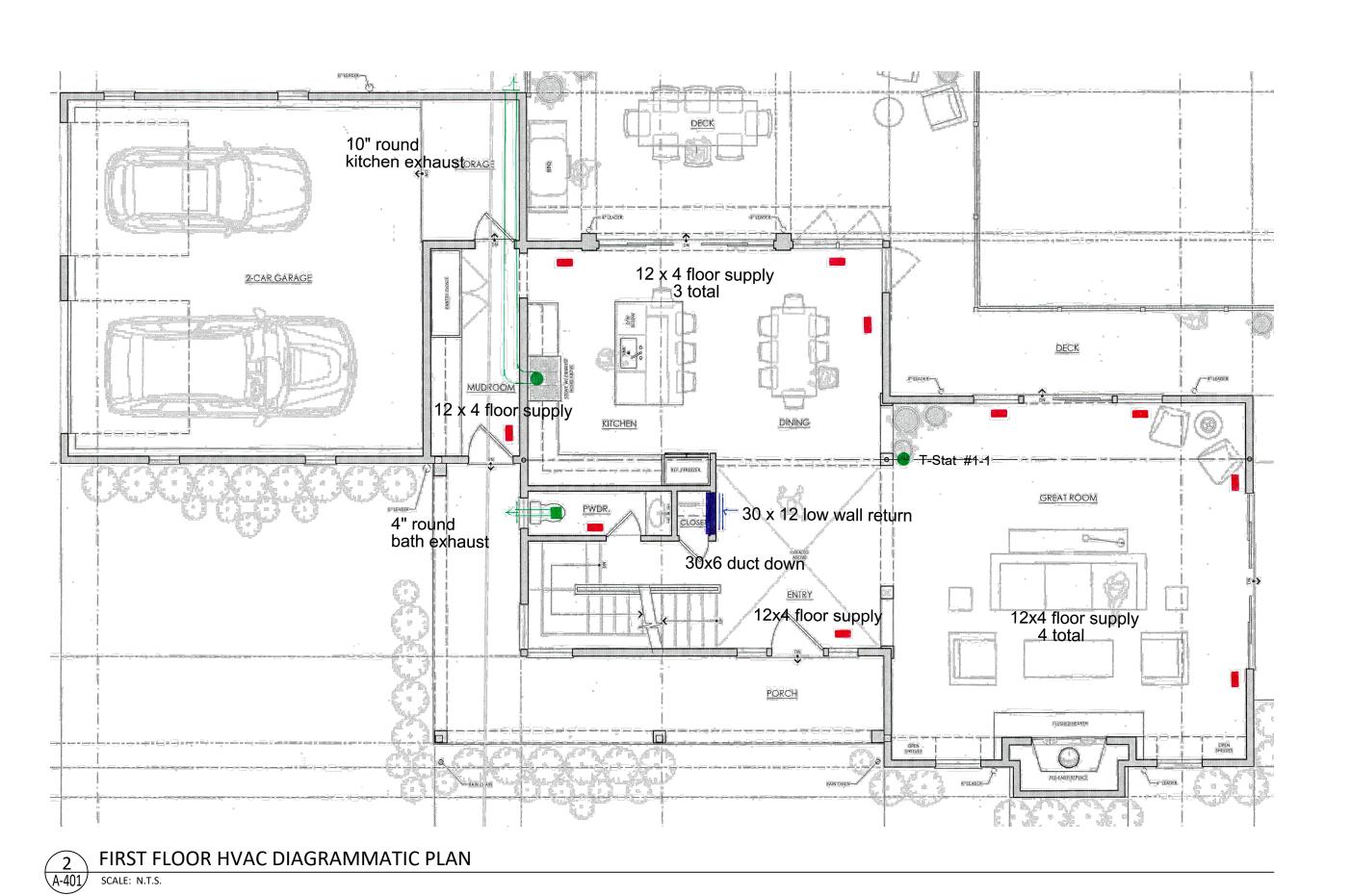


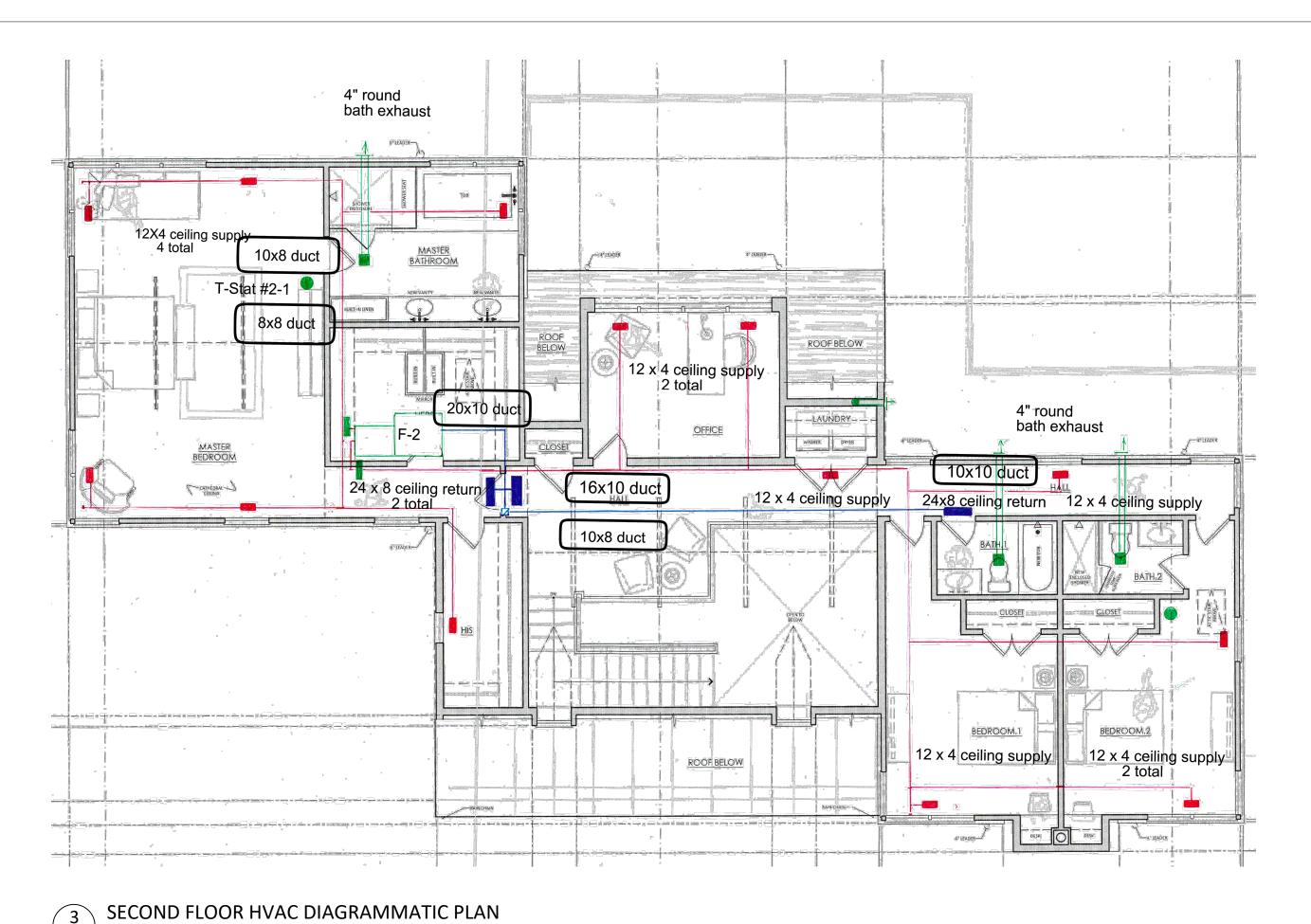


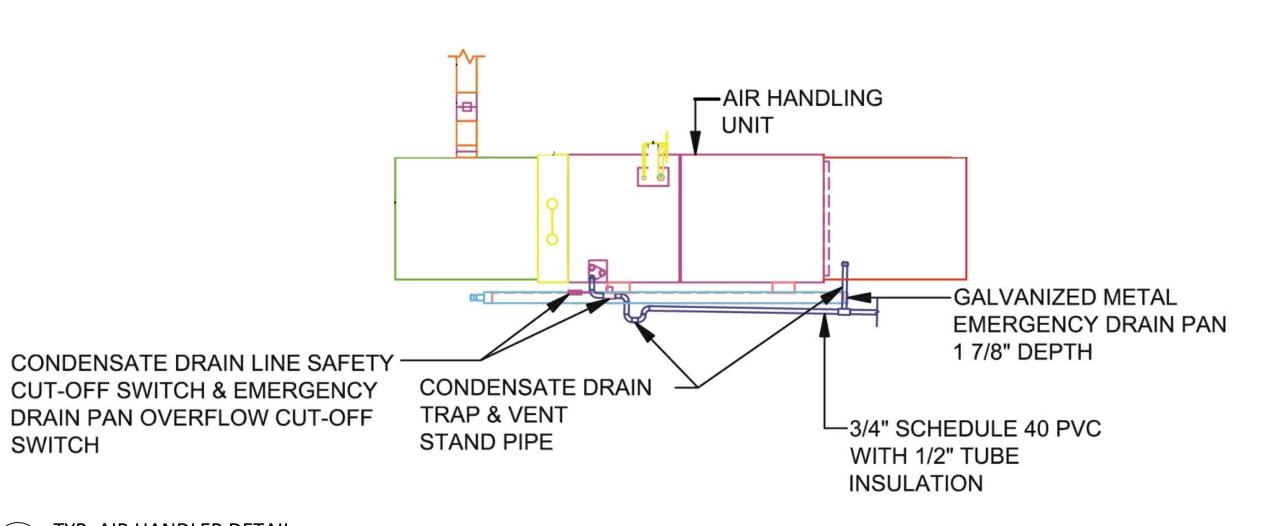
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08.12.20 AS NOTED Job Number









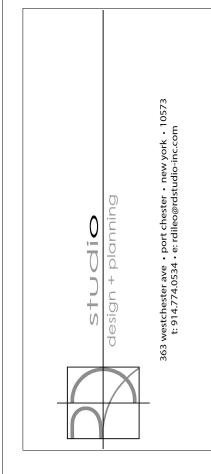


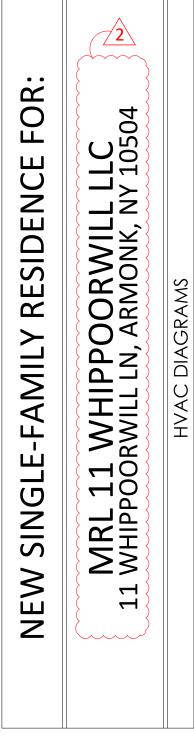
A-401 SCALE: N.T.S.

| Status | Date |
|----------------------|----------|
| SUBMITTED TO RPRC | 12.04.20 |
| SUBMITTED FOR PERMIT | 01.21.20 |
| REV.1: DOB COMMENTS | 04.19.21 |
| REV.2: NEW OWNERSHIP | 01.04.24 |
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Drawn
JV

Checked

Date

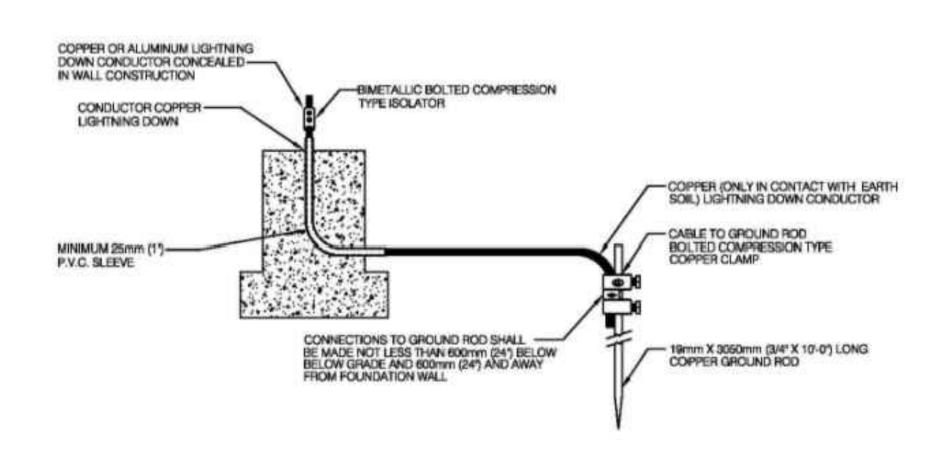
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Scale

AS NOTED

Job Number

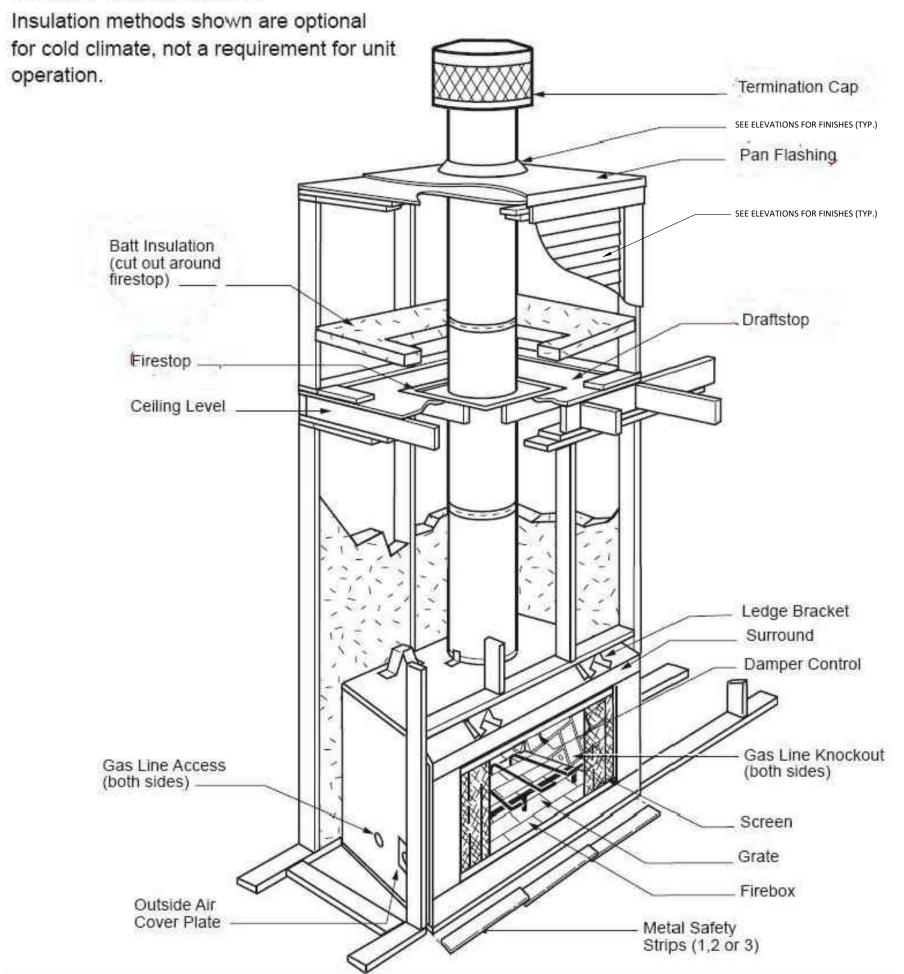
2021



TYP. BONDING/GROUNDING DETAIL TO FOUNDATION

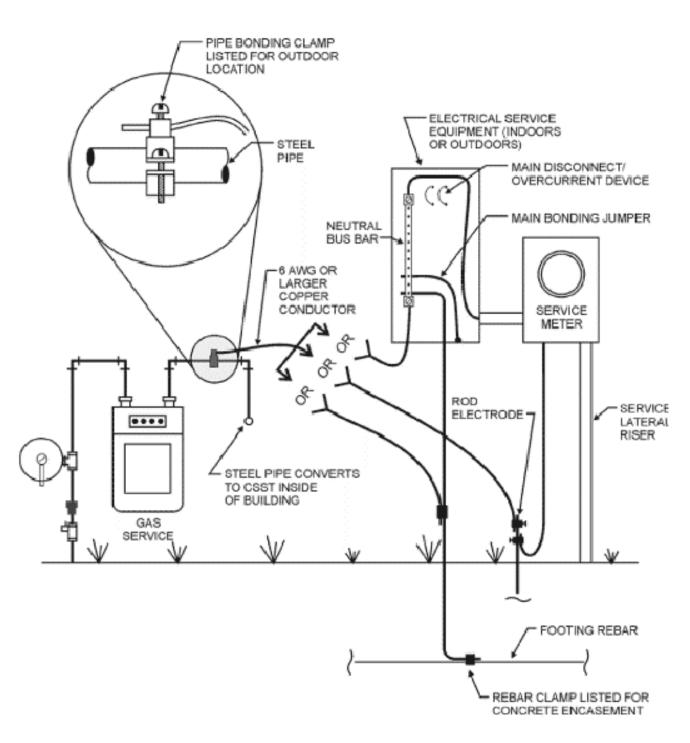
SCALE: N.T.S.

Chase Installation

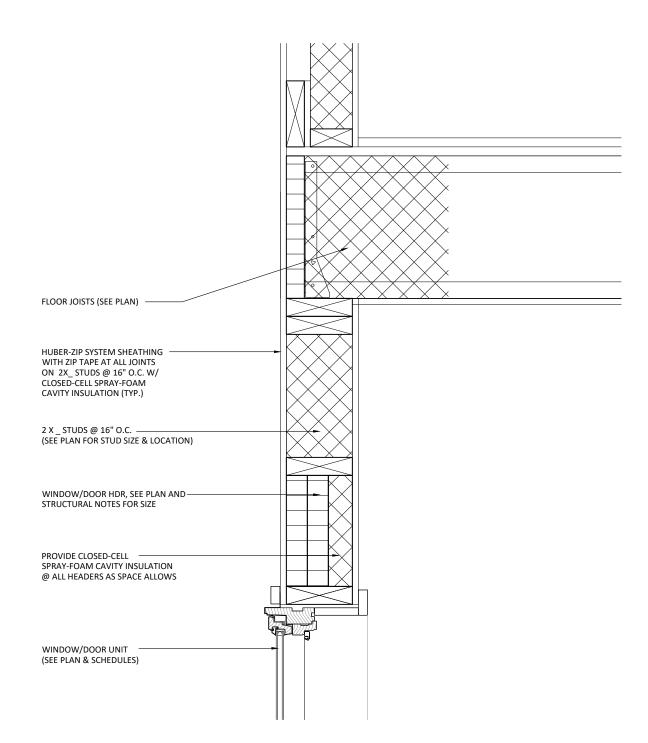


TYP. PRE-FAB CHIMNEY FIRE BLOCKING DETAILS

2 TYP. PRI A-901 SCALE: N.T.S.

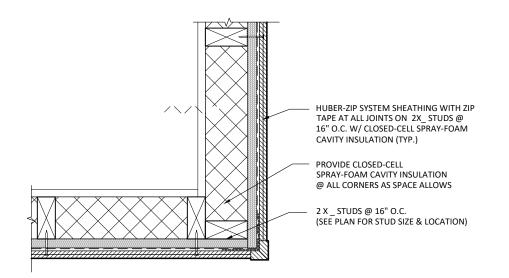


3 TYP. GAS PIPE BONDING DETAIL
A-901 SCALE: N.T.S.



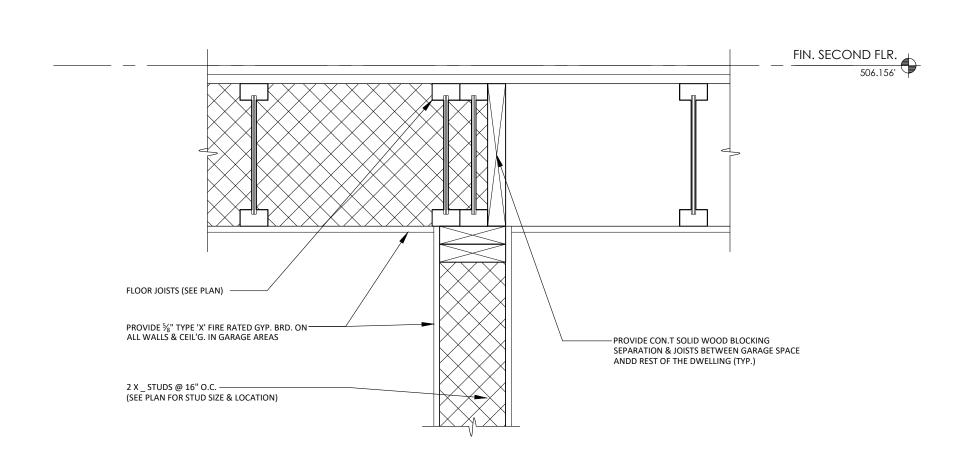
4 TYP. HEADER INSULATION DETAIL

A-901 SCALE: 3/4" = 1'-0"

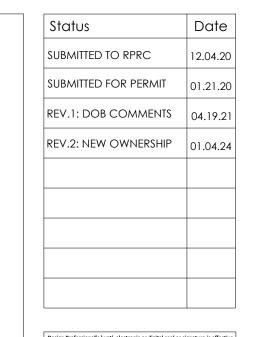


TYP. CORNER INSULATION DETAIL

SCALE: 1-1/2 = 1'-0"



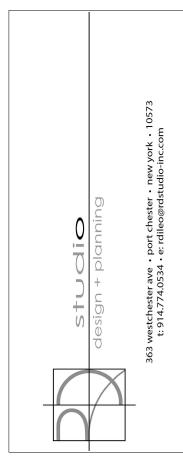




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NEW SINGLE-FAMILY RESIDENCE FOR MILL 11 WHIPPOORWILL LLC 11 WHIPPOORWILL LN, ARMONK, NY 10504

Drawn
JV

Checked

Date

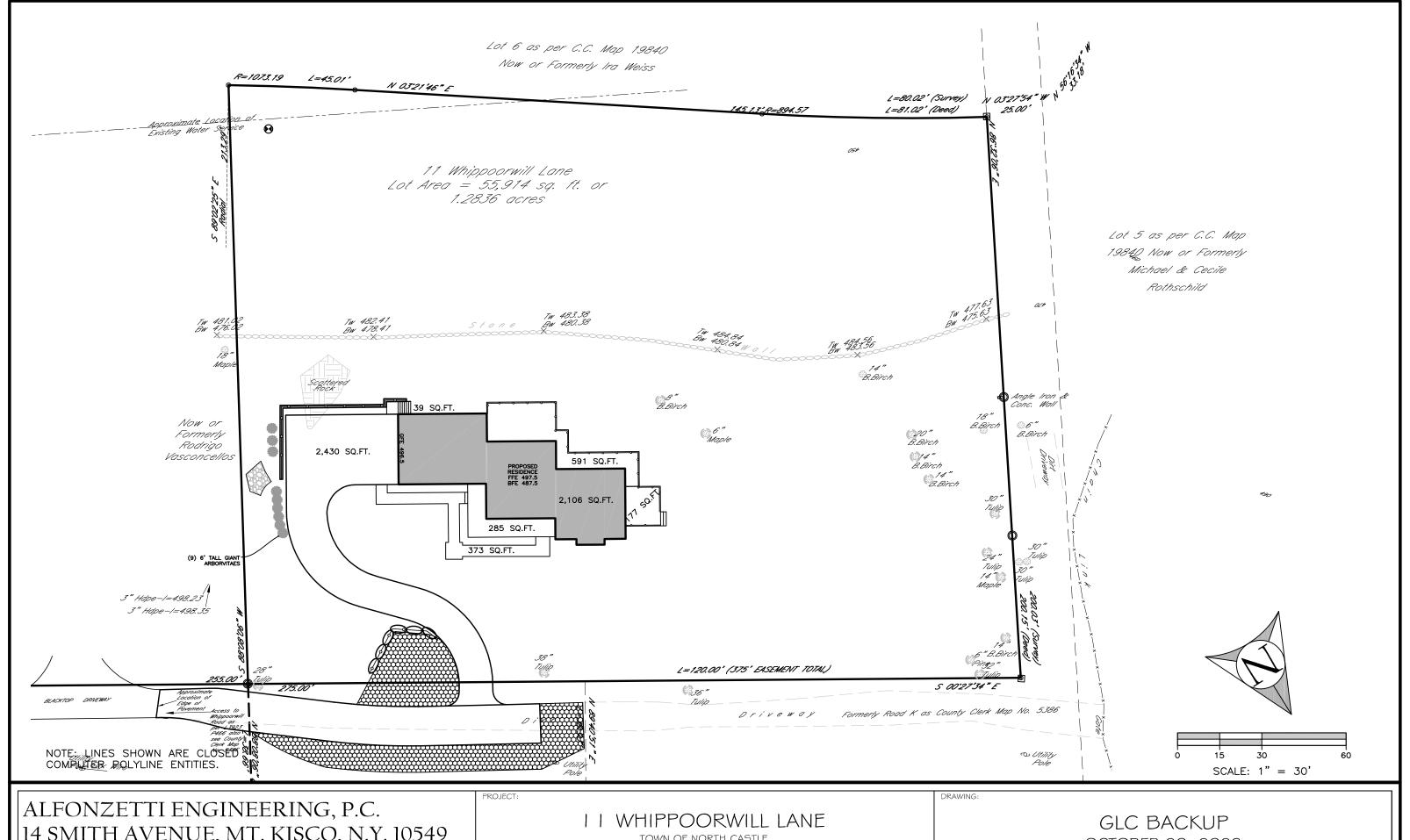
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Scale

AS NOTED

Job Number

2021



14 SMITH AVENUE, MT. KISCO, N.Y. 10549 914 - 666 - 9800

TOWN OF NORTH CASTLE, WESTCHESTER COUNTY, NEW YORK OCTOBER 20, 2023



TOWN OF NORTH CASTLE

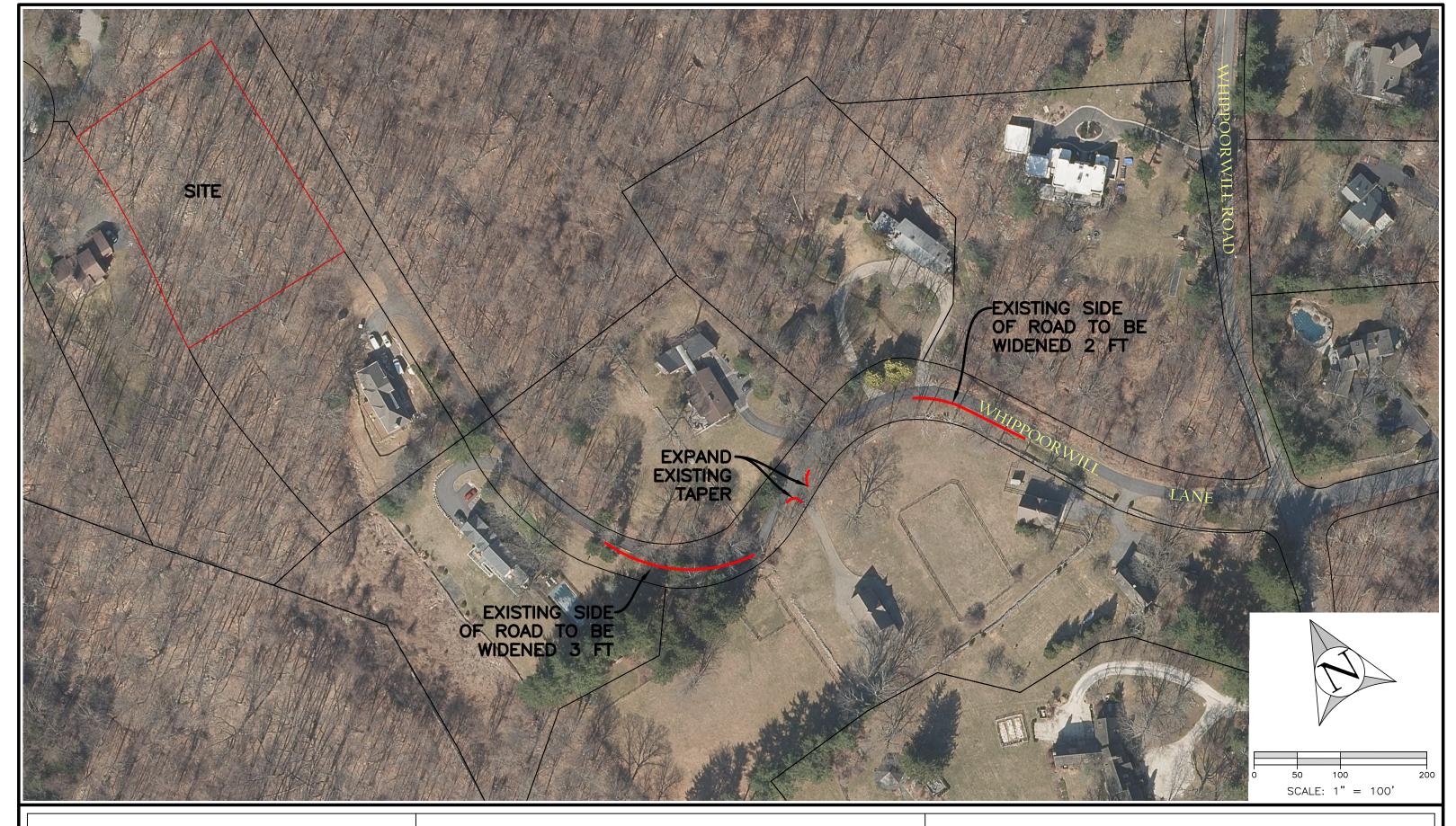
WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

| Application Name or Identifying Title: | | 11 Whippoorwill Lane | Date: <u>02/26/2</u> 024 |
|--|--|---|---|
| Tax M | Iap Designation or Proposed Lot No.: _ | 107.04-1-5 | |
| Gross | Lot Coverage | | |
| 1. | Total lot Area (Net Lot Area for Lots | s Created After 12/13/06): | <u>55,914 S.F</u> . |
| 2. | Maximum permitted gross land cover | <u>10,461.86 S</u> .F. | |
| 3. | BONUS maximum gross land cover | (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond n0.6 x 10 = | ninimum front yard setback | _ 6 S.F |
| 4. | TOTAL Maximum Permitted gros | s land coverage = Sum of lines 2 and 3 | 10,455.86 S.F. |
| 5. | Amount of lot area covered by princ existing + _2,106.0 | ipal building: proposed = | 2,106.0 S.F. |
| 6. | Amount of lot area covered by acces existing + 0 | sory buildings: proposed = | 0 S.F |
| 7. | Amount of lot area covered by decks 0 existing + 591.0 | | 591.0 S.F. |
| 8. | Amount of lot area covered by porcl O existing + O | nes: proposed = | 0 S.F |
| 9. | Amount of lot area covered by drive 0 existing + 2,803.0 | way, parking areas and walkways: proposed = | <u>2,803.0 S.F</u> . |
| 10. | Amount of lot area covered by terra existing +501.0 | ces: proposed = | 501.0 S.F. |
| 11. | Amount of lot area covered by tenni existing + 0 | s court, pool and mechanical equip: proposed = | 0 S.F |
| 12. | Amount of lot area covered by all ot o existing + 0 | her structures: proposed = | 0 S.F. |
| 13. | Proposed gross land coverage: Total | al of Lines $5 - 12 =$ | 6,001 s.f. |
| the produces r | e 13 is less than or equal to Line population of the Residential Properties of Comply with the Town's regulations. The population of Professional Preparing Of Professional P | ALFO | mum gross land coverage regulations and the 13 is greater than Line 4 your proposal 2/26/2024 |



ALFONZETTI ENGINEERING, P.C. 14 SMITH AVE, MT. KISCO, N.Y. 10549 914-666-9800 INFO@ALFONZETTIENG.COM

I I WHIPPOORWILL LANE
TOWN OF NORTH CASTLE,
WESTCHESTER COUNTY, NEW YORK

WHIPPOORWILL LANE IMPROVEMENT PLAN

FEBRUARY 20, 2024

