



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlenv.com

Application for Site Development Plan Approval

Application Name

7 Intervale Avenue



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.


Applicant Signature

11-20-23
Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES


Name of Property Owner: <u>John Luciano</u>
Mailing Address: <u>10 Morningside Place, NWP</u>
Telephone: <u>914-328-9884</u> Fax: _____ e-mail <u>john@natlawn.com</u>
Name of Applicant (if different): _____
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner: _____
Is the Applicant (if different from the property owner) a Contract Vendee? Yes <input type="checkbox"/> No <input type="checkbox"/>
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board
Name of Professional Preparing Site Plan: <u>Vincent Coakley</u>
Address: <u>188 North Main Street, Port Chester, NY 10573</u>
Telephone: <u>(914) 774-9878</u> Fax: _____ e-mail <u>vc@proeng.nyc</u>
Name of Other Professional: _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____
Name of Attorney (if any): _____
Address: _____
Telephone: _____ Fax: _____ e-mail _____


Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: X  _____ Date: 11/20/2023

Signature of Property Owner: X  _____ Date: 11/20/2023

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 7 Intervale Avenue

Location (in relation to nearest intersecting street):

150 feet (north, south, east or west) of Hillandale

Abutting Street(s): Clave Road and Hillandale

Tax Map Designation (NEW): Section 122 Block 12 Lot 4-1

Tax Map Designation (OLD): Section _____ Block _____ Lot _____

Zoning District: R-2 F Total Land Area 50 x 150

Land Area in North Castle Only (if different) _____

Fire District(s) No. White Plains School District(s) Valhalla

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Replace Existing Retaining Wall

Gross Floor Area: Existing _____ S.F. Proposed _____ S.F.

Proposed Floor Area Breakdown: N/A

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential _____ S.F.;

Number of Dwelling Units: _____

Number of Parking Spaces: Existing N/A Required _____ Proposed N/A

Number of Loading Spaces: Existing N/A Required _____ Proposed N/A

Earthwork Balance: Cut 0 C.Y. Fill 0 C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No X Yes _____

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- N/A Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- GIS map Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- N/A Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- N/A Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- N/A Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- N/A Location of existing parking and truck loading areas, with access and egress drives thereto.
- N/A Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- N/A Location, size and design of existing signs.
- N/A Location, type, direction, power and time of use of existing outdoor lighting.
- N/A Location of existing outdoor storage, if any.
- Existing topographical contours with a vertical interval of two (2) feet or less.
- N/A Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- N/A Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- N/A Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- N/A Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- N/A Proposed sight distance at all points of vehicular access.
- N/A Proposed number of employees for which buildings are designed
- N/A Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- N/A Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- N/A Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- N/A Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- N/A Location, size and design of all proposed signs.
- N/A Location, type, direction, power and time of use of proposed outdoor lighting.
- N/A Location and design of proposed outdoor garbage enclosure.
- N/A Location of proposed outdoor storage, if any.
- N/A Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- N/A Type of power to be used for any manufacturing
- N/A Type of wastes or by-products to be produced and disposal method
- N/A In multi-family districts, floor plans, elevations and cross sections
- N/A The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- N/A Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- N/A Proposed soil erosion and sedimentation control measures.
- N/A For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- N/A For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- N/A For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

North Castle Tax Parcel Viewer (Data: 2021)

Search by owner's name

7 INTERVALE AVE

Search

4 parcels found. Click row for map. [Clear](#)

Owner	Prop Address	Printkey
n/a	9 INTERVALE AVE	122.08-1-41
n/a	CLOVE RD	122.08-1-42
n/a	3 INTERVALE AVE	122.12-4-2
n/a	7 INTERVALE AVE	122.12-4-1

Tax Maps

Aerial Photos

Hybrid

7 INTERVALE AVE (North Castle) [Clear](#)

Printkey/TaxID: 122.12-4-1

Parcel SBL: 12201200040010000000

Owner Name:

Section Map: [12212](#) | [Index](#) (pdf,42x30in)

Other Maps:

No owner address for this municipality.

Mailing Labels Using: Property Address ▼

For Buffer Distance 100 Ft (Max.1000), **OR**

For adjacent parcels only [Create Labels](#)

[Print Labels \(PDF\)](#)
[Export to CSV File](#)

7 INTERVALE AVE (North Castle) [Clear](#)

Printkey/TaxID: 122.12-4-1

Parcel SBL: 12201200040010000000

Owner Name:

Section Map: [12212](#) | [Index](#) (pdf,42x30in)

Other Maps:

No owner address for this municipality.

Mailing Labels Using: Property Address ▼

For Buffer Distance 100 Ft (Max.1000), **OR**

For adjacent parcels only [Create Labels](#)

[Print Labels \(PDF\)](#)
[Export to CSV File](#)

Short Environmental Assessment Form

Part 1 - Project Information

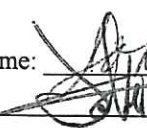
Instructions for Completing

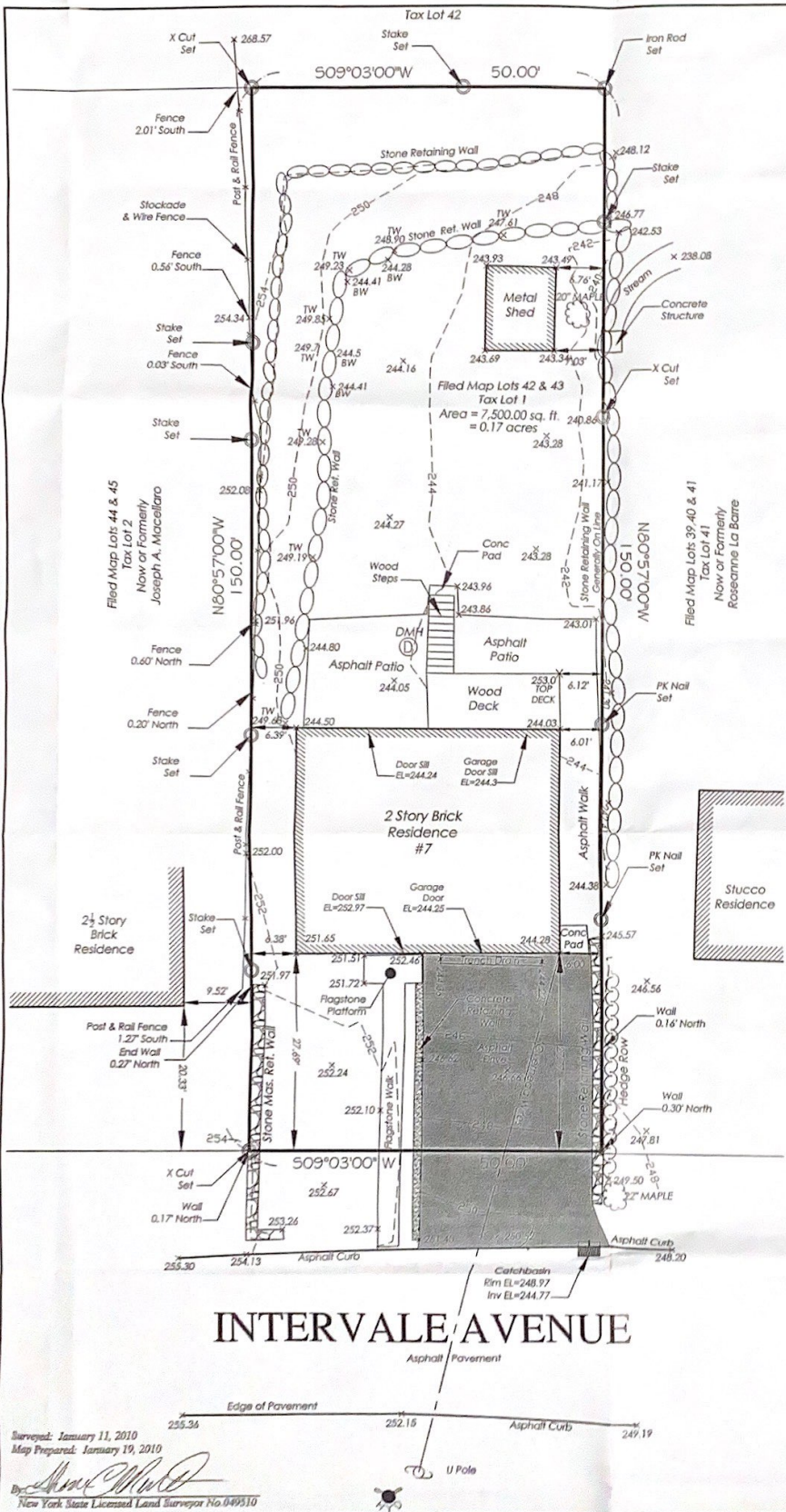
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: 7 Intervale							
Project Location (describe, and attach a location map):							
Brief Description of Proposed Action: Replace Existing Retaining Wall at							
Name of Applicant or Sponsor: John Luciano		Telephone:					
		E-Mail:					
Address: 7 Intervale							
City/PO:		State: NY	Zip Code:				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3. a. Total acreage of the site of the proposed action?		.25 acres					
b. Total acreage to be physically disturbed?		.25 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.25 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? <i>N/A</i> c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>John Luciano</u> Date: <u>11/20/23</u></p> <p>Signature: <u>X</u> </p>		



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating. Additional underground utilities are not shown or certified. Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Lots 42 and 43 in Block 11 as shown on a certain map entitled, "Map of Kenisco Manor, Westchester County, N.Y." Said map filed in the Westchester County Clerk's Office, Division of Land Records on March 21, 1901 as map number 1201.

Premises hereon being designated on the Town of North Castle Tax Maps as Section 122.12, Block 4, Lot 1

Address:
7 Intervale Avenue
White Plains, NY 10603

INTERVALE AVENUE

**TOPOGRAPHY OF PROPERTY
PREPARED FOR
JOHN LUCIANO**
SITUATE IN THE
TOWN OF NORTH CASTLE
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 10'

GRAPHIC SCALE



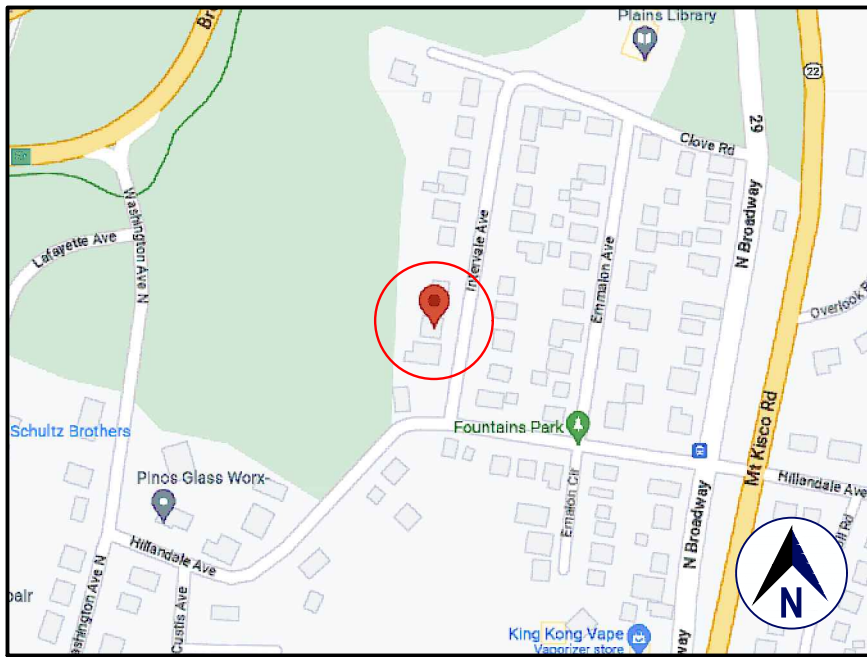
Surveyed: January 11, 2010
Map Prepared: January 19, 2010
By: *[Signature]*
New York State Licensed Land Surveyor No. 049510

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ELECTRONIC TRANSMISSION WITHOUT PERMISSION
IS A VIOLATION OF APPLICABLE LAWS

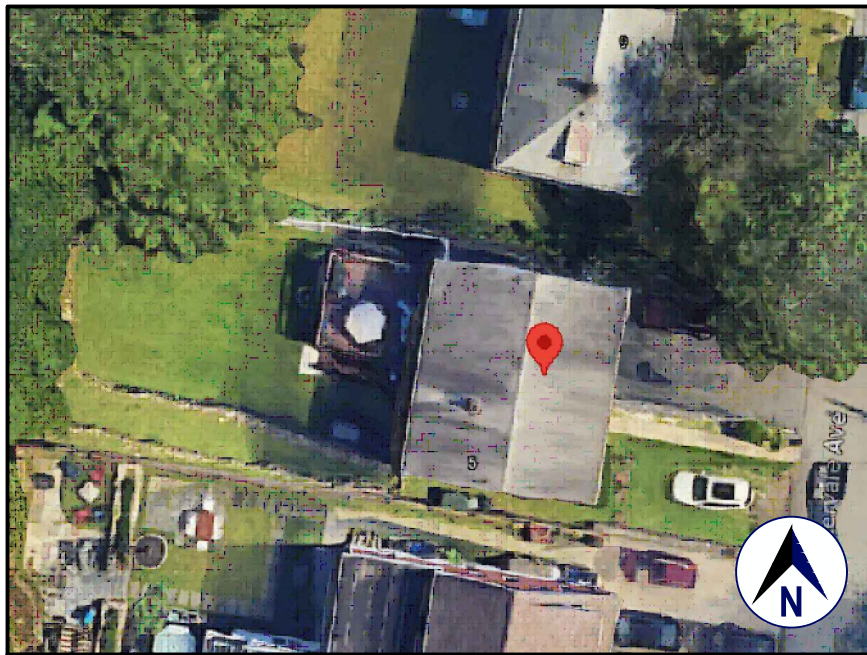


THOMAS C. MERRITTS LAND SURVEYORS, P.C.
394 BEDFORD ROAD • PLEASANTVILLE • N.Y. 10570
(914) 769-8003 • (203) 622-8899

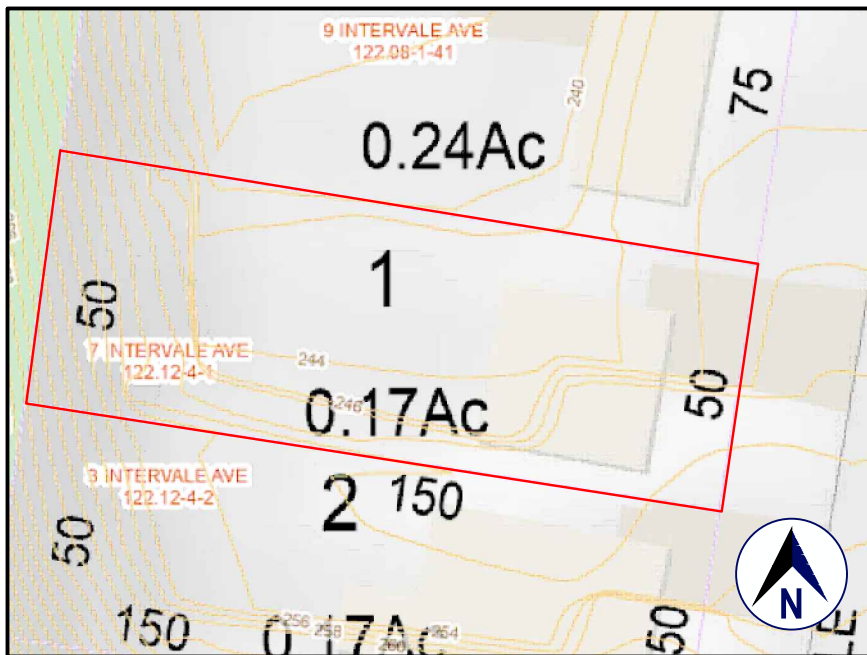
Project: 10-000B	Field Survey By: DC/DJM
Drawn By: CMP	Checked By: TCM



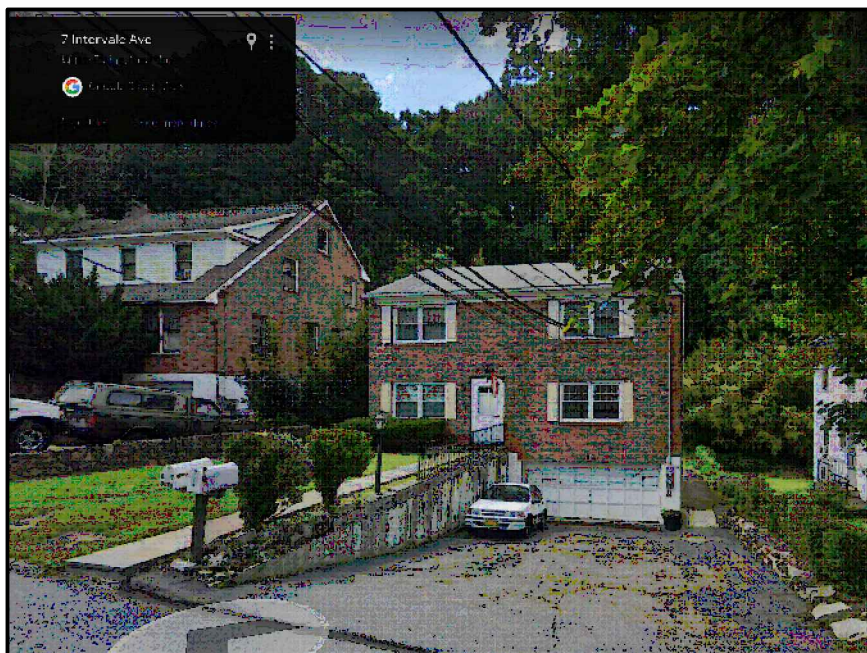
LOCATION
GOOGLE MAPS 7 INTERVALE AVENUE, NORTH WHITE PLAINS



SATellite VIEW
GOOGLE EARTH 7 INTERVALE AVENUE



TAX MAP & CONTOURS
WESTCHESTER COUNTY GIS S-B-L: 122.12-4-1



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 DESIGN INTENT:

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.2 SCOPE:

THIS IS A PROPOSED ALTERATION LEVEL 2 AS DEFINED IN AJ301.5 ALTERATIONS - LEVEL 2, AND AS FOLLOWS:

ALL PROPOSED WORK IS OUTSIDE THE EXISTING BUILDING ENVELOPE.

CONSTRUCTION TYPE: TYPE V-B (WOOD FRAMED), AS DEFINED IN TABLE 601
YEAR BUILT: 1963 (PER ZILLOW)
OCCUPANCY CLASSIFICATION: DETACHED ONE-FAMILY DWELLING STRUCTURE (NO PROPOSED CHANGE)

ARCHITECTURAL REVIEW:

THE PROPOSED ALTERATION WILL NOT SUBSTANTIALLY CHANGE THE EXTERIOR CHARACTER AND APPEARANCE OF THE BUILDING OR STRUCTURE

1.3 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH:

- THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (2018 IRC WITH AMENDMENTS) AND ALL OTHER CODES REFERENCED THEREIN; PER R101.1, THIS CODE IS PART OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE (THE "UNIFORM CODE")
- THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE (2018 IBC WITH AMENDMENTS)
- CHAPTER 127 (BUILDING CODE ADMINISTRATION AND ENFORCEMENT) AND CHAPTER 271 (STREETS AND SIDEWALKS) OF THE CODE OF THE TOWN OF NORTH CASTLE
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

1.4 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN [NY] 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE TOWN OF NORTH CASTLE.

THE DULY APPOINTED BUILDING OFFICIAL OF THE TOWN OF NORTH CASTLE IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2. CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- HAVE CONTROL OVER AND SUPERVISE, COORDINATE AND DIRECT THE WORK, INCLUDING THAT OF HIS SUBCONTRACTORS, AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.

- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

3. BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

1. SUCH PERSON OR ENTITY HAS APPLIED TO THE TOWN OF NORTH CASTLE FOR A BUILDING PERMIT,
2. THE TOWN OF NORTH CASTLE HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
4. SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

4. CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

TOWN OF NORTH CASTLE BUILDING DEPARTMENT
17 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-3000

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE TOWN OF NORTH CASTLE WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE TOWN OF NORTH CASTLE (ALL MAY NOT APPLY):

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- FOOTING/REBAR/FORMWORK/FOUNDATION
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED

ANY OTHER INSPECTIONS AS REQUIRED BY THE TOWN OF NORTH CASTLE. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

5. STATEMENT OF DESIGN PROFESSIONAL:

1. THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED)

CONCRETE

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:
FOUNDATION WALLS, SLAB ON GRADE: 4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS: 4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK: 4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE: 4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:

MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

SLABS:	3/4"
WALLS:	1"
COLUMNS:	1 1/2"
EXPOSED TO WEATHER OR EARTH:	2"
CONCRETE PLACED AGAINST EARTH:	3"

REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH THE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS

WALL THICKNESS AND BATTER:

THE WALL (STEM) THICKNESS NOTED IN THESE DRAWINGS IS 12" AND THAT SHOULD BE THE MINIMUM WALL THICKNESS AT THE WALL BASE AND BELOW GRADE. THE WALL MAY TAPER ABOVE GRADE TO A MINIMUM THICKNESS OF 8" AT THE WALL TOP; THE WALL MAY BE BATTERED ON THE FRONT FACE, THE BACK FACE, OR BOTH.



EXISTING
FAILED CMU RETAINING WALL AND GUARD RAIL

SCOPE OF WORK:

DEMOLISH EXISTING WALKWAY, GUARD RAIL, RETAINING WALL AND FOOTINGS EXCAVATE AS REQUIRED FOR NEW STRUCTURE AND BUILD:
NEW CANTILEVERED REINFORCED CONCRETE RETAINING WALL
NEW REINFORCED CONCRETE SLAB AT ENTRY
RELOCATED WALKWAY
FLAGSTONE FINISH TO SLAB, WALL CAP AND WALKWAY
WROUGHT IRON GUARD RAIL ALONG TOP OF WALL

STAMP:



VINCENT COAKLEY, P.E.
NY LIC. NO. 100175

PROPERTY ADDRESS:
7 INTERVALE AVENUE NORTH
WHITE PLAINS, NY 10603
(TOWN OF NORTH CASTLE
BUILDING DEPARTMENT)

S-B-L:
122.12-4-1

CLIENT:
JOHN & GIOVANNA
LUCIANO
TEL: 914-328-9884
EMAIL: john@natlawn.com

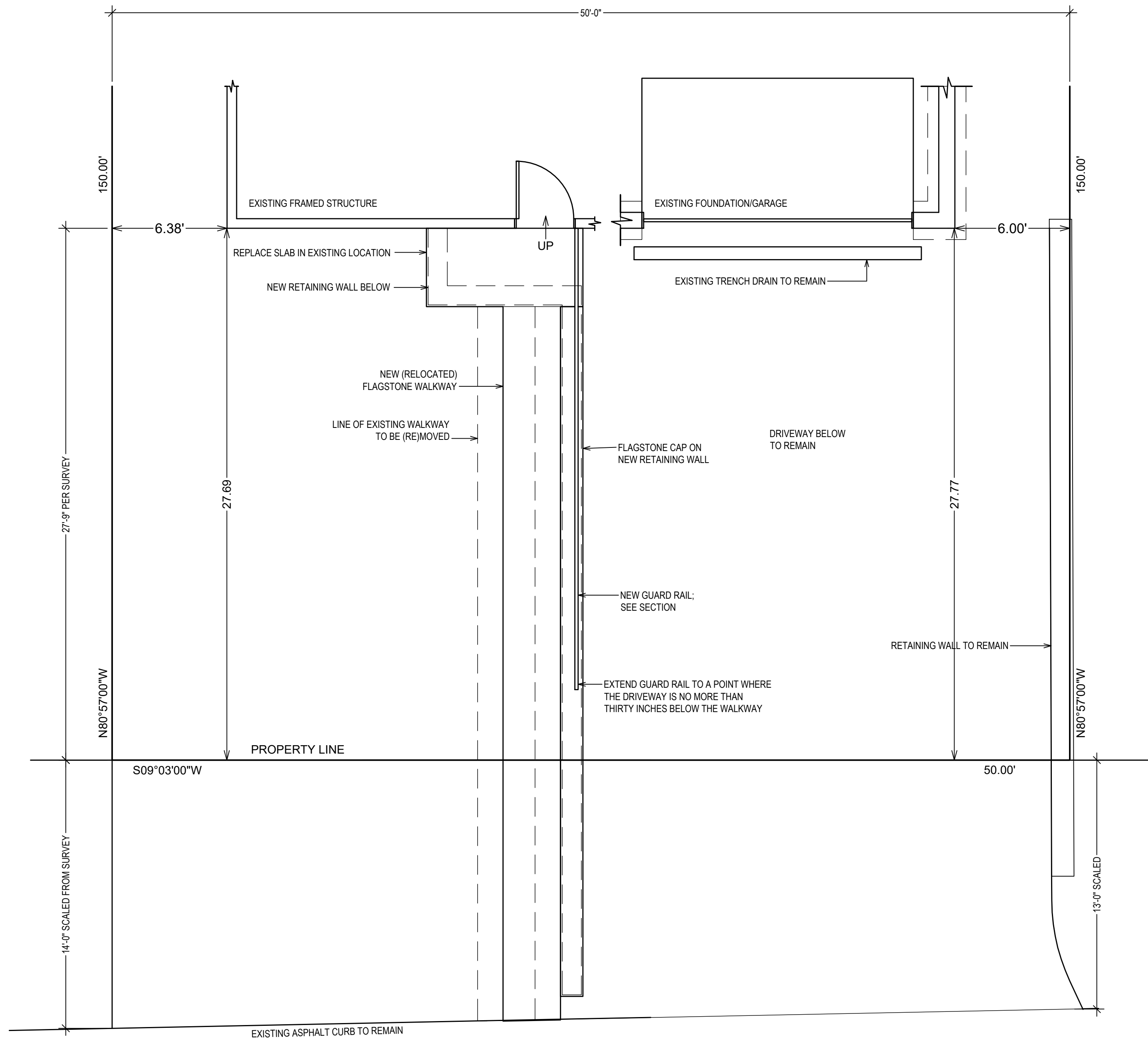
DATE: 09.06.2024
ISSUE: FOR REVIEW
09.20.2023 FOR PERMIT

PROJECT NAME:
RETAINING WALL

DRAWING NAME:
COVER SHEET

DRAWING NUMBER:
C-01

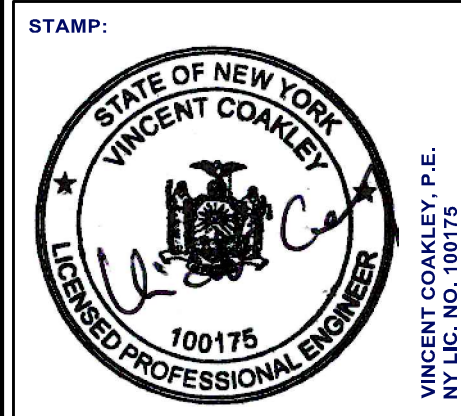
NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE TOWN OF NORTH CASTLE.



PARTIAL SITE PLAN
 1/4" = 1'-0"
 PROPERTY LINES ARE FROM SURVEY BY:
 THOMAS C. MERRITTS LAND SURVEYORS, P.C.
 MAP DATED JANUARY 11, 2010

GISMONDI ARCHITECTS
 904 MEMORIAL DRIVE AUBREY, TX 76227
 (914) 494-8943 MGISMO646@AOL.COM

Oliver Engineering, P.C.
 Design - Permit Applications - Legalizations
 Code Compliance - Project Supervision
 188 North Main Street | Port Chester | NY 10573
 (914) 774-9878 | www.proeng.nyc | vc@proeng.nyc



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CLIENT:
JOHN & GIOVANNA LUCIANO
 TEL: 914-328-9884
 EMAIL: john@natlawn.com

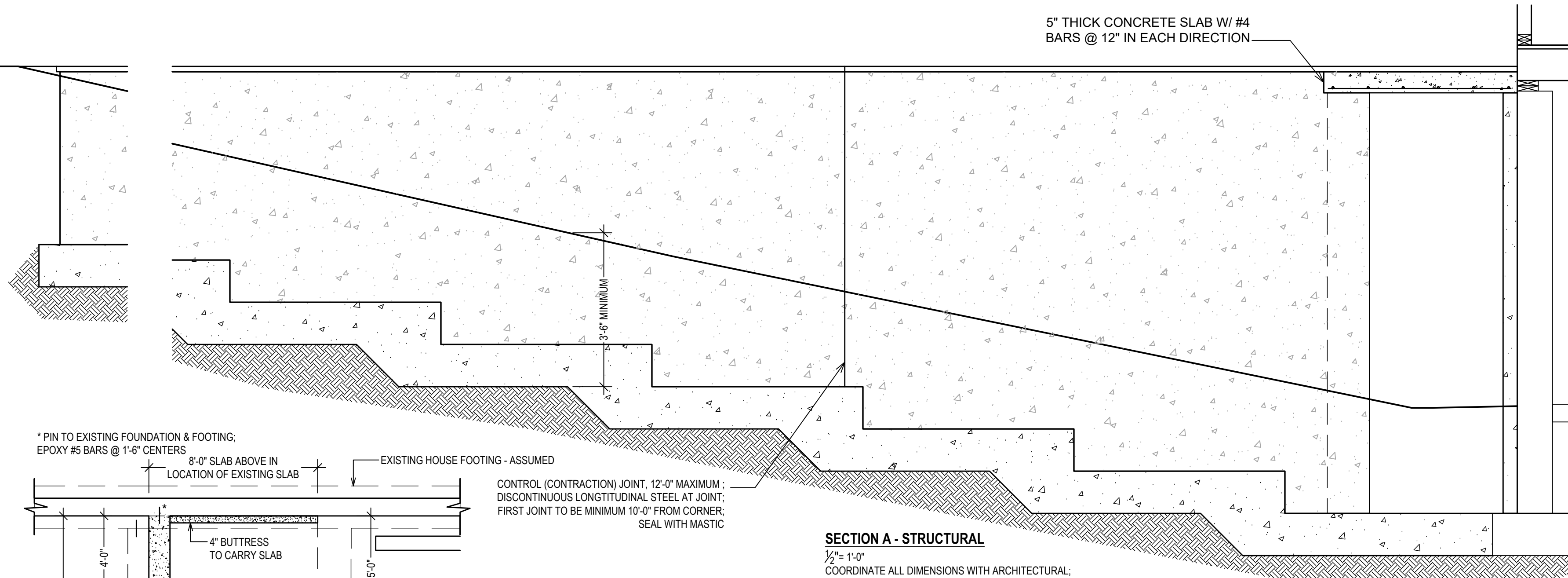
DATE: 09.06.2024 FOR REVIEW
 09.20.2023 FOR PERMIT

PROJECT NAME:
RETAINING WALL

DRAWING NAME:
LAYOUT

DRAWING NUMBER:
S-01

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SECTION A - STRUCTURAL

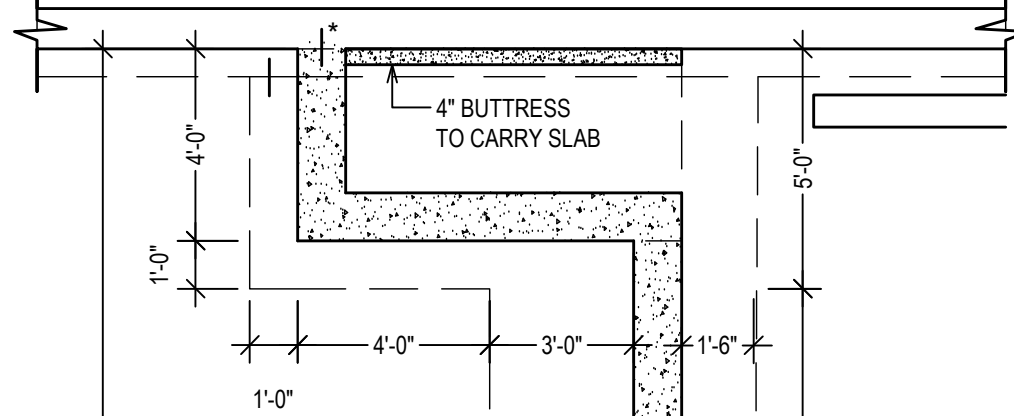
1/2" = 1'-0"
 COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL;
 PROVIDE THERMAL AND MOISTURE PROTECTION PER ARCHITECTURAL DRAWINGS.

* PIN TO EXISTING FOUNDATION & FOOTING;
 EPOXY #5 BARS @ 1'-6" CENTERS

8'-0" SLAB ABOVE IN
 LOCATION OF EXISTING SLAB

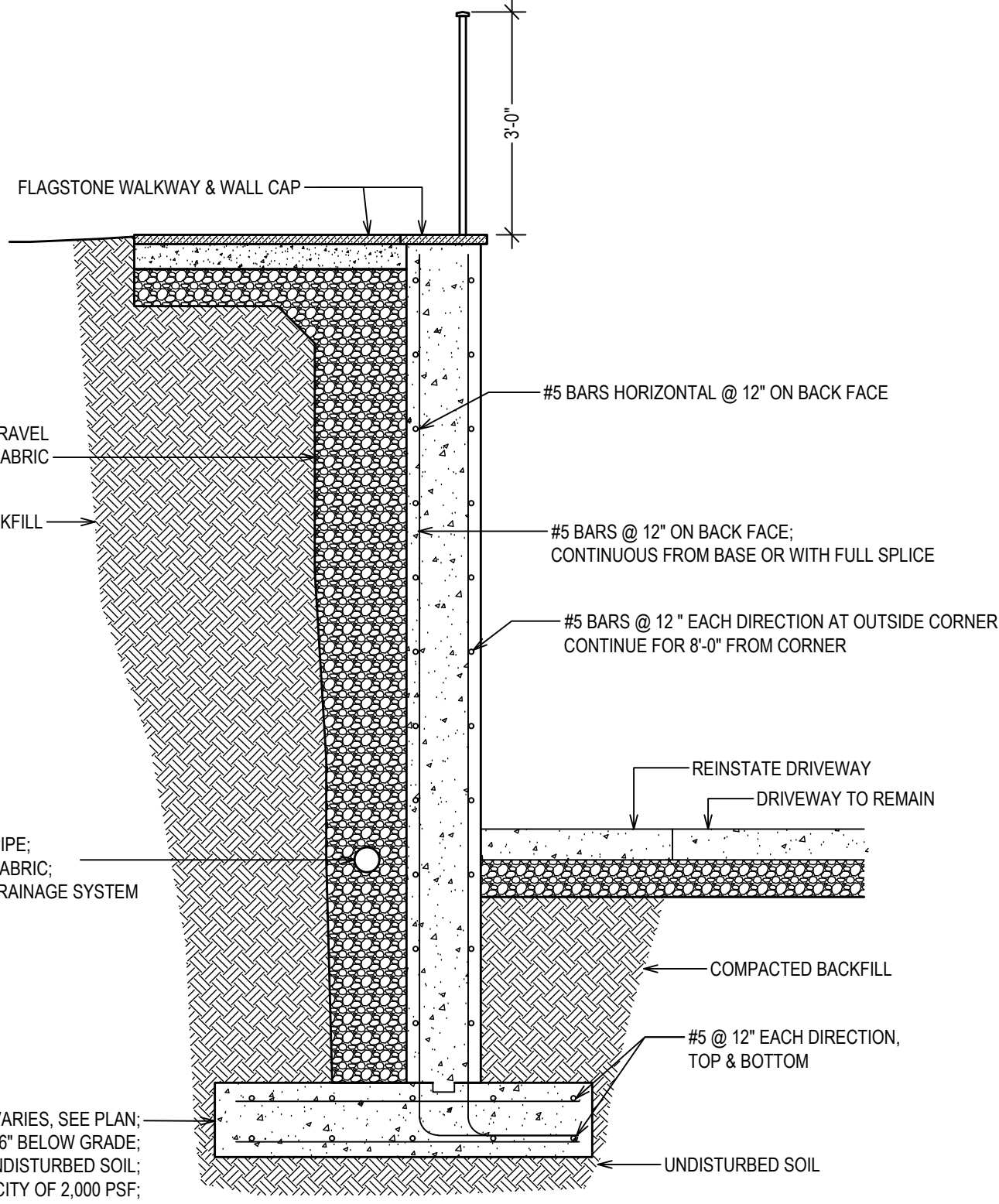
EXISTING HOUSE FOOTING - ASSUMED

CONTROL (CONTRACTION) JOINT, 12'-0" MAXIMUM;
 DISCONTINUOUS LONGITUDINAL STEEL AT JOINT;
 FIRST JOINT TO BE MINIMUM 10'-0" FROM CORNER;
 SEAL WITH MASTIC



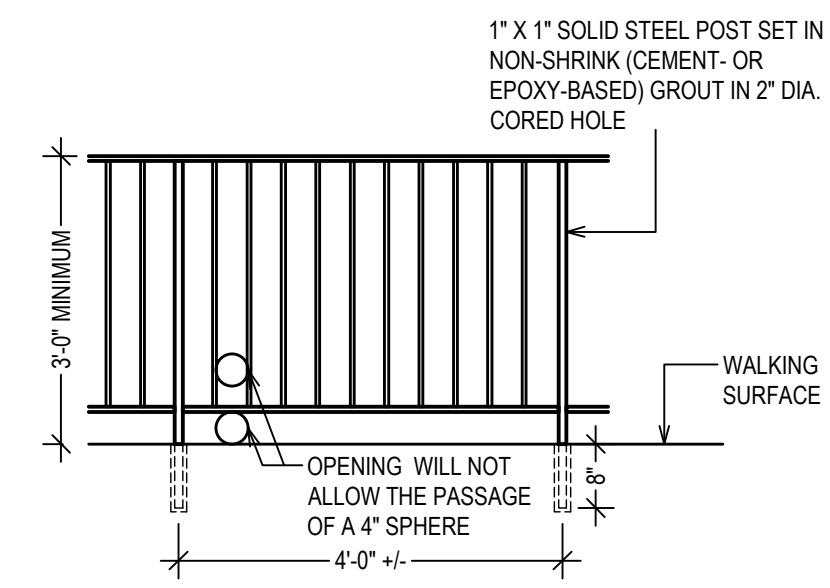
FOUNDATION PLAN

1/4" = 1'-0"



TYPICAL WALL SECTION

1/2" = 1'-0"



GUARD RAIL DETAIL

1/2" = 1'-0"

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 TEL: 914-328-9884
 EMAIL: john@natlawn.com

DATE: 09.06.2024
 ISSUE: FOR REVIEW

DATE: 09.20.2023
 ISSUE: FOR PERMIT

PROJECT NAME:
RETAINING WALL

DRAWING NAME:
DETAILS

DRAWING NUMBER:
S-02

NOTE:
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 A PERMIT IS ISSUED, BASED ON
 THIS DRAWING, BY THE TOWN OF
 NORTH CASTLE.