

February 26, 2024

**Sent Via Email**

Christopher Carthy, Chairman  
North Castle Planning Board  
17 Bedford Road  
Armonk, NY 10504

**Re: *111 Round Hill Realty LLC  
Application for Subdivision, Site Plan,  
Accessory Apartment Special Permit,  
and Tree Removal Permit  
10 and 20 Round Hill Way (109.01-1-49.4 and 49.5)***

Honorable Chair and Members of the Board:

**I. INTRODUCTION**

This firm, in collaboration with Lennon Architects, and Insite Engineering, Surveying & Landscape Architecture, P.C., represents 111 Round Hill Realty LLC (“Owner” or “Applicant”), owner of the property located at 10 and 20 Round Hill Way (“Property”). The Applicant is proposing to: (i) relocate the lot line between 10 Round Hill Way and 20 Round Hill Way; (ii) construct a single-family home on 10 Round Hill Way; and (iii) construct a single-family home, barn with accessory apartment and attached greenhouse, swimming pool, and tennis court on 20 Round Hill Way.

In order to achieve the foregoing, the Applicant requires subdivision approval for the lot line realignment, site plan/tree removal permit approvals for the proposed site improvements, and special permit approval for an accessory structure in excess of 800s.f. and the accessory apartment<sup>1</sup>. The purpose of this letter is to transmit these applications and to request placement on your February 26<sup>th</sup> agenda for an initial presentation and, if your Board deems appropriate, referral to the Zoning Board of Appeals and the scheduling of the required public hearing.

**II. DESCRIPTION OF SITE AND ZONING:**

The Property is located at 10 and 20 Round Hill Way and is identified on the Tax Assessment map of the Town of North Castle as parcels 109.01-1-49.4 (“Lot 4”) and 109.01-1-49.5

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<sup>1</sup> Note that the Applicant will also require approval from the ZBA with respect to the size of the accessory structure, having an accessory apartment in an accessory structure, and relief from the required waiting period to have an accessory apartment.

“Lot 5”). The Property is located in the R-2A single family residence district and is approximately 20.7 acres<sup>2</sup>. Both lots are currently vacant, unimproved land.

### **III. SITE HISTORY**

The Property was created as part of the Rolling Hills Subdivision, which was approved by the Planning Board in 2006. The Rolling Hills Subdivision Pat was recorded with the Westchester County Clerk as Map # 27849 on December 15, 2006. It should be mentioned that note 2 on Map 27849 provides that “[f]urther subdivision of Lots 1 through 5 is to be prohibited by deed restriction.” To that end, a Declaration of Covenants, Restrictions, and Easements was recorded with the Westchester County Clerk on February 28, 2007 in Control No. 470380020. The Declaration contains a “Prohibition Against Re-subdivision (Lots 3, 4, and 5)” that provides

Notwithstanding the fact that Lots 3, 4, and 5 presently or may continue in the future to each have a lot area of more than twice the minimum lot size permitted in the zoning district in which said Lots are located, Lots 3, 4, and 5 shall not be further subdivided or resubdivided so as to create any new building lots. *The foregoing shall not preclude a lot line adjustment or change or a subdivision or resubdivision the object of which is not to create a new building lot.* (emphasis added)

Accordingly, while there is a deed restriction which prohibits further subdivision or resubdivision, the Applicant’s proposal to realign the lot lines between Lot 4 and Lot 5 is clearly permitted so long as no new building lot is created.

In addition to the declaration discussed above, approximately 9.6 acres of the Property are burdened by a Conservation Easement. As shown on the enclosed plans, no work is being proposed in the Conservation Easement area.

### **IV. CURRENT PROPOSAL**

As noted above, the Applicant is proposing to (i) relocate the lot line between Lot 4 and Lot 5; (ii) construct a single-family home on Lot 4; and (iii) construct a single-family home, barn with accessory apartment and greenhouse, swimming pool, and tennis court on Lot 5.

**Lot Line Realignment:** Currently, Lot 4 is 10.011 acres and Lot 5 is 10.673 acres. The Applicant is proposing to relocate the lot lines so that Lot 4 will end up being approximately 4.7 acres and Lot 5 will be approximately 16.0 acres. As shown on the Zoning Conformance Table enclosed herewith, both lots will remain fully compliant with the R-2A zoning district standards.

**Lot 4 Development:** The Owner is proposing an approximately 7,169 s.f., 5-bedroom home, swimming pool, and associated site improvements. Access to Lot 4 will be provided via a shared driveway with Lot 5 directly from Round Hill Road.

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<sup>2</sup> Currently, Lot 4 is approximately 10.011 acres and Lot 5 is approximately 10.673 acres.

**Lot 5 Development:** The Owner is proposing to develop Lot 5 with an approximately 11,277 s.f., 5-bedroom house with pool and tennis court. Additionally, a 2,779 s.f. accessory structure, which contains: (i) a 1,344 s.f. first floor barn; (ii) a 1,302 s.f., 2-bedroom accessory apartment above, a 132 s.f. covered porched, and a 216 s.f. attached greenhouse.

In support of this application, the following plans and documents are submitted herewith:

1. Site Development Plan Application and Checklist;
2. Special Use Permit Application and Checklist;
3. Preliminary Subdivision Approval Application and Checklist;
4. Gross Land Coverage Calculations Worksheet;
5. Gross Floor Area Calculations Worksheet;
6. Tree Removal Permit Application;
7. Site Plan Drawing Set, 12 sheets, dated February 12, 2024;
8. Lot 4 Residence Architectural Drawing Set, 14 Sheets;
9. Lot 5 Residence Architectural Drawing Set, 12 Sheets; and
10. Lot 5 Barn with Accessory Apartment Architectural Drawing Set, 11 Sheets.

## **V. CONSIDERATION FOR SPECIAL PERMIT APPROVAL**

**A. Necessity for Special Permit Approval:** As set forth above, the Property is located in the R-2A zoning district. Pursuant to § 355-21 – Attachment 1, permitted accessory uses in the R-2A district include:

1. Private Barn/Greenhouse<sup>3</sup>: “Private gardenhouses, toolhouses, greenhouses, gatehouses, *garages* or similar private accessory uses *not over 1 story and 15 feet in height and limited to 800 square feet in area, except that the Planning Board may, by special permit, authorize the construction of accessory buildings not over 2 stories or 22 feet in height*, provided that any such individual accessory building does not exceed 25% of the floor area of the main building, and further provided that all such accessory buildings meet all required setbacks for main buildings in the district in which they are located and are not located within any front yard. (emphasis added)

In this case, the proposed Barn/Greenhouse will be in excess of 800 s.f. and 1 story, accordingly a special permit from your Board is required. The proposed residence on the Property is approximately 11,277s.f., therefore, the proposed approximately 2,779s.f. barn/greenhouse is roughly 24.6% of the floor area of the main building, which complies with maximum permitted by the zoning code. Additionally, the proposed barn meets all required setbacks and is not located within the front yard.

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<sup>3</sup> The Applicant is also proposing to include a 1-bedroom accessory apartment on the second floor of the barn/greenhouse, which is discussed separately in section V(A)(2) of this letter.

2. Accessory Apartment: “Accessory apartments, in single-family residence districts, subject to the requirements of § 355-40(K).”

Pursuant to § 355-40(K)(1),

“[i]t is the specific purpose and intent in allowing accessory apartments in single-family residence districts to provide opportunity and encouragement for the development of small rental housing units designed to meet the special housing needs of persons of low- and moderate-income especially the young and old, and of relatives of families living in North Castle. It is also the purpose and intent of this subsection to allow the more efficient use of the Town’s existing housing stock of dwellings and accessory buildings, to provide economic support for present families of limited income and thereby promote the protection and preservation of property values. Further, it is the purpose and intent of these regulations to assure the maintenance of the single-family character and property values of neighborhoods through resident-owner occupancy of lots and dwelling where an accessor apartment might be located. To help achieve these goals and to promote other objectives of this subsection, the following specific standards are set forth for such accessory apartment uses.”

Despite the fact that the Applicant will need variances from the ZBA: (i) so that the accessory apartment can be located in an accessory building and (ii) so that the accessory apartment be permitted prior to the required 4 year waiting period, it is respectfully submitted that this special permit application for an accessory apartment meets the specific purpose and intent of these regulations by utilizing a portion of the proposed accessory building as a small housing unit. The Owner does not intend to rent the accessory apartment. Instead, it’s intended use to provide temporary housing for family and friends when they come to visit or to provide housing for a caretaker in the future.

**B. North Castle Specific Conditions and Standards Applicable to Accessory Apartments:** As provided for in § 355-40(K)(1), there are certain specific standards that must be met prior to the granting of a special permit for an accessory apartment. Those standards are contained in §355-40(K)(3)-(11) and are listed below, followed by an explanation of how each is met.

1. *Occupancy. The owner of the lot on which the accessory apartment is located shall occupy either of the dwelling units on the premises. Owner occupancy of one of the dwelling units shall continue for the duration of the special permit.*

Upon completion of the single-family home and issuance of a Certificate of Occupancy, the Owner will occupy the single-family residence on the Property and will continue living there for the duration of the special permit.

2. *Accessory apartments are only permitted in any of the single-family residence districts. Accessory apartments may be located in a principal residence or accessory building,*

*provided that such building existed prior to October 11, 1984, and conforms to the other requirements of this chapter, unless a variance therefor shall have been granted by the Zoning Board of Appeals.*

In this case, the Property is located in the R-2A single-family residence district and the accessory apartment is being proposed in an accessory building. Because the accessory building that is being proposed as part of this application was not in existence prior to 1984 a variance will be required from the ZBA in order to locate an accessory apartment in the accessory building.

3. *No accessory apartment shall be permitted until four years after the issuance of a certificate of occupancy for the principal dwelling, and no accessory apartment shall be permitted in a structure until at least two years after the current owner has acquired title to the property, whichever comes later.*

As provided above, the Property is currently vacant land, so no certificates of occupancy have been issued. Further, the Owner took title to the Property in August of 2023. Therefore, the required two years of ownership has not yet been met.

Notwithstanding the foregoing, it is respectfully submitted that the proposed accessory apartment meets the stated intent and goals of § 355-40(K)(1) in that it will provide a small housing unit for relatives and could be used as a small rental unit in the future. Further, there is no negative impact associated with allowing the Owner to utilize an accessory apartment on the Property prior to meeting these seemingly arbitrary time limits. Accordingly, it is requested that the Planning Board refer this application to the ZBA for the required variance from these time limits.

4. *There shall be no more than one accessory apartment per lot.*

There will only be one accessory apartment on the Property.

5. *No accessory apartment shall be permitted in any dwelling unit utilized as a boarding house previously established under the provisions of Chapter 355.*

The accessory structure will be brand new and, accordingly, was never utilized as a boarding house.

6. *No accessory apartment shall be permitted on any lot currently utilized as an office of a professional person or home occupation, as defined in § 355-4 and regulated in § 355-21.*

The Property is not currently utilized as an office of a professional person or home occupation.

7. *Any principal or accessory building in which an accessory apartment is proposed shall meet all applicable setback requirements and other standards for the district in which it is located.*

Both the principal and accessory building in which the accessory apartment is proposed meet all applicable setback requirements and most other standards for the R-2A district.

8. *Off-street parking for accessory apartments in residence districts shall be provided in accordance with the requirements of Article IX. Where practicable, the Planning Board shall require that off-street parking for accessory apartments be located in the side or rear yard of the lot and in no case less than 20 feet from the front property line.*

Pursuant to Article IX, accessory apartments require 1 parking space per bedroom or 2 per dwelling unit. In this case two parking spaces are provided. The parking for the accessory apartment is located in the side yard and is not less than 20 feet from the property line.

9. *If an accessory apartment is located in a principal dwelling, the entry to the unit and its design shall be such that the appearance of the dwelling shall remain as a single-family residence.*

In this case, the accessory apartment is not located in the principal dwelling unit.

10. *The minimum size of an accessory apartment within a principal dwelling shall be 300 square feet. Where the gross floor area of the dwelling is less than or equal to 2,000 square feet, the accessory apartment shall in no case exceed 33% of such area. Where the gross floor area of the dwelling is greater than 2,000 square feet, the permitted maximum size of the accessory apartment may be increased by 25% of the gross floor area in excess of 2,000 square feet. In cases of accessory apartments established prior to October 11, 1984, upon recommendation of the Building Inspector, the Planning Board may, at its option, increase these percentages to no more than 35% and 27%, respectively. The minimum size of an accessory apartment located in an accessory building shall be at least 300 gross square feet. There shall be no more than two bedrooms per accessory apartment. (Emphasis added)*

In this case, the accessory apartment is located in an accessory building and is approximately 1,300 square feet, thereby meeting and exceeding the minimum required size of 300 square feet. Additionally, there is only 1 bedroom in the accessory apartment.

- C. North Castle General Conditions and Standards:** Article VII of the Zoning Code of the Town of North Castle establishes the general procedures for Planning Board review of an application for special use permits. Specifically, § 355-37 requires that before granting a special use permit, six “conditions and standards” must be met. Additionally, § 355-38 permits the Planning Board to “attach such conditions and safeguards to any proposed use

and development plan as are, in [the Board's] opinion, necessary to ensure initial and continual conformance to all applicable standards and requirements." The six "conditions and standards" are set forth below, followed by an explanation of how each standard is met.

1. *The location and size of the use, the nature and intensity of the operations involved in it or conducted in connection with it, the size of the site in relation to it and the location of the site with respect to the streets giving access to it are such that it will be in harmony with the appropriate and orderly development of the district in which it is located and that it complies with all special requirements for such uses established in [Chapter 355 of the North Castle Zoning Code].*

The accessory structure, including the accessory apartment, that is proposed in connection with the single-family home will be located on the northern portion of the Property. The building will be fully compliant with all required setbacks. Additionally, the proposed location for the accessory building is located at an elevation of 234.5 and is approximately 200 feet from the nearest single-family home. The 20 foot +/- existing hill separating the structures, existing mature trees between the accessory structure and neighboring properties and the proposed additional plantings provides appropriate screening. Moreover, the addition of an approximately 2,779s.f. barn/greenhouse with accessory apartment on a property that is over 15 acres, with the vast majority of the site being maintained in its present wooded state precisely how the Property was anticipated to be developed and will be in harmony with the appropriate and orderly development of the R-2A district.

2. *The location, nature and height of buildings, walls, fences and the nature and extent of existing or proposed plantings on the site are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings.*

The Property is approximately 15 acres and heavily wooded. The location of the accessory structure with accessory apartment, coupled with the existing trees, topography, and proposed plantings, will provide adequate screening from adjoining properties. It is respectfully submitted that the location, nature and height of the existing structures will not hinder or discourage the appropriate development and use of adjacent land and buildings. The properties located to the north, east, and west are already improved with single-family homes. Further, the property to the south (Lot 4) is owned by the Applicant and is similarly proposed to be developed with a single-family home.

3. *Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would be the operations of any permitted uses not requiring a special permit.*

The accessory building and apartment will not be more objectionable to nearby properties by reason of noise, fumes, vibration or other characteristics than would the operations of any permitted uses not requiring a special permit.

- 4. Parking areas will be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum convenience and safety.*

The parking area proposed for the accessory building and apartment is of adequate size, is properly located, and is suitably screened from adjoining residential uses. Further, the entrance and exit drive is convenient and safe.

- 5. Where required, the provisions of Chapter 177 [of the North Castle Code], Flood Damage Prevention.*

The Town Flood Hazard Ordinance is not applicable to the Applicant's proposal, as no changes are proposed to the site.

- 6. The [Planning] Board finds that the proposed special permit use will not have a significant adverse effect on the environment.*

It is respectfully submitted that the approval of an accessory apartment located in an accessory structure will not have an adverse effect on the environment.

## **VI. CONCLUSION**

Enclosed herewith please find the subdivision, site plan, and special permit application forms and Short Environmental Assessment Form respectively, together with the application fee of \$1,025.00.

Kindly place this matter on the Planning Board's Marh 11, 2024 agenda for an initial presentation and, if your Board deems appropriate, referral to the ZBA for the required variances and the scheduling of the required public hearing.

Please don't hesitate to contact me if you have questions.

Very truly yours,

Kory Salomone





TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

## Application for Preliminary Subdivision Approval

Application Name

**10 & 20 Round Hill Way Lot Line Re-Alignment**



TOWN OF NORTH CASTLE  
WESTCHESTER COUNTY  
17 Bedford Road  
Armonk, New York 10504-1898

PLANNING DEPARTMENT  
Adam R. Kaufman, AICP  
Director of Planning

Telephone: (914) 273-3542  
Fax: (914) 273-3554  
[www.northcastleny.com](http://www.northcastleny.com)

**PLANNING BOARD SCHEDULE OF ESCROW ACCOUNT DEPOSITS**

<b><u>Type of Application Deposit*</u></b>	<b><u>Amount of Initial Escrow Account</u></b>
Concept Study	\$500.00
Site Plan Waiver for Change of Use	\$500.00
Site Development Plan for:	
Multifamily Developments	\$3,000.00 plus \$100.00 per proposed dwelling unit
Commercial Developments	\$3,000.00 plus \$50.00 for each required parking space
1 or 2 Family Projects	\$2,000.00
Special Use Permit	\$2,000.00 plus \$50.00 for each required parking space
Subdivision:	
Lot Line Change resulting in no new lots	\$1,500.00
All Others	\$3,000.00 plus \$200.00 per proposed new lot in excess of two (2)
Preparation or Review of Environmental Impact Statement	\$15,000.00

\* If a proposed action involves multiple approvals, a single escrow account will be established. The total amount of the initial deposit shall be the sum of the individual amounts indicated. When the balance in such escrow account is reduced to one-third (1/3) of its initial amount, the applicant shall deposit additional funds into such account to restore its balance to the amount of the initial deposit.

*jill hoberman*  
jill hoberman (Feb 26, 2024 10:35 EST)

Applicant Signature

Date:

**I. IDENTIFICATION OF PROPERTY OWNER, APPLICANT AND PROFESSIONAL REPRESENTATIVES**

Name of Property Owner: 111 Round Hill Realty LLC

Mailing Address: 1325 Harbor Road, Hewlett, NY 11557

Telephone: 212-463-0900 Fax: \_\_\_\_\_ e-mail blueeyes0401@aol.com

Name of Applicant (if different): \_\_\_\_\_

Address of Applicant: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

Interest of Applicant, if other than Property Owner:  
\_\_\_\_\_

Is the Applicant (if different from the property owner) a Contract Vendee?

Yes

No

If yes, please submit affidavit stating such. If no, application cannot be reviewed by Planning Board

Name of Professional Preparing Site Plan:

Richard D. Williams, Jr. P.E. (Insite Engineering)

Address: \_\_\_\_\_

Telephone: 845-225-9690 x118 Fax: \_\_\_\_\_ e-mail RWilliams@insite-eng.com

Name of Other Professional: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ e-mail \_\_\_\_\_

Name of Attorney (if any): Kory Salomone, Esq., Zarin & Steinmetz LLP

Address: 81 Main Street, Suite 415, White Plains, NY 10601

Telephone: 914-220-9804 Fax: \_\_\_\_\_ e-mail ksalomone@zarin-steinmetz.com

### Applicant Acknowledgement

By making this application, the undersigned Applicant agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of this application.

The Applicant also agrees to pay all expenses of publication and the giving of public notice as required, and further acknowledges that he/she shall be responsible for reimbursing the Town for the cost of professional review services required for this application.

It is further acknowledged by the Applicant that all bills for the expenses of publication and the giving of public notice as well as professional consultant review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: *jill hoberman* Date: \_\_\_\_\_  
jill hoberman (Feb 26, 2024 10:35 EST)

Signature of Property Owner: *jill hoberman* Date: \_\_\_\_\_  
jill hoberman (Feb 26, 2024 10:35 EST)

Must have both signatures



**III. DESCRIPTION OF PROPOSED DEVELOPMENT**

Type of Subdivision proposed: Conventional   X\*   Conservation \_\_\_\_\_

Total Number of Lots Proposed on Preliminary Subdivision Plat:   \*Lot Line Re-alignment     2  

Total Number of Lots Proposed in North Castle Only (if different): \_\_\_\_\_

Are any new streets proposed? No   X   Yes \_\_\_\_\_

Has the center line of each proposed street been staked? No   N/A   Yes \_\_\_\_\_

If no, please indicate the date by which such center lines will be staked: \_\_\_\_\_

Have the corners of each proposed lot been identified with appropriate stakes? No   N/A   Yes \_\_\_\_\_

If no, please indicate the date by which such lot corners will be staked: \_\_\_\_\_

Are any waivers from the provisions of Chapter 355 (Zoning) or Chapter 275 (Subdivision of Land) of the North Castle Town Code requested? No   X   Yes \_\_\_\_\_

If yes, please specify type: \_\_\_\_\_

Earthwork Balance: Cut   18,000 +-   C.Y. Fill   18,000 +-   C.Y.

Will Development on the subject property involve any of the following:

Areas of special flood hazard? No   X   Yes \_\_\_\_\_

(If yes, application for a Development Permit pursuant to Chapter 177 of the North Castle Town Code may also be required)

Trees with a diameter at breast height (DBH) of 8" or greater?

No \_\_\_\_\_ Yes   X  

(If yes, application for a Tree Removal Prmit pursuant to Chapter 308 of the North Castle Town Code may also be required.)

Town-regulated wetlands? No   X   Yes \_\_\_\_\_

(If yes, application for a Town Wetlands Permit pursuant to Chapter 340 of the North Castle Town Code may also be required.)

State-regulated wetlands? No   X   Yes \_\_\_\_\_

(If yes, application for a State Wetlands Permit may also be required.)

#### **IV. SUBMISSION REQUIREMENTS**

The preliminary subdivision application package shall include all materials submitted in support of the application, including but not limited to the application form, plans, reports, letters and SEQR Environmental Assessment Form. **Submission of the following shall be required:**

- One (1) PDF set of the preliminary subdivision application package in a single PDF file .
- A check for the required application fee and a check for the required Escrow Account, both checks made payable to "Town of North Castle" in the amount specified on the "Schedule of Application Fees."

(continued next page)

## V. INFORMATION TO BE INCLUDED ON PRELIMINARY SUBDIVISION PLAT

The following checklist is provided to enable the Applicant to determine if he/she has provided enough information on the preliminary subdivision plat and preliminary construction plans for the Planning Board to review his/her proposal. Applicants are advised to review Chapter 275 of the North Castle Town Code for a complete enumeration of pertinent requirements and standards prior to making application for preliminary subdivision plat approval.

The information required to be shown on the preliminary subdivision plat and the preliminary construction plans may be combined and shown on one plan to be identified as the Integrated Plot Plan. Whether this information is presented on one or two different plans, the application for preliminary subdivision plat approval will not be accepted for Planning Board review unless all items identified below are supplied and **so indicated with a check mark in the blank line provided**. If a particular item is not relevant to the subject property or the development proposal, **the letters "NA" should be entered instead**.

The information to be included on an Integrated Plot Plan shall include:

- \_\_\_\_\_ Name of the proposed subdivision or other identifying title and signature block.
- \_\_\_\_\_ Name and address of the Property Owner and the Applicant (if different).
- \_\_\_\_\_ Name, address and telephone number of the surveyor, engineer or other legally qualified professional and the seal of the professional who prepared the plan.
- \_\_\_\_\_ Names and locations of all owners of record of properties abutting and directly across any and all adjoining streets from the subject property, including the tax map designation of the subject property and abutting and adjoining properties, as shown on the latest tax records.
- \_\_\_\_\_ Existing zoning, fire district, school district, special district and municipal boundaries.
- \_\_\_\_\_ Names of existing streets
- \_\_\_\_\_ Total acreage of the property to be developed, as well as property boundaries showing dimensions and bearings as determined by a current survey; name and width of existing streets; and lines of existing rights-of-way, reservations, easements and areas dedicated to public uses.
- \_\_\_\_\_ Reference to the location and conditions of any covenants, easements or deed restrictions that cover all or any part of the property, as well as identification of the document where such covenants, easements or deed restrictions are legally established .
- \_\_\_\_\_ Schedule of minimum zoning requirements, as well as the proposed lots' compliance with those requirements, including lot area, frontage, lot width, lot depth, building coverage, yards and other pertinent requirements.
- \_\_\_\_\_ Site location map, at a scale of one (1) inch equals eight hundred (800) feet, showing the Applicant's entire property in relation to surrounding properties, streets, etc. within five hundred (500) feet of the site.
- \_\_\_\_\_ North arrow, written and graphic scales, and the date of the original plan and all revisions, with notations identifying the revisions.
- \_\_\_\_\_ Existing topographical contours with a vertical interval of two (2) feet or less.



- \_\_\_\_\_ Location of existing floodplains, wetlands, slopes of 15% or greater, wooded areas, landscaped areas, single trees with a DBH of 8" or greater, rock outcrops, stone walls and any other significant existing natural or cultural features.
- \_\_\_\_\_ Location of temporary stakes in the field to enable the Planning Board to find and appraise features of the preliminary plat.
- \_\_\_\_\_ Location of existing use and design of buildings and other structures.
- \_\_\_\_\_ Location of all other existing site improvements, including pavement, walks, curbing, retaining wall and fences.
- \_\_\_\_\_ Location and sizes of existing water supply, sanitary sewage disposal, storm water drainage and other utility lines and structures within and nearby the proposed subdivision.
- \_\_\_\_\_ Location of all existing monuments.
- \_\_\_\_\_ Proposed arrangement of lots, including identifying numbers and approximate area and dimensions of each.
- \_\_\_\_\_ Proposed layout of new streets, including sight distance at all proposed road intersections, widths and approximate curve radii, and any proposed rights-of-way, easements, deed restrictions, covenants and/or reservations.
- \_\_\_\_\_ Location, size and nature of any area proposed to be reserved for park purposes.
- \_\_\_\_\_ Proposed system for the provision of water supply and fire protection facilities, sanitary sewage disposal facilities, storm water drainage facilities and other utility services.
- \_\_\_\_\_ Proposed street profiles and cross-sections showing the approximate grade of proposed streets, the relationship of existing grades to proposed grades and the proposed vertical curvature along the center line of all new streets.
- \_\_\_\_\_ Proposed names for new streets.
- \_\_\_\_\_ Location of proposed monuments.
- \_\_\_\_\_ Where the preliminary plat includes only a portion of the Applicant's contiguous holding, the Applicant shall also indicate on a sketch, at a scale of not less than one (1) inch equals two hundred (200) feet, the probable future street system, lot arrangement, and location of park and other reservations for the remaining portion of the tract and topographic data with vertical contour interval of not more than ten (10) feet.
- \_\_\_\_\_ For all proposed subdivision plans containing land within an area of special flood hazard, the data required to ensure compliance with Chapter 177 of the North Castle Town Code.
- \_\_\_\_\_ For all proposed subdivision plans involving clearing or removal of trees with a DBH of 8" or greater, the data required to ensure compliance with Chapter 308 of the North Castle Town Code.
- \_\_\_\_\_ For all proposed subdivision plans involving disturbance to Town-regulated wetlands, the data required to ensure compliance with Chapter 340 of the North Castle Town Code.







# preliminary\_subdiv\_2022(1)

Final Audit Report

2024-02-26

Created:	2024-02-12
By:	Tracy Russo (trusso@zarin-steinmetz.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAA7WBfH09avTFmzrC2K3dzFmZJDZV2spwV

## "preliminary\_subdiv\_2022(1)" History

-  Document created by Tracy Russo (trusso@zarin-steinmetz.com)  
2024-02-12 - 12:38:01 PM GMT - IP address: 69.126.206.207
-  Document emailed to blueeyes0401@aol.com for signature  
2024-02-12 - 12:38:41 PM GMT
-  Email viewed by blueeyes0401@aol.com  
2024-02-26 - 3:21:17 PM GMT - IP address: 209.73.183.24
-  Signer blueeyes0401@aol.com entered name at signing as jill hoberman  
2024-02-26 - 3:35:15 PM GMT - IP address: 108.46.209.150
-  Document e-signed by jill hoberman (blueeyes0401@aol.com)  
Signature Date: 2024-02-26 - 3:35:17 PM GMT - Time Source: server- IP address: 108.46.209.150
-  Agreement completed.  
2024-02-26 - 3:35:17 PM GMT

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

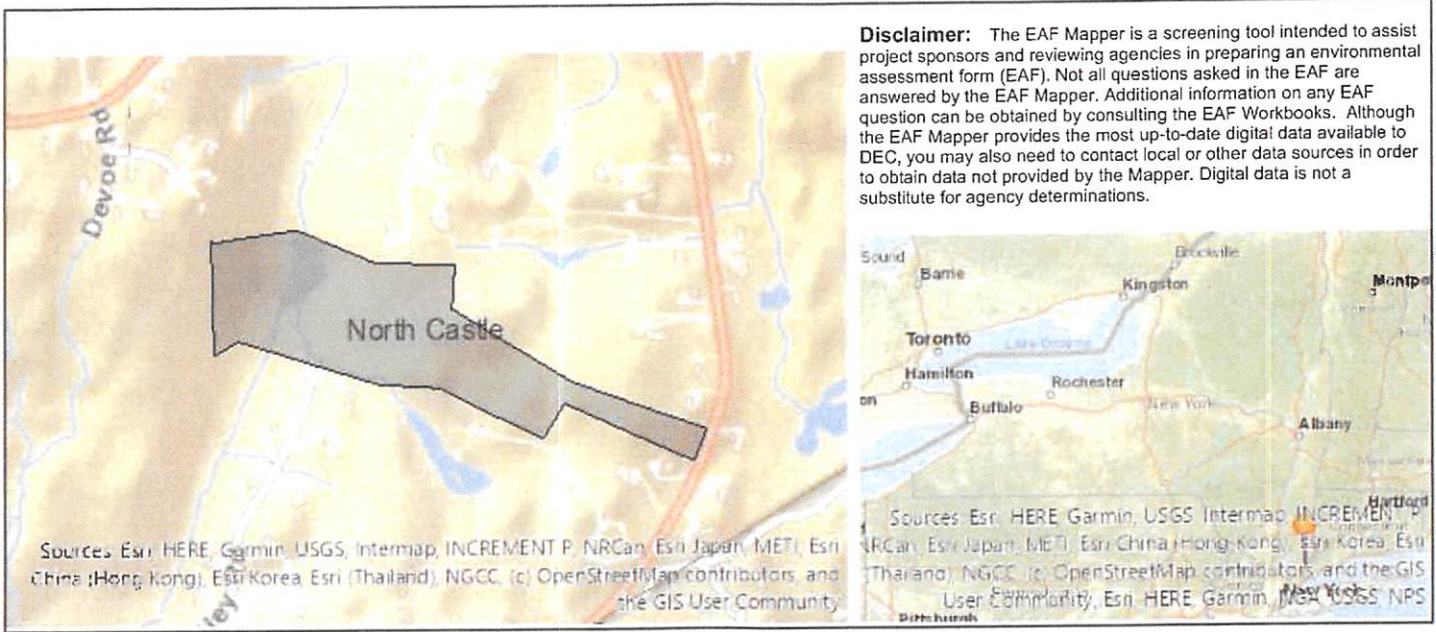
**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

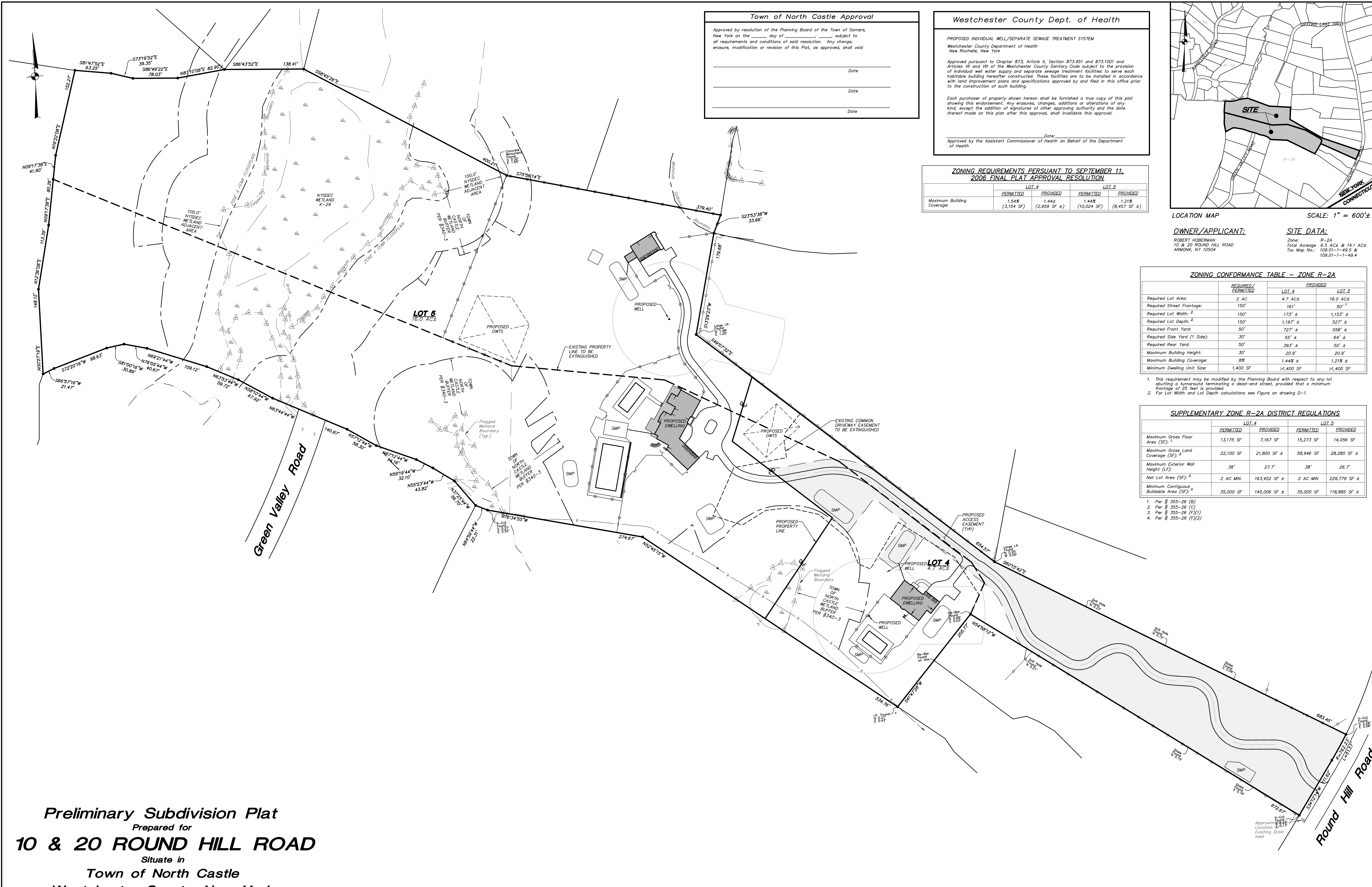
<b>Part 1 – Project and Sponsor Information</b>			
<b>Name of Action or Project:</b>			
10 and 20 Round Hill Way Development			
<b>Project Location (describe, and attach a location map):</b>			
10 and 20 Round Hill Way			
<b>Brief Description of Proposed Action:</b>			
The Applicant is proposing to relocate the common lot line between 10 Round Hill Way and 20 Round Hill Way. The lot line realignment will not result in the creation of an additional lot. Both existing lots will remain zoning compliant. In addition, the Applicant is seeking site plan approval to develop 10 Round Hill Way with a single-family home, barn with accessory apartment and associated improvements. 20 Round Hill Way will be improved by a single-family home. Finally, in order to have an accessory apartment over the barn, the Applicant will be seeking a special permit.			
<b>Name of Applicant or Sponsor:</b>		<b>Telephone:</b> 212-463-0900	
111 Round Hill Realty LLC (C/O Robert Hoberman)		<b>E-Mail:</b> robert@hobermanlesser.com	
<b>Address:</b>			
1325 Harbor Rd			
<b>City/PO:</b>		<b>State:</b>	<b>Zip Code:</b>
Hewlett		NY	11557
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval: Area Variance, ZBA; Westchester County Dept of Health; NYSDEC SPDES GP 0-20-001 coverage			YES
3. a. Total acreage of the site of the proposed action? <span style="float: right;">_____ 20.7 acres</span>			
b. Total acreage to be physically disturbed? <span style="float: right;">_____ 5.9 acres</span>			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">_____ 20.7 acres</span>			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Name: Mianus River, Reason: Exceptional or unique character, Agency: Westchester County, Date: 1-31-90 If Yes, identify: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ New wells are proposed for both properties.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ New septic systems are proposed for both properties.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	





Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Mianus River, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No



**Town of North Castle Approval**

Approved by resolution of the Planning Board of the Town of Somers, New York on the \_\_\_\_\_ day of \_\_\_\_\_, subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of this Plat, as approved, shall void.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

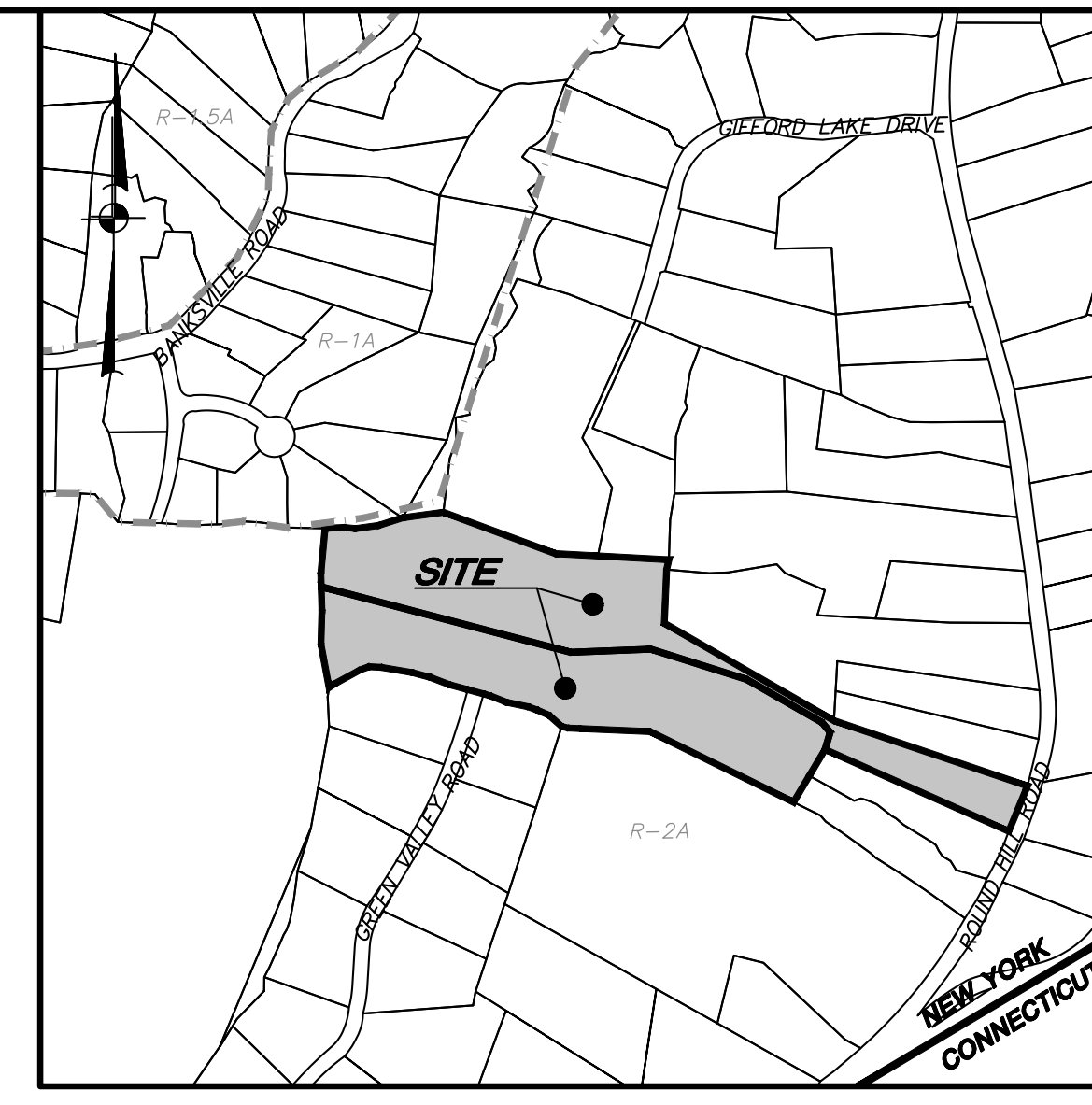
**Westchester County Dept. of Health**

PROPOSED INDIVIDUAL WELL/SEPARATE SEWAGE TREATMENT SYSTEM  
Westchester County Department of Health  
New Rochelle, New York

Approved pursuant to Chapter 873, Article X, Section 873.951 and 873.1001 and Articles VII and VIII of the Westchester County Sanitary Code subject to the provision of individual well water supply and separate sewage treatment facilities to serve each habitable building hereafter constructed, these facilities are to be installed in accordance with land improvement plans and specifications approved by and filed in this office prior to the construction of such building.

Each purchaser of property shown hereon shall be furnished a true copy of this plan showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Date: \_\_\_\_\_  
Approved by the Assistant Commissioner of Health on Behalf of the Department of Health



**ZONING REQUIREMENTS PURSUANT TO SEPTEMBER 11, 2006 FINAL PLAT APPROVAL RESOLUTION**

	LOT 4		LOT 5	
	PERMITTED	PROVIDED	PERMITTED	PROVIDED
Maximum Building Coverage:	1.54% (3,154 SF)	1.44% (2,959 SF ±)	1.44% (10,024 SF)	1.21% (8,457 SF ±)

**OWNER/APPLICANT:**  
ROBERT HOBERMAN  
10 & 20 ROUND HILL ROAD  
ARMONK, NY 10504

**SITE DATA:**  
Zone: R-2A  
Total Acreage: 6.5 AC± & 14.1 AC±  
Tax Map No.: 109.01-1-49.5 & 109.01-1-1-49.4

**ZONING CONFORMANCE TABLE - ZONE R-2A**

	REQUIRED/PERMITTED	PROVIDED	
		LOT 4	LOT 5
Required Lot Area:	2 AC	4.7 AC±	16.0 AC±
Required Street Frontage:	150'	161'	50'¹
Required Lot Width: ²	150'	173' ±	1,153' ±
Required Lot Depth: ²	150'	1,197' ±	527' ±
Required Front Yard:	50'	72.7' ±	558' ±
Required Side Yard (1 Side):	50'	55' ±	64' ±
Required Rear Yard:	50'	39.3' ±	50' ±
Maximum Building Height:	30'	20.9' ±	20.9' ±
Maximum Building Coverage:	8%	1.44% ±	1.21% ±
Minimum Dwelling Unit Size:	1,400 SF	>1,400 SF	>1,400 SF

- This requirement may be modified by the Planning Board with respect to any lot abutting a turnaround terminating a dead-end street, provided that a minimum frontage of 25 feet is provided.
- For Lot Width and Lot Depth calculations see Figure on drawing D-1.

**SUPPLEMENTARY ZONE R-2A DISTRICT REGULATIONS**

	LOT 4		LOT 5	
	PERMITTED	PROVIDED	PERMITTED	PROVIDED
Maximum Gross Floor Area (SF): ¹	13,175 SF	7,167 SF	15,273 SF	14,056 SF
Maximum Gross Land Coverage (SF): ²	22,100 SF	21,800 SF ±	58,946 SF	28,280 SF ±
Maximum Exterior Wall Height (LF): ³	38'	27.7'	38'	26.7'
Net Lot Area (SF): ³	2 AC MIN.	163,452 SF ±	2 AC MIN.	229,779 SF ±
Minimum Contiguous Bulbside Area (SF): ⁴	35,000 SF	145,006 SF ±	35,000 SF	118,885 SF ±

- Per § 355-26 (b)
- Per § 355-26 (c)
- Per § 355-26 (f)(1)
- Per § 355-26 (f)(2)

**Preliminary Subdivision Plat**  
Prepared for  
**10 & 20 ROUND HILL ROAD**  
Situate in  
**Town of North Castle**  
**Westchester County, New York**

Date: FEBRUARY 12, 2024

Prepared by  
**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.  
3 Garrett Place • Carmel, New York 10512  
Phone (845) 225-9690 • Fax (845) 225-9717  
www.insite-eng.com

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**Land Surveyor's Certification**

I hereby certify that the survey shown hereon was completed on xxxxxx; that this map was completed xxxxxx; and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys as adopted by the New York State Association of Professional Land Surveyors, Inc.

**Engineer's Certification**

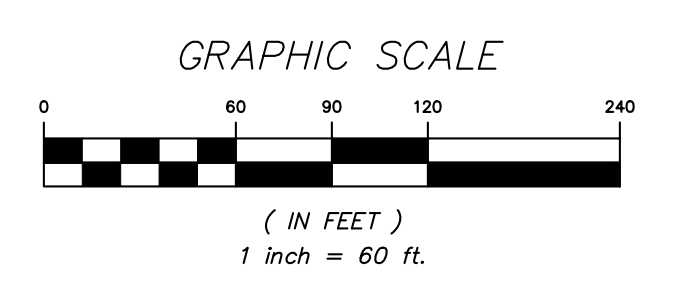
Professional Engineer  
Engineering By:  
  
Richard D. Williams, P.E.  
New York State License No. 085866

**Consent to File**

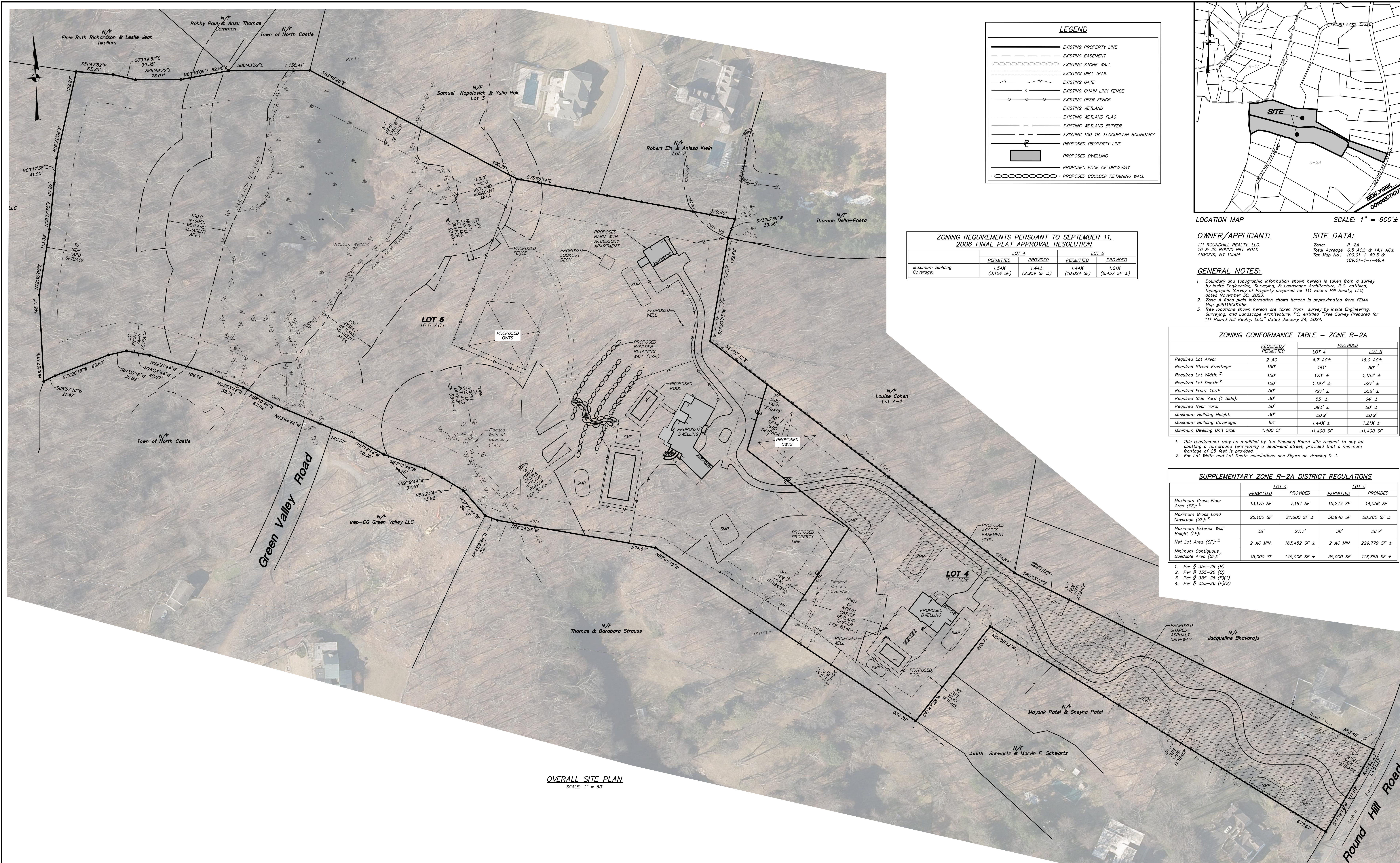
The undersigned owner of the property hereon state that they are familiar with this map, its contents and its legends, and hereby consent to all its said terms and conditions as stated hereon, and to the filing of this map in the Office of the Clerk of the County of Westchester.

Signed this \_\_\_\_\_ day of \_\_\_\_\_

Robert Hoberman  
10 & 20 Round Hill Road  
Armonk, NY 10504



ALTERATION OF THIS DOCUMENT, UNLESS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IS A VIOLATION OF SECTION 2209 OF ARTICLE 145 OF THE EDUCATION LAW.



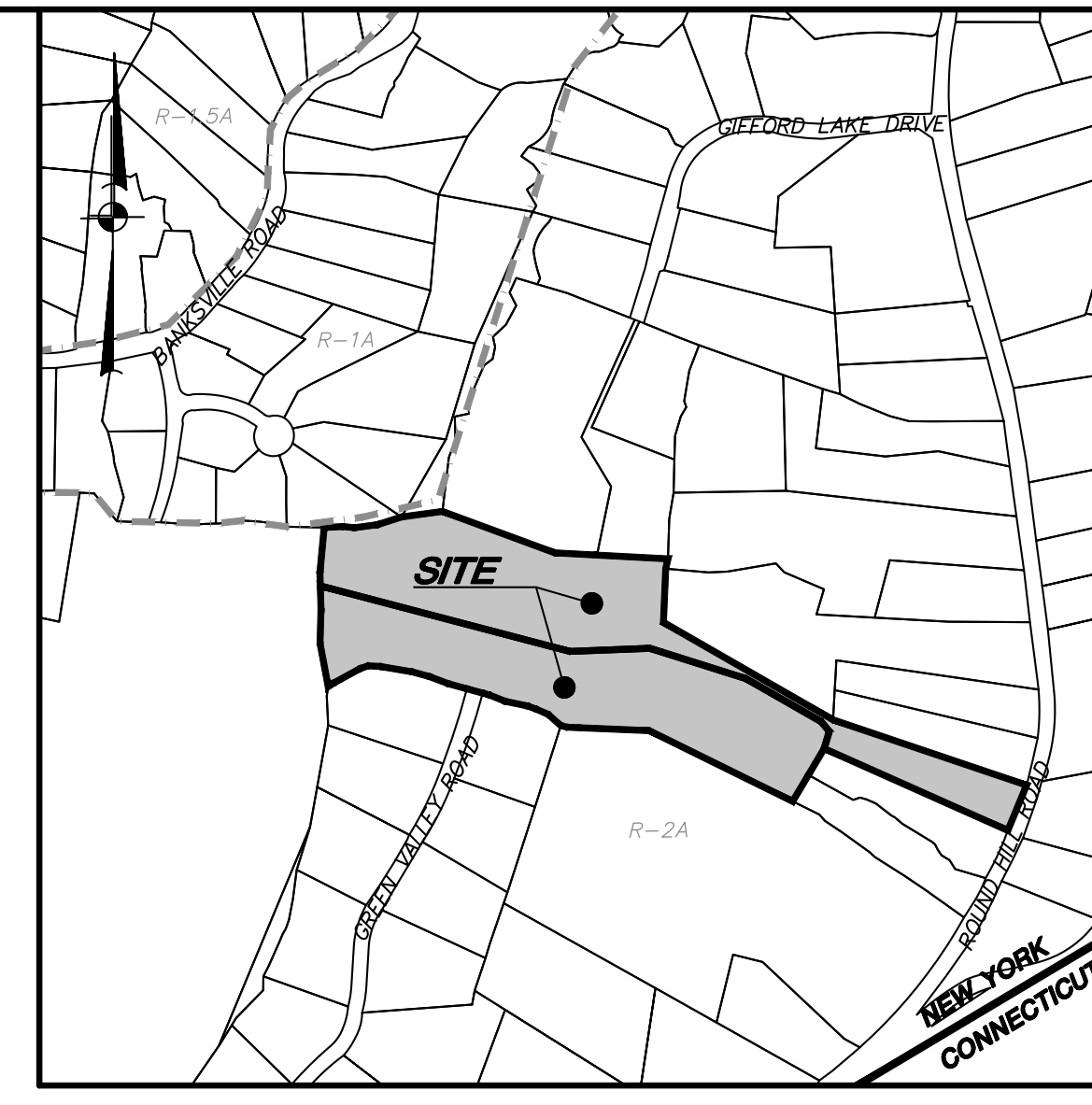
OVERALL SITE PLAN  
SCALE: 1" = 60'

**LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- EXISTING STONE WALL
- - - EXISTING DIRT TRAIL
- - - EXISTING GATE
- - - EXISTING CHAIN LINK FENCE
- - - EXISTING DEER FENCE
- - - EXISTING WETLAND
- - - EXISTING WETLAND FLAG
- - - EXISTING WETLAND BUFFER
- - - EXISTING 100 YR. FLOODPLAIN BOUNDARY
- - - PROPOSED PROPERTY LINE
- PROPOSED DWELLING
- PROPOSED EDGE OF DRIVEWAY
- PROPOSED BOULDER RETAINING WALL

**ZONING REQUIREMENTS PURSUANT TO SEPTEMBER 11, 2006 FINAL PLAT APPROVAL RESOLUTION**

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111 ROUND HILL REALTY, LLC.  
10 & 20 ROUND HILL ROAD  
ARMOUK, NY 10504

**SITE DATA:**  
Zone: R-2A  
Total Acreage: 6.5 AC± & 14.1 AC±  
Tax Map No.: 109.01-1-49.5 & 109.01-1-1-49.4

- GENERAL NOTES:**
- Boundary and topographic information shown herein is taken from a survey by Insite Engineering, Surveying, & Landscape Architecture, P.C. entitled, "Topographic Survey of Property prepared for 111 Round Hill Realty, LLC," dated November 30, 2023.
  - Zone A flood plain information shown herein is approximated from FEMA Map #36119C0168.
  - Tree locations shown herein are taken from survey by Insite Engineering, Surveying, and Landscape Architecture, P.C. entitled "Tree Survey Prepared for 111 Round Hill Realty, LLC," dated January 24, 2024.

**ZONING CONFORMANCE TABLE – ZONE R-2A**

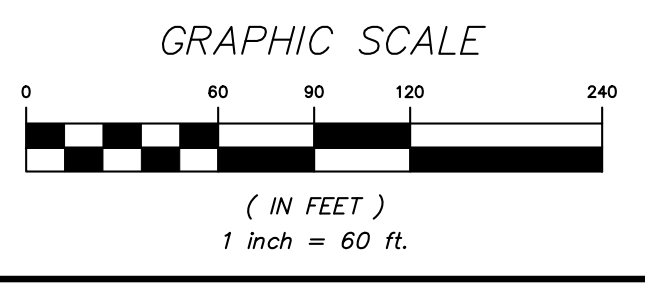
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- Per § 355-26 (b)
- Per § 355-26 (c)
- Per § 355-26 (f)(1)
- Per § 355-26 (f)(2)



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**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

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Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT:  
**10 & 20 ROUND HILL ROAD**  
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY

DRAWING:  
**OVERALL PLAN**

PROJECT NUMBER: 22222.100  
DATE: 2-26-24  
SCALE: 1" = 60'

PROJECT MANAGER: R.D.W.  
DRAWN BY: T.S.M.  
CHECKED BY: A.D.T.

DRAWING NO.:  
**OP-1**

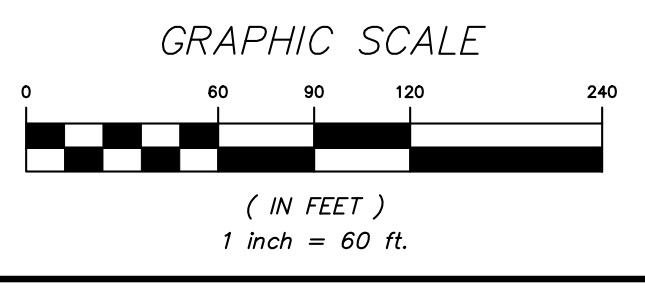
SHEET:  
12





**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING STONE WALL
	EXISTING DIRT TRAIL
	EXISTING GATE
	EXISTING CHAIN LINK FENCE
	EXISTING DEER FENCE
	EXISTING WATERCOURSE
	EXISTING EDGE OF WATER
	EXISTING WETLAND
	EXISTING WETLAND FLAG
	EXISTING WETLAND BUFFER
	EXISTING 100 YR. FLOODPLAIN BOUNDARY
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING SPOT GRADE
	EXISTING TREELINE
	EXISTING INDIVIDUAL TREE
	EXISTING DECIDUOUS TREE (See Tree Legend)
	EXISTING PROPERTY LINE TO BE REMOVED



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NO.	DATE	REVISION	BY

**INSITE**  
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.

3 Garrett Place  
Carmel, NY 10512  
(845) 225-9690  
(845) 225-9717 fax  
www.insite-eng.com

PROJECT:  
**10 & 20 ROUND HILL ROAD**  
ROUND HILL ROAD, TOWN OF NORTH CASTLE, WESTCHESTER COUNTY

DRAWING:  
**EXISTING CONDITIONS & REMOVALS PLAN**

PROJECT NUMBER: 22222.100 PROJECT MANAGER: R.D.W.  
DATE: 2-26-24 DRAWN BY: T.S.M.  
SCALE: 1" = 60' CHECKED BY: A.D.T.

DRAWING NO. SHEET  
**EX-1** 2  
12