VENERUSO, CURTO, SCHWARTZ & CURTO, LLP

ATTORNEYS & COUNSELORS AT LAW

James J. Veneruso (Also Fl) Joseph R. Curto Michael J. Curto Steven A. Accinelli (Also Ct) Stephen A. Veneruso (Also Fl)

Susana M. Papakanakis

The Webster Bank Building 35 East Grassy Sprain Road, Suite 400 Yonkers, New York 10710

> (914) 779-1100 (914) 779-0369 fax www.vcsclaw.com

Of Counsel Vincent Castellano William E. Sulzer (Also NJ) Tracey Spencer Walsh Stephen J. Schwartz

Writer's Direct E-Mail:

January 25, 2024

Planning Board Town of North Castle 17 Bedford Road Armonk, New York 10504

Re: Application for Special Use Amendment Applicant: Church of CMA Hillside Premises: 448 Bedford Road, Armonk (Section 108.02, Block 1, Lot 41) Zoning District: R2A

Dear Mr. Chairman:

Our office is counsel to Church of CMA Hillside ("Applicant") in connection with this Special Use Permit Amendment Application ("Application") for the premises.

The Applicant operates a church at the premises and on the lower levels of the church is a nursery school. The current special use permit for the property allows for two (2) classrooms but the current configuration of the school has a total of six (6) classrooms. As part of the legalizations of interior renovations at the Property, the Applicant became aware of this discrepancy in the number of classrooms listed on the Special Use Permit and is now seeking to modify the Special Use Permit to match existing conditions. Our office has met with the Building Department prior to this submission.

It should be noted, the nursery school is fully licensed and all annual fire inspections have been performed and passed.

We thank you for your consideration and respectfully request to be included on the Agenda for the February 26, 2024 meeting of the Planning Board.

Very truly yours,

Stephen A. Veneruso

Enclosures

RIDGEWAY ALLIANCE CHURCH Christian & Missionary Alliance Church 465 Ridgeway White Plains, NY 10605	Orange Bank and Trust Company 42 Waller Avenue White Plains, NY 10601 50-247/219	3068 01/22/2024
AY TO THE Town of North Castle		\$ **250.00
Two hundred (ifty and 00/100*********************************	******	DOLLARS
Town of North Castle 17 Bedford Rd. Armonk, NY 10504 United States	DAGAINST FRAUD	
^{AEMO} Special Use Permit Application Fee	tung	Sym
	SILISTED ON BACK INDICATE NO TAMPERING OR COPYIN	G
CASH ONLY IF ALL CheckLock TM SECURITY FEATURE RIDGEWAY ALLIANCE CHURCH Christian & Missionary Alliance Church 465 Ridgeway White Plains, NY 10605 AY TO THE Town of North Castle	ES LISTED ON BACK INDICATE NO TAMPERING OR COPYIN Orange Bank and Trust Company 42 Waller Avenue White Plains, NY 10601	3068
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Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504 (914) 273-3542 (914) 273-3554 (fax)

SPECIAL USE PERMIT COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all preliminary special use permit plans. Failure to provide all of the information requested will result in a determination that the special use permit application is incomplete. The review of the plan for completeness will be based on the requirements of the Town of North Castle Town Code.

Project Name on Plan: <u>Hillside Church of the Christian Missionary Alliance Special Use Permit</u> Munitial Submittal Revised Preliminary (amendment)
Initial Submittal Revised Preliminary (Omendment)
Street Location: 448 Bedfeerd Road
Zoning District: <u>RAA</u> Property Acreage: <u>5</u> Tax Map Parcel ID: <u>/08.02-1-4</u> /
Date: 1/25/24
DEPARTMENTAL USE ONLY
Date Filed: Staff Name:
Preliminary Plan Completeness Review Checklist Items marked with a "⊠" are complete, items left blank "□" are incomplete and must be completed, "NA" means not applicable.
□1. A written statement describing the nature of the proposed special use and how it will serve to implement the intent and purposes of the Town Code
2. A complete application for special use permit approval form
3. Plan prepared by a registered architect or professional engineer
4. Map showing the applicant's entire property and adjacent properties and streets
5. A locator map at a convenient scale
6. The proposed location, use and design of all buildings and structures
7. Proposed division of buildings into units of separate occupancy, detailed breakdowns of all proposed floor space by type of use and floor level

PRELIMINARY SITE PLAN COMPLETENESS REVIEW FORM

Page 2

8.	Existing topography and proposed grade elevations
] 9.	Location of drives
<u> </u>	Location of any outdoor storage
□11.	Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences
□ 12.	Description of method of water supply and sewage disposal and location of such facilities
□13.	Location, design and size of all signs
□ 14.	Location and design of lighting, power and communication facilities
<u></u> 15.	In an industrial district, specific uses proposed, number of employees for which buildings are designed, type of power to be used for any manufacturing process, type of wastes or by-products to be produced by any manufacturing process and proposed method of disposal of such wastes or by-products
<u> </u>	In a multifamily district, floor plans of each dwelling unit shall be shown, and elevations and cross sections also may be required
[]17.	The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
<u> </u>	Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
<u> </u>	If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
<u></u> 20.	If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: http://www.northcastleny.com

On this date, all items necessary for a technical review of the proposed special use permit plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

APPLICATIONS REQUIRING PLANNING BOARD APPROVAL SCHEDULE OF APPLICATION FEES

Type of Application	Application Fee
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee Prior to submission of a sketch or preliminary subdivision Plat ar	\$200.00

Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.

Any amendment to previously approved applications requires new application forms and Fes



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application</u> <u>Deposit*</u>	Amount of Initial Escrow Account
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each
Subdivision:	required parking space X Per Adam Kaufman via email 1/19/24 #4,000 total FEC/escrow OK.
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

22/24

Applicant Signature

Date



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY 17 Bedford Road Armonk, New York 10504-1898

PLANNING DEPARTMENT Adam R. Kaufman, AICP Director of Planning

Telephone: (914) 273-3542 Fax: (914) 273-3554 www.northcastleny.com

Application for Special Use Permit Approval

Application Name

Hillside Church of the Christian Missionary Alliances Mat Lise mit Amendment

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

	Name of Property Owner: <u>HIIISIde Ch</u>	who the Christia	n missionary All lance
	Mailing Address: 448 Bedferd	Road, Armonk, 1	NY 10304
*	Telephone: Clo PHONNEY Fax:		
	Name of Applicant (if different): <u>H1/1S10</u>	e Church of the Chri	stan Missionary Alliance
	Address of Applicant: 448 Bedrord	Rad, Amonk, NY	10504
¥	Telephone: Clo attorney_Fax:	e-m	nail
	Interest of Applicant, if other than Property C	Owner:	_
	Is the Applicant (if different from the proper	ty owner) a Contract Vendee?	
	Yes No		
	If yes, please submit affidavit sating such. If	f no, application cannot be reviewe	ed by Planning Board
	Name of Professional Preparing Site Plan: Thomas J. Curro Archin	ect, PC	
		-	ENY 10708
	Address: <u>81 Pondfield Rd</u> , S. Telephone: <u>914462-2927</u> F.	ax:	e-mail <u>TI Curro @gmail.co</u> m
	Name of Other Professional:		
	Address:	. 2	
	Telephone: F	Sax:	e-mail
×	Name of Attorney (if any): <u>Stephen</u> 1	A. Veneruso , E-Sg.	
	Address: <u>35 E. Grassy Spran</u> Telephone: <u>914-779-1100</u> F	n Rd , Sute 400, Yonke	20,NY 10710
	Telephone: <u>914-779-1100</u> F	Fax: <u>914-779-0369</u>	e-mail <u>s V CALIUS COV CSC/aw</u> .com

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

 $\underline{\qquad} Date: \underline{/22/24}$ $\underline{\qquad} Date: \underline{/22/24}$ Signature of Applicant X Signature of Property Owner

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 448 Bedford Road, Armonk
Location (in relation to nearest intersecting street):
1056 feet north south, east or west) of Cox Avenue
Abutting Street(s): <u>hone</u>
Tax Map Designation (NEW): Section 108.02 Block Lot 4/
Tax Map Designation (OLD): Section 2 Block 08 Lot 16.6
Zoning District: <u>R2A</u> Total Land Area <u>5acres</u>
Land Area in North Castle Only (if different)
Fire District(s) North Castle_School District(s) Byram Hills
Is any portion of subject property abutting or located within five hundred (500) feet of the following:
The boundary of any city, town or village? No X Yes (adjacent) Yes (within 500 feet) If yes, please identify name(s): The boundary of any existing or proposed County or State park or any other recreation area? No Yes (adjacent) Yes (within 500 feet) The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway? No Yes (adjacent) Yes (within 500 feet) The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines? No Yes (adjacent) Yes (within 500 feet) Yes Yes (within 500 feet) Yes
The existing or proposed boundary of any county or State owned land on which a public building or institution is situated? No Yes (adjacent) Yes (within 500 feet)
The boundary of a farm operation located in an agricultural district? No Yes (adjacent) Yes (within 500 feet)
Does the Property Owner or Applicant have an interest in any abutting property? No Yes

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Special Use Permit: Modi Fying existing class doms

Accessory Apartment ______

Accessory Structure over 800 square feet MA

Gross Floor Area: Existing <u>13,313</u> S.F. Proposed <u>13,313</u> S.F.

Number of Parking Spaces: Existing 115 Proposed 115 - no change

Earthwork Balance: Cut <u>*NIA*</u> C.Y. Fill <u>*NIA*</u> C.Y. <u>*NIA*</u>

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No Yes (If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No Yes Yes (If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No <u>Yes</u> Yes ______ (If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes ______ Yes ______ (If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The special use permit application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. Submission of the following shall be required:

- One (1) PDF set of the special use permit application package in a single PDF file.
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SPECIAL USE PERMIT SITE PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the special use permit plan for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 355 Article VII of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for special use permit approval.

The application for special use permit approval will not be accepted for Planning Board review unless all items identified below are supplied and so indicated with a check mark in the blank line provided. If a particular item is not relevant to the subject property or the development proposal, the letters "NA" should be entered instead.

The information to be included on a site development plan shall include:

Legal Data:

V Name of the application or other identifying title.

NA Name and address of the Property Owner and the Applicant, (if different).

V Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.

Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.



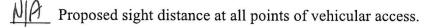
- Existing zoning, fire, school, special district and municipal boundaries.
 - Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- N/ρ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, offstreet parking, off-street loading and other pertinent requirements.
- \checkmark Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
 - North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- $\mathcal{N}\mathcal{W}$ A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- $\underline{N(P)}$ Location use and design of existing buildings, identifying first floor elevation, and other structures.
- $\underline{N[\rho]}$ Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- $N[\beta]$ Location, type, direction, power and time of use of existing outdoor lighting.
- $N|\rho$ Existing topographical contours with a vertical interval of two (2) feet or less.
- ND Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

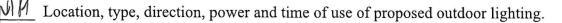
- $\underline{N(A)}$ Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- $\underline{N}[\underline{H}]$ Proposed location, use and architectural design of all buildings, including proposed floor plans and elevations.
- $\underline{N}[\underline{A}]$ Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.



- Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
 - Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.



Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.

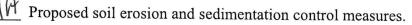


Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.

NA

The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.

Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.



For all proposed plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.

NP

For all proposed plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.

For all proposed plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

The special use permit application package shall also include a narrative document that demonstrates compliance with the following:

The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such use.

The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.



Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.

 \checkmark

Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.



Where required, The provisions of the Town Flood Hazard Ordinance shall be met.

 \cancel{M} The proposed special permit use will not have a significant adverse effect on the environment.

F:\PLAN6.0\Application Forms\2016 Full Set\Part B - Special Use 2016.doc



250 feet Abutters List Report North Castle, NY January 24, 2024

Subject Property:

Parcel Number:	108.02-1-41	Mailing Address:	HILLSIDE CHURCH OF CMA
CAMA Number:	108.02-1-41		448 BEDFORD RD
Property Address:	448 BEDFORD RD		ARMONK, NY 10504
Abutters:			
Parcel Number: CAMA Number: Property Address:	108.02-1-33 108.02-1-33 1 STERLING RD S	Mailing Address:	FERRANTE RICHARD N FERRANTE JANET R 1 STERLING RD S ARMONK, NY 10504
Parcel Number:	108.02-1-36	Mailing Address:	COTAJ GJERGJI COTAJ CATHERINE
CAMA Number:	108.02-1-36		447 BEDFORD RD
Property Address:	449 BEDFORD RD		ARMONK, NY 10504
Parcel Number:	108.02-1-37	Mailing Address:	COTAJ GJERGJI COTAJ CATHERINE
CAMA Number:	108.02-1-37		447 BEDFORD RD
Property Address:	447 BEDFORD RD		ARMONK, NY 10504
Parcel Number: CAMA Number: Property Address:	108.02-1-38 108.02-1-38 445 BEDFORD RD	Mailing Address:	SLADICK JOSEPH FURRELLE-SALDICK THERESA A 445 BEDFORD RD ARMONK, NY 10504
Parcel Number:	108.02-1-39	Mailing Address:	CASEY JILLIAN SMITH LOGAN
CAMA Number:	108.02-1-39		441 BEDFORD RD
Property Address:	441 BEDFORD RD		ARMONK, NY 10504
Parcel Number:	108.02-1-40	Mailing Address:	THE N CASTLE HISTORICAL SOC.
CAMA Number:	108.02-1-40		440 BEDFORD RD
Property Address:	440 BEDFORD RD		ARMONK, NY 10504
Parcel Number:	108.02-1-42	Mailing Address:	RIVERA DWAYNE D PEREZ MERCEDES
CAMA Number:	108.02-1-42		1 STERLING RD N
Property Address:	1 STERLING RD N		ARMONK, NY 10504
Parcel Number:	108.02-1-43	Mailing Address:	MAGRONE CONCETTA
CAMA Number:	108.02-1-43		3 STERLING RD N
Property Address:	3 STERLING RD N		ARMONK, NY 10504
Parcel Number:	108.02-1-44	Mailing Address:	WEISS JORDAN WEISS LINDSAY
CAMA Number:	108.02-1-44		5 STERLING RD N
Property Address:	5 STERLING RD N		ARMONK, NY 10504
Parcel Number:	108.02-1-59	Mailing Address:	ZACCAGNINO ANN MARIE
CAMA Number:	108.02-1-59		7 STERLING RD N

Property Address: 7 STERLING RD N

CAI Technologies

ARMONK, NY 10504

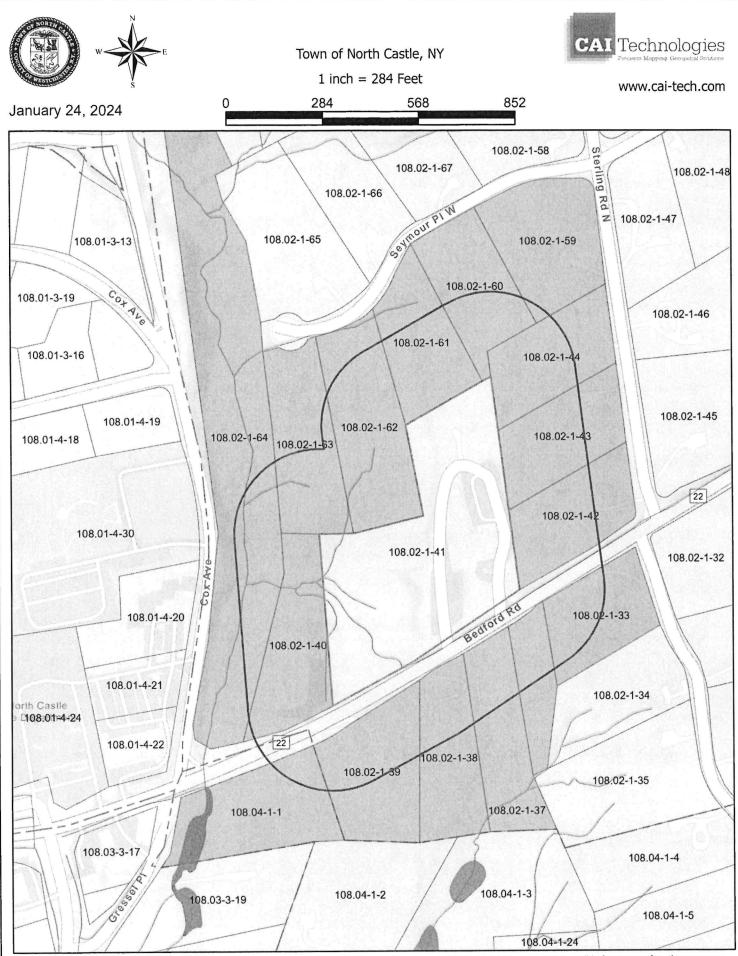
1/24/2024

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Nor	0 feet Abutters List Re th Castle, NY lary 24, 2024	port	
Parcel Number:	108.02-1-60	Mailing Address:	BELER MOSHE BELER ELIZABETH
CAMA Number:	108.02-1-60		3 SEYMOUR PL W
Property Address:	3 SEYMOUR PL W		ARMONK, NY 10504
Parcel Number:	108.02-1-61	Mailing Address:	MILLER GARY K MILLER JOANNE M
CAMA Number:	108.02-1-61		5 SEYMOUR PL W
Property Address:	5 SEYMOUR PL W		ARMONK, NY 10504
Parcel Number:	108.02-1-62	Mailing Address:	SHECHTMAN MARLA
CAMA Number:	108.02-1-62		7 SEYMOUR PL W
Property Address:	7 SEYMOUR PL W		ARMONK, NY 10504
Parcel Number: CAMA Number: Property Address:	108.02-1-63 108.02-1-63 9 SEYMOUR PL W	Mailing Address:	FEUERSTEIN MARC FEUERSTEIN JESSICA 9 SEYMOUR PL W ARMONK, NY 10504
Parcel Number:	108.02-1-64	Mailing Address:	GIULIANO ANTHONY
CAMA Number:	108.02-1-64		93 BRIARY RD
Property Address:	2 COX AVE		DOBBS FERRY, NY 10522
Parcel Number: CAMA Number: Property Address:	108.04-1-1 108.04-1-1 437 BEDFORD RD	Mailing Address:	MERKIN AARON M MERKIN KATHERINE B 437 BEDFORD RD ARMONK, NY 10504



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Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Short Environmental Assessment Form Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Hillside Church of the Christian Missionary Allia.	nce. Special We	L Permi	+ +)
Project Location (describe, and attach a location map): 448 Beckford Road, Armonk			
Brief Description of Proposed Action: Amend Special USE permit to include 6 ch of daycare from original a class	assoons for the	א אנו איני	SC
Name of Applicant or Sponsor:	Telephone:		
1. In Clause off a Bhristian Michael	E-Mail: Dastordavy @ridge	waychur	h. con
Address: 448 BCOFFOR Read			
City/PO: Amork	State:	Zip Code:	1
1. Does the proposed action only involve the legislative adoption of a plan, local administrative rule, or acquisiton?	al law, ordinance,	NO	YES
administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and th may be affected in the municipality and proceed to Part 2. If no, continue to qu		hat 1	
2. Does the proposed action require a permit, approval or funding from any oth	her governmental Agency?	NO	YES
If Yes, list agency(s) name and permit or approval:		X	
3.a. Total acreage of the site of the proposed action? 3.a. Total acreage to be physically disturbed? b. Total acreage to be physically disturbed? 3.a. Total acreage to be physically disturbed?	acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?	acres		
	cial Residential (suburb becify): <u>Religious/Chu</u>		1

a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan? c. Is the proposed action consistent with the predominant character of the existing built or natural landscape? 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Arca? NO YEs, identify: 8. a. Will the proposed action result in a substantial increase in traffic above present levels? NO YES b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action? c. Mo YES If the proposed action connect to an existing public/private water supply? NO YES If No, describe method for providing ontable water: II. Will the proposed action connect to existing watewater utilities? NO YES If No, describe method for providing watewater treatment: II. Will the proposed action located in an archeological sensitive area? NO YES If No, describe method for providing watewater utilities? NO YES II. Will the proposed action located in an archeolo	5. Is the proposed action,	NO	YES	N/A
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If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		in		
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a. Will storm water discharges flow to adjacent properties? Image: NO image: VES image			_	YES
			X	
		ns)?		

18. Does the proposed action include construction or other activities that result in the impoundment of	NO	YES
water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:		
If Yes, explain purpose and size:		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed	NO	YES
solid waste management facility?		
If Yes, describe:	X	\square
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or	NO	YES
completed) for hazardous waste?		
If Yes, describe:		
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE I	BEST O	FMY
KNOWLEDGE / /		
KNOWLEDGE Applicant/sponsor name: Hillside Church of the Christian Missionary Date: 1/22/24 Signature: A	•	
Signature;		



Town of North Castle Building Department 17 Bedford Road Armonk, N.Y. 10504 914-273-3000 ext. 44 Fax 914-273-3554

Building@northcastleny.com

NOTICE OF VIOLATION/ ORDER TO REMEDY

Complaint #: 2023-083 Notice Date: 03/21/2023 Comply Date: 04/21/2023

SBL: 108.02-1-41 Owner: CHURCH OF CMA HILLSIDE 448 BEDFORD RD ARMONK,NY 10504 Certified Mail No.: 70211970000192542103

Site Address: 448 BEDFORD RD

On 03/20/2023 a lawful inspection and or a file review was conducted of the above referenced premises and the following violation(s) of the Town of North Castle and the 2020 New York State Uniform Code was observed and still remain:

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 355-40(P)(3)(b)(2) - Special Use Child Day Care

A special permit may be issued for a day-care center only when it has been determined, after an on-site inspection, a public hearing and a review of the completed application and supporting documentation, that the proposed use is in compliance with the standards contained in this subsection. A special use permit for a day-care center shall not be valid until the New York State Department of Social Services has duly licensed such use. A permit may be revoked at any time for noncompliance with the conditions set forth in this subsection, the permit itself or failure of the day-care license to be renewed by the New York State Department of Social Services.

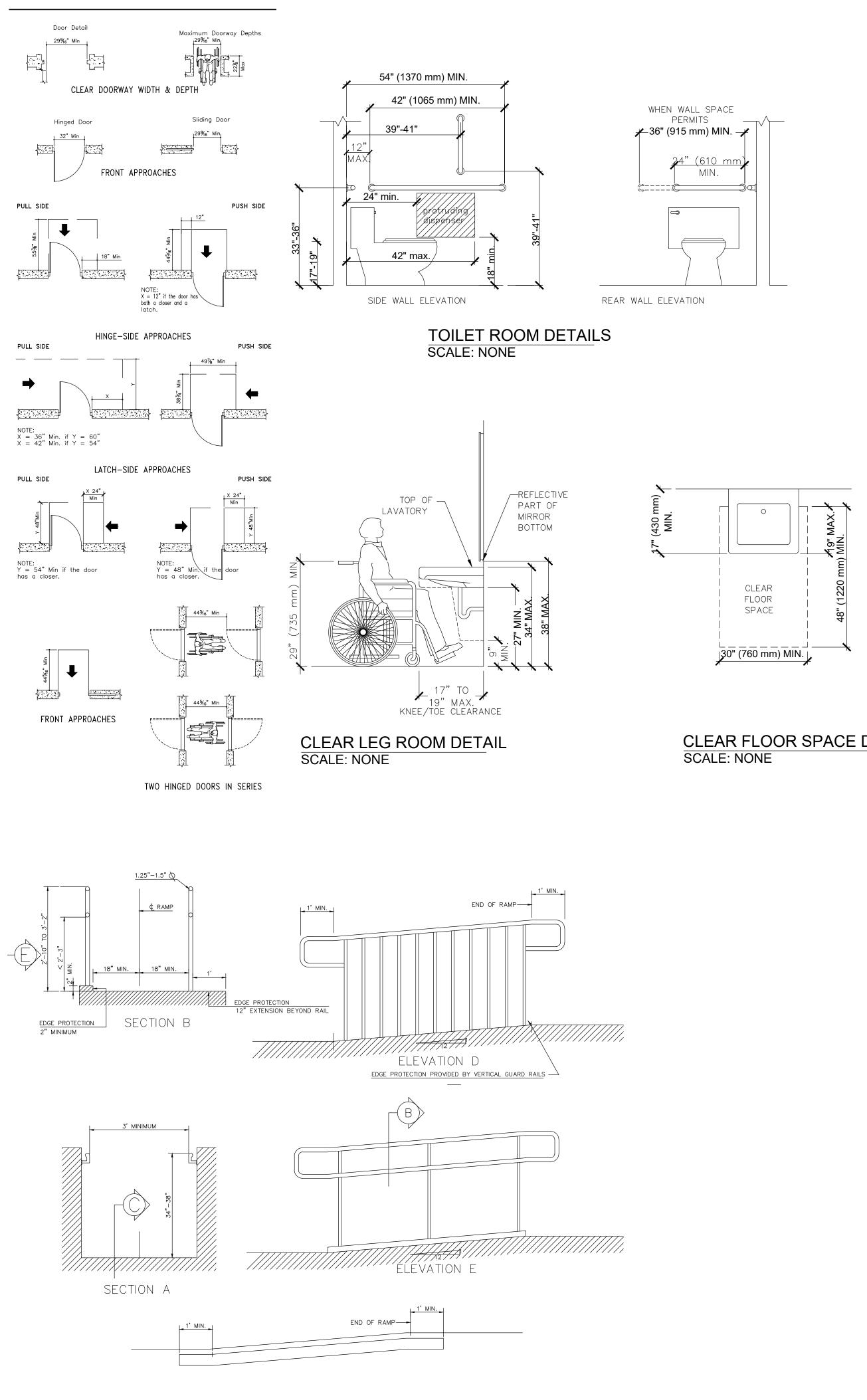
TO WIT: Violation of your Special Use Permit. You currently have 6 six classrooms being used, your permit states a max of 2 classrooms.

REMEDY: Special use permit compliance. Contact this office to discuss

NOTICE: Full compliance with this order to remedy is required by 04/21/2023 which is thirty (30) days after the date of this order. If the person or entity served with this order to remedy fails to comply in full with this order to remedy within the thirty (30) day period, that person or entity will be subject to a fine of not more than \$1000.00 per day, per violation, or imprisonment not exceeding one year, or both. You are hereby notified that you have (30) calendar days to remove/ restore and make safe the above noted violations in the prescribed manner and/ or to provide evidence that the apparent unlawful improvements were completed in accordance with the Code. Further, you are hereby directed to bring the referenced violations into compliance and arrange for a re-inspection within the aforementioned time frame. Failure to comply will result in alternative action as prescribed by Law in order to gain compliance including, but not limited to: a summons to appear in court. In addition to those penalties prescribed by state law, any person who violates any provision of the Uniform Code, the Energy Code or the code of the Town of North Castle or any term or condition of any building permit, certificate of occupancy/certificate of compliance, temporary certificate, stop-work order, operating permit or other notice or order issued by the Building Inspector shall be liable to a civil penalty of not more than \$1000.00 per day per violation or to imprisonment of not more than 15 days, or both. Each violation of this chapter shall be deemed a separate offence prescribed by Part II General Legislation, Chapter 127-15 C.

Respectfully,

THIS NOTICE MUST BE ATTACHEDTO ANY PERMIT APPLICATIONS INTENDEDTO CORRECT THE VIOLATIONSENUMERATED HERIN.



CLEAR FLOOR SPACE DETAIL

ACCESSIBILITY NOTES

1. ALL DETAILS AND GENERAL NOTES PERTAINS TO HANDICAPPED ACCESSIBILITY SHALL SUPERSEDE OTHER DETAILS AND NOTES HEREIN. 2. ALL COMPONENTS OF SPACES REQUIRED TO COMPLY WITH HANDICAPPED ADAPTABILITY NOT COVERED BY THE SCOPE OF THESE DOCUMENTS SHALL ALSO COMPLY WITH THE REQUIREMENTS OF RS 4-6 THIS INCLUDES (BUT IS NOT LIMITED TO) INTERIOR FINISHES,

CONTROLS FOR BATHROOM, KITCHEN AND HVAC APPLIANCES. AND FOR UNITS AND

3. DOORWAYS INTENDED FOR USER PASSAGE SHALL HAVE A MINIMUM CLEAR OPENING OF 32 IN WITH THE DOOR OPENEDD MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP.

4. THE DOOR AND BUCK AT THE BATHROOMS SHALL BE DESIGNED AND CONSTRUCTED SO THAT REMOUNTING THE HINGES IS THE ONLY CHANGED REQUIRED TO STING THE DOOR OUT.

5. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 3/4 IN HIGH FOR EXTERIOR PRESIDENTIAL SLIDING DOORS OR 1/2 IN. FOR OTHER TYPES OF DOORS. RAISED THRESHOLD AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS SHALL BE BEVELED WITH A SLOPE NO MORE THAN 1 : 2. 6. NOT USED

7. STRUCTURAL ENFORCEMENT OR OTHER PROVISIONS BE MADE THAT WALL ALLOW INSTALLATION OF GRAB BARS IN DE LOCATIONS SHOW IN THE DETAILS

8. IF A CABINET IS PROVIDED UNDER THE THE LAVATORY IT SMALL BE EASILY REMOVABLE FOR A WITH OF AT LEAST 30 IN. FINISHED FLOORING SHALL EXTEND UNDER THIS AREA TO THE WALL 9. THE SINK AND SURROUNDING COUNTER IN ADATABLE DWELLING LIMITS SHALL COMPLY WITH THE FOLLOWING:

A. THE SINK AND SURROUNDING COUNTER SHALL BE ADJUSTABLE OR REPLACEABLE AS A UNIT AT VARIABLE HEIGHTS BETWEEN 28 AND 36 INCHES MEASURED FROM THE FINISHED FLOOR TO THE TOP OF THE COUNTER SURFACE OR SINK RIM OR SHALL BE MOUNTED AT A FIXED HEIGHT GREATER THAN 34, MEASURED FLOOR FINISHED FLOOR TO THE TOP OF THE COUNTER SURFACE OR SINK RM. B. WHERE SINKS ARE INSTALLED TO BE ADJUSTABLE IN HEIGHT , ROUGH IN PLUMBING SHALL B LOCATED TO ACCEPT CONNECTIONS OF SUPPLY AND DRAIN PIPES FOR SINKS MOUNTED AT A HEIGHT OF 28 INCHES. C. BASE CABINETS IF PROVIDED, SHALL BE REMOVABLE UNDER THE FULL MIN. 30 INCH FRONTAGE OF THE SINK AND SURROUNDING COUNTER. THE FINISHED FLOORING SHALL EXTEND UNDER THE COUNTER TO THE WALL D. COUNTER THICKNESS AND SUPPORTING STRUCTURE SHALL BE 2 IN MAXIMUM OVER THE REQUIRED CLEAR SPACE. E. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS. HOT WATER PIPES AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED OR OTHERWISE COVERED.

10. OVERHEAD KITCHEN CABINETS (EXCEPT OVER STONES, COOKTOPS & PASS THROUGHS) SHALL BE INSTALLED SO AS TO BE EASILY LOWERED TO A HEIGHT OF 48 INCHES FROM FINISHED FLOOR TO TOP OF LOWEST SHELF.

11. IF A MEDICINE CABINETS IS PROVIDED ABOVE THE LAVATORY, THEN THE BOTTOM OF THE MEDICINE CABINET SHALL BE LOCATED WITH A USABLE SHELF NO HIGHER THAN 44 INCHES ABOVE THE FLOOR.

12. A SEAT SHALL BE PROVIDED IN SHOWER STALLS. THE SEAT SHALL BE MOUNTED 17 INCHES 19 INHCES FROM THE BATHROOM FLOOR AND SHALL EXTEND THE FULL DEPTH OF THE STALL.

14. A SHOWER SPRAY LIMIT SHALL BE PROVIDED THAT A HOSE AT LEAST 60 IN LONG THAT CAN BE USED AS A FIXED SHOWER HEAD OR AS A HAND HELD SHOWER. IF AN ADJUSTABLE HEIGHT SHOWER HEAD MOUNTED ON A VERTICAL BAR IS USED, THE BAR SHALL BE INSTALLED SO AS NOT TO OBSTRUCT THE USE OF GRAB BARS.

15. THE 30 IN KITCHEN WORK SERVICE SHOWN ON THE PLANS SHALL PROVIDE A WORK SURFACE THAT COMPELS THAT THE FOLLOWING REQUIREMENTS A. THE COUNTER SHALL BE ADJUSTABLE OR REPLACEABLE AS A UNIT AS VARIABLE HEIGHTS BETWEEN 28 IN. AND 36 IN. MEASURED FROM THE FLOOR TO THE TOP COUNTER SURFACE, C SHALL BE MOUNTED AT A FIXED HEIGHT NO GREATER THAN 34 IN. MEASURED FROM THE FLOOR TO THE TOP COUNTER SURFACE. B. BASE CABINETS IF PROVIDED, SHALL BE REMOVABLE UNDER THE FULL 30 IN. MINIMUM FRONTAGE OF THE COUNTER THE FINISHED FLOOR SHALL EXTEND UNDER THE COUNTER TO THE

C. COUNTER THICKNESS AND SUPPORTING STRUCTURAL SHALL BE 7 IN MINIMUM. REQUIRED CLEAR AREA. D. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SUCH COUNTERS

16. CLOTHES RODS SHALL BE A MAXIMUM OF 54 IN FROM THE FLOOR.

THE SEAT SHALL BE ON THE WALL OPPOSITE THE CONTROLS.

17. CHANGES IN GROUND LEVEL UP TO 1/4 IN MAY BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 IN AND 1/2 IN SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.

18. DOORS TO HAZARDOUS AREAS SHALL BE MADE IDENTIFIABLE TO THE TOUCH BY A TEXTURED SURFACE ON THE DOOR HANDLE, KNOW, PULL OR OTHER OPERATING HARDWARE. THIS TEXTURED SURFACE MAY BE MADE BY KNURLING OR ROUGHING BY A MATERIAL APPLIED TO THE CONTACT SURFACE (HAZARDOUS AREAS INCLUDE LOADING PLATFORMS BOILER ROOMS, ETC.)

19. DETECTABLE WARNING TEXTURES ON SURFACES AS SHOWN ON PLANS SHALL CONSIST OF EXPOSED AGGREGATE CONCRETE, CUSHIONED SURFACES MADE OF RUBBER OR PLASTIC, RAISED STRIPS, OR GROOVES. TEXTURES SHALL CONTRAST WITH THAT OF THE SURROUNDING SURFACE. RAISED OR GROOVES SHALL COMPLY WITH RS 4-6 GROOVES MAY BE USED IN DOORS ONLY

20. AUDIBLE EMERGENCY ALARMS SHALL PRODUCE A SOUND EXCEED THAT EXCEED THE PREVAILING EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DECIBLES EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A CREATION OF 30 SECONDS BY 5 DECIBELS, WHICHEVER IS LOUVER SOUND LEVELS FOR ALARM SIGNALS SHALL NOT 120 DECIBELS.

21. THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTERNERS, AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS.

A. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LBF SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAL IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAL B. SHEAR STRESS INDUCTED IN A GRAB BAR OR SEAT BY THE APPLICATION OF 250 LBF SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT IF THE CONNECTION BETWEEN THE GRAB BAR OR SEAT AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED. THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS C. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF

250 LBF (1112?) SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF OTHER THE FASTENER OF MOUNTING DÉVICE OR THE SUPPORTING STRUCTURE, ? IS THE SMALLER ALLOWABLE D. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

PROJECT LOCTION:

SEC BLK LOT:

ZONE:

108.02-1-41

R2A

SCOPE OF WORK EXISTING CONDITIONS PLANS OF NURSERY SCHOOL AT BASEMENT AND LOWER BASEMENT LEVELS AND PROPOSED EXIT DOORS AND EXIT SIGNS AT CLASSROOMS 202 / 203 AND 204 /205

APPLICABLE CODES

BUILDING:	2020 BUILDING CODE OF NYS
MECHANICAL:	NOT APPLICABLE
PLUMBING:	NOT APPLICABLE
ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE
ACCESSIBILITY:	2020 ICC/ANSI A117.1, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
OCCUPANCY	A-3 (303.1.4 ACCESSORY TO PLACE OF RELIGIOUS WORSHIP)
OCCUPANCY LOAD CALCS:	TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

BUILDING REQUIREMENTS

DESCRIPTION	CODE SECTION	REQUIREMENTS
USE GROUP:	2020 BUILDING CODE OF NYS SEC. 309.1	M (MERCANTILE)
NUMBER OF STORIES:	3	3 EXISTING
CONSTRUCTION TYPE:	2020 BUILDING CODE OF NYS SEC. 602.2	TYPE II-A (EXISTING NO CHANGE)
FIRE SPRINKLERS:	2020 BUILDING CODE OF NYS SEC. 507.4	NO SPRINKLERED
		BASEMENT: 9,535 SQ. FT. LOWER BSMT: 2,797 SQ. FT
OCCUPANT LOAD:	2020 BUILDING CODE OF NYS TABLE 1004.5	20 NET / PERSON: SUB-BASEMENT = 101 PERSONS BASEMENT = 262 PERSONS
NUMBER OF EXITS:	2020 BUILDING CODE OF NYS TABLE 1006.3.2	2 REQUIRED PER FLOOR 3 EXISTING AT BSMT., 2 EXISTING AT SUB-BSMT.
EXIT WIDTH:	2020 BUILDING CODE OF NYS SEC. 1028.2 (0.2" PER OCCUPANT)	52.4" REQUIRED AT BASEMENT 108" PROVIDED 20.2" REQUIRED AT SUB-BSMT. 72" PROVIDED
MAX. TRAVEL DIST.:	2020 BUILDING CODE OF NYS TABLE 1017.2	250-FT. MAX. 60'-0" AT SUB-BASEMENT 80'-0" AT BASEMENT

GENERAL NOTES:

- OCCURRENCES TO THE ARCHITECT BEFORE PROCEEDING.
- 2. DO NOT SCALE DRAWINGS- WRITTEN DIMENSIONS TAKE PRECEDENT.
- ALL DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
- EXCEED:
- A. 5 LBF (22 N) FOR INTERIOR DOORS.
- 8.5 LBF (38 N) FOR EXTERIOR DOORS.
- 15 LBF (67 N) FOR FIRE DOORS.
- EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- 9. ALL INTERIOR TRIM TO BE CLASS C, FLAME SPREAD 76-200 WITH MAXIMUM SMOKE DEVELOPED OF 450.
- 10. FLOOR COVERINGS TO HAVE A FLAME SPREAD RATING NOT TO EXCEED 75
- 11. ALL COMBUSTIBLE INTERIOR FINISH & TRIM ITEMS ARE TO BE APPLIED DIRECTLY TO A NON-COMBUSTIBLE BASE. WITH FIRE MARSHAL.
- 13. G.C. SHALL FURNISH AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.
- ALARM INTO BASE BUILDING FIRE PROTECTION SYSTEM.
- 16. REFER TO FIXTURE MANUAL FOR INFORMATION ON ALL FIXTURES.
- 18. G.C. SHALL NOT USE GAS POWERED CONSTRUCTION EQUIPMENT.
- ENGINEER/ARCHITECT IMMEDIATELY FOR MODIFICATION OF DRAWINGS.
- TECHNIQUES, SEQUENCES OR SAFETY PROCEDURES DURING CONSTRUCTION.

1. IF SIGNIFICANT DISCREPANCIES OR CONFLICTS IN THE DETAILS OR DIMENSION ARISE, OR IF UNFORESEEN CONDITIONS IN THE EXISTING BUILDING IMPAIR THE ABILITY TO PERFORM THE WORK AS DESCRIBED AND/OR DETAILED. THEN REPORT SUCH

3. ALL THINGS SHOWN ARE NEW AND FURNISHED BY TENANT GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.

5. DOORS SHALL HAVE A 5 SECOND MINIMUM CLOSING TIME FROM 90°-12° OPEN. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT

7. DOORS INDICATED AS PART OF THE REQUIRED MEANS OF EGRESS SHALL HAVE HARDWARE WHICH IS READILY OPERABLE FROM THE

8. ALL WALL & CEILING FINISHES TO BE CLASS B OR BETTER, FLAME SPREAD 26-75 WITH MAXIMUM SMOKE DEVELOPED OF 450.

12. G.C. SHALL FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED PER APPLICABLE CODES AND COORDINATE EXACT LOCATION

14. SPRINKLER WORK WHERE NEW OR WHERE MODIFICATIONS TO EXISTING SYSTEMS ARE REQUIRED BY CODE OR CONSTRUCTION CONDITIONS SHALL BE SUBMITTED UNDER SEPARATE PERMIT BY A LICENSED SPRINKLER CONTRACTOR. TIE SPRINKLER & FIRE

15. G.C. TO INSURE THAT PROPER ENVIRONMENTAL CONDITIONS ARE MET FOR THE INSTALLATION OF ALL INTERIOR FINISHES.

17. NO ELEMENTS ARE TO BE ATTACHED TO OR SUPPORTED FROM THE ROOF DECK OR BOTTOM CHORD OF ROOF JOISTS.

19. VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION OR FABRICATION. IF DIFFERENT THAN SHOWN, NOTIFY

20. ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH ALL DISCIPLINES TO AVOID CONFLICTS. ALL STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING ASPECTS ARE NOT IN THE SCOPE OF THESE DRAWINGS. THEREFORE, ALL REQUIRED MATERIALS AND WORK MAY NOT BE INDICATED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THESE DRAWINGS WITH ALL OTHER CONSTRUCTION DOCUMENTS. LOCATIONS, SIZES AND NUMBERS OF ALL OPENINGS MAY NOT BE COMPLETELY INDICATED IN THE ARCHITECTURAL DRAWINGS. THE RESPECTIVE CONTRACTOR SHALL VERIFY THEIR WORK WITH ALL OTHER DISCIPLINES. 21. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, SHORING, UNDERPINNING, ETC. ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS,

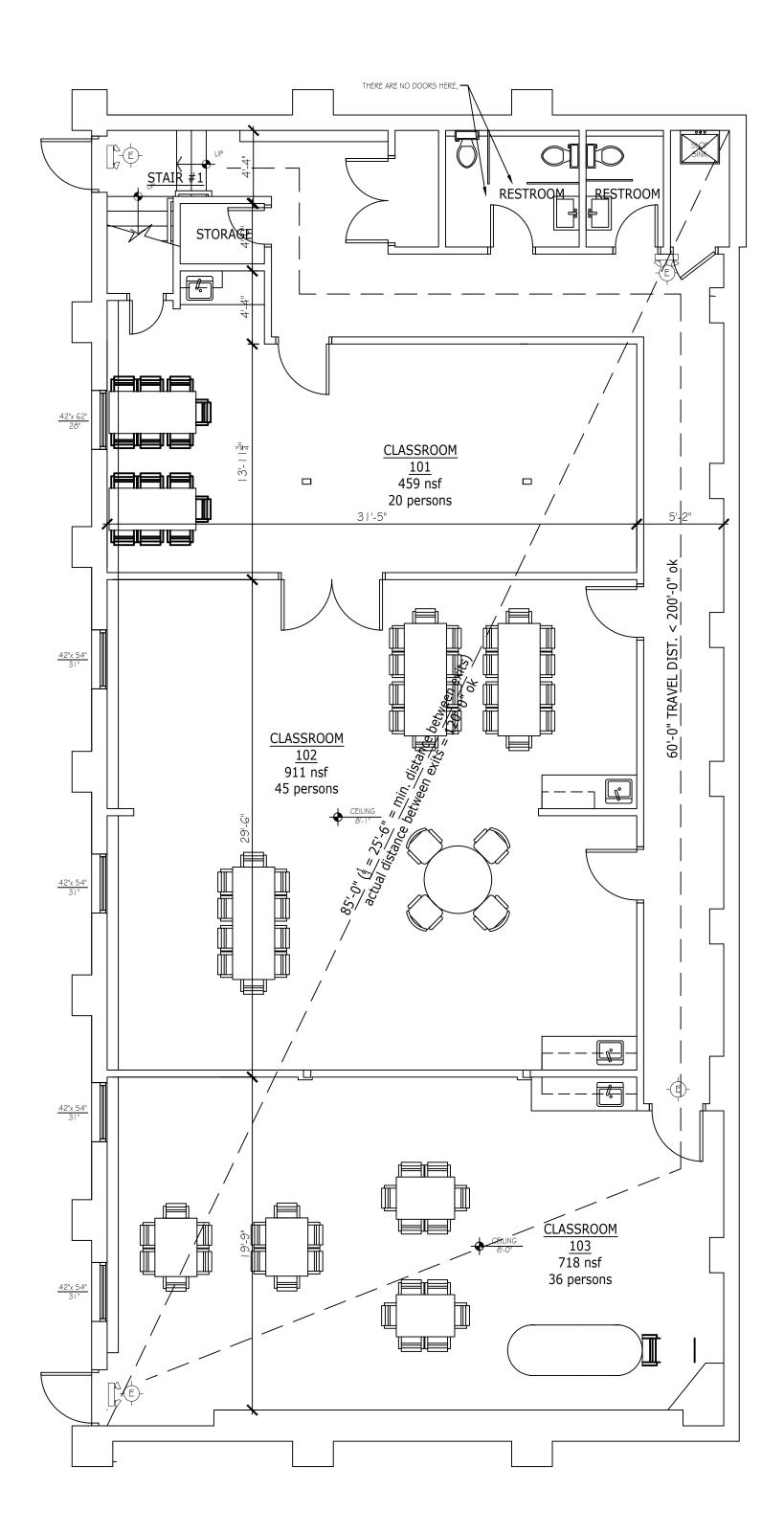
ISSUED NO. DATE DESCRIPTION INIT. REVISION PROJECT NAME RIDGEWAY ALLIANCE CHURCH NURSERY SCHOOL 448 BEDFORD RD ARMONK, NY 10504 DRAWING NAME COVER SHEET ZONING AND BUILDING CODE DATA SCALE DATE PROJECT No. BY AS NOTED 07/13/2023 23-013 JB SHEET No. SEAL

HOMAS J. CURRO ARCHITECT, P.

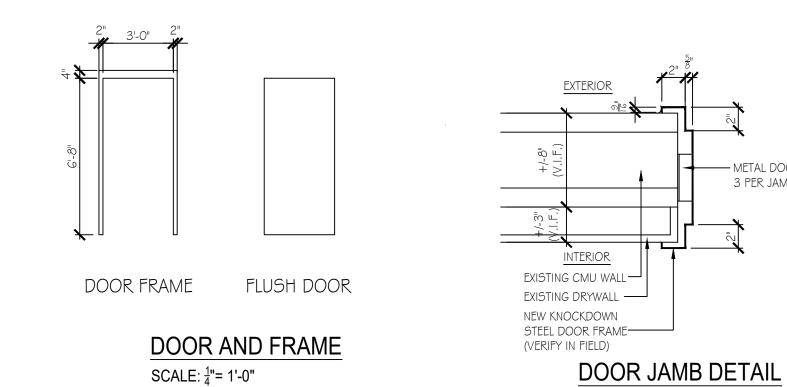
81 Pondfiled Road Suite D 248 Bronxville, NY 10708 914.662.2827

1 OF 4

C-001



LOWER PART OF BASEMENT FLOOR PLAN SCALE: ³/₁₆"= 1'-0"



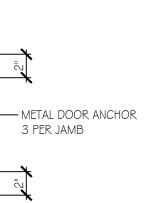
DRAWING LEGEND

EXIT SIGN

EMERGENCY LIGHTING W/ BATT. PACK

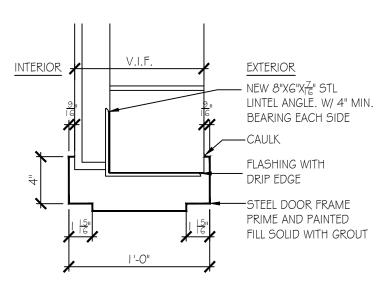
<u>42"x 62"</u>—WINDOW SIZE <u>28"</u>—SILL HEIGHT

BUILDING DATA ADDRESS: ADDRESS: 448 BEDORD ROAD ARMONK, NY 10504 SEC. BLOCK LOT 108.02-1-41 OCCUPANCY: NURSERY SCHOOL ACCESSORY TO CHURCH





SCALE: 1- ¹/₂" = 1'-0"

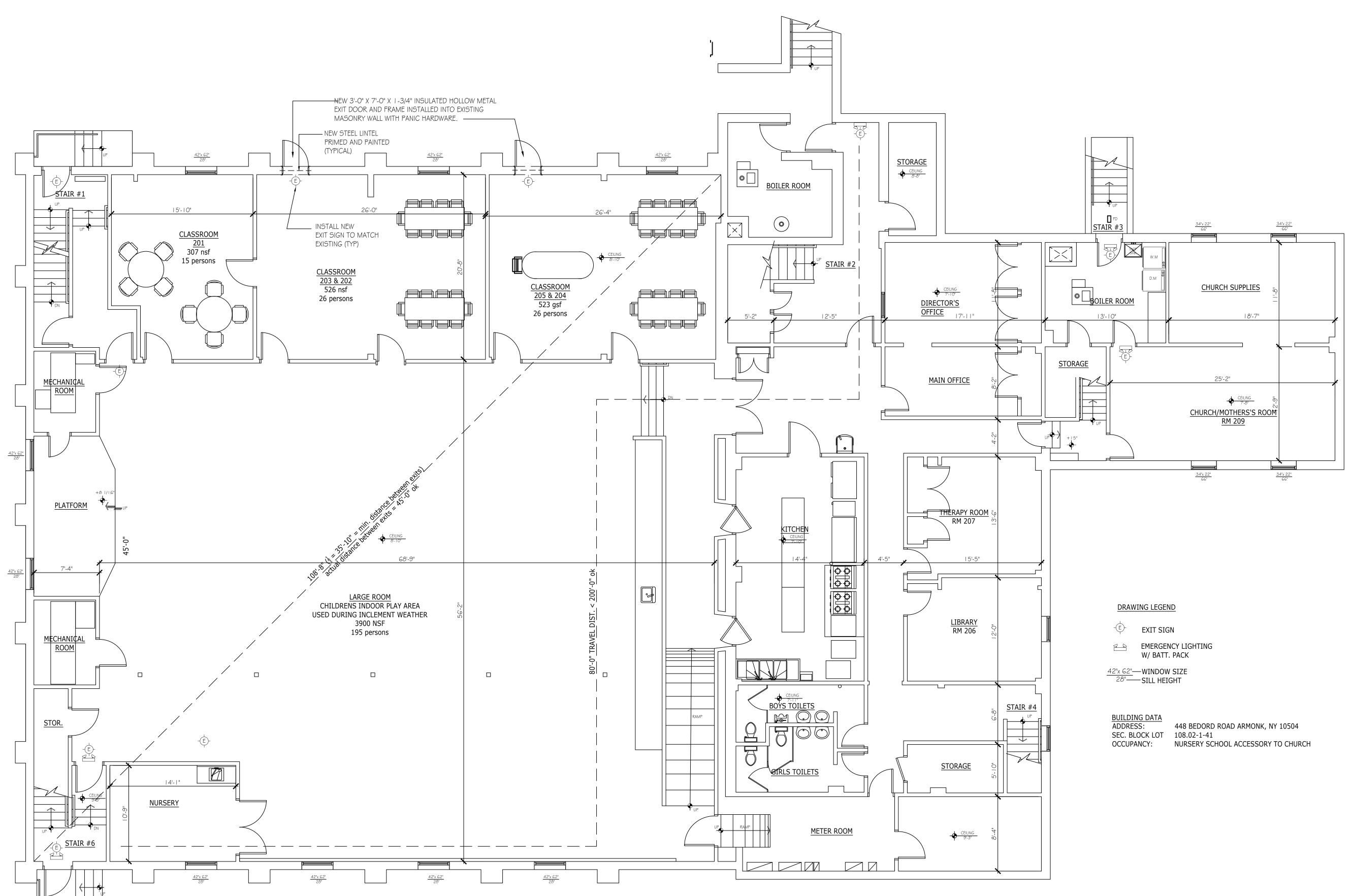


DOOR HEAD DETAIL SCALE: 1- ¹/₂" = 1'-0"

> ISSUED NO. DATE DESCRIPTION INIT. REVISION PROJECT NAME RIDGEWAY ALLIANCE CHURCH NURSERY SCHOOL 448 BEDFORD RD ARMONK, NY 10504 DRAWING NAME SUB-BASEMENT FLOOR DOOR DETAILS AND NOTES SCALE DATE PROJECT No. BY AS NOTED 07/13/2023 23-013 JB SHEET No. SEAL: A-001 2 OF 4

THOMAS J. CURRO ARCHITECT, P.C.

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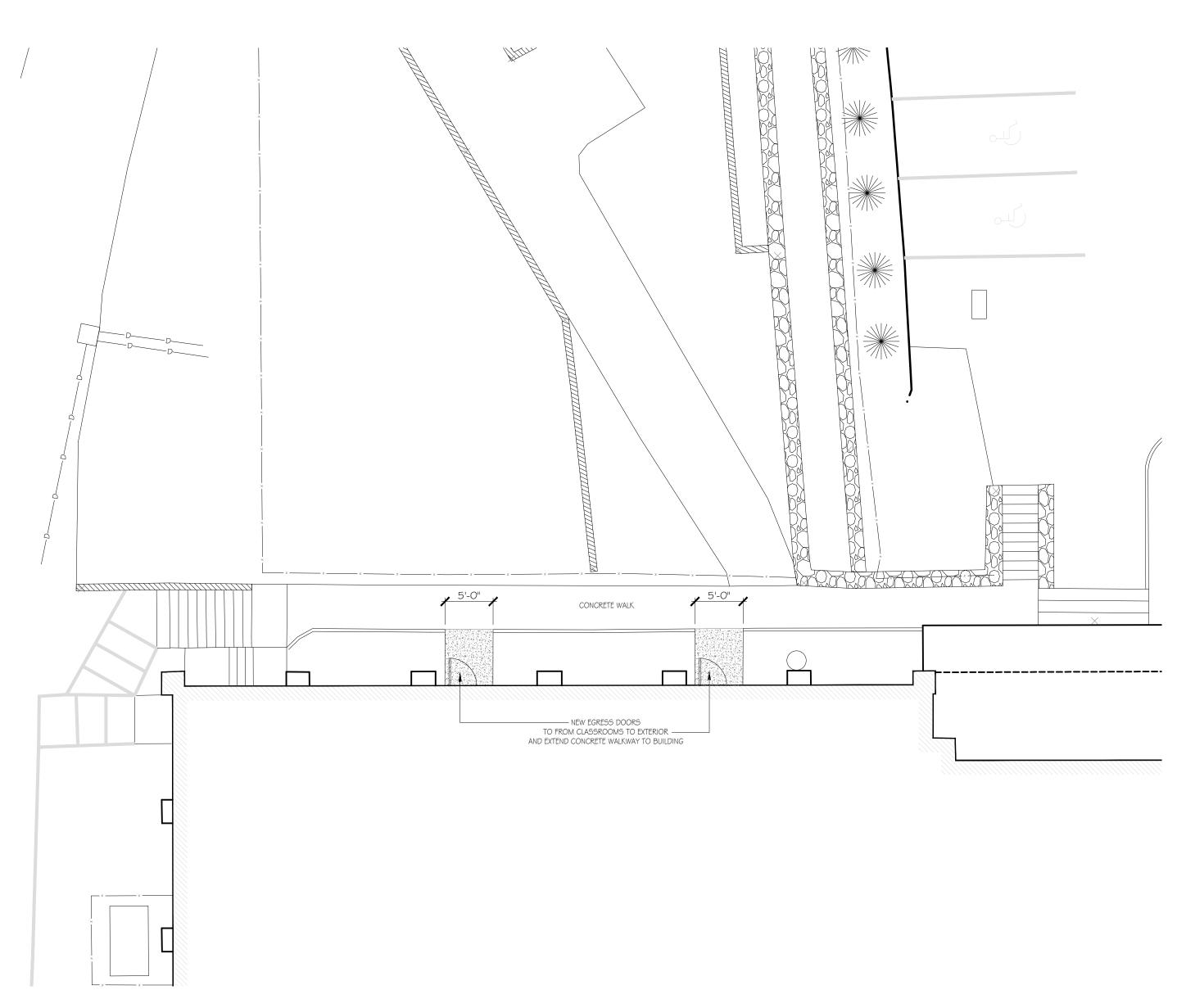


BASEMENT FLOOR PLAN SCALE: $\frac{3}{16}$ "= 1'-0"



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NO.	DATE	DESCF	RIPTION	INIT.
REVIS				
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ENLARGED PART PLOT PLAN SCALE: $\frac{1}{8}$ = 1'-0"

