



# TOWN OF NORTH CASTLE

WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

RESIDENTIAL PROJECT  
REVIEW COMMITTEE  
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43  
Fax: (914) 273-3554  
www.nortcastleny.com

## RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

### Section I- PROJECT

ADDRESS: 2 Daphne Lane, Bedford, NY 10506

### Section III- DESCRIPTION OF WORK:

Construction of a 5-bedroom single family home with pool. Health department reapproval for the proposed well and septic system was obtained.

### Section III- CONTACT INFORMATION:

APPLICANT: Denis Waldron of Stone Manor at Armonk, LLC

ADDRESS: 1250 Waters Place, PH1, Bronx, NY 10461

PHONE: 914-358-1533 MOBILE: 845-490-7704 EMAIL: DWaldron@tricountyconst.com

PROPERTY OWNER:

Stone Manor at Armonk, LLC

ADDRESS: 1250 Waters Place, PH1, Bronx, NY 10461

PHONE: 914-358-1533 MOBILE: 845-490-7704 EMAIL: DWaldron@tricountyconst.com

PROFESSIONAL: Christina Zolezi, PE of Langan Engineering, Environmental,  
Surveying, Landscape Architecture and Geology, D.P.C.

ADDRESS: One North Broadway, Suite 910, White Plains, NY 10601

PHONE: 914-323-7418

MOBILE:

EMAIL: czolezi@langan.com

### Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) 102.01-2-58.2



**Town of North Castle  
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504  
(914) 273-3542 (914) 273-3554 (fax)

**RPRC COMPLETENESS REVIEW FORM**

*This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.*

Project Name on Plan: Stone Manor in Armonk - Lot 1

Initial Submittal  Revised Preliminary

Street Location: 2 Daphne Lane

Zoning District: R-2A Property Acreage: 3.69 Tax Map Parcel ID: 102.01-2-58.2

Date: 9/1/2023

**DEPARTMENTAL USE ONLY**

Date Filed: \_\_\_\_\_ Staff Name: \_\_\_\_\_

**Preliminary Plan Completeness Review Checklist**

Items marked with a  are complete, items left blank  are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

**RPRC COMPLETENESS REVIEW FORM**

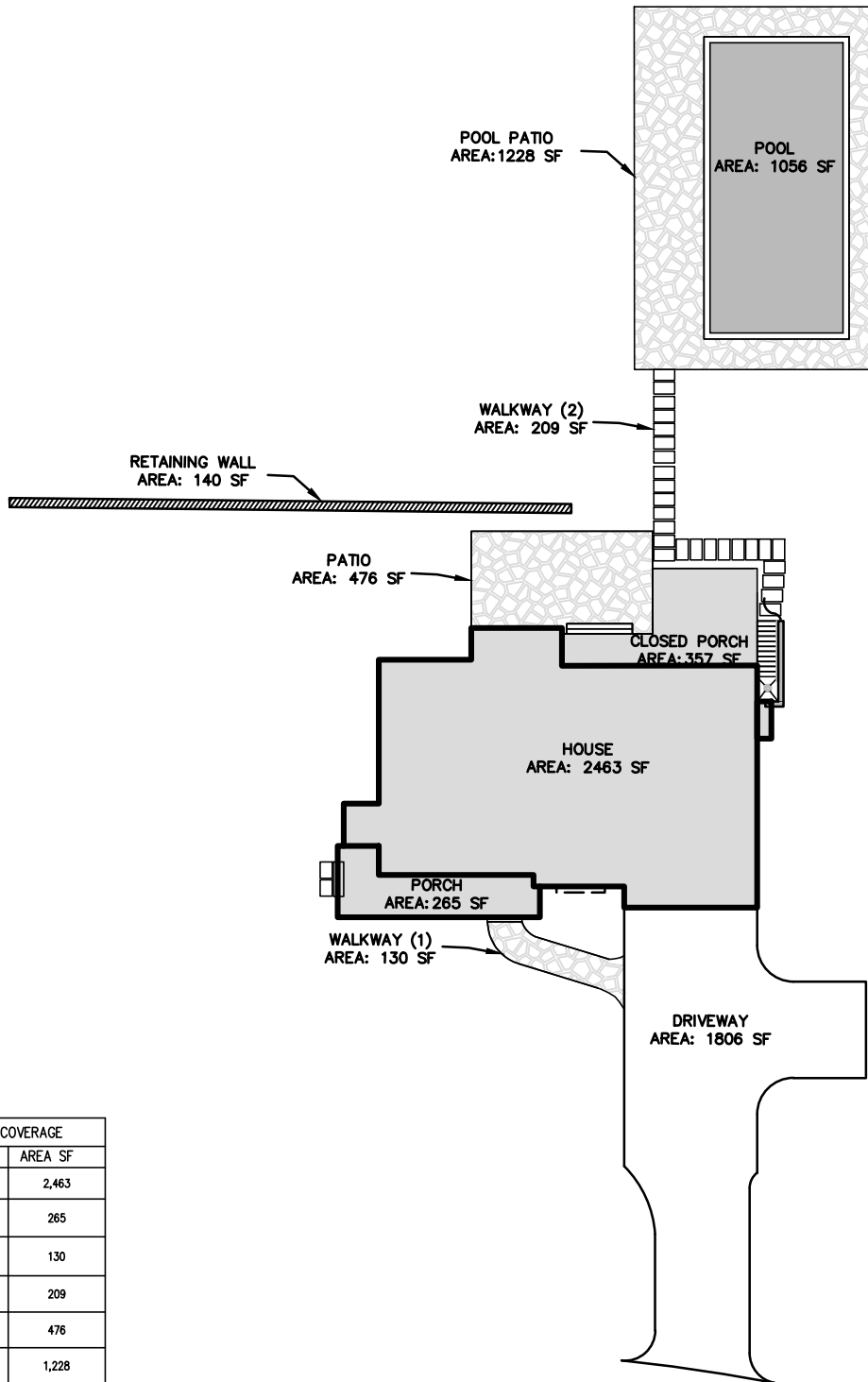
Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

\_\_\_\_\_ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.

# GROSS LAND COVERAGE WORKSHEET



GROSS LAND COVERAGE	
ITEM	AREA SF
HOUSE	2,463
PORCH	265
WALKWAY(1)	130
WALKWAY(2)	209
PATIO	476
POOL PATIO	1,228
POOL	1,056
RETAINING WALL	140
CLOSED PORCH	357
DRIVEWAY	1,806
GROSS FLOOR COVERAGE	8,130





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WESTCHESTER COUNTY  
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PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

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### GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: Stone Manor in Armonk - Lot 1 Date: 9/1/2023

Tax Map Designation or Proposed Lot No.: 102.01-2-58.2

Gross Lot Coverage

1. Total lot Area (Net Lot Area for Lots Created After 12/13/06): \* 2.35 acres  
\*3.69 ac - 0.75 x 1.79 ac
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(b)): \* 19,241.23 sq. ft.  
\*13,720 sq. ft. x (1.69 ac x 0.075) x 43,560 sf/ac
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):  
Distance principal home is beyond minimum front yard setback  
9 ft. x 10 = 90 sq. ft. 90 sq. ft.
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 19,331.23 sq. ft.
5. Amount of lot area covered by principal building:  
0 existing + 2,463 proposed = 2,463 sq. ft.
6. Amount of lot area covered by accessory buildings:  
0 existing + 0 proposed = 0 sq. ft.
7. Amount of lot area covered by decks:  
0 existing + 0 proposed = 0 sq. ft.
8. Amount of lot area covered by porches:  
0 existing + 638 proposed = 638 sq. ft.
9. Amount of lot area covered by driveway, parking areas and walkways:  
0 existing + 1,981 proposed = 1,981 sq. ft.
10. Amount of lot area covered by terraces:  
0 existing + 0 proposed = 0 sq. ft.
11. Amount of lot area covered by tennis court, pool and mechanical equip:  
0 existing + 1,056 proposed = 1,056 sq. ft.
12. Amount of lot area covered by all other structures: \*  
0 existing + 1,867 proposed = 1,867 sq. ft.  
\*patios
13. Proposed gross land coverage: Total of Lines 5 – 12 = 8,005 sq. ft.

If Line 13 is less than or equal to Line 4, your proposal **complies** with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet

Date



TOWN OF NORTH CASTLE  
 WESTCHESTER COUNTY  
 17 Bedford Road  
 Armonk, New York 10504-1898

PLANNING DEPARTMENT  
 Adam R. Kaufman, AICP  
 Director of Planning

January 29, 2019  
 Telephone: (914) 273-3542  
 Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

### FLOOR AREA CALCULATIONS WORKSHEET

Application Name or Identifying Title: Stone Manor in Armonk - Lot 1 Date: 9/14/23


Tax Map Designation or Proposed Lot No.: 102.01-2-58.2

Floor Area

- |     |  |                          |
|-----|--|--------------------------|
| 1.  | Total Lot Area (Net Lot Area for Lots Created After 12/13/06): *                 | <u>2.35 acres</u>        |
|     | *3.69 ac - 0.75 x 1.79 ac  |                          |
| 2.  | Maximum permitted floor area (per Section 355-26.B(4)): *                        | <u>19,241.23 sq. ft.</u> |
|     | *13,607 sq. ft. x (1.69 ac x 0.04) x 43,560 sf/ac                                |                          |
| 3.  | Amount of floor area contained within first floor:                               |                          |
| -   | <u>0</u> existing + <u>2,001</u> proposed =                                      | <u>2,001 S.F.</u>        |
| 4.  | Amount of floor area contained within second floor:                              |                          |
| -   | <u>0</u> existing + <u>2020</u> proposed =                                       | <u>2,020 S.F.</u>        |
| 5.  | Amount of floor area contained within garage:                                    |                          |
| -   | <u>0</u> existing + <u>462</u> proposed =  | <u>462 S.F.</u>          |
| 6.  | Amount of floor area contained within porches capable of being enclosed:         |                          |
| -   | <u>0</u> existing + <u>570</u> proposed =  | <u>570 S.F.</u>          |
| 7.  | Amount of floor area contained within basement (if applicable – see definition): |                          |
| -   | <u>0</u> existing + <u>N/A</u> proposed =  | <u>0</u>                 |
| 8.  | Amount of floor area contained within attic (if applicable – see definition):    |                          |
| -   | <u>0</u> existing + <u>N/A</u> proposed =  | <u>0</u>                 |
| 9.  | Amount of floor area contained within all accessory buildings:                   |                          |
| -   | <u>0</u> existing + <u>0</u> proposed =  | <u>0 sq. ft.</u>         |
| 10. | Proposed floor area: Total of Lines 3 – 9 =                                      | <u>5,053 S.F.</u>        |

If Line 10 is less than or equal to Line 2, your proposal **complies** with the Town's maximum floor area regulations and the project may proceed to the Residential Project Review Committee for review. If Line 10 is greater than Line 2 your proposal does not comply with the Town's regulations.

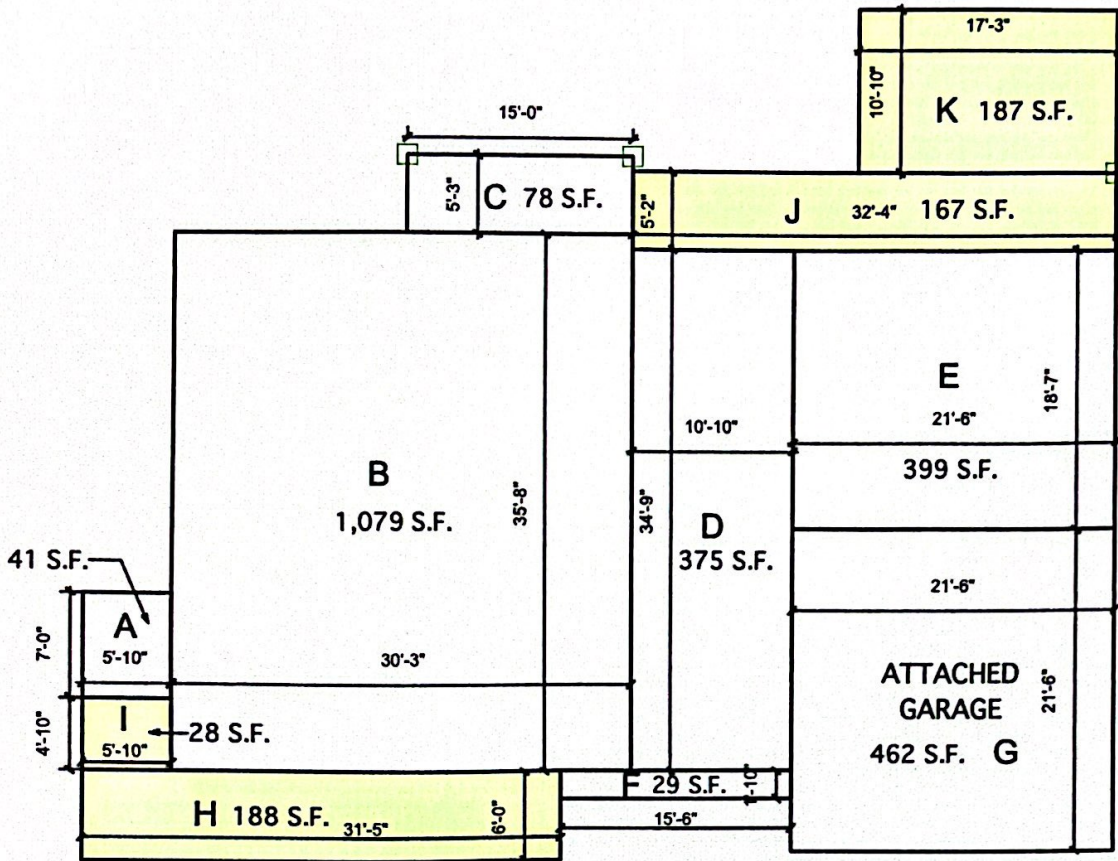
Signature and Seal of Professional Preparing Worksheet



9/14/23  
 Date



# GROSS FLOOR AREA WORKSHEET.

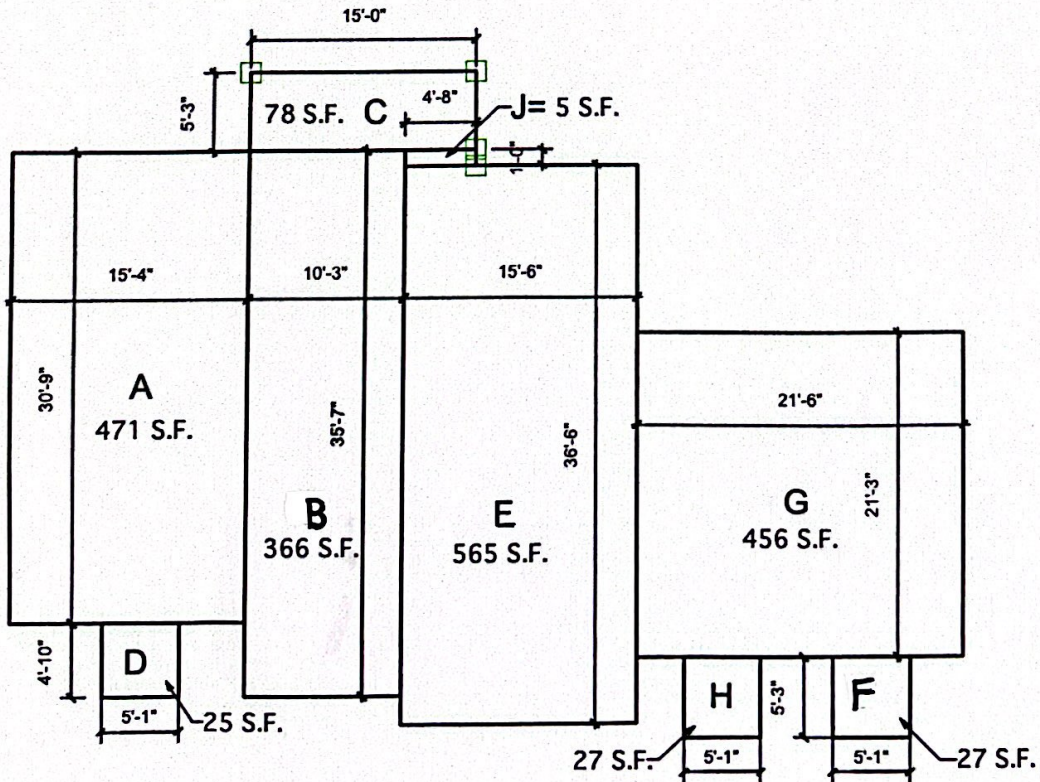


FIRST FLOOR TOTAL= 2,001 S.F.

GARAGE TOTAL= 462 S.F.

TOTAL YELLOW SHADED AREA= 570 S.F.

NOTE: YELLOW SHADED AREA=PORCHES CAPABLE OF BEING ENCLOSED

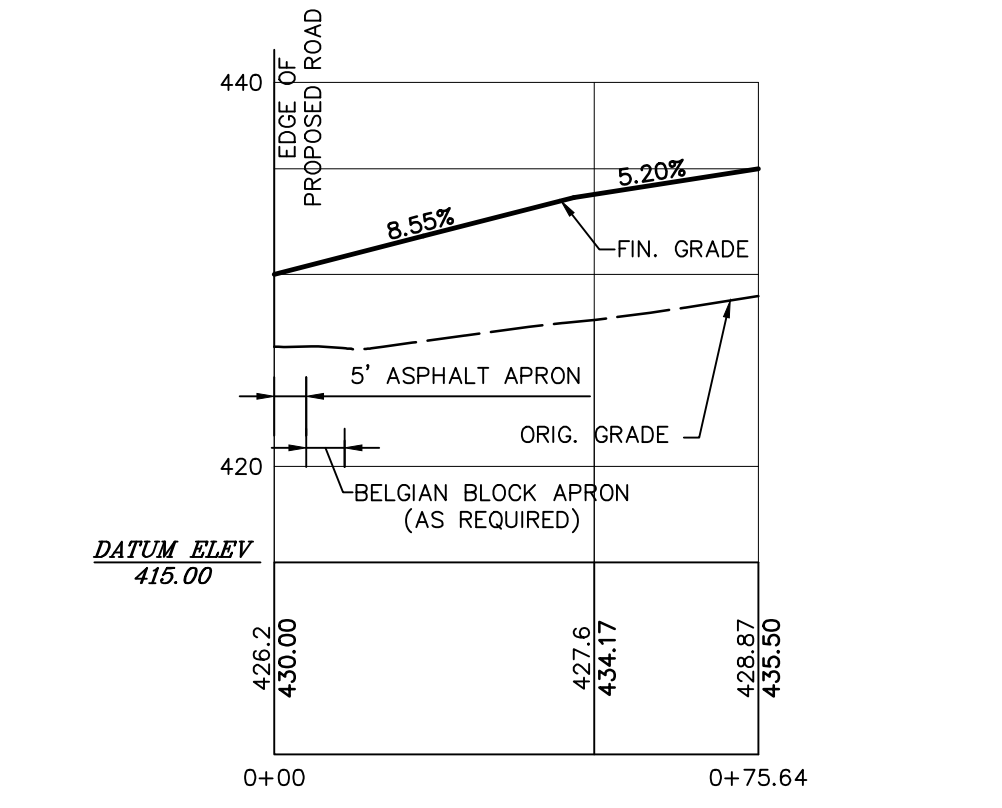
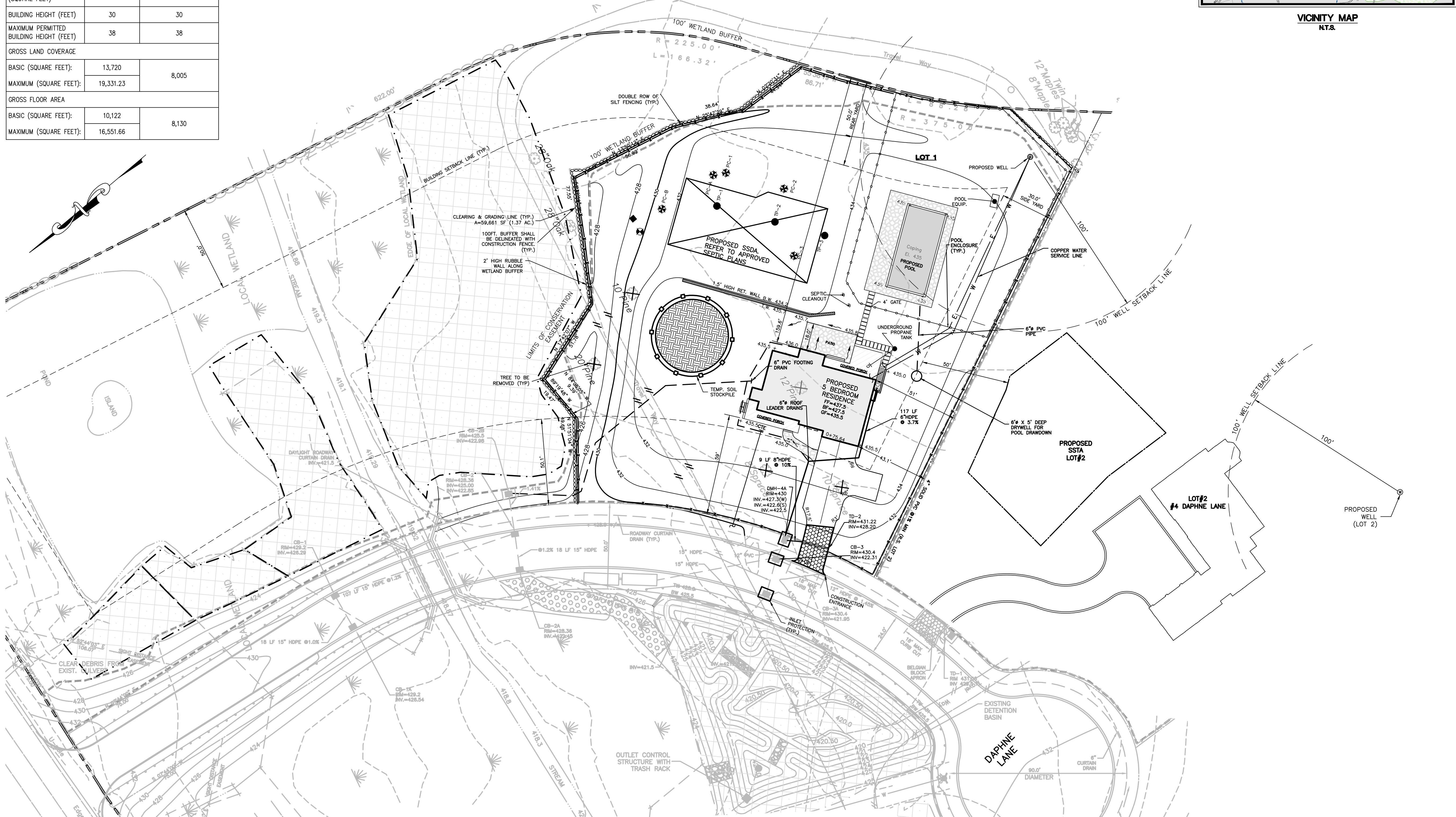
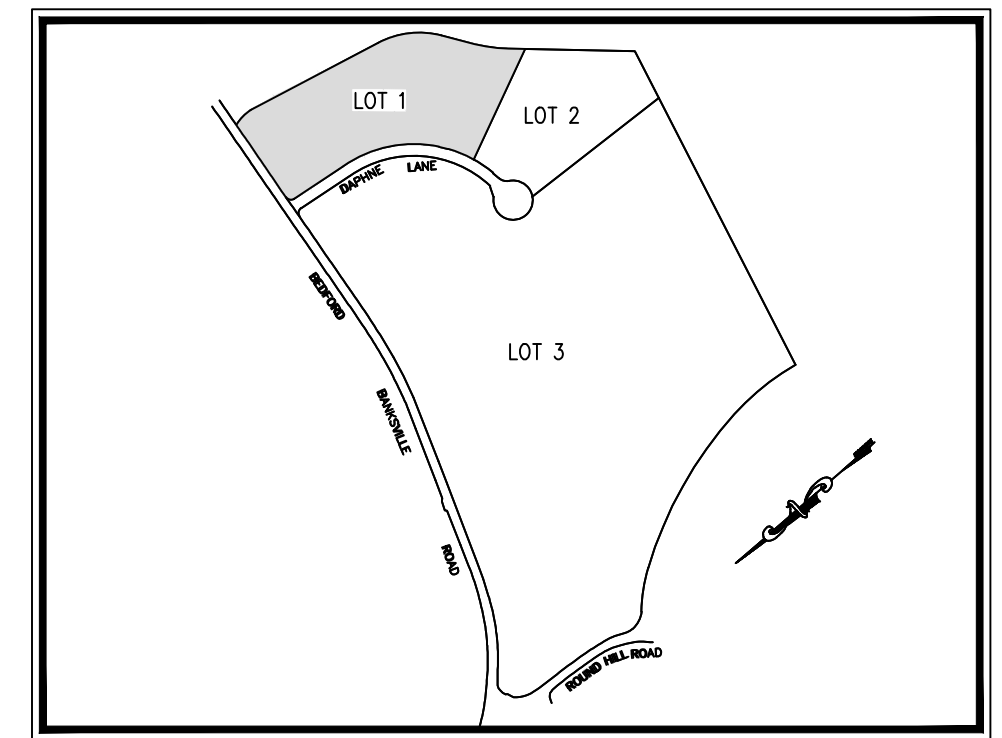
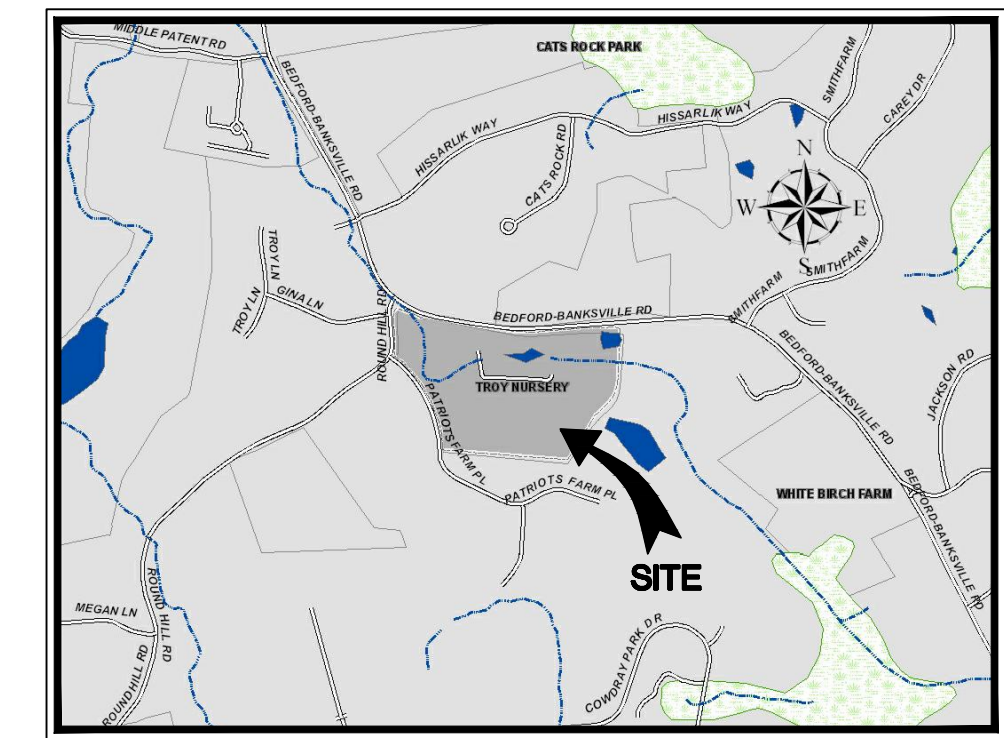
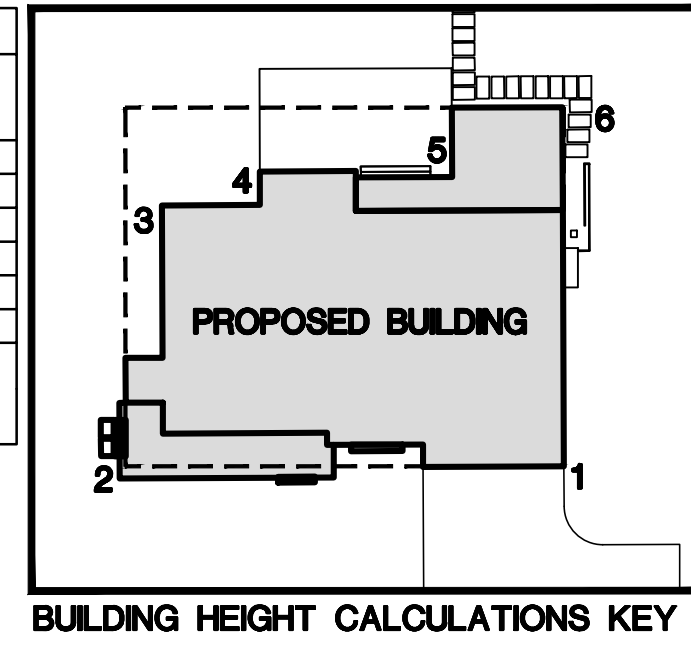


SECOND FLOOR TOTAL= 2,020 S.F.



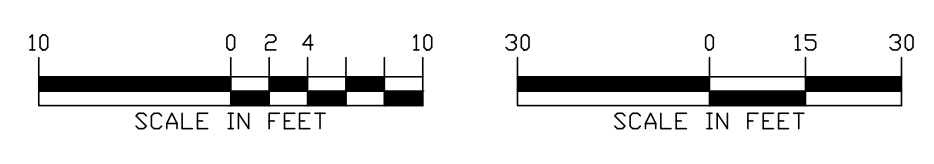
ZONING ANALYSIS (ZONE R-2A)		
ITEM	REQUIRED	PROPOSED
LOT AREA (SQUARE FEET)	87,120	160,846.1762
LOT WIDTH (FEET)	150	510.90
ROAD FRONTAGE (FEET)	150	510.98
LOT DEPTH (FEET)	150	301.30
SIDE YARDS (FEET)	MIN: 30	43.1
FRONT YARD (FEET)	50	59
REAR YARD (FEET)	50	159.6
TOTAL IMPERVIOUS AREA (SQUARE FEET)	--	8,130
AREA OF RESIDENCE (SQUARE FEET)	--	2,463
BUILDING HEIGHT (FEET)	30	30
MAXIMUM PERMITTED BUILDING HEIGHT (FEET)	38	38
GROSS LAND COVERAGE		
BASIC (SQUARE FEET):	13,720	8,005
MAXIMUM (SQUARE FEET):	19,331.23	
GROSS FLOOR AREA		
BASIC (SQUARE FEET):	10,122	8,130
MAXIMUM (SQUARE FEET):	16,551.66	

LOT 1 - BUILDING HEIGHT CALCULATION					
Spot Elev No.	Grade Elevation	Average Elev	Distance	Ave Elev x Distance	
1-2	435.5	435.5	69.4	30223.7	
2-3	435.5	435.5	41.6	18099.4	
3-4	436.0	435.8	16.2	7046.1	
4-5	436.0	436.0	30.0	13080.0	
5-6	436.0	435.5	20.3	8840.7	
6-1	435.0	435.3	56.0	24374.0	
Total			233.4	101663.8	
AVERAGE GRADE			435.5		



- MISC. NOTES:**
1. AN AS-BUILT FOUNDATION LOCATION, WITH THE ELEVATION AT THE TOP OF THE FOUNDATION, WALL OF THE GARAGE AND THE FIRST FLOOR, IS REQUIRED. IN ADDITION, A DRIVEWAY PROFILE OF THE ROUGH GRADE SHALL BE PROVIDED AT THE SAME TIME, AND IT WILL BE DRAWN ON THE APPROVED SITE PLAN AND CERTIFIED BY A LAND SURVEYOR PRIOR TO THE FOUNDATION AND WATERPROOFING INSPECTION.
  2. UPON RECEIPT OF THE AS-BUILT SURVEY, THE TOWN ENGINEER WILL DETERMINE CONFORMANCE TO THE APPROVED SITE PLANS. ANY DEVIATION FROM THE APPROVED SITE PLAN MUST BE APPROVED BY THE TOWN ENGINEER, THE BUILDING INSPECTOR, AND THE HIGHWAY DEPARTMENT, IF IT IS DETERMINED THAT A NEW SITE PLAN IS WARRANTED, NO WORK SHALL PROGRESS UNTIL THE REVISED SITE PLAN IS APPROVED.
  3. A PROFILE MUST BE SUBMITTED BEFORE FINAL PAVING, AND APPROVAL OBTAINED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
  4. INSPECTION OF EROSION CONTROLS BY THE TOWN ENGINEER IS REQUIRED PRIOR TO ANY EXCAVATION.
  5. ALL DRAINAGE FACILITIES SHALL BE INSPECTED BY THE TOWN ENGINEER PRIOR TO BACKFILLING. (FOR ANY PROPOSED SUBSURFACE STORM WATER TREATMENT)
  6. PUBLIC ROADWAYS SHALL BE PROTECTED FROM MACHINERY AND DEBRIS.
  7. ANY CHANGES, ALTERATIONS, AND/OR MODIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE BUILDING INSPECTOR AND/OR TOWN ENGINEER, PRIOR TO PERFORMING SUCH WORK.
  8. REFER TO SEPTIC SYSTEM AND WELL PLAN APPROVED BY WCHD FOR SEPTIC SYSTEM LAYOUT AND DESIGN DETAILS.
  9. REFER TO LANDSCAPE PLANS PREPARED BY JOHN SLAKER DESIGN GROUP FOR ADDITIONAL INFORMATION.
  10. SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY DONNELLEY SURVEYORS.
  11. THE PROPOSED SEPTIC SYSTEM HAS BEEN DESIGNED FOR A 5 BEDROOM RESIDENCE.
  12. THERE ARE NO TOWN REGULATED STEEP SLOPES, WETLAND AND/OR WETLAND BUFFER, OR TOWN REGULATED TREES PROPOSED TO BE DISTURBED ON THIS LOT.

**SITE PLAN**  
SCALE: 1" = 30'



WARNING  
IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS ITEM IN ANY WAY.

Date	Description	No.
11/15/23	REVISED PER CLIENT COMMENTS	1.

STATE OF NEW YORK  
MICHAEL J. FINA  
Professional Engineer  
No. 081473  
NEW YORK STATE Lic. No. 081473

**LANGAN**  
Langan Engineering, Environmental, Surveying,  
Landscape Architecture, and Geology, D.P.C.  
One North Broadway, Suite 910  
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T: 914.323.7400 F: 914.323.7401 www.langan.com

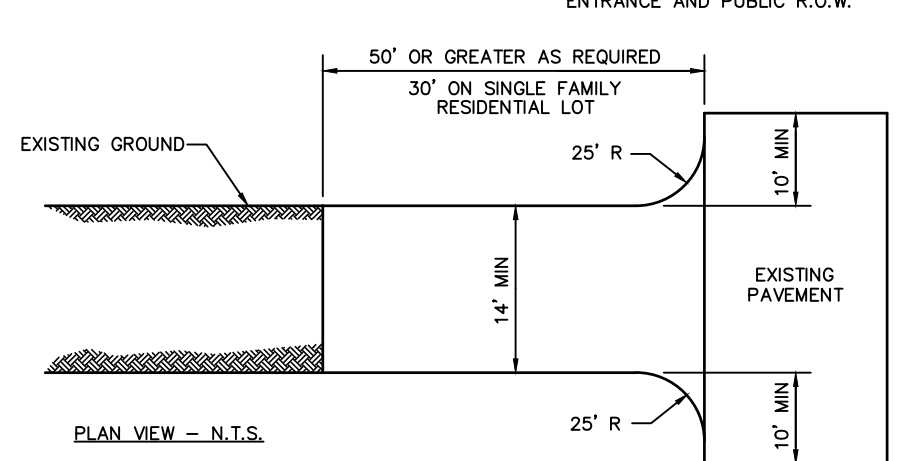
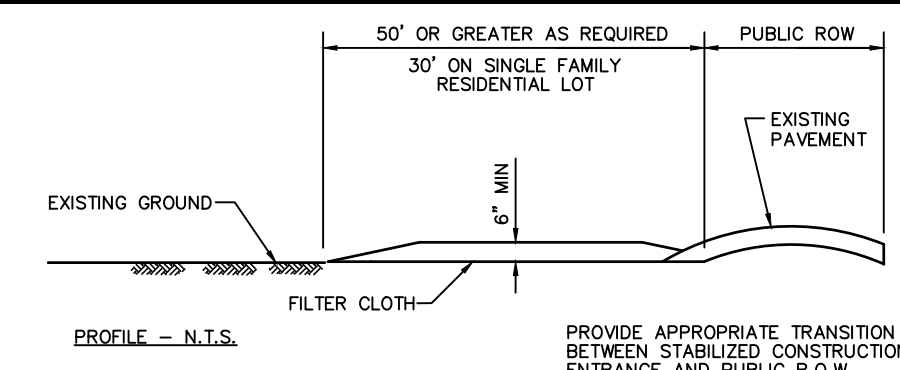
Project  
**STONE MANOR IN ARMONK - LOT 1**  
TAX ID 102.01-2-58.2  
TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY NEW YORK

Drawing Title  
**SITE PLAN**

Project No.  
**190074901**  
Date  
**JULY 1, 2022**  
Drawn By  
**SS**  
Checked By  
**CZ**

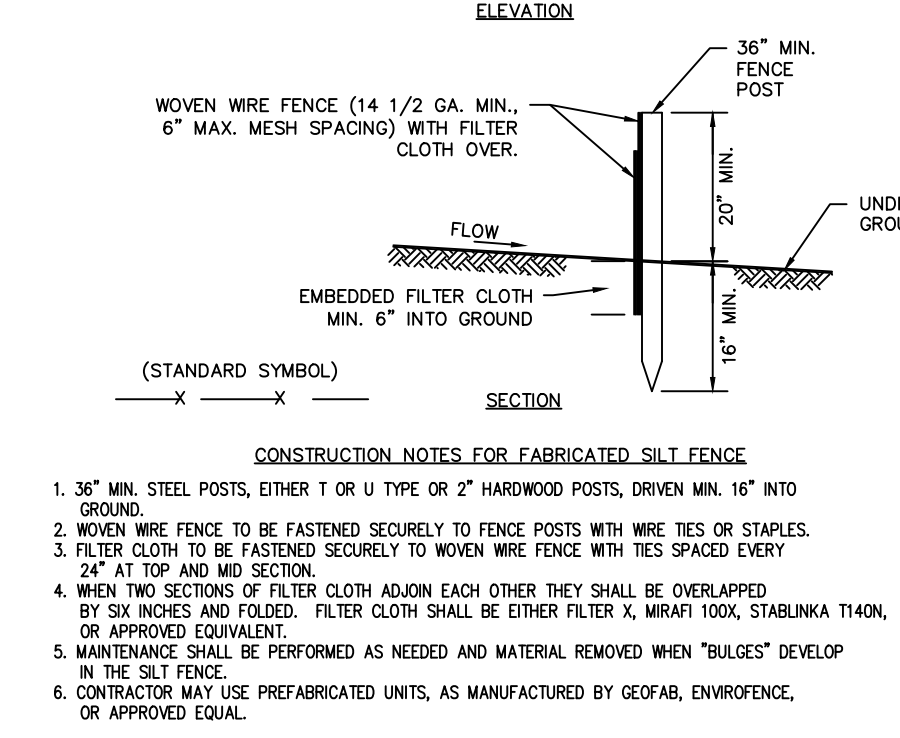
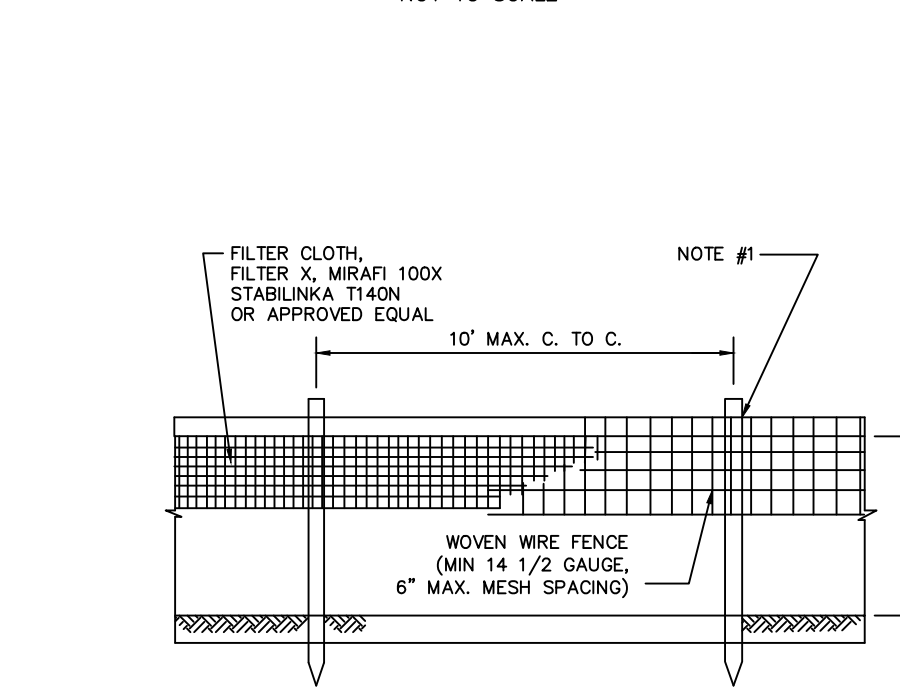
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Sheet 1 of 2



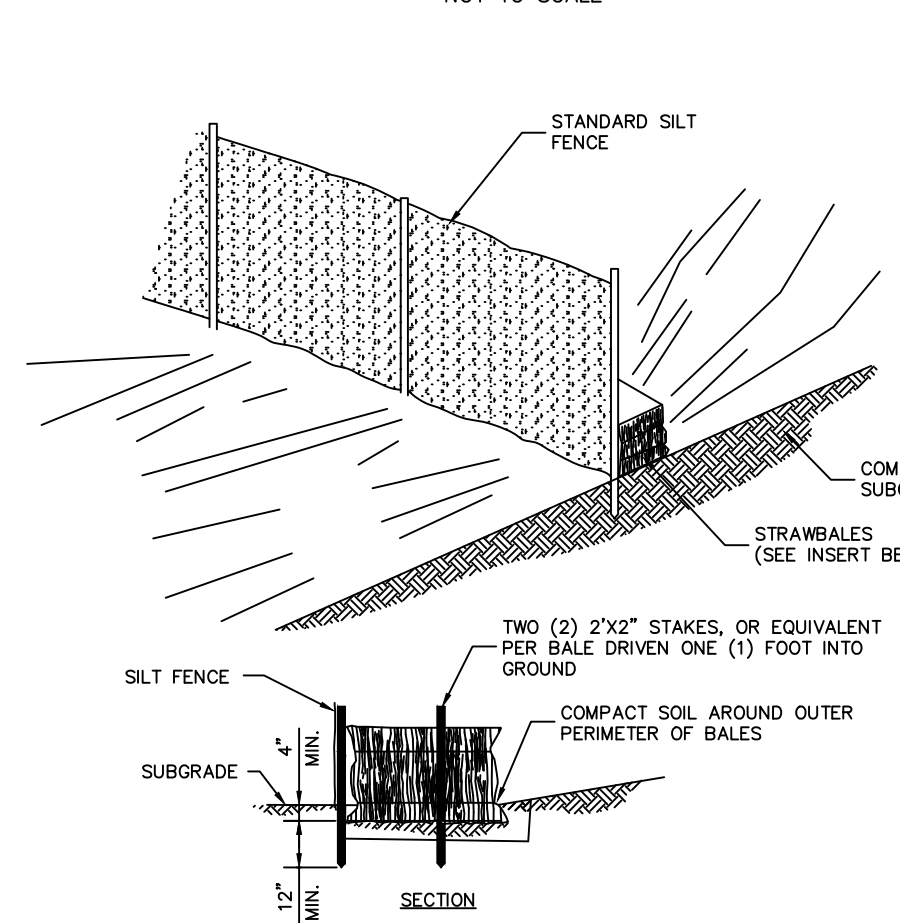


- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
  - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
  - THICKNESS - NOT LESS THAN SIX (6) INCHES
  - WIDTH - TWELVE (12) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SIGHT
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN

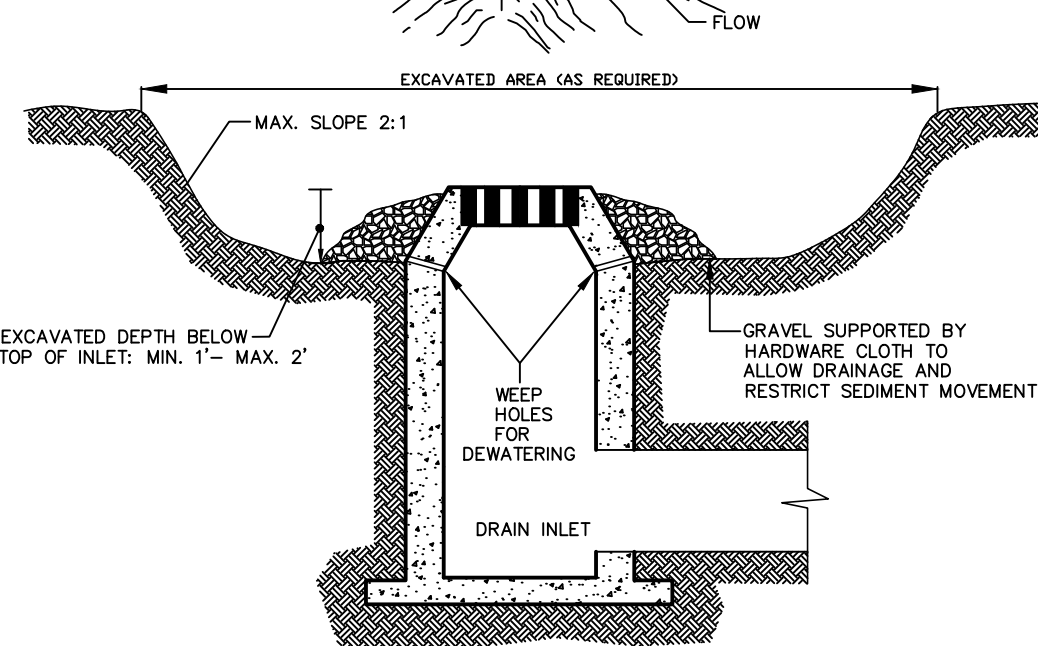
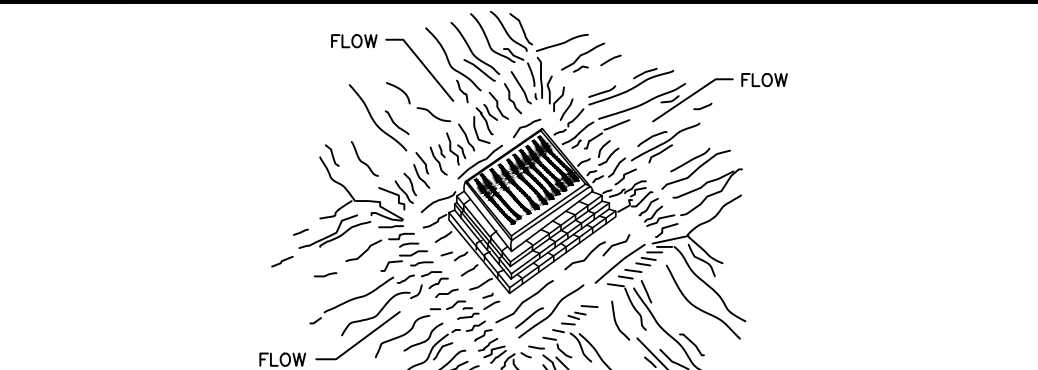
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SILT FENCE**  
NOT TO SCALE

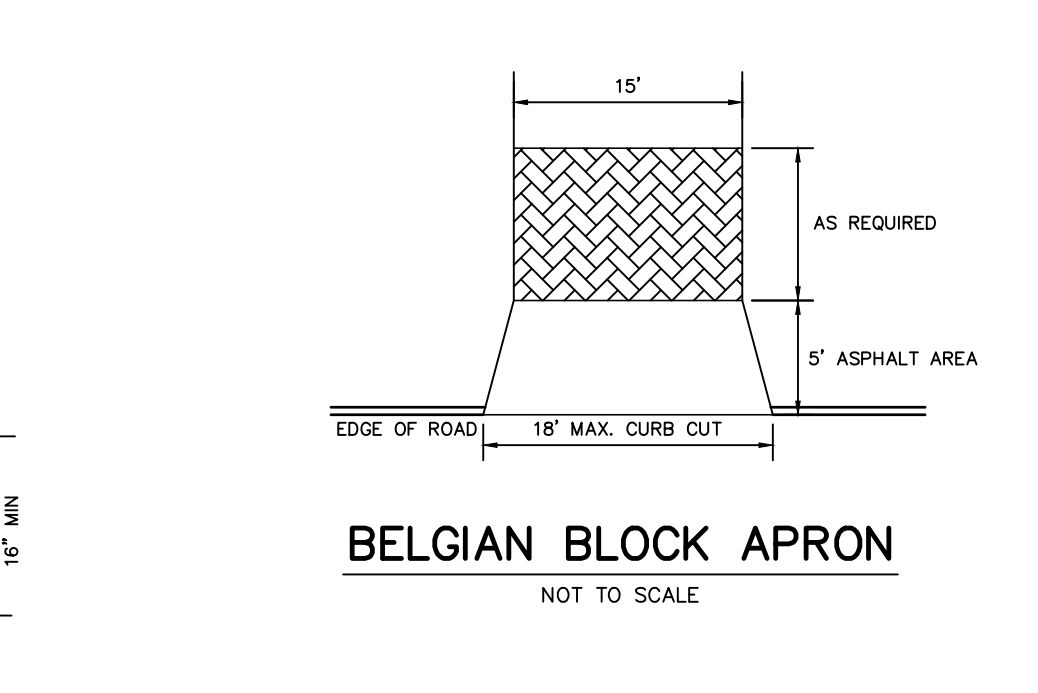


**HAYBALES WITH SILT FENCING**  
NOT TO SCALE



**EXCAVATED DROP INLET SEDIMENT TRAP**  
NOT TO SCALE

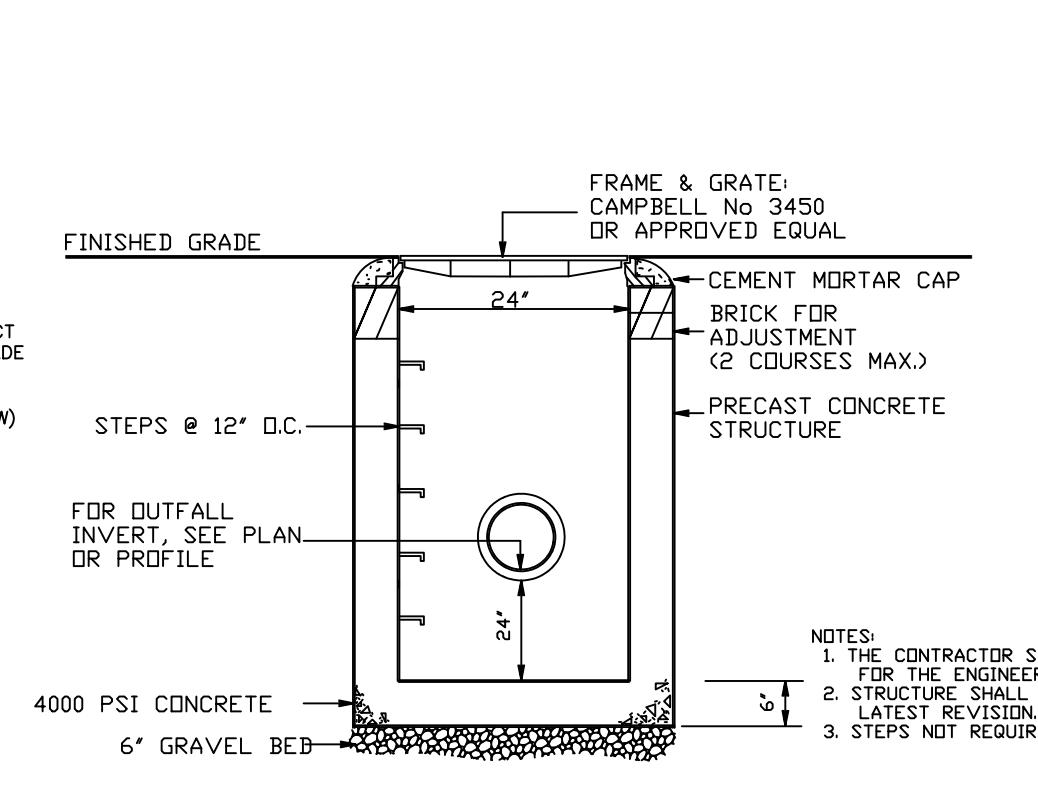
- CONSTRUCTION SPECIFICATIONS**
- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
  - WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
  - UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES.
  - FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
  - MAXIMUM DRAINAGE AREA 1 ACRE



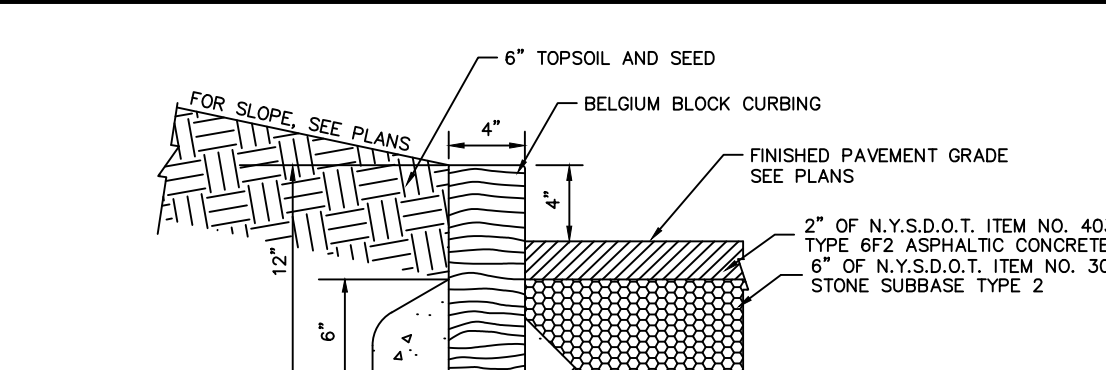
**BELGIAN BLOCK APRON**  
NOT TO SCALE

**LAND GRADING CONSTRUCTION SPECIFICATIONS**

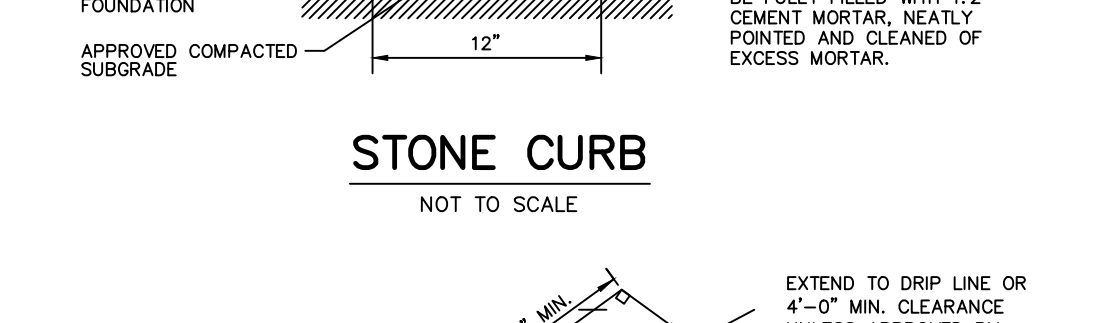
- ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS".
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL FILL TO BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
- STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATION.



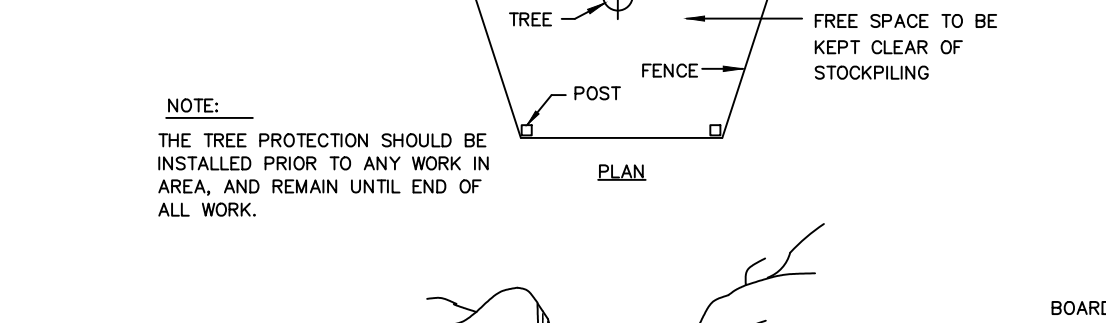
**DRAIN INLET (DI)**  
NOT TO SCALE



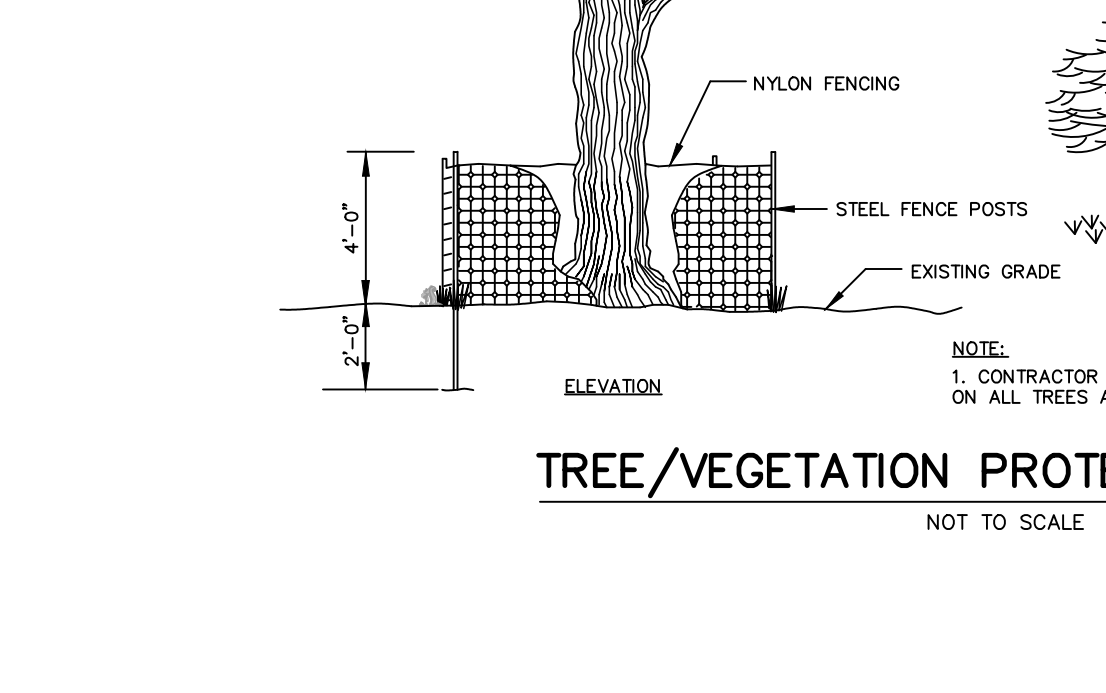
**STONE CURB**  
NOT TO SCALE



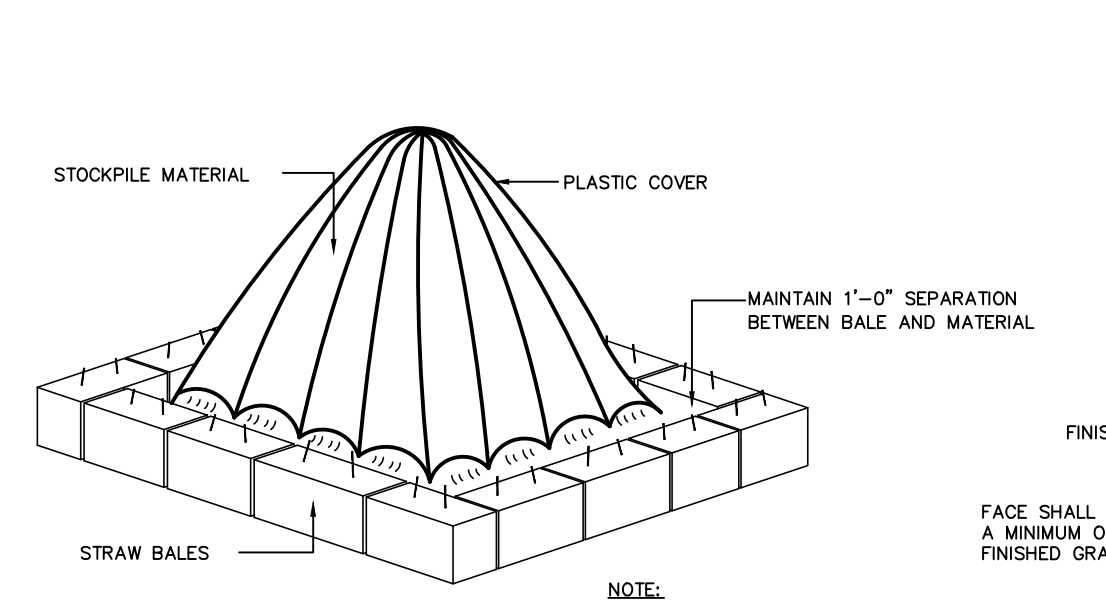
**CONCRETE PAD**  
NOT TO SCALE



**TREE/VEGETATION PROTECTION BARRIER**  
NOT TO SCALE

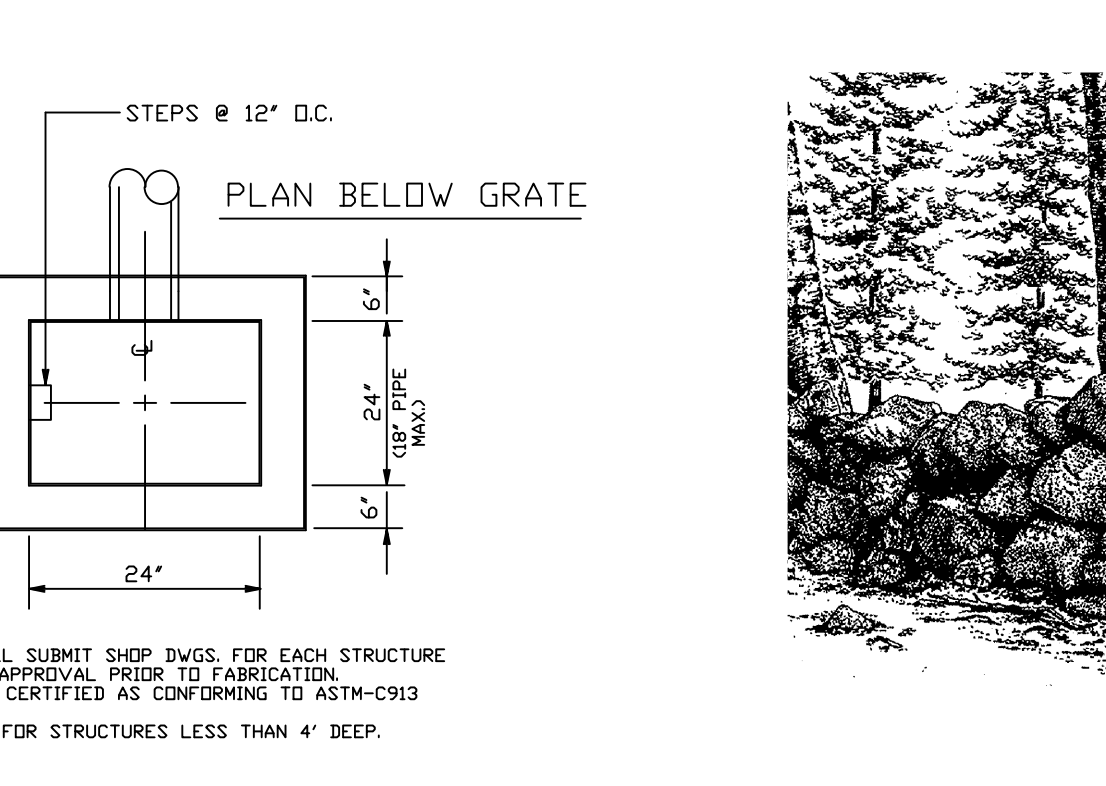


**LAND GRADING CONSTRUCTION SPECIFICATIONS**

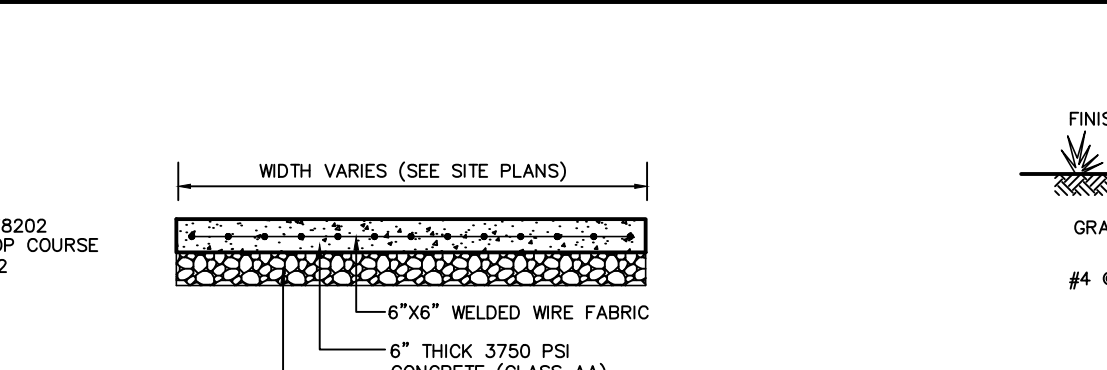


**STOCKPILE CONTROL DETAIL**  
NOT TO SCALE

**BOULDER WALL DETAIL**  
NOT TO SCALE



**RUBBLE WALL DETAIL**  
NOT TO SCALE



**REINFORCED CONCRETE RETAINING WALL**  
NOT TO SCALE

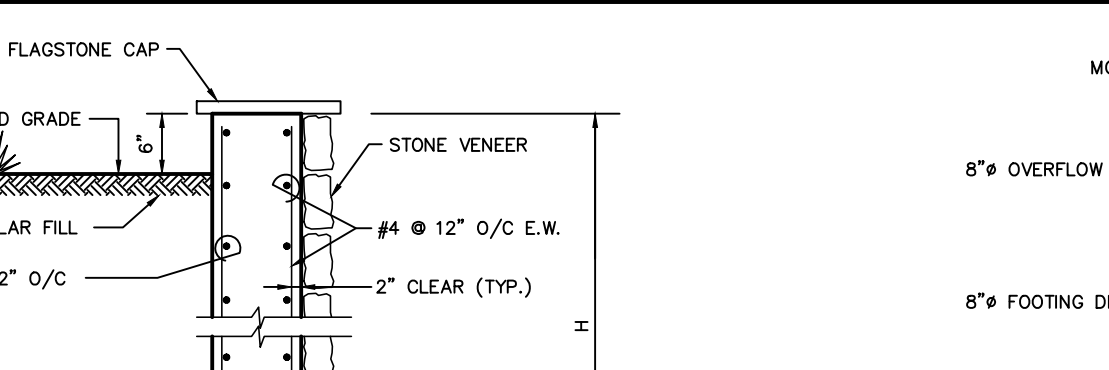
BASE	B	T	C	D	H	L BARS	P BARS	O BARS	N BARS	S
9'-10"	7'-4"	12'	1'-6"	1'-10"	< 13'-0"	#4 @ 12"	#7 @ 12"	#6 @ 12"	#9 @ 12"	54"
7'-10"	5'-6"	12'	1'-4"	1'-6"	< 11'-0"	#4 @ 12"	#7 @ 12"	#5 @ 12"	#8 @ 12"	48"
7'-0"	5'-0"	12'	1'-0"	1'-2"	< 10'-0"	#4 @ 12"	#7 @ 12"	#5 @ 12"	#7 @ 12"	42"
5'-6"	3'-6"	12'	1'-0"	1'-0"	< 8'-0"	#4 @ 12"	#6 @ 12"	#4 @ 12"	#6 @ 12"	30"
4'-6"	2'-6"	10'	1'-0"	1'-0"	< 7'-0"	#4 @ 12"	#5 @ 16"	#4 @ 16"	#5 @ 16"	30"
4'-0"	2'-0"	10'	1'-0"	1'-0"	< 6'-0"	#4 @ 12"	#5 @ 16"	#4 @ 16"	#5 @ 16"	24"

**GENERAL NOTES:**

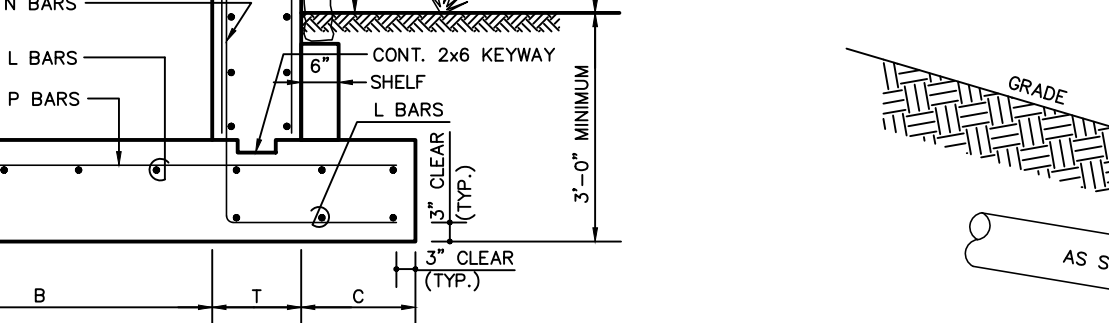
- SITE PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXACT LOCATION OF ALL UTILITIES AND TO PROTECT THEM THROUGHOUT THE CONSTRUCTION PERIOD.
- AND PLANTED AS SHOWN ON THE PLAN.
- TREES, ROOT SYSTEMS AND OTHER VEGETATION REMOVED FOR CONSTRUCTION PURPOSES SHALL BE CHIPPED OR REMOVED FROM SITE. NO ON-SITE BURIAL OR BURNING SHALL BE PERMITTED.
- THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL CONTACT THE OWNERS OF ALL UTILITIES AFFECTING THE SITE.

**EROSION CONTROL NOTES:**

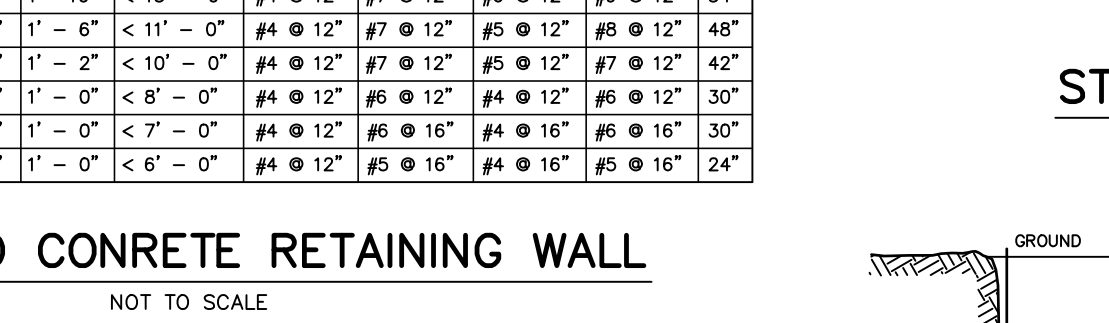
- PRIOR TO THE START OF CONSTRUCTION EROSION CONTROL DEVICES SHALL BE IN PLACE AS SHOWN ON THESE PLANS.
- FINAL GRADES SHALL BE ESTABLISHED AS SOON AS POSSIBLE AND TOP SOILED AND SEEDING TO PROVIDE A TURF WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
- SLOPES TO REMAIN OPEN FOR MORE THAN THREE WEEKS SHALL BE PROTECTED WITH TEMPORARY SEEDING OR STAKED NETTING.
- EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL AND SHALL BE CLEANED, REPAIRED OR REPLACED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
- THE ENGINEER MAY AT HIS DISCRETION REQUIRE ADDITIONAL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO MITIGATE UNFORESEEN EROSION AND SILTATION.



**STONE ENERGY DISSIPATOR DETAIL (ES)**  
NOT TO SCALE

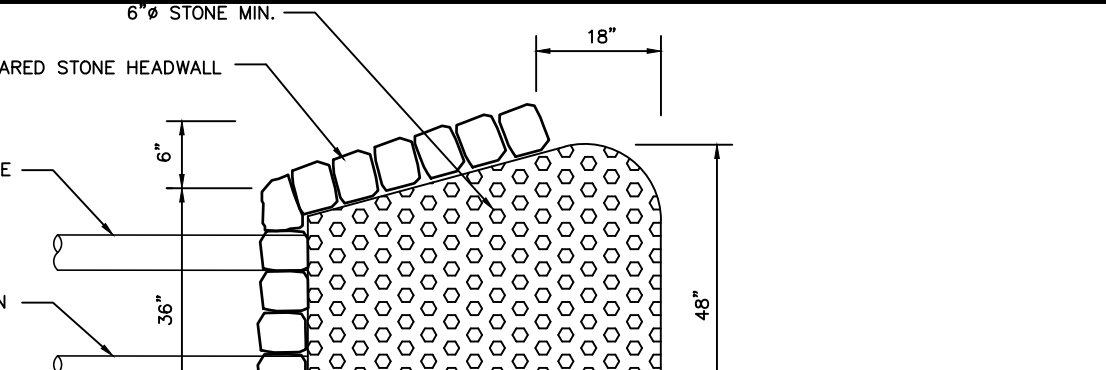


**TRENCH SECTIONS**  
NOT TO SCALE

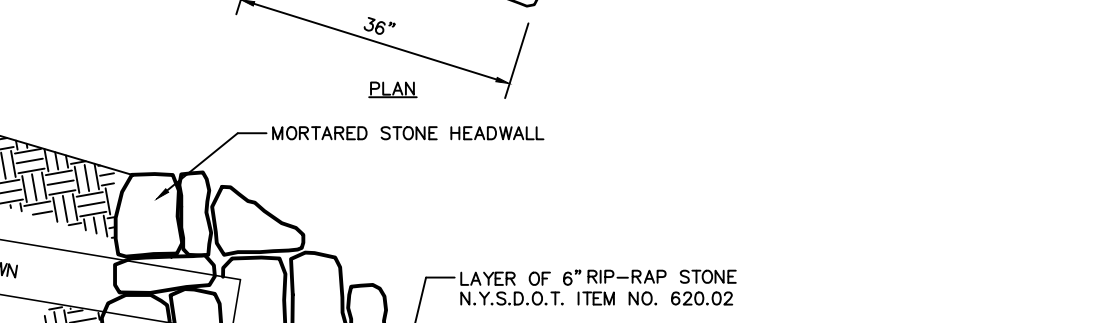


**REINFORCED CONCRETE RETAINING WALL**  
NOT TO SCALE

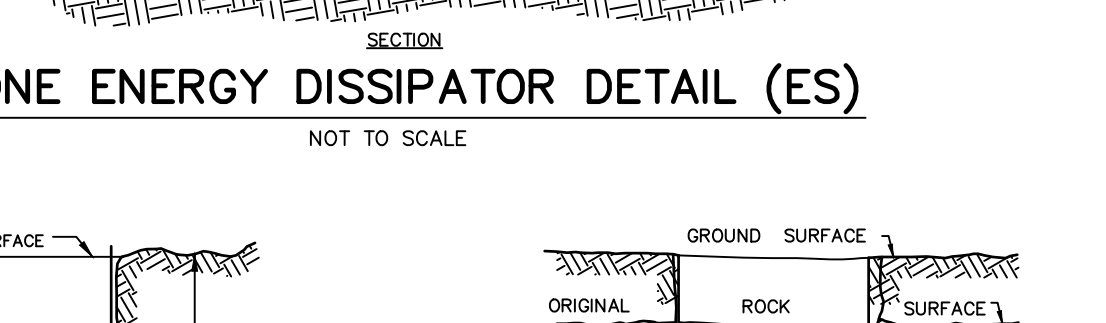
- GENERAL NOTES:**
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  - AND PLANTED AS SHOWN ON THE PLAN.
  - TREES, ROOT SYSTEMS AND OTHER VEGETATION REMOVED FOR CONSTRUCTION PURPOSES SHALL BE CHIPPED OR REMOVED FROM SITE. NO ON-SITE BURIAL OR BURNING SHALL BE PERMITTED.
  - THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL CONTACT THE OWNERS OF ALL UTILITIES AFFECTING THE SITE.
- NEW YORK (800-245-2828)**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE THOSE STEPS NECESSARY TO PREVENT ILLEGAL DUMPING TO TAKE PLACE ON THE SITE. ANY MATERIAL FOUND UNSATISFACTORY TO THE ENGINEER WILL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE.
- EROSION CONTROL NOTES:**
- PRIOR TO THE START OF CONSTRUCTION EROSION CONTROL DEVICES SHALL BE IN PLACE AS SHOWN ON THESE PLANS.
  - FINAL GRADES SHALL BE ESTABLISHED AS SOON AS POSSIBLE AND TOP SOILED AND SEEDING TO PROVIDE A TURF WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
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**STONE ENERGY DISSIPATOR DETAIL (ES)**  
NOT TO SCALE



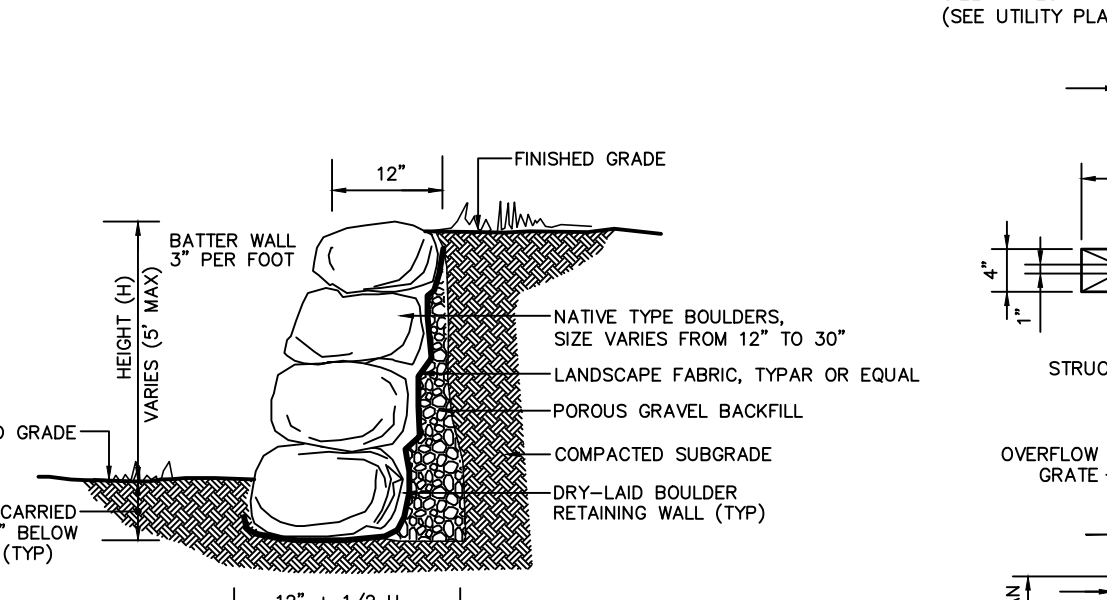
**TRENCH SECTIONS**  
NOT TO SCALE



**REINFORCED CONCRETE RETAINING WALL**  
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**DRYWELL**  
NOT TO SCALE



**DRYWELL**  
NOT TO SCALE

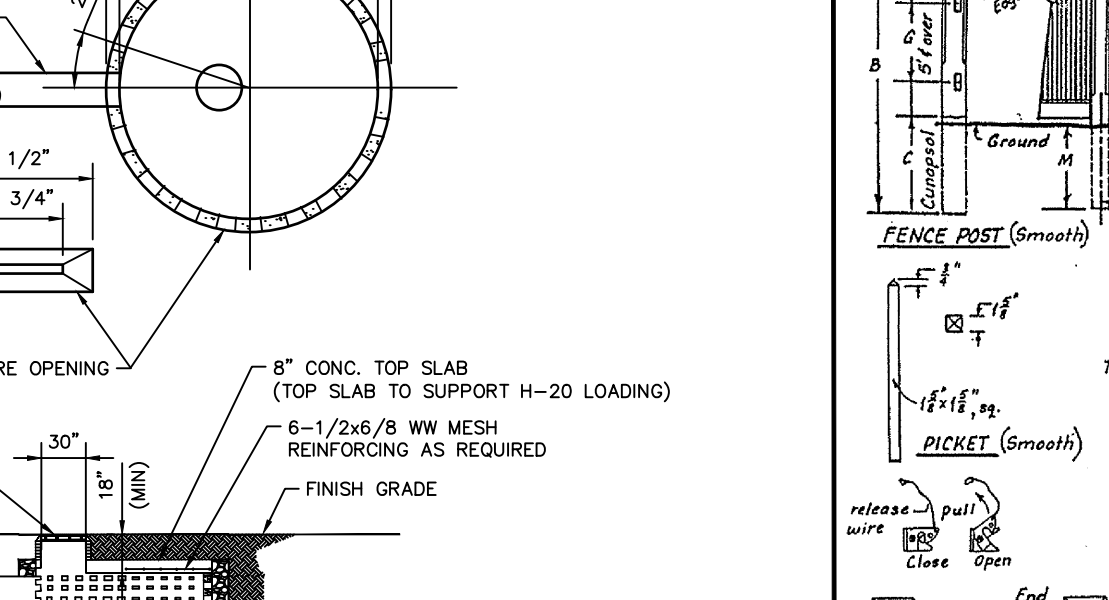
**FENCE DETAIL**  
NOT TO SCALE



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE

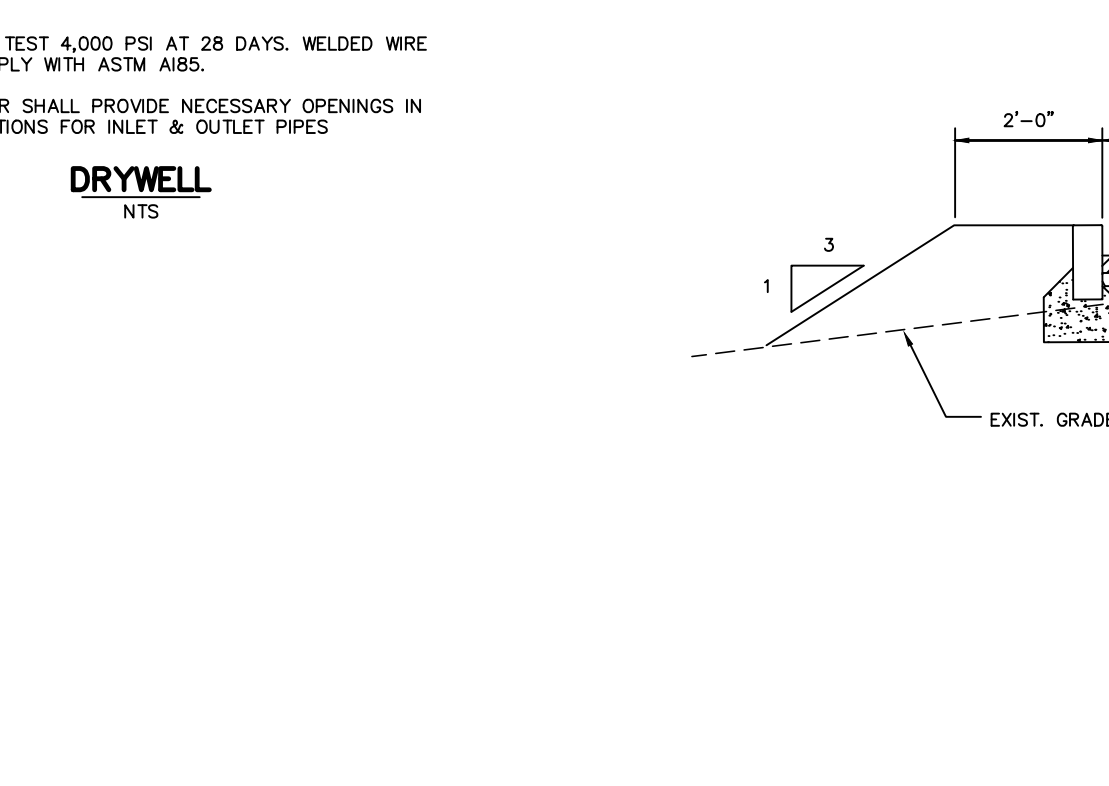


**DRYWELL**  
NOT TO SCALE



**DRYWELL**  
NOT TO SCALE

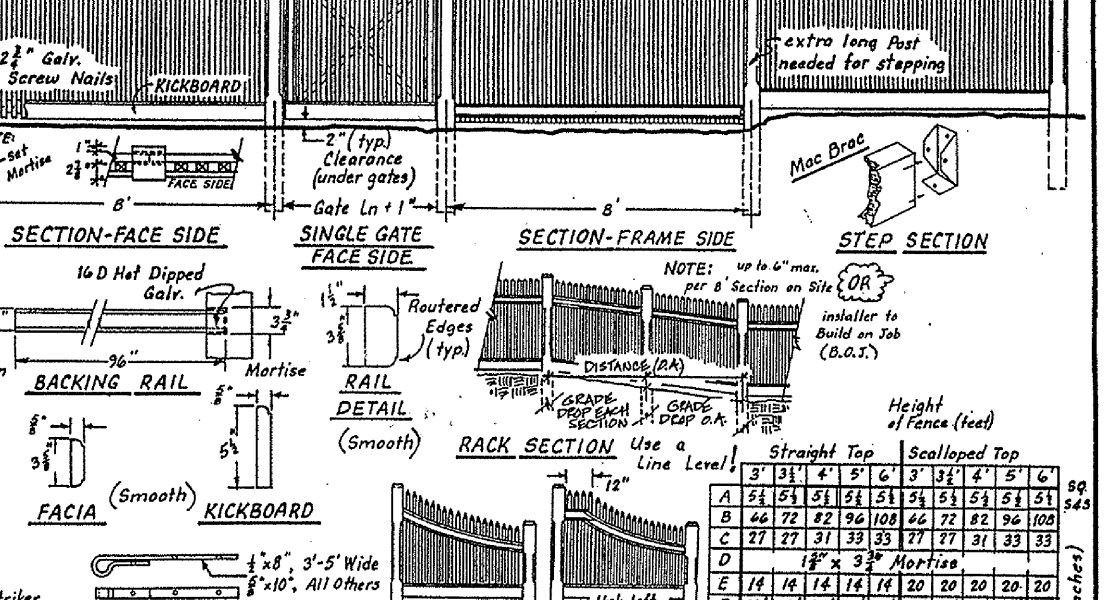
**FENCE DETAIL**  
NOT TO SCALE



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE

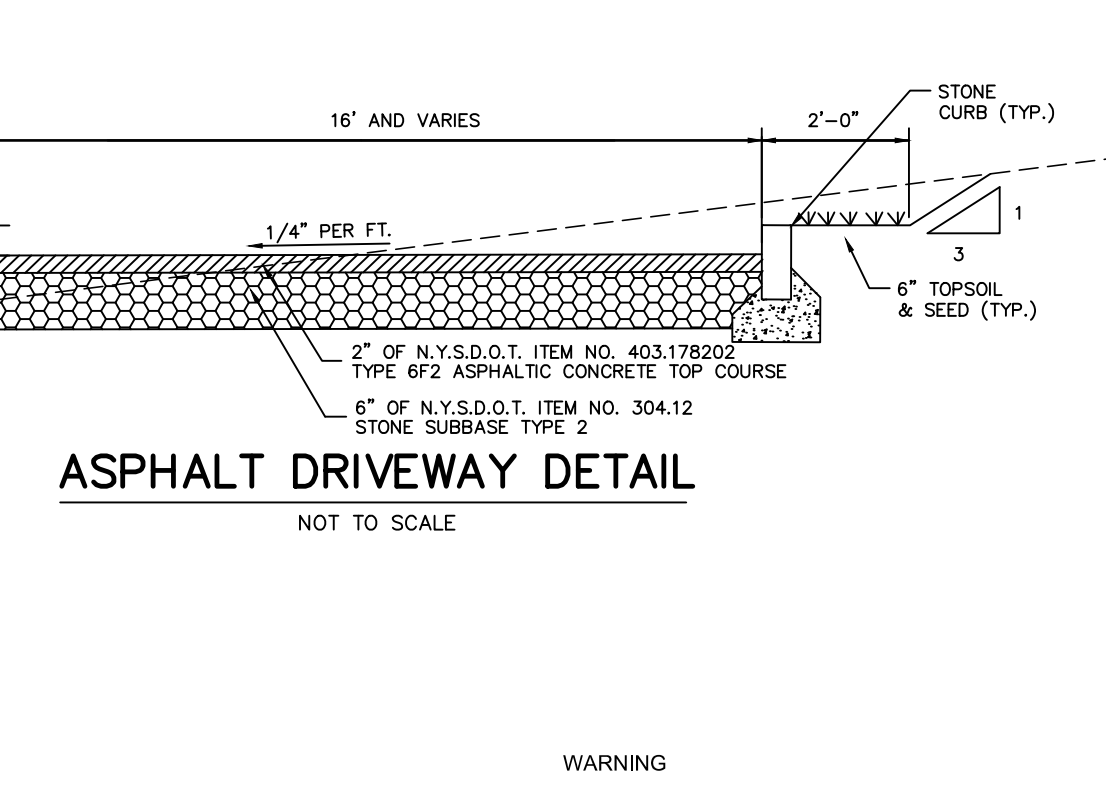


**DRYWELL**  
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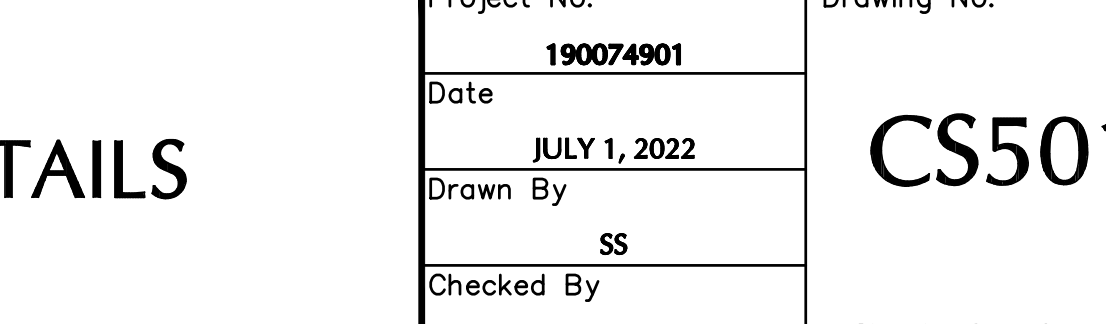


**DRYWELL**  
NOT TO SCALE

**FENCE DETAIL**  
NOT TO SCALE



**ASPHALT DRIVEWAY DETAIL**  
NOT TO SCALE



Date	Description	No.
11/17/2023		
	Revisions	

STATE OF NEW YORK  
MICHAEL J. FINN, E.S.  
Professional Engineer  
No. 081473  
NEW YORK STATE Lic. No. 081473

**LANGAN**  
Langan Engineering, Environmental, Surveying,  
Landscape Architecture, and Geology, D.P.C.  
One North Broadway, Suite 910  
White Plains, NY 10601  
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project  
**STONE MANOR IN ARMONK - LOT 1**  
TAX ID 102.01-2-58.2  
TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY NEW YORK

Drawing Title  
**DETAILS**

Project No. 190074901  
Date JULY 1, 2022  
Drawn By SS  
Checked By CZ  
Drawing No. CS501  
Sheet 2 of 2



100FT WETLAND SETBACK

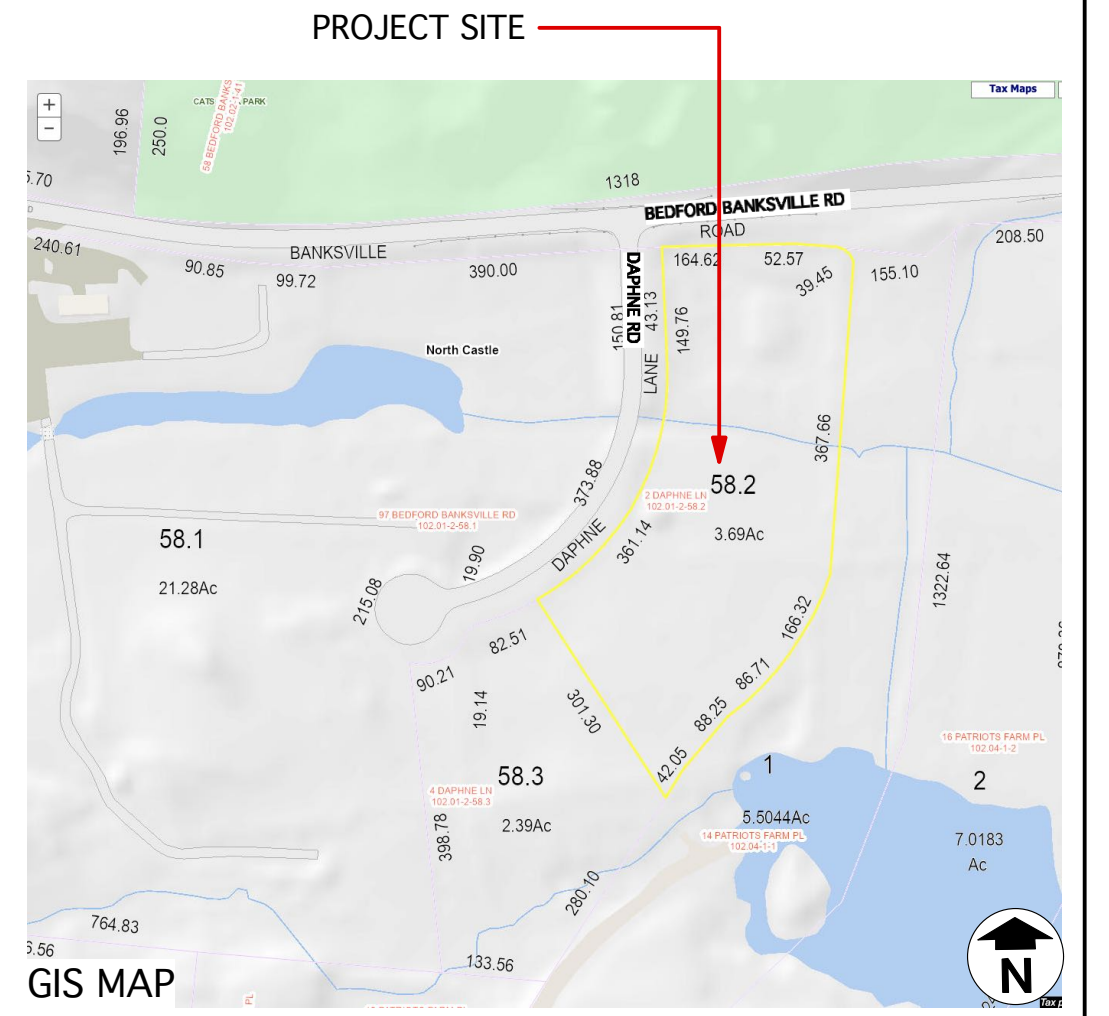
PROPOSED SSDA AREA

POOL PATIO  
FUTURE POOL

100FT WELL SETBACK

PROPOSED 2 1/2 STORY DWELLING

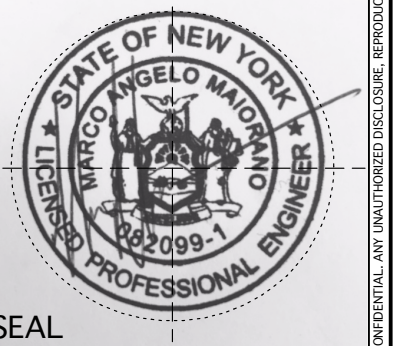
- T.O. ATTIC 477.5'
- T.O. 2ND. FLR 447.5'
- T.O. 1ST. FLR 437.5'
- T.O. BASEMENT 427.5'



**COMMUNITY DESIGNS ENGINEERING D.P.C.**  
 439 WHITE PLAINS RD (914) 346-5616  
 EASTCHESTER NY 10709 CDESIGNSENGINEERING@GMAIL.COM

**PROPOSED NEW SINGLE FAMILY RESIDENCE**  
 STONE MANOR IN ARMONK  
 2 DAPHNE LANE  
 ARMONK, NY 10504  
 SECTION:102.01 BLOCK:2 LOT(S):58.2 ZONE:R-2-A

**PROPERTY OWNER:**  
 TRI COUNTY DEVELOPMENT LLC  
 1250 WATERS PLACE- PH1  
 BRONX, NY 10461



**SITE PLAN, NOTES, & DETAILS**  
 RPRC- SET

NO.	REVISION	DATE

PROJECT ID/DATE: 2325 / 6.8.23  
 SHEET SCALE: AS NOTED

**SP.1**

DRAWN BY: AM CHECKED BY: MM  
 SUBMISSION DATE:

**SITE WORK**  
 ALL EXISTING SITE CONDITIONS DAMAGED BY ANY EQUIPMENT, MACHINERY OR CONSTRUCTION, ARE TO BE REPAIRED OR REPLACED TO THEIR EXISTING CONDITIONS OR PROPOSED.

ALL FILL MATERIAL SHALL BE SOIL, OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTABLE MATERIAL. IT SHALL CONTAIN NO ROCK OR LUMP OVER 6" IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THEROCKS OR LUMPS SHALL BE LARGER THAN 2.5" IN GREATEST DIMENSION.

CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANY LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.

CONTRACTOR/OWNER SHALL VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION ARCHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR SEWER DEPARTMENT RECORDS.

VERIFY DEPTH OF EXISTING ADJACENT STRUCTURES PRIOR TO CONSTRUCTION. IF UNDERPINNING IS NECESSARY A SEPARATE APPLICATION MUST BE FILED

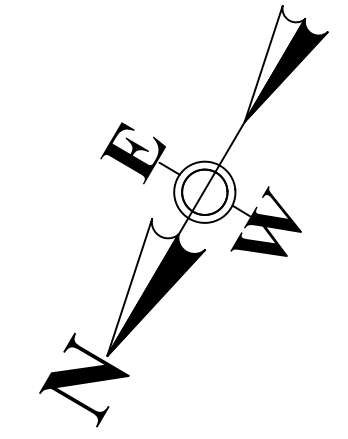
**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:**

Ground Snow Load (psf)	Wind Speed (mph)	Seismic Design Category	Subject To Damage From:				Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards
			Weathering	Frost Line Depth	Termite	Decay			
30	120 Mph	C	Severe	3'-6"	Moderate to Heavy	Slight to Moderate	7°	Yes	FIRM (DEC 99)

NOTE:  
 SITE PLAN BASED ON SURVEY MAP COMPLETED MAY.15TH, 2007  
 UPDATED MAR. 30TH 2010  
 BY: DONAL D. COLEMAN NYS LIC. LAND SURVEYOR NO. 49922

**DAPHNE LANE**

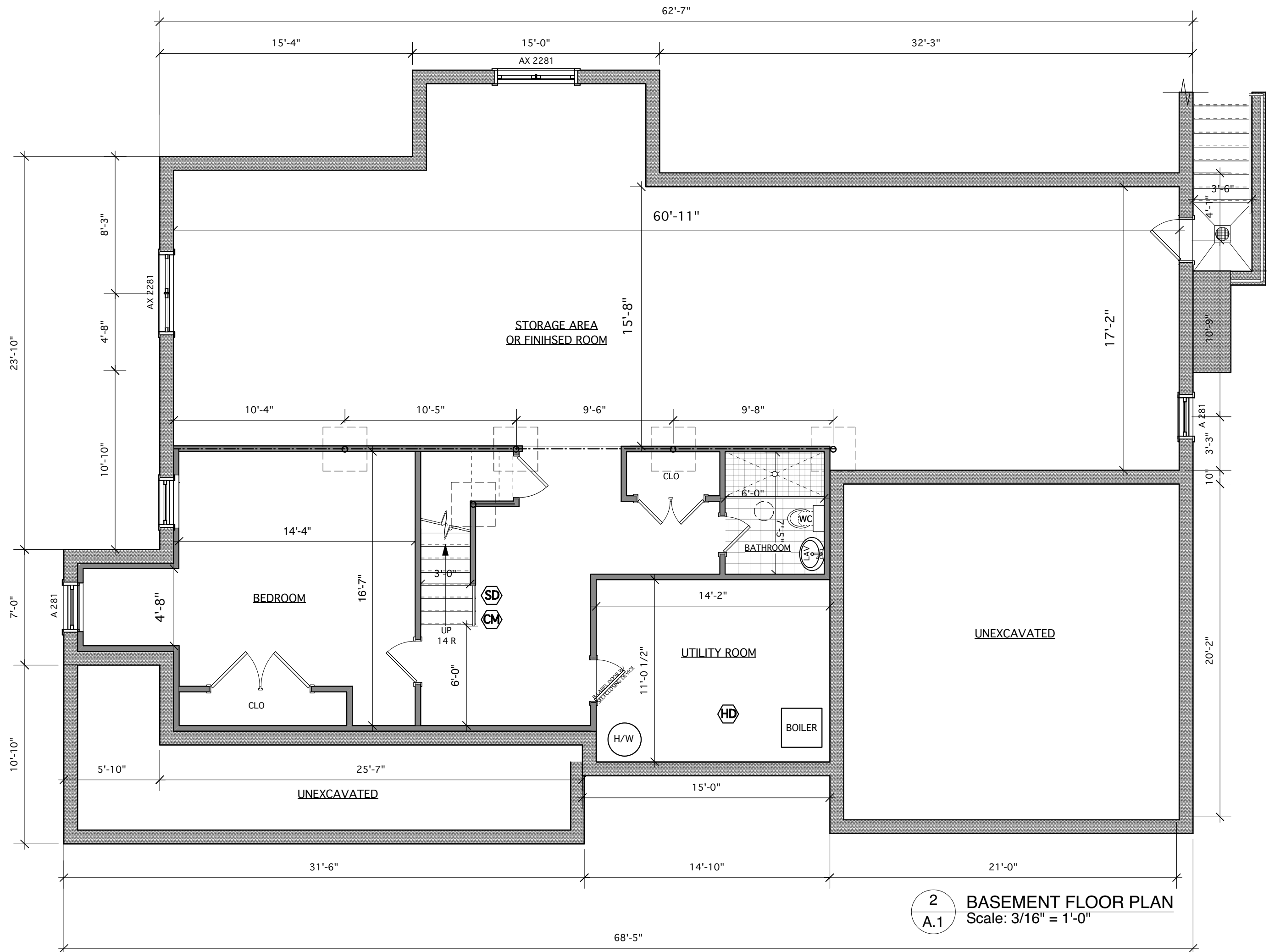
1 SITE PLAN  
 Scale: 1" = 10 ft







**3 SECOND FLOOR PLAN**  
A.1  
Scale: 3/16" = 1'-0"



**2 BASEMENT FLOOR PLAN**  
A.1  
Scale: 3/16" = 1'-0"



**1 FIRST FLOOR PLAN**  
A.1  
Scale: 3/16" = 1'-0"

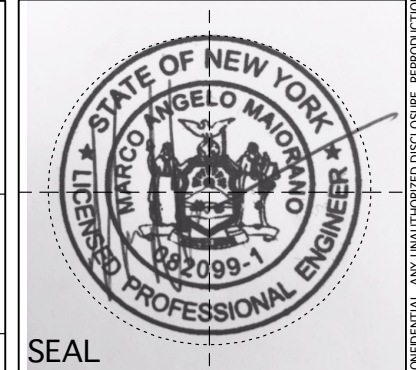
- PARTITION LEGEND**
- = MASONRY WALL
  - = BEARING WD PARTITION WALLS
  - = 2"x6" PARTITIONS W/ R-20 BATT INSULATION
  - = WD PARTITIONS

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**PROPOSED NEW SINGLE FAMILY RESIDENCE**  
STONE MANOR IN ARMONK  
2 DAPHNE LANE  
ARMONK, NY 10504  
SECTION:102.01 BLOCK:2 LOT(S):58.2 ZONE:R 2-A

**PROPERTY OWNER:**  
TRI COUNTY DEVELOPMENT LLC  
1250 WATERS PLACE- PH1  
BRONX, NY 10461

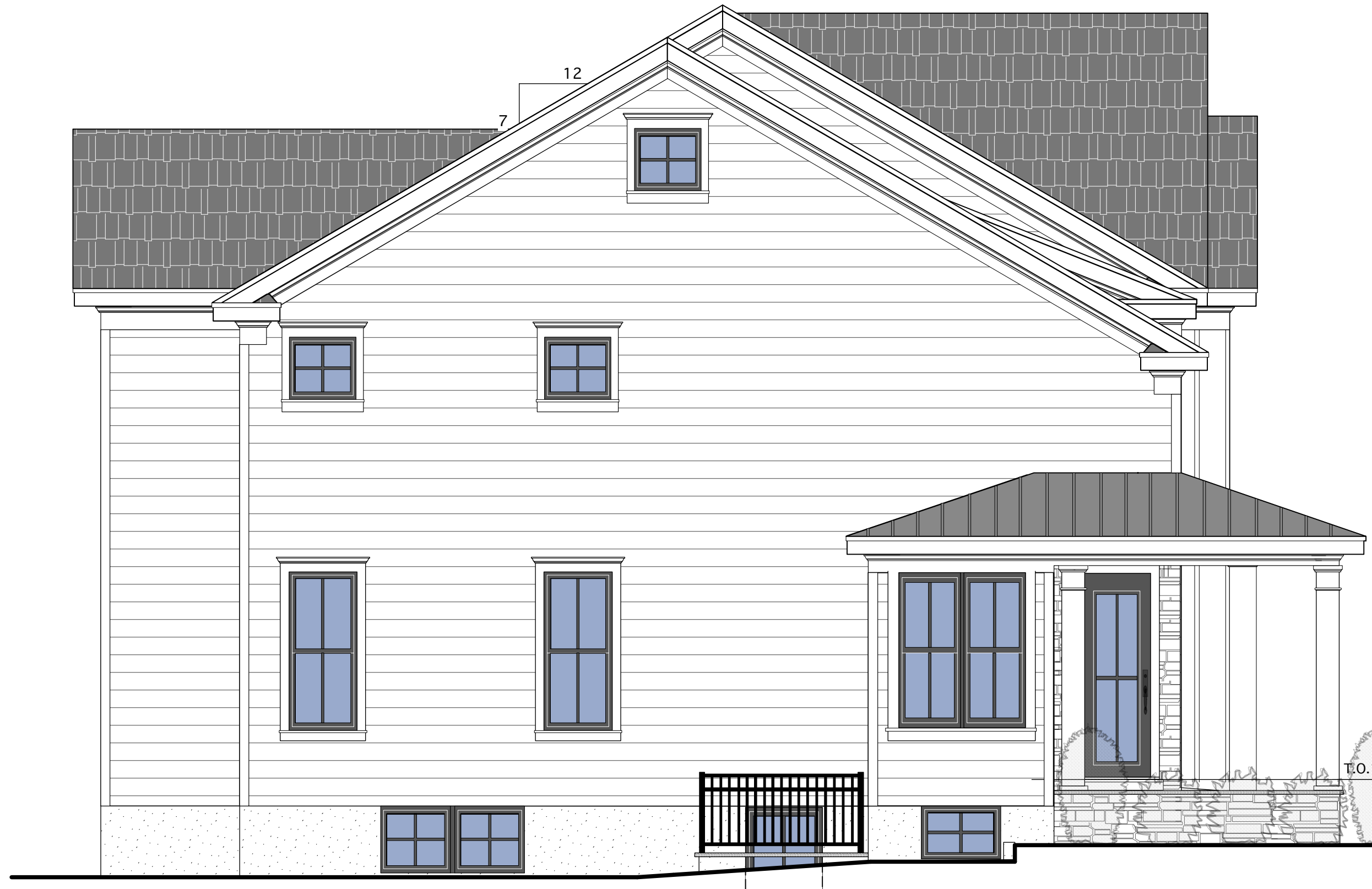
**BASEMENT, FIRST, SECOND, & ROOF FLOOR PLANS**  
RPRC- SET



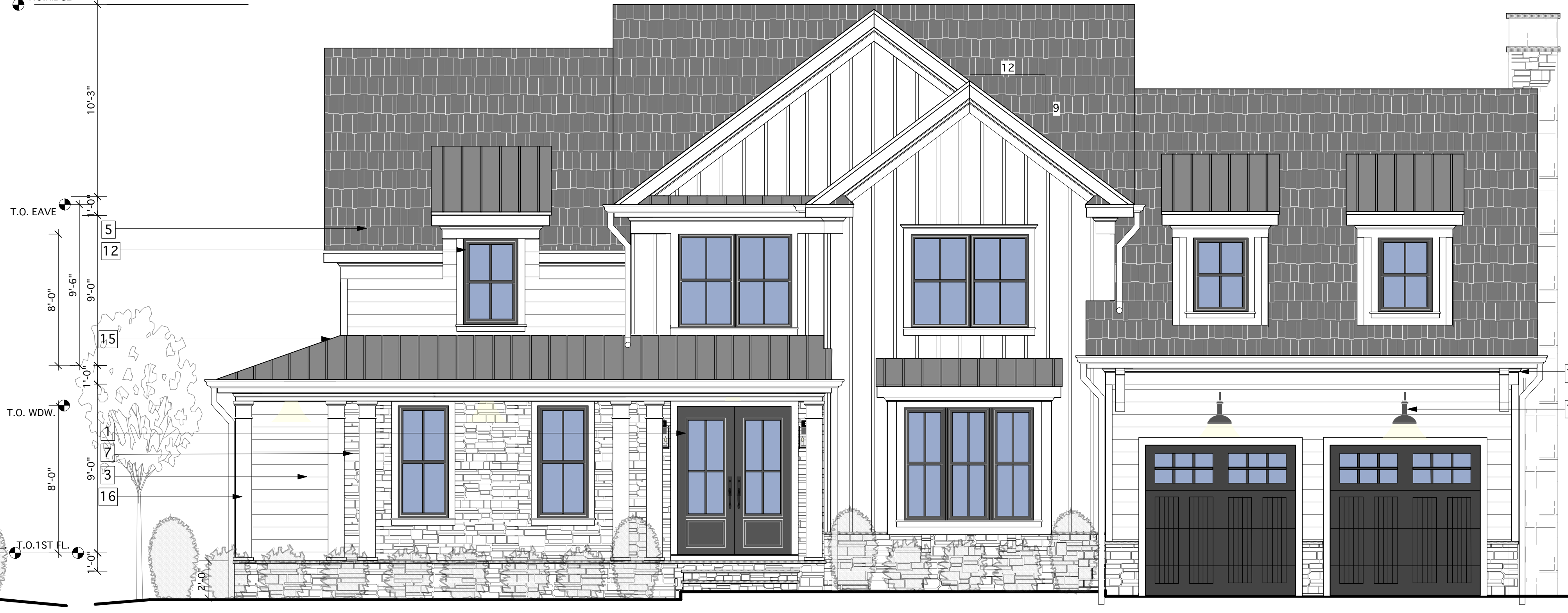
NO.	REVISION	DATE

PROJECT ID/DATE: 2325 / 6.8.23  
SHEET SCALE: AS NOTED  
**A-1**  
DRAWN BY: AM CHECKED BY: MM  
SUBMISSION DATE:



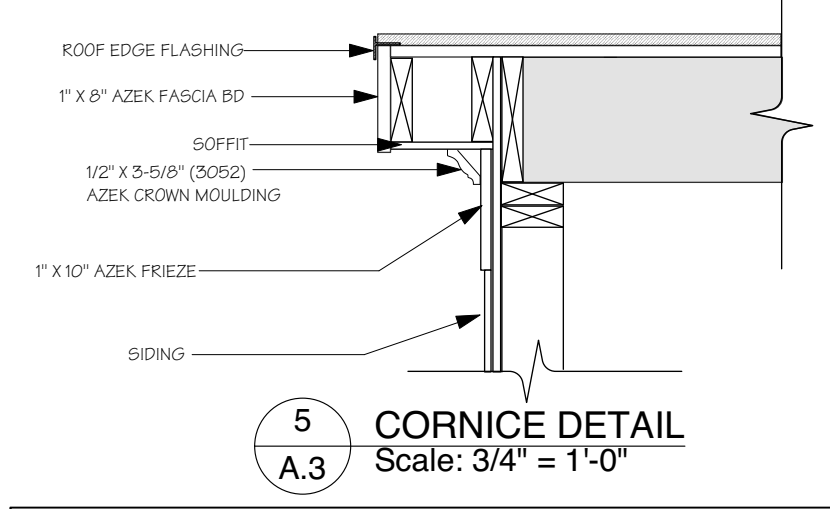


1 LEFT ELEVATION  
A.2 Scale: 1/4" = 1'-0"



2 FRONT ELEVATION  
A.2 Scale: 1/4" = 1'-0"

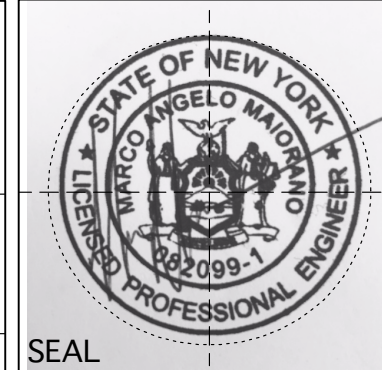
ELEVATION NOTE KEY	
1	DBL CUSTOM ENTRY DOOR: AUTHENTIC RUSTIC WOOD GRAIN. BLACK FINISH 6'-0" X 8'-0"
2	"AZEK" TRIM BOARD- WHITE
3	JAMES HARDIE FIBER CEMENT SIDING SMOOTH (7" EXPOS.) OVER BLDG. PAPER AND 1/2" CDX EXT-GRADE PLYWOOD SHEATHING OVER 2X6 STUDS W/ 16" OC - DBL. TOP PLATES R-21 BATT INSUL. 1/2" GYP. BOARD INTERIOR (TYP) COLOR- ARCTIC WHITE
4	WHITE SEAMLESS ALUM. GUTTER TO LEADER TO STORM
5	LIFETIME. ATLAS PINNACLE HIGH PERFORMANCE ARCHITECTURAL SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT.GR. PLWD SHEATHING OVER 2X10 WD RAFTERS @ 16" OC. COLOR- PRISTINE BLACK ASPHALT
6	AZEK FASCIA & SOFFIT-WHITE
7	REAL THIN STONE VENEER. SILVER LEDGETS ONE
8	RECESSED EXTERIOR HI-HATT LIGHTING
9	CLOPAY GARAGE DOOR -(BLACK) MULTI LAYERED STEEL AND INSULATION TOPPED WITH A WOODGRAIN TEXTURED COMPOSITE OVERLAY
10	JAMES HARDIE FIBER CEMENT PANEL VERTICLE SIDING BOARD AND BATTEN. (WHITE)
11	FYPON BRACKET
12	ANDERSON 400 SERIES DBL HUNG WINDOWS W/ SDL DIVIDED LIGHT GRILLE
13	"AZEK" 1/2" X 3-5/8" (3052) CROWN MOULDING
14	GOOSENECK BARN LIGHT BLACK FINISH.
15	STANDING SEAM METAL ROOF BY PAC-CLAD ALUMINUM OR APPROVED EQUAL (GRAPHITE)
16	AZEK COLUMN WRAP
17	1" STUCCO (W/ WWF.)
18	AZEK TRADEMARK WHITE PVC RAILING W/ BALUSTERS NO MORE THAN 4" APART



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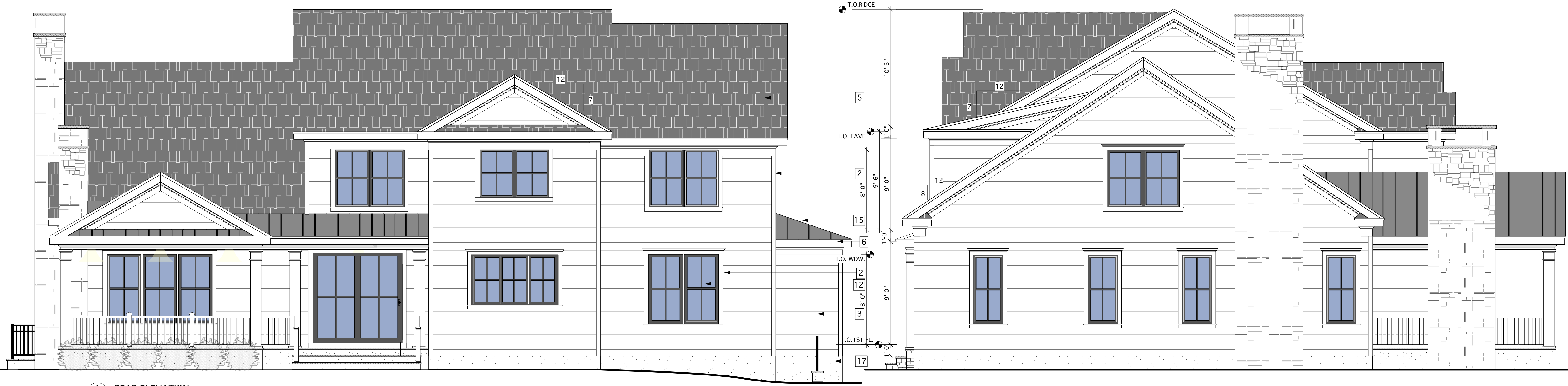


RPRC- SET		
NO.	REVISION	DATE

PROJECT ID/DATE: 2325 / 6.8.23  
 SHEET SCALE: AS NOTED

DRAWN BY: AM CHECKED BY: MM  
 SUBMISSION DATE:





1 REAR ELEVATION  
A.3 Scale: 1/4" = 1'-0"

2 RIGHT ELEVATION  
A.3 Scale: 1/4" = 1'-0"

ELEVATION NOTE KEY	
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 EASTCHESTER NY 10709 CDESIGNSENGINEERING@GMAIL.COM

**PROPOSED NEW SINGLE**  
**FAMILY RESIDENCE**  
**STONE MANOR IN ARMONK**  
 2 DAPHNE LANE  
 ARMONK, NY 10504  
 SECTION:102.01 BLOCK:2 LOT(S):58.2 ZONE:R 2-A

**PROPERTY OWNER:**  
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 BRONX, NY 10461



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