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Writer's Direct E-Mail:

January 25, 2024

Planning Board
Town of North Castle
17 Bedford Road
Armonk, New York 10504

Re: Application for Special Use Amendment
Applicant: Church of CMA Hillside
Premises: 448 Bedford Road, Armonk (Section 108.02, Block 1, Lot 41)
Zoning District: R2A

Dear Mr. Chairman:

Our office is counsel to Church of CMA Hillside ("Applicant") in connection with this Special Use Permit Amendment Application ("Application") for the premises.

The Applicant operates a church at the premises and on the lower levels of the church is a nursery school. The current special use permit for the property allows for two (2) classrooms but the current configuration of the school has a total of six (6) classrooms. As part of the legalizations of interior renovations at the Property, the Applicant became aware of this discrepancy in the number of classrooms listed on the Special Use Permit and is now seeking to modify the Special Use Permit to match existing conditions. Our office has met with the Building Department prior to this submission.

It should be noted, the nursery school is fully licensed and all annual fire inspections have been performed and passed.

We thank you for your consideration and respectfully request to be included on the Agenda for the February 26, 2024 meeting of the Planning Board.

Very truly yours,



Stephen A. Veneruso

Enclosures

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING

RIDGEWAY ALLIANCE CHURCH
Christian & Missionary Alliance Church
465 Ridgeway
White Plains, NY 10605

Orange Bank and Trust Company
42 Waller Avenue
White Plains, NY 10601
50-247/219

30686

01/22/2024

PAY TO THE ORDER OF Town of North Castle \$ **250.00

Two hundred fifty and 00/100***** DOLLARS

PROTECTED AGAINST FRAUD

Town of North Castle
17 Bedford Rd.
Armonk, NY 10504
United States

MEMO Special Use Permit Application Fee

⑈030686⑈ ⑆021902475⑆ 8476885⑈

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING

RIDGEWAY ALLIANCE CHURCH
Christian & Missionary Alliance Church
465 Ridgeway
White Plains, NY 10605

Orange Bank and Trust Company
42 Waller Avenue
White Plains, NY 10601
50-247/219

30687

01/22/2024

PAY TO THE ORDER OF Town of North Castle \$ **4,000.00

Four thousand and 00/100***** DOLLARS

PROTECTED AGAINST FRAUD

Town of North Castle
17 Bedford Rd.
Armonk, NY 10504
United States

MEMO Special Use Permit Escrow Deposit

⑈030687⑈ ⑆021902475⑆ 8476885⑈

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Town of North Castle Planning Department

17 Bedford Road Armonk, New York 10504

(914) 273-3542 (914) 273-3554 (fax)

SPECIAL USE PERMIT COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all preliminary special use permit plans. Failure to provide all of the information requested will result in a determination that the special use permit application is incomplete. The review of the plan for completeness will be based on the requirements of the Town of North Castle Town Code.

Project Name on Plan:

*Hillside Church of the Christian Missionary Alliance Special Use Permit
(Amendment)*

Initial Submittal Revised Preliminary

Street Location:

448 Bedford Road

Zoning District: *R2A* Property Acreage: *5* Tax Map Parcel ID: *108.02-1-41*

Date: *1/25/24*

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a "☒" are complete, items left blank "☐" are incomplete and must be completed, "NA" means not applicable.

1. A written statement describing the nature of the proposed special use and how it will serve to implement the intent and purposes of the Town Code
2. A complete application for special use permit approval form
3. Plan prepared by a registered architect or professional engineer
4. Map showing the applicant's entire property and adjacent properties and streets
5. A locator map at a convenient scale
6. The proposed location, use and design of all buildings and structures
7. Proposed division of buildings into units of separate occupancy, detailed breakdowns of all proposed floor space by type of use and floor level

PRELIMINARY SITE PLAN COMPLETENESS REVIEW FORM

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- 8. Existing topography and proposed grade elevations
- 9. Location of drives
- 10. Location of any outdoor storage
- 11. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences
- 12. Description of method of water supply and sewage disposal and location of such facilities
- 13. Location, design and size of all signs
- 14. Location and design of lighting, power and communication facilities
- 15. In an industrial district, specific uses proposed, number of employees for which buildings are designed, type of power to be used for any manufacturing process, type of wastes or by-products to be produced by any manufacturing process and proposed method of disposal of such wastes or by-products
- 16. In a multifamily district, floor plans of each dwelling unit shall be shown, and elevations and cross sections also may be required
- 17. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 18. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 19. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 20. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com>

_____ On this date, all items necessary for a technical review of the proposed special use permit plan have been submitted and constitute a COMPLETE APPLICATION.



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
www.northcastlenvy.com

APPLICATIONS REQUIRING PLANNING BOARD APPROVAL
SCHEDULE OF APPLICATION FEES

<u>Type of Application</u>	<u>Application Fee</u>
Site Development Plan	\$200.00
Each proposed Parking Space	\$10
Special Use Permit (each)	\$200 (each)
Preliminary Subdivision Plat	\$300 1 st Lot \$200 (each additional lot)
Final Subdivision Plat	\$250 1 st Lot \$100 (each additional lot)
Tree Removal Permit	\$75
Wetlands Permit	\$50 (each)
Short Environmental Assessment Form	\$50
Long Environmental Assessment Form	\$100
Recreation Fee	\$10,000 Each Additional Lot
Discussion Fee	\$200.00
Prior to submission of a sketch or preliminary subdivision Plat, an applicant or an applicant's representative wishes to discuss a subdivision proposal to the Planning Board, a discussion fee of \$200.00 shall be submitted for each informal appearance before the board.	

Any amendment to previously approved applications requires new application forms and Fes



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PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS

<u>Type of Application Deposit*</u>	<u>Amount of Initial Escrow Account</u>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space <i>* Per Adam Kaufman via email 1/19/24 \$4,000 total fee/escrow OK.</i>
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

X  _____ Date: 1/22/24



TOWN OF NORTH CASTLE
WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

PLANNING DEPARTMENT
Adam R. Kaufman, AICP
Director of Planning

Telephone: (914) 273-3542
Fax: (914) 273-3554
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Application for Special Use Permit Approval

Application Name

*Hillside Church of the Christian Missionary Alliance Special Use
Permit Amendment*

I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES

Name of Property Owner: Hillside Church of the Christian Missionary Alliance

Mailing Address: 448 Bedford Road, Armonk, NY 10504

* Telephone: CPA Attorney Fax: _____ e-mail _____

Name of Applicant (if different): Hillside Church of the Christian Missionary Alliance

Address of Applicant: 448 Bedford Road, Armonk, NY 10504

* Telephone: CPA attorney Fax: _____ e-mail _____

Interest of Applicant, if other than Property Owner:

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:

Thomas J. Curro Architect, PC

Address: 81 Pondfield Rd, Ste D 248, Bronxville, NY 10708

Telephone: 914-662-2827 Fax: _____ e-mail TJCurro@gmail.com

Name of Other Professional: _____

Address: _____

Telephone: _____ Fax: _____ e-mail _____

* Name of Attorney (if any): Stephen A. Veneruso, Esq.

Address: 35 E. Grassy Sprain Rd, Suite 400, Yonkers, NY 10710



Telephone: 914-779-1100 Fax: 914-779-0369 e-mail sveneruso@vcsclaw.com

Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:  Date: 1/22/24
Signature of Property Owner:  Date: 1/22/24

MUST HAVE BOTH SIGNATURES

II. IDENTIFICATION OF SUBJECT PROPERTY

Street Address: 448 Bedford Road, Armonk

Location (in relation to nearest intersecting street):

1056 feet (north) south, east or west) of Cox Avenue

Abutting Street(s): none

Tax Map Designation (NEW): Section 108.02 Block 1 Lot 41

Tax Map Designation (OLD): Section 2 Block 08 Lot 16.9

Zoning District: R2A Total Land Area 5 acres

Land Area in North Castle Only (if different) _____

Fire District(s) North Castle School District(s) Byram Hills

Is any portion of subject property abutting or located within five hundred (500) feet of the following:

The boundary of any city, town or village?

No Yes (adjacent) _____ Yes (within 500 feet) _____

If yes, please identify name(s): _____

The boundary of any existing or proposed County or State park or any other recreation area?

No _____ Yes (adjacent) Yes (within 500 feet) _____

The right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The existing or proposed boundary of any county or State owned land on which a public building or institution is situated?

No Yes (adjacent) _____ Yes (within 500 feet) _____

The boundary of a farm operation located in an agricultural district?

No Yes (adjacent) _____ Yes (within 500 feet) _____

Does the Property Owner or Applicant have an interest in any abutting property?

No Yes _____

If yes, please identify the tax map designation of that property:

III. DESCRIPTION OF PROPOSED DEVELOPMENT

Type of Special Use Permit: modifying existing classrooms

Accessory Apartment N/A

Accessory Structure over 800 square feet N/A

Gross Floor Area: Existing 13,313 S.F. Proposed 13,313 S.F.

Number of Parking Spaces: Existing 115 Proposed 115 - no change

Earthwork Balance: Cut N/A C.Y. Fill N/A C.Y. N/A

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No X Yes _____
(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?
No X Yes _____
(If yes, application for a Tree Removal Permit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No X Yes _____
(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No X Yes _____
(If yes, application for a State Wetlands Permit may also be required.)

IV. SUBMISSION REQUIREMENTS

The special use permit application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the special use permit application package in a single PDF file.
- A check for the required application fee and a check for the required Escrow Account, both made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

V. INFORMATION TO BE INCLUDED ON SPECIAL USE PERMIT SITE PLAN

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the special use permit plan for the Planning Board to review his/her proposal.

Applicants are advised to review Chapter 355 Article VII of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for special use permit approval.

The application for special use permit approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on a site development plan shall include:

Legal Data:

- Name of the application or other identifying title.
- N/A Name and address of the Property Owner and the Applicant, (if different).
- Name, address and telephone number of the architect, engineer or other legally qualified professional who prepared the plan.
- Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- Existing zoning, fire, school, special district and municipal boundaries.
- Size of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; dimensions of yards along all property lines; name and width of existing streets; and lines of existing lots, reservations, easements and areas dedicated to public use.
- N/A Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established.
- Schedule of minimum zoning requirements, as well as the plan's proposed compliance with those requirements, including lot area, frontage, lot width, lot depth, lot coverage, yards, off-street parking, off-street loading and other pertinent requirements.
- Locator map, at a convenient scale, showing the Applicant's entire property in relation to surrounding properties, streets, etc., within five hundred (500) feet of the site.
- North arrow, written and graphic scales, and the date of the original plan and all revisions, with notation identifying the revisions.
- N/A A signature block for Planning Board endorsement of approval.

Existing Conditions Data:

- N/A Location use and design of existing buildings, identifying first floor elevation, and other structures.
- N/A Location of existing facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- ✓ Location of all other existing site improvements, including pavement, walks, curbing, retaining walls and fences.
- N/A Location, type, direction, power and time of use of existing outdoor lighting.
- N/A Existing topographical contours with a vertical interval of two (2) feet or less.
- N/A Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.

Proposed Development Data:

- N/A Proposed location of lots, streets, and public areas, and property to be affected by proposed easements, deed restrictions and covenants.
- N/A Proposed location, use and architectural design of all buildings, including proposed floor plans and elevations.
- N/A Proposed means of vehicular and pedestrian access to and egress from the site onto adjacent streets.
- N/A Proposed sight distance at all points of vehicular access.
- N/A Proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway; the location and width of sidewalks; and the location and size of utility lines.
- N/A Proposed location and design of any pedestrian circulation on the site and off-street parking and loading areas, including handicapped parking and ramps, and including details of construction, surface materials, pavement markings and directional signage.
- N/A Proposed location and design of facilities for water supply, sanitary sewage disposal, storm water drainage, and gas and electric service, with pipe sizes, grades, rim and inverts, direction of flow, etc. indicated.
- N/A Proposed location of all structures and other uses of land, such as walks, retaining walls, fences, designated open space and/or recreation areas and including details of design and construction.
- N/A Location, type, direction, power and time of use of proposed outdoor lighting.

- N/A Location of proposed landscaping and buffer screening areas, including the type (scientific and common names), size and amount of plantings.
- N/A The proposed location, size, design and use of all temporary structures and storage areas to be used during the course of construction.
- N/A Proposed grade elevations, clearly indicating how such grades will meet existing grades of adjacent properties or the street.
- N/A Proposed soil erosion and sedimentation control measures.
- N/A For all proposed plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- N/A For all proposed plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- N/A For all proposed plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.

The special use permit application package shall also include a narrative document that demonstrates compliance with the following:

- ✓ The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such use.
- ✓ The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.
- ✓ Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.
- ✓ Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.
- N/A Where required, The provisions of the Town Flood Hazard Ordinance shall be met.
- N/A The proposed special permit use will not have a significant adverse effect on the environment.



250 feet Abutters List Report

North Castle, NY

January 24, 2024

Subject Property:

Parcel Number: 108.02-1-41
CAMA Number: 108.02-1-41
Property Address: 448 BEDFORD RD

Mailing Address: HILLSIDE CHURCH OF CMA
448 BEDFORD RD
ARMONK, NY 10504

Abutters:

Parcel Number: 108.02-1-33
CAMA Number: 108.02-1-33
Property Address: 1 STERLING RD S

Mailing Address: FERRANTE RICHARD N FERRANTE
JANET R
1 STERLING RD S
ARMONK, NY 10504

Parcel Number: 108.02-1-36
CAMA Number: 108.02-1-36
Property Address: 449 BEDFORD RD

Mailing Address: COTAJ GJERGJI COTAJ CATHERINE
447 BEDFORD RD
ARMONK, NY 10504

Parcel Number: 108.02-1-37
CAMA Number: 108.02-1-37
Property Address: 447 BEDFORD RD

Mailing Address: COTAJ GJERGJI COTAJ CATHERINE
447 BEDFORD RD
ARMONK, NY 10504

Parcel Number: 108.02-1-38
CAMA Number: 108.02-1-38
Property Address: 445 BEDFORD RD

Mailing Address: SLADICK JOSEPH FURRELLE-SALDICK
THERESA A
445 BEDFORD RD
ARMONK, NY 10504

Parcel Number: 108.02-1-39
CAMA Number: 108.02-1-39
Property Address: 441 BEDFORD RD

Mailing Address: CASEY JILLIAN SMITH LOGAN
441 BEDFORD RD
ARMONK, NY 10504

Parcel Number: 108.02-1-40
CAMA Number: 108.02-1-40
Property Address: 440 BEDFORD RD

Mailing Address: THE N CASTLE HISTORICAL SOC.
440 BEDFORD RD
ARMONK, NY 10504

Parcel Number: 108.02-1-42
CAMA Number: 108.02-1-42
Property Address: 1 STERLING RD N

Mailing Address: RIVERA DWAYNE D PEREZ MERCEDES
1 STERLING RD N
ARMONK, NY 10504

Parcel Number: 108.02-1-43
CAMA Number: 108.02-1-43
Property Address: 3 STERLING RD N

Mailing Address: MAGRONE CONCETTA
3 STERLING RD N
ARMONK, NY 10504

Parcel Number: 108.02-1-44
CAMA Number: 108.02-1-44
Property Address: 5 STERLING RD N

Mailing Address: WEISS JORDAN WEISS LINDSAY
5 STERLING RD N
ARMONK, NY 10504

Parcel Number: 108.02-1-59
CAMA Number: 108.02-1-59
Property Address: 7 STERLING RD N

Mailing Address: ZACCAGNINO ANN MARIE
7 STERLING RD N
ARMONK, NY 10504



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1/24/2024

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250 feet Abutters List Report

North Castle, NY

January 24, 2024

Parcel Number: 108.02-1-60
CAMA Number: 108.02-1-60
Property Address: 3 SEYMOUR PL W

Mailing Address: BELER MOSHE BELER ELIZABETH
3 SEYMOUR PL W
ARMONK, NY 10504

Parcel Number: 108.02-1-61
CAMA Number: 108.02-1-61
Property Address: 5 SEYMOUR PL W

Mailing Address: MILLER GARY K MILLER JOANNE M
5 SEYMOUR PL W
ARMONK, NY 10504

Parcel Number: 108.02-1-62
CAMA Number: 108.02-1-62
Property Address: 7 SEYMOUR PL W

Mailing Address: SHECHTMAN MARLA
7 SEYMOUR PL W
ARMONK, NY 10504

Parcel Number: 108.02-1-63
CAMA Number: 108.02-1-63
Property Address: 9 SEYMOUR PL W

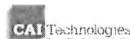
Mailing Address: FEUERSTEIN MARC FEUERSTEIN
JESSICA
9 SEYMOUR PL W
ARMONK, NY 10504

Parcel Number: 108.02-1-64
CAMA Number: 108.02-1-64
Property Address: 2 COX AVE

Mailing Address: GIULIANO ANTHONY
93 BRIARY RD
DOBBS FERRY, NY 10522

Parcel Number: 108.04-1-1
CAMA Number: 108.04-1-1
Property Address: 437 BEDFORD RD

Mailing Address: MERKIN AARON M MERKIN KATHERINE
B
437 BEDFORD RD
ARMONK, NY 10504



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1/24/2024

Page 2 of 2



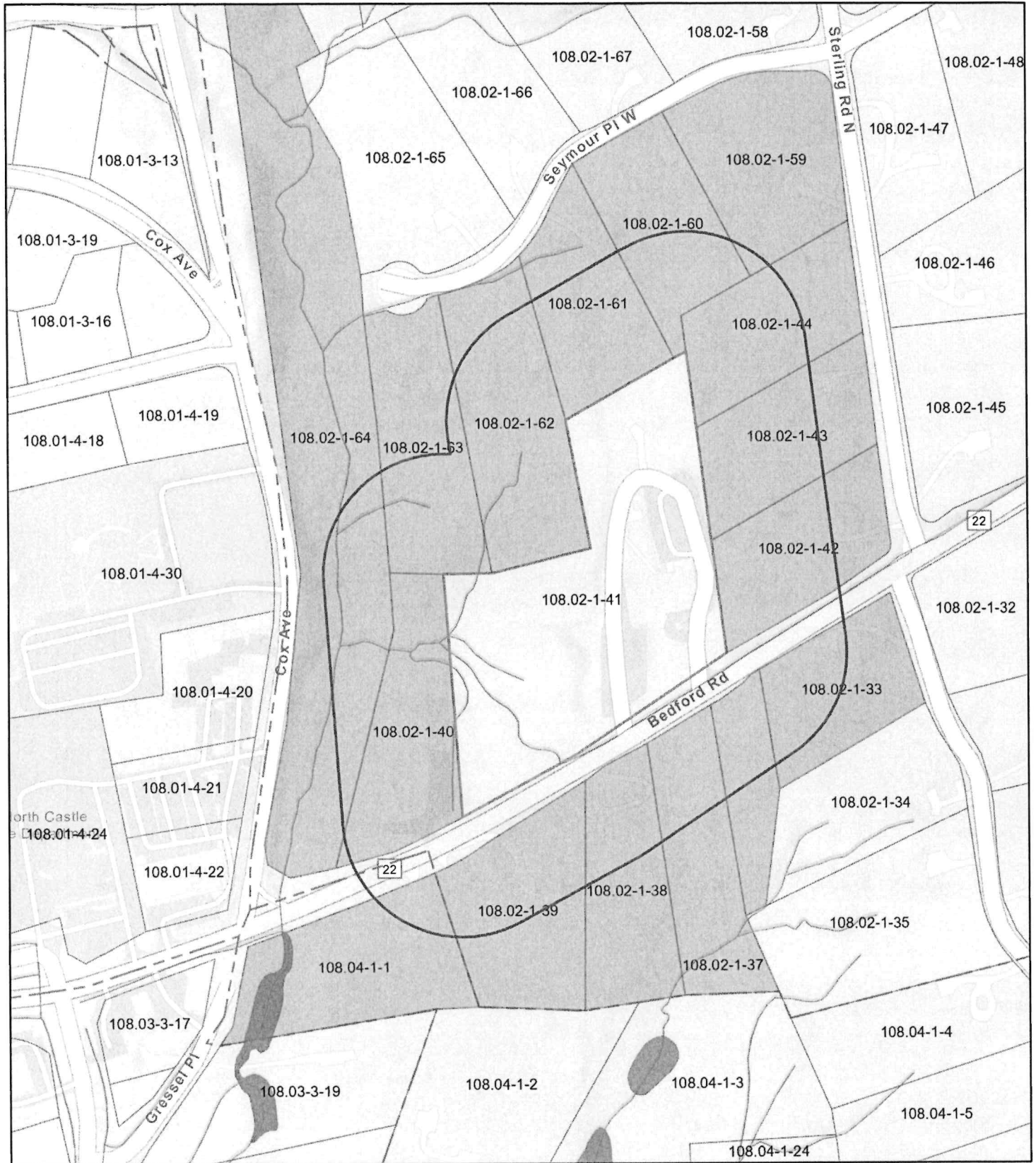
Town of North Castle, NY



1 inch = 284 Feet

www.cai-tech.com

January 24, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Short Environmental Assessment Form


Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <i>Hillside Church of the Christian Missionary Alliance - Special Use Permit (Amendment)</i>			
Project Location (describe, and attach a location map): <i>448 Bedford Road, Armonk</i>			
Brief Description of Proposed Action: <i>Amend special use permit to include 6 classrooms for the purpose of daycare from original 2 classrooms.</i>			
Name of Applicant or Sponsor: <i>Hillside Church of the Christian Missionary Alliance</i>		Telephone:	
Address: <i>448 Bedford Road</i>		E-Mail: <i>pastordavy@ridgewaychurch.com</i>	
City/PO: <i>Armonk</i>		State: <i>NY</i>	Zip Code: <i>10504</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?			NO <input checked="" type="checkbox"/>
b. Total acreage to be physically disturbed?			YES <input type="checkbox"/>
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): <i>Religious/Church/school</i> <input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Hillside Church of the Christian Missionary Alliance</u> Date: <u>1/22/24</u></p> <p>Signature: <u></u></p>		



Town of North Castle
Building Department
17 Bedford Road
Armonk, N.Y. 10504
914-273-3000 ext. 44 Fax 914-273-3554

Building@northcastleny.com

NOTICE OF VIOLATION/ ORDER TO REMEDY

Complaint #: 2023-083 **Notice Date:** 03/21/2023 **Comply Date:** 04/21/2023

SBL: 108.02-1-41

Certified Mail No.: 70211970000192542103

Owner: CHURCH OF CMA HILLSIDE
448 BEDFORD RD
ARMONK, NY 10504

Site Address: 448 BEDFORD RD

On 03/20/2023 a lawful inspection and or a file review was conducted of the above referenced premises and the following violation(s) of the Town of North Castle and the 2020 New York State Uniform Code was observed and still remain:

ORDINANCE CODE:

TOWN OF NORTH CASTLE CODE 355-40(P)(3)(b)(2) - Special Use Child Day Care

A special permit may be issued for a day-care center only when it has been determined, after an on-site inspection, a public hearing and a review of the completed application and supporting documentation, that the proposed use is in compliance with the standards contained in this subsection. A special use permit for a day-care center shall not be valid until the New York State Department of Social Services has duly licensed such use. A permit may be revoked at any time for noncompliance with the conditions set forth in this subsection, the permit itself or failure of the day-care license to be renewed by the New York State Department of Social Services.

TO WIT: Violation of your Special Use Permit. You currently have 6 six classrooms being used, your permit states a max of 2 classrooms.

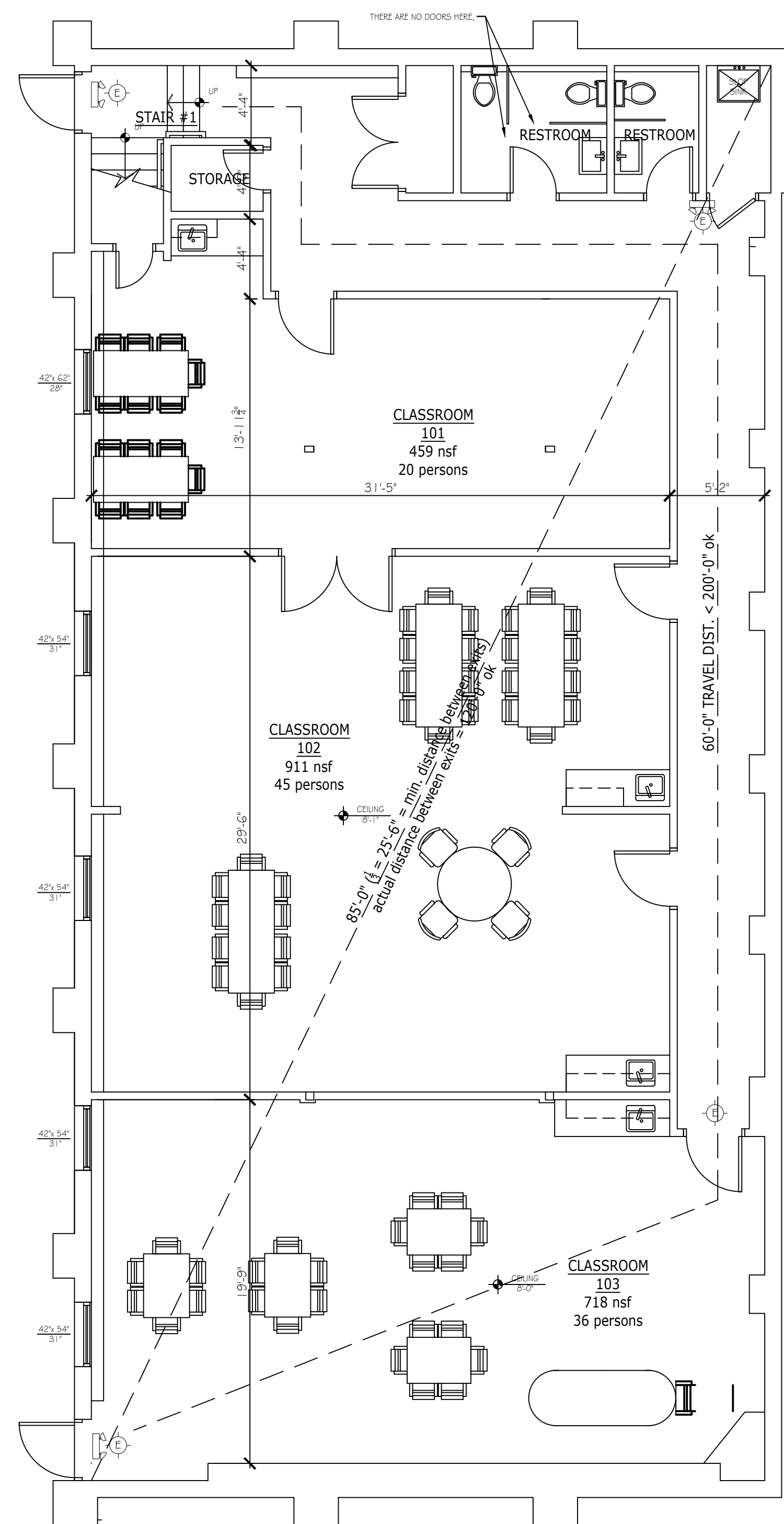
REMEDY: Special use permit compliance. Contact this office to discuss

NOTICE: Full compliance with this order to remedy is required by **04/21/2023** which is thirty (30) days after the date of this order. If the person or entity served with this order to remedy fails to comply in full with this order to remedy within the thirty (30) day period, that person or entity will be subject to a fine of not more than \$1000.00 per day, per violation, or imprisonment not exceeding one year, or both. You are hereby notified that you have (30) calendar days to remove/ restore and make safe the above noted violations in the prescribed manner and/ or to provide evidence that the apparent unlawful improvements were completed in accordance with the Code. Further, you are hereby directed to bring the referenced violations into compliance and **arrange for a re-inspection** within the aforementioned time frame. Failure to comply will result in alternative action as prescribed by Law in order to gain compliance including, but not limited to: a summons to appear in court. In addition to those penalties prescribed by state law, any person who violates any provision of the Uniform Code, the Energy Code or the code of the Town of North Castle or any term or condition of any building permit, certificate of occupancy/certificate of compliance, temporary certificate, stop-work order, operating permit or other notice or order issued by the Building Inspector shall be liable to a civil penalty of not more than \$1000.00 per day per violation or to imprisonment of not more than 15 days, or both. Each violation of this chapter shall be deemed a separate offence prescribed by Part II General Legislation, Chapter 127-15 C.

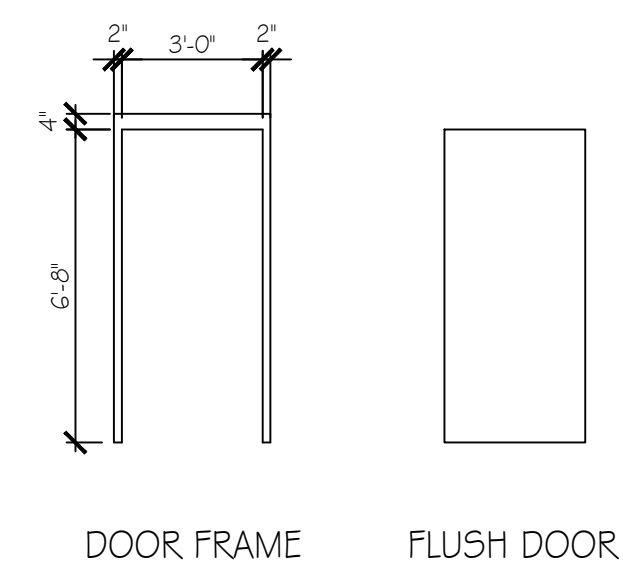
Respectfully,

Thomas Glass
Fire Inspector

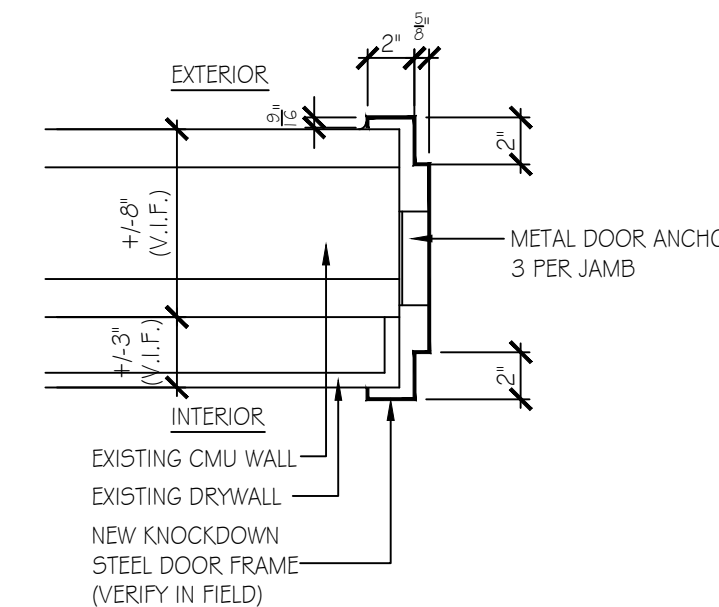
**THIS NOTICE MUST BE ATTACHED TO ANY PERMIT APPLICATIONS
INTENDED TO CORRECT THE VIOLATIONS ENUMERATED HEREIN.**



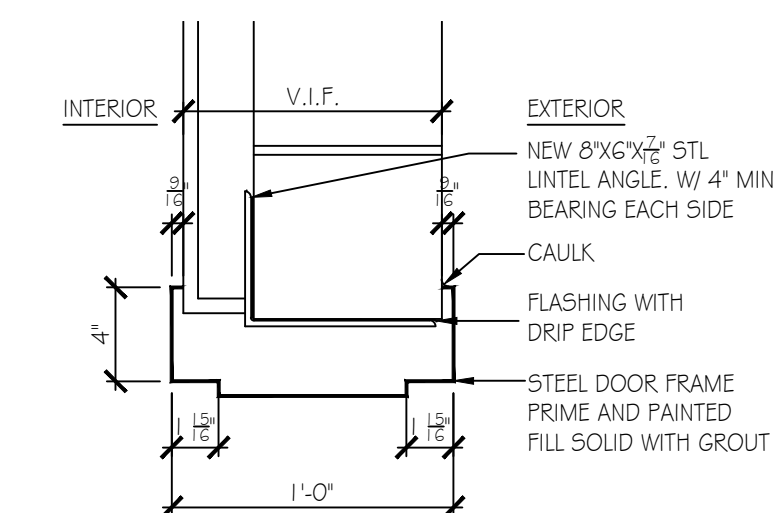
LOWER PART OF BASEMENT FLOOR PLAN
 SCALE: $\frac{3}{16}'' = 1'-0''$



DOOR AND FRAME
 SCALE: $\frac{3}{4}'' = 1'-0''$



DOOR JAMB DETAIL
 SCALE: $1-\frac{1}{2}'' = 1'-0''$



DOOR HEAD DETAIL
 SCALE: $1-\frac{1}{2}'' = 1'-0''$

DRAWING LEGEND

- EXIT SIGN
- EMERGENCY LIGHTING W/ BATT. PACK
- 42' x 62' WINDOW SIZE
- 28' SILL HEIGHT

BUILDING DATA
 ADDRESS: 448 BEDORD ROAD ARMONK, NY 10504
 SEC. BLOCK LOT 108.02-1-41
 OCCUPANCY: NURSERY SCHOOL ACCESSORY TO CHURCH

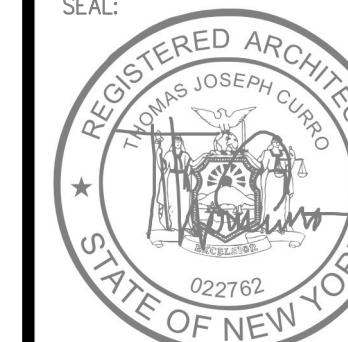
ISSUED			
NO.	DATE	DESCRIPTION	INIT.

REVISION
 PROJECT NAME
 RIDGEWAY ALLIANCE CHURCH
 NURSERY SCHOOL
 448 BEDFORD RD ARMONK, NY 10504

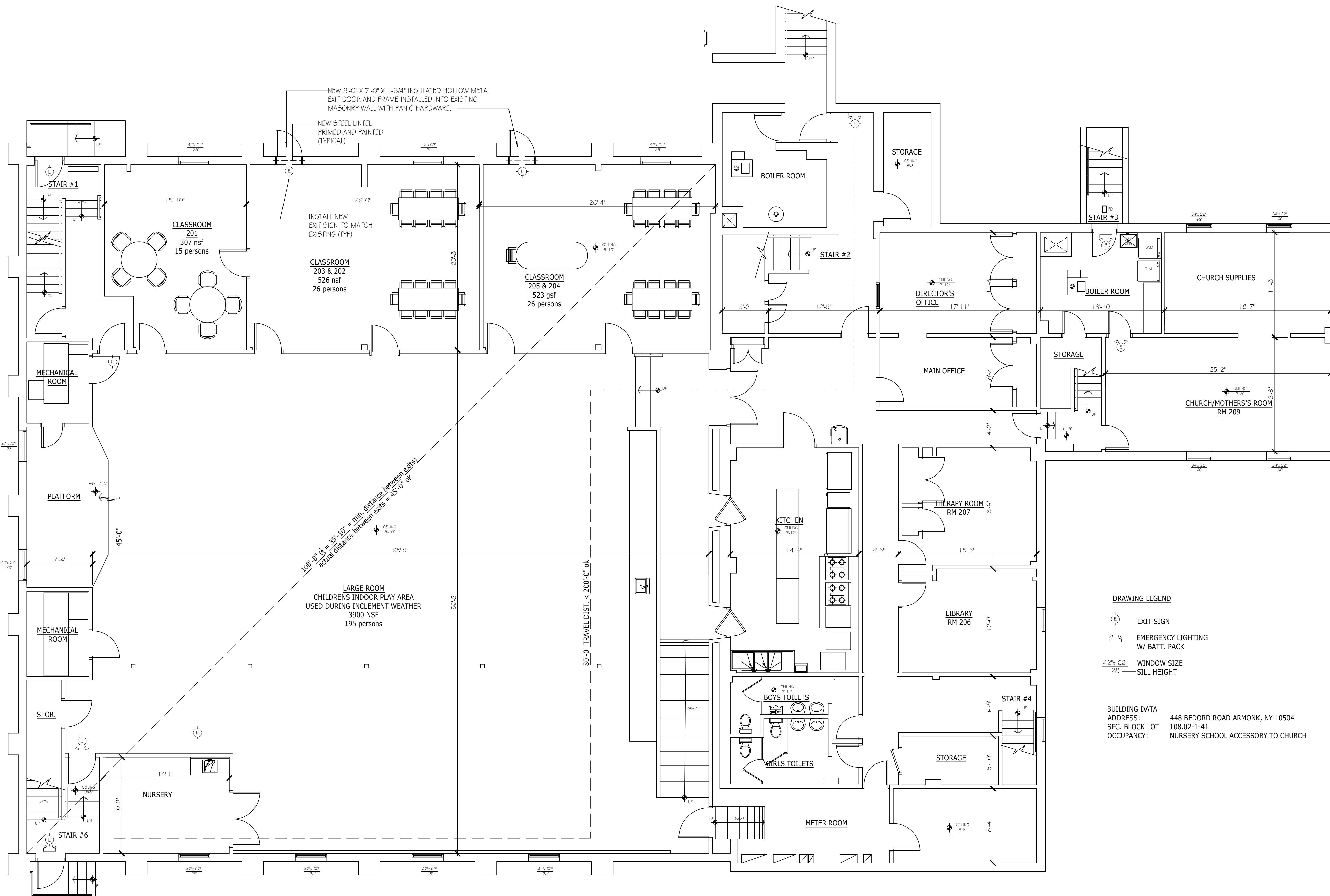
DRAWING NAME
 SUB-BASEMENT FLOOR
 DOOR DETAILS AND NOTES

SCALE	DATE	PROJECT No.	BY
AS NOTED	07/13/2023	23-013	JB

SEAL: SHEET No.



A-001



DRAWING LEGEND

- EXIT SIGN
- EMERGENCY LIGHTING W/ BATT. PACK
- 42" x 62" WINDOW SIZE
- 28" SILL HEIGHT

BUILDING DATA

ADDRESS: 448 BEDORD ROAD ARMONK, NY 10504
 SEC. BLOCK LOT 108.02-1-41
 OCCUPANCY: NURSERY SCHOOL ACCESSORY TO CHURCH

BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

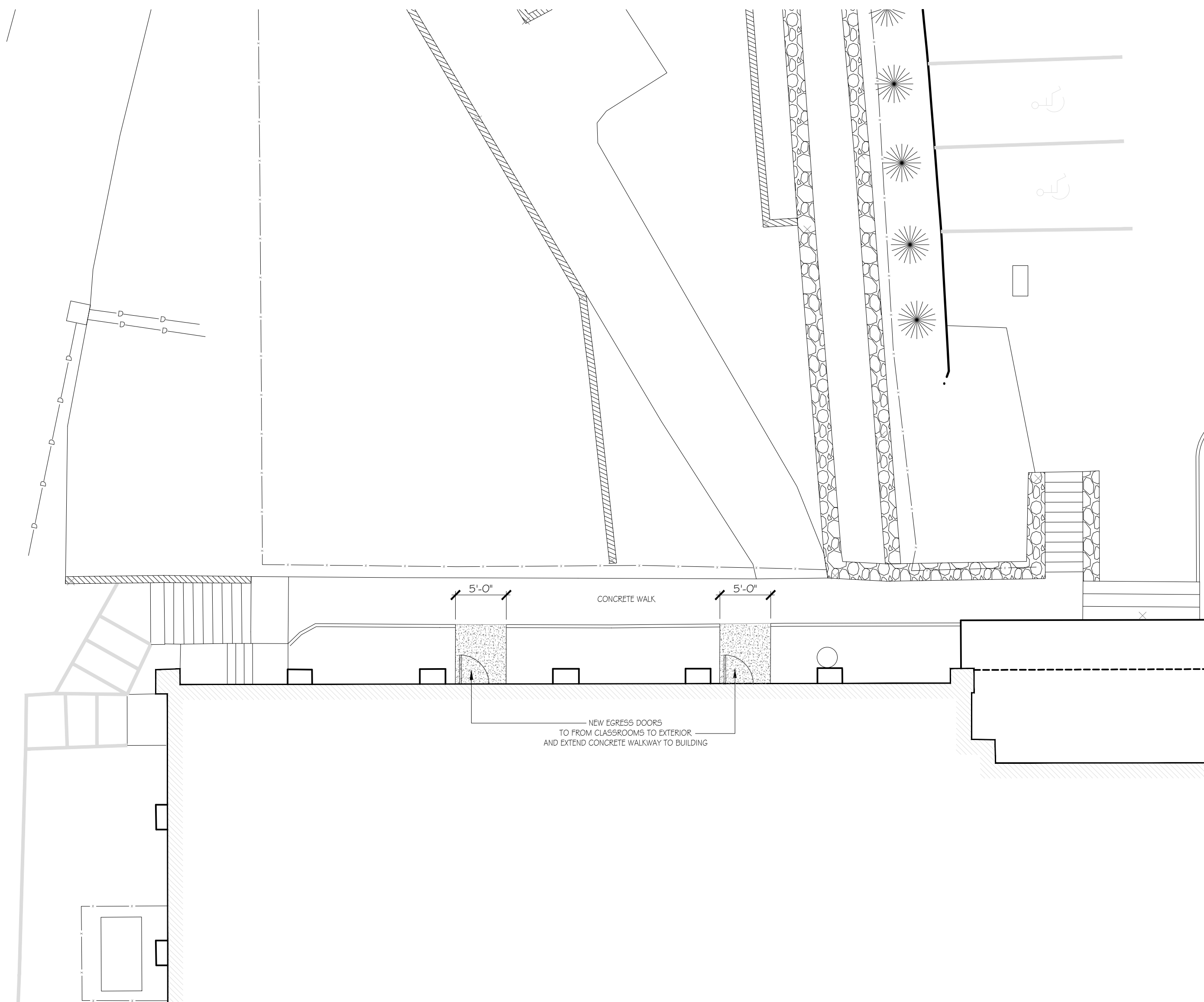
ISSUED			
NO.	DATE	DESCRIPTION	INIT.

REVISION
 PROJECT NAME
 RIDGEWAY ALLIANCE CHURCH
 NURSERY SCHOOL
 448 BEDFORD RD ARMONK, NY 10504

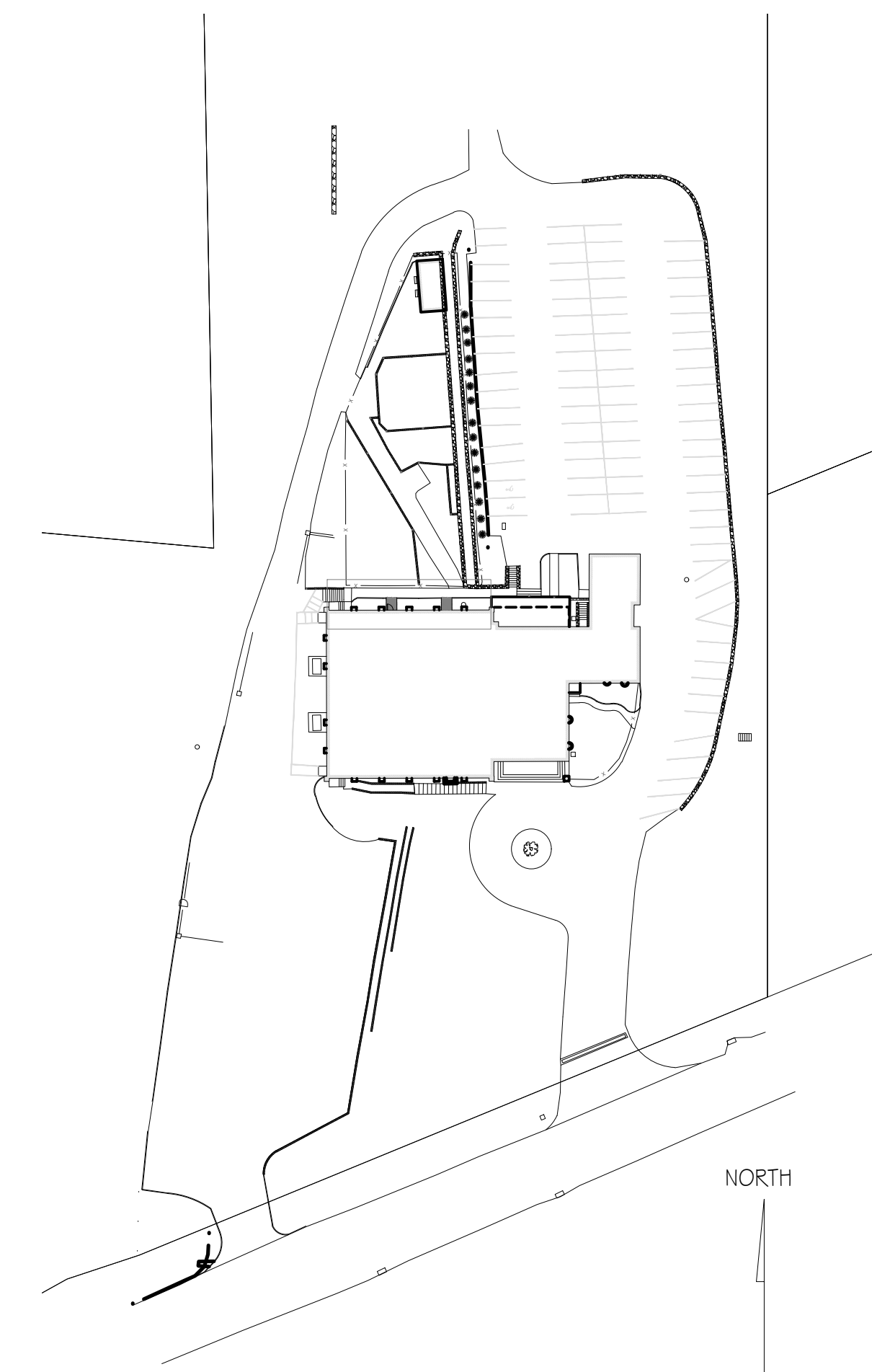
DRAWING NAME
 BASEMENT FLOOR PLAN

SCALE	DATE	PROJECT No.	BY
AS NOTED	07/13/2023	23-013	JB

SEAL	SHEET No.
	A-002
	3 OF 4



ENLARGED PART PLOT PLAN
 SCALE: $\frac{1}{8}'' = 1'-0''$



PLOT PLAN
 SCALE: $\frac{1}{64}'' = 1'-0''$


ISSUED			
NO.	DATE	DESCRIPTION	INIT.

REVISION
 PROJECT NAME
 RIDGEWAY ALLIANCE CHURCH
 NURSERY SCHOOL
 448 BEDFORD RD ARMONK, NY 10504

DRAWING NAME
PLOT PLAN AND ENLARGED PART PLOT PLAN

SCALE	DATE	PROJECT No.	BY
AS NOTED	07/13/2023	23-013	JB

SEAL:



SHEET No.

A-003

4 OF 4