



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastleny.com

Application for Site Development Plan Approval

Application Name

Amended Massouh Residence Addition



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APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fees



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.


Applicant Signature

Dec 21, 2023
Date:

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Nazar I. & Jennifer F. Massouh
Mailing Address: 8 Cole Drive, Armonk, New York 10504
Telephone: _____ Fax: _____ e-mail nazar@global.t-bird.edu

Name of Applicant (if different): Same as Owner
Address of Applicant: _____
Telephone: _____ Fax: _____ e-mail _____
Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?
Yes No
If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:
Peter J. Gregory, P.E. DTS Provident Design Engineering, LLP
Address: One North Broadway, White Plains, New York 10601
Telephone: 914 559-6745 Fax: _____ e-mail pgregory@dtsprovident.com

Name of Other Professional: Daniel Merritts, TC Merritts Land Surveyors
Address: 394 Bedford Road, Pleasantville, New York 10570
Telephone: 914 - 769 - 8003 Fax: _____ e-mail daniel@tcmerritts.com



Name of Attorney (if any): Kory Salomone, Esq. Zarin & Steinmetz, LLP
Address: 81 Main Street, Suite 415, White Plains, New York 10601
Telephone: 914 - 682 - 7800 x138 Fax: _____ e-mail ksalomone@zarin-steinmetz.com

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: Dec 21, 2023
Signature of Property Owner:  Date: Dec 21, 2023

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 8 Cole Drive

Location (in relation to nearest intersecting street):

925 feet (north, south, east or west) of Chestnut Ridge Road

Abutting Street(s): Cole Drive

Tax Map Designation (NEW): Section 94.02 Block 1 Lot 8

Tax Map Designation (OLD): Section 2 Block 10 Lot 34

Zoning District: R-2A Total Land Area 8.838 acres

Land Area in North Castle Only (if different) _____

Fire District(s) 2 School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No _____ Yes (adjacent) Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No _____ Yes

If yes, please identify the tax map designation of that property:

94.02 - 1 - 9 (24 Davis Drive)

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Proposed Use: Existing Single Family Residential

Gross Floor Area: Existing _____ S.F. Proposed 10,229 S.F.

Proposed Floor Area Breakdown:

Retail _____ S.F.; Office _____ S.F.;

Industrial _____ S.F.; Institutional _____ S.F.;

Other Nonresidential _____ S.F.; Residential 10,229 S.F.;

Number of Dwelling Units: 1

Number of Parking Spaces: Existing 4 Required 2 Proposed NA

Number of Loading Spaces: Existing NA Required NA Proposed NA

Earthwork Balance: Cut _____ C.Y. Fill 2,850 C.Y. (Fill material generated on site)

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No _____ Yes X

(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No _____ Yes X

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____

(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The site development plan application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the site development plan application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SITE DEVELOPMENT PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the site development plan for the Planning Board to review his/her proposal. Applicants are advised to review ARTICLE VIII, Site Development Plan of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for site development plan approval.

The application for site development plan approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**. In addition, the project will not be scheduled on a Planning Board agenda until the Applicant receives an initialed "site plan checklist" from the Planning Department.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- X Location of existing use and design of buildings, identifying first floor elevation, and other structures.
- NA Location of existing parking and truck loading areas, with access and egress drives thereto.
- X Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- X Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- NA Location, size and design of existing signs.
- NA Location, type, direction, power and time of use of existing outdoor lighting.
- NA Location of existing outdoor storage, if any.
- X Existing topographical contours with a vertical interval of two (2) feet or less.
- X Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- NA Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- X Proposed location, use and architectural design of all buildings, including proposed floor elevations and the proposed division of buildings into units of separate occupancy.
- X Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- NA Proposed sight distance at all points of vehicular access.
- NA Proposed number of employees for which buildings are designed
- NA Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- NA Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- X Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.

- X Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- NA Location, size and design of all proposed signs.
- NA Location, type, direction, power and time of use of proposed outdoor lighting.
- NA Location and design of proposed outdoor garbage enclosure.
- NA Location of proposed outdoor storage, if any.
- X Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- NA Type of power to be used for any manufacturing
- NA Type of wastes or by-products to be produced and disposal method
- NA In multi-family districts, floor plans, elevations and cross sections
- NA The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- X Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- X Proposed soil erosion and sedimentation control measures.
- NA For all proposed site development plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- X For all proposed site development plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- X For all proposed site development plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Amended Massouh Residence Addition			
Project Location (describe, and attach a location map): 8 Cole Drive, Armonk, New York			
Brief Description of Proposed Action: Earthwork grading to stabilize existing foundation of new addition, improve stormwater runoff condition and provide wetland and wetland buffer mitigation.			
Name of Applicant or Sponsor: Nazar Massouh		Telephone: E-Mail: nazar@global.t-bird.edu	
Address: 8 COLE DRIVE			
City/PO: Armonk		State: New York	Zip Code: 10504
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		8.838 acres	
b. Total acreage to be physically disturbed?		0.435 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		16.6 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ Existing water from drilled well _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ Existing On-Site Wastewater Treatment System _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ Small wetland pocket. Area to be replaced at 3:1 ratio _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline Forest Agricultural/grasslands Early mid-successional

Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

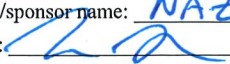
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

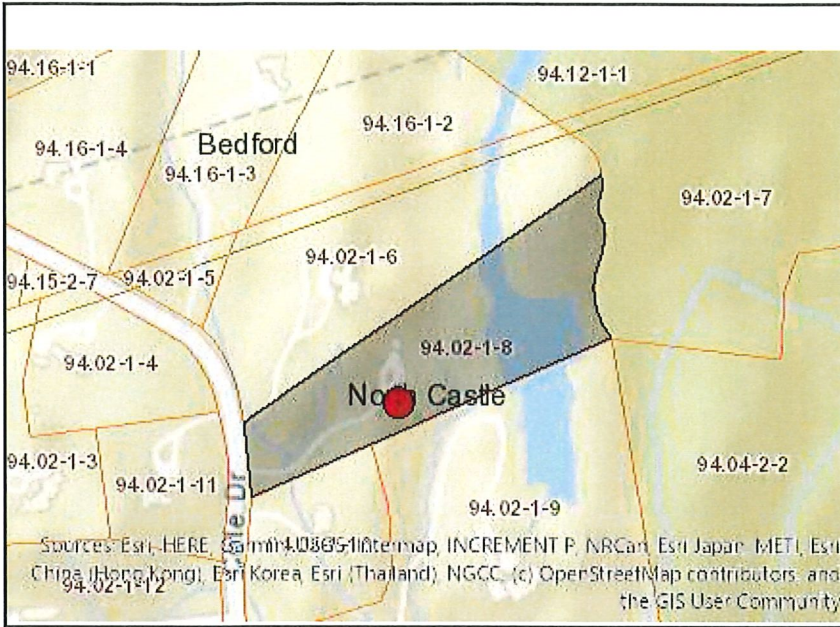
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: SEE NEXT PAGE Date: _____

Signature: _____ Title: _____

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>NAZAR MASSOUMI</u> Date: <u>Dec 21, 2023</u> Signature: <u></u>		

PRINT FORM



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



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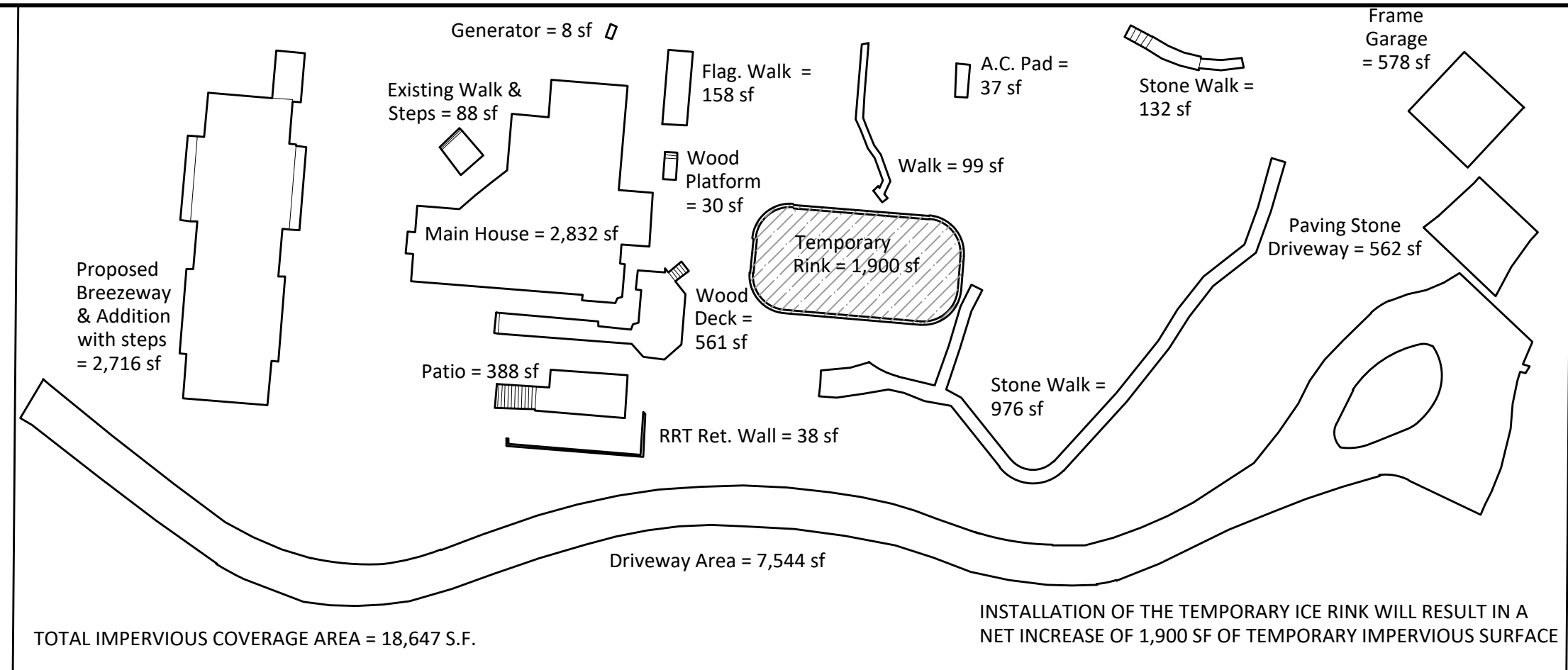
GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: NAZAR & JENNIFER MASSOUH Date: 10/17/23
Tax Map Designation or Proposed Lot No.: 94.02 - 1 - 8

Gross Lot Coverage	
1. Total lot area (Net Lot Area for Lots Created After 12/13/06):	384,994
2. Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): 13,270 + 22,340 =	35,610
3. BONUS maximum gross land cover (per Section 355-26.C(1)(b)):	
Distance principal home is beyond minimum front yard setback 256.78 x 10 =	2,568
4. TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3	38,178
5. Amount of lot area covered by principal building: 2,832 existing + 2,716 proposed =	5,548
6. Amount of lot area covered by accessory buildings: 578 existing + 0 proposed =	578
7. Amount of lot area covered by decks: 591 existing + 0 proposed =	591
8. Amount of lot area covered by porches: 0 existing + 0 proposed =	0
9. Amount of lot area covered by driveway, parking areas and walkways: 9,559 existing + 0 proposed =	9,559
10. Amount of lot area covered by terraces: 388 existing + 0 proposed =	388
11. Amount of lot area covered by tennis court, pool and mechanical equip: 45 existing + 0 proposed =	45
12. Amount of lot area covered by all other structures: 38 existing + 1,900 proposed =	1,938
13. Proposed gross land coverage: Total of Lines 5 - 12 =	18,647

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.

Signature and Seal of Professional Preparing Worksheet _____ Date _____



TOTAL IMPERVIOUS COVERAGE AREA = 18,647 S.F. INSTALLATION OF THE TEMPORARY ICE RINK WILL RESULT IN A NET INCREASE OF 1,900 SF OF TEMPORARY IMPERVIOUS SURFACE

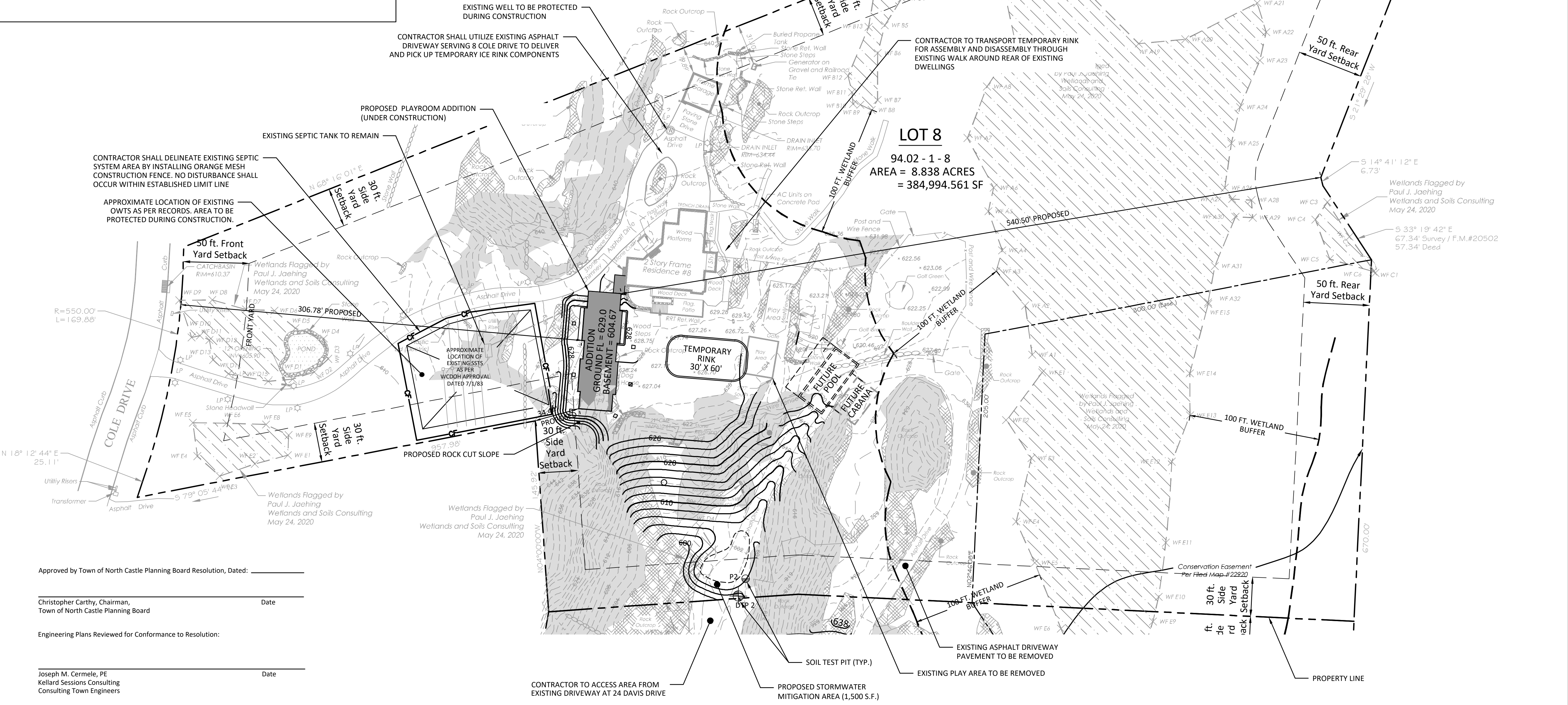
GRAPHICAL DEPICTION OF IMPERVIOUS SURFACE
N.T.S.

ZONE: ONE FAMILY RESIDENCE DISTRICT ZONE 'R-2A'				
	PERMITTED /REQUIRED	LOT 8		
		EXISTING RESIDENCE	PROPOSED ADDITION	TEMPORARY RINK
MINIMUM LOT AREA:	2 AC	8.838 AC (384,994 SF)		
FRONT YARD SETBACK	50 FT.	336.52 FT.	306.78 FT.	372.19 FT.
SIDE YARD SETBACK	30 FT.	112.40 FT.	34.44 FT.	165.30 FT.
REAR YARD SETBACK	50 FT.	463.20 FT.	540.50 FT.	456.76 FT.
MAXIMUM HEIGHT	30 FT.	< 30 FT.	< 30 FT.	
MAXIMUM BUILDING COVERAGE	8 %	1.04 %	1.74 %	

GENERAL NOTES

- FUTURE SWIMMING POOL AND CABANA WILL REQUIRE TOWN OF NORTH CASTLE PLANNING BOARD APPROVAL.
- FUTURE SWIMMING POOL AND CABANA STORM DRAINS SHALL BE CONNECTED TO THE EXISTING STORMWATER MITIGATION SYSTEM.
- THE INSTALLATION OF THE TEMPORARY ICE RINK WILL RESULT IN A NET INCREASE OF APPROXIMATELY 1,900 SQUARE FEET.
- LIGHTING OF THE TEMPORARY ICE RINK SHALL NOT BE PERMITTED.
- ANY DISTURBANCE ASSOCIATED WITH THE INSTALLATION AND REMOVAL OF THE TEMPORARY ICE RINK SHALL BE RESTORED WITH APPLYING TOPSOIL AND SEED.
- APPLICANT SHALL APPLY DIRECTLY TO BUILDING DEPARTMENT FOR YEARLY INSTALLATION OF TEMPORARY RINK AS INDICATED ON PLAN.

ADDIT. IMPACT ANALYSIS	
>25% SLOPE	6,495 SF
TOTAL DISTURBANCE	18,975 SF
TREE REMOVAL	21
IMPORTED FILL VOLUME =	3,250 CY



NO.	REVISION	DATE
1	ISSUED TO PLANNING BOARD	5/28/2021
2	SITE PLAN RESOLUTION	2/7/2022
3	ISSUED FOR SITE PLAN REVIEW	3/10/2022
4	ISSUED FOR PLANNING BOARD	3/10/2022
5	RESOLUTION	5/2/2022
6	FINAL SITE PLAN	6/24/2022
7	TOWN ENGINEER REVIEW	8/5/2022
8	BUILDING DEPT REVIEW FOR CHIPPING	9/27/2022
9	RPRC APPLICATION FOR ICE RINK	10/17/2023
10	RPRC REVIEW	11/13/2023
11	DRAINAGE IMPROVEMENTS	12/11/2023

Scale: 1" = 40'

Date: 3/22/2021

Drawn By: KMM

Checked By: PJG

Project No.: PJG-16

Sheet No.: 1 of 4

Dwg. No.: C-101

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MASSOUH RESIDENCE ADDITION
8 Cole Drive
Town of North Castle
Westchester County, New York

TITLE: **SITE PLAN**

Scale: 1" = 40'

Date: 3/22/2021

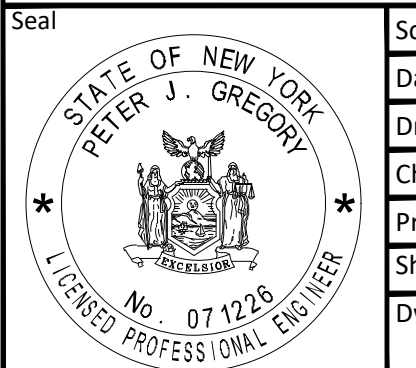
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Checked By: PJG

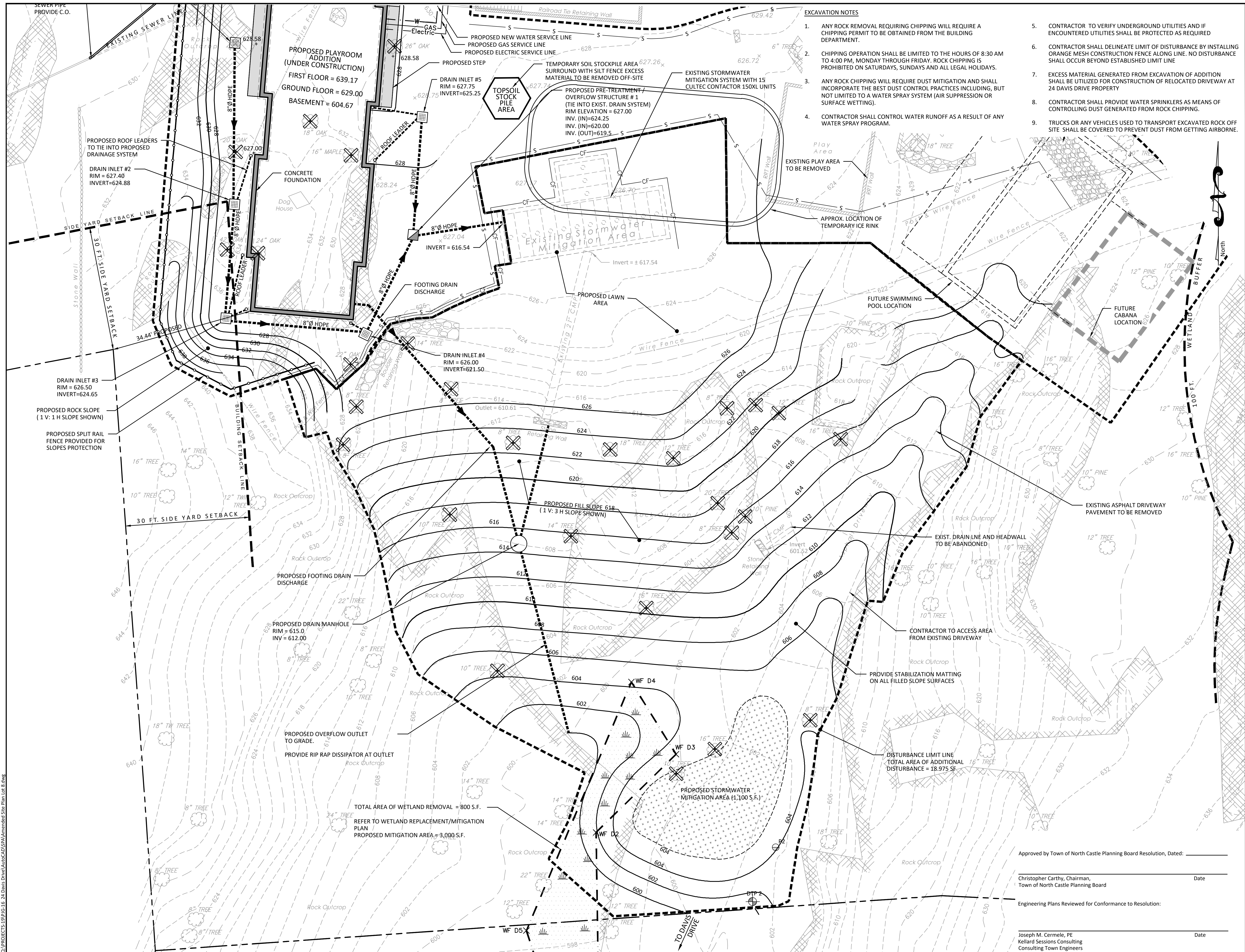
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Sheet No.: 1 of 4

Dwg. No.: C-101



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NO.	REVISION	DATE
1	ISSUED FOR SITE PLAN REVIEW	3/1/2022
2	ISSUED FOR PLANNING BOARD	3/10/2022
3	RESOLUTION	5/2/2022
4	TOWN ENGINEER REVIEW	8/5/2022
5	CHIPPING/BLASTING NOTES	9/2/2022
6	BUILDING DEPT REVIEW FOR CHIPPING	9/27/2022
7	DRAINAGE IMPROVEMENTS	12/11/2023

LEGEND	
	PROPERTY LINE
	100 FT. WETLAND SETBACK
	LOCAL FLAGGED WETLAND LINE
	LIMIT OF DISTURBANCE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PROPOSED SPOT ELEVATION
	SILT FENCE/SEDIMENT BARRIER
	CONSTRUCTION FENCE
	WATER SUPPLY WELL LOCATION
	PROPOSED GAS SERVICE LINE
	PROPOSED ELECTRIC SERVICE LINE
	PROPOSED WATER SERVICE LINE
	PROPOSED STORM PIPE
	PROPOSED DRAIN INLET
	PRE-TREATMENT STRUCTURE
	PROPOSED SPLIT RAIL FENCE
	TREE TO BE PROTECTED
	TREE TO BE REMOVED
	STABILIZED CONSTRUCTION ENTRANCE
	TOPSOIL STOCKPILE

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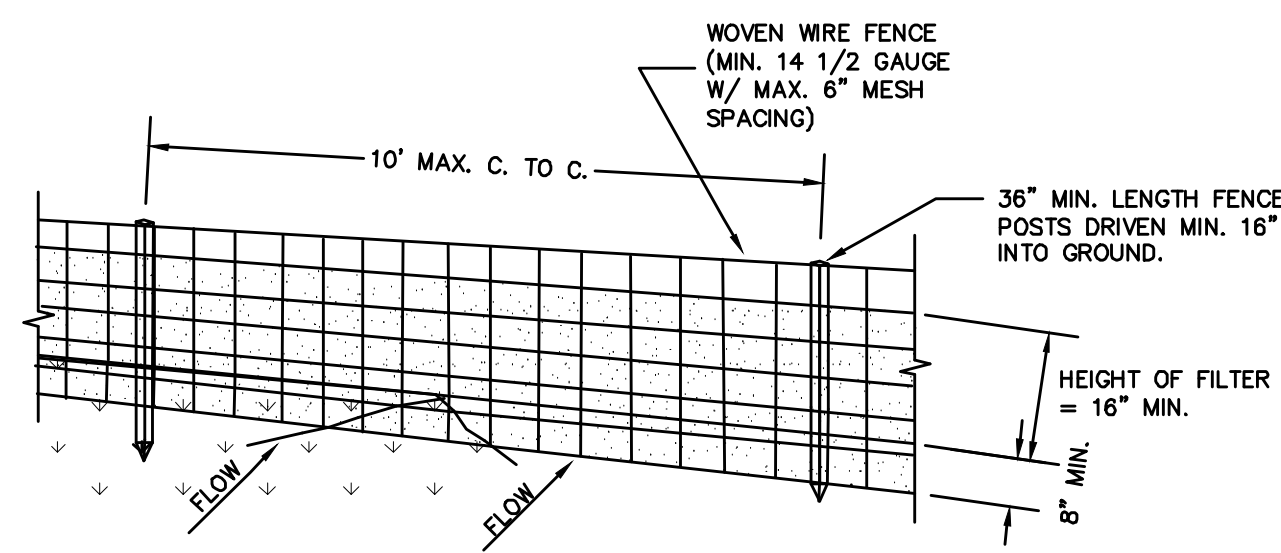
MASSOUH RESIDENCE ADDITION
 8 Cole Drive
 Town of North Castle
 Westchester County, New York

TITLE:
CONSTRUCTION PLAN

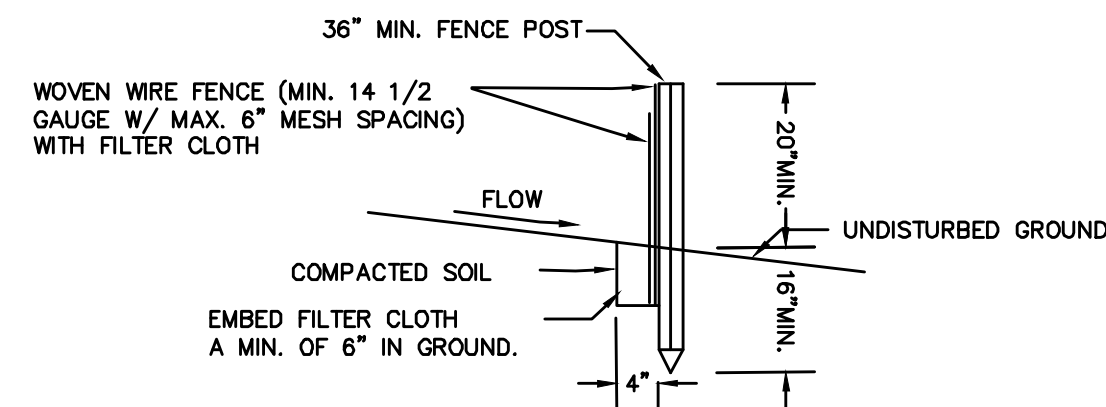
Scale: 1" = 10'
 Date: 2/7/2022
 Drawn By: KMM
 Checked By: PJG
 Project No.: PJG-16
 Sheet No.: 2 of 4
 Dwg. No.: C-102

Approved by Town of North Castle Planning Board Resolution, Dated: _____
 Christopher Carthy, Chairman, _____ Date _____
 Town of North Castle Planning Board
 Engineering Plans Reviewed for Conformance to Resolution: _____ Date _____
 Joseph M. Cermele, PE
 Kellard Sessions Consulting
 Consulting Town Engineers

NO.	REVISION	DATE
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PERSPECTIVE VIEW



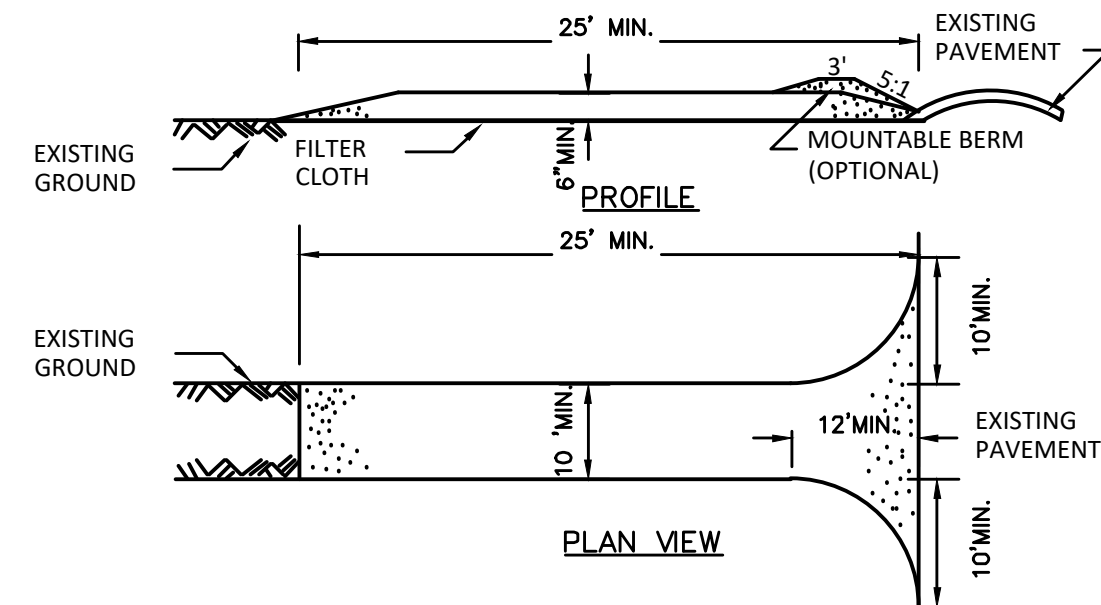
SECTION VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT. PREFABRICATED UNITS SHALL BE GEOPAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE
NOT TO SCALE

1

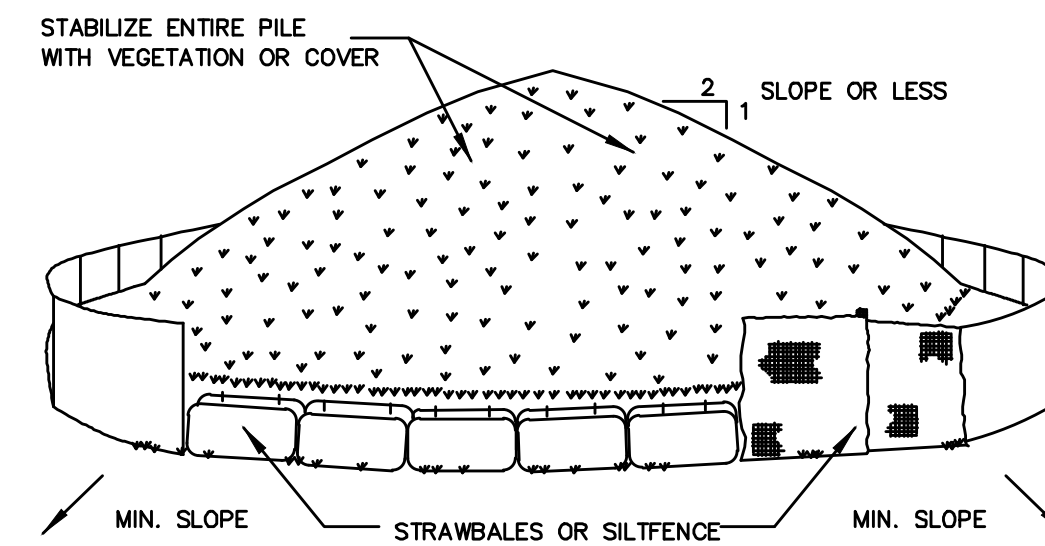


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 1-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 25 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

2



INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

SOIL STOCKPILING
NOT TO SCALE

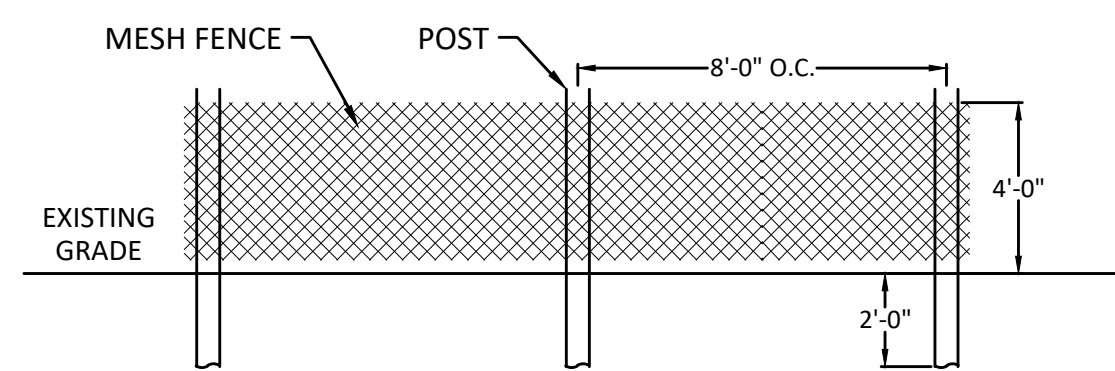
3



CONSTRUCTION OPERATIONS RELATIVE TO
THE LOCATION OF PROTECTED TREES

TREE PROTECTION
NOT TO SCALE

4



INSTALLATION NOTES:
1) MESH TO BE PLACED ON "OUTSIDE" FACE OF POST TO RENDER NON-CLIMBABLE
2) MESH COLOR TO BE BLAZE ORANGE

TYPICAL ORANGE MESH CONSTRUCTION FENCE
NOT TO SCALE

5

GENERAL NOTES

- THE CONSTRUCTION OF THE PROPOSED ADDITION WILL CREATE A TOTAL AREA OF DISTURBANCE OF DISTURBANCE OF 14,000 SF.
- TOTAL AREA OF DISTURBANCE WITHIN THE WETLAND BUFFER WILL BE APPROXIMATELY 0 SF.
- THE PROJECT WILL RESULT IN THE CREATION OF APPROXIMATELY 2,716 SF OF NEW IMPERVIOUS SURFACE.
- THE CONSTRUCTION OF THE POOL, SPA, TERRACE AND STORMWATER MITIGATION SYSTEM WILL RESULT IN THE REMOVAL OF EIGHT (8) TREES.
- ANY ROCK REMOVAL REQUIRING CHIPPING WILL REQUIRE A CHIPPING PERMIT TO BE OBTAINED FROM THE BUILDING DEPARTMENT.
- CHIPPING OPERATION SHALL BE LIMITED TO THE HOURS OF 8:30 AM TO 4:00 PM, MONDAY THROUGH FRIDAY. ROCK CHIPPING IS PROHIBITED ON SATURDAYS, SUNDAYS AND ALL LEGAL HOLIDAYS.
- ANY ROCK CHIPPING WILL REQUIRE DUST MITIGATION AND SHALL INCORPORATE THE BEST DUST CONTROL PRACTICES INCLUDING, BUT NOT LIMITED TO A WATER SPRAY SYSTEM(AIR SUPPRESSION OR SURFACE WETTING). CONTRACTOR SHALL CONTROL WATER RUNOFF AS A RESULT OF ANY WATER SPRAY PROGRAM.

GENERAL NOTES

6

GENERAL EROSION CONTROL NOTES:

- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION SILT FENCING SHALL BE INSTALLED ON THE DOWNHILL SLOPE OF WORK AREA AND SHALL BE IN PLACED AS INDICATED ON THIS SEDIMENT AND EROSION CONTROL PLAN.
- EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATION FOR EROSION AND SEDIMENT CONTROL, AUGUST 2005.
- ANY DRAINS OR CATCH BASINS SHALL BE PROTECTED WITH STONE AND BLOCK DRAIN INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL AREAS ARE THOROUGHLY STABILIZED.
- SOIL STOCK PILES SHALL NOT BE ALLOWED ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. STOCK PILES SHALL BE SURROUNDED WITH SILT FENCING AND SEEDED WITH TOTAL ANNUAL RYE WITHIN TWO DAYS.
- EROSION CONTROL MEASURES ARE TO BE INSPECTED AFTER EACH RAINFALL AND SHALL BE CLEANED, REPAIRED, OR REPLACED AS INDICATED IN THE EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE ON THIS SHEET.
- FINAL GRADES SHALL BE ESTABLISHED WITHIN 7 DAYS AND TOP SOILED AND SEEDED TO PROVIDE A PERMANENT TURF WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
- GRADED OR CLEAR AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH A MULCH COVER WHERE SEEDING MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDANT COVER.
- FINAL LANDSCAPING WILL BE REQUIRED OVER ANY PREVIOUSLY DISTURBED AREAS. SPREAD A MIN. 4" TOPSOIL OVER DISTURBED SOIL. APPLY SEED MIXTURE AS PER PLANTING SCHEDULE, APPLY STRAW MULCH AND WATER WITHIN TWO DAYS OF COMPLETION OF TOPSOILING.
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL 80% GRASS IS ESTABLISHED, SOIL IS STABILIZED, AND THERE IS NO EVIDENCE OF POTENTIAL FOR EROSION AS A RESULT OF CONSTRUCTION ACTIVITY.
- EROSION CONTROL MEASURES MAY ONLY BE REMOVED AT SUCH TIME THAT FINAL LANDSCAPING IS ESTABLISHED WHICH IS AT THE DISCRETION OF THE TOWN ENGINEER. AT THAT TIME, STRUCTURES ARE TO BE REMOVED IN REVERSE ORDER WITH THE UP SLOPE STRUCTURES BEING REMOVED FIRST AND THEN PROCEEDING DOWN SLOPE.

EROSION CONTROL NOTES

7

Approved by Town of North Castle Planning Board Resolution, Dated: September 27, 2021

Christopher Carthy, Chairman, Date

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermele, PE
Kellard Sessions Consulting
Consulting Town Engineers Date

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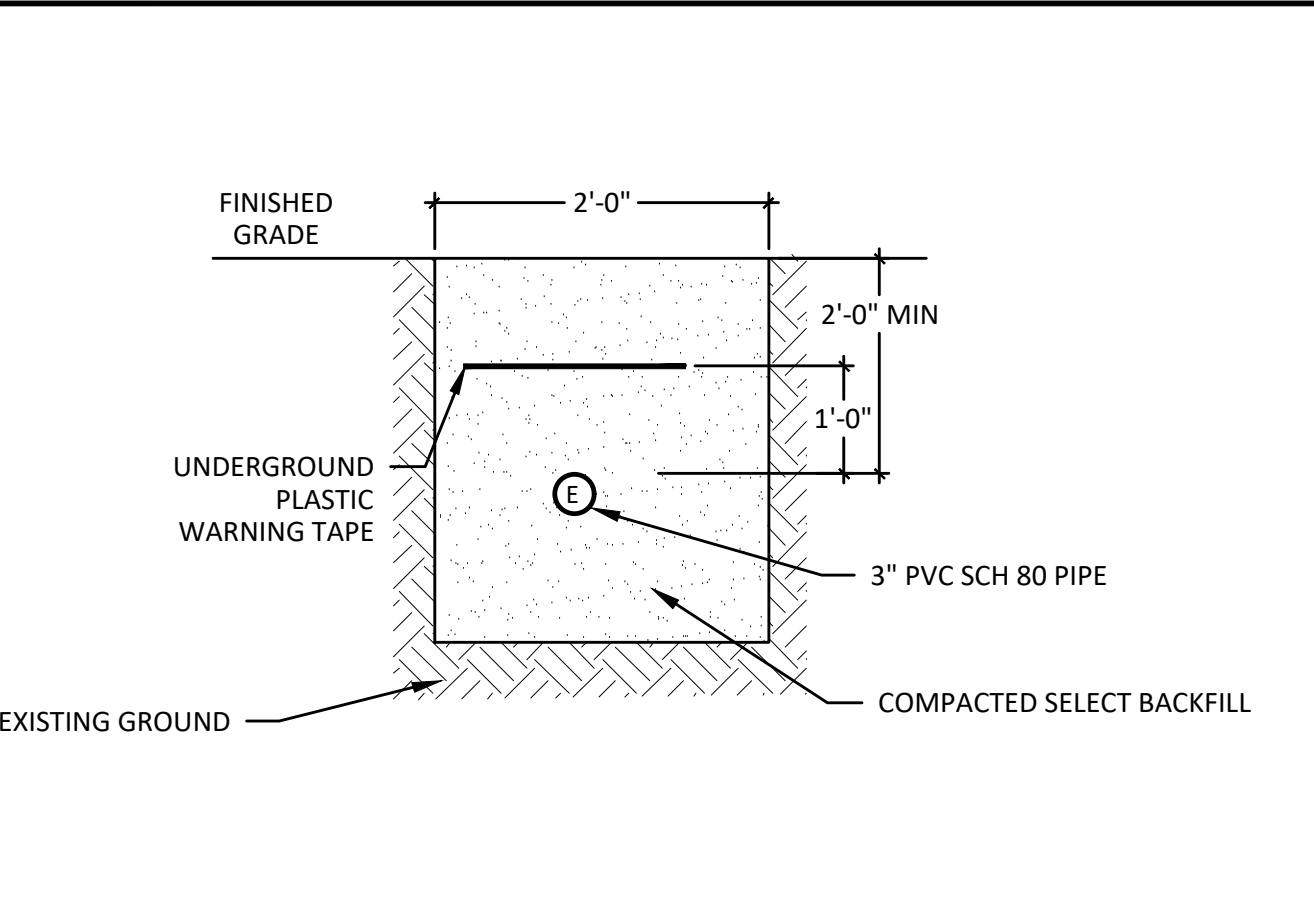
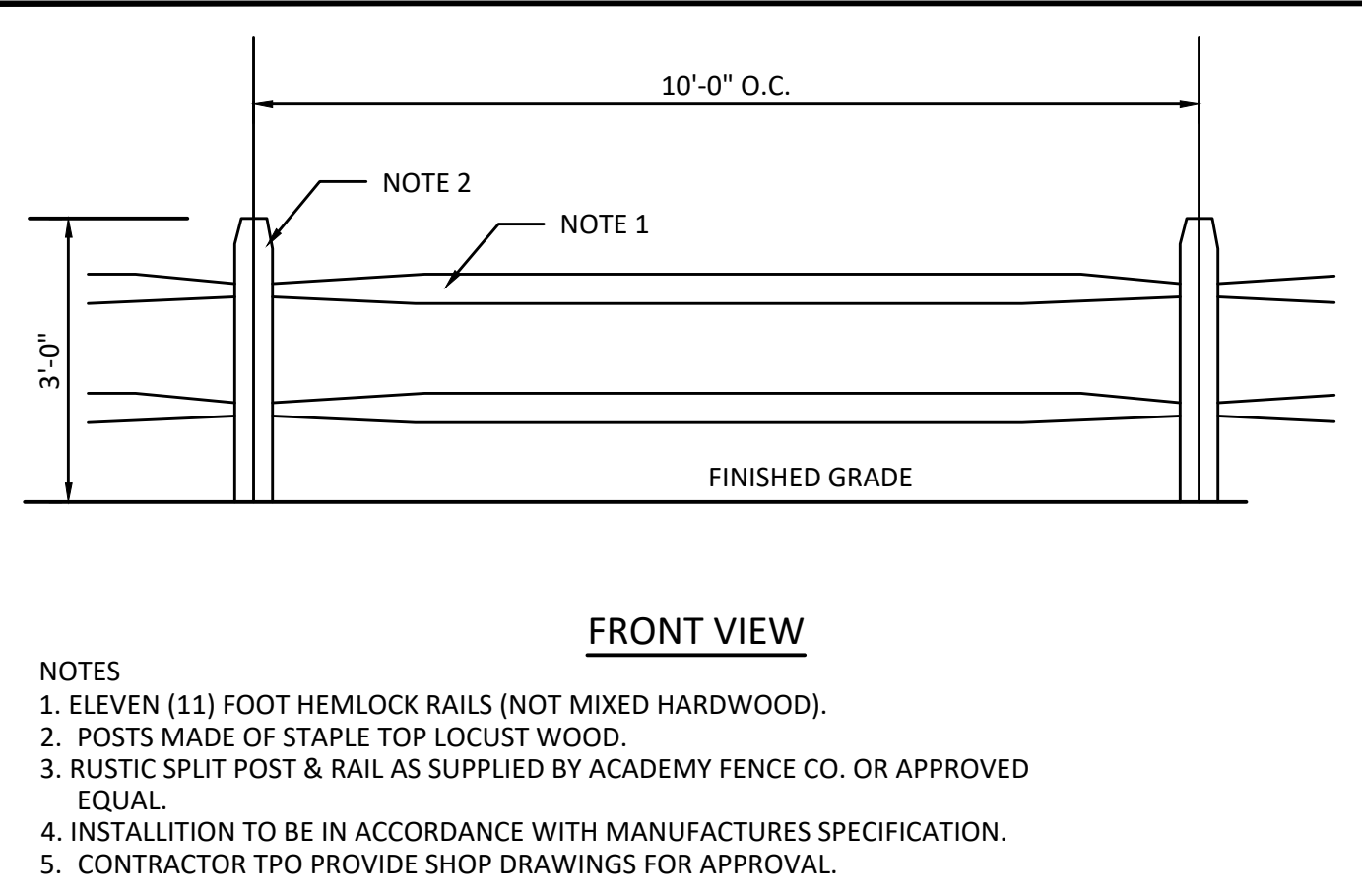
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MASSOUH RESIDENCE ADDITION
8 Cole Drive
Town of North Castle
Westchester County, New York

TITLE:
EROSION CONTROL DETAILS

Scale: N.T.S.
Date: 3/22/2021
Drawn By: KMM
Checked By: PJG
Project No.: PJG-16
Sheet No.: 3 of 4
Dwg. No.: D-101



8 COLE DRIVE & 24 DAVIS DRIVE
GENERAL SEQUENCE OF CONSTRUCTION:

CONSTRUCTION OF PROPOSED ADDITION TO EXISTING DWELLING AT 8 COLE DRIVE
CONSTRUCTION OF RELOCATED DRIVEWAY AND MITIGATION FOR 24 DAVIS DRIVE.

GENERAL SEQUENCE OF CONSTRUCTION:

THE PROJECT WILL INCLUDE THE SIMULTANEOUS CLEARING FOR AND CONSTRUCTION OF AN ADDITION TO THE EXISTING DWELLING AT 8 COLE DRIVE AND THE MODIFICATION TO THE LOCATION OF THE EXISTING DRIVEWAY AT 24 DAVIS DRIVE WITH STORMWATER MITIGATION SYSTEMS. IN ADDITION, A CONSTRUCTION ACCESS BETWEEN 24 DAVIS AND 8 COLE DRIVE WILL BE CREATED IN ORDER TO TRANSFER EXCAVATED MATERIAL TO A STAGING/STOCKPILING AREA ON 24 DAVIS FOR THE STORAGE OF EXCAVATED MATERIAL GENERATED FROM THE ADDITION EXCAVATION AND BE USED AS FILL MATERIAL FOR THE PROPOSED 24 DAVIS RELOCATED DRIVEWAY.

NO DISTURBANCE BEYOND THE LIMITS OF CLEARING AND GRADING WILL BE PERMITTED, DISTURBED AREAS WILL NEED TO BE STABILIZED, ACHIEVING FINAL STABILIZATION, WHICH IS DEFINED AS AT LEAST 80% VEGETATION COVER, AND ALL OF THE WORK HAS MET THE SATISFACTION OF THE TOWN ENGINEER.

GENERAL PRINCIPLES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES AND PROCEDURES SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, 2016 EDITION.
- ALL WORK AND PROCEDURES SHALL COMPLY WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT NO. GP-0-20-001 (GENERAL PERMIT), PART 1, B.1.8 (SOIL STABILIZATION).
- STRUCTURAL MEASURES PROPOSED WILL BE REMOVED WHEN VEGETATIVE COVER HAS BEEN RESTORED AND WILL NOT SERVE AS PERMANENT STORMWATER CONTROLS AFTER CONSTRUCTION IS COMPLETE. NON-STRUCTURAL MEASURES SPECIFIED ON THE EROSION CONTROL PLAN INCLUDE PROCEDURES TO MINIMIZE VEGETATION CLEARING, EXPEDITE RE-VEGETATION, PROTECT WATERCOURSES AND WETLANDS, AND CONTROLLING THE PEAK RATE AND FLOW OF STORMWATER RUNOFF.
- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM AND SHALL NOT EXCEED 5 ACRES AT ANY TIME UNLESS OTHERWISE AUTHORIZED BY THE LOCAL MS4.

INITIAL PHASES

- STAKE OUT OF LIMIT OF DISTURBANCE - THE PROJECT SURVEYOR SHALL STAKE OUT THE CLEARING AND GRADING LIMIT LINE ASSOCIATED WITH PROPOSED ADDITION TO THE DWELLING AT 8 COLE DRIVE AND THE DRIVEWAY MODIFICATION AT 24 DAVIS. CONTRACTOR SHALL INSTALL ORANGE MESH CONSTRUCTION FENCE TO DELINEATE LIMIT OF DISTURBANCE. AREAS BEYOND THE CLEARING AND GRADING LINE ARE TO BE PROTECTED FROM DISTURBANCE. EVALUATE, MARK AND PROTECT SIGNIFICANT TREES (CALIPER OF 6" OR MORE AT A HEIGHT OF 3 FEET ABOVE THE GROUND) ALONG THE EDGE OF THE LIMITS OF DISTURBANCE TO REMAIN. CONTRACTOR TO INSTALL TREE PROTECTION FOR THOSE TO REMAIN.
- PRE-CONSTRUCTION MEETING - PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY, A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE SITE WITH THE CONTRACTOR, DESIGN ENGINEER AND TOWN OF NORTH CASTLE'S CONSULTANT ENGINEER TO CONFIRM THE LIMIT OF DISTURBANCE LINE AND REVIEW THE SEQUENCE OF CONSTRUCTION AND CONSTRUCTION SCHEDULE. A RECORD OF THE OBSERVATION OF THE CONDITION OF THE WETLAND AREAS AND DRAINAGE CORRIDOR WILL BE ONE OF THE SUBJECTS DISCUSSED AT THIS MEETING.
- SITE ACCESS AND TREE REMOVAL - THE CONTRACTOR SHALL INSTALL A 20' WIDE TEMPORARY CONSTRUCTION ACCESS ROAD FROM THE EXISTING DRIVEWAY AT 24 DAVIS TO THE PROPOSED ADDITION AREA ON 8 COLE DRIVE AS INDICATED ON THE 8 COLE DRIVE SITE PLAN. THE ACCESS ROAD SHALL BE CONSTRUCTED AND PROVIDED WITH A STABILIZED CONSTRUCTION ENTRANCE (GRAVEL ANTI-TRACKING PAD) AT THE CONSTRUCTION ENTRANCE TO CAPTURE MUD AND DEBRIS FROM CONSTRUCTION TRAFFIC PRIOR TO ENTERING EXISTING DRIVEWAY ON 24 DAVIS. THE EXISTING DRIVEWAY ON 24 DAVIS WILL SERVE AS A HAUL ROAD BEGINNING AT THIS POINT AND SHALL BE UTILIZED FOR REMOVING CUT TREES AND TRANSPORTING MATERIAL THROUGH THE 24 DAVIS SITE.

- DRIVEWAY CONSTRUCTION STA. 0+00 TO STA. 3+00 - CONTRACTOR SHALL BEGIN BY INSTALLING SALVAGED BOULDERS ALONG DOWNHILL SIDE OF EXISTING DRIVEWAY AS PHYSICAL BARRIER TO FUTURE FILL PLACEMENT. STRIP TOPSOIL, REMOVE LOOSE STONE MATERIAL AND BOULDERS TO PREPARE FOR FUTURE FILL PLACEMENT. EXISTING ASPHALT DRIVEWAY TO REMAIN AND SERVE AS CONSTRUCTION ACCESS THROUGH SITE AND EMERGENCY ACCESS TO RESIDENCE.
- DRIVEWAY CONSTRUCTION STA. 4+00 TO STA. 4+50 - CONTRACTOR SHALL BEGIN PLACING FILL FROM STOCKPILED MATERIAL PLACED IN UPPER AREA AT 24 DAVIS. FILL SHALL BE PLACED IN PROPOSED DRIVEWAY BETWEEN STATION 0+00 TO 3+00 AND THEN BETWEEN STATION 4+00 TO 4+50. DRIVEWAY AREA BETWEEN STATION 3+00 AND 4+00 (EXISTING DRIVEWAY AREA TO DWELLING) SHALL REMAIN UNOBSTRUCTED UNTIL SUCH TIME THAT ACCESS TO 8 COLE DRIVE IS NO LONGER REQUIRED.
- DRIVEWAY CONSTRUCTION STA. 4+50 TO STA. 6+00 EXCAVATION WILL OCCUR IN THIS SECTION OF PROPOSED DRIVEWAY. EXCAVATED MATERIAL FROM THIS SECTION OF WORK WILL BE USED AS FILL MATERIAL BETWEEN STATION 4+00 TO 5+00.
- STORMWATER MITIGATION CONSTRUCTION - AS ROUGH GRADING FOR 24 DAVIS DRIVEWAY CONTINUES, THE CONTRACTOR SHALL BEGIN TO INSTALL STORMWATER MITIGATION SYSTEM FOR RUNOFF ASSOCIATED WITH THE MODIFIED DRIVEWAY. ANY EXCESS MATERIAL REMOVED FROM SYSTEM SHALL BE HAULED TO STOCKPILE AREA INDICATED ON PLAN TO BE USED FOR FILL PLACEMENT OF PROPOSED DRIVEWAY. SYSTEMS TO BE BACKFILLED, GRADED, AND SEEDED AND CORDONED OFF TO BE PROTECTED FROM ACTIVITY.
- BACKFILLING OF FOUNDATION OF ADDITION 8 COLE DRIVE - CONSTRUCTION OF ADDITION TO CONTINUE AND UTILIZE EXISTING 24 DAVIS DRIVEWAY FOR CONCRETE DELIVERY AND BRINGING BACKFILL MATERIAL BACK ONTO 8 COLE DRIVE. ONCE FOUNDATION IS INSTALLED AND BACKFILLED, REMOVAL OF CONSTRUCTION ACCESS AND EXISTING ASPHALT DRIVEWAY ON 24 DAVIS CAN BEGIN. REMOVAL TO OCCUR BETWEEN 24 DAVIS DWELLING AND INTERSECTION OF EXISTING DRIVEWAY WITH PROPOSED DRIVEWAY.
- AT THE COMPLETION OF THE INSTALLATION OF STORMWATER MITIGATION SYSTEM ON 24 DAVIS AND IT BEING CORDONED OFF, THE CONTRACTOR WILL INSTALL PROPOSED CULVERT BENEATH PROPOSED DRIVEWAY, CONTINUE FILLING TO SUBGRADE, REMOVE TEMPORARY BOULDER BARRIERS AND CONNECT PROPOSED DRIVEWAY TO DWELLING. ONCE CONNECTION IS ESTABLISHED, STORMWATER DRAINAGE PIPING ALONG THE DRIVEWAY TO BE INSTALLED TO CONVEY STORMWATER TO THE SYSTEM AREA. SYSTEM SHALL REMAIN OFFLINE UNTIL SUCH TIME THAT THE SITE IS STABILIZED.
- CONSTRUCTION OF ADDITION TO 8 COLE DRIVE RESIDENCE TO CONTINUE WITH FRAMING, AND INTERIOR WORK. UPON BACKFILL OF FOUNDATION, CONTRACTOR SHALL ESTABLISH ROUGH GRADE IN DISTURBED AREA. STORMWATER COLLECTION SYSTEM AND ROOF DRAIN CONNECTIONS SHALL BE INSTALLED AND CONNECTED TO EXISTING STORMWATER MITIGATION SYSTEM. A FUTURE STUB CONNECTION SHALL BE PROVIDED TO ALLOW FOR FUTURE CONNECTION OF POOL AND CABANA STORM DRAINAGE.
- WHILE THIS WORK IS PROGRESSING, PROVIDE INLET PROTECTION AT ALL DRAIN INLETS. ANY EXCESS MATERIAL TO BE TRANSPORTED OFF SITE. **STORMWATER RUNOFF SHALL NOT BE DIRECTED INTO THESE STORMWATER MANAGEMENT PRACTICES UNTIL THE CONTRIBUTING AREAS HAVE ACHIEVE FINAL STABILIZATION.**
- STABILIZE DRIVEWAY AREAS - WHEN INSTALLATION OF THE DRAINAGE LINES IS COMPLETE, THE CONTRACTOR SHALL STABILIZE THE ENTIRE DISTURBED AREA ALONG DRIVEWAY SHOULDER AREAS. IN ADDITION, ROUGH GRADE WITHIN THE LIMITS OF DISTURBANCE THE DRIVEWAY AND ADJACENT SHOULDERS AND SLOPES. AFTER SEEDING, INSTALL THE EROSION CONTROL MATTING ACCORDING THE MANUFACTURER'S SPECIFICATIONS. IN STEEP SLOPE AREAS TO RECEIVE EROSION CONTROL MATTING, ESTABLISH THE PROPOSED FINAL GRADES, AND PERFORM THE NECESSARY FINE GRADING, SEEDING, AND MULCHING WITHIN 7 DAYS OF THE WORK, OR PRIOR TO ANY FORECAST PRECIPITATION EVENT.
- TEMPORARY DIVERSION SWALES/WATER BARS SHALL BE INSTALLED PERPENDICULAR TO THE RESTORED DRIVEWAY AREA AS INDICATED ON THE EROSION CONTROL PLAN. TEMPORARY DIVERSION SWALES SHALL BE STABILIZED WITH THE FOLLOWING SEED MIX (AS PER THE 2016 NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL:

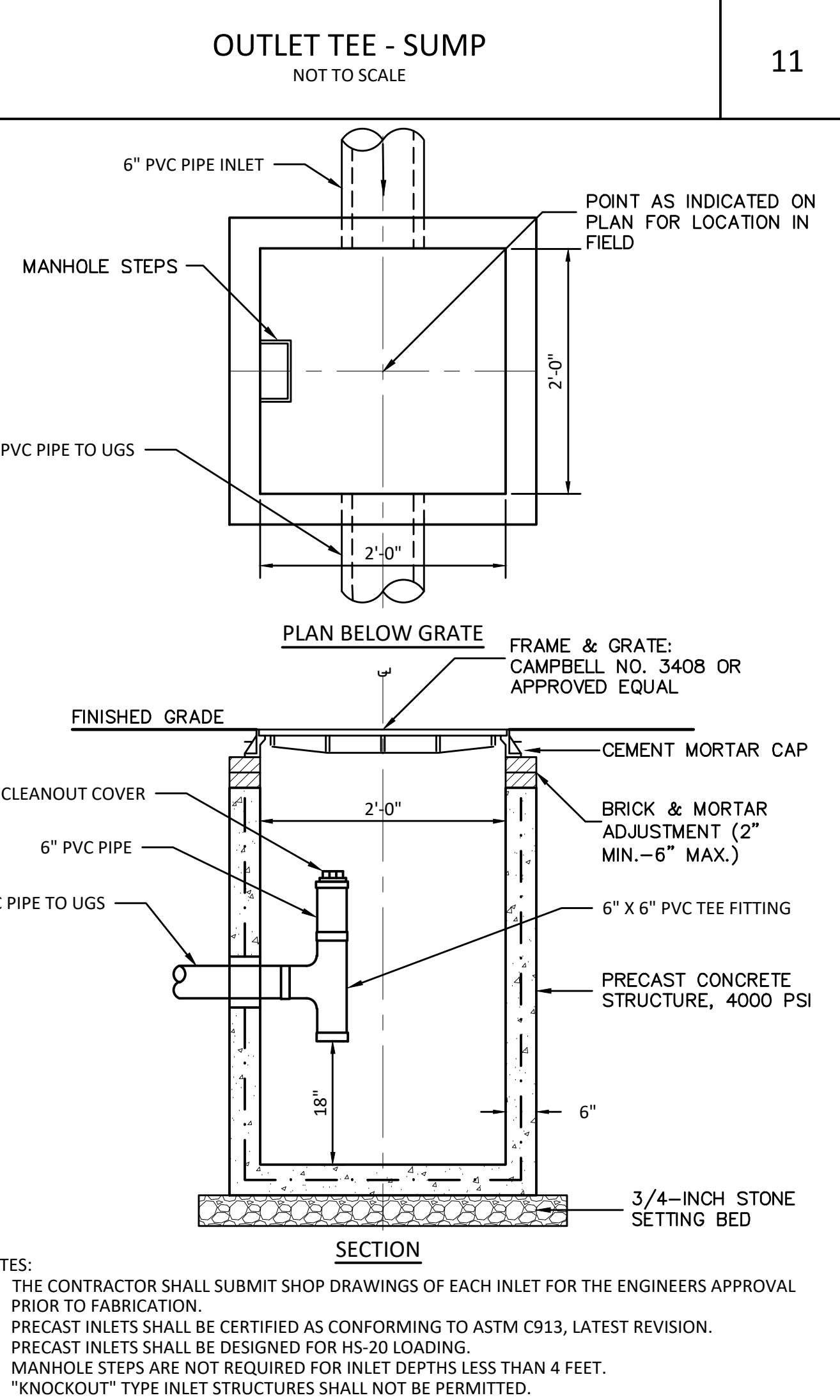
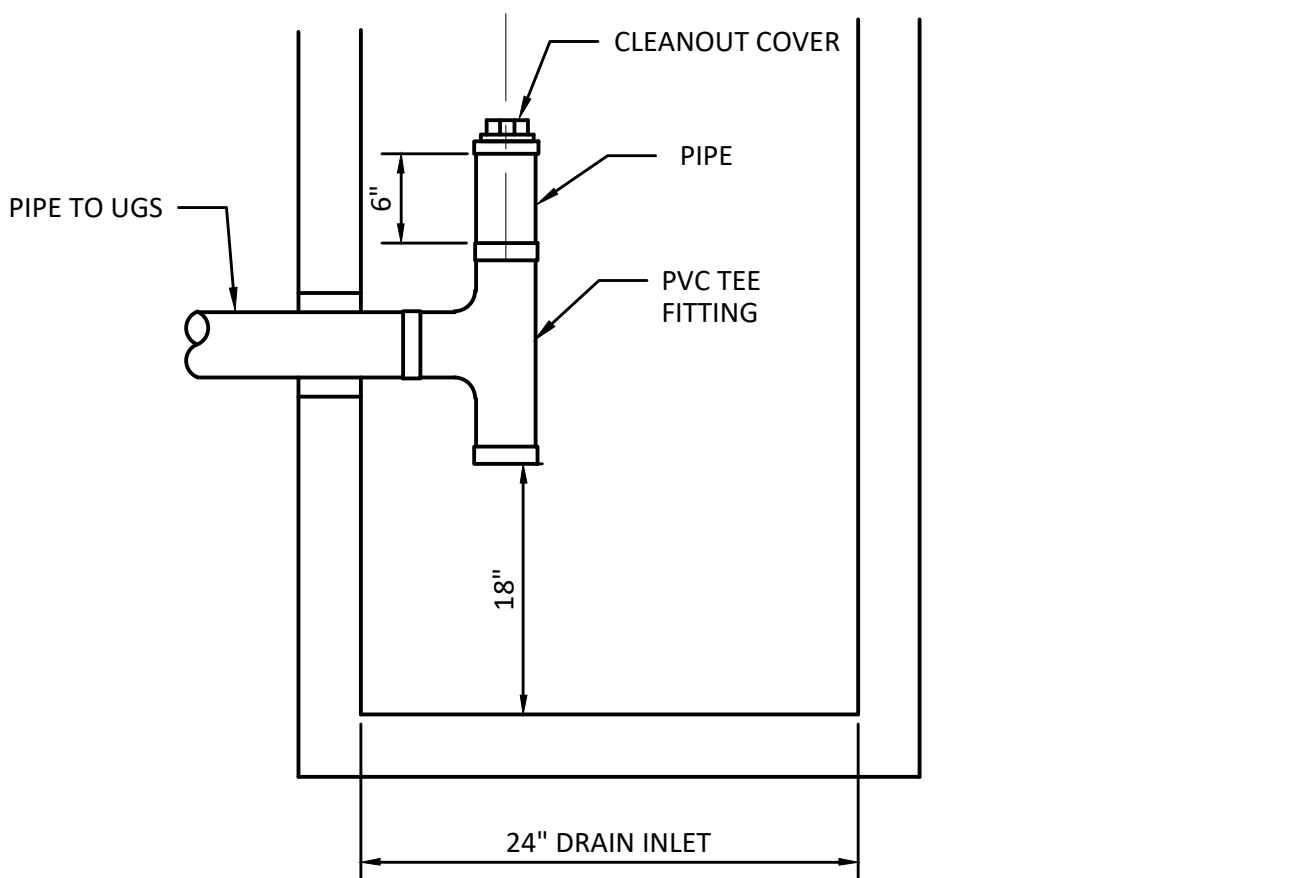
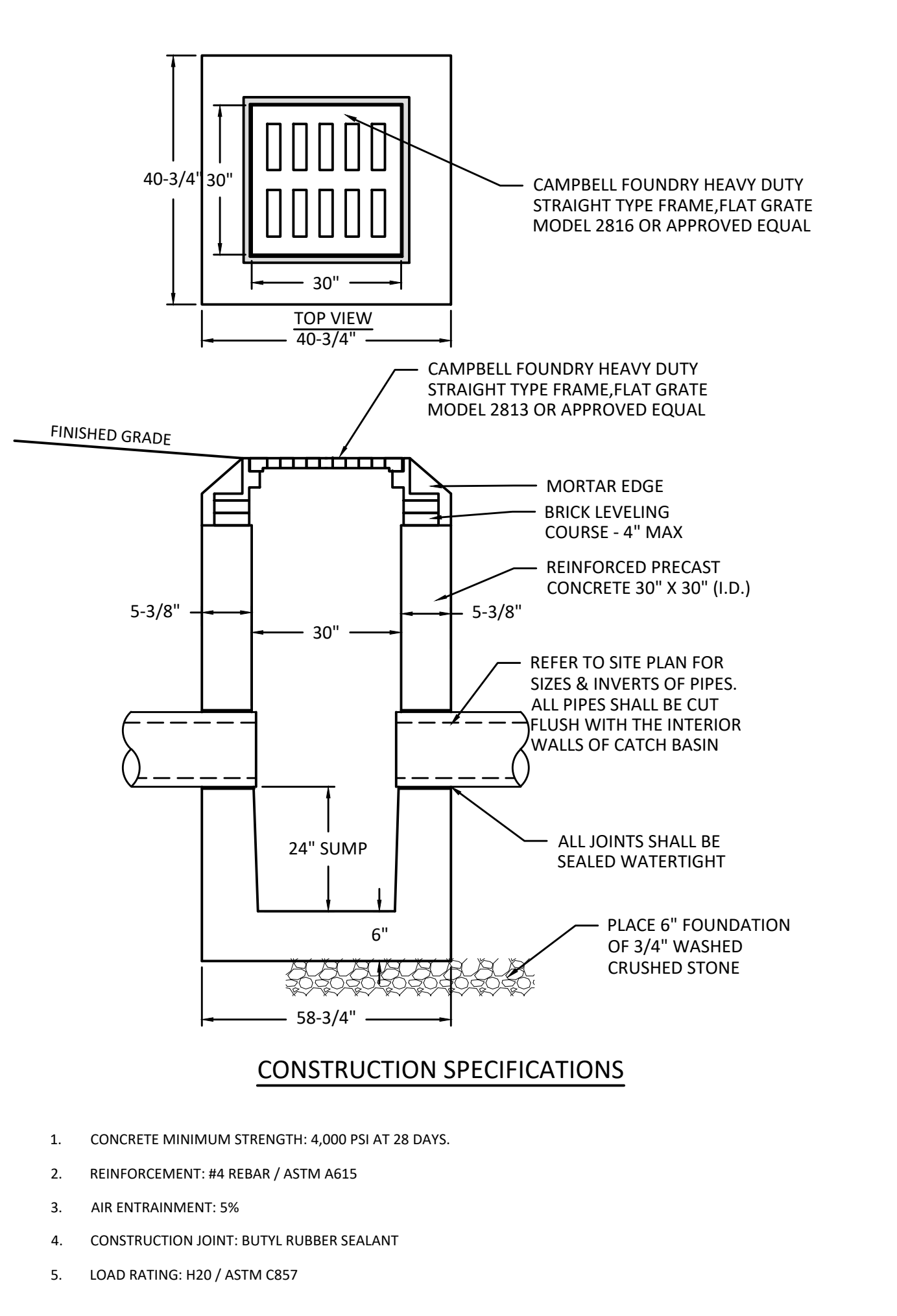
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RUSTIC SPLIT POST & RAIL FENCE
NOT TO SCALE

8

UTILITY TRENCH DETAIL
NOT TO SCALE

9



- TREES AND BRUSH WITHIN THE LIMIT OF DISTURBANCE DELINEATED FOR BOTH THE PROPOSED 8 COLE ADDITION AND 24 DAVIS DRIVEWAY MODIFICATION ARE TO BE REMOVED. BRANCHES AND SMALL CALIPER TREES ARE TO BE CHIPPED AND STOCKPILED FOR USE AS COVER FOR BARE AREAS OF GROUND FROM LAND GRADING ACTIVITIES. LARGER CALIPER TREES SUITABLE FOR LOGGING WILL BE DRAGGED TO 24 DAVIS DRIVEWAY ENTRANCE AND LOADED ONTO TRUCKS AND HAULED OFF-SITE. INITIALLY ALL STUMPS SHALL REMAIN TO MAINTAIN SLOPE STABILITY. STUMPS SHALL ONLY BE REMOVED AS CONSTRUCTION PROGRESSES IN THE SEQUENCE TO MINIMIZE DISTURBANCE AND MAINTAIN STABILITY. NO DEBRIS SHALL BE BURIED ON SITE. STUMPS SHALL BE REMOVED AND STOCKPILED, LOADED INTO DUMPSTERS AND/OR DUMP TRUCKS AND HAULED OFF-SITE. ANY SEDIMENT TRACKED ONTO PUBLIC STREETS SHOULD BE REMOVED OR CLEANED DAILY.
- INSTALL PERIMETER SEDIMENT CONTROLS - INSTALL SILT FENCE IN THE LOCATIONS SHOWN ON THE PLANS. SILT FENCE MATERIAL AND INSTALLATION SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS. SILT FENCE SHOULD BE PLACED ON OR PARALLEL TO THE CONTOUR WHERE THERE IS NO CONCENTRATION OF WATER FLOWING TO THE SILT FENCE AND WHERE EROSION OCCURS IN THE FORM OF SHEET EROSION. THE AREA BELOW THE SILT FENCE SHOULD BE UNDISTURBED GROUND
- CORDON OFF INFILTRATION AND SEPTIC AREAS - CONTRACTOR TO INSTALL ORANGE MESH CONSTRUCTION FENCE TO CORDON OFF EXISTING AND PROPOSED STORMWATER MANAGEMENT AREAS, (EXISTING ON 8 COLE AND PROPOSED MITIGATION AREA AT 24 DAVIS). SEPTIC SYSTEMS FOR EACH PARCEL ARE TO BE LOCATED AND CORDONED OFF FOR PROTECTION PRIOR TO COMMENCEMENT OF ANY WORK. THERE SHALL BE NO CONSTRUCTION-RELATED ACTIVITY, PARKING OF VEHICLES OR STOCKPILING OF MATERIAL IN THESE AREAS.
- INSPECTION OF SEDIMENT AND EROSION CONTROL PRACTICES - PRIOR TO COMMENCEMENT OF FURTHER EXCAVATION FOR THE ACCESS ROAD, STORAGE AREA AND TREE REMOVAL, THE TOWN OF NORTH CASTLE'S CONSULTANT ENGINEER AND TOWN OF NORTH CASTLE BUILDING INSPECTOR SHALL BE NOTIFIED TO OBSERVE THE SEDIMENT AND EROSION CONTROL MEASURES ARE IN PLACE ACCORDING TO THE EROSION CONTROL DRAWINGS.

COMMENCE SIMULTANEOUS CONSTRUCTION

- CONTRACTOR TO ESTABLISH BOULDER BARRIER - ALONG EACH SIDE OF EXISTING 24 DAVIS DRIVEWAY, AT POINT OF ITS INTERSECTION OF THE PROPOSED DRIVEWAY, CONTRACTOR SHALL PLACE TEMPORARY BOULDER BARRIER (IN LIEU OF CULVERT) TO ALLOW PLACEMENT OF FILL ON EACH SIDE ASSOCIATED WITH PROPOSED DRIVEWAY. CONTRACTOR SHALL STRIP TOPSOIL, REMOVE LOOSE STONE MATERIAL AND BOULDERS ENCOUNTERED ON SURFACE AND PLACE IN MANNER TO PROVIDE RETAINING BARRIER ON EACH SIDE OF EXISTING DRIVEWAY. THIS WILL ALLOW FOR SITE GRADING OF PROPOSED DRIVEWAY WHILE TEMPORARILY MAINTAINING ACCESS TO EXISTING DWELLING AT 24 DAVIS DRIVE. AN EXCAVATOR WILL SCARIFY THE AREA TO MAKE SUITABLE FOR PLACEMENT OF FILL OF EXCAVATED MATERIAL FROM 8 COLE DRIVE ADDITION. CONTRACTOR SHALL FOLLOW PATH OF ACCESS ROAD INDICATED ON PLAN TO STOCKPILE AREA ON 24 DAVIS. WHILE SOIL IS BEING STORED ON-SITE, STOCKPILE MUST BE SURROUNDED WITH SILT FENCE AT ALL TIMES.
- EXCAVATION OF FOUNDATION OF ADDITION 8 COLE DRIVE - CONTRACTOR SHALL BEGIN TO EXCAVATE FOUNDATION FOR ADDITION AT 8 COLE DRIVE. EXCAVATED MATERIAL WILL PROVIDE FILL FOR PLACEMENT TO CREATE MODIFIED DRIVEWAY AT 24 DAVIS. EXCAVATED MATERIAL TO BE HAULED ALONG EXISTING DRIVEWAY TO STOCKPILE AREA ON 24 DAVIS FOR FUTURE PLACEMENT ON DRIVEWAY. MATERIAL WILL BE PLACED ON PROPOSED DRIVEWAY BETWEEN UPPER AREA AND BOULDER BARRIER AT BASE OF SLOPE.

- PLACEMENT OF BINDER COURSE FOR COMMON DRIVEWAY - CONTRACTOR SHALL SET FRAMES, GRATES AND COVERS OF DRAINAGE STRUCTURES. INSTALL BINDER COURSE BEGINNING AT DAVIS DRIVE AND PROGRESSING UP TO MAIN DWELLING. ONCE BINDER COURSE IS PLACED, REMOVE INLET PROTECTION AND CLEAN DRAINAGE FACILITIES OF SEDIMENT AND DEBRIS.
- INSTALL CONNECTION TO STORMWATER PRACTICES - WITH THE PLACEMENT OF THE BINDER COURSE, MAKE CONNECTIONS TO PROPOSED MITIGATION SYSTEM ON 24 DAVIS PROPERTY.
- INSTALL GUIDE RAIL AND LANDSCAPING AS INDICATED ON THE SITE PLAN AND LANDSCAPING/MITIGATION PLANS. LANDSCAPING ASSOCIATED WITH EXISTING DRIVEWAY RESTORATION AND WETLAND MITIGATION PLANTINGS SHALL BE INSTALLED. ALL DISTURBED AREAS NOT OTHERWISE SCHEDULED TO RECEIVE PLANTINGS, PAVEMENTS, OR OTHER MATERIALS, SHALL BE FINE GRADED, SEEDED, AND MULCHED WITH HAY.
- PLACEMENT OF ASPHALT TOP COURSE - ASPHALT TOP COURSE SHALL BE PLACED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE INDIVIDUAL LOTS.

EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SUCH TIME THAT VEGETATION IS ESTABLISHED, AND SITE HAS ACHIEVED FINAL STABILIZATION. FINAL STABILIZATION - MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PVIOUS SURFACE HAS BEEN ESTABLISHED; OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

NO.	REVISION	DATE
1	SITE PLAN RESOLUTION	2/7/2022
2	ISSUED FOR SITE PLAN REVIEW	3/1/2022
3	ISSUED FOR PLANNING BOARD	3/10/2022
4	RESOLUTION	5/2/2022
5	TOWN ENGINEER REVIEW	8/5/2022
6	DRAINAGE IMPROVEMENTS	12/11/2023

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MASSOUH RESIDENCE ADDITION
8 Cole Drive
Town of North Castle
Westchester County, New York

TITLE: **STORMWATER DETAILS AND NOTES**

Scale:	N.T.S.
Date:	3/22/2021
Drawn By:	KMM
Checked By:	PJG
Project No.:	PJG-16
Sheet No.:	4 of 4
Dwg. No.:	D-102

G:\PROJECTS\10\PJG-16_24 Davis Drive\AutoCAD\SP\Amended Site Plan Lot 8.dwg

Approved by Town of North Castle Planning Board Resolution, Dated: September 27, 2021

Christopher Carthy, Chairman,
Town of North Castle Planning Board

Engineering Plans Reviewed for Conformance to Resolution:

Joseph M. Cermelo, PE
Kellard Sessions Consulting
Consulting Town Engineers

GENERAL SEQUENCE OF CONSTRUCTION NOTES

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